



CPED STAFF REPORT
 Prepared for the City Planning Commission

CPC Agenda Item #5
 April 27, 2015
 BZZ-7080

LAND USE APPLICATION SUMMARY

Property Location: 800 West Broadway and 2019 Aldrich Avenue North
Project Name: 800 West Broadway
Prepared By: [Hilary Dvorak](#), Principal Planner, (612) 673-2639
Applicant: Sherman Associates
Project Contact: William Anderson with Sherman Associates
Request: To convert an existing building into a mixed-use building and create an accessory surface parking lot.

Required Applications:

Rezoning	Of 800 West Broadway from the C3S and OR2 zoning districts with the WB West Broadway Overlay to the C3S zoning district with the WB West Broadway Overlay.
Rezoning	Of 2019 Aldrich Avenue North from the OR2 zoning district to the C3S zoning district and add the WB West Broadway Overlay.
Conditional Use Permit	To allow a school, grades K-12.
Variance	To reduce the off-street parking requirement from 61 spaces to 34 spaces.
Variance	To reduce the off-street loading requirement from 2 small spaces to 0 spaces.

SITE DATA

Existing Zoning	C3S and OR2 Districts WB West Broadway Overlay
Lot Area	39,272 square feet / .902 acres
Ward(s)	5
Neighborhood(s)	Hawthorne; adjacent to Near North
Designated Future Land Use	Mixed-Use and Urban Neighborhood
Land Use Features	Commercial Corridor (West Broadway)
Small Area Plan(s)	West Broadway Alive! Plan

Date Application Deemed Complete	April 1, 2015	Date Extension Letter Sent	April 9, 2015
End of 60-Day Decision Period	May 30, 2015	End of 120-Day Decision Period	June 29, 2015

BACKGROUND

SITE DESCRIPTION AND PRESENT USE. The property is located on the northwest corner of West Broadway and Aldrich Avenue North. The site is occupied by a vacant commercial building (800 West Broadway) and a vacant duplex (2019 Aldrich Avenue North).

SURROUNDING PROPERTIES AND NEIGHBORHOOD. The site is surrounded by commercial establishments and residential properties. The site is located in the Hawthorne neighborhood and is adjacent to the Near North neighborhood.

PROJECT DESCRIPTION. The applicant is proposing to rehabilitate the existing commercial building into a mixture of uses including retail and/or food and beverage, office, a health clinic and a school. The existing vacant duplex will be torn down and in its place an accessory surface parking lot will be constructed. The ground floor of the building will be occupied by two commercial tenants, the Department of Employment and Economic Development (DEED) offices and the health clinic. The Minneapolis Public Schools (MPS) will occupy the entire second floor. The services that MPS will offer include dual credit opportunities (high school/GED and college), adult education, employment training and internships/apprenticeships instruction.

The existing building will be rehabilitated both inside and out. Metal panels will be applied to the exterior of the south and east elevations and new windows will be installed. On the north and west elevations the existing masonry will be cleaned, tuck pointed and painted. New windows will be added to both sides of the building and metal panels will be installed in small amounts to tie all four sides of the building together.

The parking lot will accommodate 34 vehicles. The parking lot will have an access point from both Aldrich Avenue North and the public alley. There will be landscaping added around its perimeter. A trash enclosure will be constructed in the southwest corner of the parking lot with access to the alley.

RELATED APPROVALS. Not applicable.

PUBLIC COMMENTS. Letters of support have been received from the Hawthorne Neighborhood Council and the West Broadway Business and Area Coalition. Any additional correspondence received prior to the public meeting will be forwarded on to the Planning Commission for consideration.

ANALYSIS

REZONING

The Department of Community Planning and Economic Development has analyzed the application for a petition to rezone the property at 800 West Broadway from the C3S and OR2 zoning districts with the WB West Broadway Overlay to the C3S zoning district with the WB West Broadway Overlay based on the following [findings](#):

- I. *Whether the amendment is consistent with the applicable policies of the comprehensive plan.*

The proposed zoning would be consistent with the applicable policies of *The Minneapolis Plan for Sustainable Growth*. The property is designated as Mixed-Use on the future land use map. The property is located along West Broadway which is a designated Commercial Corridor. The following principles and policies outlined in the plan apply to this proposal:

Land Use Policy 1.4: Develop and maintain strong and successful commercial and mixed use areas with a wide range of character and functions to serve the needs of current and future users.

1.4.1 Support a variety of commercial districts and corridors of varying size, intensity of development, mix of uses, and market served.

1.4.2 Promote standards that help make commercial districts and corridors desirable, viable, and distinctly urban, including: diversity of activity, safety for pedestrians, access to desirable goods and amenities, attractive streetscape elements, density and variety of uses to encourage walking, and architectural elements to add interest at the pedestrian level.

1.4.4 Continue to encourage principles of traditional urban design including site layout that screens off-street parking and loading, buildings that reinforce the street wall, principal entrances that face the public sidewalks, and windows that provide “eyes on the street”.

Land Use Policy 1.10: Support development along Commercial Corridors that enhances the street’s character, fosters pedestrian movement, expands the range of goods and services available, and improves the ability to accommodate automobile traffic.

1.10.1 Support a mix of uses – such as retail sales, office, institutional, high-density residential and clean low-impact light industrial – where compatible with the existing and desired character.

2. *Whether the amendment is in the public interest and is not solely for the interest of a single property owner.*

The proposed rezoning is in the public interest and is not solely for the interest of the property owner. The commercial building has been vacant since 2005. Rezoning the property and allowing it to be repurposed for retail, offices, a health clinic and a school is a public benefit.

In addition, the amendment will allow the applicant to unify the underlying zoning of the existing property. When a property has split zoning, the more restrictive provisions of the primary zoning districts use and building bulk regulations, lot area, parking and loading, and yard requirements apply to the entire property. Without rezoning the northern portion of the property from the OR2 High Density Office Residence District to the C3S Commercial Shopping Center District with the WB West Broadway Overlay the entire property would be subject to the provisions of the OR2 High Density Office Residence District. Unifying the underlying zoning simplifies the land use review process for this proposal and future development on the site.

3. *Whether the existing uses of property and the zoning classification of property within the general area of the property in question are compatible with the proposed zoning classification, where the amendment is to change the zoning classification of particular property.*

Properties in the immediate area are zoned OR2 High Density Office Residence District, C2 General Commercial District and C3S Commercial Shopping Center District. Many of the surrounding properties are located in the WB West Broadway Overlay. The site is surrounded by commercial establishments and residential properties. Given the surrounding zoning classifications, the context and uses in the area, as well as adopted policy, rezoning the subject property to the C3S Commercial Shopping Center District with the WB West Broadway Overlay would be appropriate and compatible in this location.

4. *Whether there are reasonable uses of the property in question permitted under the existing zoning classification, where the amendment is to change the zoning classification of particular property.*

There are reasonable uses permitted in the OR2 High Density Office Residence District. However, the request to rezone the northern portion of the property to the C3S Commercial Shopping Center District is also reasonable as it will unify the underlying zoning of the existing site.

5. *Whether there has been a change in the character or trend of development in the general area of the property in question, which has taken place since such property was placed in its present zoning classification, where the amendment is to change the zoning classification of particular property.*

The surrounding area is and has primarily remained a mixture of commercial and residential uses. The property was part of a large rezoning study that took place in 2009. The rezoning study looked at all of the properties along West Broadway from the Mississippi River to the city boundary.

REZONING

The Department of Community Planning and Economic Development has analyzed the application for a petition to rezone the property at 2019 Aldrich Avenue North from the OR2 zoning district to the C3S zoning district and add the WB West Broadway Overlay based on the following findings:

- I. *Whether the amendment is consistent with the applicable policies of the comprehensive plan.*

The proposed zoning would be consistent with the applicable policies of *The Minneapolis Plan for Sustainable Growth*. The property is designated as Urban Neighborhood on the future land use map. The following principles and policies outlined in the plan apply to this proposal:

Land Use Policy 1.4: Develop and maintain strong and successful commercial and mixed use areas with a wide range of character and functions to serve the needs of current and future users.

I.4.1 Support a variety of commercial districts and corridors of varying size, intensity of development, mix of uses, and market served.

I.4.2 Promote standards that help make commercial districts and corridors desirable, viable, and distinctly urban, including: diversity of activity, safety for pedestrians, access to desirable goods and amenities, attractive streetscape elements, density and variety of uses to encourage walking, and architectural elements to add interest at the pedestrian level.

I.4.4 Continue to encourage principles of traditional urban design including site layout that screens off-street parking and loading, buildings that reinforce the street wall, principal entrances that face the public sidewalks, and windows that provide “eyes on the street”.

Land Use Policy 1.6: Recognize that market conditions and neighborhood traditions significantly influence the viability of businesses in areas of the city not designated as commercial corridors and districts.

I.6.1 Allow for retention of existing commercial uses and zoning districts in designated Urban Neighborhood areas, to the extent they are consistent with other city goals and do not adversely impact surrounding areas.

I.6.2 In parts of the city outside of designated corridors, nodes, and centers, limit territorial expansions of commercial uses and districts.

This property will be combined with the property located at 800 West Broadway which has frontage on West Broadway, a designated Commercial Corridor. Rezoning the property and allowing it to be repurposed for an accessory surface parking lot that will support the adjacent mixed-use building.

2. *Whether the amendment is in the public interest and is not solely for the interest of a single property owner.*

The proposed rezoning is in the public interest and is not solely for the interest of the property owner. The duplex has been vacant since 2011. Rezoning the property and allowing it to be repurposed for an accessory surface parking lot that will support the adjacent mixed-use building is a public benefit.

Without rezoning the property from the OR2 High Density Office Residence District to the C3S Commercial Shopping Center District with the WB West Broadway Overlay the property could not be used as an accessory surface parking lot for uses located in the C3S Commercial Shopping Center District.

3. *Whether the existing uses of property and the zoning classification of property within the general area of the property in question are compatible with the proposed zoning classification, where the amendment is to change the zoning classification of particular property.*

Properties in the immediate area are zoned OR2 High Density Office Residence District, C2 General Commercial District and C3S Commercial Shopping Center District. Many of the surrounding properties are located in the WB West Broadway Overlay. The site is surrounded by commercial establishments and residential properties. Given the surrounding zoning classifications, the context and uses in the area, as well as adopted policy, rezoning the subject property to the C3S Commercial Shopping Center District with the WB West Broadway Overlay would be appropriate and compatible in this location.

4. *Whether there are reasonable uses of the property in question permitted under the existing zoning classification, where the amendment is to change the zoning classification of particular property.*

There are reasonable uses permitted in the OR2 High Density Office Residence District. However, the request to rezone the property to the C3S Commercial Shopping Center District is also reasonable as it will unify the underlying zoning of the existing site.

5. *Whether there has been a change in the character or trend of development in the general area of the property in question, which has taken place since such property was placed in its present zoning classification, where the amendment is to change the zoning classification of particular property.*

The surrounding area is and has primarily remained a mixture of commercial and residential uses. The property was part of a large rezoning study that took place in 2009. The rezoning study looked at all of the properties along West Broadway from the Mississippi River to the city boundary.

CONDITIONAL USE PERMIT

The Department of Community Planning and Economic Development has analyzed the application to allow a school, grades K-12 based on the following [findings](#):

1. *The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, comfort or general welfare.*

The proposal to establish a school on the second floor of the building will not be detrimental to or endanger the public health, safety, comfort or general welfare. The school, although classified as K-12 for zoning purposes, will operate differently than a typical K-12 school in Minneapolis. The services that MPS will offer include dual credit opportunities (high school/GED and college), adult education, employment training and internships/apprenticeships instruction.

2. *The conditional use will not be injurious to the use and enjoyment of other property in the vicinity and will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.*

The proposal to establish a school will not be injurious to the use and enjoyment of other property in the vicinity and will not impede the normal or orderly development and improvement of surrounding property. The school will occupy the entire second floor of the building which has been vacant since 2005. Repurposing the building and bringing activity back to the area will be an improvement to the neighborhood.

3. *Adequate utilities, access roads, drainage, necessary facilities or other measures, have been or will be provided.*

The Public Works Department has reviewed the preliminary plan and will review the final plan for compliance with standards related to access and circulation, drainage, and sewer/water connections. The applicant will be required to continue to work closely with the Public Works Department, the Plan Review Section of CPED and the various utility companies during the duration of the development should the applications be approved. This would be required to ensure that all procedures are followed and that the development complies with all city and other applicable requirements. The applicant is aware that the final plans are expected to incorporate any applicable comments or modifications as required by the Public Works Department.

4. *Adequate measures have been or will be taken to minimize traffic congestion in the public streets.*

The parking requirement for the school is 32 spaces. There will be a total of 34 parking spaces provided on the site. However, the overall parking requirement for all of the uses within the building is 61 spaces. While the applicant is not meeting the parking requirement on the site there are an additional 27 parking spaces for this development being provided in the Hawthorne Crossing development located approximately 250 feet west of the site along West Broadway.

The site is also located along West Broadway and one block west of Lyndale Avenue North which are both high-frequency bus routes. In addition, the applicant is proposing to provide nine bicycle racks on the site. Six of the bicycle racks are proposed to be located alongside the building on Aldrich Avenue North. The placement of these bicycle racks will block the pedestrian flow along the public sidewalk. CPED is recommending that the bicycle racks be located in the boulevard so as to not block the public sidewalk

5. *The conditional use is consistent with the applicable policies of the comprehensive plan.*

The proposed development would be consistent with the following policies of *The Minneapolis Plan for Sustainable Growth*:

Public Services Policy 5.2: Support the efforts of public and private institutions to provide a wide range of educational choices for Minneapolis students and residents throughout the city.

5.2.1 Work with institutions to ensure that school facilities are safe, accessible, and functionally appropriate for a diverse array of educational programs.

5.2.2 Encourage new educational institutions to locate in existing school buildings, or at sites that take advantage of proximity to transit such as neighborhood commercial nodes or commercial and community corridors.

5.2.4 Connect residents to educational opportunities throughout the city, including magnet schools, community education, early childhood family education, post-secondary education, and vocational and higher education.

5.2.5 Encourage the use of public transportation as a means of connecting students to educational opportunities throughout the city.

5.2.7 Encourage partnerships between educational institutions and private sector employers to promote training opportunities and entrepreneurial advancements.

The City Council approved the West Broadway Alive! small area plan in March of 2008. The future land use map in the plan designates this site as Mixed-Use and Urban Neighborhood, similar to *The Minneapolis Plan for Sustainable Growth*. The plan talks about incorporating vibrant colors on the exterior of buildings, using landscaping and fencing to screen parking areas, emphasizing the front entrances to buildings with architectural design features and incorporating at least 50 percent glass on the front façade of buildings on the ground floor. The plan also encourages the use of awnings or similar features over entrances and windows to provide additional color and depth, signage and exterior lighting.

The applicant is proposing to incorporate color into the exterior material pallet, landscape the perimeter of the parking lot, increase the amount of glass on all four sides of the building, provide building identification signage as well as individual tenant signage and provide lighting on the building and in the parking lot.

6. *The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.*

The specific development standards for a restaurant, sit down are:

- (1) Where alcoholic beverages are served, not less than sixty (60) percent of total gross sales revenue shall be from the sale of food and beverages not containing alcohol, and the use shall comply with the requirements of [Title 14](#), Liquor and Beer, of the Minneapolis Code of Ordinances and [Chapter 4](#) of the Minneapolis City Charter.
- (2) The premises, all adjacent streets, sidewalks and alleys, and all sidewalks and alleys within one hundred (100) feet shall be inspected regularly for purposes of removing any litter found thereon.

The specific development standards for a school, K-12 are:

- (1) The use shall include a regular course of study accredited by the State of Minnesota.
- (2) To the extent practical, all new construction or additions to existing buildings shall be compatible with the scale and character of the surroundings, and exterior building materials shall be harmonious with other buildings in the neighborhood.
- (3) An appropriate transition area between the facility and adjacent property shall be provided by landscaping, screening and other site improvements consistent with the character of the neighborhood.

The parking lot is subject to the landscaping and screening requirements of Chapter 530, Site Plan Review.

- A seven-foot wide landscaped yard is required when a parking or loading facility is fronting along a public street, public sidewalk or public pathway. A landscaped yard is required along Aldrich

Avenue North. There is at least a seven-foot wide landscaped yard being provided along the street.

- Screening that is three feet in height and not less than 60 percent opaque is required when a parking or loading facility is fronting along a public street, public sidewalk or public pathway. In the landscaped yard along Aldrich Avenue North there will be two trees and shrubs, however, the shrubs selected will not grow to the required height or opacity. CPED is recommending that a different shrub species be selected for the landscaped yard on the north side of the driveway in order to meet the screening requirements. The landscaped yard on the south side of the driveway incorporates one tree but the rest of the area is proposed to be paved in order to accommodate bicycle racks and pedestrian movements from the parking lot to the building entrance. Since this area is intended to be used by pedestrians it would be impractical to landscape it. The applicant is proposing to landscape the boulevard which will screen the parking lot from the public street.
- Not less than one tree shall be provided for every 25 linear feet of parking lot frontage. The parking lot has 90 feet of frontage along Aldrich Avenue North which requires that four trees be planted. The applicant is proposing to have three trees in the landscaped yard along Aldrich Avenue North. Given the placement of the building in relationship to the driveway and parking area it would be impractical to plant a fourth tree in the landscaped yard. The applicant is proposing to plant trees in the boulevard along Aldrich Avenue North.
- A seven-foot wide landscaped yard is required when a parking or loading facility is abutting or across an alley from a residence or office residence district, or any permitted or conditional residential use. The landscaped yard along the north property line is at least six feet in width and the landscaped yard along the alley is at least five feet in width. If the landscaped yards were increased to seven feet in width there would be a loss of parking spaces on the site. Given this, it would be impractical to require that these landscaped yards be increased to seven feet in width.
- Screening that is six feet in height and not less than 95 percent opaque is required when a parking or loading facility is abutting or across an alley from a residence or office residence district, or any permitted or conditional residential use. In the landscaped yards along the north property line and the alley there will be trees and a variety of shrubs, however, some of the shrubs selected will only grow to a height of one foot. CPED is recommending that all of the shrubs selected for these areas grow to not less than six feet.
- In parking lots of 10 spaces or more, no parking space shall be located more than 50 feet from an on-site deciduous tree. The majority of the parking spaces are located within 50 feet from an on-site deciduous tree; however, those parking spaces located in the southwest corner of the parking lot are more than 50 feet from an on-site deciduous tree. If all of the parking spaces were located within 50 feet of an on-site deciduous tree there would be a loss of parking spaces on the site.
- There are two areas on the interior of the parking lot that are not available for parking. The applicant is proposing to stripe the pavement instead of landscape these areas. Given the geometry of the parking lot, CPED is recommending that these areas be allowed to be paved and striped to help facilitate turning movements. Given this, it would be impractical to require that these areas within the parking lot be landscaped.

VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance to reduce the off-street parking requirement from 61 spaces to 34 spaces based on the following [findings](#):

Since the application was noticed, CPED determined that the building has grandfathered rights for parking. The last use of the building was a furniture store which would have required 83 parking spaces. Since the parking requirement for the building is 61 spaces, less than the grandfathered number, no parking variance is needed. CPED is recommending that the parking variance be returned to the applicant.

VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance to reduce the off-street loading requirement from 2 small spaces to 0 spaces based on the following [findings](#):

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

The office and school both require one small loading space (10 feet by 25 feet) be provided on the site. Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. In order to accommodate two small loading spaces on the site several of the parking spaces would have to be eliminated which would further increase their off-street parking variance. The applicant is repurposing a building that has historically lacked on-site, off-street loading.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The applicant is proposing to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan. Loading regulations are established to recognize the loading needs of uses and structures, to enhance the compatibility between loading areas and their surroundings, and to regulate the number, design, maintenance, use and location of off-street loading spaces and the driveways and aisles that provide access and maneuvering space.

The minimum office size that requires a loading space is 10,000 square feet and the minimum school size that requires a loading space is 20,000 square feet; in total there is 12,496 square feet of office space within the building and 23,187 square feet of school space within the building. Once established, the applicant has indicated that neither of these uses would be frequent users of a loading space. The applicant has indicated that they will be working with the Public Works Department to try and locate an appropriate loading space on the street.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

Granting of this variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. In addition, granting of the variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties. Given the amount of space within the building dedicated for the office and school uses it is anticipated that small delivery vans and trucks would be used for delivery purposes, not large trucks. A designated loading space on the street would be able to accommodate the loading demands of this development and would allow for a more efficient use of the property.

FOR REZONINGS ONLY

ZONING PLATE NUMBER. 8

LEGAL DESCRIPTION.

- 800 West Broadway: Lots 4, 5, 6 and 7, Block 9, Highland Park Addition to Minneapolis, according to the recorded plat thereof, Hennepin County, Minnesota.
- 2019 Aldrich Avenue North: Lot 3, Block 9, Highland Park Addition to Minneapolis.

RECOMMENDATIONS

The Department of Community Planning and Economic Development recommends that the City Planning Commission and City Council adopt staff findings for the application(s) by Sherman Associates for the properties located at 800 West Broadway and 2019 Aldrich Avenue North:

A. Rezoning the property located at 800 West Broadway and 2019 Aldrich Avenue North from the C3S and OR2 zoning districts with the WB West Broadway Overlay to the C3S zoning district with the WB West Broadway Overlay.

Recommended motion: **Approve** the rezoning application for 800 West Broadway from the C3S and OR2 zoning districts with the WB West Broadway Overlay to the C3S zoning district with the WB West Broadway Overlay.

B. Rezoning the property located at 2019 Aldrich Avenue North from the OR2 zoning district to the C3S zoning district and add the WB West Broadway Overlay.

Recommended motion: **Approve** the rezoning application for 2019 Aldrich Avenue North from the OR2 zoning district to the C3S zoning district and add the WB West Broadway Overlay.

C. Conditional Use Permit to allow a school, grades K-12.

Recommended motion: **Approve** the conditional use permit application for a school, grades K-12, subject to the following conditions:

1. The conditional use permit shall be recorded with Hennepin County as required by Minn. Stat. 462.3595, subd. 4 before building permits may be issued or before the use or activity requiring a conditional use permit may commence. Unless extended by the zoning administrator, the conditional use permit shall expire if it is not recorded within two years of approval.
2. The bicycle racks shall not be located in the public sidewalk where they will block the pedestrian flow.
3. A minimum of 18 bicycle parking spaces shall be provided.
4. A different shrub species shall be selected for the landscaped yard on the north side of the driveway in order to meet the screening requirements of Chapter 530.
5. The species of shrubs selected for the landscaped yards along the north property line and the alley shall grow to not less than six feet in height.

D. Variance of the off-street parking requirements.

Recommended motion: **Return** the variance application to reduce the off-street parking requirement from 61 spaces to 34 spaces.

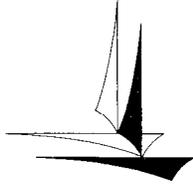
E. Variance of the off-street loading requirements.

Recommended motion: **Approve** the variance application to reduce the off-street loading requirement from 2 small spaces to 0 spaces, subject to the following conditions:

1. The applicant shall work with the Public Works Department to try and establish an appropriate location for an on-street loading zone.

ATTACHMENTS

1. PDR report
2. Written description and findings submitted by applicant
3. Zoning map
4. Civil plans, landscape plan, site plan and floor plans
5. Materials sample sheet
6. Building elevations
7. Electrical plan and specifications
8. Photos
9. Correspondence



Minneapolis Development Review
250 South 4th Street
Room 300
Minneapolis, MN 55415

Preliminary Development Review Report

Development Coordinator Assigned: **PATRICIA MURZYN**
(612) 673-5827
patricia.murzyn@minneapolismn.gov

Status *
RESUBMISSION REQUIRED

Tracking Number:	PDR 1001295
Applicant:	SHERMAN ASSOCIATES 233 PARK AVE S #200 MINNEAPOLIS, MN 55415
Site Address:	800 WEST BROADWAY 2019 ALDRICH AVE N
Date Submitted:	18-MAR-2015
Date Reviewed:	26-MAR-2015

Purpose

The purpose of the Preliminary Development Review (PDR) is to provide Customers with comments about their proposed development. City personnel, who specialize in various disciplines, review site plans to identify issues and provide feedback to the Customers to assist them in developing their final site plans.

The City of Minneapolis encourages the use of green building techniques. For additional information please check out our green building web page at: http://www.ci.minneapolis.mn.us/mdr/GreenBuildingOptions_home.asp.

DISCLAIMER: *The information in this review is based solely on the preliminary site plan submitted. The comments contained in this report are preliminary ONLY and are subject to modification.*

Project Scope

Tear down SFD and extend existng parking lot for new larger parking lot.

Review Findings (by Discipline)

Zoning - Planning

- Continue to work with CPED staff to identify the land use applications that will be applied for that will need to be reviewed by the Planning Commission.

❑ Addressing

- Addressing review not required for the proposed project.

❑ Parks - Forestry

- Contact Craig Pinkalla (612-499-9233 cpinkalla@minneapolisparcs.org) regarding any questions related to planting, removal or the process for protection of trees during construction in the city right of way.
- The proposed project does not trigger a Park Dedication fee review.

❑ Right of Way

- An encroachment permit shall be required for all streetscape elements in the Public right-of-way such as: plants & shrubs, planters, tree grates and other landscaping elements (grass is preferred over mulch in the boulevard), sidewalk furniture (including bike racks and bollards), and sidewalk elements other than standard concrete walkways such as pavers, stairs, raised landings, retaining walls, access ramps, and railings (NOTE: railings may not extend into the sidewalk pedestrian area). Please contact Bob Boblett at (612) 673-2428 for further information.
- Note to the Applicant: Out-swinging doors into the Public right-of-way (sidewalk area) are unlikely to receive a permit.

❑ Street Design

- For detailed information related to City of Minneapolis standard specifications, details, and standard plates refer to the following: <http://www.minneapolismn.gov/publicworks/plates/index.htm>.
- All driveway aprons shall be designed and constructed to City standards. All driveway aprons shall be shown graphically correct on all related plan sheets. Sheet C-2 of the plans shall provide reference notes to the appropriate details on Sheet C-4 of the plans.
- Sheet C-2 of the plans incorrectly identifies proposed curb & gutter as B612. All curb & gutter in the Public right-of-way shall be designed and constructed to City standards, curb & gutter to be City standard B624 Curb and Gutter. Sheet C-2 of the plans shall provide reference notes to the appropriate details on Sheet C-4 of the plans. Top of Curb profiles shall be provided for any section of curb replacement in excess of 50 feet.

❑ Sidewalk

- The proposed sidewalk along Aldrich Ave. N. changes width from 8' to 10'; it is recommended that the sidewalk design avoid jogs and maintain a consistent width throughout the Project limits.
- Note to the Applicant: Any public sidewalk or other concrete infrastructure in the public right of way that is currently defective, or that is damaged during construction must be removed and replaced.

❑ Traffic and Parking

- The current parking lot design allows for vehicle circulation using the Public right-of-way (both the alley and Aldrich Ave N.); that will not be allowed. Current ordinance states that all maneuvers associated with parking, loading or sanitation pick up for a private development shall occur on private property. Access to the alley shall be closed and access to Aldrich shall be done through a single curb cut.
- Please provide a narrative explaining the trash removal operations and show turning maneuvers for all truck type vehicles that will be using the parking entrance areas.
- Per City Ordinance the Applicant shall provide for (and identify) a solid waste collection point (SWCP) on the site plans. The location of the SWCP is subject to the review and approval of the Public Works Department.
- Please contact Bill Prince at (612) 673-3901 regarding existing and proposed street lighting. All street lighting (existing and proposed) shall be shown clearly on the site plan.
- Note to the Applicant: Please add the following notes to the site plan:
- Street lighting installed as part of the Project shall be inspected by the City. Contractors shall arrange for inspections with the Traffic Department, please contact Dave Prehall at (612) 673-5759 for further

information. Any lighting installations not meeting City specifications will be required to be reinstalled at Owner expense.

- An obstruction permit is required anytime construction work is performed in the Public right-of-way. Please contact Scott Kramer at (612) 673-2383 regarding details of sidewalk and lane closures. Log on to <http://minneapolis.mn.roway.net/> for a permit.
- Contact Allan Klugman at (612) 673-2743 prior to construction for the temporary removal/temporary relocation of any City of Minneapolis signal system that may be in the way of construction.
- All costs for relocation and/or repair of City Traffic facilities shall be borne by the Contractor and/or Property Owner.
- Contact Doug Maday at (612) 673-5755 prior to construction for the removal of any City of Minneapolis right of way signs that may be in the way of construction.

□ Water

- The plan as submitted meets the requirements of the Public Works Water Maintenance & Distribution Division.

□ Fire Safety

- Provide proper fire sprinkler and fire alarm protection throughout building.
- Provide and maintain fire apparatus access at all times.

□ Business Licensing

- There is no Minneapolis Business Licensing review required for the proposed project.

□ Environmental Health

- 800 West Broadway had 5 tanks on site, two have been removed and 3 abandoned in place. In 2006 a petroleum release was reported and the release investigation closed in 2011. Minnesota Pollution Control Agency lists this release as Site # 16623 and identified with closure in 2011 contaminated soil remained on site. With the demolition of the building soil impacted soils will likely be encountered. The project should enter the MPCA Petroleum Brownfield Program and request a letter of no association for the site contamination and approvals for a site work plan to identify and dispose of or reuse of impacted soils.
- During demolition the 3 abandoned in place tanks need to be removed. An inspection of the removed tanks needs to be scheduled with Tom Frame.
- If impacted soil is encountered during site activities work will need to stop and notification provided to the MN State Duty officer at (651) 649-5451. Approval for removal, disposal and/or reuse of impacted soils must be must occur from the MCPA and the City of Minneapolis prior to continuing excavation activities.
- If dewatering is required during site construction see below for city permit requirements. Subgrade structures should be designed to prevent infiltration of groundwater without the need for a permanent dewatering system being installed. If a continuously operating permanent dewatering system is needed it must be approved as part of the sanitary sewer and storm drain site plan approval prior to construction beginning.
- No construction, demolition or commercial power maintenance equipment shall be operated within the city between the hours of 6:00 p.m. and 7:00 a.m. on weekdays or during any hours on Saturdays, Sundays and state and federal holidays, except under permit. Contact Environmental Services at (612) 673-3867 for permit information.
- Permits and approval are required from Environmental Services for the following activities: Temporary storage of impacted soils on site prior to disposal or reuse; Reuse of impacted soils on site; Dewatering and discharge of accumulated storm water or ground water, underground or aboveground tank installation or removal, well construction or sealing. Contact Tom Frame at (612) 673-5807 for permit applications and approvals.
- A review of the project, permits issued and an inspection from Environmental Service for identification of equipment and site operations that require annual registration with the City of Minneapolis will occur for this project.

❑ Historical Preservation Committee

- There is no HPC flag on this property. HPC review is not required at this time. HPC review is required for any wrecking permits pertaining to the removal of any existing structures.

❑ Sewer Design

- The plan as submitted meets the requirements of the Public Works Surface Waters & Sewers Division.

❑ Construction Code Services

- Clarify access to sidewalk from accessible parking
- Clarify hatch lines on sidewalk adjacent to accessible parking.

END OF REPORT

Project Summary

800 West Broadway
Minneapolis, MN 55411

800 West Broadway is a highly visible and blighted structure located in an economically struggling area of North Minneapolis. Significant investment is needed to bring the structure to a usable state. Sherman Associates recognizes the opportunity to bring jobs, educational resources and vitality to the area through rehabilitating 800 West Broadway.

The existing structure will be rehabilitated into space for a Minnesota DEED WorkForce Center, NorthPoint Health, Minneapolis Public Schools (with local college partners), and retail tenants. This diverse group of tenants will provide measurable benefits to the community. The goal of this development is to promote personal growth and economic prosperity. These outcomes will be brought about through innovative partnerships between the building's tenants. Education, employment and health services will all be provided in one location. The programming provided by each of the tenants will be interconnected. This integration of programming will create an environment that best sets up participants to succeed. A participant will be able leverage the services of each tenant to most positively impact their life and the lives of their family.

As an employment and education hub, the building will serve a population living in one of the most economically depressed areas of the state. 800 West Broadway is located in an area of concentrated poverty (census tract 27053002200). 52.2% of people in the census tract live in poverty. The median family income is \$21,667 (26.77% of Area Median Income). By reaching a critical mass of individuals in this community, the community as a whole will benefit from this development.

This development is an innovative way to help combat entrenched poverty in North Minneapolis. Lack of educational opportunity, disconnect from employment and poor health perpetuate poverty. A group of dedicated project partners have come together with the commitment to combat poverty through providing education, employment and health resources at 800 West Broadway.

Total Development Cost:	\$7.2 Million
Construction Type:	Major rehabilitation of existing structure
Commence Construction:	2nd Quarter, 2015
Complete Construction:	2nd th Quarter, 2016
Development Team:	Developer: Sherman Associates Contractor: Craftsman Construction Architect: Blumentals Architecture
Financing Participants:	Sunrise Bank, Chase Bank, Hennepin County, City of Minneapolis, Metropolitan Council, Sherman Associates
Building Tenants:	State of Minnesota Dpt of Employment & Economic Development, Minneapolis Public Schools (with local college partners), NorthPoint Health, To be determined retail tenants
Local Partners/Stakeholders:	Hawthorne Neighborhood Council, West Broadway Business Coalition

800 West Broadway - Tenant Programming Descriptions

State of Minnesota: DEED Workforce Center

Approx Leased SF: 12,000

Proposed Programming: Attached.

Minneapolis Public Schools

Approx Leased SF: 22,000

Proposed Programming: Attached. Model will serve non-traditional learners. Majority of clients served will be over the age of 16.

NorthPoint Health

Approx Leased SF: 2,400

Proposed Programming: Medical/Dental/Mental Health Clinic.

Retail/Commercial

Approx Leased SF: 4,450

Proposed Programming: Retail, restaurant, coffee.

Minnesota WorkForce Centers

Minnesota WorkForce Centers help job seekers find employment, help businesses find workers, and help anyone at any stage explore and plan careers.

Services for Job Seekers

Whether a job seeker is in the preparation stage, actively searching for a new job, or researching career options, clients need access to the right information, equipment and guidance.

Every WorkForce Center provides those essentials in professional, business-like setting that helps clients work easily and effectively.

General Assistance

Knowledgeable staff are ready to guide clients through all steps of job search and career planning. They provided the following general services:

- Tell clients about all the services available at any WorkForce Center and any special services for which clients may qualify
- Help clients use MinnesotaWorks.net, our online job bank, and other employment web sites to search for and apply for jobs
- Help clients research local employers that are hiring
- Help clients understand the fundamentals of a successful job search and help clients apply those basics in their own job search
- Offer advice about how to write effective resumes and cover letters
- Help clients set up free email accounts to keep in contact and follow up with prospective employers
- Assist clients with taking a typing test where clients can print results to take to employers
- Teach clients to use the Internet effectively for job searches
- Recommend other resources and services in the client's community

Computer Access

A wide variety of computer software is available for clients' use, including programs to help with career planning, computer skills development, and effective Internet job searches.

In addition, the WorkForce Center provides free email accounts and Internet access to all job seekers. Here's a sample of what you'll find.

Job-Search Tools

Our WorkForce Center Organizer software identifies and sorts Web sites for job search or career planning

- Access to MinnesotaWorks.net, our job search database
- Access to a typing test for customers to print results and take to an employer

Word-Processing and Resume Tools

- Typing tutorials and software help you develop keyboarding skill
- Word processing software helps you to write resumes, cover letters and other job-search documents
- Special software helps you create custom resumes from templates

Career Exploration Tools

- Career software such as Minnesota Career information System helps clients explore their interests and personality
- Our career research tools help clients learn about occupations and understand the education and training needed to work in selected fields
- Other tools provide Information about salaries, occupations, job market predictions and economic trends in the local labor market in a way that is easy to access and understand

Office Equipment

At every WorkForce Center, clients have access to office equipment that is crucial for every job search, including:

- A telephone for reaching potential employers or networking contacts
- Photocopy machines for copying resumes or other information needed to prepare for job interviews
- Computers and software for creating and updating resumes, plus Internet access for job-search related research
- Printers for producing high-quality resumes and other job-search related documents
- Fax machines for sending resumes and other related documents to potential employers

Library

WorkForce Centers offer a wide variety of books and directories to help with job hunting and career planning.

Clients will find a slightly different mix of materials in each individual WorkForce Center, based on unique local needs. However, every center carries a selection of books and other publications that cover the following subject areas:

- Business and employer directories
- Conducting basic job searches
- Writing resumes and cover letters
- Interviewing and salary negotiation
- Career Planning and Development
- Labor Market Information

Assistive Technology

We offer assistive technology to help customers with disabilities better use our services and resources.

All WorkForce Centers are equipped with computer software and equipment to help people who are blind, visually impaired, or have other physical impairments to use computer programs, Web sites, and read printed materials.

For telephone use, each center has a TTY for people who are deaf or have hearing impairments, and access to speech-to-speech service for people with speech impairments.

Available assistive technology includes:

- Closed Caption Decoder-Enabled TV/VCR
- Job Access with Speech (JAWS) for Windows
- Okay Vision Aide Corporation (OVAC) Reader
- Pocket Talker Personal Amplifier
- ZoomText Software
- UbiDuo
- NexTalk

Career Readiness Certificate

The National Career Readiness Certificate is a credential that helps clients stand out in a competitive job market by showing employers that you have the skills and motivation they're seeking.

The exam highlights the clients strongest, most marketable skills. It also identifies areas of improvement that would make clients a stronger candidate with potential employers.

The NCRC™ assessments are offered at no charge at select Minnesota WorkForce Centers.

Vocational Rehabilitation Services for People with Disabilities

If a client has a disability, our Vocational Rehabilitation Services unit can help them prepare for, find and keep a job, and live as independently as possible. With the right kind of training, preparation and workplace accommodations, people with disabilities can have rewarding careers.

If a client has a disability that makes it hard to find or keep a job clients may be eligible for a variety of counseling, training, job skills and job placement services.

Services vary according to individual needs. A vocational rehabilitation counselor works with the client to explore the choices and determine which are most appropriate for the client.

Veterans Employment Services

Current or former military members, no matter their era of service, receive priority services in all WorkForce Centers across the state. WFC staff provide the fastest, most effective service possible – in person or online. Specially trained Veterans Employment Representatives can assist veterans if they have been discharged or left active duty in the last three years; have significant challenges finding or keeping a job; or have a service-connected disability.

Veterans employment representatives also work closely with employers to develop job opportunities for veterans and to advocate on their behalf.

Services for Businesses

Understanding and meeting the needs of employers and industries is a key part of the services provided by WorkForce Centers.

WorkForce Centers help businesses publicize job opportunities. In addition workforce and business development representatives can help businesses find -- and if need be, train -- the right workers.

WorkForce centers provide workforce and business-related data that can give businesses deep insight into economic trends that can affect and shape business decisions.

Business Services Representatives

Business Services Representatives help companies tackle some of their most difficult workforce problems, offering solutions that are tailor-made to meet specific business needs. Services are available at no fee.

Overview

Hiring assistance services can make a business's search for the right employees more effective, satisfying and rewarding. Business Service Representatives can assist with the following:

- Finding qualified workers
- Analyze hard-to-fill positions
- Write effective job postings
- Obtain tax credits for new hires
- Review bonding information
- Determine competitive salary

Working with our Business Services Representatives can save businesses time and money, increase profitability and productivity, reduce liability and enhance a business's image.



800 West Broadway Community Learning Center

Bridging the gap of college and career readiness for non-traditional students

Essential elements to meet the needs of non-traditional learners

Innovative teaching and learning

- Continuum of pedagogy (learner dependent on teacher) to andragogy (self-directed learning)
- Dual credit opportunities—high school and college credit earned simultaneously through partnerships with MNSCU and MCTC
- Adult Basic Education course offerings to earn a GED
- Extended hours for learning to occur during non-traditional times (evenings/weekends) and flexible scheduling to align with the needs/schedule of the learner
- Project-based learning where real-world problems capture students' interest and provoke serious thinking as the students acquire and apply new knowledge in a problem-solving context
- 21st century technology with flexible spaces to support both large group and small group learning
- Practical Assessment Exploration System (PAES): Vocational work assessment and exploration (currently located at TransitionPlus)
- Intentional connections made between academic learning and work-based learning opportunities
- Student led application of learning to business development
 - ⇒ Computer Recycling Center led by students
 - ⇒ Coffee shop on 1st floor operated by TransitionPlus, Cookie Cart and MPS Nutrition Center
 - ⇒ Development of other adult-led businesses with a focus on preparing adults for STEM-related careers, such as computer coding and website development .

Wrap-around services

- County services: Mental health, adolescent services (truancy and runaway service), WIC, public health, chemical health services, housing
- Childcare site: Supports community need while providing an inclusion site for Early Childhood Special Education students as well as supporting the development of a childcare training program for TransitionPlus adults
- Clinic site
- Healthy living focus with treadmills and stationary bikes

Collaboration

- A unified vision and mission of 800 West Broadway is developed to address the educational, career and life needs of our community

Sustainability

- Leveraging resources of K-12 education, colleges and universities, and community partnerships

MPS collaborators:

• College and Career Readiness • Multi-Lingual • Special Education • Community Education • STEM



MINNEAPOLIS
PUBLIC SCHOOLS
Urban Education. Global Citizens.

1250 West Broadway Avenue
Minneapolis, Minnesota 55411-2533

Mr. Will Anderson
Sherman and Associates
233 Park Ave South, Suite 201
Minneapolis, MN 55415

Dear Will,

As we prepare for the development of the West Broadway Education and Career Center, I wanted to let you know what we have planned for the space.

We anticipate this space to be used primarily as a non-traditional education center. Instruction will be focused on preparing adults and older teen-aged youth for their next steps either academically or in employment. More specifically, our goals for programming in the building are:

- increasing student achievement for youth and adults
- providing concurrent high school and college credit to accelerate completion
- expanding linkage to post-secondary and employment training for student success
- incorporating “hands on” internships/apprenticeships into instruction for students

With a year or more away from opening we are still working on the details of our programming, however we are fully expecting to offer:

- Dual credit opportunities—high school/GED and college credit earned simultaneously through partnerships with MCTC and other community colleges.
- MPS K-12 and MPS Adult Education career pathways with connection to jobs or training.
- Extended hours for learning to occur evenings/weekends and flexible scheduling to align with the needs/schedule of the learner.
- Project-based learning where real-world problems capture students’ interest and provoke serious thinking as the students acquire and apply new knowledge.

- 21st century technology with flexible spaces to support both large group and small group learning.
- Vocational work assessment and exploration with direct connection to employers.
- Intentional connections made between academic learning and work-based learning opportunities
- Coordination services for apprenticeships/internships for students using practical experience as part of their learning.

Through our Transitions Plus, Destination: Diploma to Degree, Career Pathways partnerships, and training sessions we anticipate serving about 100 students over the age of 16 at one time.

If you have any questions, please don't hesitate to contact me at Carlye.Peterson@mpls.k12.mn.us

Sincerely,

A handwritten signature in black ink that reads "Carlye Peterson". The signature is written in a cursive, flowing style.

Carlye Peterson
Project Manager
Minneapolis Public Schools

**Conditional Use Permit: K-12 School
800 West Broadway
03/31/15**

(1) The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, comfort or general welfare.

Applicant affirms the above statement. No activities associated with the proposed conditional use, education, will adversely affect individuals/property in the surrounding area. Both applicant and Minneapolis Public Schools (education tenant) are committed to creating a safe environment. Applicant and education tenant will execute a crime free environment addendum and memorialize as an attachment to the lease.

(2) The conditional use will not be injurious to the use and enjoyment of other property in the vicinity and will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

Applicant affirms the above statement. While the designation of the Minneapolis Public Schools space will be K-12 School, functionally it will operate differently than most traditional school models. The space will be used primarily as a non-traditional education center. Instruction will be focused on preparing adults and older teen-aged youth for their next steps either academically or in employment. Focus will be on obtaining both high school/GED and college credit. The functional use of this space is in line with other acceptable uses. Acceptance of a K-12 conditional use permit will have no negative effect on the use and enjoyment of other property in the vicinity. It will not effect normal and orderly development and improvement of surrounding property.

(3) Adequate utilities, access roads, drainage, necessary facilities or other measures, have been or will be provided.

Applicant affirms the above statement. Applicant proposes to substantially rehabilitate the existing structure on the site. Utilities, access roads, drainage and necessary facilities are in place. Applicant will update as required/appropriate.

(4) Adequate measures have been or will be taken to minimize traffic congestion in the public streets.

Applicant affirms the above statement. Significant consideration has been given to this matter by the design team. Site plan has been reconfigured to accommodate vehicle circulation within the confines of the site. Applicant proposes a portion of the parking be located at a nearby offsite lot. Through providing parking at a nearby offsite lot potential for vehicle congestion is minimized- the volume of vehicles in one location is less.

(5) The conditional use is consistent with the applicable policies of the comprehensive plan.

Applicant affirms the above statement. The proposed development and conditional use is consistent with future land uses identified in the Minneapolis Plan for Sustainable Growth (March, 2011) and the West Broadway Alive! Plan (March, 2008). Plans call for the site to be commercial/mixed use. Both plans emphasize West Broadway as a commercial corridor. They call for "traditional urban form and scale in commercial development." 800 West Broadway is a commercial building, situated essentially lot line to lot line on the south, east and west property extents. By rehabilitating this structure and locating parking in the rear and off site, development adheres to traditional urban form and scale. Proposed uses within the building are also in line. Retail/restaurant will be located along the frontage of West Broadway. The balance of the space will be filled with office, education and clinic tenants. An education use in this building is consistent with applicable policies of the comprehensive plan.

(6) The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.

Applicant affirms the above statement. The only conditional use being sought by applicant is for K-12 School. The development in all other respects will substantially conform to applicable regulations. Education is an appropriate complementing use to other services provided by building tenants. Services provided by the building tenants will be mutually beneficial and provide the greatest impact on the community. Upon redevelopment 800 West Broadway will be a vibrant mixed use building, in keeping with applicable regulations of the district.

Variance to Reduce Parking Requirement

800 West Broadway

03/31/15

The proposed development at 800 West Broadway will require a variance to reduce parking requirement. Applicant submits the following:

(1) Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.

Applicant affirms the above statement. The property parameters of 800 West Broadway do not facilitate adequate parking for a structure of approximately 50k sf. The lack of adequate parking is a major factor in the property's history of disinvestment and vacancy. Based on existing property boundaries, the maximum parking that could be fit on the 800 West Broadway site is approximately 15 stalls. This is not adequate parking to facilitate a vibrant and economically viable use at 800 West Broadway. Applicant has taken steps to maximize the parking available to users of 800 West Broadway – see # 2.

(2) The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.

Applicant affirms the above statement. Applicant has taken significant steps to maximize the number of parking stalls available for users of 800 West Broadway. These steps are appropriate and substantially in line with ordinance/comp plan.

-Applicant will acquire 2019 Aldrich Ave N and utilize for parking. The acquisition of 2019 Aldrich accommodates the addition of 22 onsite parking stalls. Applicant believes this proposed use for 2019 Aldrich is appropriate and helps to facilitate the highest and best use at 800 West Broadway. Applicant has made submittal to rezone 2019 Aldrich to C3S, to accommodate parking.

-Applicant will provide a minimum of 27 additional parking stalls at nearby Hawthorne Crossing. Parking at Hawthorn Crossing is approximately 250 feet from 800 West Broadway. Hawthorne Crossing is owned by affiliate entity to the applicant. Parking will be available to users of 800 West Broadway on a non-exclusive basis.

Total of 61 parking stalls will be available onsite and in close proximity to 800 West Broadway. Applicant has strived to put forth a plan in keeping with the spirit and intent of ordinance and the comprehensive plan.

(3) The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.

Applicant affirms the above statement. Applicant has worked with the design team and city staff to create a site/parking plan that is both in line with ordinance and minimizes the effect on surrounding property. Original site plan maximized the number of parking stalls on the site. Ensuing versions decreased curb cuts and eliminated circulation in public right of way. Over 2/3rd of property owners within 100 feet of the proposed development have provided consent to rezone in order to facilitate this development.

Variance to Reduce Loading Spaces
800 West Broadway
03/31/15

The proposed development at 800 West Broadway will require a variance to reduce loading requirement. Applicant submits the following:

(1) Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.

Applicant affirms the above statement. Based on the dimensions of the area available for parking, inclusion of a loading area would have significant adverse impact on the functionality of the site and the amount of parking available. Required dedicated size of loading area is 25' x 10'. If this size loading area is positioned North/South anywhere in the rear of the lot, it will impede into the circulation drive lane. If a loading area is positioned East/West anywhere in the rear of the lot, it would require the elimination of approximately 4 parking stalls. Applicant believes the benefit of a loading area is not commensurate to the adverse effects its inclusion would have on the property.

(2) The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.

Applicant affirms the above statement. Applicant does not anticipate heavy delivery traffic at 800 West Broadway. The committed tenants are office/education/health uses. These uses are not require heavy delivery. Expected delivery includes standard fedex/office type delivery. Applicant will work with building tenants to put in place delivery procedures and practices.

(3) The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.

Applicant affirms the above statement. The main entrance to 800 West Broadway will be located along Aldrich Ave N. It is anticipated that light weight delivery vehicles will park for short term delivery along Aldrich. There is no single family residential use on either side of this block. The lot across Aldrich is currently razed/vacant. Parking is available on both sides of the street. Applicant believes that short term delivery parking along Aldrich is appropriate and will minimally impact other property in the vicinity of 800 West Broadway.

In addition to compliance with city regulation, building signage will comply with owner standards outlined below:

GENERAL STANDARDS / FABRICATION & INSTALLATION

Fabrication & installation of the work to be provided in these drawings must meet the following conditions and specifications:

GENERAL

The requested work will comply with all Federal and State codes, laws and regulations, and all municipal ordinances or regulations in effect at the time work is being performed.

Any alternates or changes to materials, construction methods and sign types specified in this document must be approved in writing by the client's representative prior to implementation.

LABOR

GENERAL

Any work required under this section, that is not specified in detail, shall be constructed in accordance with approved shop drawings.

All work shall be fabricated & erected square, plumb, straight & true. Cut-out letters, numbers & images shall be cut in continuous, even lines as indicated on drawings. Fabricator shall provide all supporting & anchoring means as required for proper installation. Fabricator is responsible to provide proper thickness to eliminate waviness or other deformations in materials.

EXPOSED METAL SURFACES

Exposed metal surfaces shall be reinforced, braced & securely fastened to provide rigid assembly. Sign faces shall be free of oil holes, except those required to install letters or weep-holes. Service access doors shall be concealed wherever possible. Flush-butt locked seams and fillers shall be metal screwed & bolted on filler edges to provide smooth faces, free of unsightly rivets. All steel items exposed to the weather, and all other steel items as written, shall be galvanized or ground & painted with zinc-chromate primer & finish coated.

EXPOSED JOINTS

Exposed joints shall be continuously welded, ground & polished smooth and shall not be visible. Mitered corners shall be snug, neat & tight fitting in an even, smooth plane.

EXTERIOR & INTERIOR CABINETS AND FRAME

Exterior cabinets & frames shall be fastened with stainless steel screws. Phillip-type, flat head, countersunk screws or nuts & bolts shall be used as indicated. The interior cabinet or exterior signage shall be rain-proof and painted white. Signs shall be provided with weep-holes in bottom, sufficient size to allow for proper drainage per the cabinet size.

LABOR (continued)

ACCESSORIES, ANCHORAGE, MOUNTING DEVICES & SPACERS

Accessories, anchorage, mounting devices & spacers shall be guaranteed non-staining to adjacent walls and sign finishes for a period of five years after acceptance. Ferrous mountings may be sleeved with non-ferrous metal covers matching adjacent finishes, cemented with non-hydroscopic glue, or other suitable protective measures may be proposed to comply with this specification. All aluminum that is in contact with ferrous metals shall be separated with a heavy coating of bitumastic paint or sheet neoprene.

INSTALLATION

All signs shall be installed as indicated on the location drawings unless otherwise directed by VISUAL Communications. Signs shall be secured with hardware as indicated on these drawings or methods as approved on shop drawings showing alternative methods. Survey of ground conditions relating to soil content, density & composition are the responsibility of the installing company and must be included in the initial bid. Removal and/or replacement of asphalt, concrete, existing footings and poles are the responsibility of the installer unless otherwise written on these drawings.

MATERIALS

GENERAL

All materials, used in production, shall be new and of top quality, and free of defects impairing strength, durability or appearance.

METALS

Thickness, size, type & seam placement must be as written on drawings.

Steel sheet must be paint-lock or galvanized. All edges of metal or aluminum shall be cut in a continuous line and sanded smooth to finish. Aluminum sheet to be #5052 alloy. All seams to be straight & symmetrical.

PLASTICS

All fabrication and adhesives to be per highest quality industry standards. All adhesive to be non-staining and warranted for the life of the product.

Thickness, color, size, seam placement, seam construction, depth of pillowed faces and brand name as written on these drawings.

Embossed or flat sheet plastic shall be free of wrinkles or imperfections from forming or fabrication. All surfaces shall be free of scratches.

MATERIALS (continued)

FLEXIBLE MATERIALS

Thickness, color, size, and brand names shall be as written on drawings.

All fastening devices must meet dealer recommendations. Seam placement shall be as documented in drawings, straight and symmetrical. Face surface shall be free of wrinkles, discoloration & imperfections. Flexible face to be of a tensile strength to withstand 120 lbs. per square foot of wind pressure (UL - 48 testing).

COATINGS & FINISHES

All aluminum, metal & fasteners shall be finish coated with an appropriate primer & color coat with corrosion inhibitors guaranteed for three (3) years against fading, chipping, cracking, peeling & discoloration. Fabricator to provide paint warranty from selected fabrication for 3-year. The paint company must provide a certificate.

Colors shall meet specifications on drawings. Sample colors shall be furnished by fabricator for approvals by VISUAL Communications.

All flexible face coatings shall be guaranteed for eight (8) years against fading, discoloration & mildew, provided that routine six month cleaning and maintenance has been performed by an approved sign representative.

All holes, cut edges & penetrations of prefinished metals and aluminum shall be free of burrs, primed & brush painted to maintain a corrosion proof finish.

ELECTRICAL

Electrical parts & materials shall meet all national electrical codes, applicable local codes & the requirements of the Underwriter's Laboratory, Inc. and be labeled as such. All electrical parts shall be new & free of defects.

Signs shall be completed with all necessary lamps, tubes, ballasts, transformers, sockets and internal wiring as required in these drawings and to provide complete operable units.

Electrical service shall be provided as written in these drawings. Extensions of wiring, conduit, transformation of voltages if required, and final connection are as noted in these drawings. Verify exact location of existing stubs & junction boxes by referencing drawing and site.

All signs shall provide evenly distributed lighted surface equal to intensity specified. All areas of lighted letters shall be of equal intensity in all parts of the sign.

NOTES

ELECTRICAL (continued)

All light sources shall be 'outdoor type', 30 Ma or 60 Ma transformers and/or 800 Ma ballasts rated for -20F.

Proper disconnect switches shall be provided as noted. Location shall be inconspicuous & approved by VISUAL Communications or the City of St. Paul Park & Recreation Department.

SHOP DRAWINGS FOR CHANGES OR ALTERNATES

Three (3) copies of shop drawings indicating changes or alternates in detail shall be submitted to VISUAL Communications or the City of St. Paul Park & Recreation Department. Written approval of shop drawings shall be required before any work is started on the section being revised.

GUARANTEE & SERVICE

Contractor shall guarantee that all material and work furnished in these drawings are guaranteed for one (1) year to be free of defects & faulty workmanship, & that any defective material or work shall be promptly repaired or replaced without additional cost to the owner or their consultant. Contractor shall, during the first year of operation, fully maintain & service the signs, making regular inspections, servicing, replacing tubes & electrical equipment as necessary to operate the signs without additional cost to the client. Any guarantees for additional time or services noted in these drawings are to be included in the contract (ie: 3 year paint warranty) and a certificate must be provided by the paint company to the owner.

PROTECTION

All exposed surfaces and sign components shall be protected until final installation and approval by client or their consultant. Any work damaged or discolored in any way before installation and approval occurs shall be the responsibility of the fabricator without additional cost to the owner or their consultant.

CLEAN UP

During the process of implementation, the premises shall be kept reasonably free of all debris & waste materials resulting from the work being completed in this contract. Upon completion and before final acceptance of work, all debris, rubbish, leftover materials, tools and equipment shall be removed from the site.

Final cleaning of all surfaces shall be carefully done strictly in accordance with the manufacturer's or consultant's instructions.

Signs shall have non-corrosive, concealed fasteners, continuous welds, ground smooth, filed, primed & finish painted to match. No visible attachment methods or oil caulking acceptable.

Appropriate weatherproof service access panels required at strategic points for future servicing and maintenance.

Weep holes w/ minimal light shields required for all internally illuminated sign cabinets and fabricated letters for water drainage.

Sign to meet all local, state & national codes.

Underwriters Laboratory (U.L.) label required.

Fabricating sign company responsible for wind load calculations for sign support & concrete standards based on soil conditions & prevailing winds.

Sign fabricator/installer responsible for all engineering and liabilities.

Final electrical connection to be made by licensed electrician.

Field survey of each sign location is required to identify 120 volt service, or 277 volt service and access availability. Owner and contracted sign company to coordinate type of voltage to be used. Contracted sign company to identify correct electrical plan in shop drawings.

Owner to run electrical to within 3' of each sign location. Sign company to make final electrical connection to sign(s), unless otherwise specified.

No exposed conduit.

Type, placement & hook-up of time clocks, photocell, computerized time clocks, etc. by the sign company.

Flush mount turn-off switch required, switch to face away from street side, painted to match background placed on.

Contracted sign company to provide color & material samples for review and written approval to VISUAL Communications and prior to fabrication.

Contracted sign company to provide shop drawings and full size patterns for review and written approval by VISUAL Communications and prior to fabrication.

Field survey of each sign location prior to providing bid for fabrication & installation.

All finishes to be as specified and carry a 3-year warranty. The sign fabricator/installer must supply a certificate w/ shop drawings.

All colors to be verified prior to fabrication.

Installing sign company will not alter natural soil conditions (pave or tar) without verifying with owner.

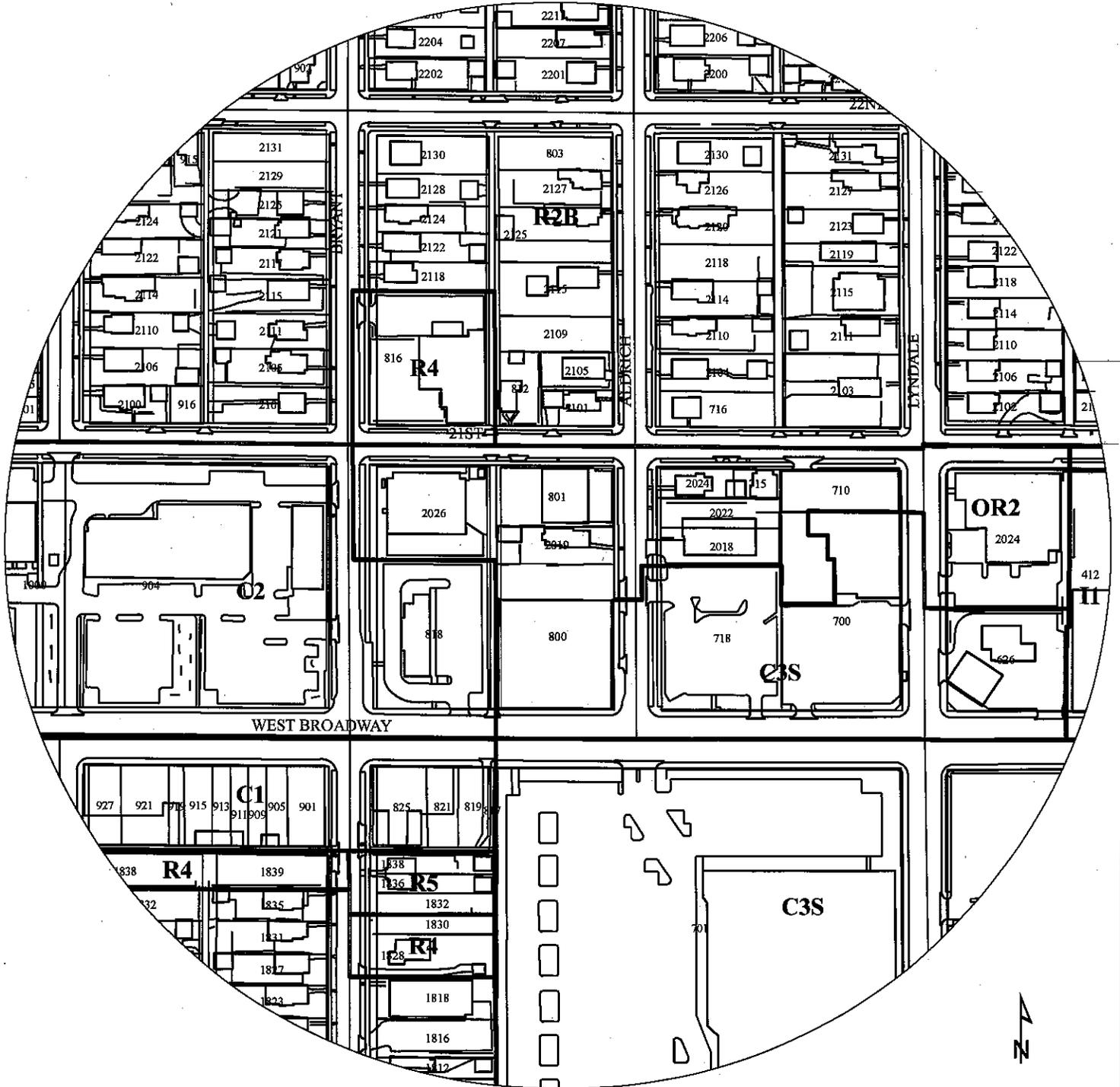
Sign installer to check all following for easements and placement of sign as determined: including water, gas, electrical, telephone, sewer, cable & sprinklers.

When power is run by electric contractor to a designated meter, Meter is to be placed within the pole wrapper if possible or set at a distance from sign for aesthetic appeal. Meter is not to be attached to the outer surface of the sign or pole.

All permits are the responsibility of the contracted sign company.

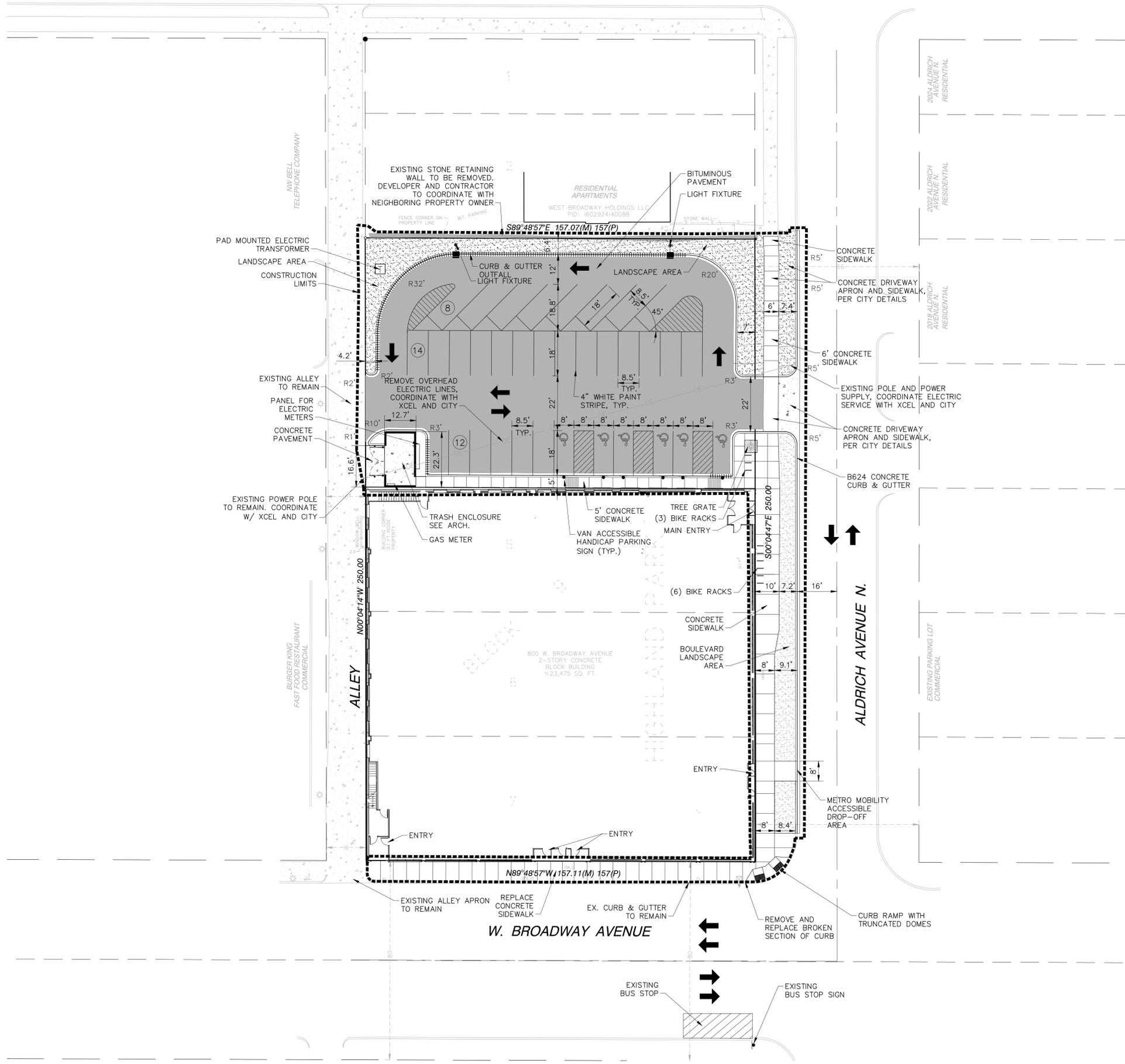
NAME OF APPLICANT

WARD



Drawing name: X:\2014\140116\plan sheets\Construction Documents\140116-site.dwg Mar. 31, 2015 1:12pm

N. 21ST AVENUE



SITE PLAN NOTES:

- ALL DIMENSIONS ARE TO FACE OF BUILDING AND/OR FACE OF CURB.
- CONTINUOUS CONCRETE CURB & GUTTER WHICH CHANGES TYPE SHALL HAVE A FIVE FOOT TRANSITION.
- ALL CONCRETE CURB AND GUTTER ADJACENT TO CONCRETE WALK BE SEPARATED BY A 1/2 INCH EXPANSION JOINT.
- ALL EXISTING CURB CUTS TO BE REPLACED WITH CONCRETE CURB AND GUTTER EQUIVALENT TO THAT WHICH CURRENTLY EXISTS.
- ALL CURB AND GUTTER AND SIDEWALK WITHIN R.O.W. TO BE PER CITY STANDARDS.
- STRIPING SHALL BE 4 INCH WHITE.
- ALL WORK WITHIN THE R.O.W. SHALL COMPLY WITH THE CITY ENGINEERING DESIGN STANDARDS.
- ALL CURB AND GUTTER TO BE CONCRETE B612 CURB UNLESS NOTED OTHERWISE, PER CITY STANDARDS.
- CONCRETE APRONS TO BE INSTALLED FOR ALL ACCESS DRIVES ON TO PUBLIC STREETS PER COUNTY & CITY STANDARDS.
- BUILDING DIMENSIONS REFER TO OUTSIDE OF BUILDING FACE (TYP.) UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES, SUCH AS EXISTING GUTTER GRADES AT THE PROPOSED DRIVEWAYS, PRIOR TO THE START OF SITE GRADING. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR VARIATIONS FROM THE PLANS.
- CONCRETE PADS TO BE 3000 PSI AIR ENTRAINED 6" CONCRETE WITH #4 BARS @ 12" O.C. AND BROOM FINISHED.
- PROVIDE TRAFFIC CONTROL DURING CONSTRUCTION OF RIGHT TURN LANE PER MNDOT STANDARDS.
- REFER TO PHOTOMETRIC PLAN FOR LOCATIONS, FOOTCANDLE PRINT OUT AND SPECIFICATIONS.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY.
- CONTRACTOR IS RESPONSIBLE FOR DEMOLITION & REMOVAL OF ALL EXISTING STRUCTURES WHICH INTERFERE WITH NEW WORK AS SHOWN.
- CONCRETE SIDEWALK AND CURB & GUTTER SHALL BE REMOVED TO NEAREST CONSTRUCTION JOINT OUTSIDE OF BUILDING LIMITS.
- ALL DIMENSIONS SHOWN ARE TO FACE OF CURB, CENTER OF STRUCTURE, EDGE OF SIDEWALK OR EXTERIOR OF BUILDING.
- ALL CONCRETE SIDEWALK ADJACENT TO BUILDING SHALL BE SEPARATED BY A 1/2" EXPANSION JOINT.
- PROTECT EXISTING CONCRETE SIDEWALKS DURING ALL PHASES OF CONSTRUCTION. CONTRACTOR TO REPLACE ANY CRACKED OR BROKEN PANELS CAUSED BY SITE CONSTRUCTION. CONTRACTOR SHALL PROTECT ADJOINING PROPERTIES & STRUCTURES FROM HAZARDS ASSOCIATED WITH HIS CONSTRUCTION ACTIVITIES & SHALL BE RESPONSIBLE FOR ALL DAMAGES TO PROPERTIES & STRUCTURES THAT OCCUR AS A RESULT OF THESE ACTIVITIES. CONTRACTOR SHALL NOT IMPEDE EXISTING TRAFFIC CIRCULATION TO ADJACENT RESIDENCES OR BUSINESSES.
- CONTRACTOR SHALL PERFORM SWEEPING ON PRIVATE PARKING AREAS AND PUBLIC STREETS AT LEAST ONCE A WEEK, ONCE A DAY IF NEEDED. CONTRACTOR SHALL BE HELD FULLY RESPONSIBLE TO PREVENT AND ELIMINATE ANY DUST NUISANCE OCCASIONED BY AND DURING CONSTRUCTION, UNTIL THE PROJECT HAS BEEN COMPLETED AND HANDED OVER.
- CARE MUST BE TAKEN DURING CONSTRUCTION AND EXCAVATION TO PROTECT ANY SURVEY MONUMENTS AND/OR PROPERTY IRONS.

SITE DATA

EXISTING ZONING: C3S/OR2
 PROPOSED ZONING: C3S
 EXISTING LOT AREA: 39,272 SF / 0.902 ACRES
 BUILDING FOOTPRINT AREA: 23,475 SF
 (800 W. BROADWAY BUILDING ONLY)
 NET LOT AREA: 15,797 SF

PARKING DATA

EXISTING PARKING: 0 STALLS
 REQUIRED PARKING: 101 STALLS
 PROPOSED PARKING PROVIDED: *34 STALLS
 (INCLUDING 6 ADA STALLS)
 *ADDITIONAL PARKING IS AVAILABLE OFF-SITE

NET LOT CALCS.	EXISTING ON PARCEL	PROPOSED ON PARCEL
IMPERVIOUS	4,568 SF 29% OF NET LOT	13,895 SF 88% OF NET LOT
PERVIOUS	11,229 SF 71% OF NET LOT	1,902 SF 12% OF NET LOT
TOTAL NET LOT	15,797 SF 100%	15,797 SF 100%

SITE LIGHTING

EXTERIOR LIGHTING SHALL MEET CHAPTER 535.590 LIGHTING REQUIREMENTS OF THE MINNEAPOLIS ZONING CODE.

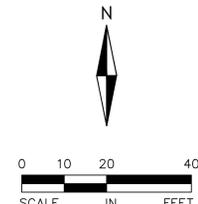
SNOW REMOVAL

SNOWFALLS OVER 2-3 INCHES SHALL BE HAULED OFF-SITE AND PROPERLY DISPOSED OF.

SITE LEGEND

- B612 CURB AND GUTTER
- B612 CURB AND GUTTER OUTFALL
- CONSTRUCTION LIMITS
- EXISTING PROPERTY LINE
- BITUMINOUS PAVEMENT
- CONCRETE PAVEMENT
- LANDSCAPE AREA
- LED LIGHT FIXTURE
- DIRECTION OF TRAFFIC

FOR REVIEW ONLY
PRELIMINARY
 NOT FOR CONSTRUCTION



I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed PROFESSIONAL ENGINEER under the laws of the State of MINNESOTA.
C. Wicklund
 CLARK WICKLUND, PE
 3/31/15 40922
 Date License No.

QUALITY ASSURANCE/CONTROL

DATE	ISSUE
2/18/15	CPED SUBMITTAL
3/4/15	PDR SUBMITTAL
3/27/15	SHELL PACKAGE
3/31/15	CPED RESUBMITTAL

PROJECT TEAM DATA
 DESIGNED: MK
 DRAWN: EMK
 PROJECT NO: 214-0116



ALLIANT
ENGINEERING

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Minneapolis, MN 55415
612.758.3080 MAIN
612.758.3099 FAX
www.alliant-inc.com

800 WEST BROADWAY
800 WEST BROADWAY AVENUE
MINNEAPOLIS, MN 55411
SHELL PACKAGE ISSUED FOR OWNER FINAL REVIEW
DETAIL SHEET

800 WEST BROADWAY
800 WEST BROADWAY AVENUE
MINNEAPOLIS, MN 55411

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed PROFESSIONAL ENGINEER under the laws of the State of MINNESOTA.

C. Wicklund
CLARK WICKLUND, PE
3/31/15 40922
Date License No.

QUALITY ASSURANCE/CONTROL

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2/18/15	CPED SUBMITTAL
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3/27/15	SHELL PACKAGE
3/31/15	CPED RESUBMITTAL

PROJECT TEAM DATA
DESIGNED: MK
DRAWN: MK
PROJECT NO: 214-0116

C-5

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PRELIMINARY
NOT FOR CONSTRUCTION

DRIVE APPROACH DIMENSIONS			
CODE	DIMENSION	RESIDENTIAL	COMMERCIAL
Y	DRIVE APPROACH ANGLE	60-90°	60-90°
W	DRIVE APPROACH WIDTH	12" MIN. 25" MAX.*	12" MIN. 25" MAX.*
R	RADIUS OF CURVATURE OF CURB FOR DRIVE APPROACH	2.5' MIN. 5' MAX.	5' STD.*
R1, R2	RADIUS OF CURVATURE	5' MIN. 15' MAX.	5' MIN. 30' MAX.
F	COMMON FRONTAGE CLEARANCE	5' MIN.	5' MIN.
G	DISTANCE BETWEEN DOUBLE DRIVE APPROACHES	30' MIN.*	30' MIN.*
C	CORNER CLEARANCE AT THE INTERSECTION OF TWO MAJOR STREETS	30' MIN.*	30' MIN.*
NA	CORNER CLEARANCE AT ALL OTHER INTERSECTIONS	20' MIN.*	20' MIN.*
NA	CLEARANCE FROM BUS STOP ZONE	40' MIN.*	40' MIN.*

NOTE: PERIODIC CHANGES IN THE ABOVE DIMENSIONS WILL BE MADE AS NECESSARY TO IMPROVE TRAFFIC AND SAFETY ON THE PUBLIC STREETS AND SIDEWALKS.
*OR AS APPROVED BY THE CITY ENGINEER.

MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS
DRAWN: JFC DATE: 5/10/07
APPROVED: GAB DATE: 5/10/08
B-624 CURB AND GUTTER
STANDARD PLATE NO. ROAD-1003

MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS
DRAWN: JFC DATE: 7/26/14
APPROVED: JSH DATE: 7/26/14
DRIVEWAY REFERENCE
STANDARD PLATE NO. ROAD-2000-R1

MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS
DRAWN: JFC DATE: 5/10/07
APPROVED: GAB DATE: 5/10/08
SAW CUT AT CURB AND GUTTER REMOVAL
STANDARD PLATE NO. ROAD-1010

MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS
DRAWN: JFC DATE: 5/10/07
APPROVED: GAB DATE: 5/10/08
B-624 CURB AND GUTTER TIPOUT
STANDARD PLATE NO. ROAD-1006

MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS
DRAWN: JFC DATE: 5/10/07
APPROVED: GAB DATE: 5/10/08
B-624 CURB AND GUTTER
STANDARD PLATE NO. ROAD-1003

MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS
DRAWN: JFC DATE: 5/10/07
APPROVED: GAB DATE: 5/10/08
TYPICAL DRIVEWAY CONSTRUCTION
STANDARD PLATE NO. ROAD-2001

MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS
DRAWN: JFC DATE: 5/10/07
APPROVED: GAB DATE: 5/10/08
TYPICAL DRIVEWAY
STANDARD PLATE NO. ROAD-2002

MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS
DRAWN: JFC DATE: 5/10/07
APPROVED: GAB DATE: 5/10/08
TYPICAL SIDEWALK AND DRIVEWAY CONSTRUCTION
STANDARD PLATE NO. ROAD-2003

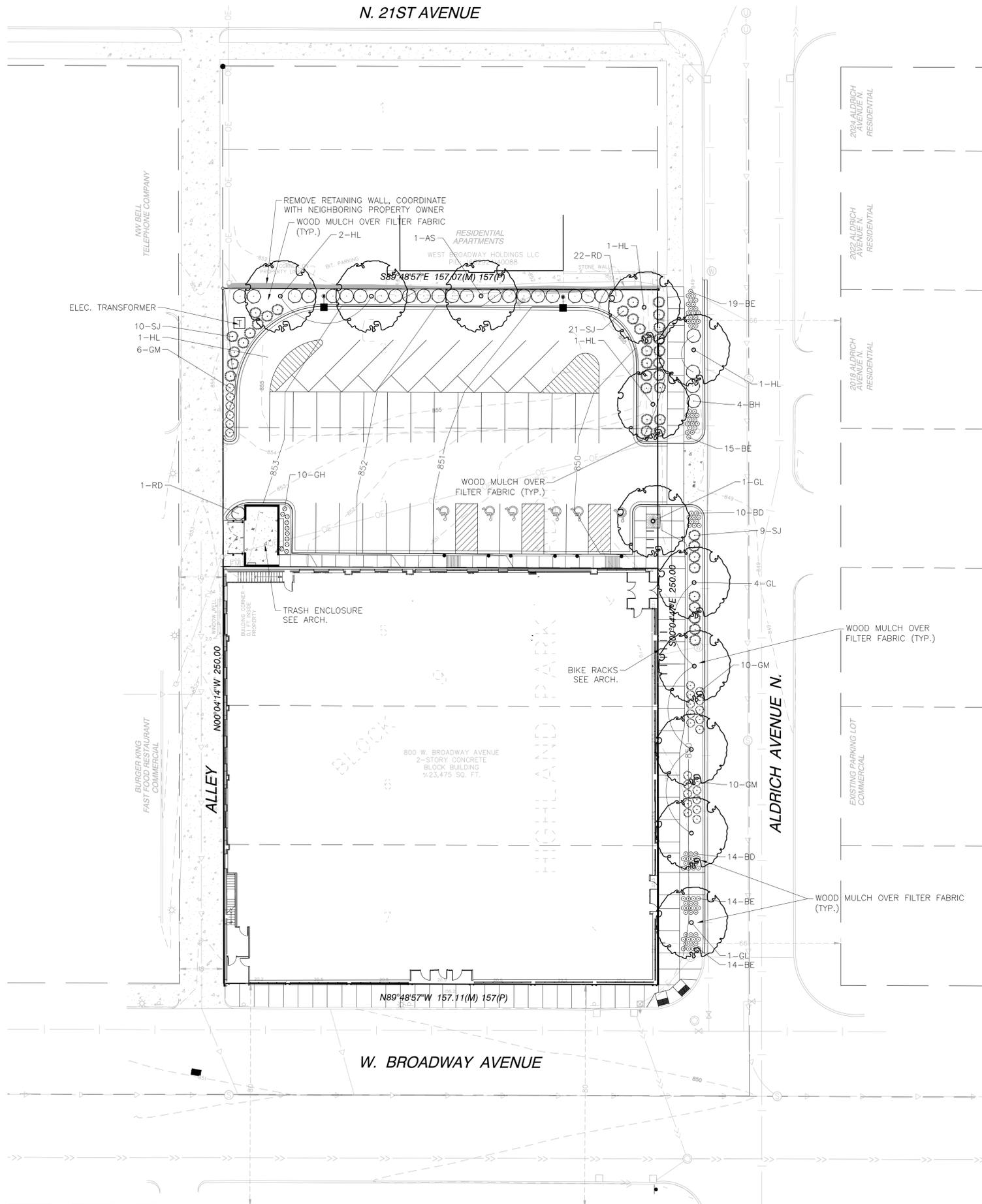
MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS
DRAWN: JFC DATE: 5/10/07
APPROVED: GAB DATE: 5/10/08
TYPICAL DRIVEWAY
STANDARD PLATE NO. ROAD-2002

MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS
DRAWN: JFC DATE: 5/10/07
APPROVED: GAB DATE: 5/10/08
B-624 CURB AND GUTTER
STANDARD PLATE NO. ROAD-1003

MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS
DRAWN: JFC DATE: 5/10/07
APPROVED: GAB DATE: 5/10/08
PEDESTRIAN CURB RAMP DETAILS
STANDARD PLATE NO. ROAD-1003

MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS
DRAWN: JFC DATE: 5/10/07
APPROVED: GAB DATE: 5/10/08
PEDESTRIAN CURB RAMP DETAILS
STANDARD PLATE NO. ROAD-1003

Drawing name: X:\2014\140116\plan sheets\Construction Documents\140116-land.dwg Mar 31, 2015 1:12pm



LANDSCAPE NOTES

- LANDSCAPE CONTRACTOR SHALL VISIT SITE PRIOR TO SUBMITTING BID TO BECOME COMPLETELY FAMILIAR WITH SITE CONDITIONS.
- CALL GOPHER STATE ONE CALL AT 651-454-0002 OR 811 FOR LOCATING ALL UNDERGROUND UTILITIES AND AVOID DAMAGE TO UTILITIES DURING THE COURSE OF THE WORK. CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO UTILITIES, SITE STRUCTURES, ETC. RESULTING FROM LANDSCAPE CONSTRUCTION.
- STAKE OR MARK ALL PLANT MATERIAL LOCATIONS PRIOR TO INSTALLATION. HAVE OWNERS REPRESENTATIVE APPROVE ALL STAKING PRIOR TO INSTALLATION.
- INSTALL 4" MIN. TOP SOIL TO ALL SHRUB AREAS. CONTRACTOR RESPONSIBLE FOR FINE GRADING. INSTALL 12" TOP SOIL TO PERENNIAL AREAS.
- PLANTING SOIL SHALL CONSIST OF 1:1:1 OF LOAMY TOPSOIL, PEAT MOSS AND PIT RUN SAND.
- ALL SHRUB AREAS UNLESS SPECIFIED AS OTHER, TO BE BED MULCHED WITH 3" DEPTH OF SHREDDED HARDWOOD MULCH, NATURAL COLOR, OVER FILTER FABRIC.
- ALL PERENNIAL BEDS TO BE MULCHED WITH 2" DEPTH OF SHREDDED HARDWOOD MULCH, NATURAL COLOR, OVER FILTER FABRIC.
- COMPLETELY GUARANTEE ALL WORK FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF ACCEPTANCE. MAKE ALL REPLACEMENTS PROMPTLY (AS PER DIRECTION OF OWNER).
- ALL MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL TREE TRUNKS SHALL BE WRAPPED WITH BROWN CREPE TREE WRAP. APPLY WRAP IN NOVEMBER AND REMOVE IN APRIL.
- MAINTAIN ALL PLANT MATERIALS, INCLUDING WATERING, UNTIL THE TIME OF ACCEPTANCE. ANY MATERIAL WHICH DIES OR DEFOLIATES (PRIOR TO THE ACCEPTANCE OF THE WORK) WILL BE PROMPTLY REMOVED AND REPLACED.
- THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL NOT MEETING SPECIFICATIONS.
- COORDINATE INSTALLATION WITH GENERAL CONTRACTOR.
- STAKING AND GUYING OF TREES OPTIONAL: MAINTAIN PLUMBNESS OF TREES FOR DURATION OF WARRANTY PERIOD.
- SWEEP AND WASH ALL PAVED SURFACES AND REMOVE ALL DEBRIS RESULTING FROM LANDSCAPE OPERATIONS.
- SUPPLY DESIGN AND INSTALLATION OF A WATER EFFICIENT IRRIGATION SYSTEM WITH 100% COVERAGE OF PLANTING AREAS. USE DRIP IRRIGATION IN TREE, SHRUB AND PERENNIAL AREAS. USE RAINBIRD OR APPROVED EQUAL, COORDINATE WITH G.C. PROVIDE RAIN SENSOR.

LANDSCAPE REQUIREMENTS

EXISTING LOT AREA: 39,272 SF / 0.902 ACRES
 EXISTING BUILDING TO REMAIN (FOOTPRINT): 23,475 SF
 NET LOT AREA: 15,797 SF

REQUIRED PERVIOUS AREA (20% OF NET LOT): 3,159 SF
 PROVIDED PERVIOUS AREA (12% OF NET LOT): 1,902 SF
 - DOES NOT INCLUDE ANY PERVIOUS AREA IN R.O.W.

CANOPY TREES REQUIRED = 6
 1 TREE PER 500 SF OF REQUIRED PERVIOUS AREA
 3,159 SF / 500 = 6.32 = 6 TREES REQUIRED

CANOPY TREES PROVIDED ON SITE: 6
 6 ADDITIONAL CANOPY TREES PROVIDED IN R.O.W./BOULEVARD

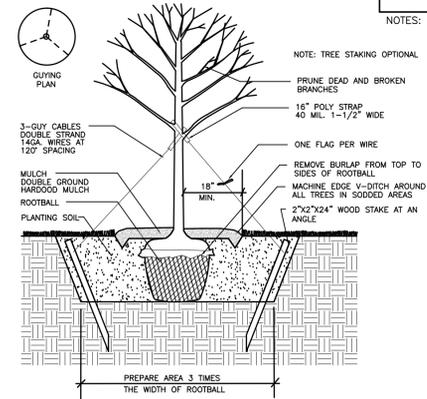
SHRUBS REQUIRED = 32
 1 SHRUB PER 100 SF OF REQUIRED PERVIOUS AREA
 3,159 SF / 100 = 31.59 = 32 SHRUBS REQUIRED

SHRUBS PROVIDED ON SITE: 60
 33 ADDITIONAL SHRUBS PROVIDED IN R.O.W./BOULEVARD

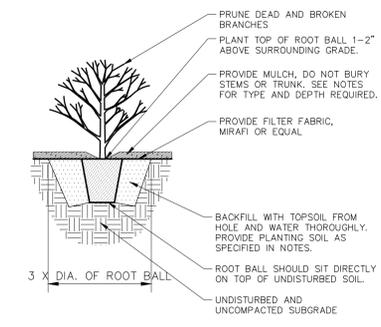
EXISTING GREEN SPACE IN ALDRICH AVE. R.O.W. = 479 SF
 PROPOSED GREEN SPACE IN ALDRICH AVE. R.O.W. = 1,695 SF

LANDSCAPE SCHEDULE						
PUBLIC R.O.W. QTY	ON PARCEL QTY	KEY	COMMON NAME/ BOTANICAL NAME	SIZE	REMARKS	
0	1	AS	OVERSTORY TREES AUTUMN SPIRE MAPLE <i>Acer rubrum 'Autumn Spire'</i>	2.5" CAL. B&B	STRAIGHT TRUNK NO V-CROTCH	
5	1	GL	GREENSPIRE LINDEN <i>Tilia cordata 'Greenspire'</i>	2.5" CAL. B&B	STRAIGHT TRUNK NO V-CROTCH	
1	4	HL	HONEYLOCUST <i>Gleditsia triacanthos 'Harve'</i>	2.5" CAL. B&B	STRAIGHT TRUNK NO V-CROTCH	
4	0	BH	SHRUBS BUSH HONEYSUCKLE <i>Diervilla lonicera</i>	18" HT. CONT.	MIN. 5 CANES AT HT. SPEC.	
20	6	GM	GOLDMOUND SPIREA <i>Spiraea X 'Goldmound'</i>	18" HT. CONT.	MIN. 5 CANES AT HT. SPEC.	
0	23	RD	FIRE DANCE DOGWOOD <i>Cornus sericea 'Balladine'</i>	24" HT. CONT.	MIN. 5 CANES AT HT. SPEC.	
9	31	SJ	SCANDIA JUNIPER <i>Juniperus sabinia 'Scandia'</i>	18" DIA. CONT.	MIN. 5 CANES AT DIA. SPEC.	
24	0	BD	PERENNIALS BODACIOUS RETURNS DAYLILY <i>Hemerocallis 'Bodacious Returns'</i>	1 GAL. CONT.		
62	0	BE	BLACK EYED SUSAN <i>Rudbeckia 'Little Gold Star'</i>	1 GAL. CONT.		
0	10	GH	GUACAMOLE HOSTA <i>Hosta 'Guacamole'</i>	1 GAL. CONT.		

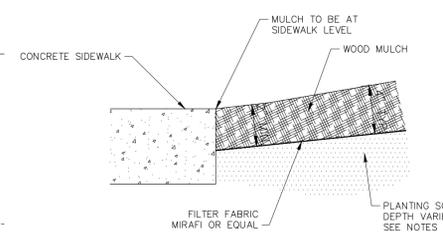
NOTES: QUANTITIES ON PLAN SUPERSEDE LIST QUANTITIES IN EVENT OF DISCREPANCY.



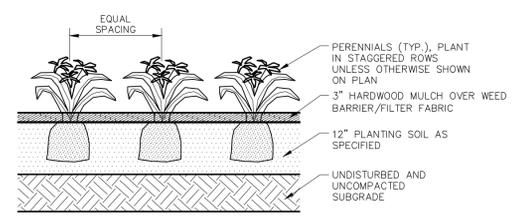
TREE PLANTING DETAIL
NOT TO SCALE



SHRUB PLANTING DETAIL
NOT TO SCALE

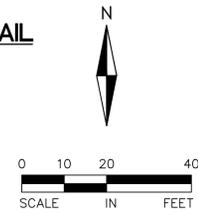


MULCH AT SIDEWALK DETAIL
NOT TO SCALE



PERENNIAL PLANTING DETAIL
NOT TO SCALE

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sherman ASSOCIATES

ALLIANT ENGINEERING

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 Minneapolis, MN 55415
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800 WEST BROADWAY
 800 WEST BROADWAY AVENUE
 MINNEAPOLIS, MN 55411

SHELL PACKAGE ISSUED FOR OWNER FINAL REVIEW

LANDSCAPE PLAN

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed LANDSCAPE ARCHITECT under the laws of the State of MINNESOTA

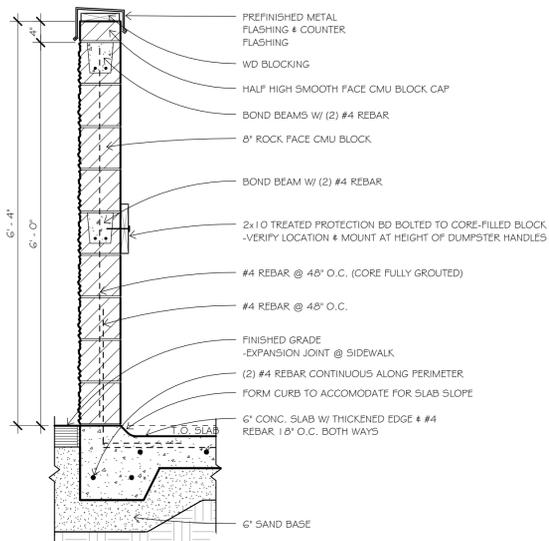
Mark Kronbeck

MARK KRONBECK, PLA, ASLA
 3/31/15 26222
 Date License No.

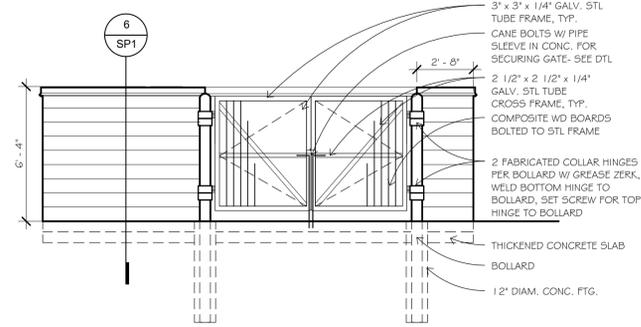
QUALITY ASSURANCE/CONTROL

DATE	ISSUE
2/18/15	CPED SUBMITTAL
3/4/15	PDR SUBMITTAL
3/27/15	SHELL PACKAGE
3/31/15	CPED RESUBMITTAL

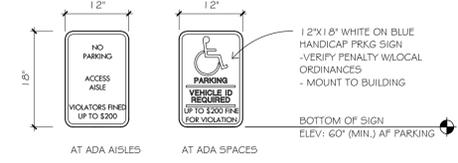
PROJECT TEAM DATA
 DESIGNED: MK
 DRAWN: EMK
 PROJECT NO: 214-0116



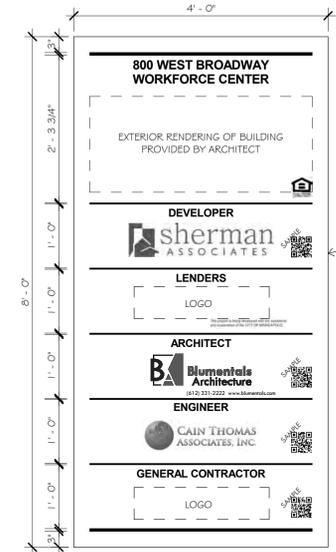
6 SECTION AT TRASH ENCLOSURE
3/4" = 1'-0"



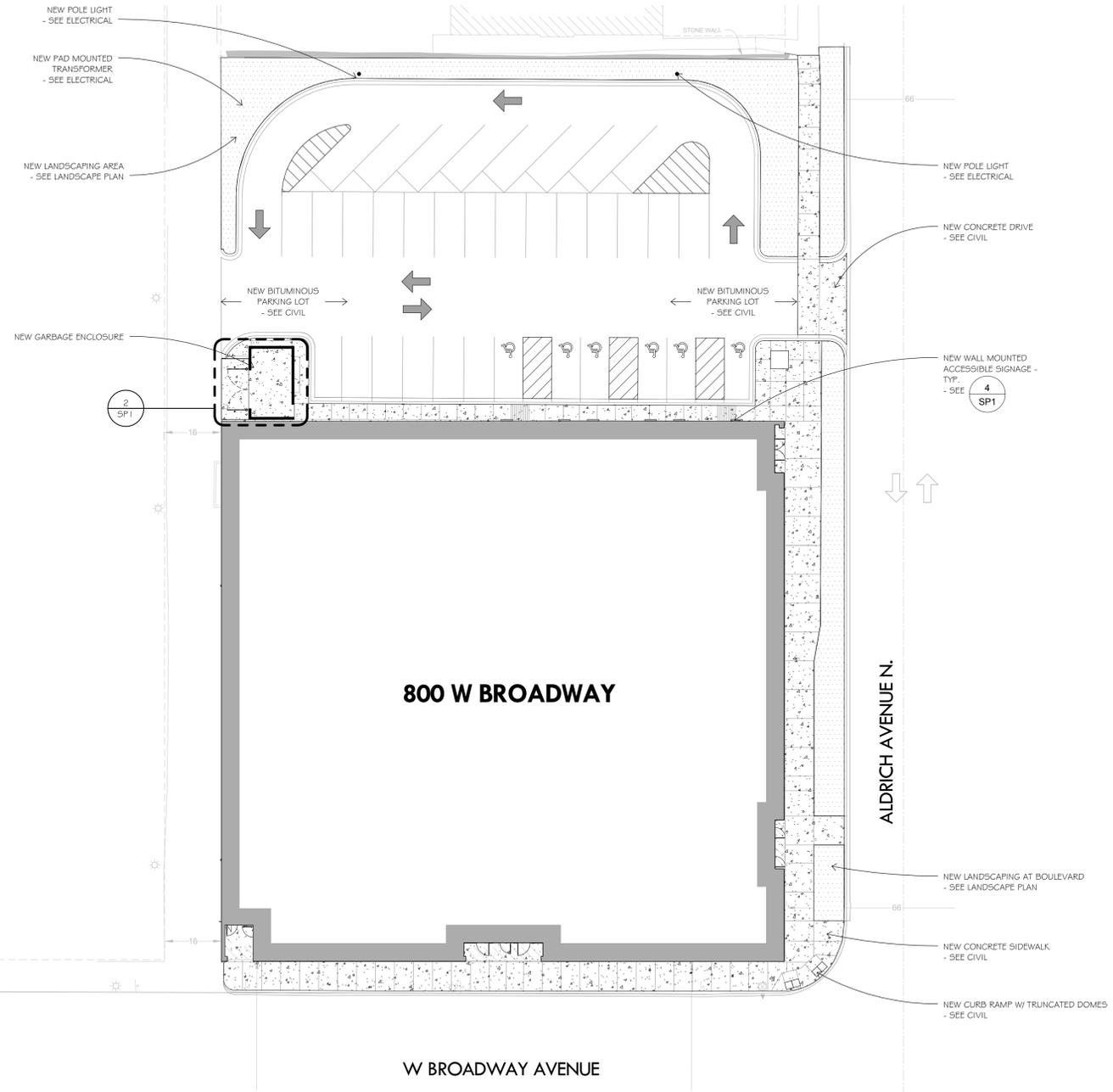
5 ELEVATION AT TRASH ENCLOSURE FRONT
1/4" = 1'-0"



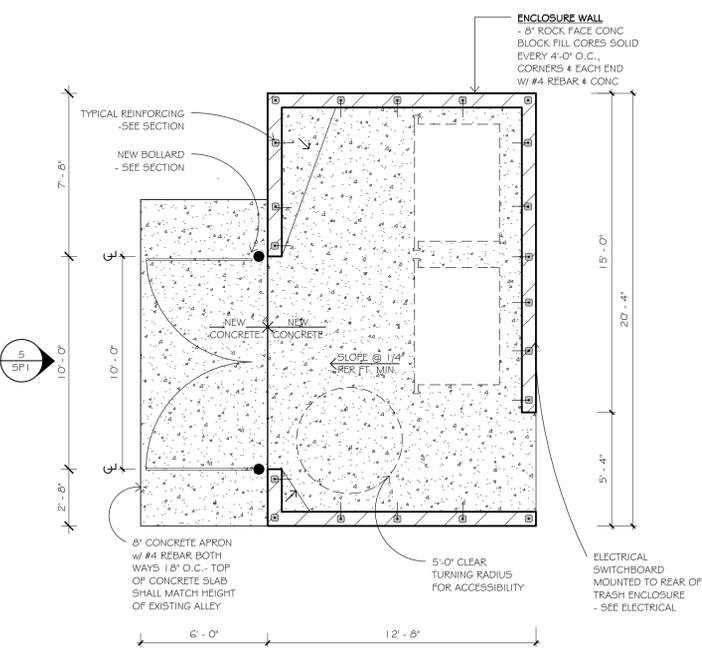
4 ACCESSIBLE SIGNAGE
3/4" = 1'-0"



3 CONSTRUCTION SIGNAGE
3/4" = 1'-0"



1 SITE PLAN
1" = 20'-0"



2 ENLARGED PLAN AT TRASH ENCLOSURE
1/4" = 1'-0"

GRAPHIC LEGEND - SITE PLAN

- NEW CONCRETE
- NEW LANDSCAPE

EXISTING CONDITIONS

VERIFY ALL EXISTING CONSTRUCTION DIMENSIONS, ELEVATIONS AND CONDITIONS BEFORE STARTING ANY CONSTRUCTION. REVIEW ANY DISCREPANCIES WITH THE ARCHITECT. ADJUST NEW CONSTRUCTION AS REQUIRED.

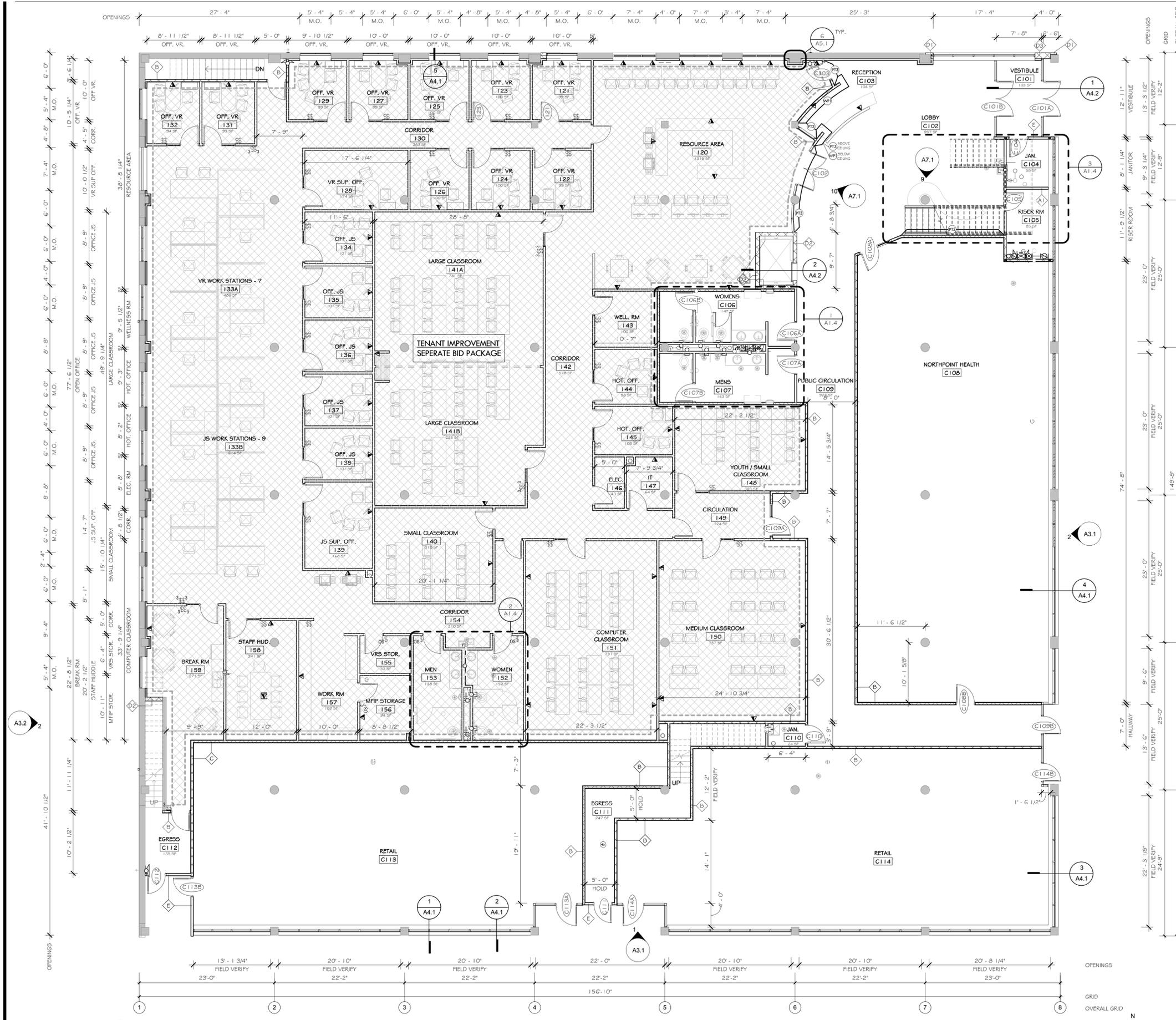
Blumentals/Architecture Inc.
201 6th St. SE, Suite #2
Minneapolis, MN 55414
612/331-2222
612/331-2224 FAX
info@blumentals.com

**SHELL PACKAGE
ISSUED FOR OWNER
FINAL REVIEW**

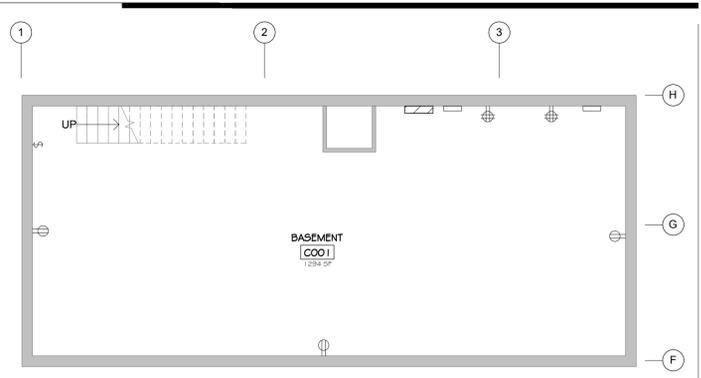
Project No. 614-48	Job Captain NB	Issue Date 3/31/15
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PROJECT REVISIONS		
NUMBER	DATE	DESCRIPTION
1		
2		
3		
4		
5		

800 WEST BROADWAY
MINNEAPOLIS, MN 55411



1 FIRST FLOOR SCHEMATIC
1/8" = 1'-0"



2 BASEMENT
1/8" = 1'-0"

GRAPHIC LEGEND - FLOOR PLAN

- EXISTING WALLS / ELEMENTS TO BE REMOVED (DASHED LINES)
- NEW WALLS / ELEMENTS (BLACK LINES, BLACK HATCH, DOORS 90°)
- EXISTING WALLS / ELEMENTS TO REMAIN (GRAY LINES, GRAY FILL, DOORS 45°)

GRAPHIC LEGEND - FLOOR PLAN

1/8" = 1'-0"

EXISTING CONDITIONS

VERIFY ALL EXISTING CONSTRUCTION DIMENSIONS, ELEVATIONS AND CONDITIONS BEFORE STARTING ANY CONSTRUCTION. REVIEW ANY DISCREPANCIES WITH THE ARCHITECT. ADJUST NEW CONSTRUCTION AS REQUIRED.

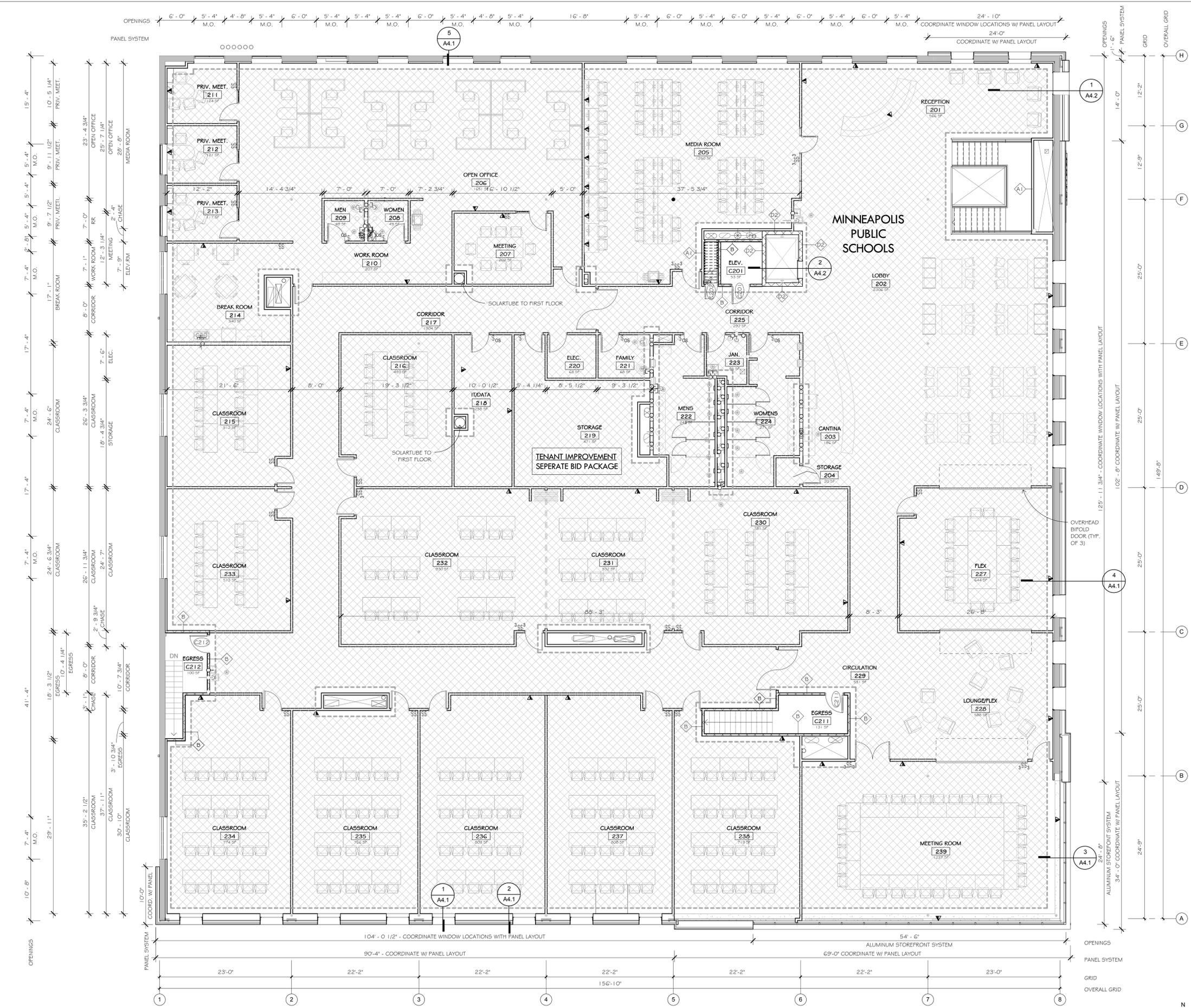
B Blumentals/Architecture Inc.
 201 6th St. SE, Suite #2
 Minneapolis, MN 55414
 612/331-2222
 612/331-2224 FAX
 info@blumentals.com

**SHELL PACKAGE
ISSUED FOR OWNER
FINAL REVIEW**

Project No. 614-48	Job Captain NB	Issue Date 3/31/15
-----------------------	-------------------	-----------------------

PROJECT REVISIONS		
NUMBER	DATE	DESCRIPTION
1		
2		
3		
4		
5		

800 WEST BROADWAY
MINNEAPOLIS, MN 55411



1 SECOND FLOOR SCHEMATIC
1/8" = 1'-0"

GRAPHIC LEGEND - FLOOR PLAN

- EXISTING WALLS / ELEMENTS TO BE REMOVED (DASHED LINES)
- NEW WALLS / ELEMENTS (BLACK LINES, BLACK HATCH, DOORS 90°)
- EXISTING WALLS / ELEMENTS TO REMAIN (GRAY LINES, GRAY FILL, DOORS 45°)

GRAPHIC LEGEND - FLOOR PLAN
1/8" = 1'-0"

EXISTING CONDITIONS

VERIFY ALL EXISTING CONSTRUCTION DIMENSIONS, ELEVATIONS AND CONDITIONS BEFORE STARTING ANY CONSTRUCTION. REVIEW ANY DISCREPANCIES WITH THE ARCHITECT. ADJUST NEW CONSTRUCTION AS REQUIRED.

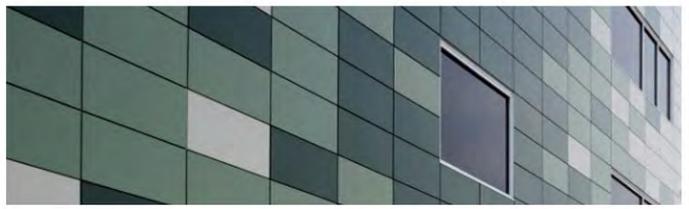
B Blumentals/Architecture Inc.
201 6th St. SE, Suite #2
Minneapolis, MN 55414
612/331-2222
612/331-2224 FAX
info@blumentals.com

**SHELL PACKAGE
ISSUED FOR OWNER
FINAL REVIEW**

Project No. 614-48	Job Captain NB	Issue Date 3/31/15
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PROJECT REVISIONS		
NUMBER	DATE	DESCRIPTION
1		
2		
3		
4		
5		

800 WEST BROADWAY
MINNEAPOLIS, MN 55411



EXTERIOR METAL PANEL SYSTEM



BURNISHED CMU BLOCK



ALUMINUM STOREFRONTS & WINDOWS

EXTERIOR MATERIALS



BUILDING SIGNAGE AT EAST ELEVATION
 149 FT OF PRIMARY BUILDING WALL AT ELEVATION
 298 SF SIGNAGE ALLOWABLE AT ELEVATION

BUILDING ADDRESS: 2.5 SF
 TENANT DIRECTORY: 175 SF
 BUILDING IDENTIFICATION: 50 SF
 NORTHPOINT: 26 SF
 RETAIL: 26 SF

TOTAL: 279.5 SF

2 EAST ELEVATION
 1/8" = 1'-0"



BUILDING SIGNAGE AT SOUTH ELEVATION
 155 FT OF PRIMARY BUILDING WALL AT ELEVATION
 312 SF SIGNAGE ALLOWABLE AT ELEVATION

BUILDING ADDRESS: 2.5 SF
 BUILDING IDENTIFICATION: 50 SF
 RETAIL: 26 SF
 RETAIL: 26 SF

TOTAL: 130.5 SF

1 SOUTH ELEVATION
 1/8" = 1'-0"

BUILDING SIGNAGE
 MINNEAPOLIS CODE OF ORDINANCES, CHAPTER 543

BUILDING ZONING: C3S

PRIMARY BUILDING WALLS:
 EAST AND SOUTH ELEVATIONS FACE A STREET AND ARE PRIMARY BUILDING WALLS
 NORTH ELEVATION FACES AN ON-SITE ACCESSORY PARKING AREA AND IS A PRIMARY BUILDING WALL
 WEST ELEVATION IS NOT A PRIMARY BUILDING WALL

C3S REQUIREMENTS FOR SIGNS ATTACHED TO BUILDINGS:
 2 SF OF SIGNAGE PER 1 FT OF PRIMARY BUILDING WALL (MUST BE PLACED ON ORIGIN WALL)
 CODE GUARANTEES 30 SF MIN. TO GROUND FLOOR NONRESIDENTIAL USE OCCUPYING PART OF BUILDING WALL
 QUANTITY: NO LIMIT
 300 SF MAX PER NONPROJECTING SIGN
 MAXIMUM HEIGHT: NO LIMIT

EXISTING CONDITIONS

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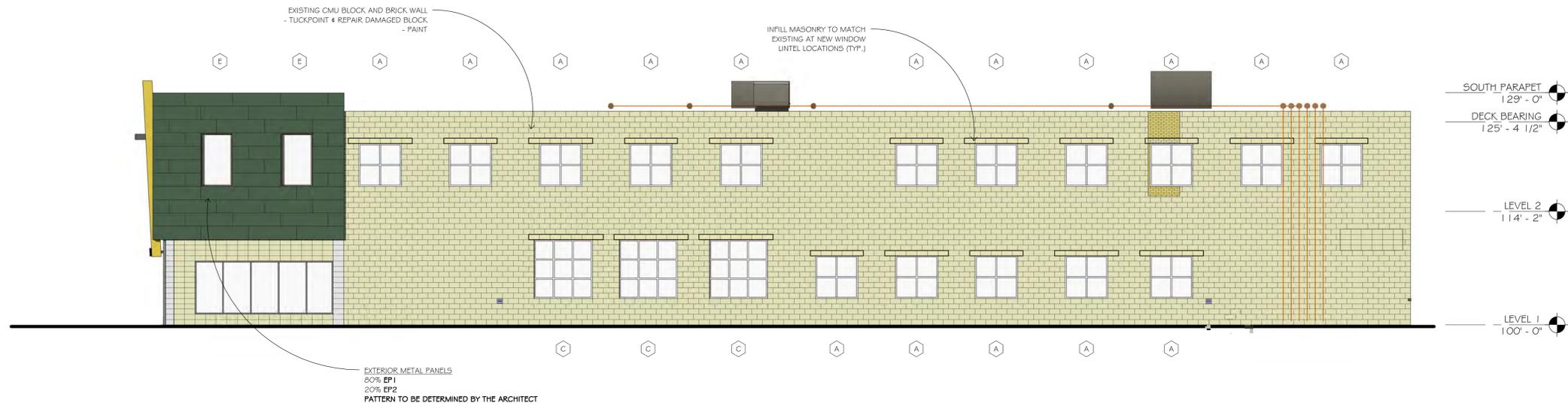
**SHELL PACKAGE
 ISSUED FOR OWNER
 FINAL REVIEW**

Project No. 614-48 Job Captain NB Issue Date 3/27/15

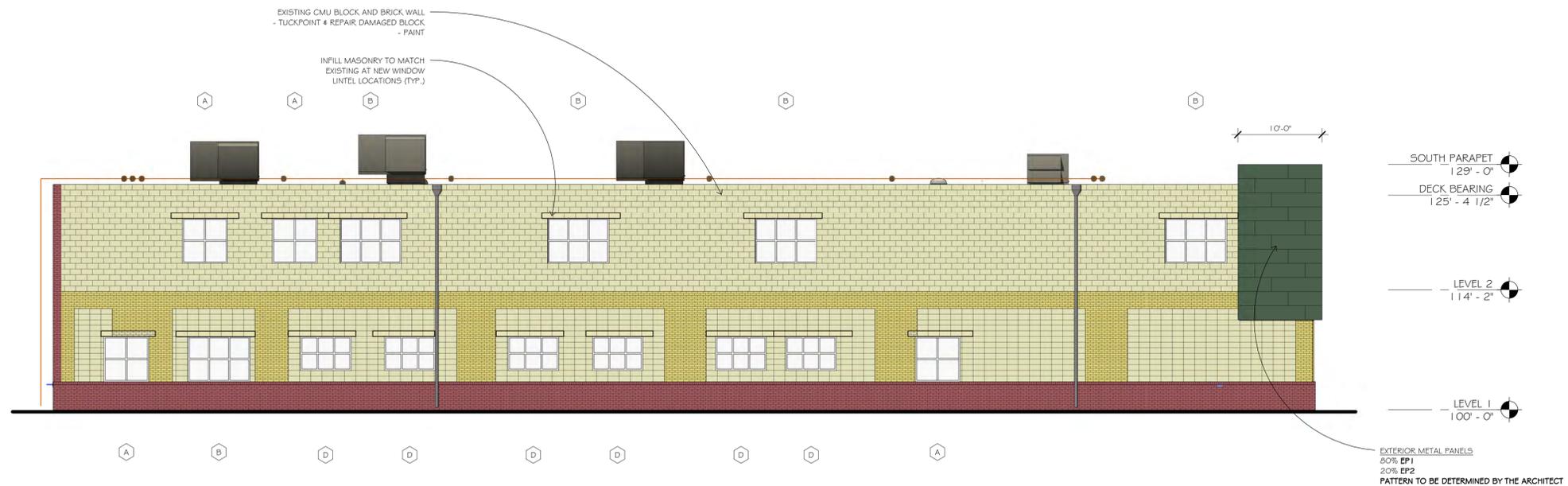
PROJECT REVISIONS

NUMBER	DATE	DESCRIPTION
1		
2		
3		
4		
5		

800 WEST BROADWAY
 MINNEAPOLIS, MN 55411



1 NORTH ELEVATION
1/8" = 1'-0"



2 WEST ELEVATION
1/8" = 1'-0"

EXISTING CONDITIONS

VERIFY ALL EXISTING CONSTRUCTION DIMENSIONS, ELEVATIONS AND CONDITIONS BEFORE STARTING ANY CONSTRUCTION. REVIEW ANY DISCREPANCIES WITH THE ARCHITECT. ADJUST NEW CONSTRUCTION AS REQUIRED.

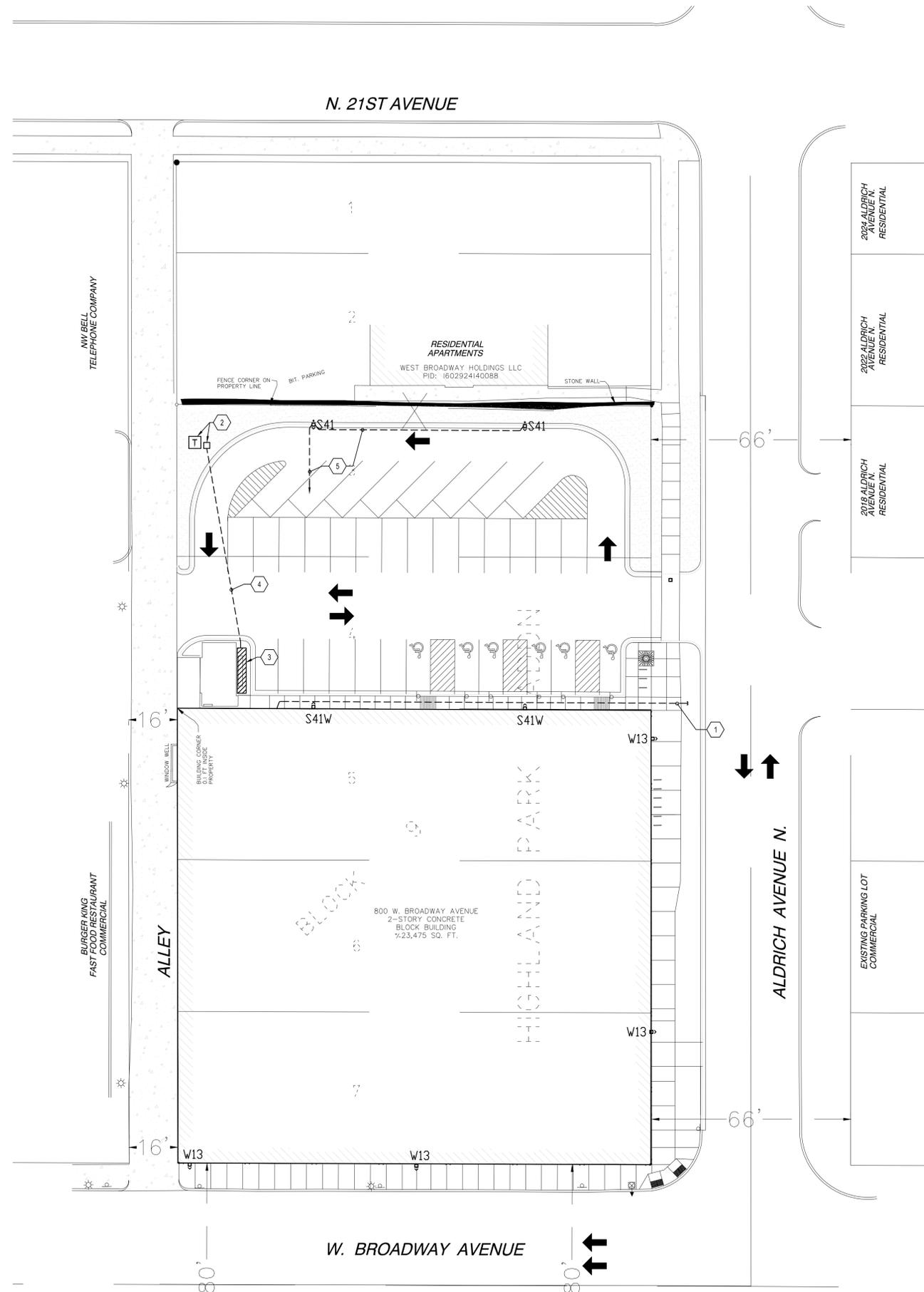
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Project No. 614-48 Job Captain NB Issue Date 3/27/15

PROJECT REVISIONS		
NUMBER	DATE	DESCRIPTION
△1		
△2		
△3		
△4		
△5		

800 WEST BROADWAY
MINNEAPOLIS, MN 55411



1 ELECTRICAL SITE PLAN
E1.0 1"-20'-0"

GENERAL PLAN NOTES

- A. ALL SITE/PARKING LOT LIGHTING (INCLUDING BUILDING MOUNTED) SHALL BE CONTROLLED VIA PHOTOCELL INITIATED TIMECLOCK SYSTEM. TIMECLOCK(S) SHALL BE LOCATED ADJACENT TO THE ELECTRICAL PANEL FROM WHICH LIGHTING IS SERVED, WITH THE BUILDING MOUNTED PHOTOCELL LOCATED AS REQUIRED BY FIELD CONDITIONS.
- B. UNDERGROUND RACEWAY TO BE INSTALLED BETWEEN 30" (MINIMUM) TO 36"(MAXIMUM) BELOW FINISHED GRADE.

KEYED PLAN NOTES

- 1. TELEPHONE SERVICE CONDUITS. SEE RISER. COORDINATE WITH UTILITY.
- 2. PAD MOUNTED TRANSFORMER AND CONNECTION CABINET.
- 3. MAIN SWITCHBOARD.
- 4. SERVICE FEEDERS, SEE RISER.
- 5. 1-1/4" W(2) #6'S PLUS #8 GROUND.

EXISTING CONDITIONS

VERIFY ALL EXISTING CONSTRUCTION DIMENSIONS, ELEVATIONS AND CONDITIONS BEFORE STARTING ANY CONSTRUCTION. REVIEW ANY DISCREPANCIES WITH THE ARCHITECT. ADJUST NEW CONSTRUCTION AS REQUIRED.

CAIN THOMAS ASSOCIATES, INC.
Consulting Engineers
1310 East Highway 96 - Suite 209
White Bear Lake, Minnesota 55110-3618
Tel: (651) 426-9549 Fax: (651) 426-5048

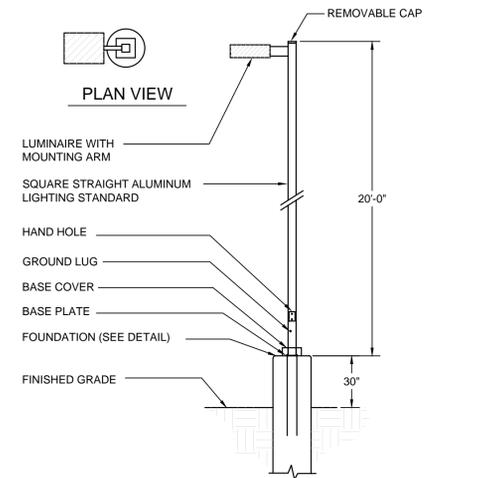
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**SHELL PACKAGE
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FINAL REVIEW**

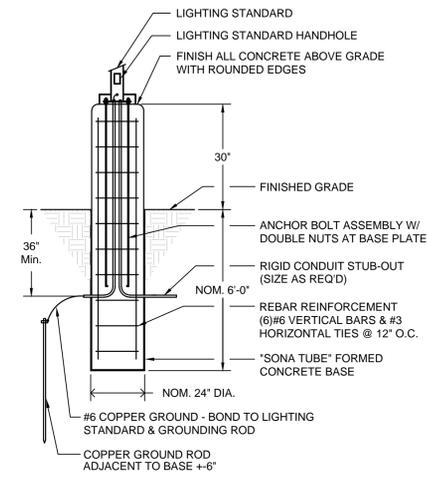
Project No. Cain Thomas # 2014-184 Blumentals #614-48	Job Captain CAP	Issue Date 3/27/15
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PROJECT REVISIONS		
NUMBER	DATE	DESCRIPTION
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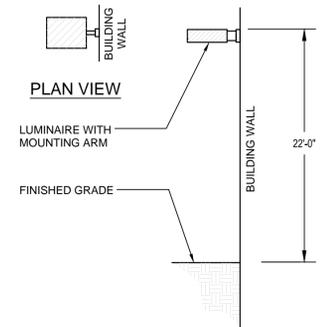
800 WEST BROADWAY
MINNEAPOLIS, MN 55411



2 SITE LIGHTING ASSEMBLY TYPE S41
E1.1 NOT TO SCALE



3 SITE LIGHTING ASSEMBLY FOUNDATION TYPE S41
E1.1 NOT TO SCALE



4 SITE LIGHTING ASSEMBLY TYPE S41W
E1.1 NOT TO SCALE



NOTE:
TYPE S41 POLE MOUNTED ASSEMBLY
TYPE S41W WALL MOUNTED LUMINAIRE.
SEE DETAILS 2 & 4/E1.1 FOR MOUNTING
INFORMATION.

5 LUMINAIRE TYPE S41 & S41W
E1.1 NOT TO SCALE



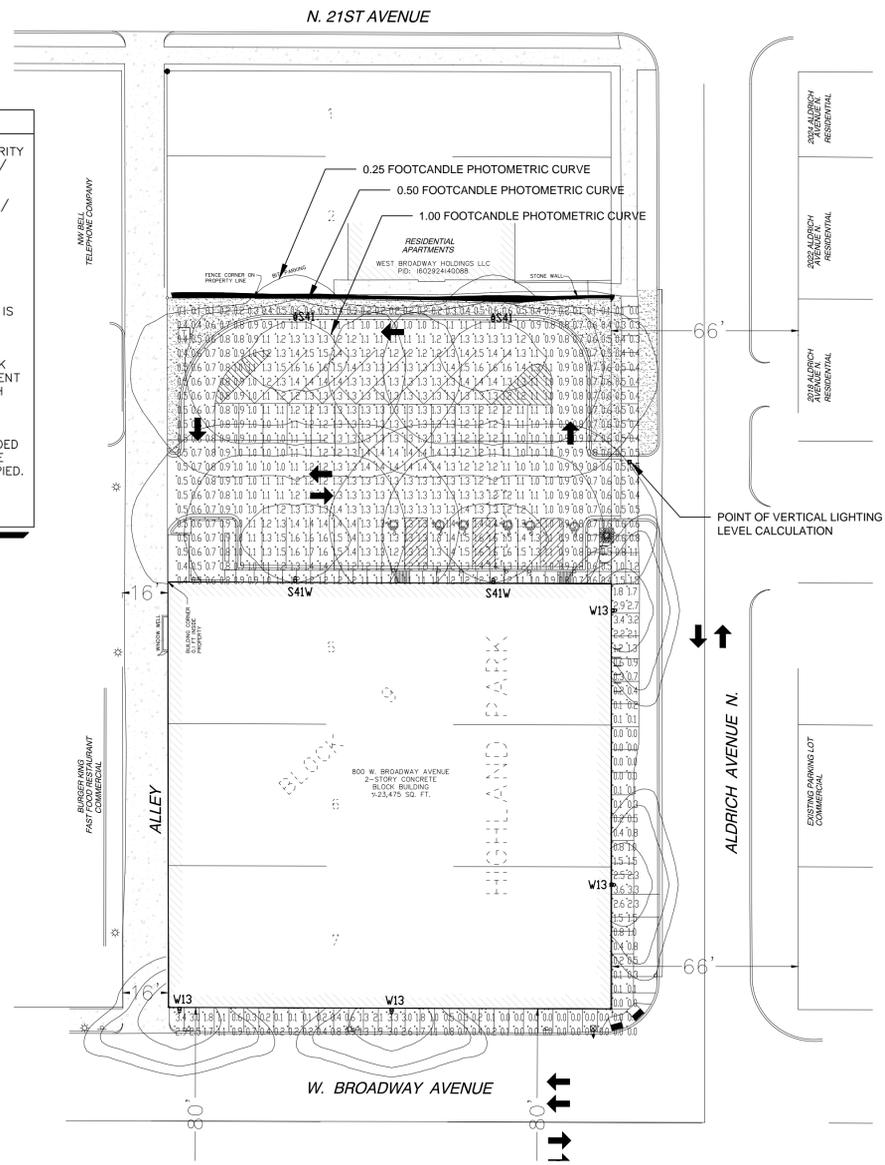
6 SITE LIGHTING LUMINAIRE TYPE WP1
E1.1 NOT TO SCALE

LIGHTING FIXTURE SCHEDULE										
SYMBOL	LABEL	QTY	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	LAMP	FILENAME	LUMENS	LLF	WATTS
	S41	2	Lithonia Lighting	DSX0 LED 40C 530 40K T4M MVOLT HS	DSX0 LED, (2)20 LED LIGHT ENGINE, 530mA MVOLT DRIVER, 4000K COLOR TEMPERATURE, TYPE T4M OPTICS WITH HOUSE-SIDE SHIELD. MOUNTED TO A 20'-0" SQUARE STRAIGHT ALUMINUM STANDARD ON A 30" RAISED CONCRETE FOUNDATION	LED	DSX0_LED_40C_530_40K_T_MVOLT_HS.ies	5035	1	68
	S41W	2	Lithonia Lighting	DSX0 LED 40C 530 40K T4M MVOLT HS	DSX0 LED, (2)20 LED LIGHT ENGINE, 530mA MVOLT DRIVER, 4000K COLOR TEMPERATURE, TYPE T4M OPTICS WITH HOUSE-SIDE SHIELD. WALL MOUNTED AT 22'-0"	LED	DSX0_LED_40C_530_40K_T_MVOLT_HS.ies	5035	1	68
	W13	4	Lithonia Lighting	WST LED 1 10A700/40K SR3	WST LED WITH 1 MODULE, 10 LED's, 700mA DRIVER, 4000K COLOR TEMPERATURE, TYPE 3 LENS WALL MOUNTED AT 10'-0"	LED	WST_LED_1_10A700_40K_SR3_MVOLT.ies	2011	1	24.2

LIGHTING STATISTICS							
AREA DESCRIPTION	SYMBOL	AVERAGE FOOTCANDLES	MAXIMUM FOOTCANDLES	MINIMUM FOOTCANDLES	MAX/MIN UNIFORMITY	AVG/MIN UNIFORMITY	AVG/MAX UNIFORMITY
Parking Lot	+	1.0 fc	1.7 fc	0.0 fc	N/A	N/A	0.6:1
Sidewalk	+	0.9 fc	3.6 fc	0.0 fc	N/A	N/A	0.3:1
Vertical Face - North	+	0.2 fc	0.2 fc	0.2 fc	1.0:1	1.0:1	1.0:1
Vertical Face - South	+	0.4 fc	0.4 fc	0.4 fc	1.0:1	1.0:1	1.0:1
Vertical Face - West	+	0.2 fc	0.2 fc	0.2 fc	1.0:1	1.0:1	1.0:1

GENERAL PLAN NOTES

- BUILDING MOUNTED SHIELD/CUT-OFF TYPE SECURITY LIGHTING WILL BE PROVIDED AT EACH ENTRANCE/EGRESS FROM THE BUILDING.
- SURFACE AND/OR RECESSED MOUNTED SHIELDED/CUT-OFF LIGHTING WILL BE PROVIDED AT EACH EXTERIOR BUILDING CANOPY AND/OR SOFFIT.
- LIGHTING CONTRIBUTIONS FROM CANOPY AND/OR SOFFIT LIGHTING IS NOT CONSIDERED IN THESE CALCULATIONS.
- EXISTING BUILDING LIGHTING IS NOT SHOWN AND IS NOT CONSIDERED IN THESE CALCULATIONS.
- ALL SITE/PARKING LOT LIGHTING SHALL BE CONTROLLED VIA PHOTOCELL INITIATED TIMECLOCK SYSTEM. TIMECLOCKS SHALL BE LOCATED ADJACENT TO PANEL FROM WHICH LIGHTING IS SERVED WITH PHOTOCELL LOCATED AS REQUIRED BY FIELD CONDITIONS.
- ALL SITE LIGHTING ASSEMBLIES SHALL BE PROVIDED WITH INTEGRAL OCCUPANCY SENSORS TO REDUCE LIGHTING TO 1/3 LEVEL WHEN AREA IS UNOCCUPIED.



1 ELECTRICAL SITE PLAN - LIGHTING CALCULATIONS
E1.1 1"-30'-0"

EXISTING CONDITIONS

VERIFY ALL EXISTING CONSTRUCTION DIMENSIONS, ELEVATIONS AND CONDITIONS BEFORE STARTING ANY CONSTRUCTION. REVIEW ANY DISCREPANCIES WITH THE ARCHITECT. ADJUST NEW CONSTRUCTION AS REQUIRED.

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201 6th St. SE, Suite #2
Minneapolis, MN 55414
612/331-2222
612/331-2224 FAX
info@blumentals.com

SHELL PACKAGE ISSUED FOR OWNER FINAL REVIEW

Project No. Job Captain Issue Date
Cain Thomas # 2014-184 CAP 3/27/15
Blumentals #614-48

PROJECT REVISIONS		
NUMBER	DATE	DESCRIPTION
△		
△		
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△		

800 WEST BROADWAY
MINNEAPOLIS, MN 55411

ELECTRICAL SITE PLAN -
LIGHTING CALCULATIONS

E1.1



EXISTING SOUTH ELEVATION



EXISTING EAST ELEVATION



EXISTING NORTH ELEVATION



EXISTING WEST ELEVATION



1) View of south side of commercial building.



2) View of south and east sides of commercial building

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3) View of north side of the commercial building.



4) Office area in the commercial building.

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13) View of residential building and garage.



14) View of residential building.

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15) First floor of residential building.



16) First floor of residential building.

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Existing Condition Photos





SURROUNDING USE WEST: 818 W. BROADWAY



SURROUNDING USE SOUTH: 701 W. BROADWAY

800 WEST BROADWAY
MINNEAPOLIS, MN 55411



SURROUNDING USE NORTH: 801 21ST AVE N.



SURROUNDING USE EAST: 718 WEST BROADWAY

800 WEST BROADWAY
MINNEAPOLIS, MN 55411

Will Anderson

From: Will Anderson
Sent: Monday, March 30, 2015 12:08 PM
To: 'sean.broom@minneapolismn.gov'; 'yer.yang@minneapolismn.gov'
Cc: JackieCherryhomes@fctyler.com
Subject: 800 West Broadway - Land Use & Zoning Application Notification
Attachments: CM Blong Yang - 800 West Broadway - 03.30.15.pdf

Council Member Blong Yang & Staff,

Please see attached communication regarding the 800 West Broadway project. Please contact me with any comments or questions.

Thank you,

Will Anderson

Associate Project Manager
Sherman Associates, Inc.
Direct: 612-604-0866
Cell: 651-587-5808
Main: 612-332-3000
Fax: 612-332-8119

 **sherman**
ASSOCIATES
233 Park Ave South, Suite 201
Minneapolis, MN 55415



Date: March 30, 2015
To: Council Member Blong Yang
Re: 800 West Broadway Ave 2019 Aldrich Ave N
Minneapolis MN, 55411 Minneapolis MN, 55411

Council Member Blong Yang,

We appreciate your continued support for the 800 West Broadway project. We provide you this letter as notification of our intent to submit a Land Use and Zoning Application to the City of Minneapolis.

Description of Project:

Sherman Associates proposes the substantial rehabilitation of 800 West Broadway. The completed redevelopment will house a diverse group of tenants that will provide significant benefits to the community. Tenants will serve the community and promote upward economic mobility through the creation of jobs, educational and health opportunities. Building tenants will include-

- North Minneapolis WorkForce Center (Minnesota Department of Employment & Economic Development)
- Minneapolis Public Schools (in partnership with local colleges)
- NorthPoint Health
- Commercial/Retail

Because all of these users will be located in one building, the services of each will be leveraged to create the greatest impact for clients and the community. The programming provided by each will be interconnected. A client may seek education services from Minneapolis Public Schools, a job through the WorkForce Center and health counseling services through NorthPoint.

We anticipate construction will begin in June, 2015 and the project will be completed in spring, 2016.

Land Use / Zoning Applications to be submitted:

City staff has advised that we will need to resolve a split zoning issue at 800 West Broadway and rezone 2019 Aldrich. Both 800 West Broadway and 2019 Aldrich will be rezoned as C3S, with the West Broadway Overlay.

In addition to the Land Use application, we intend to submit for the following: conditional use permit for K-12 school | variance to reduce parking and loading spaces | variance to reduce front yard setback.

Should you have any comments or questions related to the project, or our proposed Land Use/Zoning applications please contact me.

Respectfully,

A handwritten signature in blue ink that reads 'Will Anderson'.

Will Anderson

Associate Project Manager

Sherman Associates, Inc.

Email: wanderson@sherman-associates.com

Direct: 612-604-0866

Cell: 651-587-5808



Will Anderson

From: Will Anderson
Sent: Monday, March 30, 2015 12:00 PM
To: 'dhawkins@hawthorneneighborhoodcouncil.org'
Cc: JackieCherryhomes@fctyler.com
Subject: 800 West Broadway - Land Use & Zoning Application Notification
Attachments: Hawthorne Neighborhood Council - 800 West Broadway - 03.30.15.pdf

Diana,

Please see attached communication regarding the 800 West Broadway project. Please contact me with any comments or questions.

Thank you,

Will Anderson

Associate Project Manager
Sherman Associates, Inc.
Direct: 612-604-0866
Cell: 651-587-5808
Main: 612-332-3000
Fax: 612-332-8119

 **sherman**
ASSOCIATES
233 Park Ave South, Suite 201
Minneapolis, MN 55415



Date: March 30, 2015
To: Diana Hawkins – Hawthorne Neighborhood Council
Re: 800 West Broadway Ave 2019 Aldrich Ave N
Minneapolis MN, 55411 Minneapolis MN, 55411

Diana Hawkins,

We appreciate Hawthorne Neighborhood Council's continued support for the 800 West Broadway project. We provide you this letter as notification of our intent to submit a Land Use and Zoning application to the City of Minneapolis.

Description of Project:

Sherman Associates proposes the substantial rehabilitation of 800 West Broadway. The completed redevelopment will house a diverse group of tenants that will provide significant benefits to the community. Tenants will serve the community and promote upward economic mobility through the creation of jobs, educational and health opportunities. Building tenants will include-

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Should you have any comments or questions related to the project, or our proposed Land Use/Zoning applications please contact me.

Respectfully,

A handwritten signature in blue ink that reads 'Will Anderson'.

Will Anderson

Associate Project Manager
Sherman Associates, Inc.
Email: wanderson@sherman-associates.com
Direct: 612-604-0866
Cell: 651-587-5808





Hawthorne Neighborhood Council

2944 Emerson Avenue North • Minneapolis, MN • 55411

Tel: 612.529.6033 Fax: 612.529.0218

www.hawthorneneighborhoodcouncil.org

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Chair

Len Lewis
1st Vice Chair

Dee Phillipps
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Joseph Taylor, Jr.

Joan Thom

Jim Wentzell

Staff

Alexandra Jasicki
*Agency Manager &
Director of
Community Affairs*

Kathy Welch
Office Manager



June 14, 2013

Dear Mr. Anderson,

Hawthorne Neighborhood Council is in support of the development at 800 West Broadway by Sherman and Associates.

Your plans seem reasonable, forward thinking and the completed project is sure to be an asset to the Hawthorne Neighborhood and to North Minneapolis.

Sincerely,

Alexandra Jasicki

"To improve the quality of life in the Hawthorne neighborhood through empowering the residents in order that they can address the physical, cultural, social, and economic needs of the community"

Will Anderson

From: Will Anderson
Sent: Monday, March 30, 2015 12:04 PM
To: Ishmael Israel (iisrael@nrrc.org)
Cc: 'officemanager@nrrc.org'; JackieCherryhomes@fctyler.com
Subject: 800 West Broadway - Land Use & Zoning Application Notification
Attachments: NRRC - 800 West Broadway - 03.30.15.pdf

Ishmael,

Please see attached communication regarding the 800 West Broadway project. Please contact me with any comments or questions.

Thank you,

Will Anderson

Associate Project Manager
Sherman Associates, Inc.
Direct: 612-604-0866
Cell: 651-587-5808
Main: 612-332-3000
Fax: 612-332-8119



233 Park Ave South, Suite 201
Minneapolis, MN 55415



Date: March 30, 2015
To: Ishmael Israel – North Side Residents Redevelopment Council
Re: 800 West Broadway Ave 2019 Aldrich Ave N
 Minneapolis MN, 55411 Minneapolis MN, 55411

Ishmael Israel,

We provide you this letter as notification of our intent to submit a Land Use and Zoning Application to the City of Minneapolis, associated with our proposed redevelopment of 800 West Broadway.

Description of Project:

Sherman Associates proposes the substantial rehabilitation of 800 West Broadway. The completed redevelopment will house a diverse group of tenants that will provide significant benefits to the community. Tenants will serve the community and promote upward economic mobility through the creation of jobs, educational and health opportunities. Building tenants will include-

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Should you have any comments or questions related to the project, or our proposed Land Use/Zoning applications please contact me.

Respectfully,


Will Anderson
Associate Project Manager
Sherman Associates, Inc.
Email: wanderson@sherman-associates.com
Direct: 612-604-0866
Cell: 651-587-5808



May 30, 2013

Commissioner Katie Clark
Department of Employment and Economic Development
332 Minnesota Street, Suite E200
St. Paul, MN 55101

Dear Commissioner Clark,

On May 28, 2013 the Planning, Zoning, and Development Committee of the West Broadway Business and Area Coalition (WBC) met regarding our support for the proposals to relocate the North Minneapolis DEED Workforce Center. All four groups submitting proposals for the DEED RFP were invited to present. The Committee heard proposals from Sherman Associates and Urban Design Lab.

The Planning, Zoning, and Development Committee meeting was attended by George Sherman and Will Anderson of Sherman Associates, Paul Bauknight and David Witt of Urban Design Lab, and over 20 community members including WBC Board Members and staff. The Planning, Zoning, and Development Committee voted unanimously to further a recommendation to the WBC Board of Directors for the Sherman Associates proposal. The Committee did not recommend writing a letter of support for the Urban Design Lab proposal at this time.

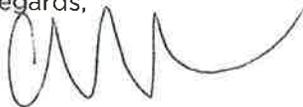
Some of the positive aspects of the Sherman Associates proposal identified by the Planning, Zoning, and Development Committee were:

- The project will not utilize public subsidies.
- The project has financing.
- The project will bring jobs into the community and eliminate the federal lien on the 800 West Broadway property.
- Sherman Associates has a proven record of attracting quality tenants and good property management.
- The project uses shared parking.
- The project fits within the West Broadway Alive plan development requirements.

The WBC Board of Directors affirmed the recommendation from the Planning, Zoning, and Development Committee to support the Sherman Associates proposal. Therefore, on behalf of the West Broadway Business and Area Coalition, I am writing to express the WBC's formal support of the Sherman Associates proposal to locate the new North Minneapolis DEED Workforce Center at 800 West Broadway.

Thank you for your support of this request and for considering these comments.

Best regards,



Erin Jerabek Heelan
West Broadway Business and Area Coalition

CC: Sherman Associates, Urban Design Lab