



**Request for City Council Committee Action
from the Department of Community Planning and Economic Development –
Planning Division**

Date: May 21, 2015

To: Council Member Lisa Bender, Chair, Zoning & Planning Committee and Members of the Committee

Referral to: Zoning and Planning Committee

Subject: William Wells has filed an appeal of the City Planning Commission's decision approving a site plan review application for a new, 33-unit, multi-family residential building located at 721-729 8th Street SE in the I1/Industrial District and the IL/Industrial Living Overlay District and the UA/University Area Overlay District. Specifically, the appeal is related to the site plan condition of approval that the proposed pitched roof on the building be replaced with a flat roof (condition of approval # 5).

Recommendation: The following actions were taken by the City Planning Commission on April 27, 2015 (BZZ-7077).

**1. Apartment Building, 721-729 8th St SE, Ward 3
Staff report by [Aaron Hanauer](#), BZZ-7077**

The City Planning Commission adopted staff findings for the applications by Wells and Company Architects, on behalf of Dinkytown Rentals, LLC.

A. Conditional use permit to allow a residential use in the IL/ Industrial Living Overlay District.

Action: **Approved** the conditional use permit subject to the following condition:

1. The conditional use permit shall be recorded with Hennepin County as required by Minn. Stat. 462.3595, subd. 4 before building permits may be issued or before the use or activity requiring a conditional use permit may commence. Unless extended by the zoning administrator, the conditional use permit shall expire if it is not recorded within two years of approval.

Aye: Bender, Forney, Gagnon, Kronzer, Luepke-Pier, Slack and Tucker

Absent: Gisselman

B. Variance to increase the percentage of allowable compact off-street parking spaces.

Action: **Approved** the variance to increase the percentage of allowable compact off-street parking spaces from 25 percent to 55 percent, with the following condition:

1. Per 541.330, the compact parking spaces shall be labeled as such.

Aye: Bender, Forney, Gagnon, Kronzer, Luepke-Pier, Slack and Tucker

Absent: Gisselman

C. Site plan review.

Action: **Approved** the site plan review to allow for the construction of a four-story, 33-unit apartment building with the following conditions:

1. As conditioned, all other areas not governed by Section 530.160 and 530.170 and not occupied by buildings, parking and loading facilities or driveways shall be covered with turf grass, plants, mulch, shrubs or trees. In addition, the installation and maintenance of all landscape materials shall comply with the standards outlined in section 530.210.
2. An encroachment permit will be required for the open front porch.
3. Per 535.110 and 535.590, the lights poles shall not exceed 35 feet in height and the lights shall not create a sensation of brightness that is substantially greater than ambient lighting conditions as to cause annoyance, discomfort or decreased visual performance or visibility to a person of normal sensitivities when viewed from any permitted or conditional residential use.
4. Per the [City of Minneapolis Guide to Exterior Building Walls and Materials](#), the proposed metal lap siding is not allowed and shall be replaced with other materials as allowed by code.
5. Per 530.120 (c), the pitched roof on the primary building shall be replaced with a flat roof.
6. Per 530.170 (e), a seven-foot wide landscaped tree island shall be installed within the parking area to accommodate the on-site deciduous tree.

Aye: Bender, Forney, Gagnon, Kronzer, Luepke-Pier, Slack and Tucker

Absent: Gisselman

Ward: 3

Prepared by: Aaron Hanauer, Senior City Planner, 612-673-2494
Approved by: Jason Wittenberg, Planning Manager, Land Use, Design and Preservation
Steve Poor, Interim Director, Development Services
Presenters in Committee: Aaron Hanauer, Senior City Planner

Community Impact:

- Neighborhood Notification: The Marcy Holmes Neighborhood Organization was notified of the appeal application.
- City Goals: See staff report
- Comprehensive Plan: See staff report
- Zoning Code: See staff report
- End of 60/120-day decision period: On May 1, 2015, staff sent a letter to the applicant extending the 60-day decision period to no later than July 24, 2015.
- Other: Not applicable

Background/Supporting Information: William Wells has filed an appeal of the City Planning Commission's decision approving a site plan review application for a new, 33-unit, multi-family residential building located at 721-729 8th Street SE in the I1/Industrial District and the IL/Industrial Living Overlay District and the UA/University Area Overlay District. Specifically, the appeal is related to the site plan condition of approval that the proposed pitched roof on the building be replaced with a flat roof (condition of approval # 5).

The minutes from the April 27, 2015, City Planning Commission meeting are attached. The Planning Commission voted 7-0 to approve the site plan review application with associated conditions of approval. The appellant's statement outlines the reasons why he is appealing condition of approval #5 of the site plan review application.

The City Planning Commission's decision to approve a conditional use permit and variance application at the April 27, 2015, City Planning Commission meeting were not appealed and are now final.

APPLICATION WORKSHEET

Appellant	Name	William Wells, Wells & Company Architects
	Mailing Address Including City, State and Zip Code	PO Box 8589 Minneapolis, MN 55408
	Phone Number	612-669-2052
	Fax	-
	Email	wellsandcompany@yahoo.com

NOTICE OF APPEAL

Choose one:

_____ I, _____ (print name) do hereby file an exception to the Decision of the **Zoning Administrator** as provided for in Chapter 525.170;

_____ I, _____ (print name) do hereby file an exception to the Decision of the **Board of Adjustment** as provided for in Chapter 525.180;

I, William Wells (print name) do hereby file an exception to the Decision of the **City Planning Commission** as provided for in Chapter 525.180;

Project Name	Apartment Building, 721-729 8 th St SE
Project Address	721, 725, 729, 8 th St SE Minneapolis, MN
BZZ Number	BZZ-7077

Further, I do hereby request that I be given an opportunity to express my case before the Board of Adjustment or the proper committee of the City Council.

The action being appealed and the reasons for appealing the decision are attached and made a part of this notice of appeal.

Appellant's Name: William Wells

Appellant's Signature:  Date: 4.28.2015

Statement of Reason for Appeal

April 28, 2015

BZZ-7077

Proposed Affordable Bike Friendly Apartment Building at 721-729 8th St SE
Ward 3

William Wells and additional concerned neighbors, do hereby **appeal** the action taken by the Minneapolis Planning Commission on August 27, 2015 which approved Zoning Staff's recommendation that: *the pitched roof on the primary building be replaced with a flat roof.*

The Applicant requests the Zoning and Planning Committee remove this condition of approval and allow the Applicant to build an affordable housing project with a pitched roof, as submitted.

The appeal is based on the following facts:

- The design of the building with a pitched roof does not exceed the Zoning Code height limitations. The Zoning Code allows for a building up to 56' on the site, and the proposed building with a pitched roof is only 49.35'. The Applicant is not requesting any height variances. The Applicant is meeting the zoning code.
- The form and pitch of the roof lines is similar to surrounding buildings on 8th St SE. Currently, 85% of the housing on 8th St SE has a pitched roof. There is a recent Apartment building built on 8th St SE, called Marcy-Park Apartments, and that project has a pitched roof.
- The current structure on the site has a pitched roof. Zoning Staff is attempting to spot rezone the property requiring the new structure have a flat roof.
- The proposed building, with a pitched roof, is in keeping with the Historic traditions of the Marcy-Holmes / U o f M neighborhood. Historically, most of the housing in this area of the City has a pitched roof.
- Changing the building from a low pitched roof to a flat roof with parapet, actually makes the building look taller from the sidewalk. The Applicant does not want the building to look taller. Please see the attached rendering.
- The design of the building with a pitched roof was presented to the Neighborhood Land Use Committee and the project was approved with unanimous support. The letter from the neighborhood group reads "If the gabled roof is pursued, raise the masonry veneer up to match the height of the parapet of Steve Swanson's building." The Applicant complied with this request and raised the masonry on the front of the building.
- Zoning Staff's recommendation that the pitched roof be changed to a flat roof, adds significant cost to the project, and will lead to increased rents.

Please support the appeal and remove Zoning Staff's condition of approval that *the pitched roof on the primary building be replaced with a flat roof.* This requirement adds significant cost to the project and is counter to the goal of building an affordable bike friendly housing project.





721-729 8th St SE Apartments - Rendering with Pitched roof, as presented to Planing Commission

Flat roof with parapet, building looks taller from sidewalk.
Flat roof adds a lot of cost, makes building less affordable

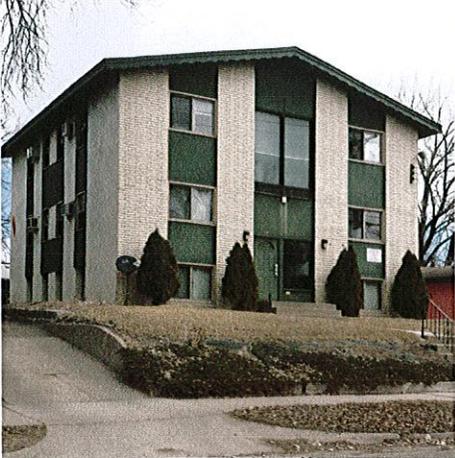


721-729 8th St SE Apartments - Rendering showing Zoning Staff's conditions of approval - flat roof removing all gable roof elements

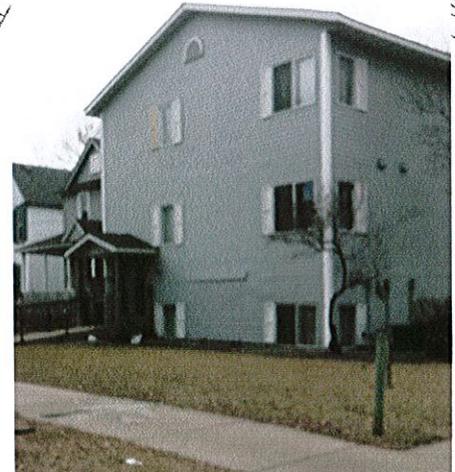
**FIELD SURVEY OF BUILDINGS ON 8th ST SE.
85% OF BUILDINGS HAVE A HIP OR GABLE ROOF**

115 BUILDINGS ON 8TH ST SE BETWEEN
HENNEPIN AVE AND 15th AVE SE

- 98 BUILDINGS HAVE A PITCHED ROOF
85 %
- 17 BUILDINGS HAVE A FLAT ROOF
15%



SITE PHOTOS - EXISTING MULTIFAMILY BUILDINGS ON 8th ST SE





**MARCY PARK APARTMENTS – EXISTING APARTMENT BUILDING ON 8th ST SE
THE DESIGN IS SIMILAR TO THE APPLICANT'S PROPOSED NEW HOUSING PROJECT.**



**MARCY PARK APARTMENTS – EXISTING APARTMENT BUILDING ON 8th ST SE
MIX OF BRICK, LAP SIDING, HARDIPANEL AND STONE.**



CPED STAFF REPORT

Prepared for the City Planning Commission

CPC Agenda Item #6
 April 27, 2015
 BZZ-7077

LAND USE APPLICATION SUMMARY

Property Location: 721-729 8th Street Southeast
Project Name: Apartment Building
Prepared By: [Aaron Hanauer](#), Senior City Planner, (612) 673-2494
Applicant: Dinkytown Rentals, LLC
Project Contact: William Wells, Wells & Company Architects
Request: To allow for the construction of a four-story, 33-unit apartment building.
Required Applications:

Conditional Use Permit	To allow for a residential use in the IL/Industrial Living Overlay District.
Variance	To increase the percentage of allowable compact off-street parking spaces from 25 percent to 55 percent.
Site Plan Review	To allow for the construction of a four-story, 33-unit apartment building.

SITE DATA

Existing Zoning	II/Industrial District IL/Industrial Living Overlay District UA/University Area Overlay District
Lot Area	16,905 square feet / 0.39 acres
Ward(s)	3
Neighborhood(s)	Marcy Holmes
Designated Future Land Use	Urban Neighborhood
Land Use Features	None
Small Area Plan(s)	Marcy-Holmes Neighborhood Master Plan (2014)

Date Application Deemed Complete	March 26, 2015	Date Extension Letter Sent	N/A
End of 60-Day Decision Period	May 25, 2015	End of 120-Day Decision Period	N/A

BACKGROUND

SITE DESCRIPTION AND PRESENT USE.

The project site is a midblock site without alley access. It is slightly irregularly shaped as the lot width tapers from 146 feet along 8th Street Southeast to 136 feet at the rear of the site and the side property lines are at an angle. Most of the project site sits at least five feet higher than the street. There is currently one curb cut on the project site which is a shared driveway for 729 8th Street Southeast and the neighboring apartment building at 801 8th Street Southeast. The property site has an eight-foot wide boulevard between the property line and the public sidewalk along 8th Street Southeast, which is a wider boulevard than a typical lot. The only building on the project site is a two-story, single-family dwelling that was determined not be a historic resource.

SURROUNDING PROPERTIES AND NEIGHBORHOOD.

The project site is located in the Marcy-Holmes Neighborhood. Generally, there are residential uses (apartments and single/two family homes) along 8th Street Southeast; the adjacent properties to the north along 9th Street Southeast are primarily industrial uses. The 50-unit Mill Trace Condos at 619 8th Street Southeast was built in approximately 2006 (BZZ-1828).

The future land use of the subject properties and most of the properties along 8th Street Southeast is Urban Neighborhood. The primary land use in the urban neighborhood is residential. The future land use of the properties along 9th Street Southeast is industrial.

The subject properties and most of the properties bounded by 6th Avenue Southeast to the west, 9th Avenue Southeast to the east, 8th Street Southeast to the south and 9th Street Southeast to the north are zoned I1/Light Industrial and are within the I1/Industrial Living Overlay District. Properties on the south side of 8th Street Southeast are R5/Multiple Family District. The project site and surrounding area is within the UA/University Area Overlay District.

Eight Street Southeast is a major collector road that moves traffic from residential streets to arterial roads. In 2012, 8th Street Southeast had an annual average daily traffic (AADT) count of approximately 8,200 vehicles (Source: Mn/DOT Traffic Data). This street is also a transit route for the #2 and #4 bus routes.

PROJECT DESCRIPTION.

The proposal is to construct a new four-story, multiple-family dwelling with 33 units and 40 bedrooms. The applicant states that the goal of the project is to design an affordable, bike-friendly housing project and encourage a variety of transportation types. The unit mix would be (7) two-bedrooms, (15) one-bedrooms, and 11 studios. The proposed exterior building materials would be limestone masonry veneer, brick, Hardiboard stucco panels, and metal lap siding. The existing two-story building would be demolished as part of the new development.

Off-street parking would consist of 20-surface parking spaces for vehicles, a semi-covered parking area for mopeds/bikes, and a bike storage and repair room within the building. The off-street parking would be accessed from a new shared driveway with the property to the east, 801 8th Street Southeast.

RELATED APPROVALS.

Planning Case #	Application	Description	Action
P-537	Rezoning	Request to rezone property at 633, 705-727 8 th Street SE from R5 to M1-2 to allow expansion of an existing manufacturing and office facility	Approved, December 17, 1981

In 1999, the property was rezoned to I1/Light Industrial as part of a citywide rezoning and updating of the Minneapolis zoning code.

PUBLIC COMMENTS. CPED received three letters prior to the report publication. A letter of support with conditions from the Marcy Holmes Neighborhood, a letter of support from a neighboring property owner, and a letter from the property owner at 801 8th Street Southeast stating that he is working the applicant in creating the shared driveway and updating the easement agreement. Any additional correspondence received after the publication of the staff report and prior to the public meeting will be forwarded on to the Planning Commission for consideration.

ANALYSIS

CONDITIONAL USE PERMIT

The Department of Community Planning and Economic Development has analyzed the application to allow a residential use in the IL/Industrial Living Overlay District based on the following findings:

1. *The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, comfort or general welfare.*

The project will not be detrimental to or endanger the public health, safety, comfort or general welfare of the surrounding area. Both block faces of 8th Street Southeast from 6th Avenue Southeast to 9th Avenue Southeast are lined with residential structures. The adjacent properties along 9th Street Southeast are also zoned I1/Light Industrial, which will limit the possibility of a heavy industrial use being located next door to the proposed residential use.

2. *The conditional use will not be injurious to the use and enjoyment of other property in the vicinity and will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.*

The project will not be injurious to the use and enjoyment of other property in the vicinity nor will it impede the normal and orderly development and improvement of surrounding property for uses permitted in the district. The applicant is proposing a residential use, which is a conditional use within the IL/Industrial Living Overlay District. Adjacent uses along 8th Street Southeast and to the south include a mixture of single and multiple-family dwellings. The applicant has made efforts to mitigate negative impacts by meeting the minimum off-street parking, setback, and bulk standards of the Minneapolis zoning code.

3. *Adequate utilities, access roads, drainage, necessary facilities or other measures, have been or will be provided.*

The project requires preliminary development review (PDR) approval, which will ensure that adequate utilities, access roads and drainage are provided.

4. *Adequate measures have been or will be taken to minimize traffic congestion in the public streets.*

Adequate measure has been taken to minimize traffic congestion in the public streets. The project is meeting their off-street vehicle parking requirement and exceeding their bicycle parking requirements.

5. *The conditional use is consistent with the applicable policies of the comprehensive plan.*

The proposed development would be consistent with the following general land use policies of *The Minneapolis Plan for Sustainable Growth*:

Land Use Policy 1.2: Ensure appropriate transitions between uses with different size, scale, and intensity.

1.2.1 Promote quality design in new development, as well as building orientation, scale, massing, buffering, and setbacks that are appropriate with the context of the surrounding area.

Land Use Policy 1.3: Ensure that development plans incorporate appropriate transportation access and facilities, particularly for bicycle, pedestrian, and transit.

1.3.1 Require safe, convenient, and direct pedestrian connections between principal building entrances and the public right-of-way in all new development and, where practical, in conjunction with renovation and expansion of existing buildings.

1.3.2 Ensure the provision of high quality transit, bicycle, and pedestrian access to and within designated land use features.

Housing Policy 3.1: Grow by increasing the supply of housing.

3.1.1 Support the development of new medium- and high-density housing in appropriate locations throughout the city.

Housing Policy 3.2: Support housing density in locations that are well connected by transit, and are close to commercial, cultural and natural amenities.

Environmental Policy 6.8: Encourage a healthy thriving urban tree canopy and other desirable forms of vegetation.

6.8.2 Achieve, at a minimum, no net loss of the urban tree canopy by maintaining and preserving existing trees and planting new trees on public and private property.

The Marcy-Holmes Neighborhood Master Plan (2014) provides additional guidance for the project site. There are five character areas within the master plan. The project site is within the West Side Character Area and borders the 9th Street Industrial Character Area. The project is in conformance with The Marcy-Holmes Neighborhood Master Plan as it will increase density in a sensitive manner by locating a four-story multifamily building next to other multifamily buildings without tearing down or comprising historic resources.

6. *The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.*

With the approval of the conditional use permit, the variance and the site plan review, this development will be in conformance with the applicable regulations of the zoning code.

VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance to increase percentage of compact parking spaces from 25 percent to 55 percent, based on the following [findings](#):

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

The minimum off-street parking requirement for the proposed 33-unit multi-family dwelling with 40 bedrooms is 20 spaces. At least 75 percent of the required parking spaces are required to comply with the minimum dimensions for standard spaces. For 90 degree parking spaces, as shown on the site plan, a standard space is 18 feet deep by eight feet six inches wide. Compact spaces are 15 feet deep by eight feet wide. The development is required to have 20 parking spaces, so at least 15 spaces are required to be standard spaces and five spaces would be allowed to be compact spaces. A total of 20 parking spaces, including one accessible space and 11 compact stalls are proposed. Because the proposed number of compact spaces exceeds the maximum number allowed to count toward meeting the minimum parking requirement, the applicant is requesting a variance.

Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The size of the site, unique shape of the lot, and absence of an alley limits where parking can be provided. By increasing the number of compact stalls, the development will provide additional green space/outdoor space on the property for residents.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The purpose of parking regulations is to provide for the parking needs of uses and structures and to enhance the compatibility between parking areas and their surroundings. With compact vehicles on the rise, opportunities exist to not only reduce required stall sizes, but to also allow for more compact parking spaces. Supporting the use of small vehicles and subsequently allowing more compact stalls is one of the ways to reduce the amount of impervious surfaces associated with the project and increase green space. The proposed amount of parking and compact stalls should be sufficient and encourages the use of alternative modes of transportation; this is in keeping with the spirit and intent of the ordinance and the comprehensive plan. Per 541.330, the compact parking spaces shall be labeled as such.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

Granting of the proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity nor will it be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties. If

granted, all maneuvering of vehicles will take place on the project site. The project will include a standard two-way drive aisle width of 22 feet, which will reduce the amount of maneuvering needed to get into a parking spot.

SITE PLAN REVIEW

The Department of Community Planning and Economic Development has analyzed the application based on the required [findings](#) and [applicable standards](#) in the site plan review chapter:

I. Conformance to all applicable standards of Chapter 530, Site Plan Review.

Building Placement and Design – *Requires alternative compliance*

- The placement of the building will reinforce the street wall along the north side of 8th Street Southeast; the buildings to the east and west of the project of the site are multi-family buildings placed near the front yard property line. The building placement will also maximize natural surveillance and visibility with glazing that exceeds the zoning code requirement. Furthermore, the proposed building will facilitate pedestrian access and circulation with walkways serving the front and rear entrances.
- The first floor of the building would be located four feet from the front lot line.
- The area between the building and the front lot line would include plantings and a covered front porch.
- The building is oriented with the principal entrance facing the public street, 8th Street Southeast.
- The on-site accessory parking would be located at the rear of the site.
- The building walls provide windows as required by Chapter 530 in order to create visual interest and to increase security of adjacent outdoor spaces by maximizing natural surveillance and visibility.
- The building includes architectural elements to divide the building into smaller identifiable sections. The building is 116 linear feet. The center 60 feet of the building projects approximately two feet from the main plane.
- No portion of the building has a blank uninterrupted wall that is 25 feet in length.
- The applicant is proposing limestone, brick, stucco panels, and seamless metal lap siding. Per the Minneapolis Guide to Exterior Building Walls and Materials, seamless metal lap siding is not considered a durable material. Alternative compliance is required. The Guide to Exterior Building Walls and Materials also outlines the percentage allowance of a building material on an elevation. The applicant's proposal for the limestone brick, and stucco panel is in compliance with the allowed percentages. (See Table 1). However, a maximum of three materials are allowed per elevation and the exterior appearance of the rear and side walls shall be similar and compatible with the front of the building. The applicant's proposing of four materials on the east and west sides of the building are not in compliance with the Guide to Exterior Building Walls and Materials. In addition, the appearance of the east, west, and north elevations is not similar in appearance of the front elevation. Alternative compliance is required.
- Plain face concrete block is not a proposed exterior material.
- The principal entrance is clearly defined and emphasized through the use of a porch that expresses the importance of the entrance. In addition to the main entrance facing 8th Street Southeast, the building has another access/exit point on the rear elevation. The project meets its fenestration requirement on the elevations that face a public street and on-site parking lot (see Table 2). The windows are vertical in proportion and are distributed in an even manner.
- None of the first floor along the public street is designed with inactive functions. The proposed building does have a bike storage facility at the front of the building; however, there is a bike

repair area in front of the bike storage area that provides an active use along 8th Street Southeast.

- The form and pitch of roof lines shall be similar to surrounding buildings. The proposed building has a hipped roof with dormers. The neighboring multiple-family dwellings and the industrial buildings have flat roofs. Alternative compliance is required.
- There is no proposed parking garage.

Table 1. Percentage of Exterior Materials per Elevation (excludes windows)

Material	Allowed max %	South (8 th)	North	East	West
Face brick	100%	20%	-	13%	13%
Limestone	100%	22%	1%	9%	9%
Fiber cement stucco panel less than 5/8 thick	30%	30%	29%	30%	30%
Metal lap siding	0%	-	50%	24%	24%

Table 2. Percentage of Windows Required for Elevations Facing a Public Street, Sidewalk, Pathway, or On-Site Parking

	Code Requirement		Proposed	
8 th Street SE				
1 st floor	20% minimum	186 sq. ft.	24%	219 sq. ft.
Upper floors	10% minimum	116 sq. ft.	24%	279 sq. ft.
Rear Elevation				
1 st Floor	20% minimum	186 sq. ft.	22%	203 sq. ft.
Upper floors	10% minimum	116 sq. ft.	22%	260 sq. ft.

Access and Circulation – Meets requirements

- The front entrance is connected to the 8th Street Southeast sidewalk by a walkway and stairs that are six feet in width; the building’s rear entrance is connected to the parking facility at the back of the site by a six-foot wide walkway.
- There will not be a transit shelter on the project site.
- Vehicular access and circulation is designed to minimize conflicts with pedestrian traffic and surrounding residential uses. The project site will maintain having only one curb cut and all maneuvering will take place onsite.
- The project site does not have alley access.
- The site plan minimizes the use of impervious surfaces and exceeds the 20 percent landscape requirement.

Landscaping and Screening – Requires alternative compliance

- The composition and location of landscaped areas complement scale of development and surroundings. The applicant is proposing to have landscaping along the front and sides of the building and at the rear of the site. To the west of the surface parking lot is a contiguous green space that could be an amenity to the residents.
- The project site meets the landscape percentage, tree, and shrub minimums (see Table 3). However, CPED encourages the applicant to plant more canopy trees and shrubs.
- The project will meet the required screening requirement with a six-foot high cedar wood fence that screens the surface parking area from the residential property to the east. The wood fence

also extends along the northern and western edge of the property line. There will be no parking and loading facilities located along a public street, public sidewalk or public pathway.

- A seven-foot landscaped yard is required between the surface parking lot and the eastern property line since it abuts a conditional residential use. The applicant is proposing a five-foot landscaped yard for a portion of this area. Alternative compliance is required.
- The corner of the parking lot where there is no parking or vehicular circulation will be landscaped with turf grass, shrubs, and trees.
- The 20-space surface parking lot is designed to not have a parking space more than 50 feet from the center of an on-site deciduous tree. To meet this requirement there is a tree placed within a pervious paver area that separates the driveway from the off-street parking spaces. Alternative compliance is required to allow the tree at this location without a seven-foot wide tree island.
- As conditioned, all other areas not governed by Section 530.160 and 530.170 and not occupied by buildings, parking and loading facilities or driveways shall be covered with turf grass, plants, mulch, shrubs or trees. In addition, the installation and maintenance of all landscape materials shall comply with the standards outlined in section 530.210.

Table 3. Landscaping and Screening Requirements

	Code Requirement	Proposed
Lot Area	--	16,905 sq. ft.
Building footprint	--	5,942 sq. ft.
Remaining Lot Area	--	10,963 sq. ft.
Landscaping Required	2,193 sq. ft.	2,890 sq. ft.
Canopy Trees (1: 500 sq. ft.)	4 trees	5 trees
Shrubs (1: 100 sq. ft.)	22 shrubs	22 shrubs

Additional Standards – Meets requirements

- The perimeter of the parking lot and driveway is defined by a six inch by six inch continuous concrete curb. The project includes a pervious paver area in the surface parking lot area that will assist with stormwater retention and infiltration.
- The site plan minimizes the blocking of views of important elements of the city.
- The building is located and arranged to minimize shadowing on public spaces and adjacent properties.
- The building will not have a significant impact on wind currents at ground level.
- The site plan includes crime prevention design elements as specified in section 530.260. This includes natural surveillance and visibility with a greater amount of windows than required, territorial reinforcement with the landscaping between the building and property line as well as the fence along the parking/driveway and western property line, and natural access control with the front entrance leading directly to the 8th Street Southeast sidewalk.
- The project site does not contain a locally designated historic structure or structure determined to be eligible to be locally designated.

2. Conformance with all applicable regulations of the zoning ordinance.

The proposed use is *conditional* in the Industrial Living Overlay District.

Off-street Parking and Loading – Requires variance(s)

- The project complies with the minimum number of off-street parking spaces. Table 541-1 requires one off-street parking space per dwelling. However, since the project is within the

UA/University Area Overlay District, the minimum off-street parking requirement is one-half parking space per bedroom (55 I.1320). Therefore, the 40-bedroom apartment building requires 20 off-street parking spaces, which is the amount proposed.

- The project does require a variance for the number of compact parking spaces that are proposed (see variance section above). Per 54 I.330, 75 percent of the required parking spaces shall comply with the minimum dimensions for standard spaces (8.5' by 18' when parked at a 90 degree angle). The applicant is proposing to have 45 percent of their required parking be standard spaces and 55 percent of the required parking spaces as compact spaces (8.5' by 15').
- Per Table 541-1, there is not a maximum parking allowance for a residential use. Per 541.450, the maximum number of unenclosed parking spaces is limited to two spaces per unit. The proposed project will not exceed this requirement as it will be providing 20 surface parking spaces for a 33-unit building.
- The off-street parking will comply with section 537.80 in that the detached accessory buildings for parking and open parking spaces are at least six feet from the habitable space of a dwelling.
- The driveway width measured at the property line is 20 feet, which is in compliance with the 12-foot minimum and 25-foot maximum width requirements outlined in section 541.240 (c). The two-way drive aisle for the off-street parking area is 22 feet, which meets the zoning code requirement (541.330).
- The project exceeds the University Area Overlay District minimum bicycle and motorized scooter parking requirement of at least one bicycle or motorized scooter parking space per bedroom (55 I.1330). The project includes parking for 42 bicycles (36 inside the building and 6 outside) and four motorized scooters. The project also meets the requirement that 90 percent of the bike parking spaces be in an enclosed area that is accessible for intended users as 36 of the 40 required bike parking spaces will be in a bike storage and repair room on the first floor.
- Per Table 541-9, there is not an off-street loading requirement for a 33-unit apartment building.

Table 4. Vehicle Parking Requirements Per Use (Chapter 541)

	Minimum Parking Requirement	Applicable Reductions	Total Minimum Requirement	Maximum Parking Allowed	Proposed
Residential dwellings	20	N/A	20	--	--
Total	--	--	20	N/A	20

Table 5. Bicycle Parking and Loading Requirements (Chapter 541)

	Minimum Bicycle Parking	Minimum Short-Term	Minimum Long-Term	Proposed	Loading Requirement	Proposed
Residential dwellings	40	--	Not less than 90%	36 long-term 6 short term	None	none

Building Bulk and Height – Meets requirements

- The building is in compliance with the building bulk and height requirements.
- The hipped roof building is a four-story building, which is allowed in the II zoning district.
- The hipped roof building is 49.35 feet tall as defined by the Minneapolis zoning code, which is below the 56-foot height requirement in the II zoning district. The natural grade 10 feet from the center of the building is 841 feet above sea level. The top of the first floor slab is 842.75 feet

above sea level. The height of the building from the first floor slab to the midpoint between the eave edge and the roof ridge level is 47.5 feet (890.35 feet above sea level).

Table 6. Building Bulk and Height Requirements

g	Code Requirement	Proposed
Lot Area	--	16,905 sq. ft. / 0.39 acres
Gross Floor Area (GFA)	--	24,126 sq. ft.
Maximum Floor Area Ratio (GFA/Lot Area)	2.7	1.4
Maximum Building Height	4 stories or 56 feet, whichever is less	49.35 ft.

Residential Lot Requirements – Meets requirements

- The project site meets the IL Overlay District’s minimum lot area requirement of 5,000 square feet ([551.380](#)). There is no minimum lot width requirement in the IL Overlay District for residential uses.

Table 7. Residential Lot Summary

	Code Requirement	Proposed
Dwelling Units (DU)	--	33 DUs
Density (DU/acre)	--	85 DU/acre
Minimum Lot Area	5,000	16,905
Minimum Lot Width	N/A	146 ft.

Yard Requirements – Meets requirements

- The neighboring properties on the east and west are zoned industrial. The parcel to the east, 801 8th Street Southeast, has a multifamily residential structure. The parcel to the west, 715 8th Street Southeast is vacant. Per section [550.160](#), the project site has a front yard setback of 0.65 feet only for the first 25 linear feet that borders the residential parcel at 801 8th Street Southeast. The proposed building will be setback four feet from the front property line for the first 40 feet. An open front porch is proposed to extend two feet beyond the front property line. An encroachment permit will be required for this proposed feature.
- The parcel to the east, 801 8th Street Southeast, has a residential structure, therefore, a side yard of not less than five (5) plus two (2) feet for every story above the first shall be provided along such side lot line. Therefore, the four story building is subject to an 11-foot side yard requirement along the eastern property line. The project site does not have a required side yard setback along the western property line. The trash enclosure is five feet from the eastern property line, which complies with the yard requirements outlined in [550.160](#).
- The neighboring properties to the north are zoned industrial and are nonresidential uses. Therefore, per section [550.160](#), there is not a required rear yard setback.

Table 8. Minimum Yard Requirements

	Zoning District	Overriding Regulations	Total Requirement	Proposed
Front	0 ft.	0.65 ft.	0.65 ft. for the first 25 feet from 801 8 th Street SE	4 ft. for the first 40 feet from 801 8 th Street SE
Interior Side (East)	0 ft.	11 ft.	11 ft.	14.5 ft.
Interior Side (West)	0 ft.	N/A	0 ft.	11 ft.
Rear	0 ft.	N/A	0 ft.	65 ft.

Signs – Not applicable

- No signs are proposed as part of the apartment building project.

Refuse Screening – Meets requirements

- Per [535.80](#), refuse and recycling storage containers shall be enclosed on all four (4) sides by screening compatible with the principal structure not less than two (2) feet higher than the refuse container or shall be otherwise effectively screened from the street, adjacent residential uses located in a residence or office residence district and adjacent permitted or conditional residential uses. The project includes an exterior refuse and recycling area in the northeastern portion of the lot. The proposed screening of the refuse and recycling area will be 6'-6" tall and be built of wood (Cedar).

Screening of Mechanical Equipment – Meets requirements

- The applicant is proposing that each of the units have heating and air conditioning units underneath the windows. The applicant is not showing any rooftop mechanical nor utility boxes/transformers on the site.

Lighting – Meets requirements with Conditions of Approval

- The project includes lights within the open front porch underneath the roof canopy and two pole lights within the surface parking area. The lighting plan appears to meet the requirements outlined in section 535.590 as the lights are not in excess of ½ footcandle measured at the closest property line of the residential property to the east, nor 5 footcandles measured at the street curb line. As a condition of approval, the lights poles shall not exceed 35 feet in height (per section 535.110) and the lights shall not create a sensation of brightness that is substantially greater than ambient lighting conditions as to cause annoyance, discomfort or decreased visual performance or visibility to a person of normal sensitivities when viewed from any permitted or conditional residential use.

Impervious Surface Area – Not applicable

- The industrial zoning districts do not have a maximum impervious surface calculation.

Accessory Uses– *Meets requirements*

- The project includes a partially covered parking structure for mopeds and bikes in the northwestern portion of the lot that will be 12 feet in height and 370 square feet in area. This structure is located more than six feet from the residential building, is not located within any required yard, and is in compliance with the maximum height and floor area requirements for accessory structures in the industrial zoning district.

Specific Development Standards – *Not applicable*

- The proposed multiple family dwelling is not subject to the multiple family dwelling specific development standards as it does not have units with three or more bedrooms and is not located within the R5 or R6/Multiple Family Districts and is within the UA/University Area Overlay District.

IL/Industrial Living and UA/University Area Overlay District Standards – *Meets requirements*

- Residential uses are a conditional use within the IL Overlay District. CPED is supportive of the conditional use permit application for this project as outlined above. The project is in compliance with the minimum lot area requirement of 5,000 square feet for a residential use in the IL Overlay District (55 I.380).
- The project is in compliance with the applicable UA/University Area Overlay District standards. The project will meet the minimum off-street vehicle parking required as outlined in 55 I.1320 and the minimum bicycle and motorized scooter parking as outlined in 55 I.1330.

3. Conformance with the applicable policies of *The Minneapolis Plan for Sustainable Growth*.

The Minneapolis Plan for Sustainable Growth identifies the site as an urban neighborhood area on the future land use map. The urban neighborhood designation has predominately residential area with a range of densities. The proposed development is consistent with the land use, housing and environmental principles and policies outlined in Finding 5 of the conditional use permit and the following urban design principles and policies:

Urban Design Policy 10.4: Support the development of residential dwellings that are of high quality design and compatible with surrounding development.

10.4.2 Promote the development of new housing that is compatible with existing development in the area and the best of the city’s existing housing stock.

Urban Design Policy 10.6: New multi-family development or renovation should be designed in terms of traditional urban building form with pedestrian scale design features at the street level.

10.6.1 Design buildings to fulfill light, privacy, and view requirements for the subject building as well as for adjacent properties by building within required setbacks.

10.6.6 Integrate transit facilities and bicycle parking amenities into the site design.

Urban Design Policy 10.18: Reduce the visual impact of automobile parking facilities.

10.18.1 Require that parking lots meet or exceed the landscaping and screening requirements of the zoning code, especially along transit corridors, adjacent to residential areas, and areas of transition between land uses

10.18.3 Locate parking lots to the rear or interior of the site

10.18.4 Provide walkways within parking lots in order to guide pedestrians through the site.

Urban Design Policy 10.19: Landscaping is encouraged in order to complement the scale of the site and its surroundings, enhance the built environment, create and define public and private spaces, buffer and screen, incorporate crime prevention principles, and provide shade, aesthetic appeal, and environmental benefits.

10.19.1 In general, larger, well-placed, contiguous planting areas that create and define public and private spaces shall be preferred to smaller, disconnected areas.

Urban Design Policy 10.22: Use Crime Prevention Through Environmental Design (CPTED) principles when designing all projects that impact the public realm, including open spaces and parks, on publicly owned and private land.

10.22.1 Integrate “eyes on the street” into building design through the use of windows to foster safer and more successful commercial areas in the city.

10.22.2 Orient new housing to the street to foster safe neighborhoods.

10.22.3 Design the site, landscaping, and buildings to promote natural observation and maximize the opportunities for people to observe adjacent spaces and public sidewalks.

10.22.5 Locate landscaping, sidewalks, lighting, fencing and building features to clearly guide pedestrian movement on or through the site and to control and restrict people to appropriate locations.

10.22.7 Locate entrances, exits, signs, fencing, landscaping, and lighting to distinguish between public and private areas, control access, and to guide people coming to and going from the site.

4. Conformance with applicable development plans or objectives adopted by the City Council.

As stated in Finding 5 of the conditional use permit, the project is in compliance with the applicable policies and goals of the Marcy-Holmes Neighborhood Master Plan (2014).

5. Alternative compliance.

The Planning Commission or zoning administrator may approve alternatives to any site plan review requirement upon finding that the project meets one of three criteria required for [alternative compliance](#). Alternative compliance is requested for the following requirements:

- **Nondurable material:** The applicant is proposing seamless metal lap siding on the east, west, and north elevations. Per the [City of Minneapolis, Guide to Exterior Building Walls and Materials](#), metal panels are a durable material; however, seamless metal lap siding is not considered a durable material. CPED is recommending that the Planning Commission not provide alternative compliance in allowing metal lap siding on the proposed building.
- **More than three materials on an elevation (east and west) and the exterior materials on side and rear walls shall be compatible with the front elevation:** The applicant is proposing to have three exterior materials on the front elevation (8th Street Southeast): limestone, brick, and stucco panels. On the east and west elevations, the applicant is proposing to have four exterior materials: limestone, brick, metal siding, and stucco panels. On the north elevation, the applicant is proposing metal lap siding and stucco. Per the [City of](#)

[Minneapolis, Guide to Exterior Building Walls and Materials](#), buildings should not include more than three exterior materials on an elevation (excluding windows, doors and foundation materials). Having three or fewer durable exterior building materials for an elevation is a traditional building design practice for residential structures. The applicant's proposal with four exterior materials on the east and west elevations does not blend in well with the neighboring residential properties along 8th Street Southeast, which typically have one or two materials on all elevations nor with the industrial buildings along 9th Street Southeast, which typically have one building material. In addition, the applicant's proposal to have metal lap siding on the side and rear elevations is not compatible with project's primary elevation. CPED is recommending that the Planning Commission not provide alternative compliance for having four exterior materials on the east and west elevations. CPED is also recommending that the applicant replace the metal lap siding with limestone on the first floor and brick on floors two and three on the east, west and north elevations, like is proposed for the primary elevation. By making this modification, it will simplify the design by reducing the number of exterior materials from four to three on the east and west elevations. It will also ensure that the side and rear elevations are compatible with the front elevation and the new building blending in better with the existing residential fabric and keep with traditional building design practice for residential structures.

- **The form and pitch of roof lines shall be similar to surrounding buildings.** The proposed building has a hipped roof with dormers. The neighboring multiple-family dwellings and the industrial buildings from 6th Avenue Southeast to 9th Avenue Southeast have flat roofs. Alternative compliance is required. The intent of this site plan review standard for roof styles is to help new construction relate to its immediate surroundings. The applicant completed an analysis of buildings in the neighboring area and states that 85 percent of the buildings in the studied area have pitched roofs. In this analysis, the applicant included the low-density residential properties (i.e. non-apartment buildings) and excluded the flat-roof industrial buildings along 9th Street Southeast. CPED is recommending that the Planning Commission not provide alternative compliance to allow for the pitched roof and that the building shall have a flat roof. The flat roof will help the proposed building better relate to the other apartment buildings in the area, the immediate neighbors on the east and west of the projects site and industrial buildings in the immediate area. Furthermore, it will reduce the overall height of the building, which will help it better relate to the two and three story buildings in the area.
- **Seven foot landscape yard between the off-street parking area and the residential property to the east.** A seven-foot landscaped yard is required between the surface parking lot and the eastern property line since it abuts a conditional residential use. The applicant is proposing a five-foot landscaped yard for a portion of this area. Alternative compliance is required. The intent of the landscaped yard provision is to help reduce the negative visual impact of off-street parking next to neighboring residential uses. The applicant's proposal of a five-foot landscaped yard is next to a garage on the neighboring property to the east and more than 60 feet from the neighboring residential building. The location of the reduced landscaped yard will not have an impact on the neighboring residential building. Therefore, CPED is recommending that the Planning Commission grant alternative compliance.
- **Tree island width of seven feet.** The applicant is proposing a tree at the eastern side of the parking lot that will be surrounded by pervious pavers; there will be no landscaped tree island. The applicant is proposing a tree at this location to help comply with the requirement that all parking spaces be 50 feet or less from an on-site deciduous tree. This site plan requirement is in a place to provide sufficient room for the trees to gain water and have their root system grow and to break up the non-landscaped areas of a parking lot. CPED is recommending the Planning Commission not provide alternative compliance to allow for the tree placement without a seven-foot wide, landscaped tree island. There is sufficient room to provide a tree island. In addition, a landscaped tree island will help break up the non-landscaped area of the parking area.

RECOMMENDATIONS

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt staff findings for the applications by Dinkytown Rentals, LLC, for the properties located at 721-729 8th Street Southeast:

A. Conditional Use Permit to allow for a residential use in the IL/Industrial Living Overlay District.

Recommended motion: **Approve** the conditional use permit subject to the following condition:

1. The conditional use permit shall be recorded with Hennepin County as required by Minn. Stat. 462.3595, subd. 4 before building permits may be issued or before the use or activity requiring a conditional use permit may commence. Unless extended by the zoning administrator, the conditional use permit shall expire if it is not recorded within two years of approval.

B. Variance to increase the percentage of allowable compact off-street parking spaces from 25 percent to 55 percent.

Recommended motion: **Approve** the variance to increase the percentage of allowable compact off-street parking spaces from 25 percent to 55 percent, with the following condition:

1. Per 541.330, the compact parking spaces shall be labeled as such.

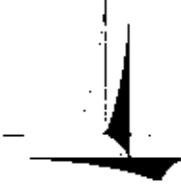
C. Site Plan Review to allow for the construction of a four-story, 33-unit apartment building.

Recommended motion: **Approve** the site plan review to allow for the construction of a four-story, 33-unit apartment building with the following conditions:

1. As conditioned, all other areas not governed by Section 530.160 and 530.170 and not occupied by buildings, parking and loading facilities or driveways shall be covered with turf grass, plants, mulch, shrubs or trees. In addition, the installation and maintenance of all landscape materials shall comply with the standards outlined in section 530.210.
2. An encroachment permit will be required for the open front porch.
3. Per 535.110 and 535.590, the lights poles shall not exceed 35 feet in height and the lights shall not create a sensation of brightness that is substantially greater than ambient lighting conditions as to cause annoyance, discomfort or decreased visual performance or visibility to a person of normal sensitivities when viewed from any permitted or conditional residential use.
4. Per the [City of Minneapolis Guide to Exterior Building Walls and Materials](#), the proposed metal lap siding is not allowed and shall be replaced with limestone on the first floor and brick on floors two and three on the east, west and north elevations, like is done on the south elevation.
5. Per 530.120 (c), the pitched roof on the primary building shall be replaced with a flat roof.
6. Per 530.170 (e), a seven-foot wide landscaped tree island shall be installed within the parking area to accommodate the on-site deciduous tree.

ATTACHMENTS

1. PDR report
2. Written description and findings submitted by applicant
3. Correspondence
4. Zoning map
5. Plans – survey, site landscape, civil, elevations
6. Aerials, photos and comparison of flat/pitched roof



Minneapolis Development Review
250 South 4th Street
Room 300
Minneapolis, MN 55415

Preliminary Development Review Report

Development Coordinator Assigned: **MATTHEW JAMES**
(612) 673-2547
matthew.james@minneapolismn.gov

Status *
RESUBMISSION REQUIRED

Tracking Number:	PDR 1001292
Applicant:	WELLS AND COMPANY ARCHITECTS 3346 HENNEPIN AVE S MINNEAPOLIS, MN 55408
Site Address:	721 8TH ST SE 725 8TH ST SE 729 8TH ST SE
Date Submitted:	17-MAR-2015
Date Reviewed:	25-MAR-2015

Purpose

The purpose of the Preliminary Development Review (PDR) is to provide Customers with comments about their proposed development. City personnel, who specialize in various disciplines, review site plans to identify issues and provide feedback to the Customers to assist them in developing their final site plans.

The City of Minneapolis encourages the use of green building techniques. For additional information please check out our green building web page at: http://www.ci.minneapolis.mn.us/mdr/GreenBuildingOptions_home.asp.

DISCLAIMER: *The information in this review is based solely on the preliminary site plan submitted. The comments contained in this report are preliminary ONLY and are subject to modification.*

Project Scope

Demolish a single family home and build a new 33 unit (16,905 sq. ft.) apartment building.

Review Findings (by Discipline)

Historical Preservation Committee

- There is no HPC flag on this property. HPC review is not required at this time. HPC review is required for any wrecking permits pertaining to the removal of existing structures.

*Approved: You may continue to the next phase of developing your project.

*Resubmission Required: You cannot move forward or obtain permits until your plans have been resubmitted and approved.

❑ Business Licensing

- There is no Minneapolis Business Licensing review required for the proposed project.

❑ Addressing

- Per City of Minneapolis Street Naming and Address Standard V1.22, the City of Minneapolis holds authority for assignment of all addresses, verification, change, and/or additions. Each assigned address number uses the street that provides the best/direct access for life safety equipment and best/direct access to the occupants.
- The address for the proposed 8th Street Apartments building will be 725 8th Street SE. This address meets the City of Minneapolis Street Naming and Address Standard requirements.
 - When assigning suite sequences the following guidelines are as follows:
 - The first one to two digits of the suite sequence number will designate the floor number of the site.
 - The last two digits of the suite sequence number will designate the unique ID for the unit (condo, suite, unit, or apartment).
 - Suite sequence digit numbers will be assigned to dwelling, commercial and retail units, not common areas. For example, laundry rooms, saunas, workout rooms, etc., would not be assigned numbers.
 - Please provide each condo, suite, unit or apartment number.

❑ Parks - Forestry

- Contact Craig Pinkalla (612-499-9233 cpinkalla@minneapolisparks.org) regarding any questions related to planting, removal or the process for protection of trees during construction in the city right of way.
- Effective January 1, 2014, the City of Minneapolis and the Minneapolis Park and Recreation Board adopted an update to the existing Parkland Dedication Ordinance. The adopted City of Minneapolis Parkland Dedication ordinance is located in Section 598.340 of the City's Land Subdivision ordinance:
 - <http://library.municode.com/index.aspx?clientId=11490>
- As adopted, the fee in lieu of dedication for new residential units is \$1,500 per unit (affordable units excluded per ordinance) and for commercial and industrial development it is \$200 per development employee (as defined in ordinance). Any dedication fee (if required) must be paid at the time of building permit issuance.
- There is also an administration fee that is 5% of the calculated park dedication fee.
- As proposed, for your PROJECT, the calculated dedication fee is as follows:
 - Park Dedication Fee Calculation =

• Residential (33 units x \$1,500 per unit)	= \$49,500
• less 1 existing residential unit	= -\$ 1,500
• 5% of \$XX (Administration Fee)	= \$ 1,000
• Total Park Dedication Administrative Fee:	= \$49,000
- This is a preliminary calculation based on your current proposal; a final calculation will be made at the time of building permit submittal.
- For further information, please contact Matthew D. James at 612-673-2547.
-

❑ Zoning - Planning

- Project requires the following land use applications:
 - Conditional use permit for a residential building in the IL/Industrial Living Overlay District.
 - Variance to increase the percentage of compact parking spaces from 25 percent to 55 percent.
 - Site plan review
- The City Planning Commission completed an informal review of the project at their Committee of the Whole meeting on March 19. Site plan review comments from the Commission included the following: Reduce the width of driveway/curb cut for bike and vehicles and possibly look at flipping the ramp to the other side of the building.
- The project is on track to be reviewed by the City Planning Commission on April 27.

❑ Right of Way

- An encroachment permit shall be required for all streetscape elements in the Public right-of-way such as: plants & shrubs, planters, tree grates and other landscaping elements, sidewalk furniture (including bike racks and bollards), and sidewalk elements other than standard concrete walkways such as pavers, stairs, raised landings, retaining walls, access ramps, and railings (NOTE: railings may not extend into the sidewalk pedestrian area). Please contact Bob Boblett at (612) 673-2428 for further information.
- Note to the Applicant: Any elements of an earth retention system and related operations (such as construction crane boom swings) that fall within the Public right-of-way will require an encroachment permit application. If there are to be any earth retention systems which will extend outside the property line of the development then a plan must be submitted showing details of the system. All such elements shall be removed from the Public right-of-way following construction with the exception of tie-backs which may remain but must be uncoupled and de-tensioned. Please contact Bob Boblett at (612) 673-2428 for further information.
- The site plan references two (2) driveway easement documents for the shared access between adjacent parcels (729 and 801 8th St. S.E.), and provides for drive improvements at this location. The Applicant shall provide copies of the easement documents and documentation that the adjacent property owner has approved the proposed improvements.

❑ Street Design

- The Demolition Plan (Sheet C1) shall clearly identify removal of all existing curb cuts along 8th St. S.E. that are proposed for removal.
- For detailed information related to City of Minneapolis standard specifications, details, and standard plates refer to the following: <http://www.minneapolismn.gov/publicworks/plates/index.htm>
- Sheet C-2 identifies a "metal grate" in the Public right-of-way, adjacent to the proposed curb cut along 8th St. S.E. with no explanation of its purpose. Is the "metal grate" intended as an ADA Pedestrian Ramp truncated dome grate? If so, an ADA truncated dome grate should not be installed in this location as it is not required by ADA or City of Minneapolis specifications. The Applicant shall provide an explanation/justification of the grates purpose.
- The proposed curb cut is designed at a width wider than the proposed driveway width; the curb cut width shall be limited to the width of the proposed driveway. All driveway aprons shall be designed and constructed to City standards. All driveway aprons shall be shown graphically correct on all related plan sheets and include references to the appropriate City standard details. Please refer to the following: http://www.minneapolismn.gov/publicworks/plates/public-works_road. Add all of the appropriate details from the ROAD-2000 Series: Driveways (ROAD-2000, ROAD-2001, ROAD-2002, ROAD-2003) to the plans.
- All curb & gutter in the Public right-of-way shall be designed and constructed to City standards, curb & gutter to be City standard B624 Curb and Gutter. Areas of curb replacement shall be clearly identified and include references to the appropriate City standard details.

❑ Sidewalk

- The plan as re-submitted meets the requirements of the Public Works Sidewalk Inspections Division.
- Note to the Applicant: Any public sidewalk or other concrete infrastructure in the public right of way that is currently defective, or that is damaged during construction must be removed and replaced.

❑ Traffic and Parking

- Current ordinance states that all maneuvers associated with loading, parking or sanitation pick up for a private development shall occur on private property. Please provide a narrative explaining the trash removal operations and show turning maneuvers for all truck type vehicles that will be using the parking entrance areas.
- Per City Ordinance the Applicant shall provide for (and identify) a solid waste collection point (SWCP) on the site plans. The location of the SWCP is subject to the review and approval of the Public Works Department.

- Please contact Bill Prince at (612) 673-3901 regarding existing and proposed street lighting. All street lighting (existing and proposed) shall be shown clearly on the site plan.
- Note to the Applicant: Please add the following notes to the site plan:
 - Street lighting installed as part of the Project shall be inspected by the City. Contractors shall arrange for inspections with the Traffic Department, please contact Dave Prehall at (612) 673-5759 for further information. Any lighting installations not meeting City specifications will be required to be reinstalled at Owner expense.
 - An obstruction permit is required anytime construction work is performed in the Public right-of-way. Please contact Scott Kramer at (612) 673-2383 regarding details of sidewalk and lane closures. Log on to <http://minneapolis.mn.roway.net/> for a permit.
 - Contact Allan Klugman at (612) 673-2743 prior to construction for the temporary removal/temporary relocation of any City of Minneapolis signal system that may be in the way of construction.
 - All costs for relocation and/or repair of City Traffic facilities shall be borne by the Contractor and/or Property Owner.
 - Contact Doug Maday at (612) 673-5755 prior to construction for the removal of any City of Minneapolis right of way signs that may be in the way of construction.

□ Water

- All existing and proposed underground Public Utilities (water, sanitary sewer, and storm drain) shall be shown on the site plan with corresponding pipe sizes and types. For Public watermain infrastructure records call (612) 673-2865. Any existing connections not in use shall be noted on the plans for removal, and shall be removed per the requirements of the Utility Connections Department, call (612) 673-2451 for more information.
- Domestic water and fire service connections should run in a line perpendicular from the watermain straight into the proposed building to the meter location. This style combination line not allowed in Minneapolis, the tee would need to be set inside the building. The general/domestic line can be no larger than one quarter of the size of the fire on a combination in Minneapolis. Please contact Rock Rogers at (612) 673-2286 to confirm domestic water and fire service layout, manhole construction, connections, and sizes.

□ Sewer Design

- Stormwater Management: It is highly recommended that any proposed infiltration features be designed in accordance with the MN Stormwater Manual and that an operations and maintenance plan be developed. These items will help ensure proper design of the features and ensure they continue to operate efficiently in the future.
- City records indicate the site may consist of clay soils, which may not be suitable for infiltration. It is highly recommended that geotechnical investigations be conducted at the site to determine the suitability of infiltration.
- Surface Drainage: Please identify the location of any proposed roof drain or downspout discharges and any proposed foundation or drain tile connections or discharges.
- There are several locations where the proposed grading does not make sense. It either does not feasibly tie back into the existing conditions or spot elevations conflict with contours. Please correct these discrepancies.
- Utility Connections: The proposed sanitary sewer service appears to be extremely shallow and the invert of the service at the main appears to be significantly higher than the main. The service should connect at the middle third of the main and the slope of the service should be such that the velocity in the pipe is 15 feet per second or less. The service should also be deep enough to prevent freezing. Please identify the inverts of the proposed service connection at the main and of the main at the connection point.
- The proposed sanitary sewer service connection to the City main should be core-drilled and a saddle tee fitting installed, per City of Minneapolis Standard Supplemental Specifications.
- The drain tile proposed on the west side of the property must be daylighted within the property boundaries and not extend into the right-of-way. The purpose of this drain tile is not clear.

- Erosion Control: There appear to be areas proposed to be disturbed outside the proposed silt fence location. Perimeter sediment control should be provided around the complete perimeter of the land disturbing activity where runoff will potentially leave the site. Please also clearly identify the disturbed area and provide the square footage.
- Non Stormwater Discharges: Detail all mechanical and non-stormwater discharges. Non-stormwater discharges are not permitted unless approved by the City of Minneapolis. Non-stormwater discharges not declared and approved will not be permitted. If there currently are none and nothing is proposed declare this status on the plans.
- For comments or questions on Public Works Surface Water & Sewers Division related requirements please contact Jeremy Strehlo, (Professional Engineer) at (612) 673-3973, or jeremy.strehlo@minneapolismn.gov.

❑ Construction Code Services

- Exit discharge shall extend to public way. Locked gate not permitted along west side of site.
- Provide details for curb ramp at accessible parking stall to demonstrate that ramp does not interfere with access aisle and that slopes comply with Minnesota Accessibility code.
- Indicate location of accessible parking stall and access aisle signage on plans.
- Retaining walls greater than 4 feet in height, measured from bottom of footing to top of wall, shall be designed by a Minnesota Licensed Engineer.
- Guard is required for all walking surfaces where the grade difference is more than 30".
- Clarify extent of work to remove concrete platform on adjacent property.
- Front canopy roof and supporting structure are located or extend beyond the property line. Although not Site Plan related, the following building code items should be noted regarding the floor plans attached for PDR
- Building exceeds height and story limitations for the construction type listed on sheet T-1.
- Doors in a series require 4' clearance between the doors, see entry vestibules.
- Toilet room adjacent to owners office is not accessible; toilet rooms are required to be accessible.
- 2% (but not less than 1) of dwelling units shall be type A. All other dwelling units shall be type B. A number of the units do not appear to meet these requirements.
- A Service Availability Charge (SAC) determination will need to be submitted to the Metropolitan Council for the proposed project. Please refer to this link for more information or Contact Karon Cappaert at (651) 602-1118 or karon.cappaert@metc.state.mn.us.
http://www.ci.minneapolis.mn.us/mdr/docs/sac_availability_charge.pdf
- A Service Availability Charge (SAC) determination will need to be submitted to the Metropolitan Council for the proposed project. Please refer to this link for more information or Contact Karon Cappaert at (651) 602-1118 or karon.cappaert@metc.state.mn.us.
http://www.ci.minneapolis.mn.us/mdr/docs/sac_availability_charge.pdf.

❑ Fire Safety

- Provide required fire sprinklers throughout building.
- Fire department connection must be located on the address side of building and within 150 feet of a fire hydrant.
- Provide required fire alarm system throughout building.
- Maintain fire department apparatus access at all times.

❑ Environmental Health

- If impacted soil is encountered during site activities work will need to stop and notification provided to the MN State Duty officer at (651) 649-5451.
- If dewatering is required during site construction see below for city permit requirements. The scope of work calls for underground parking. The highest groundwater level expected for this site should be determined and used in establishing the lowest level for underground parking. The underground parking and other subgrade structures should be designed to prevent infiltration of groundwater without the need for a permanent

dewatering system being installed. If a continuously operating permanent dewatering system is needed it must be approved as part of the sanitary sewer and storm drain site plan approval prior to construction beginning.

- No construction, demolition or commercial power maintenance equipment shall be operated within the city between the hours of 6:00 p.m. and 7:00 a.m. on weekdays or during any hours on Saturdays, Sundays and state and federal holidays, except under permit. Contact Environmental Services at (612) 673-3867 for permit information.
- Permits and approval are required from Environmental Services for the following activities: Temporary storage of impacted soils on site prior to disposal or reuse; Reuse of impacted soils on site; Dewatering and discharge of accumulated storm water or ground water, underground or aboveground tank installation or removal, well construction or sealing. Contact Tom Frame at (612) 673-5807 for permit applications and approvals.
- A review of the project, permits issued and an inspection from Environmental Service for identification of equipment and site operations that require annual registration with the City of Minneapolis will occur for this project.

END OF REPORT

March 10, 2015

Aaron Hanauer
Senior City Planner
250 South 4th Street, Room 300
Minneapolis, MN 55415

Re: Land Use Application for New Housing Development 729 8th St SE, Minneapolis

Dear Aaron Hanauer and Minneapolis Planning Commissioners:

My office is pleased to submit a proposal for a new housing development in the Marcy-Holmes Neighborhood at 721, 725, and 729 8th St SE. The new development will remove an existing rental property on 729 8th St SE. The other two parcels: 721 and 725 8th St SE are vacant lots. The existing house at 729 8th St SE is heavily damaged from a flood and needs to be demolished soon. Minneapolis Zoning staff reviewed the existing house on site and determined the house does NOT meet the definition of a historic resource (BZH-28555).

The Applicant proposes a new residential 4 story apartment building, with 33 units, 40 bedrooms and 20 parking spaces. The unit mix will be (7) 2-Bedroom units, (15) 1-Bedroom units, and (11) studios. The goal of the project is to design affordable bike friendly housing and encourage a variety of transportation types. The project includes bike storage and repair room at the front of the building, a covered trellis at the rear for moped parking, and the building is located next to a bus stop 200' away from the site. All bikes, cars, and mopeds, in the rear of the lot will be screened with a cedar wood fence and additional landscaping and trees as required. We are adding 5 new trees on site.

The development team met with the Marcy-Holmes Neighborhood Land Use Committee on March 3, 2015 and the neighborhood group voted unanimously to support the project. The Applicant also has a letter of support from adjacent property owner.

The proposed project schedule is:

March 3 - Meet with Neighborhood Group
March 11 - PDR / Zoning. Submit Plans
March 19 - Meet with Committee of the Whole (COW)
April 13 - Public Hearing (CPC)
July 1 - Start Construction

The applicant will continue to work with City Staff, The Neighborhood Group, and Planning Commissioners through the process to make this the best possible project. The Applicant proposed one variance and an encroachment permit in the right-of-way:

VARIANCE REQUEST

The Applicant requests a variance to change 6 standard parking spaces to 6 compact parking spaces. The applicant proposes 40 bedrooms on site and therefore is required to provide 20 parking spaces per the University District Overlay. Therefore of the required parking, a min of 75% must be standard size parking spaces and up to 25% can be compact size parking spaces.

ALLOWED:

15 standard parking size spaces
5 compact parking size spaces
20 parking spaces total

REQUESTED:

9 standard parking size spaces
11 compact parking size spaces
20 parking spaces total

Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The lot is a very unusual shape and does NOT have alley access. Further, the existing building to the north at 815 9th Ave SE is very close to the lot line. The purpose of the additional compact parking spaces is to provide more green space between the existing building and the parking lot. The unique circumstances were not created by person having an interest in the property and are not based on economic considerations.

The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.

The applicant proposes to use the property for residential use, this use is consistent with the intent of the Industrial Living Overlay, and will be used in a reasonable manner, which will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.

LANDSCAPING

The site is 16,905 sqft. The proposed building footprint is 5,870 sqft , which leaves 11,035 sqft of site, per the Minneapolis zoning code, 20% of the remaining site must be landscaped.

$11,035 \text{ sqft} \times 20\% = 2,207 \text{ sqft}$. This is the minimum allowable landscaping (impervious surface)
The applicant is proposing 3,000 sqft of landscaping (impervious surface).

The landscaping will be a mix of grass sod around the side and front of the building, with new arborvitae, chicagoland boxwood shrubs, and hydrangea. The surface parking lot will be enclosed with a cedar wood fence and surrounded by new trees. The Applicant proposes to remove 5 existing trees and replace the trees removed with 5 new trees. All other existing trees around the site will be saved. The trash will be fully screened with a wood fence, and a covered trellis will be provided at the rear of the lot for moped and bike storage.

Adequate utilities, access roads, drainage, will be provided. Adequate measures have been or will be taken to minimize traffic congestion in the public streets. The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.

PO BOX 8589 | Minneapolis, MN 55408 | Ph: 612-669-2052 Fax: 612-465-4002 wellsandcompany@yahoo.com

RIGHT OF WAY – ENCROACHMENT PERMIT

The applicant proposes the City grant the project an encroachment permit into the Right-of-Way, at the front of the building, to allow for the construction of a concrete bike ramp, retaining wall, concrete stairs with handrails, additional landscaping, and a roof canopy at the front of the building. The purpose of the site elements in the Right-of-Way is to increase the aesthetic beauty of the streetscape, increase the privacy for tenants, and encourage tenants to use bicycles for transportation. As well as meet federal ADA accessible guidelines.

It is important to note that the setback for the building at the front property line is 0.65' . The Applicant could build directly up to the front property line, but instead the Applicant proposes the building setback 4.0' from the front property line. The purpose of the setback is to allow more green space in the front yard and allow for a large front porch.

The existing site has significant topography which does presents some challenges for the project. The top of the existing site is 7'-0" higher than the existing sidewalk. Therefore the sloped bike ramp and ADA ramp, with stairs, is needed in the public right of way to access the building. The front porch covers the entry, prevents slipping, and reduces the visual scale of the building. The landscaping and plants in the Right of Way add visual interest.

The Applicant does not propose to change the existing sidewalk or boulevard. The Applicant will protect the existing trees in the boulevard during construction.

IN CONCLUSION

The design, scale, landscaping, and use of materials will benefit the surrounding neighborhood. The proposed conditional use allowing 33 residential units and 40 bedrooms will not be harmful to the use and enjoyment of the other property owners and residents living in the vicinity of the area and will not impede the normal and orderly development and improvements of surrounding properties in the area. There are many precedents of similar housing developments in the area including Marcy-Park Apartments on 8th St SE. Marcy-Park Apartments has a similar style and use, as the proposed building. The conditional use allowing a 4 story residential apartment building is consistent with the policies of the comprehensive plan and the industrial living overlay.

Thank you,



William Wells, Project Architect
Wells & Company, Inc
PO BOX 8589
Minneapolis, MN 55408
wellsandcompany@yahoo.com
612-669-2052

March 26, 2015

Aaron Hanauer
Senior City Planner
250 South 4th Street, Room 300
Minneapolis, MN 55415

BZZ-7077

Re: Changes and Clarifications to Plans
Proposed Housing Development 725 8th St SE, Minneapolis

Dear Aaron Hanauer and Minneapolis Planning Commissioners:

My office is pleased to submit updated plans for the proposed apartment building at 725 8th St SE in Minneapolis. The changes to the plans are based on feedback we received from the following stakeholder groups on these dates:

- March 3, 2015. The project architect met with the neighborhood group and adjacent property owners.
- March 19, 2015. The project architect met with Planning Commissioners in Committee of the Whole (COW)
- March 25, 2015. The project architect met with City Engineers and Zoning Staff in PDR.

The following changes have been made to the plans:

- 1) Reduce the width of the driveway entrance to 25'-0" and move heated concrete entrance ramp out of the driveway. Additionally, add a raised curb cut and bollard for additional safety and buffer between driveway and ramp.
- 2) The proposed retaining wall, at the front of the building, in the public right of way shall be built with smaller decorative landscaping stones from Versa-Lok. For clarification: The wall will not be built out of large boulders. See attached zoning submittal.
- 3) Building form and materials updated. The letter from the neighborhood group says: "If the gable roof is pursued raise the masonry veneer up to match the height of the parapet of Steve Swanson's building (801 8th St SE)." As requested, the front elevation has been revised to show more masonry to match the existing adjacent building. The design intent of the building is reinforcing the historic residential character of 8th St SE. As the attached field study shows, 85 % of the buildings on 8th St SE have a pitched roof. The vast majority of multi-family residential buildings in the Marcy-Holmes Neighborhood and on 8th St SE have pitched roof. This is the historic tradition of roof form in this neighborhood and the Applicant seeks to design a building with historic character.

Additionally, there are new apartment buildings on 8th St SE, such as Marcy-Park Apartments that have a pitched roof. These precedents were discussed at the neighborhood meeting and the pitched roof form with more masonry on the front façade -received unanimous support.

- 4) Sheet L2 added. Details of proposed fence, landscaping, and lighting plan added.
- 5) Sheet L3 added. Details of proposed trellis and trash enclosure added.
- 6) A detailed schedule showing the percentage of materials on the exterior building façade has been to each elevation.
- 7) As requested a tree and landscape schedule has been added to the site plan, sheet L1.
- 8) As requested a snow storage location has been added next to parking space #10. And an operable gate will be provided, such that a Bobcat can push and lift snow into this area as needed. Shown on sheet L1.
- 9) The utility transformer will be located on the pole. All utilities to the building to be buried.
- 10) Long term bicycle parking spaces shall be located inside the bike storage room at the front of the building. No less than 36 bicycle parking spaces will be provided. The Owner will provide two level metal bike racks in the bike room. Additionally, a bike rack for 6 bikes will be located outside the building under the trellis at the back of the building.
- 11) Additional windows have been added to the back of the building at the first floor to meet the required 20% per Section 530.120
- 12) The concrete sidewalk was removed from the West side of the building, as requested.
- 13) The Applicant is open to discussing flipping the Bike / ADA entrance ramp to the other side of the building entrance. However, The Applicant is concerned this would encourage additional bike riding on the sidewalk (to be discussed at public hearing).

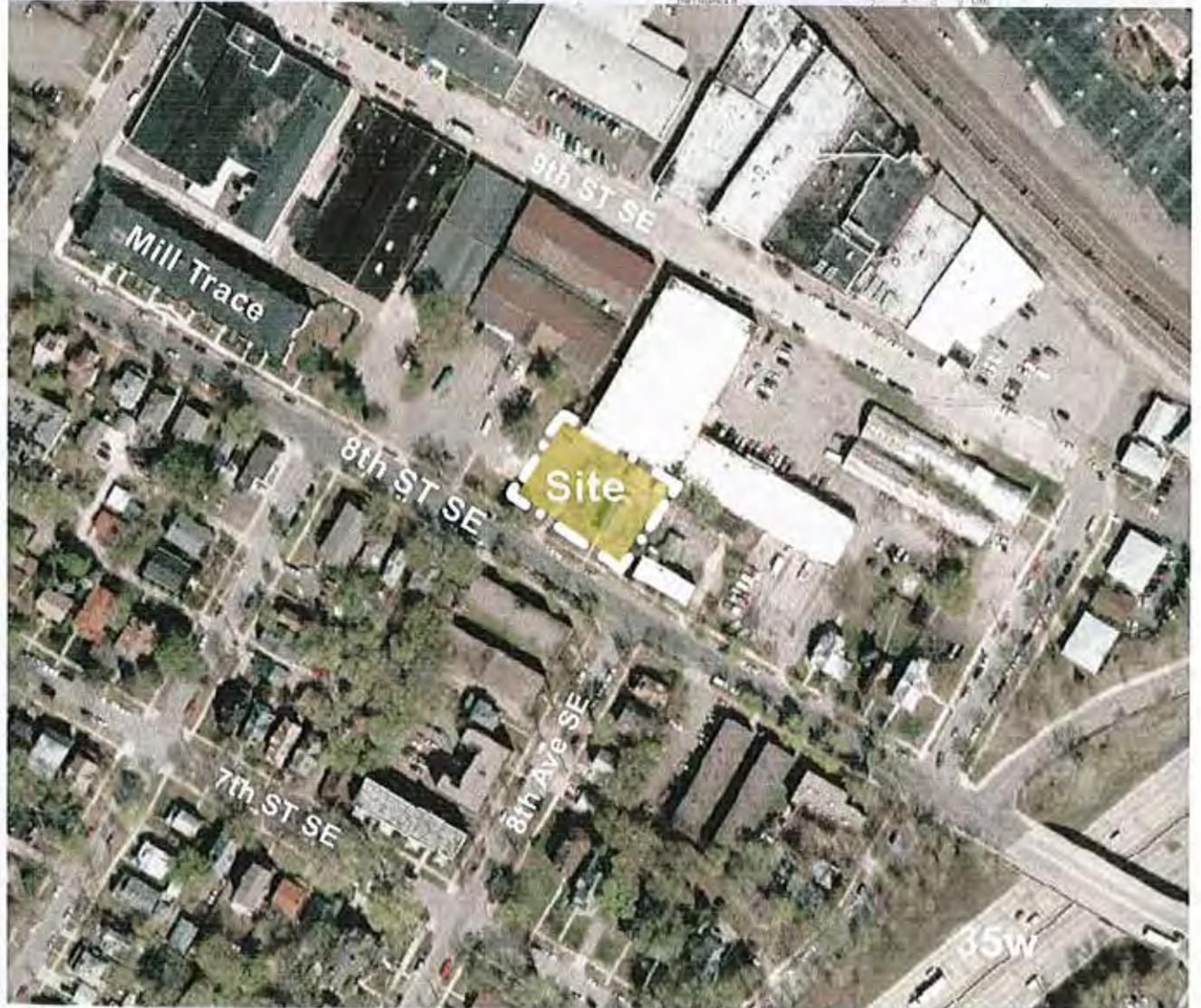
Please see the attached updated exterior renderings of the building. The Applicant added more stone to the front façade to reinforce the historic residential character of the building.

Thank you,



William Wells, Project Architect
Wells & Company, Inc
PO BOX 8589
Minneapolis, MN 55408
wellsandcompany@yahoo.com
612-669-2052

AERIAL PHOTO OF SITE



EXISTING SITE – PHOTO – MARCH 2015



PROPOSED NEW BUILDING



DRAWING BY WILLIAM WELLS, ARCHITECT, MARCH 2015

EXISTING SITE – PHOTOS – MARCH 2015



729 8th St SE – EXISTING HOUSE ON SITE, 721 and 725 8th ST SE ARE VACANT LOTS



729 8th ST SE AND 801 8th ST SE – EXISTING SHARED DRIVEWAY

EXISTING SITE – PHOTOS – MARCH 2015



729 8th ST SE – LOOKING BACK AT 8th ST SE – NOTICE THE SITE TOPOGRAPHY. THE APPLICANT IS STANDING 7'-0" HIGHER THAN THE EXISTING STREET LEVEL



EXISTING GARAGE BEHIND 801 8th ST SE – NOTICE HOW CLOSE THE BUILDINGS ARE TO THE LOT LINES, AT THE REAR OF THE PROPERTY

EXISTING SITE – PHOTOS – MARCH 2015



EXISTING SHARED DRIVEWAY – LOOKING AT THE BACK OF THE SITE

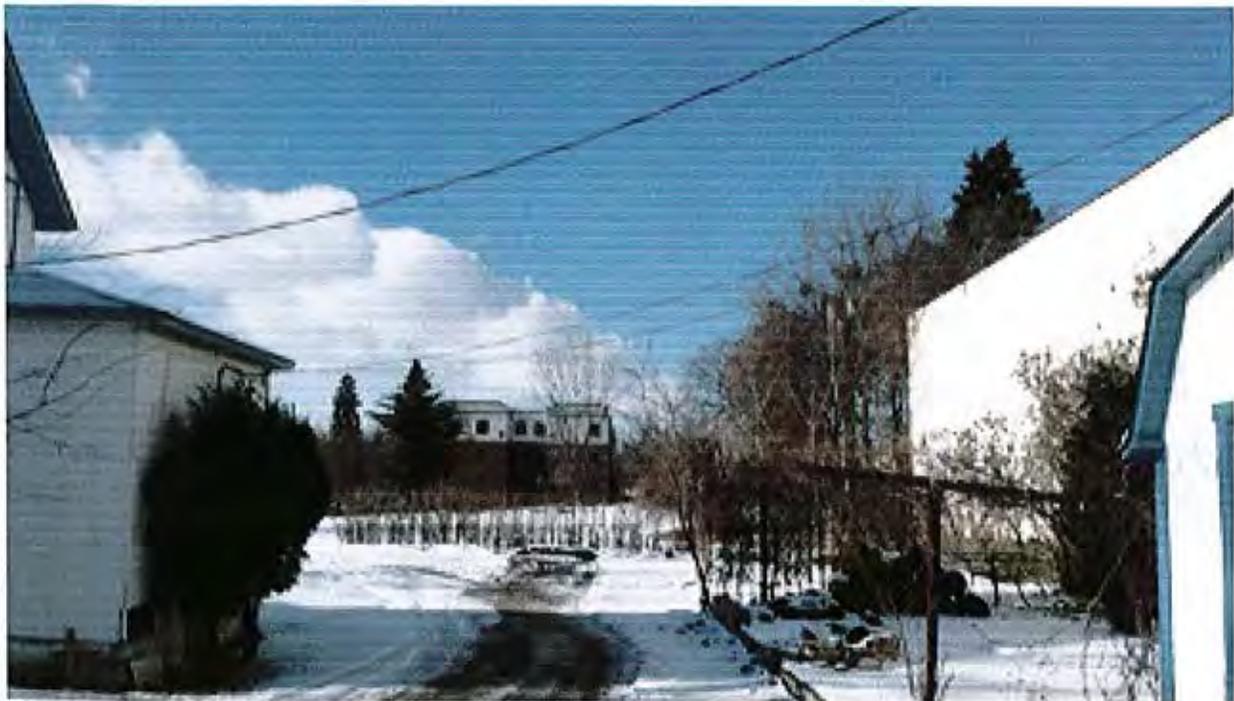


EXISTING APARTMENT BUILDING – DIRECTLY ACROSS THE STREET FROM 729 8th ST SE. THREE STORIES. BRICK AND STUCCO.

EXISTING SITE – PHOTOS – MARCH 2015



EXISTING SIDEWALK IN FRONT OF 729 8th ST SE – LOOKING WEST



EXISTING PARKING LOT BEHIND 729 8th ST SE – LOOKING WEST



MARCY PARK APARTMENTS – Existing Apartment Building on 8th St SE
Pitched Roof Form with Large Front Porch. Similar to design proposed by Applicant



MARCY PARK APARTMENTS – Existing Apartment Building on 8th St SE
Pitched Roof Form

**PROPOSED NEW BUILDING
725 8th ST SE**



RENDERING BY WILLIAM WELLS, ARCHITECT, MARCH 2015

SITE PHOTO – EXISTING CONDITIONS



EXISTING SITE – PHOTO– MARCH 2015

PROPOSED NEW BUILDING
725 8th St SE



View of front entry – ADA / Bike Entrance – Looking West



View of front entry – looking East

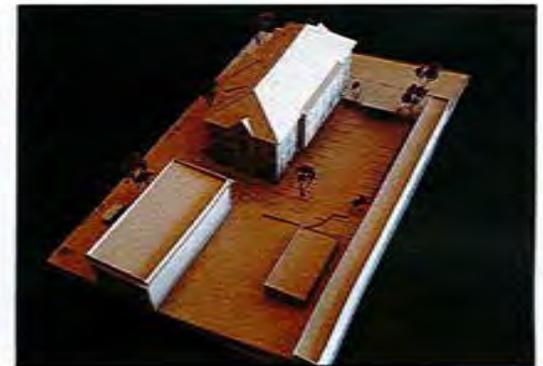
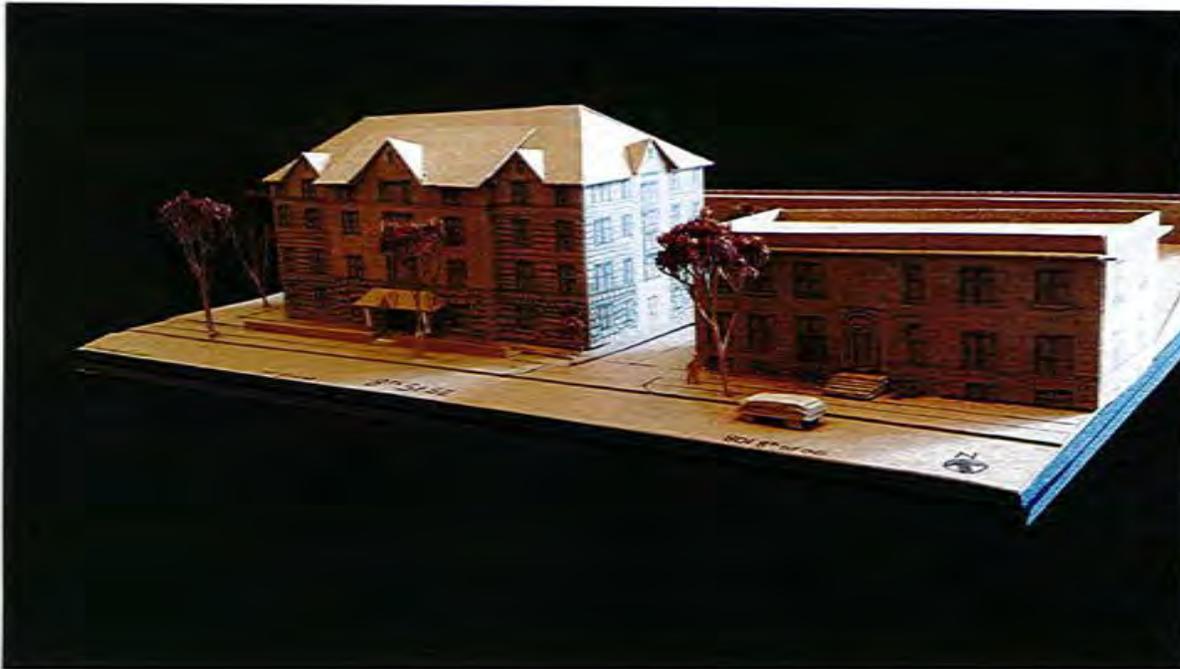
PROPOSED NEW BUILDING
725 8th St SE



Front Elevations – Existing and Proposed New Apartment Building on 8th St SE



Proposed new building and existing building on 8th St SE



Chapman Smith, LLC
1111 Oak Street SE
Atlanta, GA 30316
www.chapman-smith.com



**WELLS & COMPANY
ARCHITECTS**
412.488.8600
1344 Lakeside Ave. S
Atlanta, GA 30310
www.wellsandcompany.com

PROJECT TITLE:
**AFFORDABLE
BIKE FRIENDLY
HOUSING**
721,725,729
8th St SE

SHEET TITLE:
Site Model
and 3-D
Images

PROJECT NO. 21-2019
DRAWN BY: WELLS
CHECKED BY: WELLS
SCALE: 3/16" = 1'-0"
DATE: 12/11/19

SHEET NO:
A9.0

FIELD SURVEY OF BUILDINGS ON 8th ST SE. 85% OF BUILDINGS HAVE A HIP OR GABLE ROOF

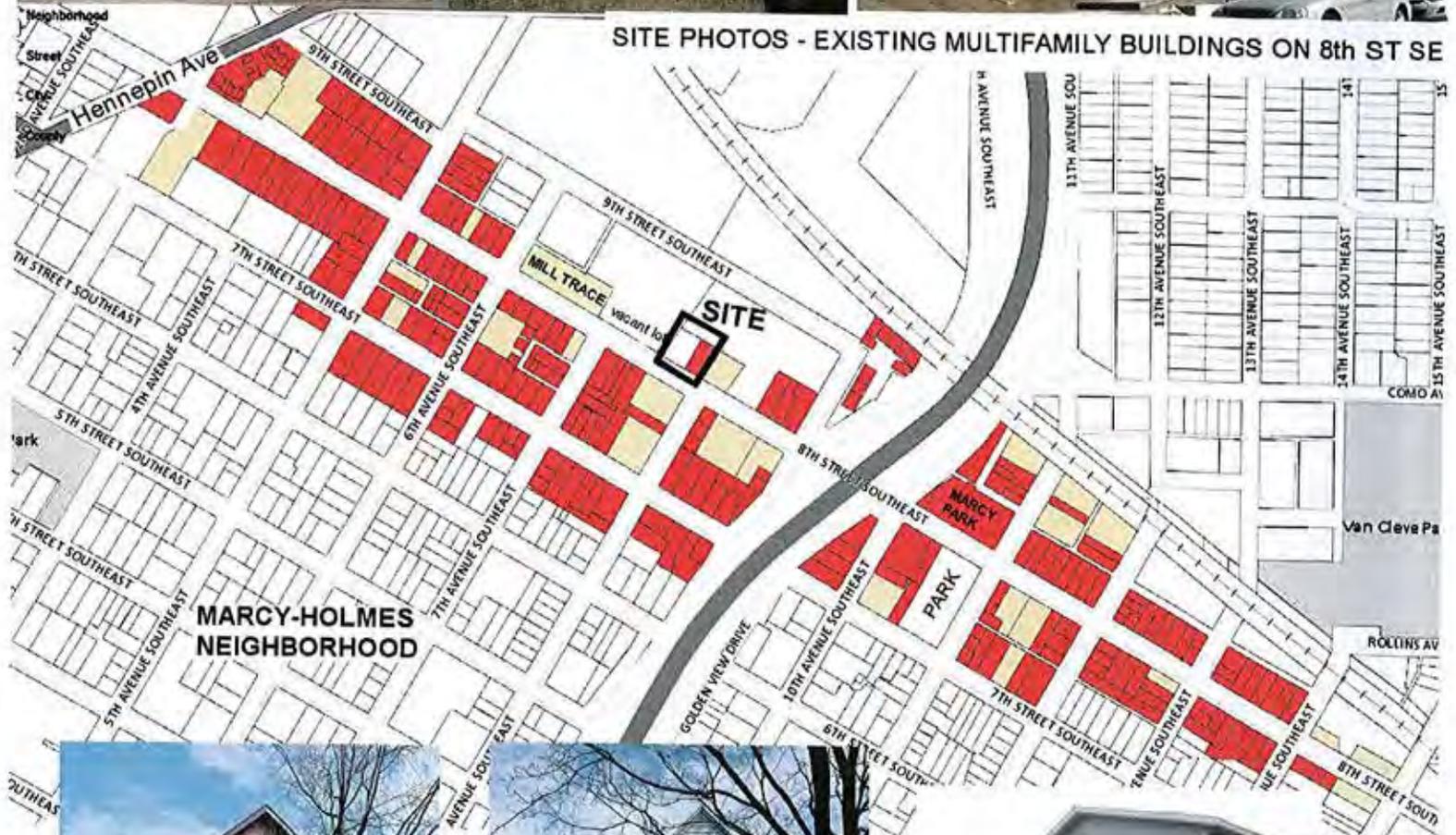
115 BUILDINGS ON 8TH ST SE BETWEEN
HENNEPIN AVE AND 15th AVE SE

■ 98 BUILDINGS HAVE A PITCHED ROOF
85 %

■ 17 BUILDINGS HAVE A FLAT ROOF
15%



SITE PHOTOS - EXISTING MULTIFAMILY BUILDINGS ON 8th ST SE



Zoning Submittal

Project: 729 8th St SE. Minneapolis, MN

Retaining wall at front of building in the public right of way.

Versa-Lok Residential Retaining Wall System. Landscaping Blocks.





MARCY
HOLMES

HISTORIC NEIGHBORHOOD

MHNA
500 8th Avenue SE
Minneapolis, MN 55414
office@marcy-holmes.org

www.marcy-holmes.org
612-623-7633

March 18, 2015

Council Member Jacob Frey
Minneapolis City Hall
350 South 5th Street | Room 307
Minneapolis, MN 55415-1383

Re: 729 8th Street SE Variances

Dear Council Member Frey:

The Marcy-Holmes Neighborhood Association's Land Use and Development Committee listened to a presentation by William Wells representing the developer Dinkytown Rentals and regarding a new 33 unit, 3-story affordable housing development at the referenced address.

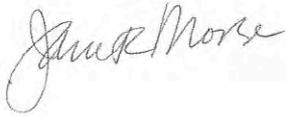
We understand that this development proposal includes a target market of grad students and young professionals working downtown, 33 apartments with 40 bedrooms, 20 on grade parking spaces that will meet the University Area Overlay District minimum of .5 spaces per bedroom, and with the parking accessed via a utility easement shared with the neighboring property to the East. The property is 16,000 sq. ft. in area and is zoned I-1. The developer asked us for our support for two variances, one to reduce the size of 5 standard parking spaces to 5 compact spaces, and the other to allow encroachment into the City right-of-way for a bike ramp and landscaping.

The Marcy-Holmes Neighborhood Association supports both of these variances and would like the developer to consider the following:

- Contact all the adjacent property owners and inform them about the project.
- Contact Steve Swanson, the owner of 801 8th Street SE about the use of the easement and the proposed removal of his retaining walls and loading dock.
- Avoid additional apartment entrances off the street.
- Add a retaining wall to the west side of the main front entry to match the one supporting the ramp to the east, for symmetry. It will also help in collecting roof water and will allow it to infiltrate into the soil, reducing runoff.
- The lot is less than an acre, so retaining storm water runoff on-site may not be required, but directing as much roof water to green areas will help to reduce runoff to the river
- Replace the removed existing trees with the same quantity of new trees.
- Use permeable materials for the paved areas.
- Simplify the materials palette.
- If the gabled roof is pursued raise the masonry veneer up to match the height of the parapet of Steve Swanson's building.
- Change the roof from gabled to flat to relate to Steve Swanson's building. Flat roofs are more prevalent along this block than gabled roofs, i.e., Steve's building, Mill Trace, etc.

The MHNABoard of Directors, at its March 17, 2015 meeting, approved this letter.

Sincerely,

A handwritten signature in cursive script that reads "Jan Morse".

Jan Morse
MHNA President

Cc: Ted Tucker, Chair, Minneapolis Planning Commission
William Wells, Architect, Wells & Company, Architects, 3346 Hennepin Avenue S., Minneapolis,
MN 55408
Aaron Hanauer, Senior City Planner



"We're known by the companies we keep."

March 5, 2015

Mr. Aaron Hanauer, AICP
Senior City Planner
City of Minneapolis – CPED
250 South Fourth Street, Room 300
Minneapolis, Minnesota 55415

Re: **Proposed Site Plan at 729 – 8th Street, S.E., Minneapolis**

Dear Mr. Hanauer:

I was pleased to attend the March 3rd Marcy-Holmes Land Use Committee informational meeting regarding the proposed building of an apartment building at 729 – 8th Street, S.E., in Minneapolis.

As the owner and President of a business on the 700-block of S.E. 8th Street, I was satisfied with the details of the project as described in the presentation. In my opinion, the proposed project would improve this block and the neighborhood, and the development plan would definitely make better use of the existing property.

This project has my support.

Sincerely,

A handwritten signature in black ink, appearing to read "Joe Fischman", written over a horizontal line.

Joe Fischman
President
Chem/Serv, Inc.

JF/m

March 10, 2015

Aaron Hanauer
Senior City Planner
City of Minneapolis - CPED
250 South 4th Street, Room 300
Minneapolis, MN 55415

Re: Shared Driveway between 729 8th St SE and 801 8th St SE
Easement Document Number 4735475
Easement Document Number 4968831

Dear Mr. Aaron Hanauer, City of Minneapolis Zoning Department

The Property Owner(s) of 801 8th St SE Minneapolis, and 729 8th St SE Minneapolis, have met to discuss the proposed improvements to the existing shared driveway. The Property Owner(s) are working together in a friendly and collaborative manner on the proposed improvements to the shared driveway.

The proposed site plan prepared by Wells & Company Architects has been reviewed by both Property Owners and if approved by the Planning Commission, the easement agreement will be updated and recorded with Hennepin County.

Kindly,



Steven C. Swanson, Property Owner
801 8th St SE, Minneapolis, MN
612-362-7870



Tim Harmsen, Property Owner
729 8th St SE, Minneapolis, MN
612-378-2413

Witness:

 3.10.2015

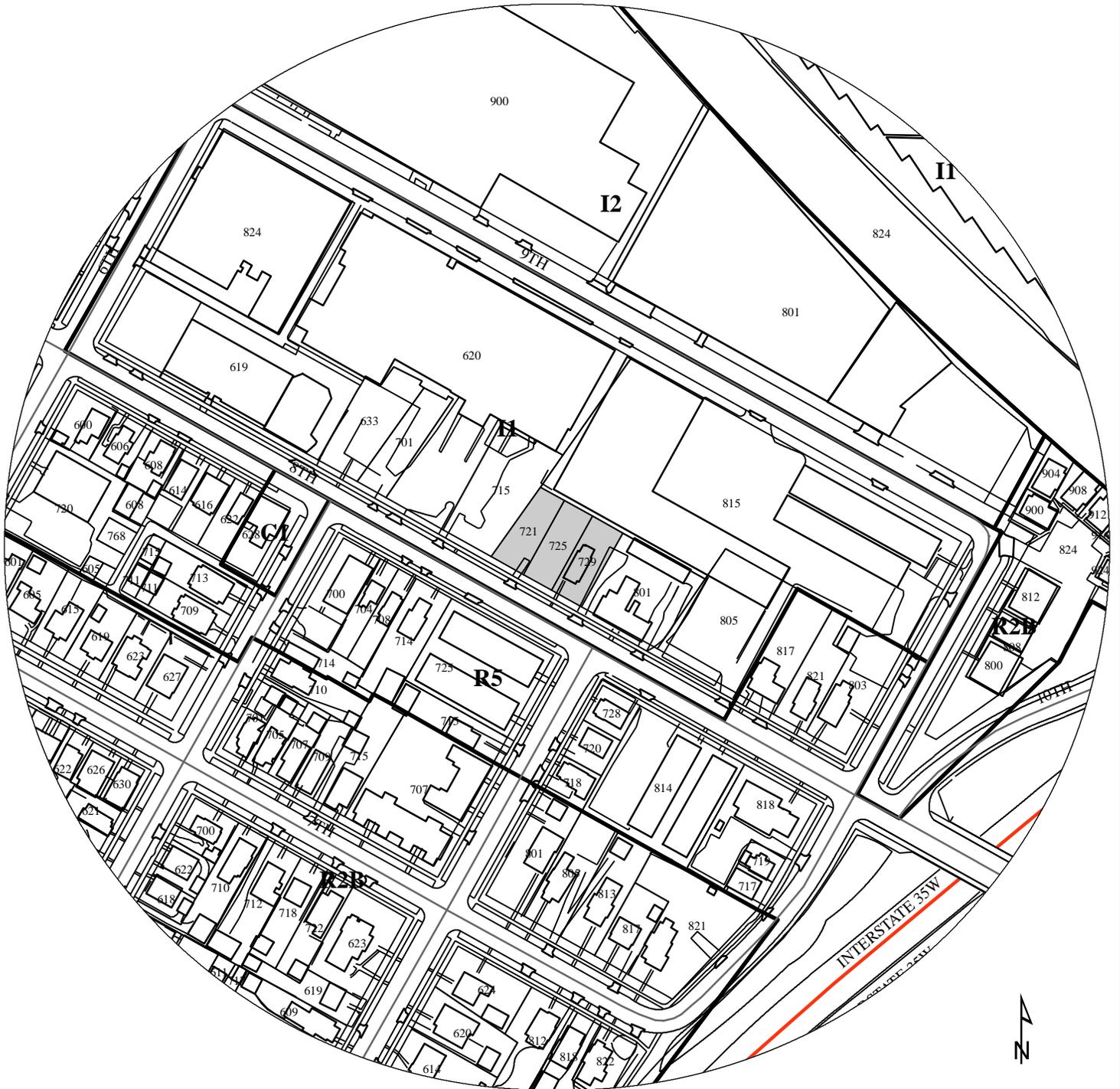
William Wells, Project Architect
Wells & Company Architects
612-669-2052

Dinkytown Rentals, LLC

3rd

NAME OF APPLICANT

WARD



200 100 0 200 400

PROPERTY ADDRESS

721-729 8th Street SE

FILE NUMBER

BZZ-7077

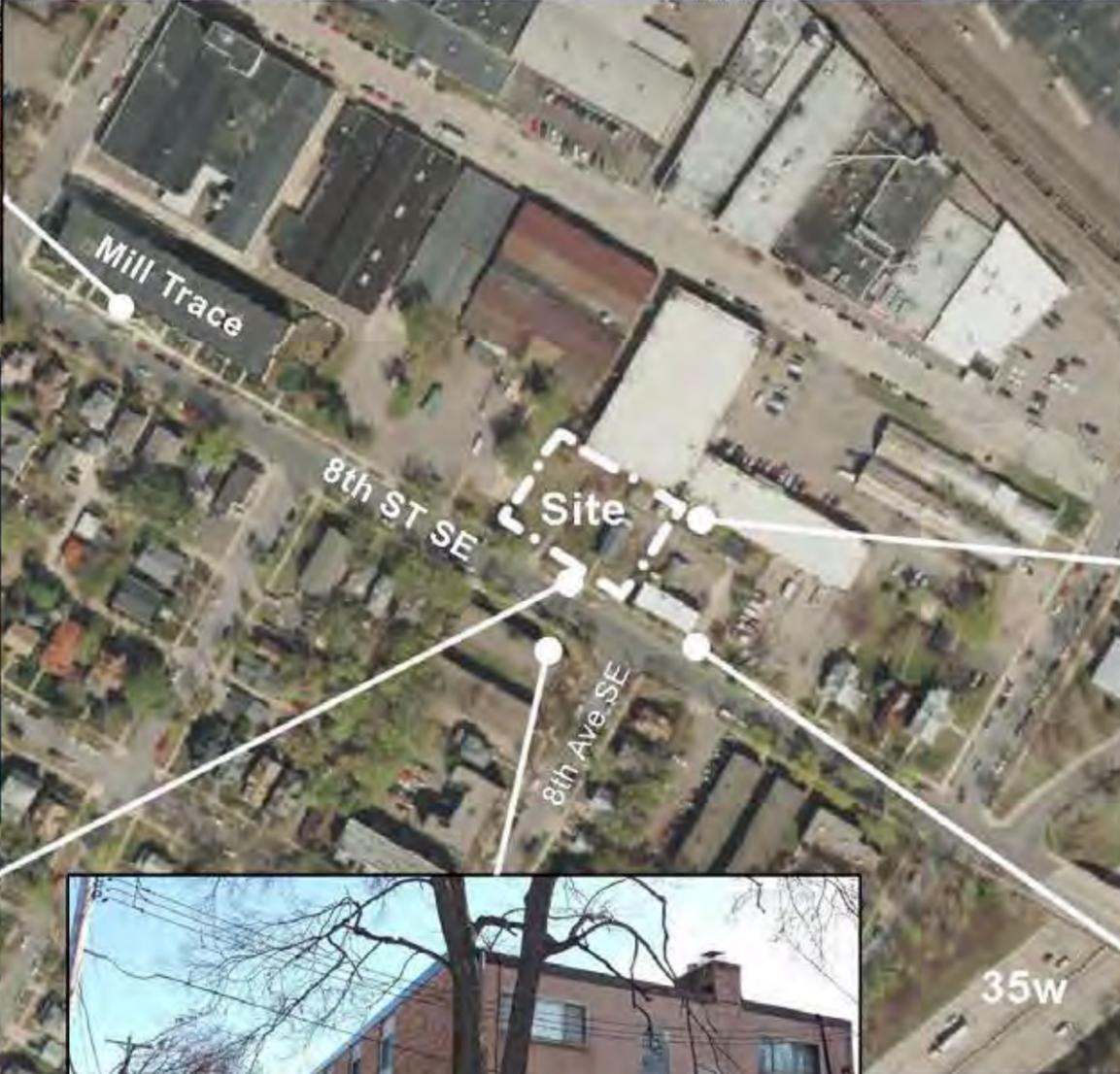
Site Photos & Site Context:
Existing Buildings in the Area

Mill Trace Condos
619 8th St SE



Site Information

Addresses: 721, 725, 729 8th St Se
 Lot Area: 16,900 sqft
 Base Zoning: I-1 Light Industrial
 Overlays: IL Living Overlay
 UD University District
 Max Height: 4 stories or 56'
 Max FAR: 2.7



Variety of building styles on 8th St SE



WELLS & COMPANY
 ARCHITECTS
 612-669-2052
 3346 Hennepin Ave S
 Minneapolis, MN 55408
 www.WellsandCompanyArchitects.com

PROJECT TITLE:
 AFFORDABLE
 BIKE FRIENDLY
 HOUSING
 721,725,729
 8th St SE

SHEET TITLE:
 FRONT ELEVATION

PROJECT #: 01-2019
 DRAWN BY: WELLS
 CHECKED BY: WELLS
 ISSUE DATE:
 ZONING 3 / 3 / 15

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly registered architect under the law of the state of Minnesota.
 signed: William M. Wells, Architect
 date: 11/11/15 reg. no. 40615

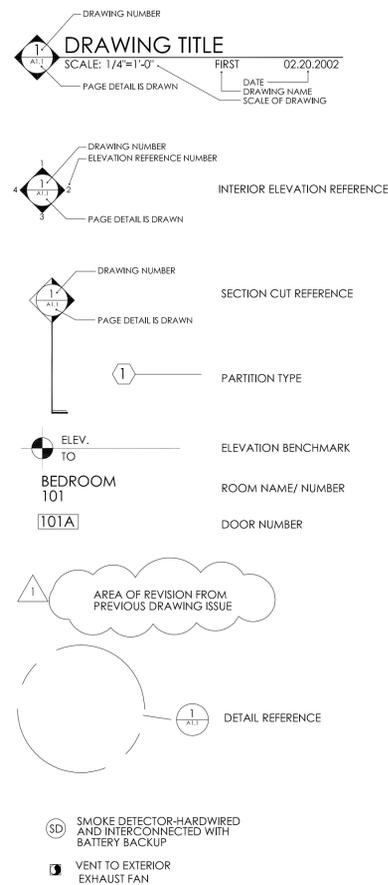
SHEET NO:

T1

ABBREVIATIONS KEY:

&	AND	FN.DN.	FOUNDATION	P.LAM.	PLASTIC LAMINATE
A.B.	ANCHOR BOLT	FIN.	FINISH	P.S.	PLUMBING STACK
A.C.	AIR CONDIT	FIXT.	FIXTURE	P.L.	PROPERTY LINE
A.F.F.	ABOVE FINISH FLR	FL.R.	FLOOR	P.L.A.S.	PLASTER
ADDL.	ADDITIONAL	FL.SH.	FLASHING	P.L.B.G.	PLUMBING
ADD.N.	ADDITION	FLOR.	FLUORESCENT	POL.	POLISHED
A.H.U.	AIR HANDLING	F.P.	FIREPLACE	PR.	PAIR
ADJ.	ADJUSTABLE	FT.	FOOT, FEET	PT.	PAINT, PAINTED
ALT.	ALTERNATE	FIG.	FOOTING	P'RTN.	PARTITION
ALUM.	ALUMINUM	ALT.	ALTERNATE	P.W.D.	PLYWOOD
ASSY.	ASSEMBLY	GYP.BD.	GYPSUM BOARD	QUARRY TILE	QUARRY TILE
B.O.	BY OWNER	G.C.	GENERAL CONT	R/A	RETURN AIR
BD.	BOARD	G.A.	GALVANIZED	R&S	ROD & SHELF
BLDG.	BUILDING	GEN.	GENERAL	RISER	RISER
BLKG.	BLOCKING	GFCI	GROUND-FAULT	R.D.	ROOF DRAIN
BR.	BEDROOM	INTERRUPTR	INTERRUPTR	R.E.	REUSE EXISTING
BRKF.	BREAKFAST RM	GL.	GLASS, GLAZED	R.O.	ROUGH OPENING
BSMT.	BASEMENT	H.B.	HOSE BIBB	RAD.	RADIATOR, RADIUS
C.J.	CONTROL JOINT	H.D.	HEAD DETECTOR	RD.	ROAD
C.M.U.	CONCRETE MASONRY UNIT	H.D.	HEAD	REINF.	REINFORCE(D)
C.O.	CASED OPENING	H.D.	HEAD	REF.	REFRIGERATOR
C.T.	CERAMIC TILE	H.M.	HOLLOW METAL	REQ.D.	REQUIRED
CAB.	CABINET	HDWD.	HARDWOOD	REV.	REVISION
CL.	CENTERLINE	HOR.	HORIZONTAL	S.	SOUTH
CLG.	CEILING	HDWR.	HARDWARE	S&V	STAIN & VARNISH
CLO.	CLOSET	HR.	HOUR	S.C.	SOLID CORE
C.O.	CARBON MON	HT.	HEIGHT	S.D.	SMOKE DETECTOR
CNST.	CONSTRUCTION	HVAC	HEATING, VENT & AIR CONDITIONING	S.MTL.	SHEET METAL
COL.	COLUMN	I.D.	INSIDE DIMENSION	S.S.	STAINLESS STEEL
CONC.	CONCRETE	INSUL.	INSULATION	S.F.	SQUARE FEET
CONT.	CONTINUOUS	INTR.	INTERIOR	SH.	SHelf, SHELVES
COR.	CORRIDOR	JST.	JOIST	SHT.	SHEET
CORD.	COORDINATE	JAN.	JANITOR	SPEC.	SPECIFICATION(S)
COSG.	CASING	JT.	JOINT	SP.H.	SPRINKLER HEAD
CSWK.	CASEWORK	KIT.	KITCHEN	SQ.	SQUARE
CNTR.	CONTRACTOR	LAM.	LAMINATE	ST.	STAIN
C.TV.	CABLE TV	LAV.	LAVATORY	STL.	STEEL
D.B.	DESIGN BUILD	LB.	POUND	STOR.	STORAGE
D.W.	DISHWASHER	LV.RM.	LIVING ROOM	STR.	STRUCTURAL
DEMO.	DEMOLITION	LT.	LIGHT	S.P.	SUMP PIT
DIA.	DIAMETER	M.E.	MATCH EXISTING	T.	THERMOSTAT
DM.	DOWN	M.O.	MASONRY OPENING	T.O.W.	TOWEL BAR
DP.	DEEP (DEPTH)	M.A.X.	MAXIMUM	T.B.D.	TO BE DETERMINED
DR.	DINING ROOM, DR	MECH.	MECHANICAL	T.O.	TOP OF
DTL.	DETAIL	MFGR.	MANUFACTURER	T.P.	TOILET PAPER HLDR
DWG.	DRAWING	MIN.	MINIMUM	T&B	TOP & BOTTOM
E.J.	EXPAN JOINT	MIR.	MIRROR	T&G	TONGUE & GROOVE
EA.	EACH	MISC.	MISCELLANEOUS	TEL.	TELEPHONE
ELEV.	ELEVATION	MET.	METAL	TH.	THICK, THICKNESS
ELEC.	ELECTRICAL	ML.	MATERIAL	U.N.O.	UNLESS NOTED OTHERWISE
E.M.	ELEC METER	MLD'G.	MOULDING	V.B.	VINYL BASE
EMER.	EMERGENCY	N.	NORTH	V.T.	VINYL TILE
ENCL.	ENCLOSURE	N/A	NOT APPLICABLE	V.W.C.	VINYL WALL COV
EQ.	EQUAL	N.F.	NATURAL FINISH	VERT.	VERTICAL
EOP.	EQUIPMENT	N.T.S.	NOT TO SCALE	W/D	WASHER/DRYER
ETC.	ETCETERA	NO.	NUMBER	W/	WITH
EXIST.	EXISTING	NOM.	NOMINAL	W/O	WITHOUT
EXP.	EXPANSION	O.C.	ON CENTER	W.	WEST, WIDE, WIDTH
EXT.	EXTERIOR	O.D.	OUTSIDE DIMENSION	W.C.	WATER CLOSET
F&B	FRONT & BACK	O.V.H.	OVERHEAD	W.I.C.	WALK-IN CLOSET
F.A.	FIRE ALARM	OPNG.	OPENING	W.W.F.	WELDED WIRE FAB
F.D.	FLOOR DRAIN	OPP.	OPPOSITE	WD.	WOOD
F.E.	FIRE EXTING	ORIG.	ORIGINAL	W.H.	WATER HEATER
F.F.	FINISHED FLOOR	OV.	OVEN	WNDW.	WINDOW(S)
F.O.	FINISHED OPEN			WT.	WEIGHT

REFERENCE SYMBOLS:



PRIMARY CONTACTS:

OWNER / DEVELOPER:
Tim and Karen Harmsen
Dinkytown Rentals
1112 6th ST SE
Minneapolis, MN 55414
ph. 612-378-2413

ARCHITECT
Wells & Company, INC.
William Wells, Architect
3346 Hennepin Ave S
Minneapolis, MN 55408
wellsandcompany@yahoo.com
ph. 612-669-2052

CONTRACTOR
tbd
tbd
tbd
tbd

CIVIL ENGINEER:
Adam Parker, PE
Mariner Professional Services
3346 Hennepin Ave S
Minneapolis, MN 55408
651-216-7275

STRUCTURAL ENGINEER:
tbd
tbd
tbd
tbd

MECHANICAL ENGINEER
tbd
tbd
tbd
tbd

SPRINKLER & FIRE SUPPRESSION
tbd
tbd
tbd
tbd

INTERIOR DESIGN
tbd
tbd
tbd
tbd

PROJECT TITLE

PROPOSED NEW APARTMENT BUILDING
SUBMITTED FOR PDR AND ZONING APPROVAL
725 8th ST SE
MINNEAPOLIS, MN 55414
INCLUDING PARCELS: 721 8th ST SE, 725 8th ST SE, 729 8th ST SE

INDEX TO DRAWINGS:

T1	COVER SHEET
T2	CODE ANALYSIS
T3	WALL TYPES
T4	WINDOW AND DOOR SCHEDULE
T5	ELEVATOR SPECS AND DETAILS
-	SURVEY OF EXIST CONDITIONS
C0	CITY OF MINNEAPOLIS - CURB AND SIDEWALK DETAILS
C1	DEMOLITION AND EROSION CONTROL PLAN
C2	CIVIL SITE PLAN AND GRADING
C3	CIVIL DETAILS
L1	SITE PLAN / LANDSCAPE PLAN
L2	SITE DETAILS & LIGHTING PLAN
L3 - L5	SITE DETAILS AND LANDSCAPE SPECS
A0	FOUNDATION PLAN
A0.1	FOUNDATION DETAILS
A1	FIRST FLOOR PLAN
A2	SECOND FLOOR PLANS
A3	THIRD FLOOR PLAN
A4	ROOF PLANS
A4.1	ROOF DETAILS
A4.2	ROOF DETAILS, RAILING DETAILS, CANOPY DETAILS
A5	BUILDING ELEVATIONS
A6	BUILDING ELEVATIONS
A7 - A10	BUILDING SECTIONS
A11	DETAILS
A12	BATHROOM ELEVATIONS
A13	KITCHEN ELEVATIONS
S1 - S10	STRUCTURAL DETAILS
E1 - E3	ELECTRICAL PLANS
FP1	FIRE PROTECTION PLAN
M1 - M4	PLUMBING PLANS AND SPECS
M4 - M7	MECHANICAL PLANS AND SPECS

PROJECT DESCRIPTION

BUILDING FOOTPRINT	5,870 SQFT
4 FLOORS PROPOSED	23,664 SQFT TOTAL
(7) 2 - Bedroom Units	740 sqft
(9) 1 - Bedroom + TV Den	560 sqft
(6) 1 - Bedroom	500 sqft
(11) Studios	430 sqft
(33) UNITS TOTAL	
(40) BEDROOMS TOTAL	
LEGAL DESCRIPTION PARCEL 1:	725 8th ST SE PID# 24-029-24-21-0038
LEGAL DESCRIPTION PARCEL 2:	729 8th ST SE PID# 24-029-24-21-0014
LEGAL DESCRIPTION PARCEL 3:	721 8th ST SE PID# 24-029-24-21-0039
LOT SIZE, ALL 3 PARCELS :	16,905 SQFT OR .3881 ACRES
BASE ZONING:	I-1 LIGHT INDUSTRIAL DISTRICT
ZONING OVERLAY:	UD UNIVERSITY DISTRICT
ZONING OVERLAY:	MARCY-HOLMES NEIGHBORHOOD
NEIGHBORHOOD GROUP:	POLICE PRECINCT 2
POLICE:	WARD 3
WARD:	JACOB FREY
CITY COUNCIL MEMBER:	Aaron Hanauer
CITY ZONING STAFF MEMBER:	
IBC OCCUPANCY TYPE:	R2 Residential
IBC CONSTRUCTION TYPE:	TYPE VA
IBC SPRINKLER SYSTEM TYPE:	NFPA 13R - RESIDENTIAL SPACES
PROPOSED IMPERVIOUS:	13,400 SQFT IMPERVIOUS SURFACE (79% of site)

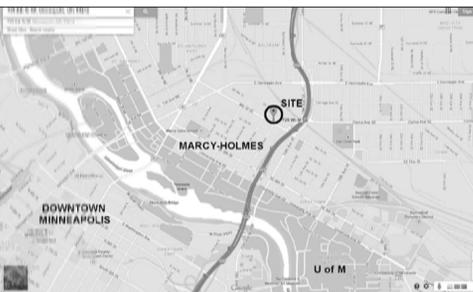
GENERAL PROJECT NOTES

- SEE STRUCTURAL SHEETS FOR FOUNDATION WALL THICKNESS AND SPECIFICATIONS.
- SEE WALL SPECIFICATIONS ON SHEET T3.
- ALL BEDROOMS MUST HAVE A SMOKE DETECTOR HARD WIRED.
- ALL BEDROOMS MUST HAVE A CO DETECTOR WITHIN 10' OF THE BEDROOM DOOR AS REQUIRED BY CODE.
- ALL BATHROOMS MUST HAVE EXHAUST FAN. VENT TO EXTERIOR. PROVIDE FIRE DAMPERS AS NEEDED.
- ALWAYS PROVIDE A PAN UNDER WASHER AND DRYER.
- DO NOT SCALE OFF THE PLANS. THE CONTRACTOR MUST CONTACT ARCHITECT WITH DIMENSION QUESTIONS.
- THE ORIGINAL PRINTED PLAN SIZE IS 24" X 36".
- THE CONTRACTOR AND SUBCONTRACTORS MUST VISIT THE SITE AND BECOME FAMILIAR WITH ALL EXISTING CONDITIONS PRIOR TO SUBMISSION OF BIDS.
- THE CONTRACTORS AND SUBCONTRACTORS SHALL PULL ALL NECESSARY PERMITS, AND CARRY INSURANCE, LICENSES AND CERTIFICATES.
- CONTRACTOR SHALL FURNISH AND INSTALL ALL ITEMS WHICH ARE OBVIOUS AND NECESSARY TO INSURE GOOD WORKMANSHIP AND INSTALLATION EVEN IF NOT SPECIFICALLY MENTIONED ON THE DRAWINGS, INCLUDING BUT NOT LIMITED TO BLOCKING AND BRACING FOR ALL BATHROOM HARDWARE.
- ALL DOORS AND HARDWARE SHALL BE IN COMPLIANCE WITH APPLICABLE CODES AND ORDINANCES.
- ALL WORK TO BE DONE IN COMPLIANCE WITH THE LATEST LOCAL AND STATE BUILDING CODES.
- PROVIDE METAL CORNER BEAD AT ALL OUTSIDE CORNERS OF GYPSUM BOARD SURFACES.
- UPON COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL WASH CLEAN ALL SURFACES AND LEAVE THE WORK IN A CLEAN CONDITION.
- A KNOX BOX TO BE PURCHASED AND INSTALLED BY THE G.C. VERIFY WITH LOCAL AUTHORITY THIS REQUIREMENT AND ITS LOCATION, PER SAINT LOUIS PARK FIRE DEPARTMENT.
- FIRESTOP ALL OPEN SPACES AROUND PENETRATIONS IN FIRE RATED ASSEMBLIES WITH INTUMESCING FIRESTOP, UL APPROVED, BY 3M OR EQUAL. ALL SUB CONTRACTORS SHALL USE THE SAME FIRESTOP.
- CONTACT ARCHITECT REGARDING ANY DISCREPANCIES OR CONFLICTS IN THESE DRAWINGS.
- THE CONTRACTOR MUST PROVIDE THE ARCHITECT WITH SHOP DRAWINGS FOR ALL DESIGN BUILD ITEMS: STAIRS, GATES, FENCES, RAILINGS, HANDRAILS, WALKWAYS, FLOOR TRUSSES, SPRINKLER SYSTEM, HVAC, PLUMBING, ETC.
- AT ALL BATHROOM SHOWER WET LOCATIONS PROVIDE AQUA-TOUGH TILE BACKERBOARD OR EQUAL.
- ALL CAULKING AT KITCHEN AND BATHROOM LOCATIONS TO BE SILICONE BASED. MATCH COLOR WITH ADJ FINISH.
- THE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES SECURE AND FREE FROM WASTE. PROVIDE PROPER FENCES AND SIGNAGE AROUND SIDEWALKS.
- SUBSTITUTIONS SHALL BE CONSIDERED AT BID STAGE. DURING CONSTRUCTION CONTRACTOR MUST GET WRITTEN APPROVAL FROM THE OWNER BEFORE MAKING ANY SUBSTITUTIONS.
- ALL WALK IN CLOSETS TO HAVE A ROD MOUNTED 54" OFF FINISHED FLOOR. ALL CLOSETS HAVE METAL COATED WIRE SHELVES W/ BRACKETED ROD.
- THE OWNER & CONTRACTOR SHALL USE AIA CONTRACT A102, REFERENCING AIA A201-2007 THE OWNER & CONTRACTOR SHALL FOLLOW THE PROCEDURES OUTLINED IN A102, AND A201
- FUR OUT WALL AS NEEDED NEXT TO THE WASHER / DRYER TO ALLOW FOR PROPER VENTING AND MECH EQUIP. CONTRACTOR TO MEET WITH FRAMING SUB CONTRACTOR BEFORE CONSTRUCTION TO DISCUSS LOCATIONS, AND SCOPE OF WORK. THIS ITEM SHALL NOT BE APPROVED AS AN ADDITIONAL COST CHANGE ORDER LATER ON.
- PROVIDE ALL CODE REQUIRED SIGNAGE AT ALL UNITS, AND THROUGHOUT THE BUILDING.
- FUR OUT WALL AROUND WASHER DRYER AS NEED TO MAKE PLUMBING AND HVAC WORK.

PROJECT JOB RESPONSIBILITIES

- | | |
|---------------------------|--|
| 1. BUILDING PERMIT | APPLIED FOR BY OWNER, CONTRACTOR MUST ATTEND ALL MEETINGS WITH BUILDING CODE OFFICIAL. BY OWNER. |
| 2. SAC AND WAC FEES | BY OWNER. |
| 3. PARK DEDICATION | BY OWNER. |
| 4. SPECIAL INSPECTIONS | HIRED BY OWNER, COORDINATED BY CONTRACTOR. |
| 5. STC SPECIAL TESTING | HIRED BY CONTRACTOR, COORDINATE BY CONTRACTOR. |
| 6. PLUMBING DESIGN | DESIGN-BUILD. BY CONTRACTOR. |
| 7. ELECTRICAL DESIGN | DESIGN-BUILD. BY CONTRACTOR. |
| 8. FIRE PROTECTION | DESIGN-BUILD. BY CONTRACTOR. |
| 9. MECHANICAL DESIGN | DESIGN-BUILD. BY CONTRACTOR. |
| 10. RIGHT OF WAY PERMITS | BY CONTRACTOR. |
| 11. ENCROACHMENT | BY CONTRACTOR. |
| 12. CONSTRUCTION STAKING | BY CONTRACTOR. |
| 13. KNOX BOX | BY CONTRACTOR. |
| 14. PERFORMANCE BOND | SEE SIGNED CONTRACT. |
| 15. CONSTRUCTION MEETINGS | COORDINATED BY CONTRACTOR, ALL MEETING MINUTES BY CONTRACTOR. |
| 16. RELOCATE UTILITIES | ALL UTILITIES COORDINATED BY THE CONTRACTOR. |
| 17. INTERIOR FINISHES | AN INTERIOR DESIGNER WILL BE HIRED BY THE OWNER. |

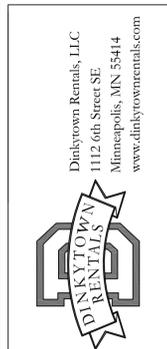
PROJECT LOCATION MAP



RENDERING OF PROPOSED BUILDING:



PROPOSED NEW APARTMENT BUILDING
725 8th ST SE



PROJECT TITLE:
AFFORDABLE BIKE FRIENDLY HOUSING
725 8TH ST SE APARTMENTS

SHEET TITLE:
COVER SHEET

SUBMITTED FOR ZONING APPROVAL PUBLIC HEARING APRIL 27, 2015

PROJECT #:	01-2015
DRAWN BY:	WELLS
CHECKED BY:	WELLS
ISSUE:	DATE:
C.O.W. / ZONING	3/9/15
CPC / ZONING	3/25/15

I hereby certify that this plan specification or report was prepared by me or under my direct supervision and that I am a duly registered architect under the law of the state of: Minnesota

sketch:
William M. Wells, Architect
date: reg. no. 49615

SHEET NO:

T1

BZZ - 7077
PDR: 1001292

KEMPER & ASSOCIATES INC.

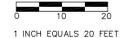
PROFESSIONAL LAND SURVEYORS

721 OLD HIGHWAY 8 N.W.
NEW BRIGHTON, MINNESOTA 55112
551-631-0361
FAX 551-631-8805
Email: kemper@pro-ns.net
www.kempersurveys.com

721, 725 & 729 8TH STREET SOUTHEAST

CITY OF MINNEAPOLIS, HENNEPIN COUNTY, MINNESOTA

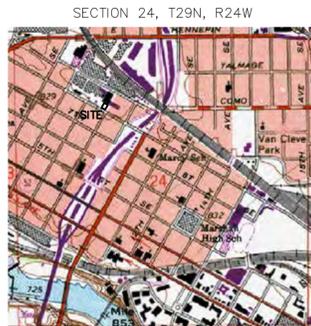
(SEE LEGAL DESCRIPTIONS BELOW)



BASIS FOR BEARINGS:
STATE PLANE COORDINATE
SYSTEM, MINNESOTA SOUTH
ZONE (NAD83, 1996)
(AS PER GPS
MEASUREMENTS UTILIZING
MINNESOTA DEPARTMENT
OF TRANSPORTATION
VRS NETWORK)

BASIS FOR ELEVATION:
MINNESOTA DEPARTMENT
OF TRANSPORTATION
STATION 7283 OF N
S.E. BRIDGE ABUTMENT
OF 8TH STREET S.E.
OVER INTERSTATE 35W
ELEV. 837.151 (NAV88)

CONTOUR INTERVAL=1 FOOT



VICINITY MAP
(NO SCALE)



729 8TH STREET SOUTHEAST (FRONT)
MINNEAPOLIS, MINNESOTA

LEGAL DESCRIPTION (PARCEL 1)

725 8TH STREET SOUTHEAST
PID# 24-029-24-21-0038
TORRENS CERTIFICATE OF TITLE NO. 1314950

THAT PART OF LOT 65, AUDITOR'S SUBDIVISION NO. 28, HENNEPIN COUNTY, MINN., DESCRIBED AS COMMENCING AT THE MOST SOUTHERLY CORNER OF BLOCK 5, THE ANDREWS AND MOULTON'S ADDITION TO MINNEAPOLIS; THENCE NORTH-WESTERLY ALONG THE SOUTHWESTERLY LINE OF SAID BLOCK 5, AND THE SOUTHWESTERLY LINE OF SAID LOT 65 A DISTANCE OF 459.8 FEET TO THE ACTUAL POINT OF BEGINNING; THENCE NORTHWESTERLY ALONG THE SOUTHWESTERLY LINE OF SAID LOT 65 A DISTANCE OF 44 FEET; THENCE NORTHEASTERLY, AT A RIGHT ANGLE, A DISTANCE OF 120 FEET; THENCE SOUTHEASTERLY, AT A RIGHT ANGLE, A DISTANCE OF 44 FEET; THENCE SOUTHWESTERLY, AT A RIGHT ANGLE, A DISTANCE OF 120 FEET TO THE ACTUAL POINT OF BEGINNING.

THE NORTHWESTERLY LINE OF WHICH TRACT IS MARKED BY JUDICIAL LANDMARKS AT THE MOST NORTHERLY AND MOST WESTERLY CORNERS THEREOF, SET PURSUANT TO TORRENS CASE NO. 17130. THE NORTHEASTERLY LINE OF WHICH TRACT IS MARKED BY JUDICIAL LANDMARKS SET PURSUANT TO TORRENS CASE NO. 16894.

SUBJECT TO AN EASEMENT IN FAVOR OF THE NORTHWESTERN BELL TELEPHONE COMPANY AS CONTAINED IN CR DOCUMENT NO. 4272714 AS TO A PART OF THE ABOVE DESCRIBED TURN-AROUND.

(NOTE: THIS EASEMENT DOES NOT APPEAR TO AFFECT THE SUBJECT PROPERTY LOCATED IN WHOLE IN LOT 65, AUDITOR'S SUBDIVISION NO. 28. EASEMENT AFFECTS LOT 45, AUDITOR'S SUBDIVISION NO. 28.)

LEGAL DESCRIPTION (PARCEL 2)

729 8TH STREET SOUTHEAST
PID# 24-029-24-21-0014
WARRANTY DEED DOC. NO. A9447642

THE WESTERLY 50 FEET, FRONT AND REAR OF THE FOLLOWING DESCRIBED TRACT OF LAND: ALL THAT PART OF LOT 65, AUDITOR'S SUBDIVISION TWENTY-EIGHT (28), DESCRIBED AS FOLLOWS: BEGINNING AT A POINT IN THE LINE DIVIDING SAID LOT 65 FROM EIGHTH STREET SOUTHEAST, DISTANT 396.8 FEET NORTHWESTERLY FROM THE MOST SOUTHERLY CORNER OF BLOCK 5, THE ANDREWS AND MOULTON'S ADDITION TO MINNEAPOLIS, FORMED BY THE INTERSECTION OF THE NORTHWESTERLY LINE OF NINTH AVENUE SOUTHEAST AND THE NORTHEASTERLY LINE OF SAID EIGHTH STREET SOUTHEAST; THENCE NORTHWESTERLY ALONG THE NORTHEASTERLY LINE OF EIGHTH STREET SOUTHEAST, A DISTANCE OF 63 FEET; THENCE AT A RIGHT ANGLE NORTHEASTERLY 120 FEET; THENCE AT RIGHT ANGLES SOUTHEASTERLY 63 FEET; THENCE AT RIGHT ANGLES SOUTHWESTERLY 120 FEET TO POINT OF BEGINNING, ACCORDING TO THE RECORDED PLAT THEREOF, AND SITUATE IN HENNEPIN COUNTY, MINNESOTA.

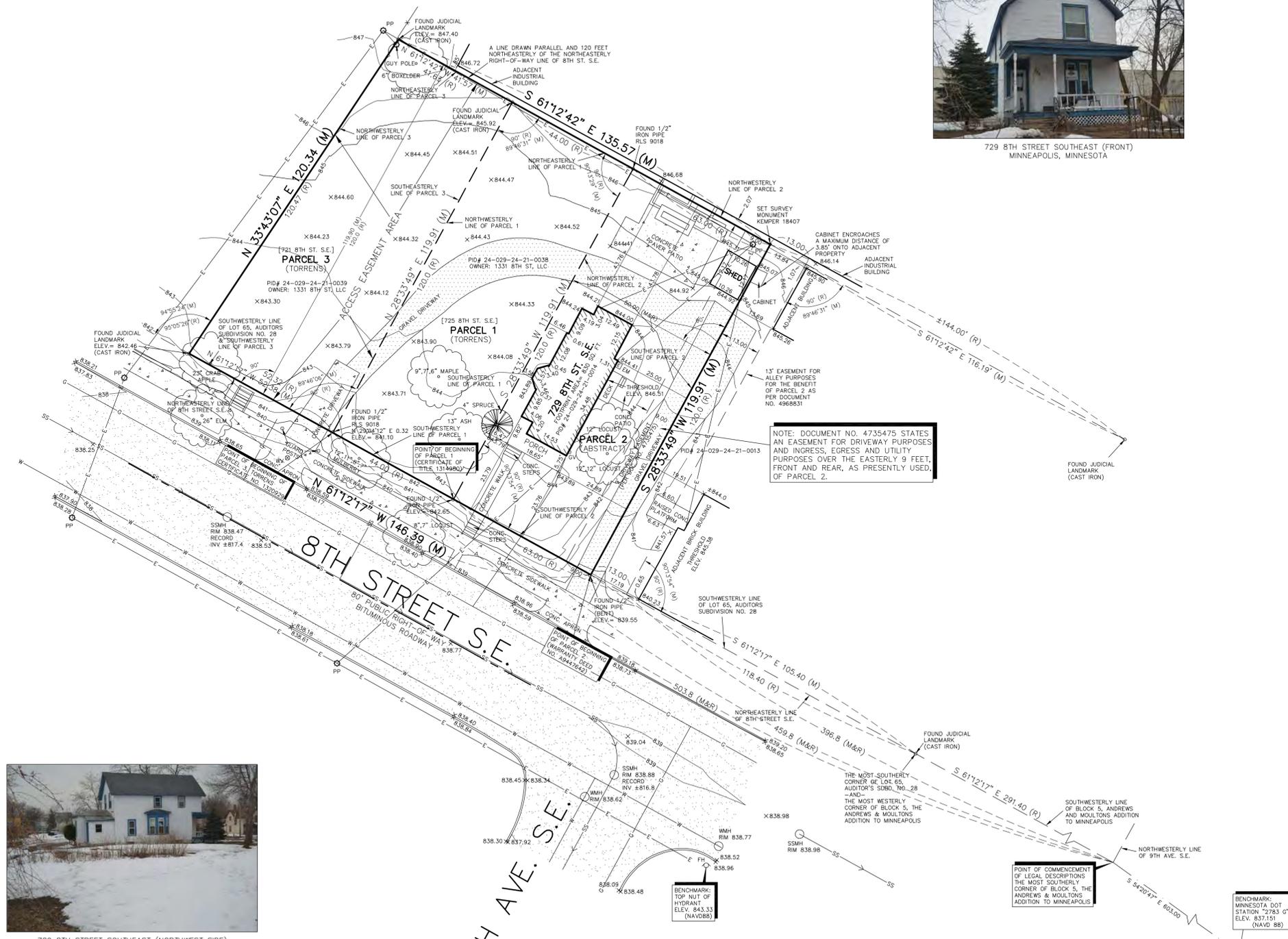
LEGAL DESCRIPTION (PARCEL 3)

721 8TH STREET SOUTHEAST
PID# 24-029-24-21-0039
TORRENS CERTIFICATE OF TITLE NO. 1320929

THAT PART OF AUDITOR'S SUBDIVISION NO. 28, HENNEPIN COUNTY, MINN., DESCRIBED AS COMMENCING AT THE MOST SOUTHERLY CORNER OF BLOCK 5, THE ANDREWS AND MOULTON'S ADDITION TO MINNEAPOLIS; THENCE NORTHWESTERLY ALONG THE SOUTHWESTERLY LINE OF SAID BLOCK 5 AND ITS EXTENSION A DISTANCE OF 503.8 FEET TO THE ACTUAL POINT OF BEGINNING; THENCE CONTINUING NORTHWESTERLY ALONG THE EXTENSION OF SAID SOUTHWESTERLY LINE A DISTANCE OF 52.32 FEET; THENCE NORTHEASTERLY DEFLECTING TO THE RIGHT 95 DEGREES 05 MINUTES 26 SECONDS A DISTANCE OF 120.47 FEET TO A LINE DRAWN PARALLEL WITH AND 120 FEET NORTHEASTERLY, MEASURED AT RIGHT ANGLES FROM THE NORTHWESTERLY EXTENSION OF SAID SOUTHWESTERLY LINE; THENCE SOUTHEASTERLY ALONG SAID PARALLEL LINE A DISTANCE OF 41.63 FEET TO A LINE DRAWN NORTHEASTERLY AT A RIGHT ANGLE TO THE NORTHWESTERLY EXTENSION OF SAID SOUTHWESTERLY LINE FROM THE ACTUAL POINT OF BEGINNING; THENCE SOUTHWESTERLY A DISTANCE OF 120 FEET TO THE ACTUAL POINT OF BEGINNING.

THE NORTHWESTERLY AND SOUTHEASTERLY LINES OF THE PREMISES ARE MARKED BY JUDICIAL LANDMARKS SET PURSUANT TO TORRENS CASE NO. 17130.

NOTE: THIS PARCEL (PARCEL 3) IS SUBJECT TO AN ACCESS EASEMENT OVER THE ENTIRETY OF THE PARCEL.



729 8TH STREET SOUTHEAST (NORTHWEST SIDE)
MINNEAPOLIS, MINNESOTA

NOTE: DOCUMENT NO. 4735475 STATES AN EASEMENT FOR DRIVEWAY PURPOSES AND INGRESS, EGRESS AND UTILITY PURPOSES OVER THE EASTERLY 9 FEET, FRONT AND REAR, AS PRESENTLY USED, OF PARCEL 2.

POINT OF COMMENCEMENT OF LEGAL DESCRIPTIONS OF THE MOST SOUTHERLY CORNER OF BLOCK 5, THE ANDREWS & MOULTON'S ADDITION TO MINNEAPOLIS

BENCHMARK: TOP NUT OF HYDRANT ELEV. 843.33 (NAV88)

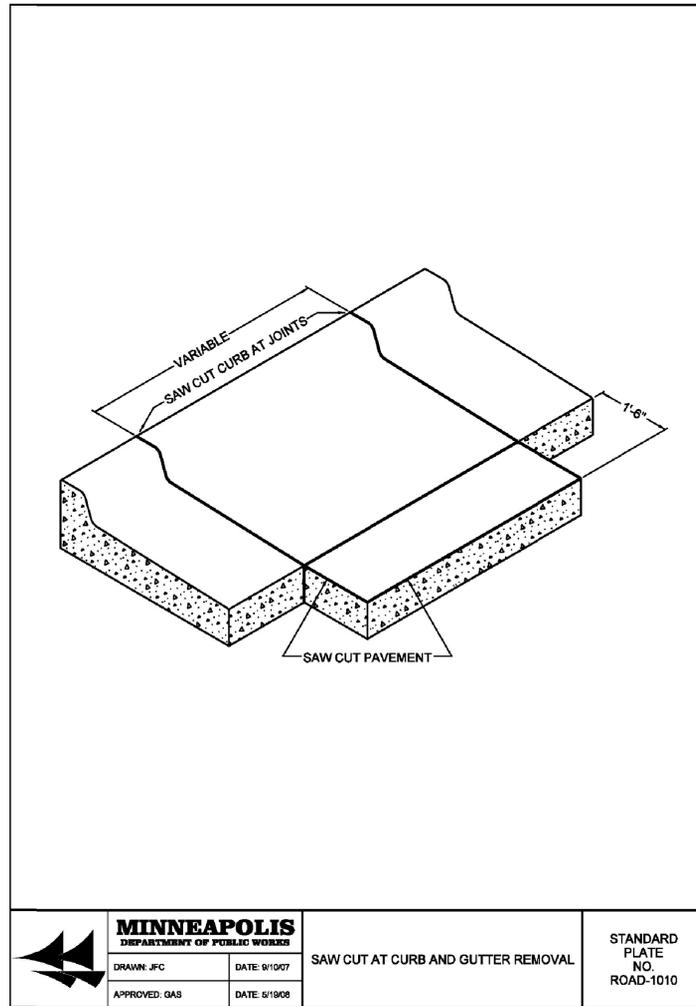
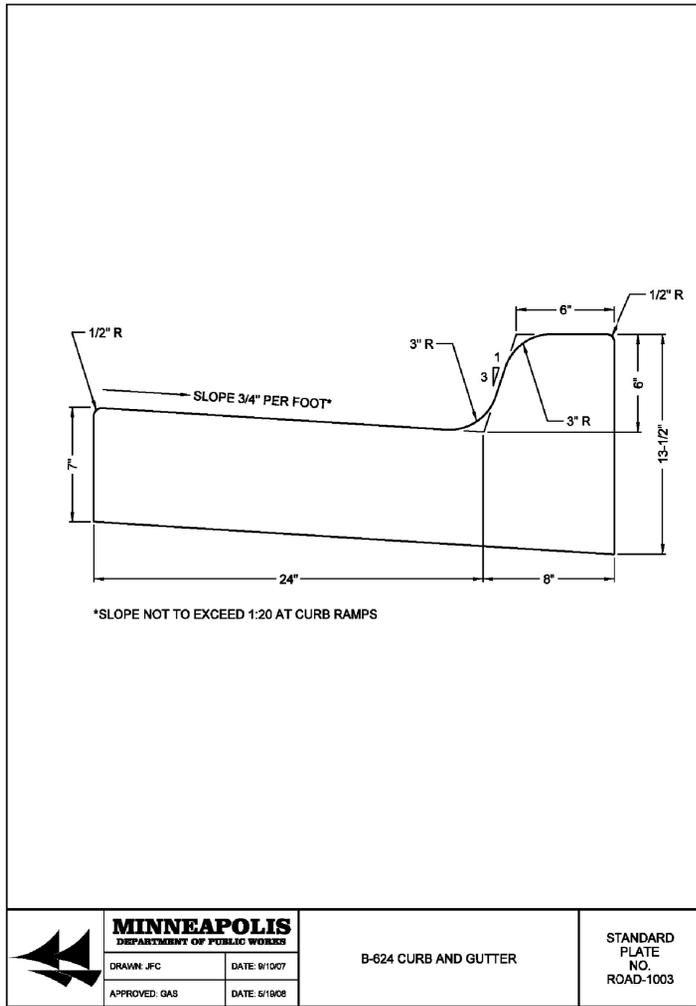


CURRENT OWNER:
1331 8TH ST. LLC
C/O TIM & KAREN HARMSEN
74 E. GOLDEN LAKE ROAD
CIRCLE PINES, MN 55014

ARCHITECT:
WELLS, WILLIS, ARCHITECT
WELLS & COMPANY ARCHITECTS
3346 HENNEPIN AVENUE SOUTH
MINNEAPOLIS, MINNESOTA 55408
PHONE: 612-669-2052

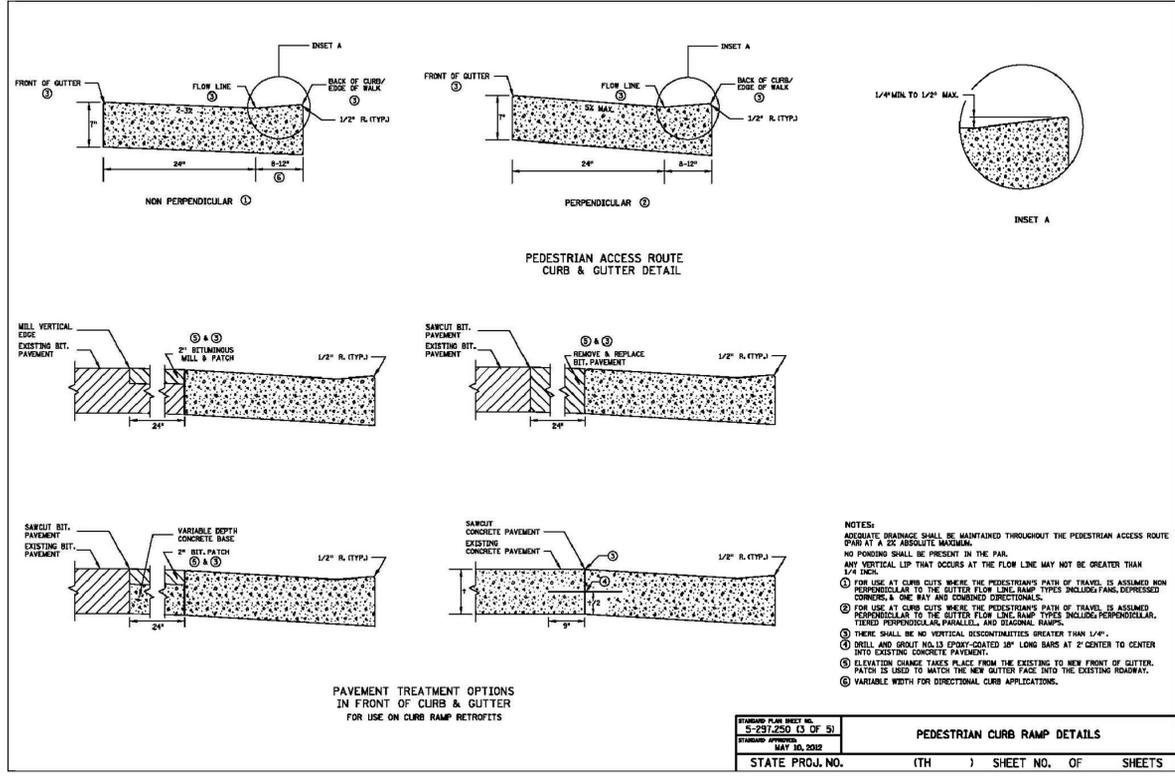
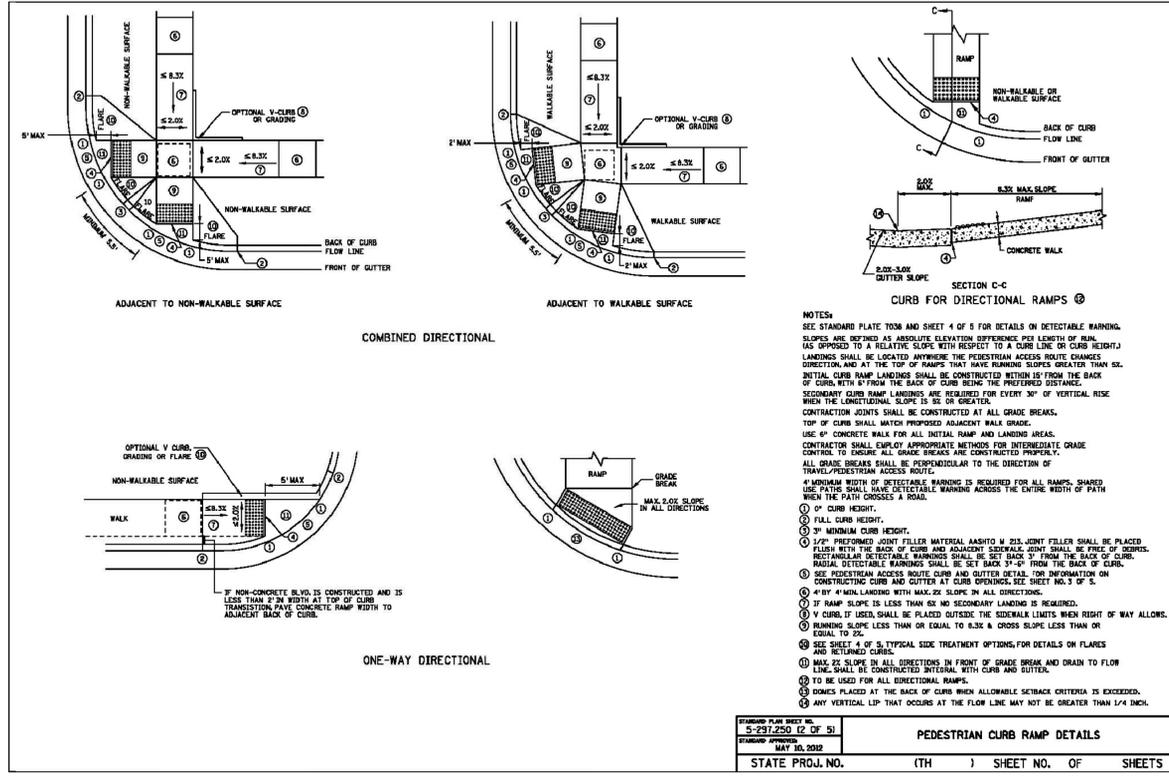
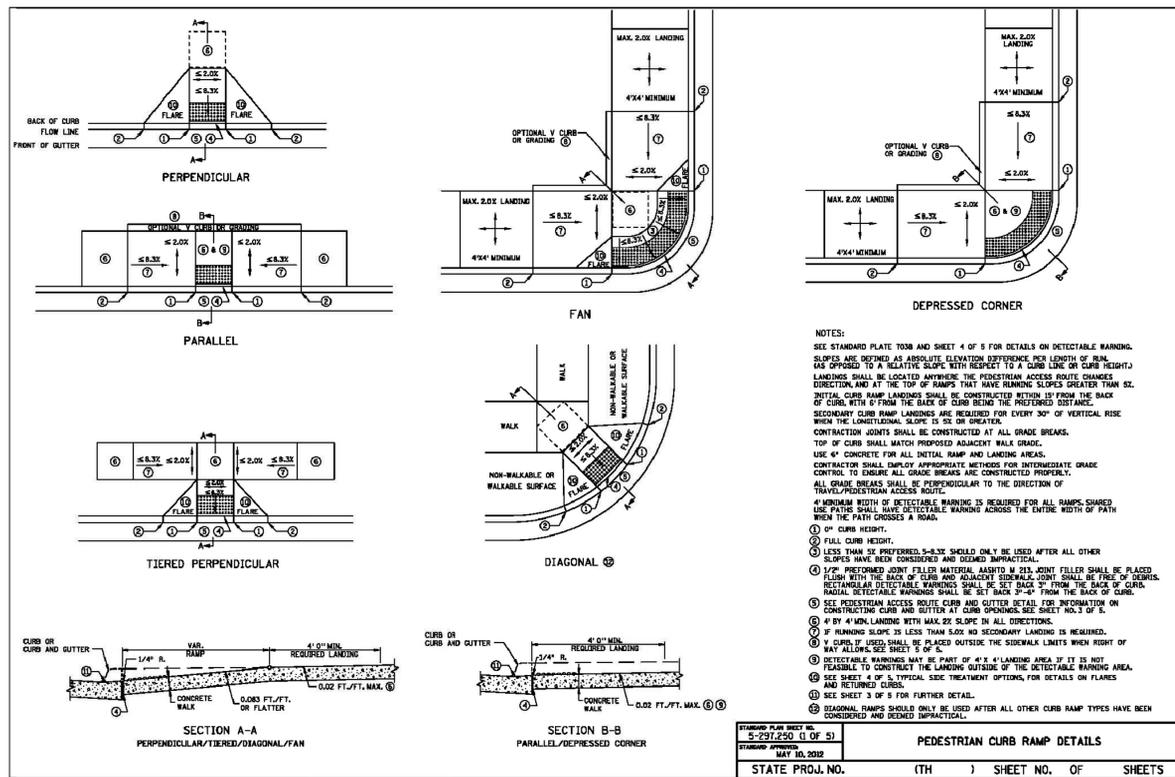
CERTIFICATION
I HEREBY CERTIFY THAT THIS SURVEY, PLAN, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.
Mark D. Kemper
MARK D. KEMPER, PLS 18407
DATED THIS 2ND DAY OF APRIL, 2014

CERTIFICATE OF SURVEY



CITY OF MINNEAPOLIS CURB AND GUTTER DETAILS

MN DOT STANDARD PEDESTRIAN CURB RAMP DETAILS
5-297.250



Dinkytown Rentals, LLC
1112 6th Street SE
Minneapolis, MN 55414
www.dinkytownrentals.com

WELLS & COMPANY ARCHITECTS
612-669-2052
3346 Hennepin Ave S
Minneapolis, MN 55408
www.WellsandCompanyArchitects.com

PROJECT TITLE:
AFFORDABLE BIKE FRIENDLY HOUSING
725 8TH ST SE APARTMENTS

CIVIL DETAILS
CURB AND GUTTER ADA SIDEWALK

SUBMITTED FOR ZONING APPROVAL PUBLIC HEARING APRIL 27, 2015

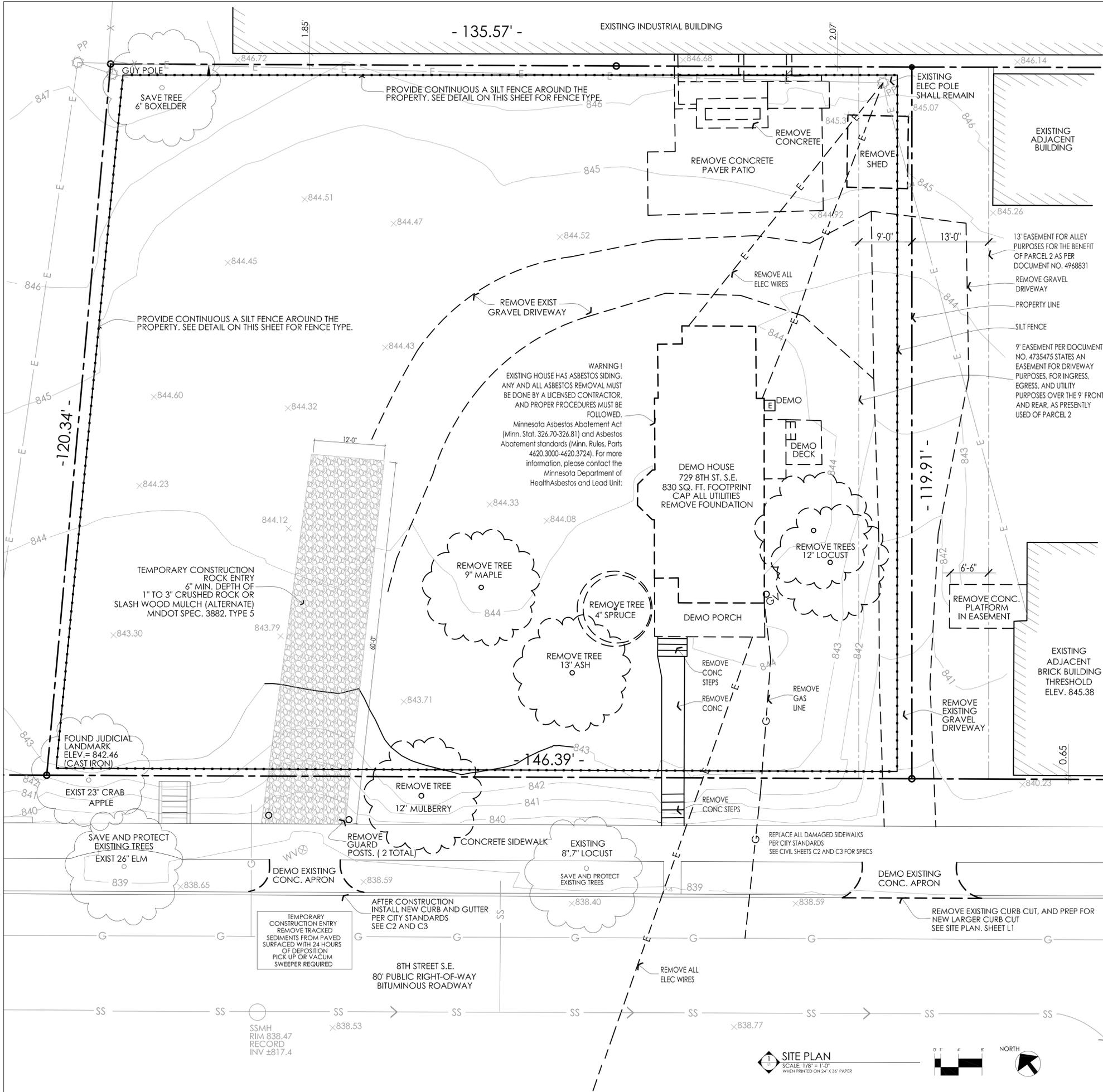
PROJECT #: 01-2015
DRAWN BY: WELLS
CHECKED BY: WELLS
ISSUE DATE:
C.O.W. / ZONING 3/9/15
CPC / ZONING 3/25/15

I hereby certify that this plan specification or report was prepared by me or under my direct supervision and that I am a duly registered architect under the law of the state of Minnesota

signed: William M. Wells, Architect
date: reg. no. 49615

SHEET NO:

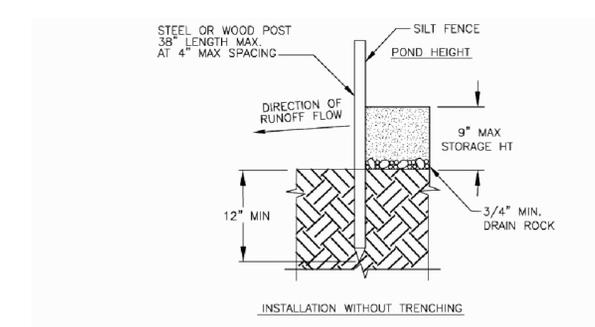
CO



MINNEAPOLIS STANDARD EROSION CONTROL NOTES

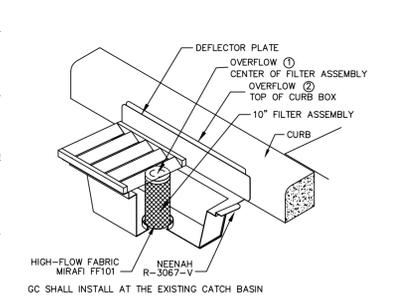
- Contractor must call for a pre-construction meeting 48 hours prior to any land disturbances 612-673-2738. Failure to do so may result in the revocation of permit and a stop work order being issued.
- Install perimeter erosion control at the locations shown on the plans prior to beginning construction. (Hay bales are not an acceptable perimeter control)
- Before beginning construction, install a temporary rock construction entrance at each point where vehicles exit the construction site. Use 2 inch or greater diameter rock in a layer at least 6 inches thick across the entire width of the entrance. Extend the rock entrance at least 50 feet into the construction zone. Use a geo-textile fabric beneath the aggregate in order to prevent migration of soil into the rock from below
- Remove all soils and sediments tracked or otherwise deposited onto public and private pavement areas. Removal shall be on a daily basis when tracking occurs. Sweeping may be ordered by at any time if conditions warrant. Sweeping shall be maintained throughout the duration of the construction and done in a manner to prevent dust being blown to adjacent properties.
- Install inlet protection at all public and private catch basin inlets, which receive runoff from the disturbed areas. Catch basin inserts are required in undisturbed areas that receive runoff from disturbed areas. NOTE: Hay bales or filter fabric wrapping the grates are not effective or acceptable form of inlet protection.
- Locate soil or dirt stockpiles no less than 25 feet from any public or private roadway or drainage channel. If remaining for more than seven days, stabilize the stockpiles by mulching, vegetative cover, tarps, or other means. Control erosion from all stockpiles by placing silt barriers around the piles. Temporary stockpiles located on paved surfaces must be no less than two feet from the drainage/gutter line and shall be covered if left more than 24 hours.
- Maintain all temporary erosion and sediment control devices in place until the contributing drainage area has been stabilized. Inspect temporary erosion and sediment control devices on a daily basis and replace damaged control devices immediately.
- Temporarily or permanently stabilize all construction areas which have been finishgraded, and all areas in which grading or site building construction operations are not actively underway against erosion due to rain, wind and running water within 7-14 days. Use seeding and mulching, erosion control matting, and/or sodding and staking in green space areas. Application of gravel base on areas to be paved recommended minimizing erosion potential.
- Remove all temporary synthetic, structural, non-biodegradable erosion and sediment control devices after the site has undergone final stabilization and permanent vegetation has been established, minimum vegetation establishment is 70% cover, maintain all temporary erosion control devices until 70% established cover is achieved.
- Ready mixed concrete and concrete batch plants prohibited within the public right of way, designate concrete mixing/washout locations in the erosion control Plan. Under no circumstances may washout water drain onto the public right of way or into the public storm sewer.
- Save and protect all trees in the right of way during construction with a chain link fence

SILT FENCE DETAIL



- USE HI-FLOW FILTER FABRIC, 200 GAL. PER MINUTE PER SQUARE FOOT
- NOTES:
- SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.
 - INSPECT AND REPAIR FENCE AFTER EACH STORM EVEN AND REMOVE SEDIMENT WHEN NECESSARY, REQUIRED WHEN 1/3 FULL WITHIN 24 HOURS OF DISCOVERY. 9\"/>
 - REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND PERMANENTLY STABILIZED ALSO SEE SEWR-8009.

WIMCO - CATCH BASIN INLET PROTECTION DEVICE



GENERAL CONSTRUCTION NOTES

DURING EXCAVATION FOR THE NEW FOUNDATION, THE SLOPES TO THE BOTTOM OF THE EXCAVATION CAN NOT EXCEED 1:1 AND THE CONTRACTOR MUST PROVIDE A FENCE AROUND THE SITE TO PREVENT UNAUTHORIZED ACCESS.

Dinkytown Rentals, LLC
1112 6th Street SE
Minneapolis, MN, 55414
www.dinkytownrentals.com

WELLS & COMPANY ARCHITECTS
612-669-2052
3346 Hennepin Ave S
Minneapolis, MN 55408
www.WellsandCompanyArchitects.com

PROJECT TITLE:
AFFORDABLE BIKE FRIENDLY HOUSING
725 8TH ST SE APARTMENTS

EROSION CONTROL DEMOLITION PLAN

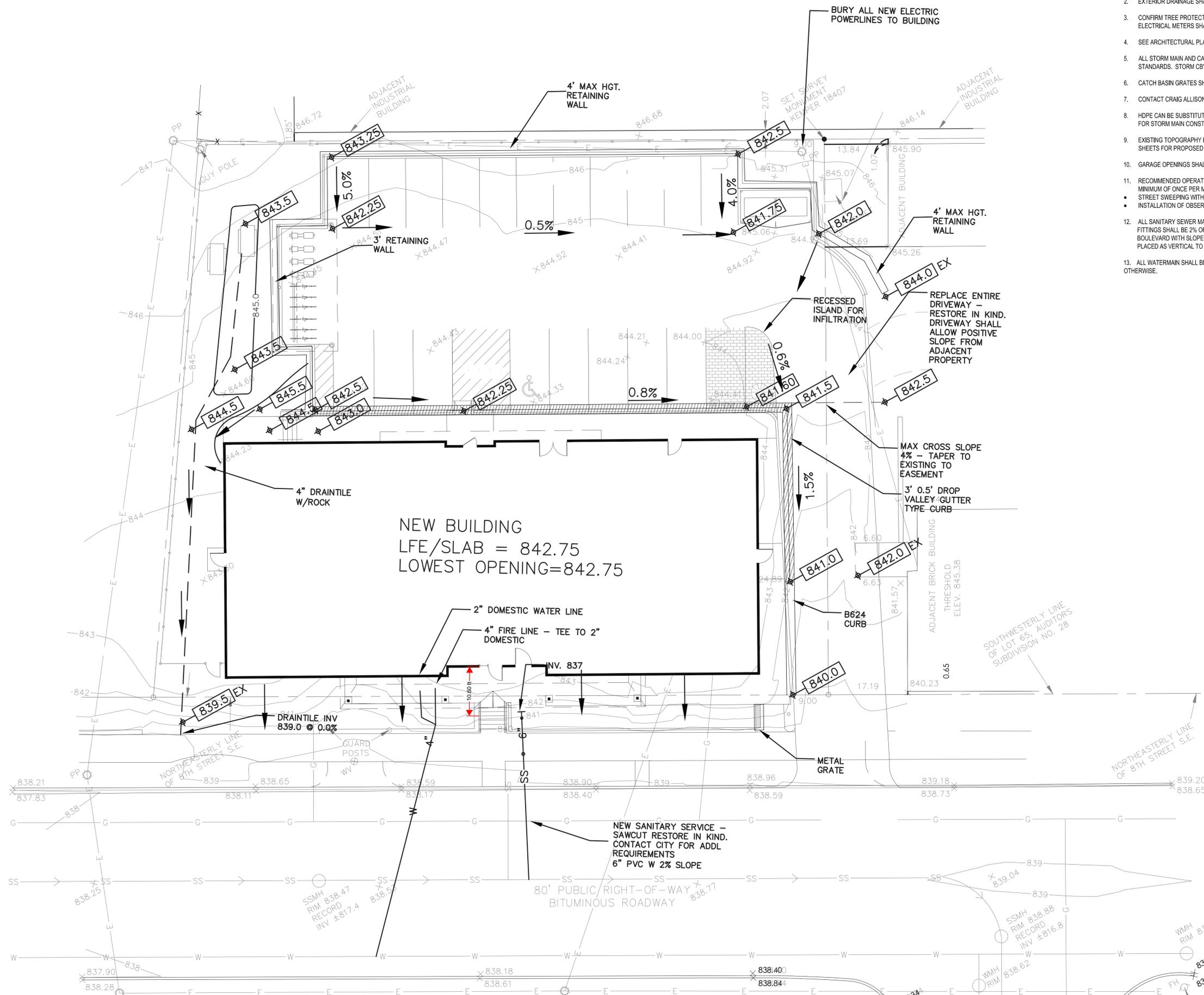
SUBMITTED FOR ZONING APPROVAL PUBLIC HEARING APRIL 27, 2015

PROJECT #: 01-2015
DRAWN BY: WELLS
CHECKED BY: WELLS
ISSUE: DATE:
C.O.W. / ZONING 3/9/15
CPC / ZONING 3/25/15

I hereby certify that this plan specification or report was prepared by me or under my direct supervision and that I am a duly registered architect under the law of the state of: Minnesota

signed: William M. Wells, Architect
date: reg. no. 49615

SHEET NO:
C1



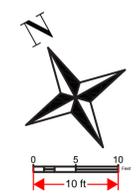
SUPPLEMENTAL SITE PLAN NOTES:

- SEE ARCHITECTURAL PLANS FOR ADDITIONAL SITE PLAN INFORMATION INCLUDING SPOT ELEVATIONS, RETAINING WALLS, UTILITIES AND OTHER PLAN DETAILS.
- EXTERIOR DRAINAGE SHALL BE ROUTED AWAY FROM REAR PARKING AREA AS FEASIBLE.
- CONFIRM TREE PROTECTION REQUIREMENTS WITH OWNER BEFORE COMMENCING WORK. PLACEMENT OF GAS AND ELECTRICAL METERS SHALL NOT INTERFERE WITH NEW SIDEWALK AREAS.
- SEE ARCHITECTURAL PLANS FOR ADDITIONAL EROSION CONTROL PLAN AND UTILITY INFORMATION.
- ALL STORM MAIN AND CATCH BASIN CONSTRUCTION SHALL FOLLOW THE CITY OF MINNEAPOLIS PUBLIC WORKS STANDARDS. STORM CB'S AND CBM'S SHALL BE THE STANDARD 30" DESIGN.
- CATCH BASIN GRATES SHALL BE RATED H-15 OR OF HIGHER STRENGTH.
- CONTACT CRAIG ALLISON AT THE CITY OF MINNEAPOLIS PUBLIC WORKS FOR ALL WORK WITHIN RIGHT OF WAY AREAS.
- HDPE CAN BE SUBSTITUTED FOR PERFORATED PVC. USE OF PVC AND HDPE SHALL CONFORM TO MNDOT STANDARDS FOR STORM MAIN CONSTRUCTION.
- EXISTING TOPOGRAPHY BY OTHERS. EXISTING TOPOGRAPHY IS BASED ON NAVD88 DATUM. SEE ARCHITECTURAL SHEETS FOR PROPOSED TOPOGRAPHY.
- GARAGE OPENINGS SHALL BE PLACED AT AN ELEVATION OF 869.0 OR HIGHER.
- RECOMMENDED OPERATION AND MAINTENANCE OF UNDERGROUND STRUCTURES SHALL INCLUDE INSPECTIONS A MINIMUM OF ONCE PER MONTH DURING GROWING SEASON. ADDITIONAL MEASURES SHOULD INCLUDE:
 - STREET SWEEPING WITHIN PARKING LOT - MINIMUM TWICE PER YEAR USING VACUUM TYPE SWEEP UNITS
 - INSTALLATION OF OBSERVATION WELL OR CLEANOUT AT OPPOSITE END OF DRAINTILE LINE
- ALL SANITARY SEWER MAIN SHALL BE PVC SDR-35 UNLESS STATED OTHERWISE. MINIMUM MAIN SLOPE INCLUDING FITTINGS SHALL BE 2% OR STEEPER. SLOPE SHOULD BE LIMITED TO 10% OR FLATTER WHERE FEASIBLE WITHIN BOULEVARD WITH SLOPE GRADUALLY INCREASING TOWARDS MAINLINE CONNECTION. DROP-SADDLE SHOULD BE PLACED AS VERTICAL TO MAIN AS FEASIBLE.
- ALL WATERMAIN SHALL BE DUCTILE IRON CLASS 52. WATER SERVICE SHALL BE COPPER TYPE "K" UNLESS STATED OTHERWISE.

IMPORTANT NOTE REGARDING USE OF THIS DOCUMENT: Unless Mariner Professional Services or MPS has a signed agreement to provide Construction Management or Design Services which include preparation of Bid Documents, Review of Shop Drawings, or Inspection and Verification services related to this document, AND Dated and Initialed "Work Inspected" and "Work Verified" information appears within this Plan, the Project Owner, Construction Contractors and Installers agrees to indemnify, defend, and hold harmless MPS, and its officers, agents, and employees including other design professionals responsible for preparation of this Plan against any and all claims, suits, losses, damages, or costs, including reasonable attorney's fees, arising from the use of design or construction plans or documents, signed or unsigned, in electronic or paper form.

LEGEND

PROPOSED		EXISTING	
SPOT ELEVATION	902	SPOT ELEVATION	902.5
CONTOUR	902	CONTOUR	902.5
RIP RAP	902	RIP RAP	902.5
CURB & GUTTER	902	CURB & GUTTER	902.5
STORM SEWER	12"	STORM SEWER	12"
SANITARY SEWER	6"	SANITARY SEWER	6"
WATERMAIN	2"	WATERMAIN	2"



FOR ZONING REVIEW 3-25-15

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PROJECT TITLE:
A NEW HOUSING PROJECT
721 8th ST SE
725 8th ST SE
729 8th SE SE
Minneapolis, MN

SHEET TITLE:

Civil Site Plan

WORK INSPECTED: N/A
WORK VERIFIED: N/A
DATE: N/A

PROJECT #: 15-WELL-01
DRAWN BY: ATP
CHECKED BY: ATP/WW
ISSUE: DATE:

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

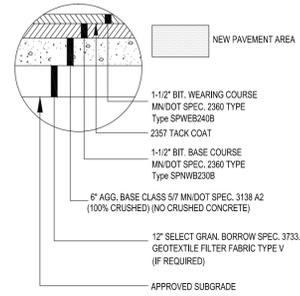
SIGNATURE:
TYPED OR PRINTED NAME:
ADAM T. PARKER
DATE: 3/10/15 REG. NO. 42733

SHEET NO:
C-2

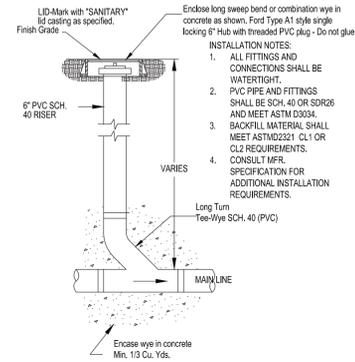
CONSTRUCTION NOTES RELATED TO UTILITY AND STREET (INCLUDING HARDCOVER SURFACES) CONSTRUCTION:

IMPORTANT: THE CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING THESE NOTES PRIOR TO WORK COMMENCING. IN ADDITION TO THE NOTES SHOWN ON THE CURRENT PLAN, THERE MAY BE ADDITIONAL PLANS, SPECIFICATIONS AND DETAILS APPLICABLE TO THIS PROJECT. THE CONTRACTOR SHALL REVIEW ALL APPLICABLE ITEMS AND ADDRESS CONFLICTS OR ISSUES WITH THE PROJECT OWNER'S REPRESENTATIVE BEFORE BEGINNING CONSTRUCTION OPERATIONS. TYPICAL ADDITIONAL APPLICABLE DOCUMENTS MAY INCLUDE (NOT EXHAUSTIVE AND SHOWN FOR REFERENCE PURPOSES ONLY):

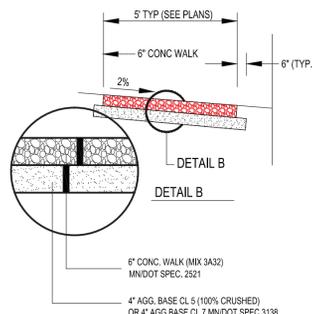
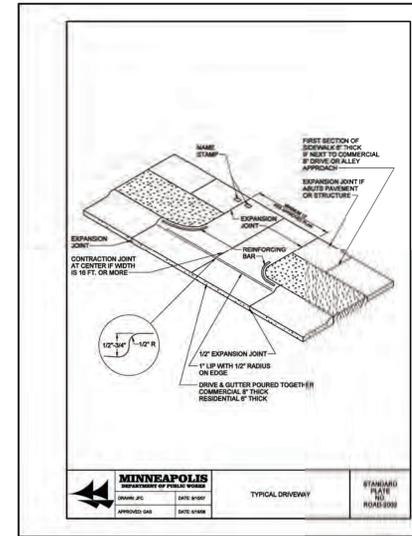
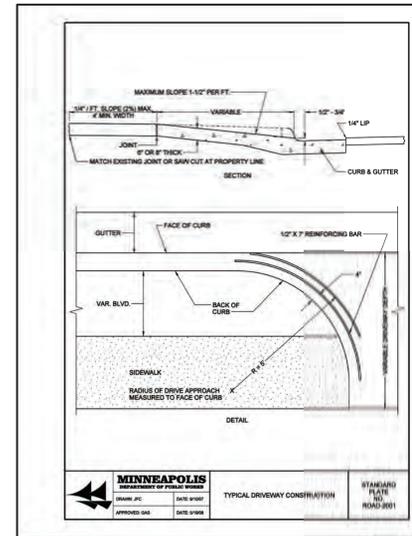
- NPDES PERMITS
 - EROSION CONTROL PLAN, GRADING PLAN, LANDSCAPE PLAN, ARCHITECTURAL PLANS, DETAIL SHEETS ETC.
 - GEOTECHNICAL SOIL EVALUATION
 - ARCHITECTURAL SPECIFICATIONS
 - MUNICIPAL, WATER DISTRICT, STATE, FEDERAL AND REGULATORY CONSTRUCTION PERMITS
- A. THE CONTRACTOR IS CAUTIONED THAT THE SUBSURFACE UTILITY INFORMATION SHOWN ON THESE PLANS IS A UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF CHASCE 38-02 TITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA". CLASS LEVEL D INDICATES THE UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR AND/OR SUBCONTRACTORS SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK BY CONTACTING THE NOTIFICATION CENTER (GOPHER STATE ONE FOR MINNESOTA AT 1-800-252-1166). THE CONTRACTOR AND/OR SUBCONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS OR HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES (UNDERGROUND AND OVERHEAD).
- B. IF THE CONTRACTOR ENCOUNTERS ANY UTILITY LINES WITHIN THE SITE INCLUDING DRAINAGE OR IRRIGATION LINES, HE OR SHE SHALL NOTIFY THE ENGINEER WITH THE LOCATION, SIZE, INVERT AND DIRECTION OF THOSE UTILITY LINES. NO UTILITY LINE SHALL BE BACKFILLED OR ALTERED WITHOUT REVIEW, DISCUSSION AND WRITTEN APPROVAL FROM THE PROJECT ENGINEER. THE CONTRACTOR SHALL BEAR RESPONSIBILITY OF THE RELOCATING ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS AT NO ADDITIONAL PAYMENT BY THE OWNER.
- C. E UTILITY IMPROVEMENTS FOR THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "STANDARD UTILITIES SPECIFICATIONS" AS PUBLISHED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA (CEAM) AS AMENDED FROM TIME TO TIME. CONTRACTOR SHALL AT A MINIMUM, FOLLOW THESE SPECIFICATIONS AND ADDITIONAL SPECIFICATIONS FROM ANY REGULATORY AGENCY FOR THIS PARTICULAR PROJECT.
- E. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTING THE SITE FOR TREES AND NATIVE VEGETATION PRIOR TO WORK. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONDUCT A PRE-CONSTRUCTION MEETING TO VERIFY QUANTITIES AND LIMITS OF TREE AND NATIVE VEGETATION REMOVAL. CONTRACTOR SHALL RESTRICT ALL GRADING AND CONSTRUCTION ACTIVITIES TO AREAS DESIGNATED ON THE PLANS. ACTIVITIES WITHIN THE CONSTRUCTION MAY BE RESTRICTED TO A NARROWER WIDTH IN THE FIELD TO SAVE ADDITIONAL TREES AS DIRECTED BY THE OWNER.
- F. CONTRACTOR SHALL NOT OPEN, TURN OFF, INTERFERE WITH, OR ATTACH ANY PIPE OR HOSE TO OR TAP WATERMAIN BELONGING TO THE CITY OR ANY PRIVATE PARTY UNLESS DULY AUTHORIZED TO DO SO BY THE MUNICIPALITY OR ANY PARTY WITH PERMIT AUTHORITY. ANY ADVERSE CONSEQUENCES OF ANY SCHEDULED OR UNSCHEDULED DISRUPTIONS OF SERVICE TO THE PUBLIC ARE THE LIABILITY OF THE CONTRACTOR.
- G. ALL STORM PIPE SHALL BE HDPE UNLESS OTHERWISE STATED ON PLAN. HDPE PIPE SHALL MEET ASTM F894 & AASHTO M-294 (TYPE S) WITH WATERTIGHT FITTINGS.
- H. THE CONTRACTOR SHALL REMOVE EXISTING WATER AND SEWER SERVICE LINES SERVICING THE CURRENT PROPERTY. THE CONTRACTOR MAY ABANDON SERVICE LINES PROVIDED THE EXISTING SERVICE LINES DO NOT INTERFERE WITH NEWLY INSTALLED SERVICE LINES. CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING PROPER ABANDONING AND BACKFILLING OF RETIRED SERVICE LINES AT NO ADDITIONAL COST TO THE OWNER. CONTACT CRAIG ALLISON AT THE CITY OF MINNEAPOLIS FOR ADDITIONAL UTILITY CONSTRUCTION REQUIREMENTS.
- I. GENERAL CONTRACTOR TO CONSULT OWNER REGARDING CONSTRUCTION OF SMALL UTILITIES. EACH EACH INDIVIDUAL BUILDING WILL HAVE AN ELECTRIC METER (LOCATED ON THE SOUTH END OF 1015 BUILDING AND THE NORTH END OF 1011 BUILDING. GAS SERVICE TO BE ROUTED THROUGH THE MECHANIC ROOM LOCATED ADJACENT TO THE COURTYARD.
- J. ALL WATERMAIN SERVICE SHALL BE INSULATED AS REQUIRED.



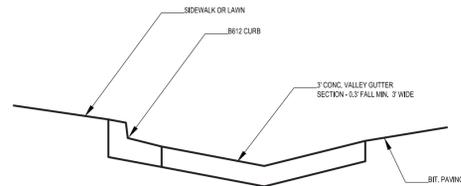
TYPICAL BITUMINOUS PAVEMENT SECTION



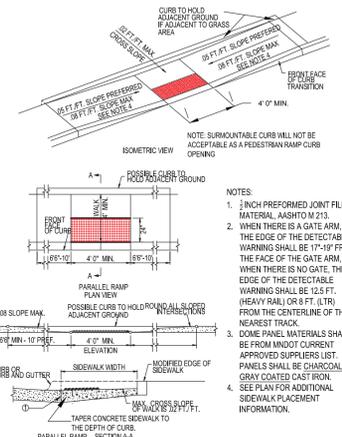
SANITARY CLEANOUT



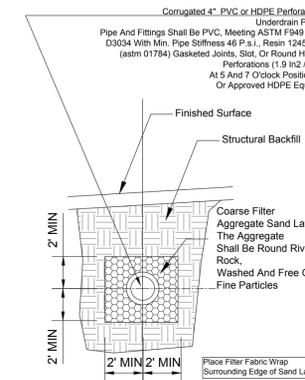
SIDEWALK DETAIL



TYP. VALLEY GUTTER SECTION



ACCESS RAMP



4" PVC PERF PIPE DETAIL
TYPICAL X- SECTION

- NOTES:
1. MIN 6" THICK CONCRETE SIDEWALK AT ALL DRIVEWAYS
 2. PLACE PEDESTRIAN CURB RAMPS ACCORDING TO PLAN.
 3. PROVIDE EXPANSION JOINT MATERIAL AT MAX 100' SPACING AND 6' SPACING FOR TRAWLED JOINTS
 4. PROVIDE EXPANSION JOINT MATERIAL MEETING MNDOT SPEC 3702 ALONG BOTH EDGES OF WALK WHERE WALK IS CONTAINED BETWEEN FIXED OBJECTS INCLUDING CURB.
 5. JOINT SPACING SHALL BE EVERY 6'.

- NOTES:
1. 3/8" INCH PREFORMED JOINT FILLER MATERIAL, AASHTO M 213.
 2. WHEN THERE IS A GATE ARM, THE EDGE OF THE DETECTABLE WARNING SHALL BE 17"-19" FROM THE FACE OF THE GATE ARM. WHEN THERE IS NO GATE, THE EDGE OF THE DETECTABLE WARNING SHALL BE 12.5 FT. (HEAVY RAIL OR 8 FT. (LETR) FROM THE CENTERLINE OF THE NEAREST TRACK.
 3. DOME PANEL MATERIALS SHALL BE FROM MNDOT CURRENT APPROVED SUPPLIERS LIST. PANELS SHALL BE CHARCOAL GRAY COATED CAST IRON.
 4. SEE PLAN FOR ADDITIONAL SIDEWALK PLACEMENT INFORMATION.

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PROJECT TITLE:
A NEW HOUSING PROJECT
721 8th ST SE
725 8th ST SE
729 8th SE SE
Minneapolis, MN

SHEET TITLE:

Civil Details

WORK INSPECTED: N/A
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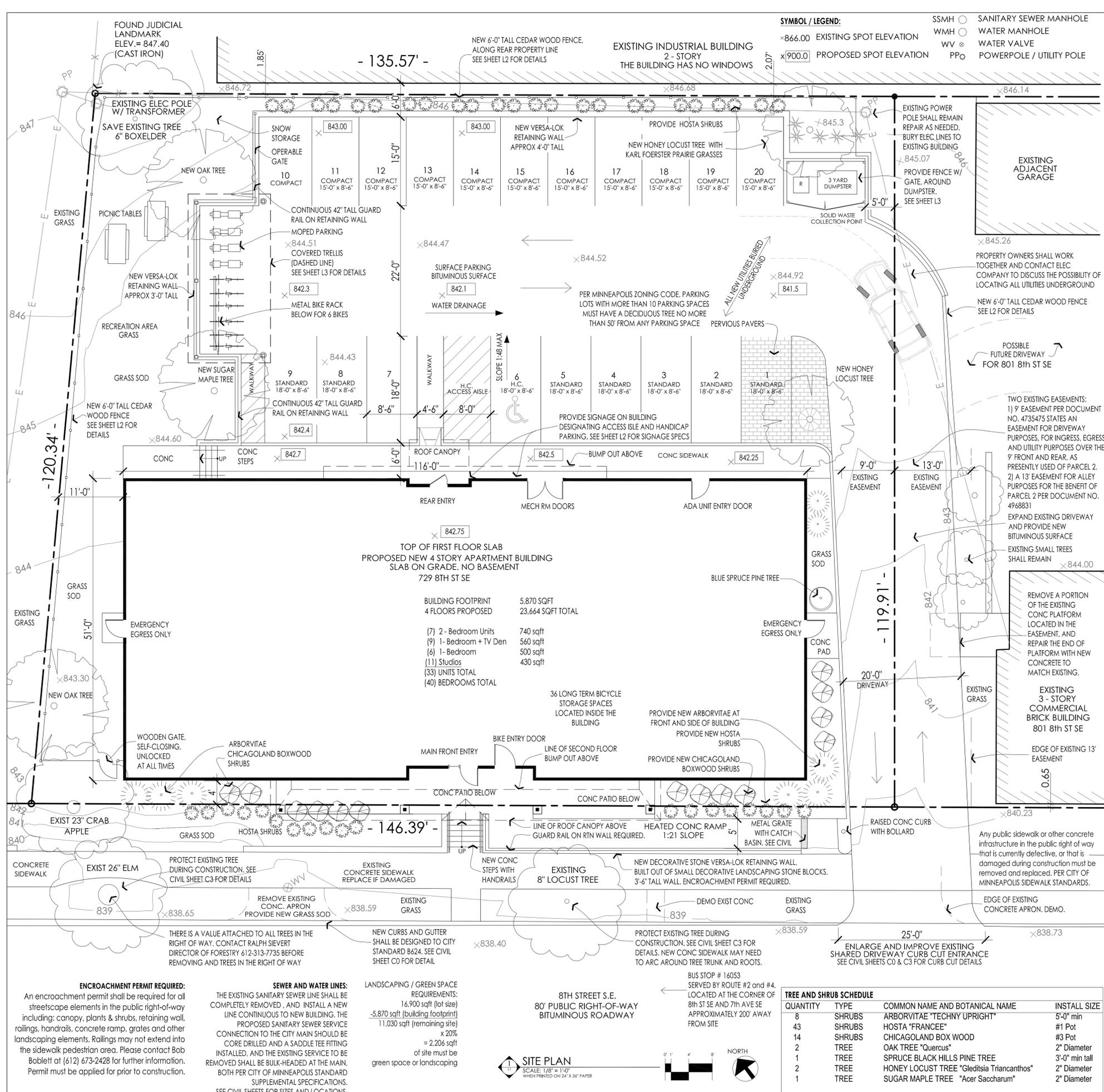
I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

SIGNATURE:

TYPED OR PRINTED NAME:
ADAM T. PARKER
DATE: 3/10/15 REG. NO. 42733

SHEET NO:

C-3



SYMBOL / LEGEND:

×866.00	EXISTING SPOT ELEVATION	SSMH ○	SANITARY SEWER MANHOLE
×900.00	PROPOSED SPOT ELEVATION	WMH ○	WATER MANHOLE
		WV ⊗	WATER VALVE
		PP○	POWERPOLE / UTILITY POLE

PROPERTY SIZE:
 PARCELS 1, 2 & 3-
 TOTAL PROPERTY AREA = 16,905 SQ. FT.
 0.3881 ACRES

BASIS FOR ELEVATION:
 BENCHMARK: TOP OF NEAREST FIRE HYDRANT
 AT THE NE CORNER OF 8TH ST SE AND 8TH AVE SE
 APPROX 100' FROM THE SITE
 ELEVATION= 843.33 (NAVD88)

- GENERAL SITE PLAN NOTES:**
- The impervious surface on the site is 13,905 SQFT, the proposed landscape area is 3,000 sqft
 - See civil sheets C1 for erosion control plan, construction entrance, and demolition plans.
 - Call the surveyor of record and have the proposed building staked before excavation.
 - Parkland Dedication Fee must be paid at the time the contractor picks up the permit. Minneapolis Ordinance 598.340
 - Contact Tom Frame 612-673-5807 to schedule an inspection need with Environmental Services to identify and register equipment and processes that impact the environment.
 - The lighting plan must comply with Section 535.590 of the Minneapolis Zoning Code.
 - The lighting fixtures shall not exceed two thousand (2,000) lumens equivalent to a one hundred fifty (150) watt incandescent bulb unless a cutoff type that shields the light source from an observer at the closest property line of any permitted or conditional residential use. The lighting fixtures shall be effectively arranged as not to directly or indirectly cause illumination or glare in excess of one-half (1/2) footcandle for residential use, & five (5) footcandles measured at the street, curb or nonresidential property line nearest the light source.
 - Street lighting installed as part of the Project shall be inspected by the City. Contractors shall arrange for inspections with the Traffic Department, please contact Dave Prehall at (612) 673-5759 for further information. Any lighting installations not meeting City specifications will be required to be reinstalled at Owner expense.
 - All snow shall be removed from the driveway. Snow in the parking lot shall be stored next to parking space #10

- LANDSCAPE DESIGN AND INSTALLATION NOTES:**
- The landscape contractor and all subcontractors shall inspect the site and become familiar with the existing conditions relating to the nature and scope of the work, before providing a bid on the project.
 - The landscape contractor shall verify plant layout, drainage, and dimensions on site and bring any discrepancies to the attention of the architect. The landscape contractor shall not change plant types without architect or Owner's written permission. The landscape contractor shall install all new plants and trees after all grading and construction has been completed and provide a one year warranty.
 - The landscape contractor shall sod all existing grass areas disturbed due to grading and construction. Where sod abuts paved surfaces, the finished grade or sod shall be held to 1" below the surface elevation of the paved area. The sod shall be laid parallel to the contours and shall have staggered joints.
 - The landscape contractor shall assure compliance with all applicable codes and regulations governing the work and or materials supplied and all plant materials installed comply with the latest edition of the American Standards for Nursery Stock, ANSI Z60.1 unless noted otherwise.
 - The landscape contractor shall ensure all planting areas receiving ground cover, perennials, or annuals shall receive a minimum of 18" depth of planting soil consisting of at least 45 parts topsoil, 45 parts screened compost or manure and 10 parts sand.
 - The landscape contractor shall provide min 4" deep shredded hardwood mulch in all shrub and plant beds as shown on plans, provide a fiber mat weed barrier. See L2 for details.

- RIGHT OF WAY NOTES:**
- Temporary and permanent related encroachments in the public right of way requires a permit, contact Robert Boblett at 612-673-2428 for more information.
 - Snow storage is not permitted in the public right of way.
 - Contact Craig Pinkalla at 612-499-9233 cpinkalla@minneapolis.org regarding any questions related to planting, removal, or the process for protecting trees during construction in the City Right of Way.
 - An obstruction permit is required anytime construction work is performed in the Public right-of-way. Please contact Scott Kramer at 612-673-2383 regarding details of sidewalk & lane closures. Log on to http://minneapolis.mn.roadway.net/ for a permit.
 - Contact Allan Klugman at (612) 673-2743 prior to construction for the temporary removal/temporary relocation of any City of Minneapolis signal system that may be in the way of construction.
 - All costs for relocation and/or repair of City traffic facilities shall be borne by the Contractor and/or Property Owner.
 - Contact Doug Maday at (612) 673-5755 prior to construction for the removal of any City of Minneapolis right of way signs that may be in the way of construction.

- STREETS, SIDEWALKS, TRAFFIC AND PARKING NOTES:**
- All driveway aprons, curbs, and gutters must be designed and constructed to City standards. See civil sheet C0 and C3.
 - A sidewalk construction permit must be obtained before the start of any work in the public right of way.
 - The contractor must replace any concrete infrastructure in the City right of Way that is damaged during construction. A \$15,000 Sidewalk Contractor's Bond must be obtained from Public Works Sidewalk Inspections prior to the start of any work in the Public right-of-way.
 - An obstruction permit is required before any work is performed in the public right of way. Contact Scott Kramer at 612-673-2383 for sidewalk and lane closures.
 - 20 feet of straight curb from the corner radius the beginning of a proposed drive apron is required.

- WATER AND SEWER (UTILITY DESIGN) NOTES:**
- See civil sheets for size of water and sewer lines.
 - Provide new K copper water service line, joints to existing and connected at curb. Sewer service to enter proposed structure within 27' building lines as per the City of Minneapolis sewer requirements. Before digging the contractor shall call public sanitary and storm sewer records at 612-673-2865 and the Utility water and sewer department at 612-673-2451
 - Replacement of the existing water service will be necessary, any existing connections not in use shall be removed per Utility Connections Dept. call 612-673-2451 for more info.
 - The water meter shall be located in the mechanical room.
 - The existing sanitary sewer service connection should be televised during construction to determine if it is damaged, questions related to public works surface water and sewer divisions should be directed towards Jeremy Strehlo, engineer at 612-673-3973
 - Contact Rock Rogers at 612-673-2286 to review domestic and fire service design, connections, and sizes.
 - Domestic water and fire service connections should run in a line perpendicular from the watermain straight into the building to the meter location. The tee splitting domestic and fire service line, must be located inside the building.
 - The proposed sanitary sewer service connection to the City main should be core-drilled and a saddle tee fitting installed, per City of Minneapolis Standard Supplemental Specifications.

- ENVIRONMENTAL HEALTH**
- Contact MN State Duty officer 651-649-5451 if contaminated soil is encountered during construction.
 - Permits and approval are required from Environmental Services for the following activities: After hours work; Temporary storage of impacted soils on site prior to disposal or reuse; Remediation of contaminated soil and groundwater. Reuse of impacted soils on site; Dewatering and discharge of accumulated storm water or ground water to city sewers; Flammable waste traps. Underground or aboveground tank installation or removal; Well construction or sealing; On-site rock crushing. Contact Tom Frame at tom.frame@minneapolismn.gov for permit applications and approvals.
 - No construction, demolition or commercial power maintenance equipment shall be operated within the city between the hours of 6:00 p.m. and 7:00 a.m. on weekdays or during any hours on Saturdays, Sundays and state and federal holidays, except under permit. Contact Environmental Services at 612-673-3867 for permit information.
 - No construction, demolition or commercial power maintenance equipment shall be operated within the city between the hours of 6:00 p.m. and 7:00 a.m. on weekdays or during any hours on Saturdays, Sundays and state and federal holidays, except under permit. Contact Environmental Services at 612-673-3867 for permit information.
 - Permits and approval are required from Environmental Services for the following activities: Temporary storage of impacted soils on site prior to disposal or reuse; Reuse of impacted soils on site; Dewatering and discharge of accumulated storm water or ground water, underground or above ground tank installation or removal, well construction or seeding. Contact Tom Frame at 612-673-5807 for permit applications and approvals.
 - A review of the project, permits issued and an inspection from Environmental Service for identification of equipment and site operations that require annual registration with the City of Minneapolis will occur for this project.

- CONSTRUCTION CODE SERVICES / BUILDING CODES**
- During excavation for the new foundation, the slopes to the bottom of the excavation can not exceed 1:1 and the contractor must provide a fence around the site at all times to prevent unauthorized access.
 - A Service Availability Charge (SAC) determination letter from the Met Council must be submitted with the building permit application.
 - See floor plans for individual unit addressing. Post signage in the front and in the rear on the building to be readily identified in case of fire or other emergency.

ENCROACHMENT PERMIT REQUIRED:
 An encroachment permit shall be required for all streetscape elements in the public right-of-way including: canopy, plants & shrubs, retaining wall, railings, handrails, concrete ramp, grates and other landscaping elements. Railings may not extend into the sidewalk pedestrian area. Please contact Bob Boblett at (612) 673-2428 for further information. Permit must be applied for prior to construction.

SEWER AND WATER LINES:
 THE EXISTING SANITARY SEWER LINE SHALL BE COMPLETELY REMOVED, AND INSTALL A NEW LINE CONTINUOUS TO NEW BUILDING. THE PROPOSED SANITARY SEWER SERVICE CONNECTION TO THE CITY MAIN SHOULD BE CORE DRILLED AND A SADDLE TEE FITTING INSTALLED, AND THE EXISTING SERVICE TO BE REMOVED SHALL BE BULK-HEADED AT THE MAIN. BOTH PER CITY OF MINNEAPOLIS STANDARD SUPPLEMENTAL SPECIFICATIONS. SEE CIVIL SHEETS FOR SIZES AND LOCATIONS.

LANDSCAPING / GREEN SPACE REQUIREMENTS:
 16,900 sqft (lot size)
 -5,870 sqft (building footprint)
 11,030 sqft (remaining site)
 = 2,206 sqft
 of site must be green space or landscaping

8TH STREET S.E. 80' PUBLIC RIGHT-OF-WAY BITUMINOUS ROADWAY
 BUS STOP # 16053 SERVED BY ROUTE #2 and #4. LOCATED AT THE CORNER OF 8th ST SE AND 7th AVE SE APPROXIMATELY 200' AWAY FROM SITE

TREE AND SHRUB SCHEDULE

QUANTITY	TYPE	COMMON NAME AND BOTANICAL NAME	INSTALL SIZE
8	SHRUBS	ARBORVITAE "TECHNY UPRIGHT"	5'-0" min
43	SHRUBS	HOSTA "FRANCEE"	#1 Pot
14	SHRUBS	CHICAGOLAND BOX WOOD	#3 Pot
2	TREE	OAK TREE "Quercus"	2" Diameter
1	TREE	SPRUCE BLACK HILLS PINE TREE	3'-0" min tall
2	TREE	HONEY LOCUST TREE "Gleditsia Triacanthos"	2" Diameter
1	TREE	SUGAR MAPLE TREE "Acer Saccharum"	2" Diameter

Dinkytown Rentals, LLC
 1112 6th Street SE
 Minneapolis, MN 55414
 www.dinkytownrentals.com

WELLS & COMPANY ARCHITECTS
 612-669-2052
 PO BOX 8589
 Minneapolis, MN 55408
 www.WellsandCompanyArchitects.com

PROJECT TITLE:
AFFORDABLE BIKE FRIENDLY HOUSING
725 8TH ST SE APARTMENTS

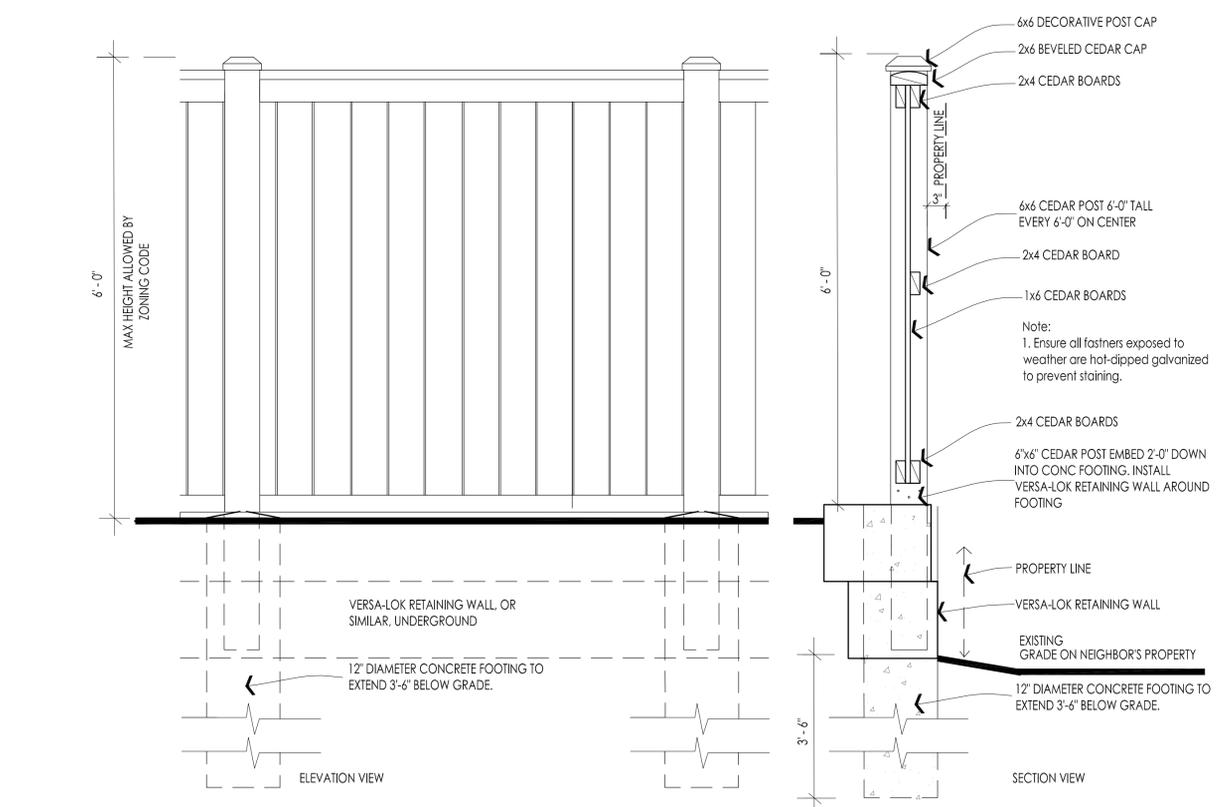
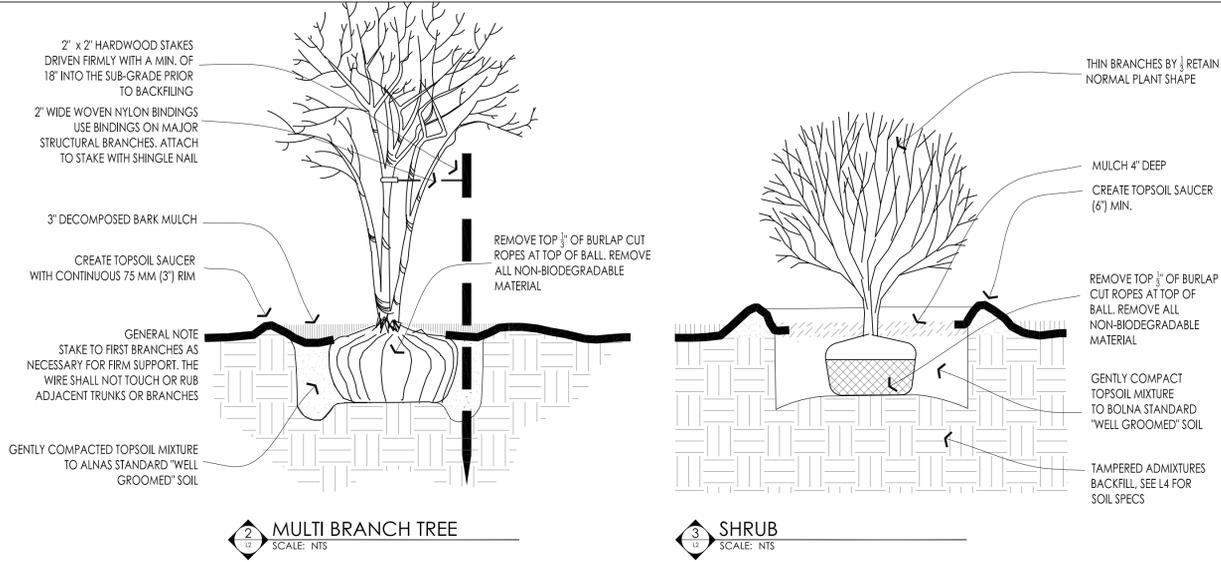
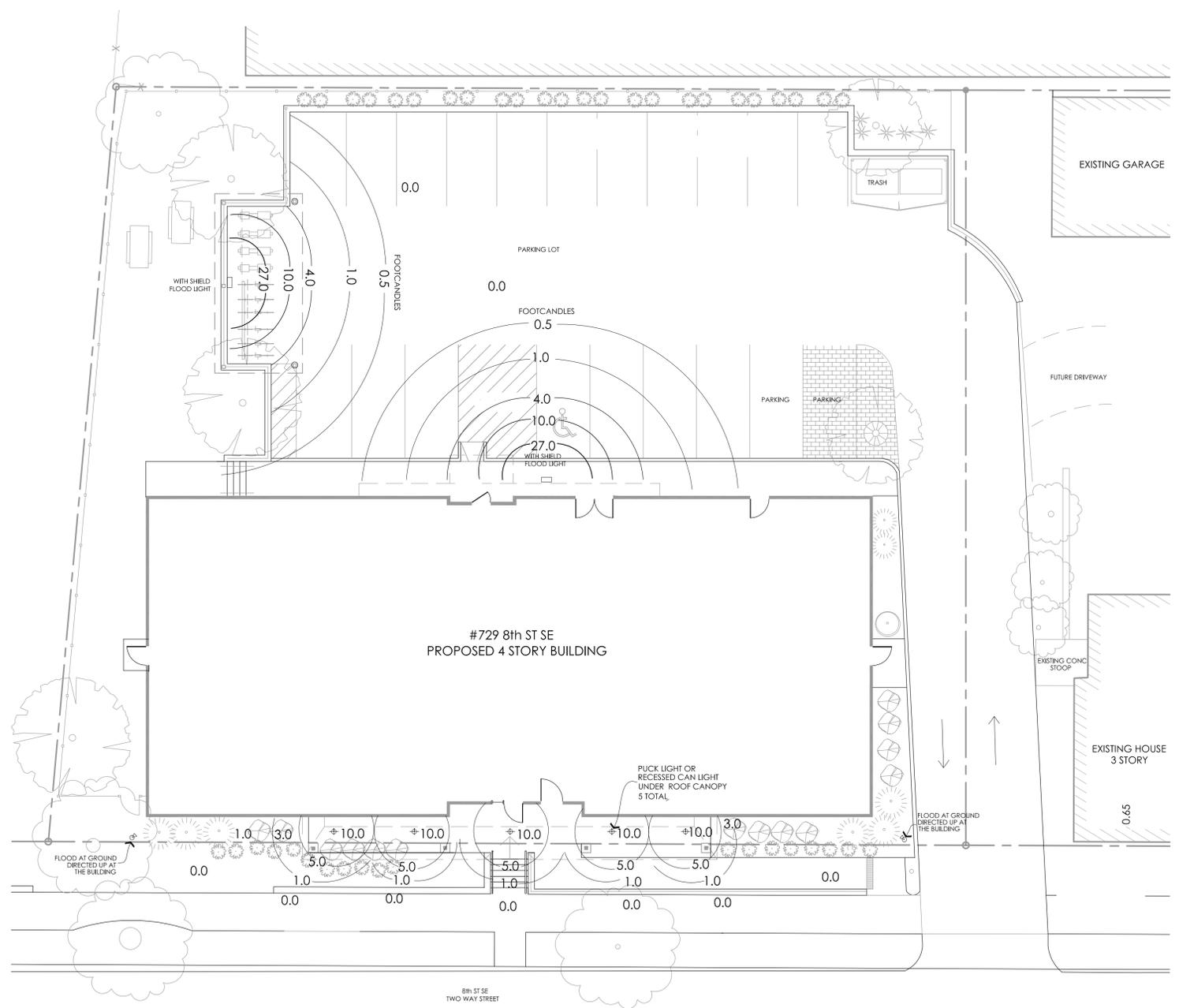
SHEET TITLE:
SITE PLAN

PDR AND ZONING RESUBMISSION
 INCLUDING COMMENTS FROM PUBLIC HEARING APRIL 27, 2015 AND PDR REPORT

PROJECT #: 01-2015
DRAWN BY: WELLS
CHECKED BY: WELLS
ISSUE: DATE:
C.O.W. / ZONING: 3/9/15
CPC / ZONING: 3/25/15

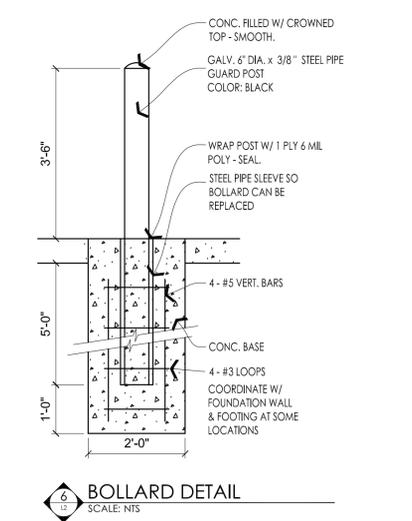
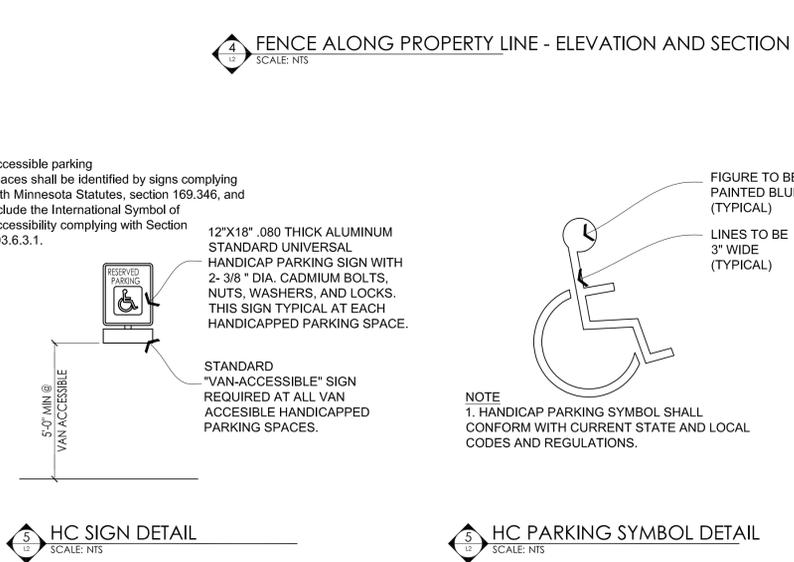
I hereby certify that this plan specification or report was prepared by me or under my direct supervision and that I am a duly registered architect under the law of the state of: Minnesota
 signed: William M. Wells, Architect
 date: reg. no. 49615

SHEET NO:
L1



LIGHTING SCHEDULE:			
PUCK LIGHT		Dark Bronze Lightology Enifty LV 50MR16_60_W	OR SIMILAR
FLOOD AT GRADE		Dark Bronze Lumiere Coronado 710-MH39PAR20-FL 1-39W	OR SIMILAR
FLOOD WITH SHIELD		WPK Wal-Pak Full Cut Off 400W Metal Halide Color: Dark Bronze OR SIMILAR	Cooper Lighting Supplier: BORDER STATES ELECTRIC 13415 WATER TOWER CIRCLE MINNEAPOLIS, MN 55441 Phone: (612) 553-7777 www.bseweb.com

- GENERAL LIGHTING NOTES**
The contractor must confirm all light fixture types and locations with Owner before install.
- CITY OF MINNEAPOLIS ZONING REQUIREMENTS FOR OUTDOOR LIGHTING 535.590**
- Per Minneapolis Zoning Code: Lighting fixtures shall not exceed two thousand (2,000) lumens equivalent to a one hundred fifty (150) watt incandescent bulb) unless of a cutoff type that shields the light source from an observer at the closest property line of any permitted or conditional residential use.
 - Lighting fixtures shall be effectively arranged so as not to directly or indirectly cause illumination or glare in excess of one-half (1/2) footcandle measured at the closest property line of any permitted or conditional residential use, and five (5) footcandles measured at the street curb line or nonresidential property line nearest the light source.
 - See lighting plan on this sheet L2 for proposed light level measurements.
 - Verify light fixture type and location of light fixture with owner before install.
 - The lighting plan must comply with Section 535.590 of the Minneapolis Zoning Code.
 - Lighting levels shown on the site plan are in Footcandles
 - Lighting of building facades or roofs shall be located, aimed and shielded so that light is directed only onto the facade or roof.
 - See sheet E1 for comprehensive list of all light fixture locations, schedules, and switches.



Dinkytown Rentals, LLC
1112 6th Street SE
Minneapolis, MN 55414
www.dinkytownrentals.com

DINKYTOWN RENTALS

WELLS & COMPANY ARCHITECTS
612-669-2052
3346 Hennepin Ave S
Minneapolis, MN 55408
www.WellsandCompanyArchitects.com

PROJECT TITLE:
AFFORDABLE BIKE FRIENDLY HOUSING
725 8TH ST SE APARTMENTS

SHEET TITLE:
LIGHTING PLAN & LANDSCAPE DETAILS

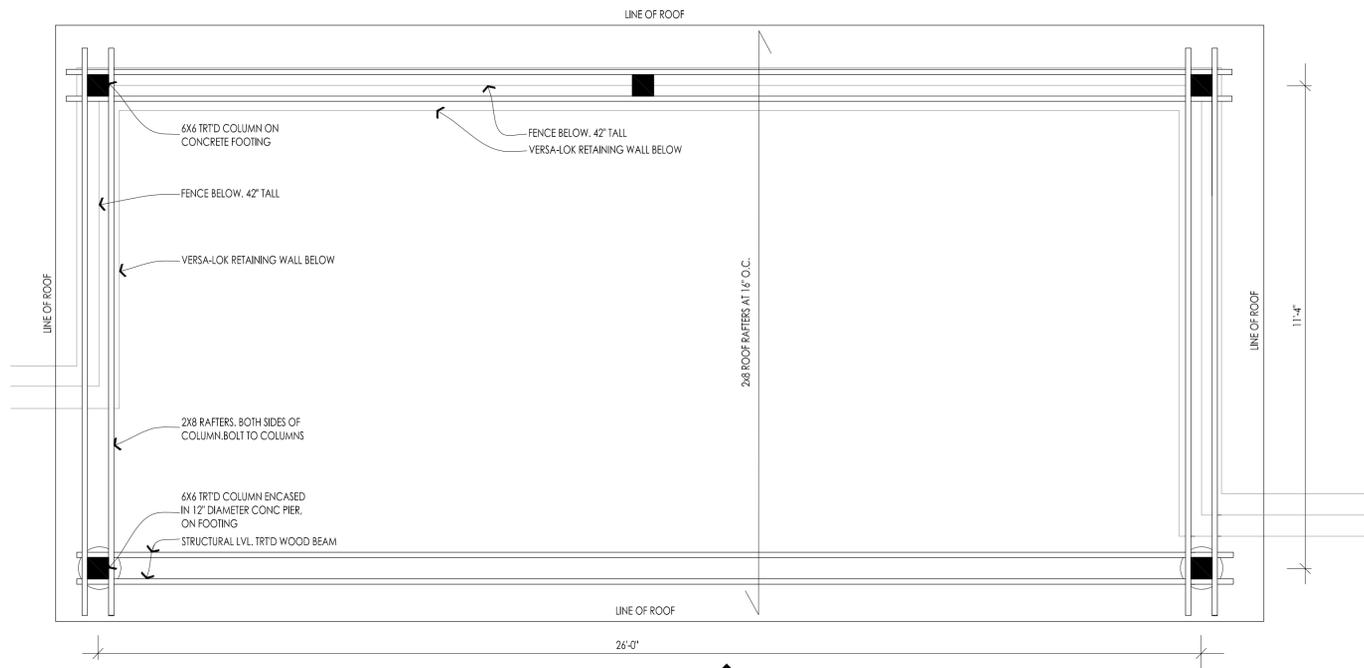
SUBMITTED FOR ZONING APPROVAL PUBLIC HEARING APRIL 27, 2015

PROJECT #: 01-2015
DRAWN BY: WELLS
CHECKED BY: WELLS
ISSUE: DATE:
C.O.W. / ZONING 3/9/15
CPC / ZONING 3/25/15

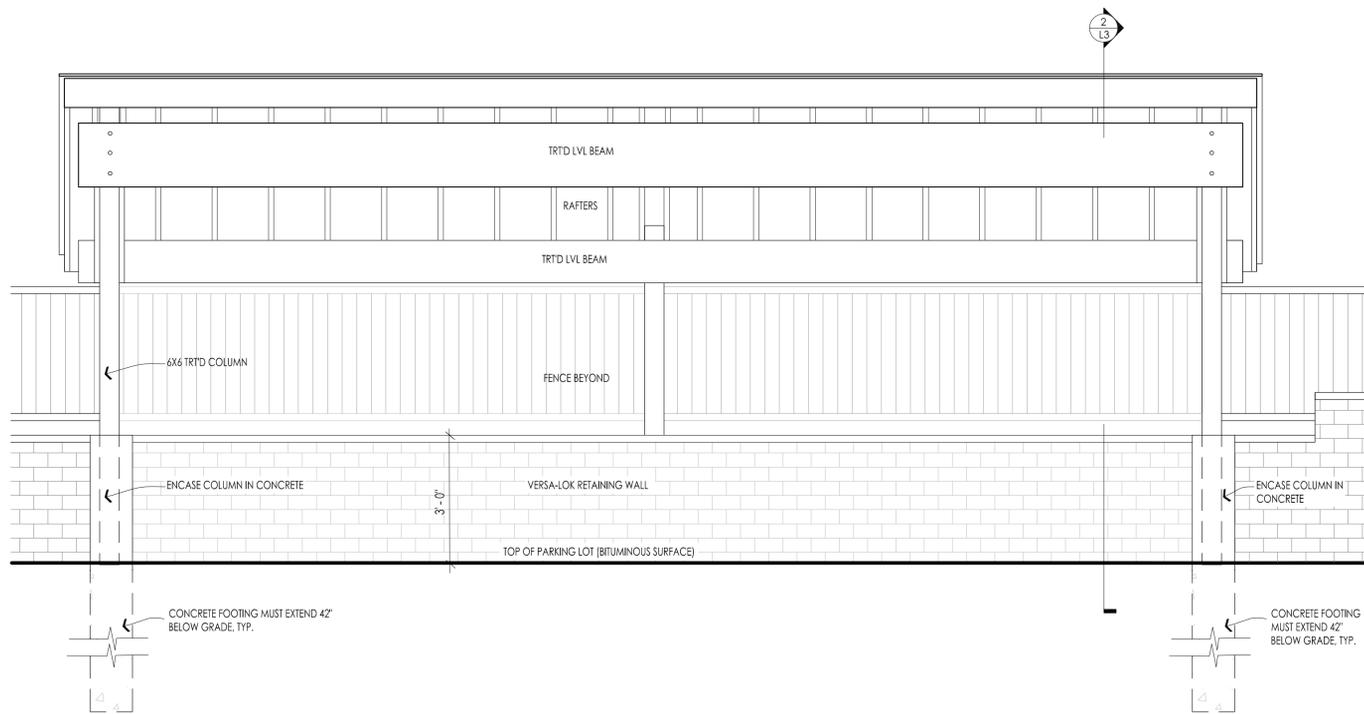
I hereby certify that this plan specification or report was prepared by me or under my direct supervision and that I am a duly registered architect under the law of the state of Minnesota

signed: William M. Wells, Architect
date: reg. no. 49615

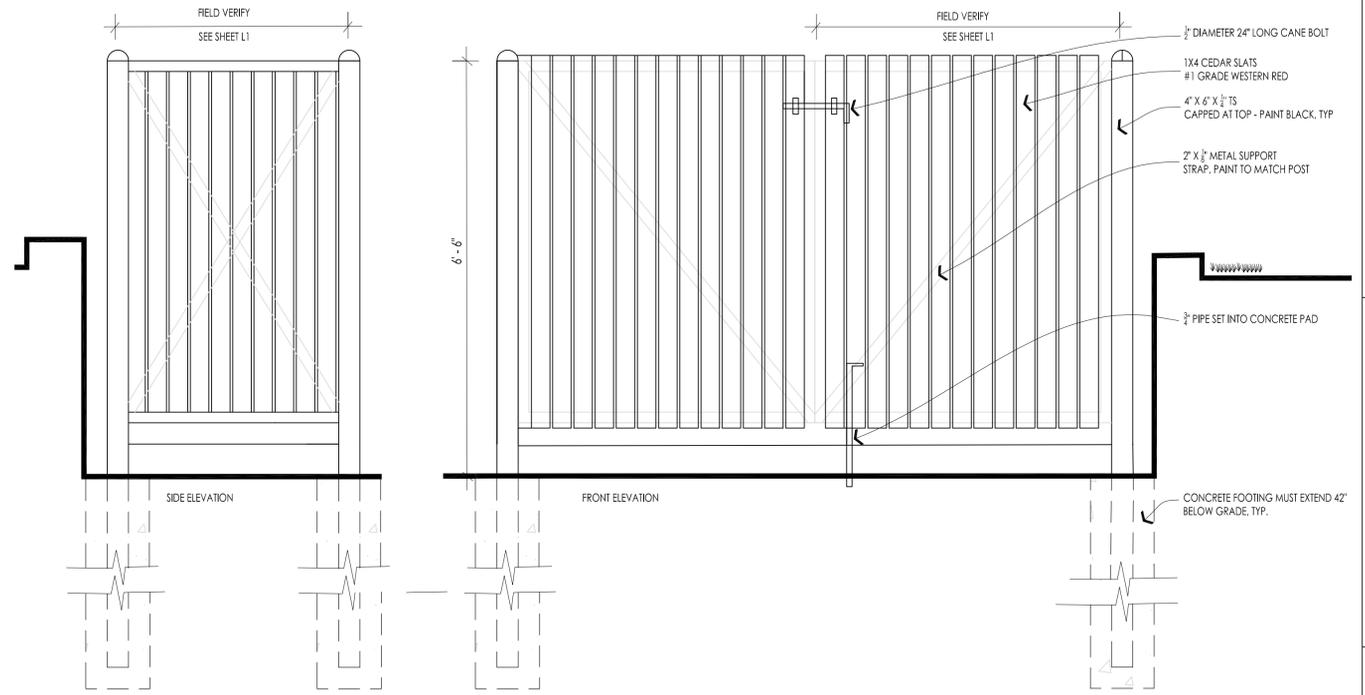
SHEET NO:
L2



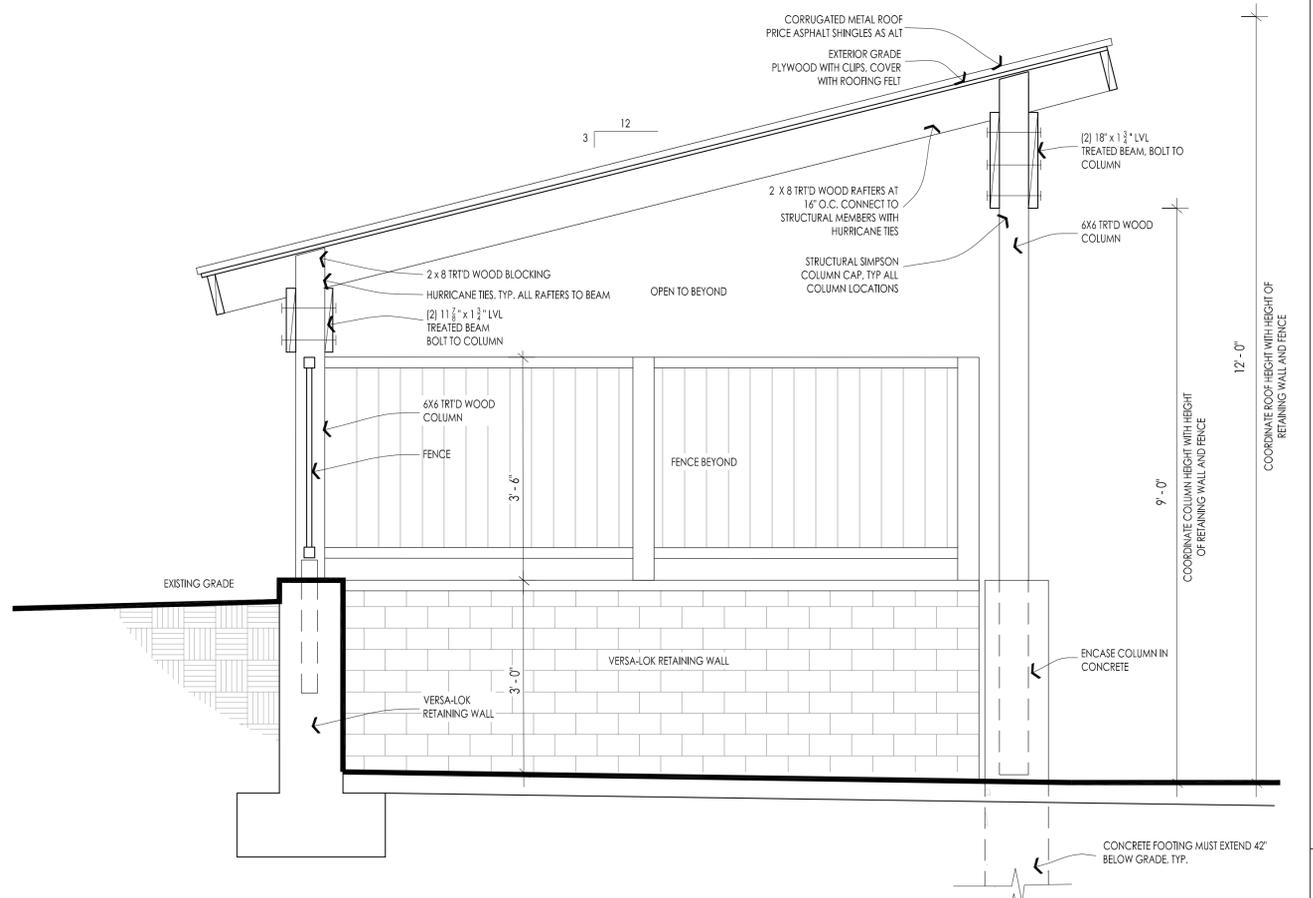
COVERED TRELLIS - PLAN VIEW
 Scale: 1/2" = 1'-0" when printed on 24" x 36" paper.



COVERED TRELLIS - FRONT ELEVATION
 Scale: 1/2" = 1'-0" when printed on 24" x 36" paper.



TRASH ENCLOSURE FENCE - FRONT AND SIDE ELEVATION
 Scale: 3/4" = 1'-0" when printed on 24" x 36" paper.



COVERED TRELLIS - SECTION VIEW
 Scale: 3/4" = 1'-0" when printed on 24" x 36" paper.

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 Minneapolis, MN 55414
 www.dinkytownrentals.com

WELLS & COMPANY ARCHITECTS
 612-669-2052
 3346 Hennepin Ave S
 Minneapolis, MN 55408
 www.WellsandCompanyArchitects.com

PROJECT TITLE:
AFFORDABLE BIKE FRIENDLY HOUSING
725 8TH ST SE APARTMENTS

SHEET TITLE:
TRELLIS AND TRASH ENCLOSURE SITE DETAILS
 SUBMITTED FOR ZONING APPROVAL PUBLIC HEARING APRIL 27, 2015

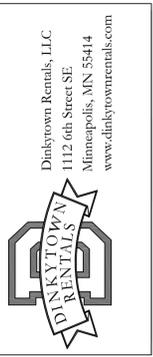
PROJECT #: 01-2015
 DRAWN BY: WELLS
 CHECKED BY: WELLS
 ISSUE: DATE:
 C.O.W. / ZONING 3/9/15
 CPC / ZONING 3/25/15

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 date: reg. no. 49615

SHEET NO:
L3

BUILDING FOOTPRINT 5,870 SQFT
 4 FLOORS PROPOSED 23,664 SQFT TOTAL

- (7) 2 - Bedroom Units 740 sqft
- (9) 1 - Bedroom + TV Den 560 sqft
- (6) 1 - Bedroom 500 sqft
- (11) Studios 430 sqft
- (33) UNITS TOTAL
- (40) BEDROOMS TOTAL



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 612-669-2052
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 Minneapolis, MN 55408
 www.WellsandCompanyArchitects.com

PROJECT TITLE:
AFFORDABLE BIKE FRIENDLY HOUSING
 725 8TH ST SE APARTMENTS

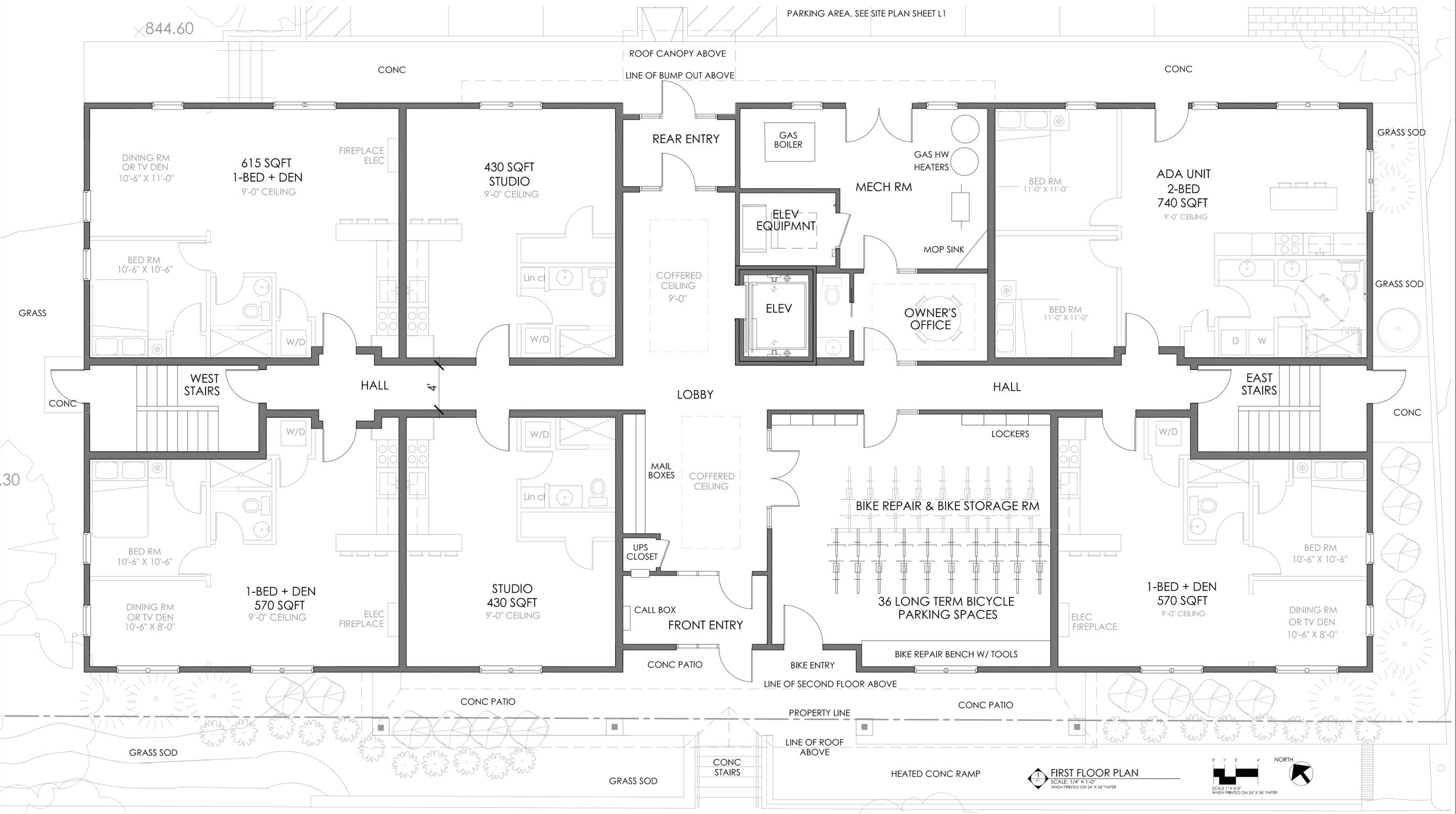
SHEET TITLE:
 FIRST FLOOR PLAN

SUBMITTED FOR ZONING APPROVAL PUBLIC HEARING APRIL 27, 2015

PROJECT #: 01-2015
 DRAWN BY: WELLS
 CHECKED BY: WELLS
 ISSUE DATE:
 C.O.W. / ZONING 3/9/15
 CPC / ZONING 3/25/15

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 signed: William M. Wells, Architect
 date: reg. no. 49615

SHEET NO:
A1



FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 WHEN PRINTED ON 24" X 36" PAPER

SCALE 1" = 4'-0"
 WHEN PRINTED ON 24" X 36" PAPER

NORTH

BUILDING FOOTPRINT 5,870 SQFT
 4 FLOORS PROPOSED 23,664 SQFT TOTAL

(7) 2 - Bedroom Units 740 sqft
 (9) 1 - Bedroom + TV Den 560 sqft
 (6) 1 - Bedroom 500 sqft
 (11) Studios 430 sqft
 (33) UNITS TOTAL
 (40) BEDROOMS TOTAL



WELLS & COMPANY ARCHITECTS
 612-669-2052
 3346 Hennepin Ave S
 Minneapolis, MN 55408
 www.WellsandCompanyArchitects.com

PROJECT TITLE:
AFFORDABLE BIKE FRIENDLY HOUSING
 725 8TH ST SE APARTMENTS

SHEET TITLE:
 FLOOR PLANS FLOORS 2, 3, & 4

SUBMITTED FOR ZONING APPROVAL PUBLIC HEARING APRIL 27, 2015

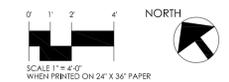
PROJECT #: 01-2015
 DRAWN BY: WELLS
 CHECKED BY: WELLS
 ISSUE DATE:
 C.O.W. / ZONING 3/9/15
 CPC / ZONING 3/25/15

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 signed: William M. Wells, Architect
 date: reg. no. 49615

SHEET NO:
A2



FLOOR PLAN FOR FLOORS: 2, 3, 4
 SCALE: 1/4" = 1'-0"
 WHEN PRINTED ON 24" X 36" PAPER





1 PERSPECTIVE - 3D RENDERING OF FRONT FACADE
SCALE: NTS

BUILDING FACADE MATERIAL ANALYSIS		
FRONT FACADE = 4,600 sqft of area		
MATERIAL PROPOSED:	MAX ALLOWED	PROPOSED
BRICK (MASONRY VENEER)	100%	900 sqft 20%
LIVESTONE (MASONRY VENEER)	100%	1,032 sqft 22%
FIBER CEMENT STUCCO PANELS	30%	1,380 sqft 30%
GLASS / WINDOWS	100%	1,288 sqft 28%



725 8th St SE
FRONT ELEVATION FACING 8th St SE

2 FRONT ELEVATION
SCALE: 3/16" = 1'-0"

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Minneapolis, MN 55408
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PROJECT TITLE:
AFFORDABLE
BIKE FRIENDLY
HOUSING
725 8th St SE
APARTMENTS

SHEET TITLE:
FRONT BUILDING
ELEVATION

SUBMITTED FOR
ZONING APPROVAL
PUBLIC HEARING
APRIL 27, 2015

PROJECT #: 01-2015
DRAWN BY: WELLS
CHECKED BY: WELLS
ISSUE: DATE:
C.O.W. / ZONING 3/9/15
CPC / ZONING 3/25/15

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Signed: William M. Wells, Architect
date: reg. no. 49615

SHEET NO:
A5.0

BUILDING FACADE MATERIAL ANALYSIS		
SIDE FACADE = 1,975 sqft of area		
MATERIAL PROPOSED:	MAX ALLOWED	PROPOSED
BRICK, MASONRY VENEER	100%	252 sqft 13%
LIMESTONE MASONRY VENEER	100%	172 sqft 9%
FIBER CEMENT STUCCO PANELS	30%	592 sqft 30%
HORIZONTAL METAL PANEL LAP SIDING	75%	484 sqft 24%
GLASS / WINDOWS	100%	475 sqft 24%



SIDE ELEVATION (FACING WEST)
 SCALE: 3/16" = 1'-0"

BUILDING FACADE MATERIAL ANALYSIS		
REAR FACADE = 4,600 sqft of area		
MATERIAL PROPOSED:	MAX ALLOWED	PROPOSED
LAP SIDING - SEAMLESS METAL SIDING	75%	2,300 sqft 50%
FIBER CEMENT STUCCO PANELS	30%	1,300 sqft 29%
GLASS / WINDOWS	100%	920 sqft 20%
LIMESTONE MASONRY VENEER	100%	50 sqft 1%



EXISTING BUILDING
801 8th ST SE

SHARED DRIVEWAY

BUILDING FOOTING BELOW GRADE

ADA UNIT - PRIVATE ENTRY

MECHANICAL ROOM ENTRY

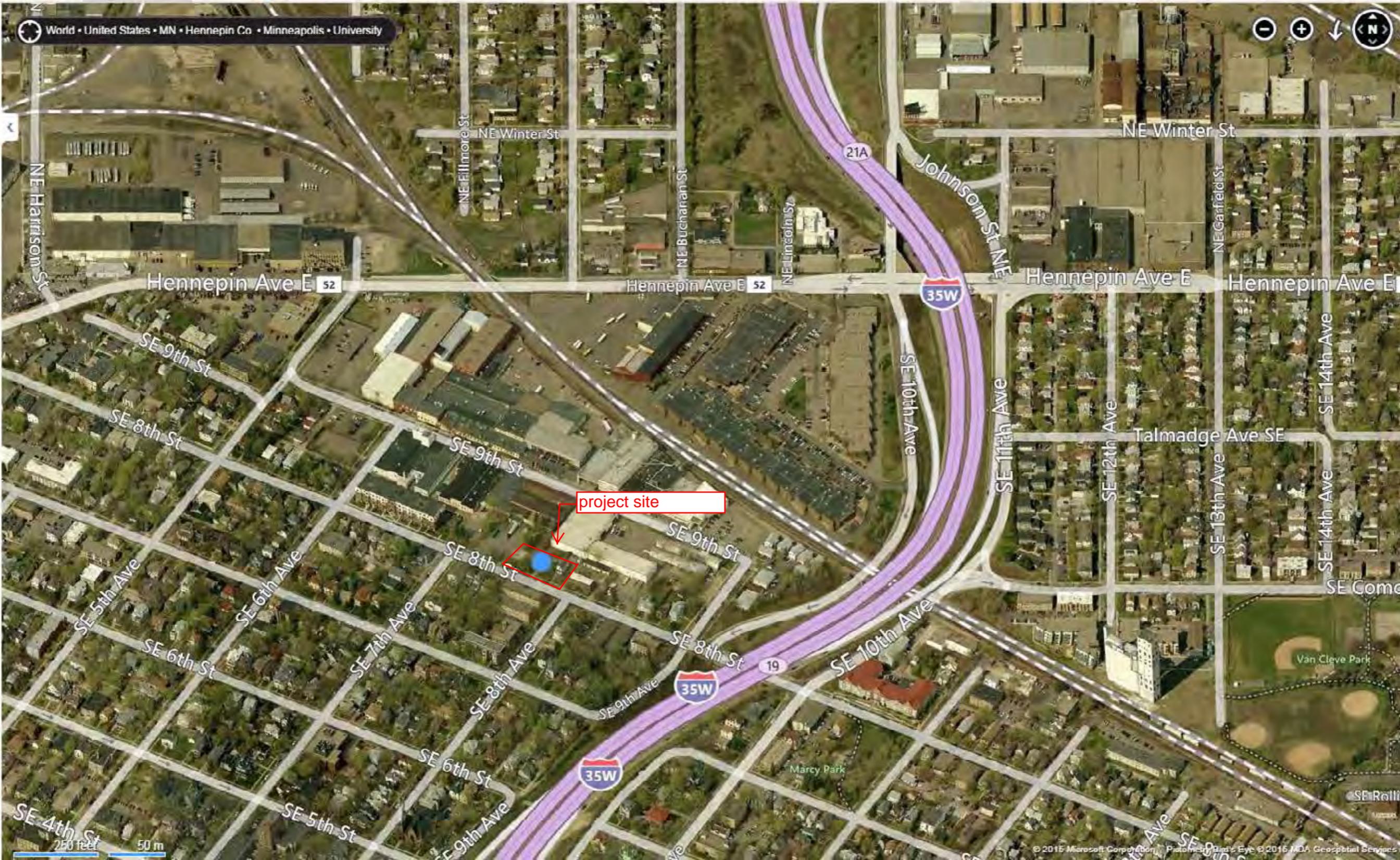
REAR BUILDING ENTRY - COMMON

REAR ELEVATION (FACING NORTH)
SCALE: 3/16" = 1'-0"

BUILDING FACADE MATERIAL ANALYSIS		
SIDE FACADE = 1,975 sqft of area		
MATERIAL PROPOSED:	MAX ALLOWED	PROPOSED
BRICK, MASONRY VENEER	100%	252 sqft 13%
LIMESTONE, MASONRY VENEER	100%	172 sqft 9%
FIBER CEMENT STUCCO PANELS	30%	592 sqft 30%
HORIZONTAL METAL PANEL LAP SIDING	75%	484 sqft 24%
GLASS / WINDOWS	100%	473 sqft 24%

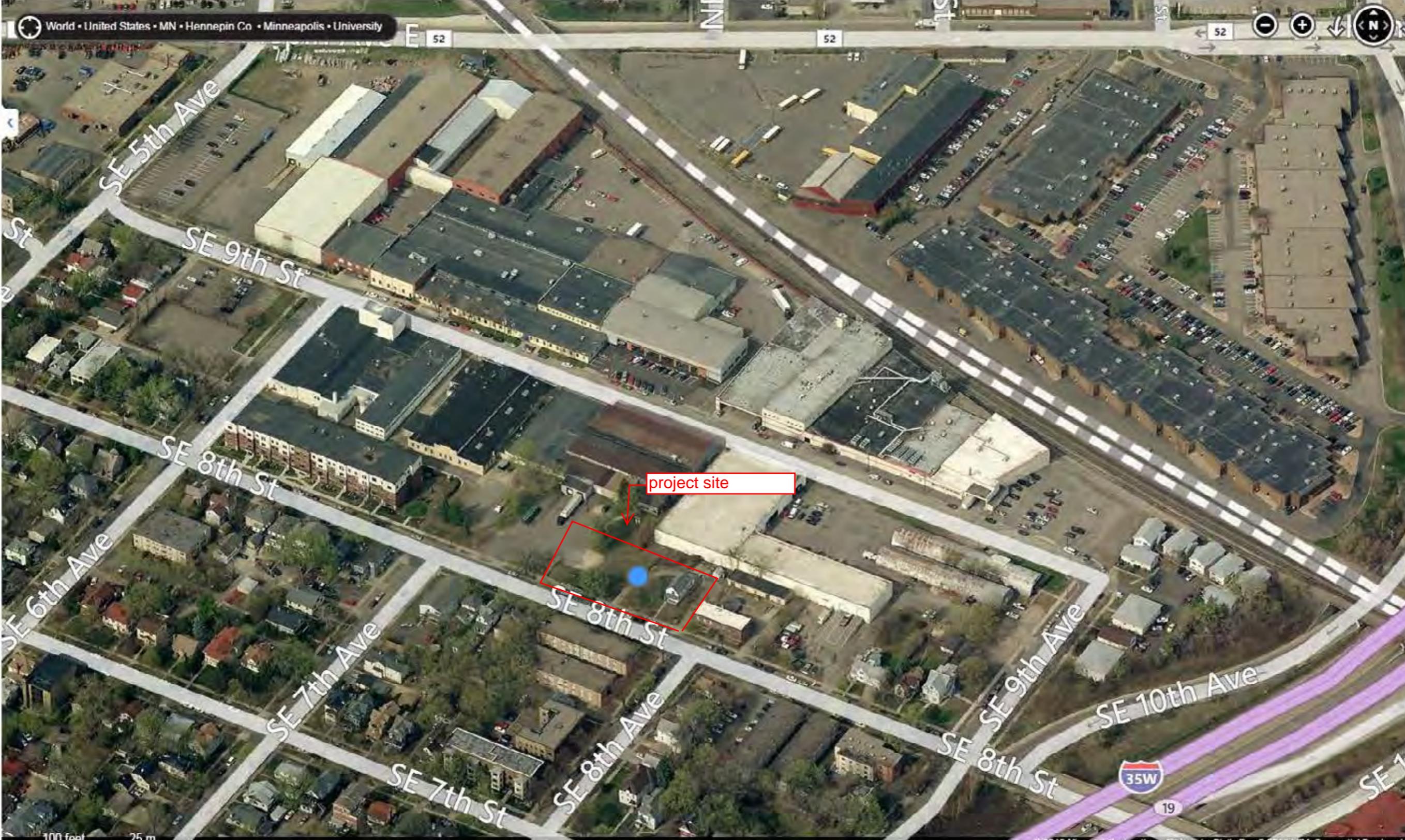


SIDE ELEVATION (FACING EAST)
 SCALE: 3/16" = 1'-0"



project site





project site



19

project site



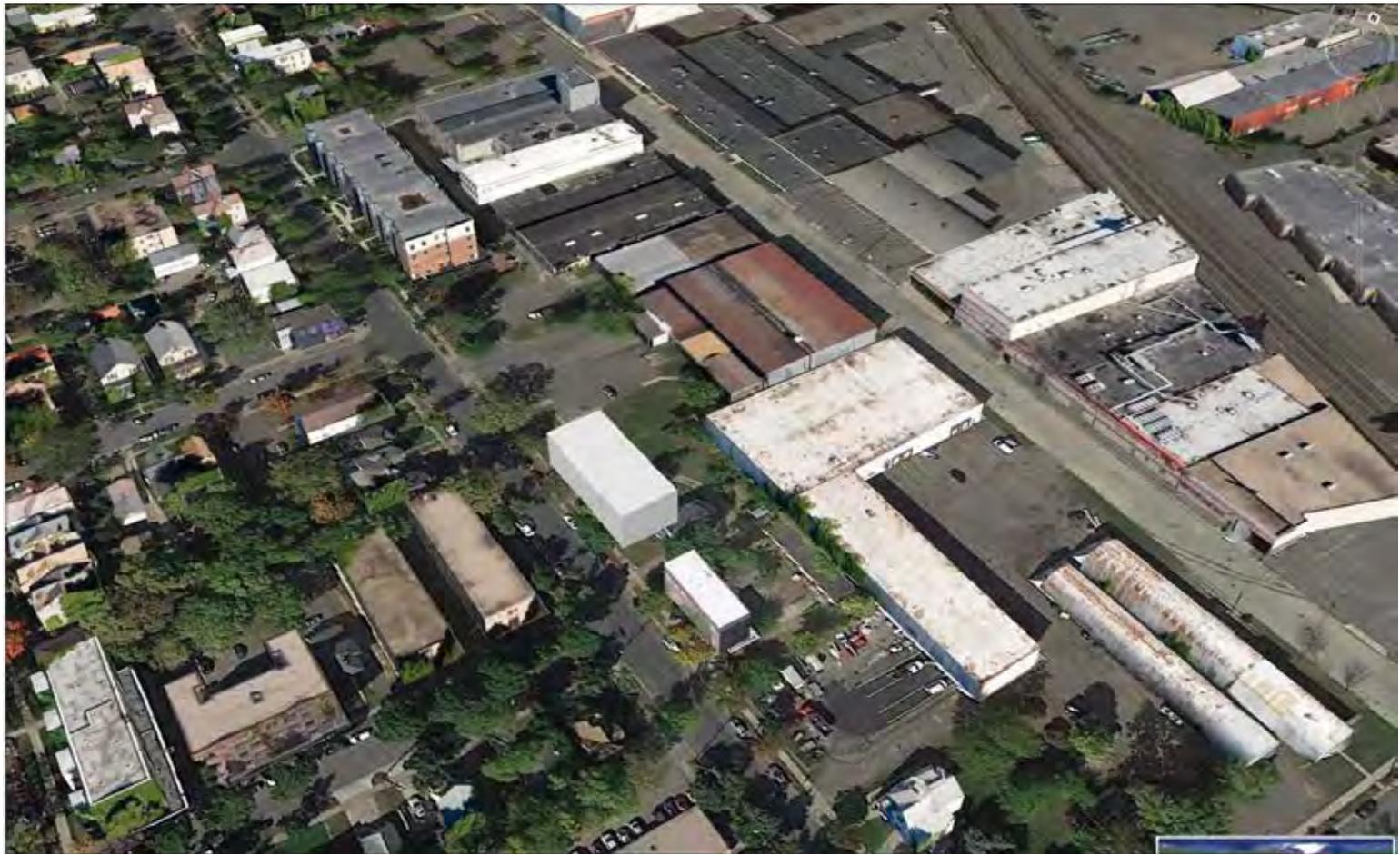
project site



8th Street SE: across the street from project site



Comparison: hipped and flat roof
Provided by CPED



Comparison: hipped and flat roof
Provided by CPED

Exit ground-level view



Exit ground-level view



Comparison: hipped and flat roof
Provided by CPED





From: [William Wells](#)
To: [Hanauer, Aaron M.](#)
Cc: [Poor, Steve](#); [Wittenberg, Jason W.](#); [Frey, Jacob](#)
Subject: Re: 4/27 CPC: 721-729 8th Street SE - DRAFT STAFF REPORT MUST CHANGE
Date: Thursday, April 16, 2015 12:59:11 PM
Attachments: [Pages from 7077 721 8th Street.pdf](#)
[image001.png](#)
[image002.png](#)

4/27/15 CPC
Item #6: 721-729 8th St. SE
Letter #1

Dear Aaron and Zoning Staff,

The proposed conditions of approval shown below are very concerning.
Items #4 and #5 requiring the entire building be brick and stone with a flat roof.
That adds SIGNIFICANT COST to the project and will RAISE THE RENTS destroying the affordability component of the project.

Also, the flat roof with a parapet will actually make the building look more modern and TALLER from the sidewalk..... look at the attached images !

That is NOT the design that was approved by the neighborhood land use committee. The design discussed at the land use committee was a pitched roof with a historic looking building that was similar to Marcy-Park Apartments. In fact three residents who live near the site and were at the meeting are coming to public hearing to support the pitched roof design and affordability component of the project.

Staff's attempt to spot rezone this parcel - requiring a flat roof and all brick building- is a policy position that needs to change.

85% of the buildings on 8th ST SE have a pitched roof.

William Wells. Project Architect. 612-669-2052

DANIEL J. BRESNAHAN
Attorney at Law

4/27/15 CPC
Item #6: 721-729 8th St. SE
Letter #2

Minneapolis Planning Commission
250 S. 4th. St. Rm. 300
Minneapolis, MN. 55415

April 23, 2015

re; Dinkytown Rentals Project: 721-729 8th. St. S.E.

Dear Friends:

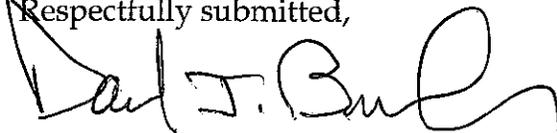
I am writing to support Dinkytown Rentals project referred above. I have lived in Marcy-Holmes for 14 years and have seen a lot of the new structures lately.

In my opinion they look almost identical. I had a chance to see the drawings of the above project and see a pitched roof, on an attractive building, that will enhance it's neighborhood's appearance . It seems every new building has a flat roof, which makes the look industrial, not a living community.

For some reason the Marcy Holmes board wants the entire project to be a brick facade. I have visited the site and can't understand that request. The new building would have brick on the only view from the curb. The rear of the site has an industrial warehouse, no homes or streets. The request for an entirely bricked structure puts the Project at risk and I cannot find a reason to sustain that request.

Please consider this input in your decision.

Respectfully submitted,



Daniel Bresnahan

4/27/15 CPC
Item #6: 721-729 8th St. SE
Letter #3

Hanauer, Aaron M.

From: Larry Prinds <lprinds@cermakrhoades.com>
Sent: Monday, April 27, 2015 4:05 PM
To: Hanauer, Aaron M.
Cc: Hung Russell; barbara.camm@comcast.net
Subject: 721-729 8TH St SE - Ward 3
Attachments: 729 8th SE Letter.pdf

Aaron,

I'm the co-chair of the Marcy-Holmes Land Use and Development Committee. As you know our committee and the Marcy-Holmes Neighborhood Association supported two variances and presented a list of considerations to the developer in the attached letter of support.

After reading the staff report I was surprised to find that the developer must apply for a CUP. We were not given the opportunity to consider support for this because the developer did not inform us of the requirement. The Neighborhood is not on record supporting a CUP for this project.

Regarding the pitched roof scheme which was presented at our March Land Use meeting: We did not "unanimously support" any of the formal or aesthetic aspects of this project, which has been claimed by the developer in a letter to you. We only supported the two variances and asked that the developer consider a flat roof.

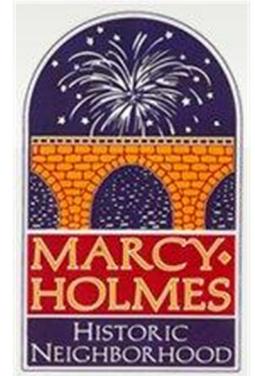
There was a consensus amongst the Land Use members that a flat roof is better suited for this building on this site and we would support your recommendation in Item C5 of the staff report for a flat roof. Barbara Camm of our committee will be at the meeting today to speak on these issues.

Thanks,
lap

Larry A. Prinds, AIA, CSI, CCS, LEED AP
CERMAK RHOADES ARCHITECTS
275 East 4th Street Suite 800, St. Paul, MN 55101
phone: 651.556.8633 *fax:* 651.225.8720
email: lprinds@cermakrhoades.com
web: www.cermakrhoades.com

March 10, 2015

Council Member Jacob Frey
Minneapolis City Hall
350 South 5th Street | Room 307
Minneapolis, MN 55415-1383



Re: 729 8th Street SE Variances

Dear Jacob:

The Marcy-Holmes Neighborhood Association's Land Use and Development Committee listened to a presentation by William Wells representing the developer Dinkytown Rentals and regarding a new 33 unit, 3-story affordable housing development at the referenced address.

We understand that this development proposal includes a target market of grad students and young professionals working downtown, 33 apartments with 40 bedrooms, 20 on grade parking spaces that will meet the University Area Overlay District minimum of .5 spaces per bedroom, and with the parking accessed via a utility easement shared with the neighboring property to the East. The property is 16,000 sq. ft. in area and is zoned I-1. The developer asked us for our support for two variances, one to reduce the size of 5 standard parking spaces to 5 compact spaces, and the other to allow encroachment into the City right-of-way for a bike ramp and landscaping.

The Marcy-Holmes Neighborhood Association supports both of these variances and would like the developer to consider the following:

- Contact all the adjacent property owners and inform them about the project.
- Contact Steve Swanson, the owner of 801 8th Street SE about the use of the easement and the proposed removal of his retaining walls and loading dock.
- Avoid additional apartment entrances off the street.
- Add a retaining wall to the left side of the entry stair to match the one supporting the ramp on the right, for symmetry. It will also help in collecting roof water and will allow it to infiltrate into the soil, reducing runoff.
- The lot is less than an acre, so retaining storm water runoff on-site may not be required, but directing as much roof water to green areas will help to reduce runoff to the river
- Replace the removed existing trees with the same quantity of new trees.
- Use permeable materials for the paved areas.
- Simplify the materials palette.
- If the gabled roof is pursued raise the masonry veneer up to match the height of the parapet of Steve Swanson's building.
- Change the roof from gabled to flat to relate to Steve Swanson's building. Flat roofs are more prevalent along this block than gabled roofs, i.e., Steve's building, Mill Trace, etc.

Sincerely,

Jan Morse
MHNA President

Cc: Ted Tucker, Chair Mpls. Planning Commission
William Wells

DRAFT