

September 11, 2015



Kimberly Holien, Senior Planner
CITY OF MINNEAPOLIS
Community Planning and Economic Development
250 South Fourth Street, Room 300
Minneapolis, MN 55415

**Re: Mount Olivet Careview Home
5517 Lyndale Avenue S, Minneapolis**

Dear Ms. Holien,

Please find enclosed materials in support of our development application referenced above. We respectfully request City site plan approval of this addition and Conditional Use Permit for height variance.

Background

Built in 1965, Mount Olivet Careview Home is a skilled care facility with 153 beds, consisting of 137 long term care beds and 16 transitional care beds. It is part of a larger campus focused on providing senior housing and eldercare services to the community, with other components including Mount Olivet Home (a 94-bed board and care facility) and Mount Olivet Day Services (an intergenerational day care program serving 35 seniors and 82 children, ages infants through preschool).

Mount Olivet Careview Home as begun to serve many more persons in need of short-term rehabilitation stays or more comprehensive therapy. While a 16-bed transitional care unit was remodeled into the facility in 2012, the demand is calling for an increase in the capacity and services provided to short term clients. This is one of the driving factors for renovation. With limited numbers of private rooms, poorly sized and disconnected therapy space, we are simply not capable of effectively serving this client need. With original campus construction dating back to 1960 and small projects since that time, facility dining and activity spaces are poorly located and do not offer a vibrant, engaging space or a rewarding quality of life for residents and a space in which to support guests and activity.

Proposed Project

The project for Mount Olivet Careview Home consists of a significant renovation and addition to properly position its physical plant to provide the care, services and

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environment demanded by seniors today. Since the facility was initially constructed in 1965, the expectations, needs and care options provided to seniors in the industry has evolved significantly. In addition to increased privacy, Mount Olivet Careview residents are in greater numbers requiring short term stays for rehabilitation services, more comprehensive therapy programs and other services for specialized needs such as Alzheimer's and other forms of dementia.

Currently, there are an inadequate number of private rooms available. (Of the 153-resident beds, only 9 are in private rooms, 14 in split doubles (9%) and the remaining 130 in double rooms (85%). This is not the industry standard for this care program or the desired model for seniors. By incorporating the 5-story addition in this renovation, the project will result in 59 private rooms and 47 split doubles – without adding any new beds. Further, the added space will create room for additional dining and activity spaces where residents can be organized into neighborhoods dedicated to serving their specific care needs – such as short term rehab, general long term care and/or secured memory care.

Demand for Mount Olivet's services remains strong, with an average occupancy in excess of 95% which is above the State average for long term care facilities at 89%. In order to accomplish the program and service objectives and to maintain the current licensed bed capacity for Mount Olivet Careview, the organization is proposing to construct a 30,612 SF four level addition on top of the single floor level connecting Mount Olivet Careview, and Mount Olivet Homes, and a 5,572 single level addition to the east side of the building. This would result in a 5-level building for this expansion area between the two buildings on the campus.

Findings

The existing zoning is an R-5 Multifamily district which allows for a four story building not to exceed 56 feet. Mount Olivet is requesting a variance for this addition to be five stories not to exceed 66 feet.

Approval of the variance request is supported by the following:

1. *The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, or general welfare.*

The request will not be detrimental to the public. The addition will improve the physical plant and allow Mt. Olivet to expand the type of services now required in the long term care industry. The bed count remains the same.

2. *The conditional use will not be injurious to the use and enjoyment of other property in the vicinity and will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.*

The request is a result of a building expansion above an existing single level of the Careview Home, where a small addition will be created, thereby connecting Careview Home with Mount

Olivet Home. The project should have no impact, nor impede normal or orderly development of surrounding property.

3. *Adequate utilities, access roads, drainage, necessary facilities or other measures have been or will be provided.*

The project is an addition of space above the existing building with a small XX XX sq. ft. expansion of the building footprint on the east side of the facility. As the addition does not increase resident capacity, no impact or change for utilities or access roads is anticipated. The project fully addresses any impact the addition will have regarding drainage.

4. *Adequate measures have been or will be taken to minimize traffic congestion in the public streets.*

The project is not increasing the number of beds/residents Mount Olivet will serve, and nor does the project anticipate changes in staffing that would increase traffic from its current situation. The project will reorient the east side loading area and expand the 20' rear access drive to 25', thus allowing delivery trucks to back up to the loading docks. This means trucks will no longer park on the street to unload, as is currently the practice, thereby improving how deliveries are accessed and handled.

5. *The conditional use is consistent with the applicable policies of the Comprehensive Plan*

The request is consistent with applicable policies of the Comp plan, and specifically results in support of several goals for the city of Minneapolis. These include, but are not limited to:

- **Land Use Chapter:** ...maintaining, revitalizing the city's residential, commercial... and employment centers.
- **Housing Chapter:** providing mix of housing types ranging from duplexes to supportive housing and life cycle housing;
- **Economic Development Chapter:**...encourages infrastructure investments to support commercial development, hospitality.... And renewal by directing growth to targeted areas.
- **Public Services and Facilities Chapter:** addresses infrastructure needed to serve planned land uses....and promoting community health;
- **The Urban Design Chapter:** considers aesthetics, design and quality of the built environment including compatibility between different types of densities and land uses.

6. *The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.*

The request will conform to all other applicable regulations in which it is located, including but not limited to building setbacks, parking, etc.

Variance Request for Maximum Height

The request will have minimum impact to the surround properties related to access to light and air. The applicant has completed a study of shadowing of the adjacent properties, and those are incorporated as part of the request.

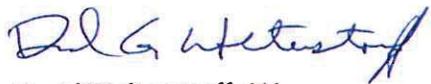
1. Access to light and air of surrounding properties: The study reflects minimal change to any of the surround properties as a result of the 5th floor addition and 66 foot height.
2. Shadowing of residential properties, significant public spaces or existing solar energy systems: The study reflects minimal change to any of the surround properties as a result of the 5th floor addition and 66 foot height.
3. The scale and character of surrounding uses: The elevations attached as part of the request reflect a careful consideration of exterior materials such as brick, stucco, windows/glass.....
4. Preservation of views of landmark buildings, significant open spaces or water bodies: The study reflects there is no impact to the surrounding properties as a result of the 5th floor addition and 66 foot height relating to these issues.

Enclosed is the information necessary for the Conditional Use Permit and approval of the height variance requested.

We respectfully request development approvals for this project, which we see as a significant benefit to the community and its campus residents on both a development and social level.

Thank you for your consideration and support.

Sincerest Regards,



David Wolterstorff, AIA

WAI CONTINUUM

Agent for Mt. Olivet Careview Home

dave@waicontinuum.com

(651) 227-0644 ext. 322

November 2, 2015

Kimberly Holien, Senior Planner
CITY OF MINNEAPOLIS
Community Planning and Economic Development
250 South Fourth Street, Room 300
Minneapolis, MN 55415



RE: Mount Olivet Careview Home
5517 Lyndale Avenue South, Minneapolis

Dear Kimberly,

Mount Olivet Careview Home and Mount Olivet Home are requesting a 15 foot side lot variance, with a pending addition project leaving a 6 foot setback from the property lines between 5517 Lyndale Avenue South and 5522 Garfield Avenue, both in the City of Minneapolis.

In your email dated October 20, 2015, you have asked us to address the following three findings:

1. Practical difficulties exist in complying with the ordinance because of circumstances unique to the property.
2. The property owner proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and comprehensive plan.
3. The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety or welfare of the general public or those utilizing the property or nearby properties.

With this in mind, we request the setback variance with the following considerations:

PRACTICAL DIFFICULTIES

1. Careview Home currently has 153 skilled nursing beds, of which 85% are in double bed rooms. The industry and the State Health Department have allowed, encouraged and approved facilities to gain as many single bed rooms as possible – recognizing the shift in care from long term bed use to short term rehab care and the privacy desired by those residents. The addition being proposed drops the 85% double bed rooms at Careview Home to zero through the use of new private and semi-private rooms.

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Without the proposed addition, there is not enough existing space to reconfigure for improved privatization.

2. Logic dictates that where you can't go wider to preserve the 15' setback, simply go higher. However, the City of Minneapolis zoning limits building height within the R-5 Multifamily District. Further, the Minnesota Department of Health requires specific common areas on each floor to serve those residents. (Traveling up or down a floor for uses such as dining, is not acceptable). These considerations limit not only the building's height, but also dictate that certain width must be accommodate to responsibly accommodate resident programming needs.
3. The uniform building code for I2, Institutional Nursing Care, requires a specific distance between windows in the living environment. Where planning to add new building space, this code forces the new building to reduce width needed to achieve State regulations and resident goals.
4. In considering fire protection of a reduced setback, we look to code analysis. The structure at 5522 Garfield Avenue will be approximately 24'8" from the proposed addition. Table 602 (IBC 2012), which proscribes fire resistance ratings of exterior walls, states that walls with fire separation distance between 10' and 30' and Type IB, Non-Combustible Construction (Group 1 occupancy) are required to be a 1-hour fire rated assembly. Openings in exterior walls are limited based on their fire separation distance.

There are 10 proposed openings within the wall affected by this provision. The existing buildings and the addition are fully sprinklered (in compliance with 903.3.1.1) and its openings are therefore considered 'protected' under section 705.8.2 (exception 2). Table 705.8 states that such openings within 20' to 25' fire separation distance have no required limit with respect to size or degree of protection.

USE WITHIN THE INTENT OF ORDINANCE & COMPREHENSIVE PLAN

1. Mount Olivet Home as a board and care facility and Mount Olivet Careview Home as a nursing home, fit within the context and use of R5 Multifamily zoning assigned its location. The need and intended use of the building addition, and the variance required to accommodate it, are in keeping with the existing mission and services provided by these buildings – to directly support the housing and care of elderly.
2. In meeting the changing demands and expectations of seniors, there is a careful balance that must occur in meeting conflicting regulations of City, State and Federal governances. This setback variance allows Mount Olivet to achieve the program and design goals while

still meeting the requirements of community plans, building codes, health department requirements and market expectations.

VARIANCE WILL NOT AFFECT CHARACTER OR ENJOYMENT OF OTHERS

1. Mount Olivet Home and Mount Olivet Careview Home have been serving the assisted living and long term care needs of community neighborhood residents on this campus since 1961. It has fit well within the quiet enjoyment of the surrounding residential areas and the proposed addition is set forth to better serve existing residents and the programming provided to them.
2. The aesthetic design and layout fit within the context of the existing campus and its surrounding neighborhood through the use of efficient spatial planning, reasonable match of the proposed building materials to the existing structures and comparable campus pedestrian and traffic flow.
3. It will not increase the bed count or negatively affect the traffic. However, it will improve site access through the curb expansion from 20' to 25' wide.

We respectfully request variance approval for building setback, which we see as a necessity to ensure this project can move forward and achieve the project goals set forward, prioritizing the improvement of privacy and care enhancement to meet the needs of building residents, staff, families and the surrounding neighborhood.

A check for \$675 for the fee has been processed and will be couriered to you by end of day today.

Thank you for your consideration and I welcome any questions or comments you may have.

Sincerest Regards,



David Wolterstorff, AIA

WAI CONTINUUM

Agent for Mt. Olivet Careview Home

dave@waicontinuum.com

(651) 227-0644 ext 322



Minneapolis Development Review
250 South 4th Street
Room 300
Minneapolis, MN 55415

Preliminary Development Review Report

Development Coordinator Assigned: **MATTHEW JAMES**
(612) 673-2547
matthew.james@minneapolismn.gov

Status *
RESUBMISSION REQUIRED

Tracking Number:	PDR 1001365
Applicant:	MOUNT OLIVET CAREVIEW HOME 5601 LYNDALE AVE. SO. MINNEAPOLIS, MN 55419
Site Address:	603 55TH ST W 5517 LYNDALE AVE S
Date Submitted:	21-SEP-2015
Date Reviewed:	23-SEP-2015

Purpose

The purpose of the Preliminary Development Review (PDR) is to provide Customers with comments about their proposed development. City personnel, who specialize in various disciplines, review site plans to identify issues and provide feedback to the Customers to assist them in developing their final site plans.

The City of Minneapolis encourages the use of green building techniques. For additional information please check out our green building web page at: http://www.ci.minneapolis.mn.us/mdr/GreenBuildingOptions_home.asp.

DISCLAIMER: *The information in this review is based solely on the preliminary site plan submitted. The comments contained in this report are preliminary ONLY and are subject to modification.*

Project Scope

5-story addition connecting Mt Olivet Careview Home and Mt. Olivet Home to increase capacity for rehab and therapy services in the community.

Review Findings (by Discipline)

Business Licensing

- Continue to work with Matthew D. James (612-673-2549) concerning a Food Plan Review, SAC determination and any Business License application submittal that may be required for this proposed project.

*Approved: You may continue to the next phase of developing your project.

*Resubmission Required: You cannot move forward or obtain permits until your plans have been resubmitted and approved.

❑ Historical Preservation Committee

- There is no HPC flag on this property. HPC review is not required at this time.

❑ Addressing

- Per City of Minneapolis Street Naming and Address Standard V1.22, the City of Minneapolis holds authority for assignment of all addresses, verification, change, and/or additions. Each assigned address number uses the street that provides the best/direct access for life safety equipment and best/direct access to the occupants.
- The address for the proposed additon to the Mount Olivet Careview Home will be 5517 Lyndale Ave. S. This address meets the City of Minneapolis Street Naming and Address Standard requirements.
- When assigning suite sequences the following guidelines are as follows:
 - The first one to two digits of the suite sequence number will designate the floor number of the site.
 - The last two digits of the suite sequence number will designate the unique ID for the unit (condo, suite, unit, or apartment).
 - Suite sequence digit numbers will be assigned to dwelling, commercial and retail units, not common areas. For example, laundry rooms, saunas, workout rooms, etc., would not be assigned numbers.

❑ Parks - Forestry

- Contact Craig Pinkalla (612-499-9233 cpinkalla@minneapolisparcs.org) regarding any questions related to planting, removal or the process for protection of trees during construction in the city right of way.
- Effective January 1, 2014, the City of Minneapolis and the Minneapolis Park and Recreation Board adopted an update to the existing Parkland Dedication Ordinance. The adopted City of Minneapolis Parkland Dedication ordinance is located in Section 598.340 of the City's Land Subdivision ordinance:
- <http://library.municode.com/index.aspx?clientId=11490>
- As adopted, the fee in lieu of dedication for new residential units is \$1,521 per unit (affordable units excluded per ordinance) and for commercial and industrial development it is \$202.80 per development employee (as defined in ordinance). Any dedication fee (if required) must be paid at the time of building permit issuance.
- There is also an administration fee that is 5% of the calculated park dedication fee.
- As proposed, for your PROJECT, the calculated dedication fee is as follows:
- Park Dedication Fee Calculation =
- Non-Residential Commercial Space = \$12,371
- 5% of \$XX (Administration Fee) = \$619
- Total Park Dedication Administrative Fee: = \$12,990
- This is a preliminary calculation based on your current proposal; a final calculation will be made at the time of building permit submittal.
- For further information, please contact Matthew D. James at (612) 673-2547.

❑ Zoning - Planning

- The project requires the following land use applications, at a minimum:
 - A conditional use permit to expand an existing nursing home/assisted living facility
 - A conditional use permit to increase height in the R5 district.
 - Site Plan Review.
- The application is currently incomplete. Please note, all site numbers should include the entire site, including the parking lot that fronts on Lyndale Avenue S.

❑ Right of Way

- The plan as submitted meets the requirements of the Public Works Right-Of-Way Division.

❑ Street Design

- For detailed information related to City of Minneapolis standard specifications, details, and standard plates refer to the following: <http://www.minneapolismn.gov/publicworks/plates/index.htm>. All driveway aprons shall be designed and constructed to City standards. All driveway aprons shall be shown graphically correct on all related plan sheets. Please refer to the following: http://www.minneapolismn.gov/publicworks/plates/public-works_road. Add the appropriate details from the ROAD-2000 Series: Driveways (ROAD-2000, ROAD-2001, ROAD-2002, ROAD-2003) to the plans.

❑ Sidewalk

- The plan as submitted meets the requirements of the Public Works Sidewalk Inspections Division.

❑ Traffic and Parking

- Current ordinance states that all maneuvers associated with loading, parking or sanitation pick up for a private development shall occur on private property (at no time should a truck have to perform a backing maneuver on the Public right-of-way).
- Please provide a narrative explaining the trash removal, delivery operations, and show turning maneuvers for all truck type vehicles that will be using the site and loading/parking entrance areas. A Solid Waste Collection Point (SWCP) shall be identified on the site plans; per City Ordinance (Section 2, Ch. 225, Article V - 225.750. Solid waste collection point (SWCP)

❑ Water

- By City Ordinance each separately addressed site is allowed only one domestic water service and one fire service line. It is not clear from the site plans the nature of the proposed water service to the new addition; whether it is for domestic water or for fire service purposes. If the proposed water service is for domestic purposes, an additional separate domestic water line is not allowed (one domestic service per building); the water supply for the addition must be provided from the existing building. If the proposed water service is for fire protection, a service line for fire service with a detector check valve and by pass meter will be allowed for the addition.
- Note to the Applicant: The addition connects two existing structures (addressed as 5511 and 5517 Lyndale Ave. S.); to protect the City of Minneapolis water supply and prevent cross-contamination, approved back flow preventers shall be installed on both existing domestic service lines.
- Pipe materials for service lines attached to City watermains must be ductile iron (DIP), Copper, Cast Iron or Steel; PVC piping material is not allowed for service lines in Minneapolis.
- For information related to water service connections, sizes, and materials please contact Rock Rogers (612) 673-2286.

❑ Sewer Design

- Stormwater Management: The proposed project is located within the Minnehaha Creek Watershed District, which has a separate review process from that of the City. Please note it may be necessary to obtain approvals or permits from Minnehaha Creek Watershed District.
- Please identify, on the plans, tabulations of the total square footage of disturbed area and existing and proposed impervious square footages within the disturbed area.
- Utility Connections: The invert of the proposed connection to the sanitary manhole in Garfield should be at the spring line of the outgoing sewer or above. Please revise the plan appropriately and include the proposed elevation of the connection at the manhole.
- Please identify where the existing storm sewer on the property, proposed to be connected to, discharges to the City storm sewer system.
- Non Stormwater Discharges: Detail all mechanical and non-stormwater discharges. Non-stormwater discharges are not permitted unless approved by the City of Minneapolis. Non-stormwater discharges not declared and approved will not be permitted. If there currently are none and nothing is proposed declare this status on the plans.

- For comments or questions on Public Works Surface Water & Sewers Division related requirements please contact Jeremy Strehlo, (Professional Engineer) at (612) 673-3973, or jeremy.strehlo@minneapolismn.gov.

❑ Construction Code Services

- Accessible parking stall loading space of 8 feet required (5 feet is shown).
- Play area requires an accessible (ADA) route.
- A Service Availability Charge (SAC) determination will need to be submitted to the Metropolitan Council for the proposed project. Please refer to this link for more information http://www.ci.minneapolis.mn.us/mdr/docs/sac_availability_charge.pdf or SACprogram@metc.state.mn.us.

❑ Fire Safety

- Provide required fire suppression system throughout building.
- Provide required fire alarm system throughout building.
- Maintain fire apparatus access at all time.

❑ Environmental Health

- Construction should not limit access for maintenance and service of fuel oil tanks on site. Exterior mechanical equipment should be located to limit noise to adjacent parcels. If impacted soil is encountered during site activities call the MN State Duty officer at (651) 649-5451.
- If dewatering is required during site construction see below for city permit requirements. Subgrade structures should be designed to prevent infiltration of groundwater without the need for a permanent dewatering system being installed. If a continuously operating permanent dewatering system is needed it must be approved as part of the sanitary sewer and storm drain site plan approval prior to construction beginning.
- No construction, demolition or commercial power maintenance equipment shall be operated within the city between the hours of 6:00 p.m. and 7:00 a.m. on weekdays or during any hours on Saturdays, Sundays and state and federal holidays, except under permit. Contact Environmental Services at (612) 673-3867 for permit information.
- Permits and approval are required from Environmental Services for the following activities: Temporary storage of impacted soils on site prior to disposal or reuse; Reuse of impacted soils on site; Dewatering and discharge of accumulated storm water or ground water, underground or aboveground tank installation or removal, well construction or sealing. Contact Tom Frame at (612) 673-5807 for permit applications and approvals.
- A review of the project, permits issued and an inspection from Environmental Service for identification of equipment and site operations that require annual registration with the City of Minneapolis will occur for this project.

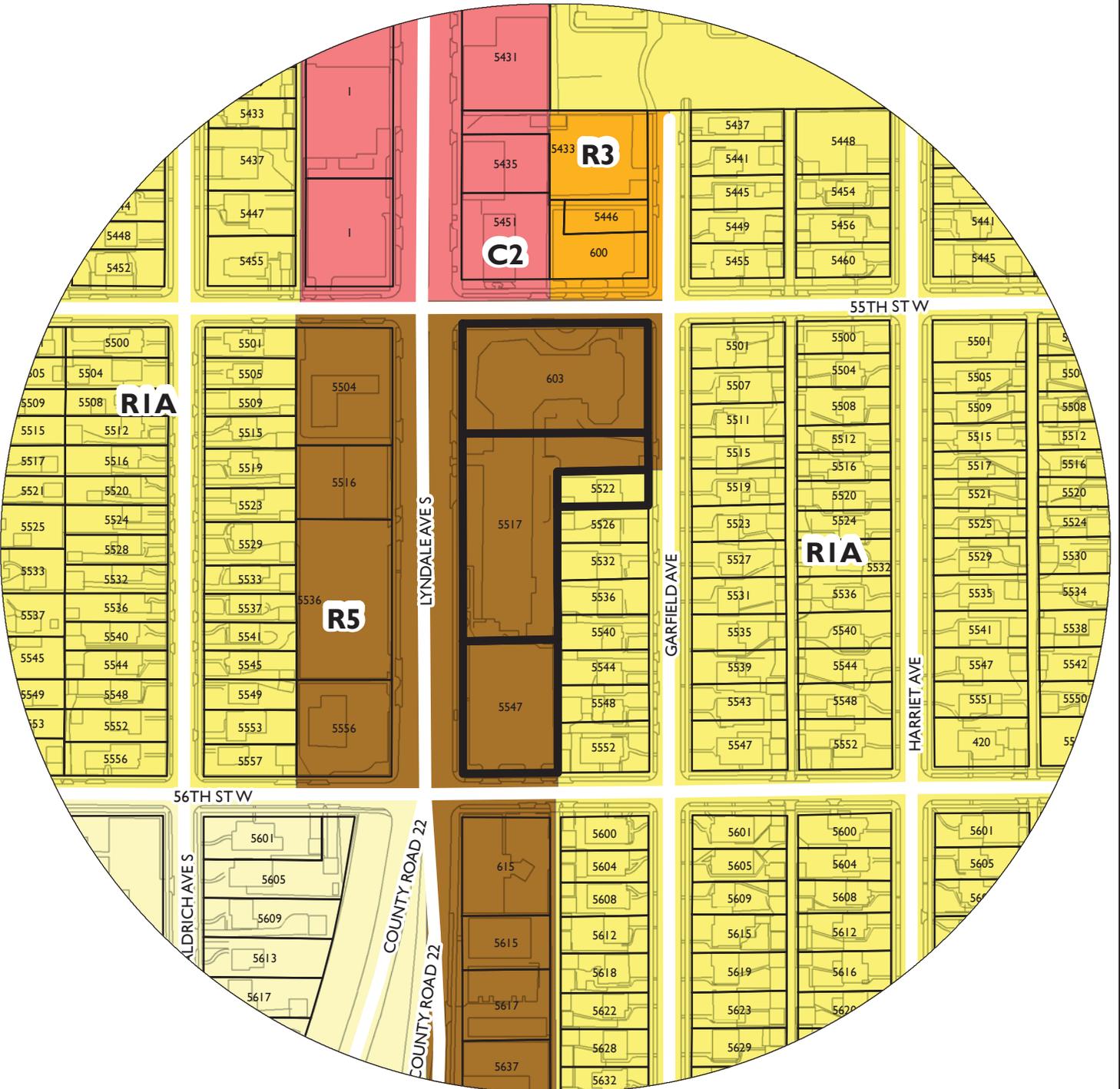
END OF REPORT

Mount Olivet Careview Home

11

NAME OF APPLICANT

WARD



PROPERTY ADDRESS
5517 Lyndale Avenue S

FILE NUMBER
BZZ-7408

PROPOSED ADDITION FOR:

MOUNT OLIVET CAREVIEW

5517 LYNDALE AVENUE SOUTH
MINNEAPOLIS, MN 55419

PROJECT INFORMATION

OWNER:

MT. OLIVET CAREVIEW HOME

5517 LYNDALE AVE. S.
MINNEAPOLIS, MN 55419

PHONE: 612-821-3100
FAX: 612-821-3240
E-MAIL: thokanson@mtolivethomes.org

ARCHITECT:

WAI CONTINUUM

381 EAST KELLOGG BOULEVARD
ST. PAUL, MN 55101

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FAX: 651-223-5092
E-MAIL: info@waicontinuum.com

CIVIL:

LJA - ARCHITECTURE, ENGINEERING, PLANNING, LAND SURVEYING

700 MAIN AVENUE
FARGO, NORTH DAKOTA 58103

PHONE: 701.293.1350
www.lja-1.com

STRUCTURAL:

LARSON ENGINEERING

3524 LABORE ROAD
WHITE BEAR LAKE, MINNESOTA 55110

PHONE: 651-481-9120
FAX: 651-481-9201
E-MAIL: info@larsonengr.com

MECHANICAL AND ELECTRICAL:

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SHEET INDEX

ARCHITECTURAL

- A0.0 TITLE SHEET
- A1.0 PROPOSED SITE PLAN
- A2.0 PROPOSED LOWER LEVEL FLOOR PLAN
- A2.1 PROPOSED GROUND FLOOR PLAN
- A2.2a PROPOSED INTERSTITIAL MECH. FLOOR PLAN
- A2.2b PROPOSED SECOND FLOOR PLAN (MT. OLIVET HOME 3rd)
- A2.3 PROPOSED THIRD FLOOR PLAN (MT. OLIVET HOME 4th)
- A2.4 PROPOSED FOURTH FLOOR PLAN (MT. OLIVET HOME ROOF)
- A2.5 PROPOSED FIFTH FLOOR PLAN
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- C-1 PROJECT AREA PLAN
- C-3 EXISTING SURVEY
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- C-5 PROPOSED SITE PLAN
- C-6 UTILITY PLAN
- C-7 STORMWATER POLLUTION PREVENTION PLAN
- C-8 STORMWATER POLLUTION PREVENTION NOTES

KEY OF STANDARD SYMBOLS	
$\begin{matrix} X \\ Y \end{matrix}$	-ROOM NUMBER: X = ROOM NAME Y = ROOM NUMBER
$\langle X \rangle$	-WALL TYPE: REFER TO WALL TYPE SCHEDULE.
$\begin{matrix} X \\ Y \end{matrix}$	-SECTION DETAIL: REFER TO DETAIL # "X" ON SHEET # "Y".
$\begin{matrix} X \\ Y \end{matrix}$	-ENLARGED DETAIL: REFER TO DETAIL NUMBER "X" ON SHEET NUMBER "Y".
$\begin{matrix} X \\ Y \end{matrix}$	-INTERIOR OR EXTERIOR ELEVATION: REFER TO ELEV. NUMBER "X" ON SHEET # "Y".
$\begin{matrix} X \\ Y \end{matrix}$	-BUILDING OR WALL SECTION: REFER TO BUILDING OR WALL SECTION # "X" ON SHEET # "Y".
$\begin{matrix} X \\ Y \end{matrix}$	-DOOR NUMBER: REFER TO DOOR SCHEDULE.
$\begin{matrix} X \\ Y \end{matrix}$	-KEYED NOTE: REFER TO NOTE "X" AS DIRECTED ON INDIV. PLANS.
$\begin{matrix} X \\ Y \end{matrix}$	-ELEVATION HEIGHT MARKER: X=ITEM Y=HEIGHT
$\begin{matrix} X \\ Y \end{matrix}$	-INTERIOR OR EXTERIOR WINDOW TYPE.
$\begin{matrix} X \\ Y \end{matrix}$	-DEMOLITION PLAN KEY NOTE: REFER TO NOTE "X" AS DIRECTED ON INDIV. PLANS.
$\begin{matrix} X \\ Y \end{matrix}$	-ADDENDUM REVISION NUMBER
$\begin{matrix} X \\ Y \end{matrix}$	-ASI REVISION NUMBER

ARCHITECTURAL ABBREVIATIONS			
ACMV	ADHERED CONCRETE	HYAC	HEATING, VENTILATING, AND AIR CONDITIONING
ACT	ACOUSTICAL CEILING TILE	ID	INSIDE DIAMETER
AFF	ABOVE FINISHED FLOOR	IN	INCHES
ALT	ALTERNATE	INS	INSULATE, INSULATION
ALUM	ALUMINUM	INT	INTERIOR
APPROX	APPROXIMATE	JT	JOINT
ARCH	ARCHITECT(URAL)	KIT	KITCHEN
BD	BOARD	LAM	LAMINATE(D)
BLDG	BUILDING	LAV	LAVATORY
BOT	BOTTOM	LF	LINEAR FOOT
BR	BEDROOM	MAX	MAXIMUM
BRG	BEARING	MDF	MEDIUM DENSITY FIBERBOARD
BSMT	BASEMENT	MECH	MECHANICAL
CABT	CABINET	MFG'R	MANUFACTURE(R) (D)
CJ	CONTROL JOINT	MIN	MINIMUM
CLG	CEILING	MISC	MISCELLANEOUS
CLR	CLEAR	MO	MASONRY OPENING
CMU	CONCRETE MASONRY UNIT	MTL	METAL
COL	COLUMN	NIC	NOT IN CONTRACT
CONC.	CONCRETE	NTS	NOT TO SCALE
CONST	CONSTRUCTION	OC	ON CENTER
CONT	CONTINUOUS	OD	OUTSIDE DIAMETER
CPT	CARPET	OH	OVERHEAD
CT	CERAMIC TILE	OPN'G	OPENING
DIA	DIAMETER	OPP	OPPOSITE
DIM	DIMENSION	P.LAM	PLASTIC LAMINATE
DWG	DRAWING	PL	PLATE
EACH	EACH	PL(D)	PAINT(ED)
ELEV	ELEVATION	QT	QUARRY TILE
ELEC	ELECTRIC(AL)	R	RISER or RADIUS
EPT	EPOXY PAINT	RCP	REFLECTED CEILING PLAN
EQ	EQUAL	REINF	REINFORCE(D), REINFORCING
EQPT	EQUIPMENT	REQ'D	REQUIRED
EXIST	EXISTING	RES	RESILIENT
EXH	EXHAUST	REV	REVISION OR REVERSE
EXT	EXTERIOR	RM	ROOM
FA	FIRE ALARM	RO	ROUGH OPENING
FD	FLOOR DRAIN	SC	SEALED CONCRETE
FE	FIRE EXTINGUISHER	SF	SQUARE FOOT
FEC	FIRE EXTINGUISHER CABINET	SHTC	SHEATHING
FIN	FINISH(ED)	SIM	SIMILAR
FIXT	FIXTURE	SQ	SQUARE
FLR	FLOOR	SS	STAINLESS STEEL
FOF	FACE OF FINISH	STD	STANDARD
FOS	FACE OF SHEATHING	STL	STEEL
FP	FIREPROOF(ING)	STOR	STORAGE
FRP	FIBERGLASS REINFORCED PANEL	STRUCT	STRUCTURAL
FRF	FIRE RETARDANT TREATED	SV	SHEET VINYL
FT	FOOT / FEET	TR	TREAD
GALV	GALVANIZED	TEL	TELEPHONE
GC	GENERAL CONTRACTOR	TYP	TYPICAL
GL	GLASS	UNO	UNLESS NOTED OTHERWISE
GYP	GYP-SUM BOARD	VCT	VINYL COMPOSITION TILE
GPC	GYP-CRETE	VERT	VERTICAL
H/C	HANDICAP(PED)	VB	VAPOR BARRIER
HDWR	HARDWARE	VR	VAPOR RETARDER
HM	HOLLOW METAL	W	WITH
HORZ	HORIZONTAL	WB	WEATHER BARRIER
HR	HOUR	W/O	WITHOUT
HSKG	HOUSEKEEPING	WD	WOOD
HT	HEIGHT	W/R	WATER RESISTANT
HWD	HARDWOOD	WRT	WATER RESISTANT TREATED

SITE LOCATION:



PROPOSED ADDITION FOR
MOUNT OLIVET CAREVIEW
5517 LYNDALE AVENUE SOUTH
MINNEAPOLIS MN

92013.08

TITLE SHEET

09_10_15

REVISIONS:

A
0.0

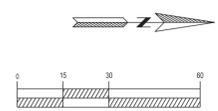
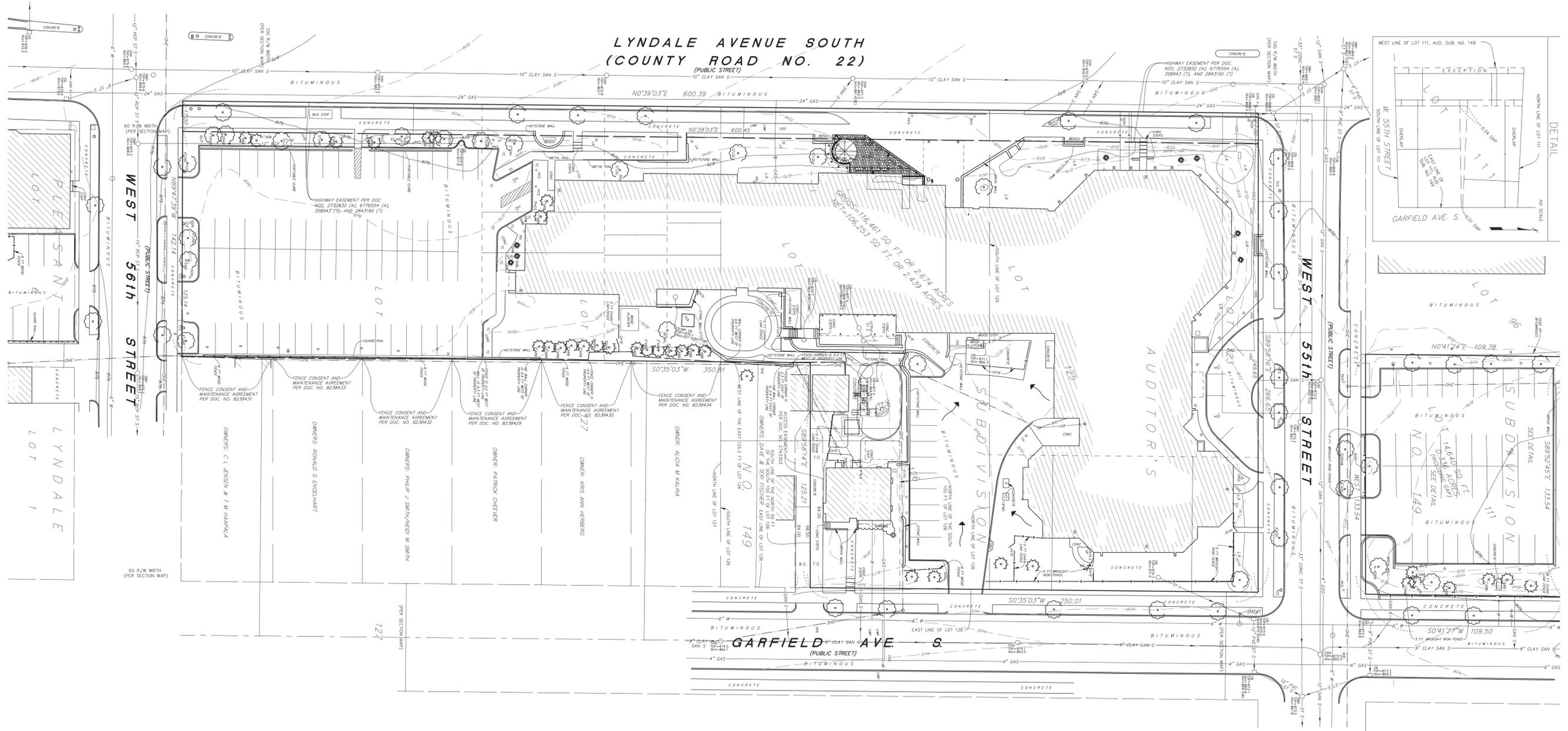
REVISIONS

Mt. Olivet Remodel
 5 Stories
 5517 Lyndale Avenue South
 Minneapolis, MN 55419

PLEASE BE ADVISED THAT THIS SET OF PLANS HAS BEEN PREPARED FOR BUILDING CODE AND PLAN REVIEW ONLY. THIS SET OF PLANS SHOULD BE CONSIDERED PRELIMINARY AND NOT FOR ANY BIDDING, FINAL ESTIMATE OR CONSTRUCTION. THIS SET OF PLANS SHALL NOT BE DEEMED FINAL UNTIL ALL APPROVALS HAVE BEEN OBTAINED FROM ALL CODE AUTHORITIES HAVING JURISDICTION. ANY BID SUBMITTED, BASED ON THIS SET OF PRELIMINARY PLANS, IS SUBJECT TO CHANGE AND IS INCOMPLETE.

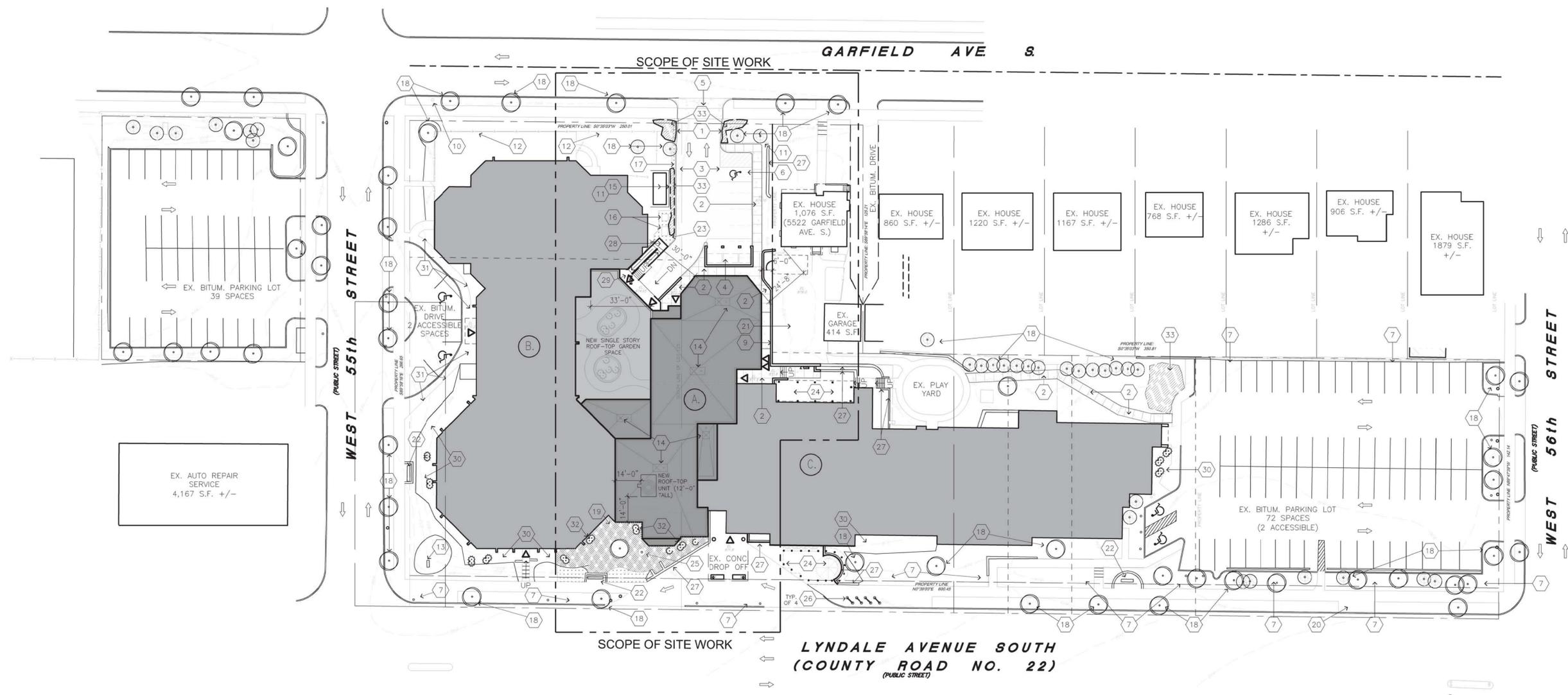
LJA JOB #	15225
PROJ. DATE:	9-1-15
FILE NAME:	MT OLIVET
DWG. SCALE:	
CHECKED BY:	
DRAWN BY:	

SHEET DESCRIPTION
 EXISTING SURVEY



CALL BEFORE YOU DIG

GENERAL SITE PLAN NOTES:		KEYED BUILDING NOTES:	
A. SCREENED LINES INDICATE EXISTING TO REMAIN.		A. PROPOSED CAREVIEW ADDITION (FIVE STORY ADDITION: 4 NEW FLOORS - 30,612 G.S.F.; ABOVE EXISTING FIRST FLOOR & SINGLE STORY -5,572 G.S.F. ADDITION) F.F.E 871.8'	
B. TONED DRIVES INDICATE THE EXTENT OF HEAVY DUTY BITUMINOUS PAVING.		B. MT. OLIVET CAREVIEW (EXISTING BUILDING): FOUR STORIES: 17,115 S.F. EA. + LOWER LEVEL: 9,992 S.F. - 78,362 G.S.F. SCOPE OF WORK INCLUDES INTERIOR REMODELING OF FOUR FLOORS	
C. SEE CIVIL DRAWINGS FOR EXTENT OF CONCRETE CURB.		C. MT. OLIVET HOME (EXISTING BUILDING): FOUR STORIES: 15,016 EA - 60,064 G.S.F.	
▲ BUILDING ENTRANCE OR EGRESS DOOR			
KEYED SITE PLAN NOTES:			
1 CONCRETE CURB, SEE CIVIL	8 ACCESSIBLE CURB RAMP, SEE CIVIL	15 EXISTING PAD MOUNTED EMERGENCY GENERATOR	22 EXISTING BENCH
2 CONCRETE WALK, SEE CIVIL	9 RETAINING WALL, SEE CIVIL	16 EXISTING CONC. PAD	23 RELOCATED POLE MOUNTED LIGHT FIXTURE
3 BITUMINOUS PARKING AND DRIVE, SEE CIVIL	10 EXISTING FIRE HYDRANT	17 NEW SOD AS REQUIRED FOR SITE RESTORATION, SEE L1.0	24 EXISTING TRELLIS AND CONCRETE PATIO AREA
4 NEW TRASH ENCLOSURE	11 EXISTING 6 FT. TALL WOOD FENCE	18 EXISTING TREE TO REMAIN, SEE SHEET L1.0	25 EXISTING FLAG POLE
5 CONCRETE APRON, SEE CIVIL	12 EXISTING 5 FT. TALL WROUGHT IRON FENCE	19 NEW CYPRESS LANDSCAPING MULCH, SEE SHEET L1.0	26 EXISTING BICYCLE PARKING RACKS
6 ACCESSIBLE PARKING SPACE	13 EXISTING 12' TALL MONUMENT SIGN	20 EXISTING BUS STOP	27 EXISTING RETAINING WALL
7 EXISTING POLE MOUNTED LIGHT FIXTURE	14 NEW INTERNAL ROOF DRAINS AND OVERFLOW ROOF DRAINS TO CONNECT TO EXISTING INTERNAL STORM SERVICE IN CAREVIEW BUILDING	21 RELOCATED PLAYGROUND EQUIPMENT IN SAND FILLED AREA	28 NEW RAMP (1:20 SLOPE MAX) & STAIR TO LOADING DOCK
			29 NEW ELEVATED LOADING DOCK
			30 EXISTING SHRUBS & LANDSCAPING MULCH, SEE SHEET L1.0
			31 EXISTING BOLLARD MOUNTED LIGHT FIXTURE
			32 NEW SHRUBBERY: SHOWN FOR REF. ONLY, SEE LANDSCAPE PLAN SHEET L1.0
			33 DEFINED SNOW STORAGE AREA- ANY SNOW IN EXCESS OF AREA WILL BE REMOVED BY OWNERS GROUNDS MAINTENANCE SERVICE



1 ARCHITECTURAL SITE PLAN
A1.0 SCALE: 1"=30'-0"
SCALE: 1"=60'-0"



EXISTING PLANTING SCHEDULE				
TYPE	SYMBOL	DESCRIPTION	SIZE	QTY.
TREES (ORNAMENTAL)	CSS	CRAB, SPRING SNOW	3" DIA.	7
TREES (ORNAMENTAL)	JL	LILAC, JAPANESE	3" DIA.	11
TREES (SHADE)	LSM	LOCUST, SHADEMASTER	3" DIA.	6
TREES (ORNAMENTAL)	TA	ARBORVITAE, TECHNY	6"	26
SHRUBS (CONIFEROUS)	SB	SPRUCE, BIRDNEST	5 GAL.	47
SHRUBS (CONIFEROUS)	CCB	COMPACT AMERICAN VIBURNUM	5 GAL.	30
TREES (DECIDUOUS)	ASH	ASH	AS NOTED	20
TREES (DECIDUOUS)	MPL	MAPLE	AS NOTED	6
SHRUBS (CONIFEROUS)	SPCG	SPRUCE, COLORADO BLUE	AS NOTED	5
TREES (DECIDUOUS)	ELM	ELM	AS NOTED	1
TREES (DECIDUOUS)	CEC	CEDAR	AS NOTED	1
TREES (DECIDUOUS)	BIR	BIRCH	AS NOTED	1

SYMBOL KEY

X - # OF PLANTS
ABC - PLANT DESCRIPTION

NEW PLANTING SCHEDULE					
TYPE	SYMBOL	DESCRIPTION	SIZE	CONDITION	QTY.
SHRUBS (DECIDUOUS)	SGM	SPIREA, GOLD MOUND	5 GAL.	POT	16
SHRUBS (CONIFEROUS)	SB	SPRUCE, BIRDNEST	5 GAL.	POT	3

SYMBOL KEY

- # OF PLANTS
ABC - PLANT DESCRIPTION

KEYED LANDSCAPE PLAN NOTES:

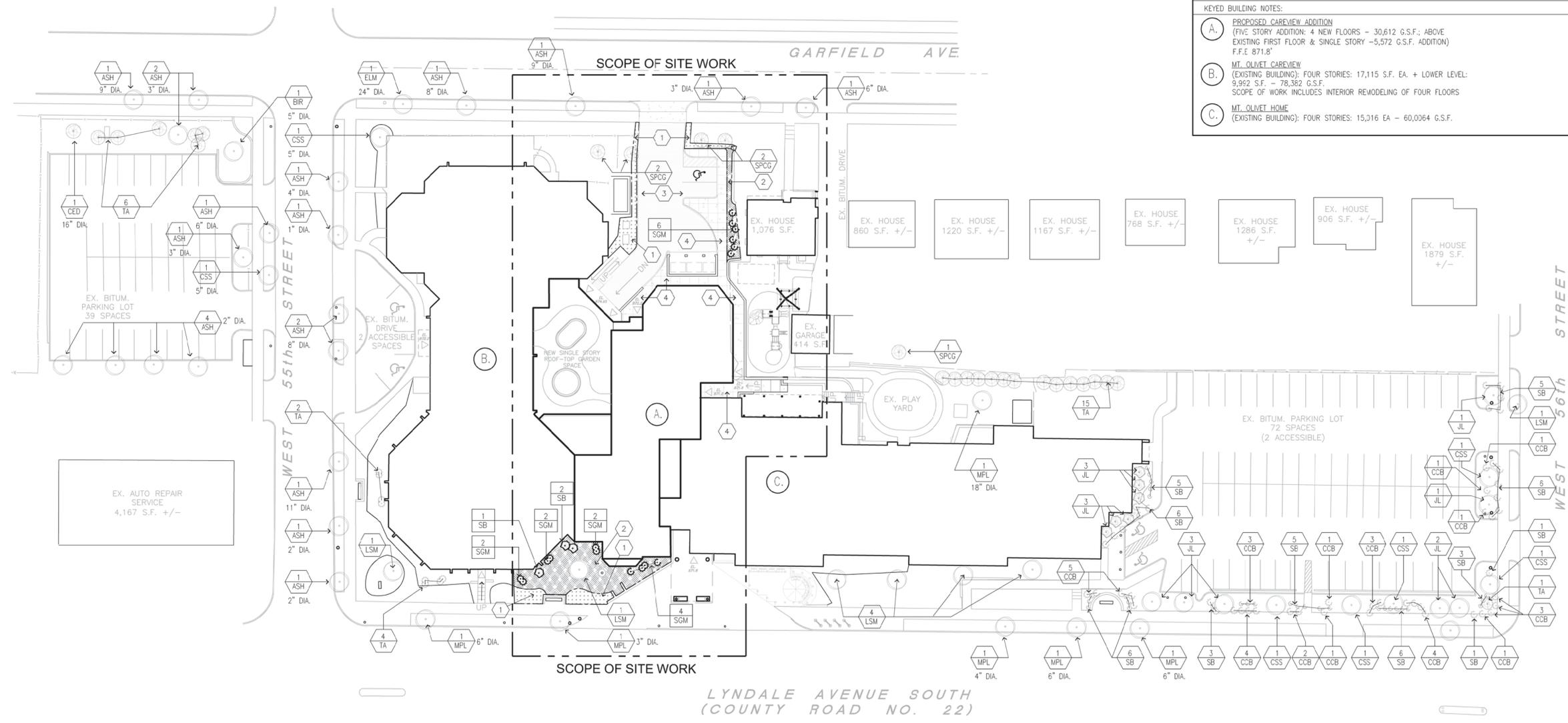
1 NEW SOD AS REQUIRED FOR SITE RESTORATION	3 BITUMINOUS PARKING AND DRIVE, SEE CIVIL	
2 NEW CYPRUS LANDSCAPING MULCH	4 CONCRETE WALK, SEE CIVIL	

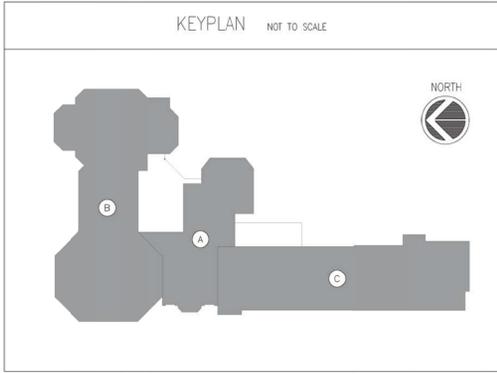
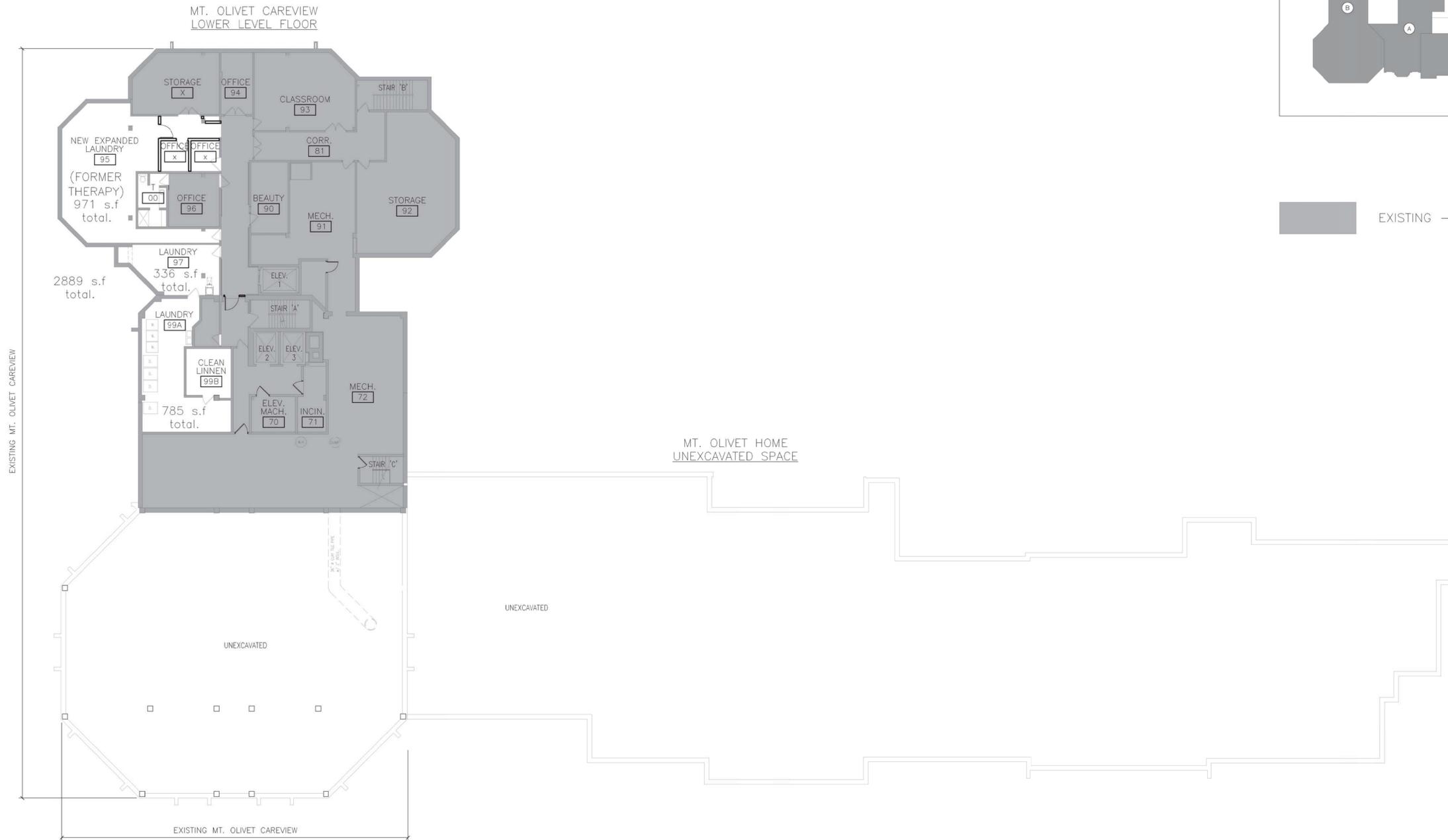
KEYED BUILDING NOTES:

(A) PROPOSED CAREVIEW ADDITION (FIVE STORY ADDITION: 4 NEW FLOORS - 30,612 G.S.F.; ABOVE EXISTING FIRST FLOOR & SINGLE STORY -5,572 G.S.F. ADDITION) F.F.E 871.8

(B) MT. OLIVET CAREVIEW (EXISTING BUILDING): FOUR STORIES: 17,115 S.F. EA. + LOWER LEVEL: 9,992 S.F. - 78,382 G.S.F. SCOPE OF WORK INCLUDES INTERIOR REMODELING OF FOUR FLOORS

(C) MT. OLIVET HOME (EXISTING BUILDING): FOUR STORIES: 15,016 EA - 60,064 G.S.F.





EXISTING - NO WORK

EXISTING MT. OLIVET CAREVIEW

EXISTING MT. OLIVET CAREVIEW

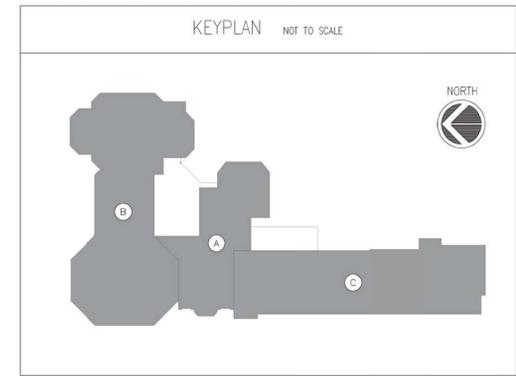
MT. OLIVET HOME UNEXCAVATED SPACE

UNEXCAVATED

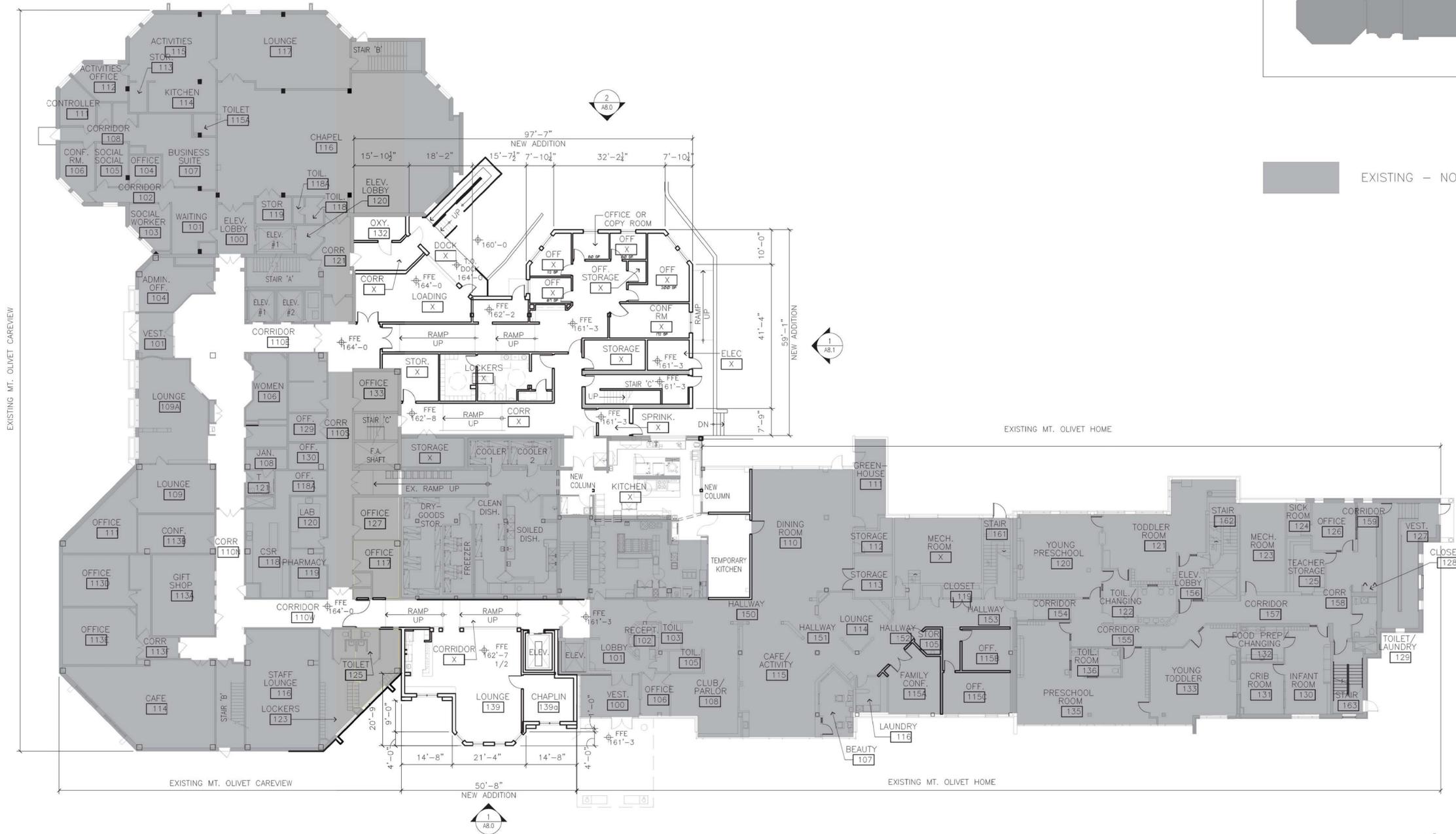
UNEXCAVATED



1 PROPOSED LOWER LEVEL FLOOR PLAN
 A2.0 SCALE: 1/16" = 1'-0" ON 24 x 36

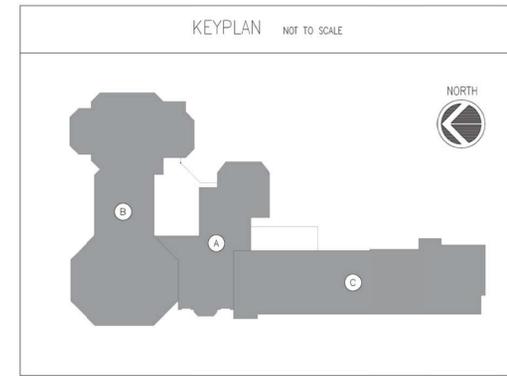


EXISTING - NO WORK



1 PROPOSED GROUND FLOOR PLAN
SCALE: 1/16" = 1'-0" ON 24 x 36





PROPOSED ADDITION FOR
MOUNT OLIVET CAREVIEW
5517 LYNDALE AVENUE SOUTH
MINNEAPOLIS MN

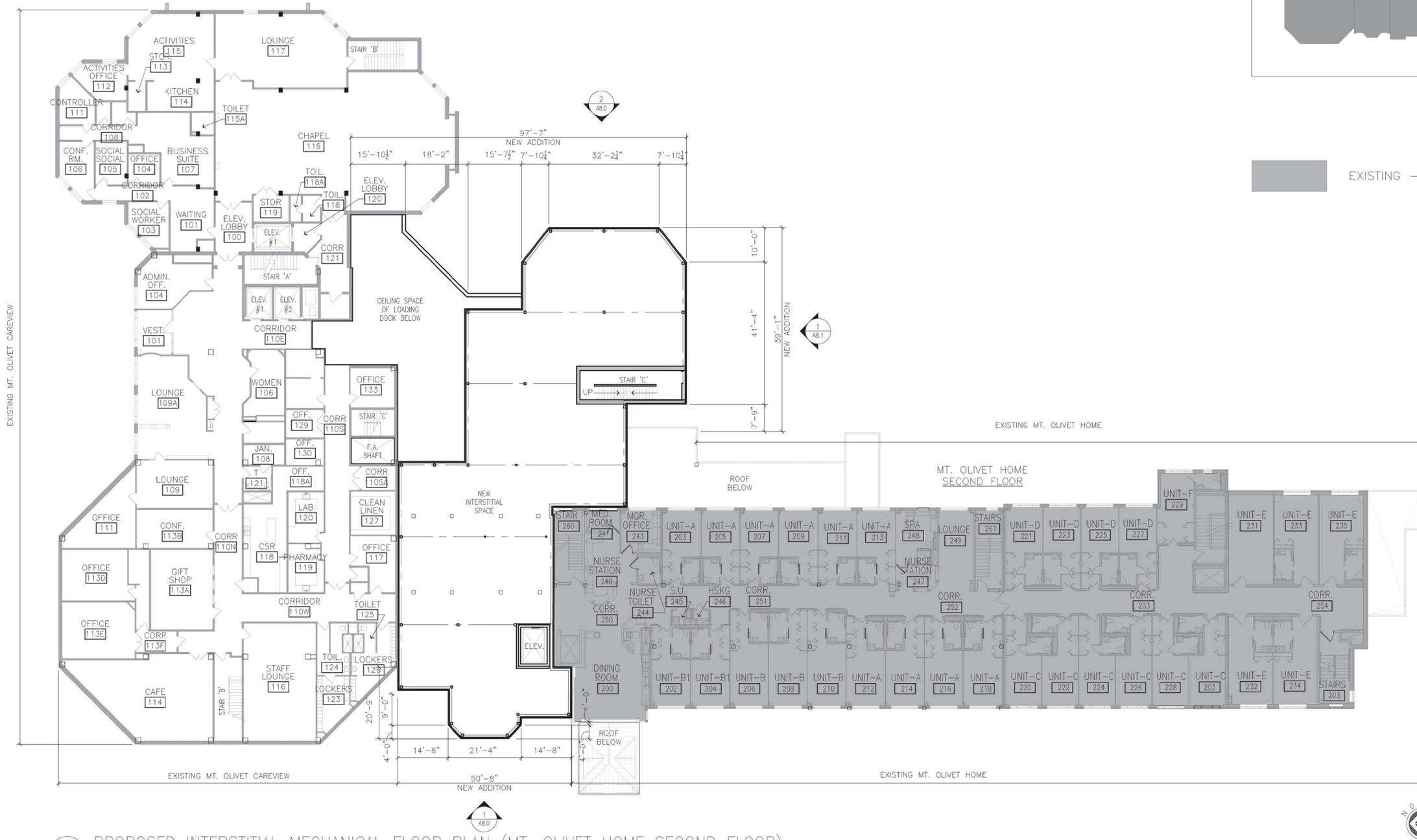
92013.08

PROPOSED INTERSTITIAL
MECHANICAL FLOOR
(MT. OLIVET HOME 2nd)

09_10_15

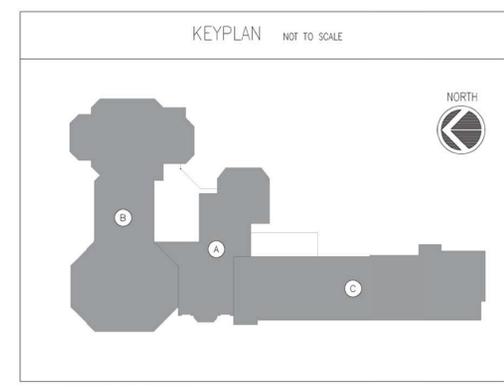
REVISIONS:

A
2.2a

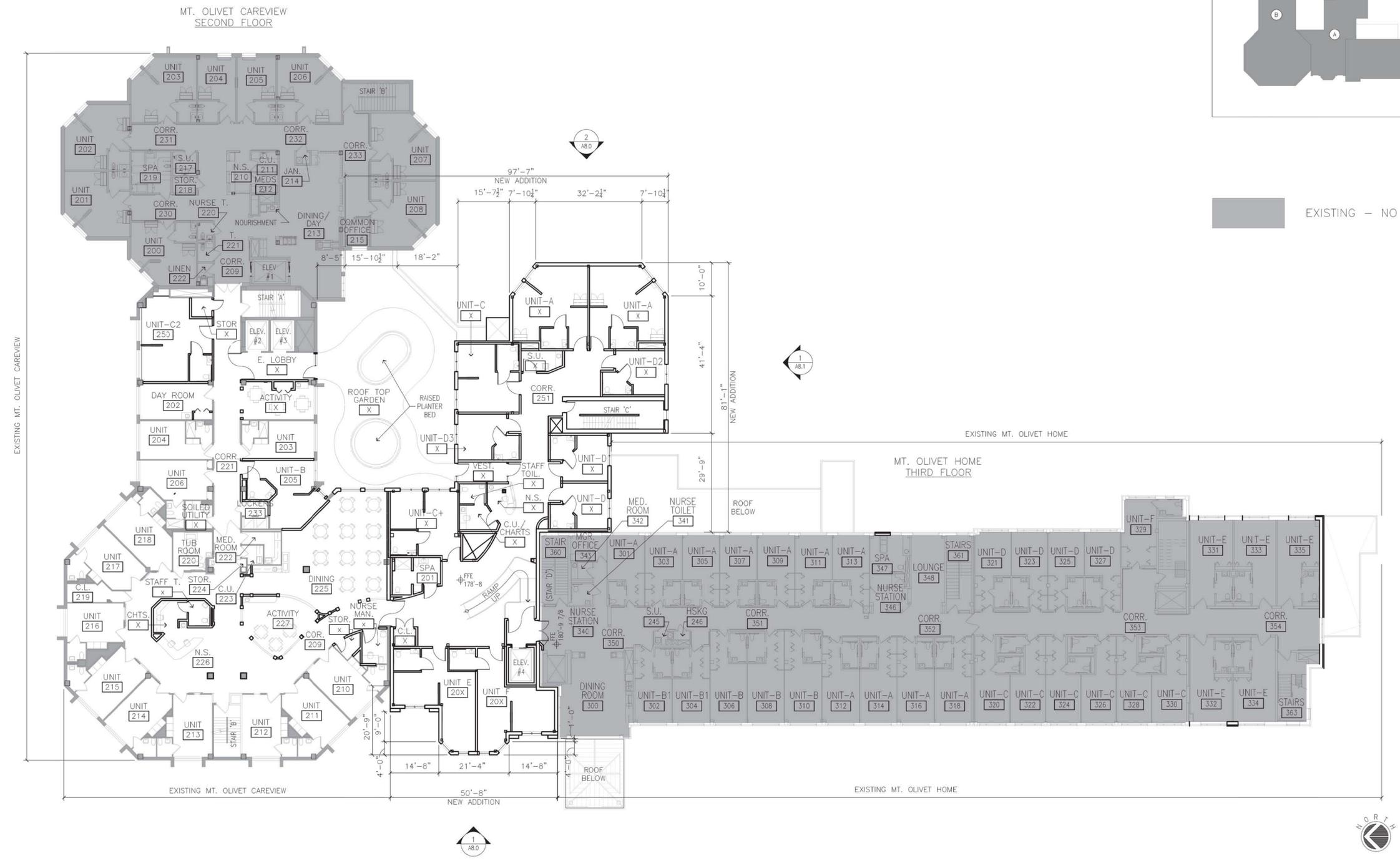


1
A2.2a
PROPOSED INTERSTITIAL MECHANICAL FLOOR PLAN (MT. OLIVET HOME SECOND FLOOR)
SCALE: 1/16" = 1'-0" ON 24 x 36

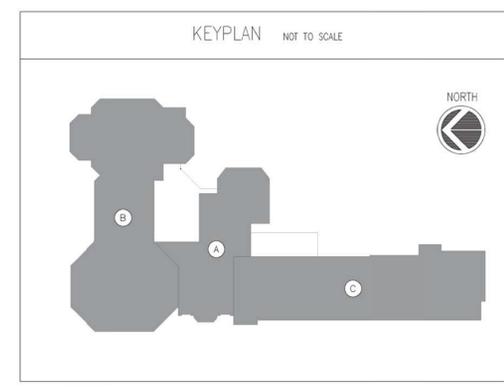




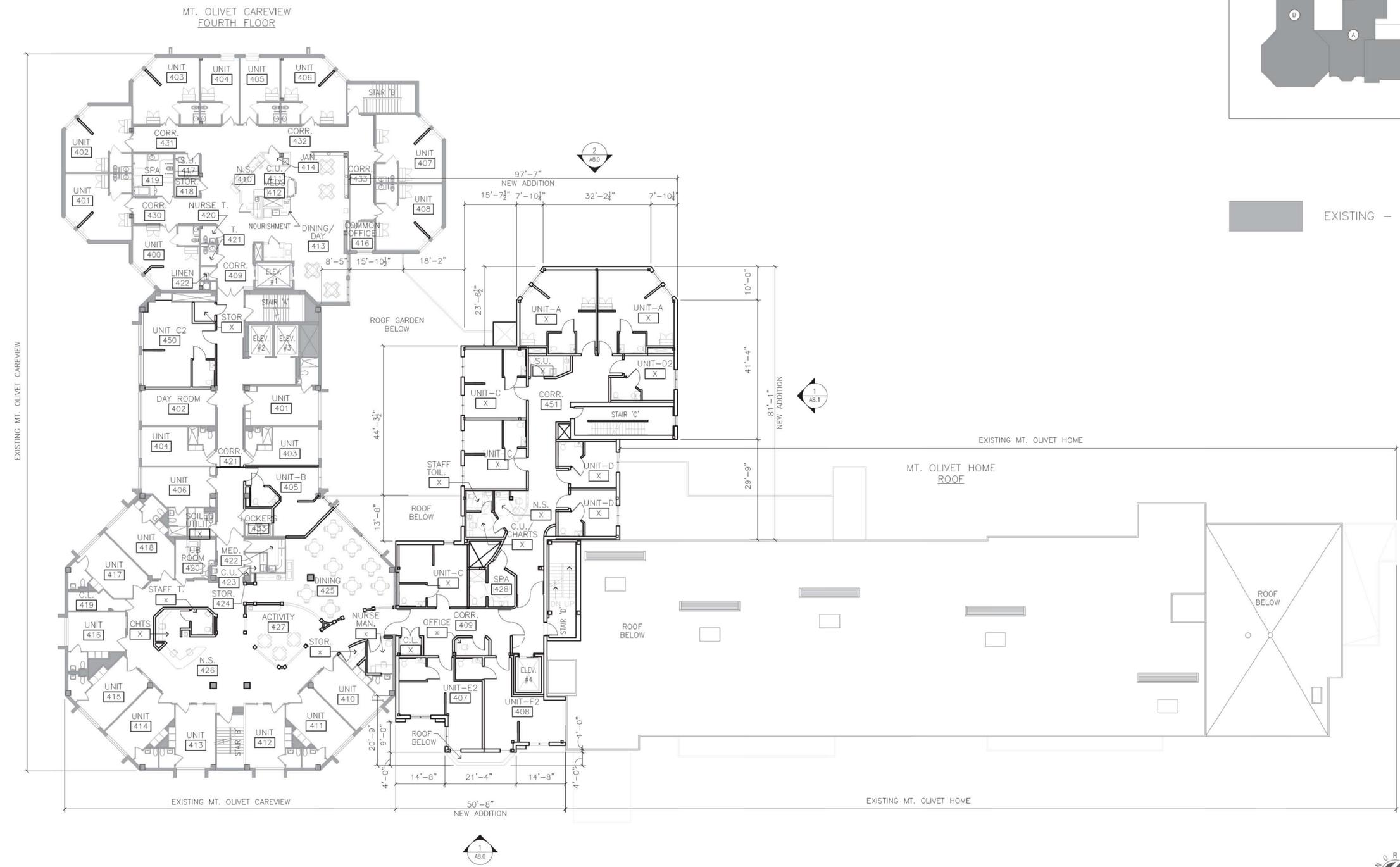
EXISTING - NO WORK



1
A2.2b PROPOSED SECOND FLOOR PLAN (MT. OLIVET HOME THIRD FLOOR)
SCALE: 1/16" = 1'-0" ON 24 x 36

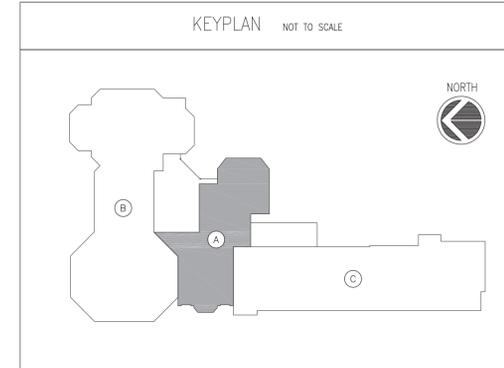
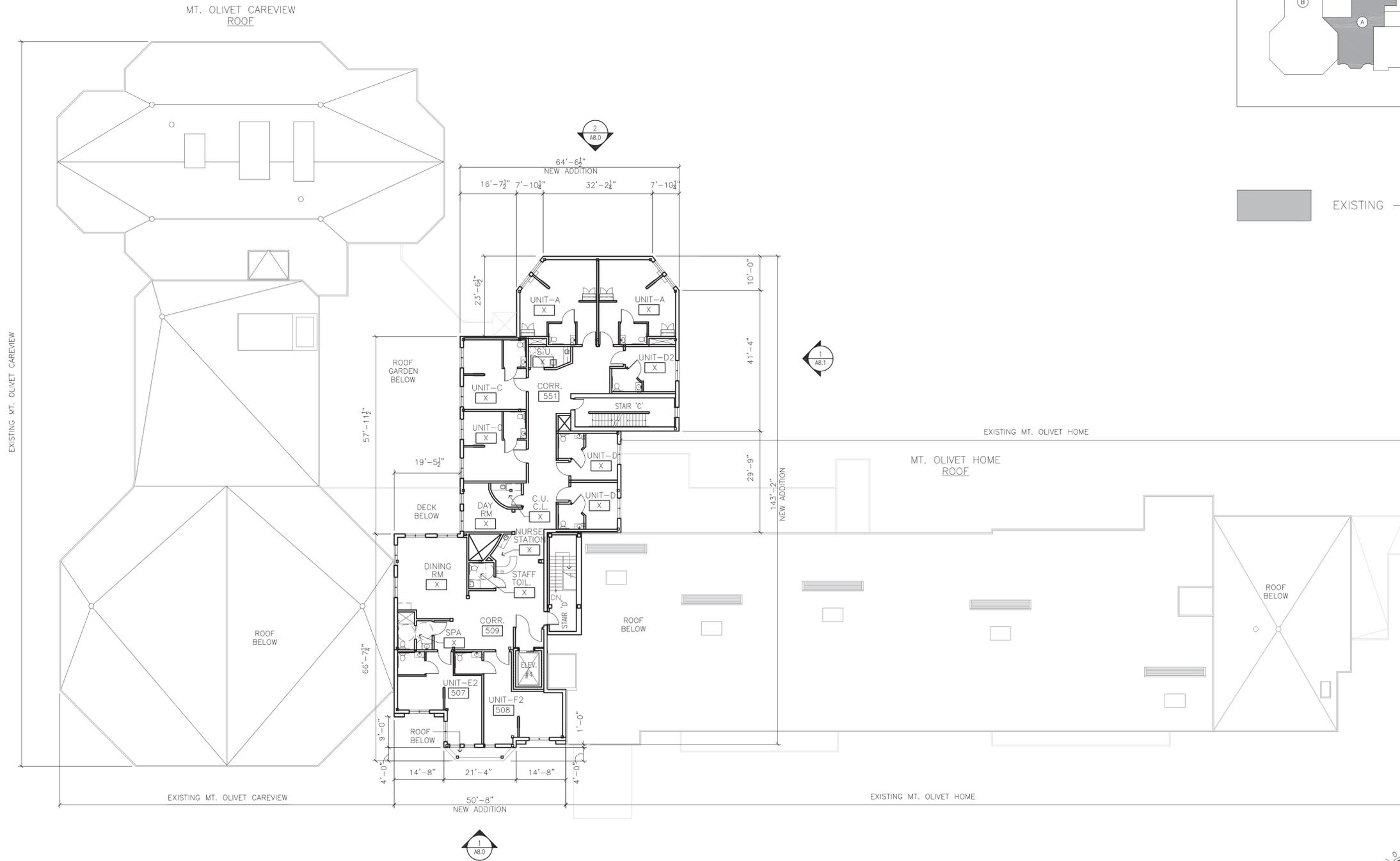


EXISTING - NO WORK



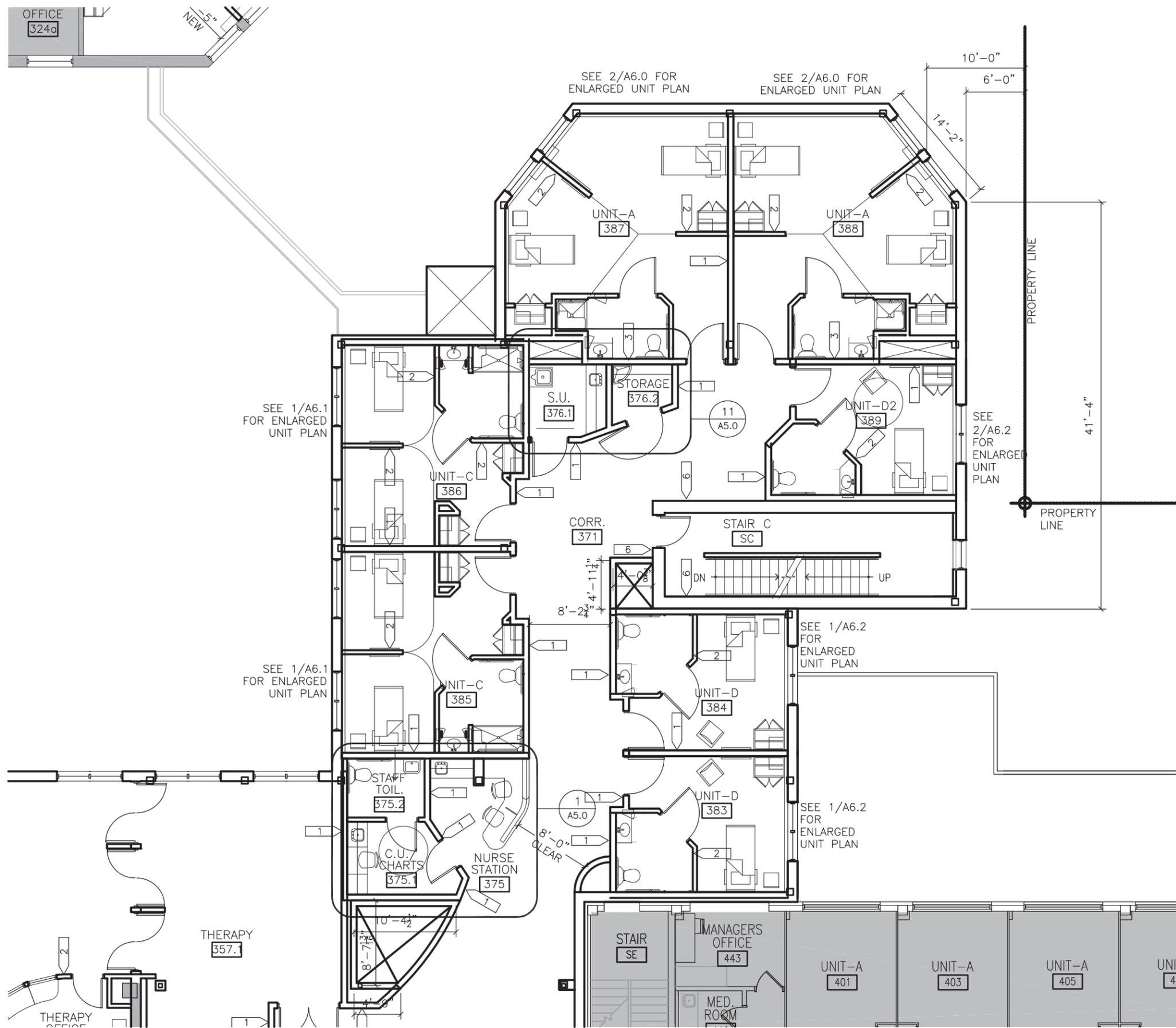
1
A2.4 PROPOSED FOURTH FLOOR PLAN (MT. OLIVET HOME ROOF)
SCALE: 1/16" = 1'-0" ON 24 x 36





EXISTING - NO WORK

1 PROPOSED FIFTH FLOOR PLAN
 SCALE: 1/16" = 1'-0" ON 24 x 36

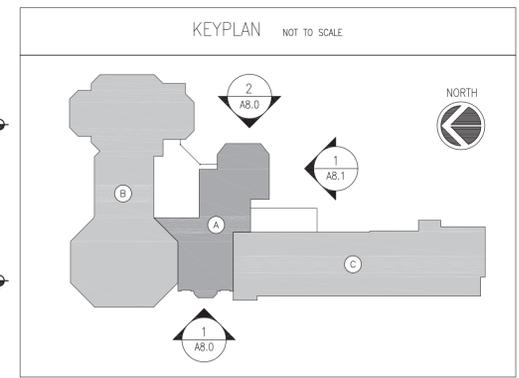


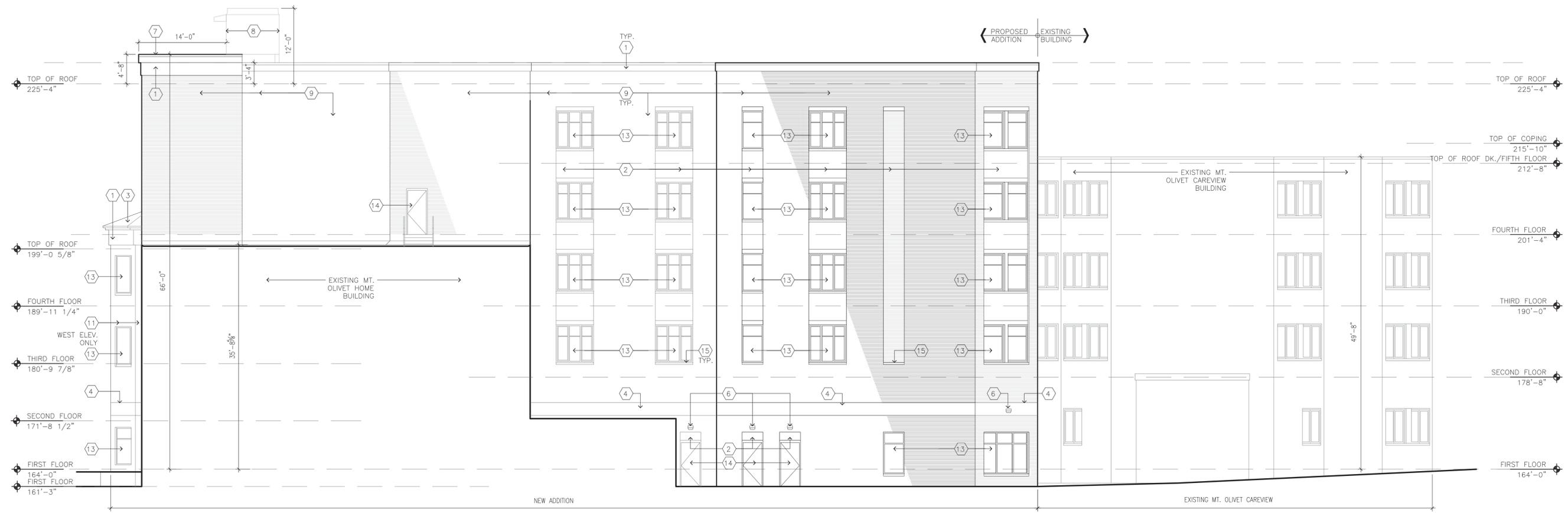


1 WEST ELEVATION
SCALE: 1/8" = 1'-0" @ 24"x36"
ON 11/17

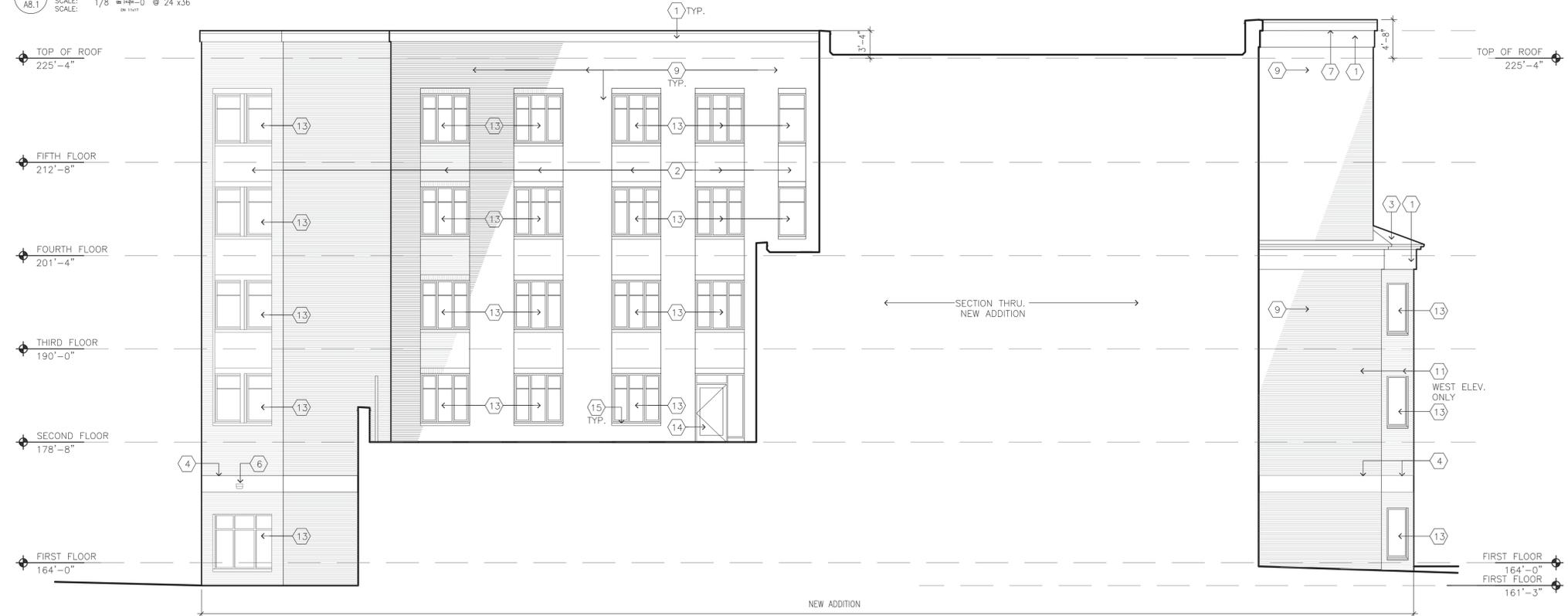


2 EAST ELEVATION
SCALE: 1/8" = 1'-0" @ 24"x36"
ON 11/17





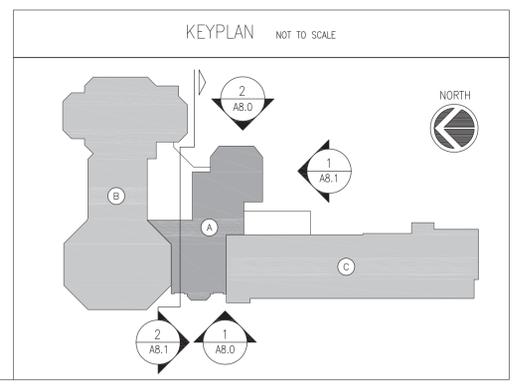
1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0" @ 24"x36"
SCALE: 1/8" = 1'-0" @ 24"x36"



2 NORTH ELEVATION
SCALE: 1/8" = 1'-0" @ 24"x36"
SCALE: 1/8" = 1'-0" @ 24"x36"

EXTERIOR ELEVATION KEY NOTES:

1 PRE-CAST CONC. CORNICE	9 FACE BRICK TO MATCH EXISTING MT. OLIVET CAREVIEW, TYPICAL ALL ELEVATIONS
2 RECESSED FACE BRICK	10 ACCENT GLAZED FACE BRICK TO MATCH MT. OLIVET HOME; WEST ELEV. ONLY
3 STANDING SEAM METAL ROOF TO MATCH EX. CANOPY OF MT. OLIVET HOME	11 CONTRASTING COLOR FACE BRICK; WEST ELEV. ONLY
4 PRE-CAST CONC. BAND	12 OVERHEAD DOOR AT NEW LOADING DOCK
5 PER-FIN. MTL. SUN SHADE TO MATCH EX.	13 WINDOW AS SCHEDULED
6 NEW WALL MOUNTED LIGHT FIXTURE	14 DOOR AS SCHEDULED
7 TALLER PARAPET ONLY AT WEST ELEVATION	15 ARCHITECTURAL PRE-CAST SILL WALL
8 NEW ROOF-TOP MECHANICAL UNIT (14' BEHIND PARAPET WALL)	



REVISIONS:







TOP OF ROOF
225'-4"

FIFTH FLOOR
212'-8"

FOURTH FLOOR
201'-4"

THIRD FLOOR
190'-0"

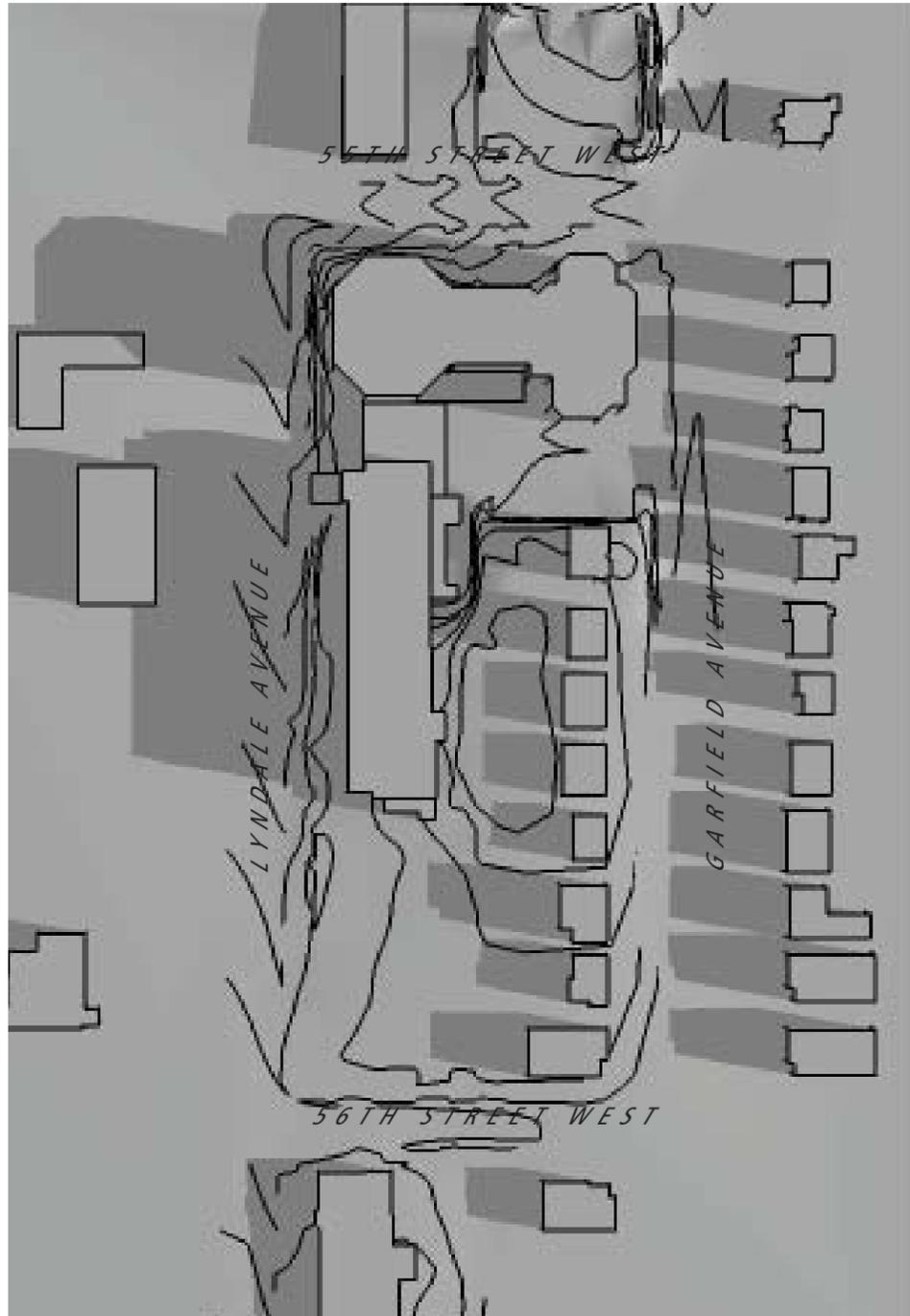
SECOND FLOOR
178'-8"

FIRST FLOOR
164'-0"

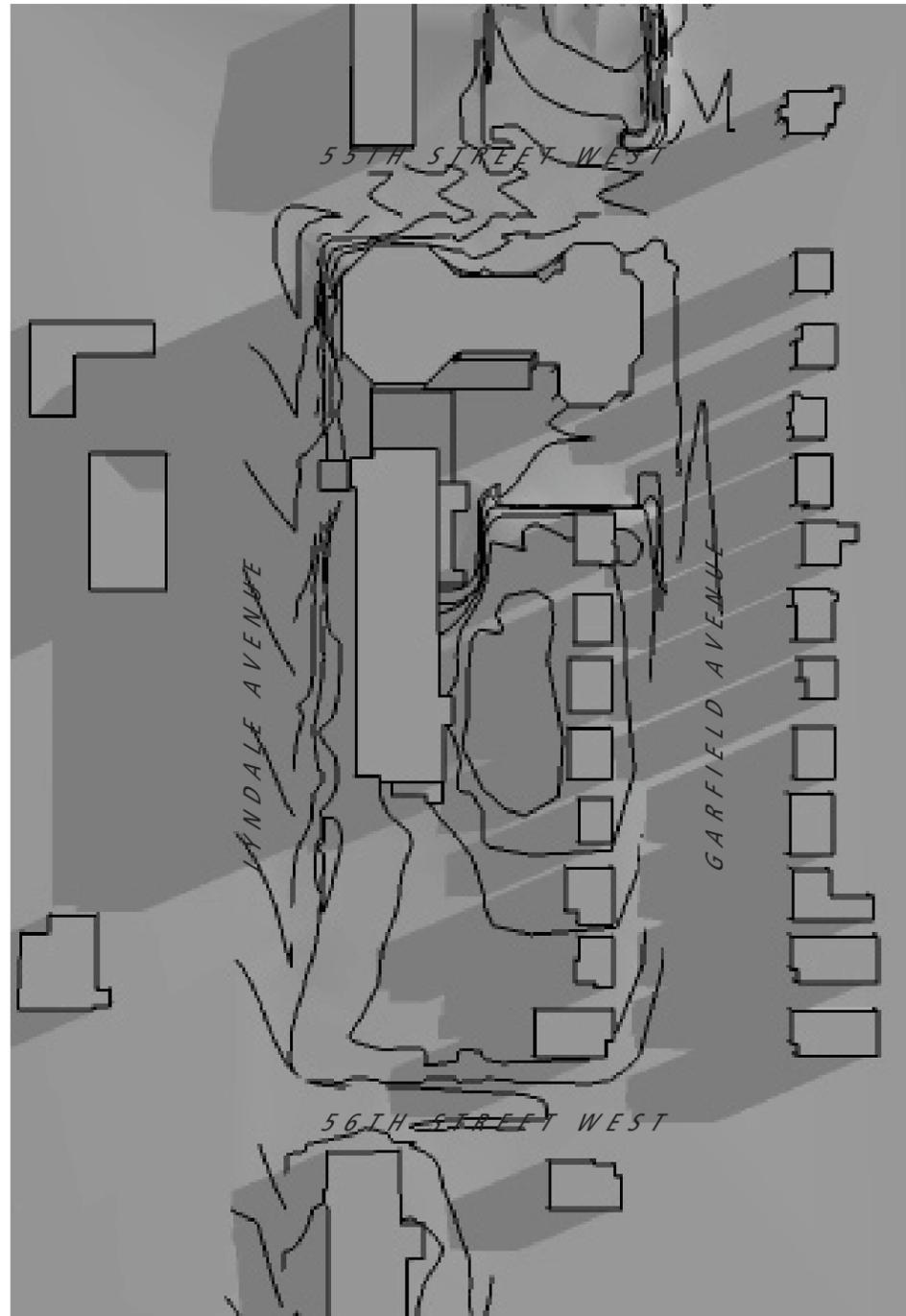
TOP OF ROOF
225'-4"

FIRST FLOOR
164'-0"
FIRST FLOOR
161'-3"

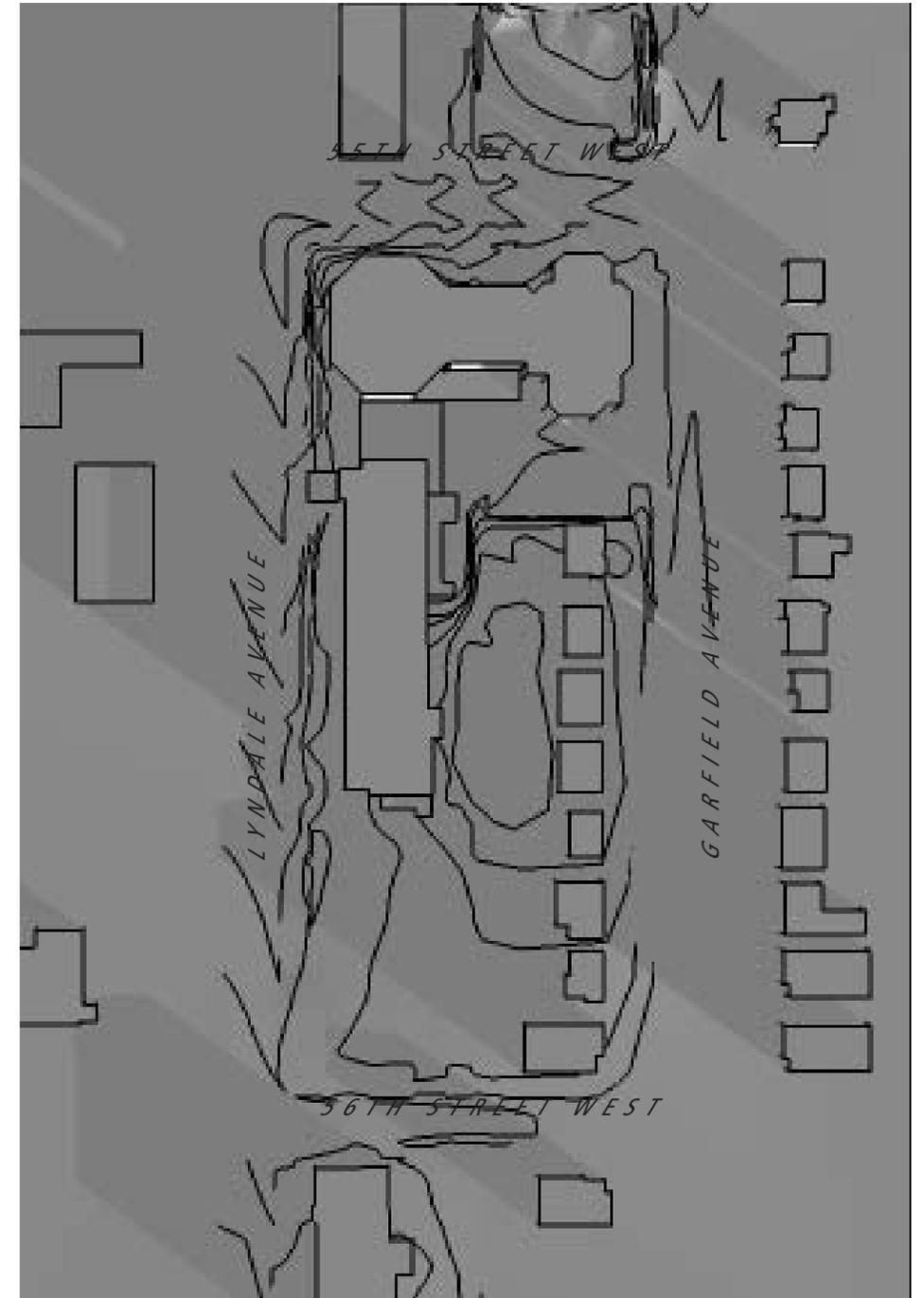




SUNRISE + 1 HOUR ON AUTUMNAL / VERNAL EQUINOX



SUNRISE +1 HOUR ON SUMMER SOLSTICE



SUNRISE +1 HOUR ON WINTER SOLSTICE

EXISTING MOUNT OLIVET CAREVIEW - SUN SHADOW STUDY

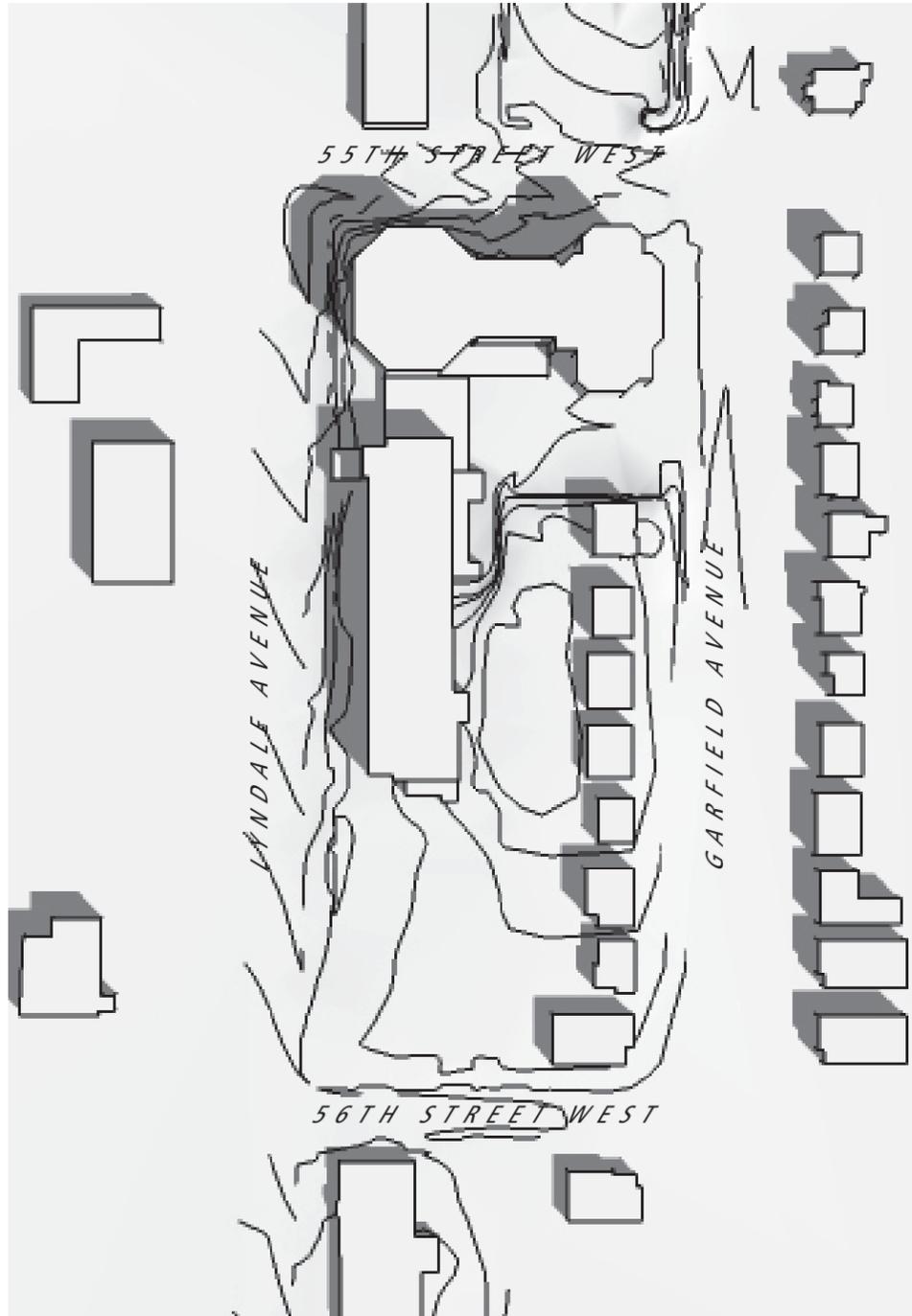
5517 LYNDALE AVENUE
03 SEPT. 2015

MINNEAPOLIS, MINNESOTA

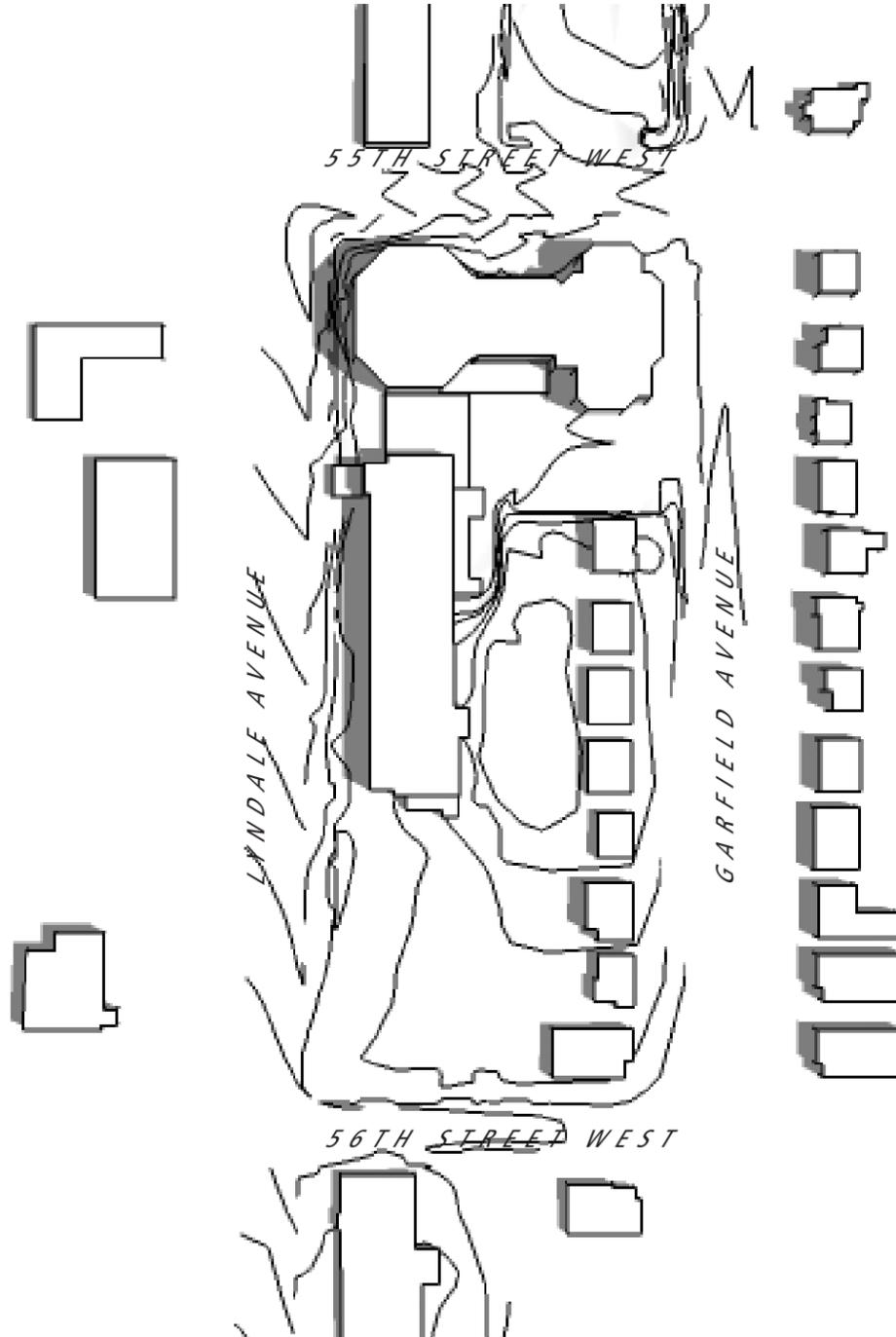
92013.08



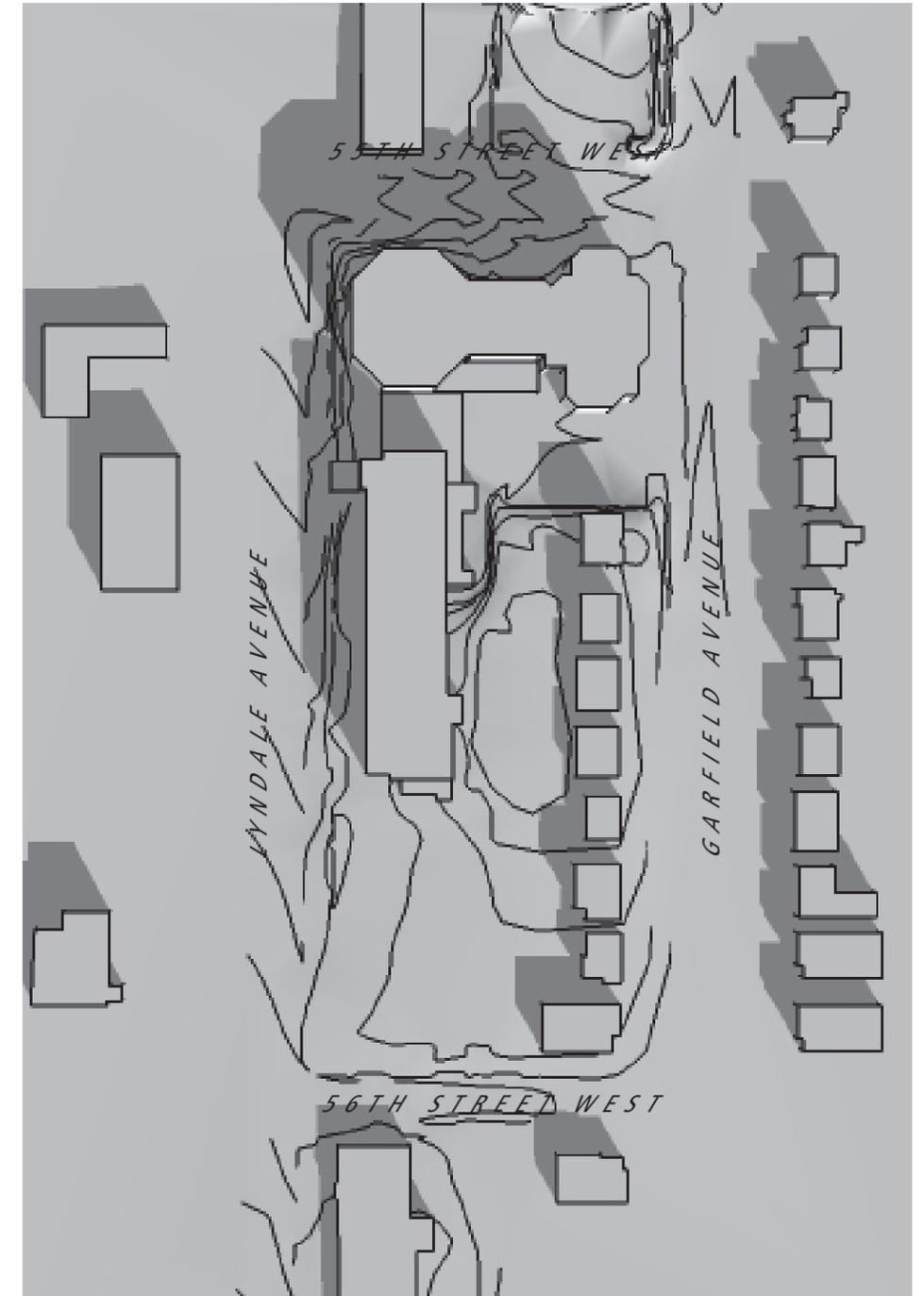
Living
Architecture



NOON ON AUTUMNAL / VERNAL EQUINOX

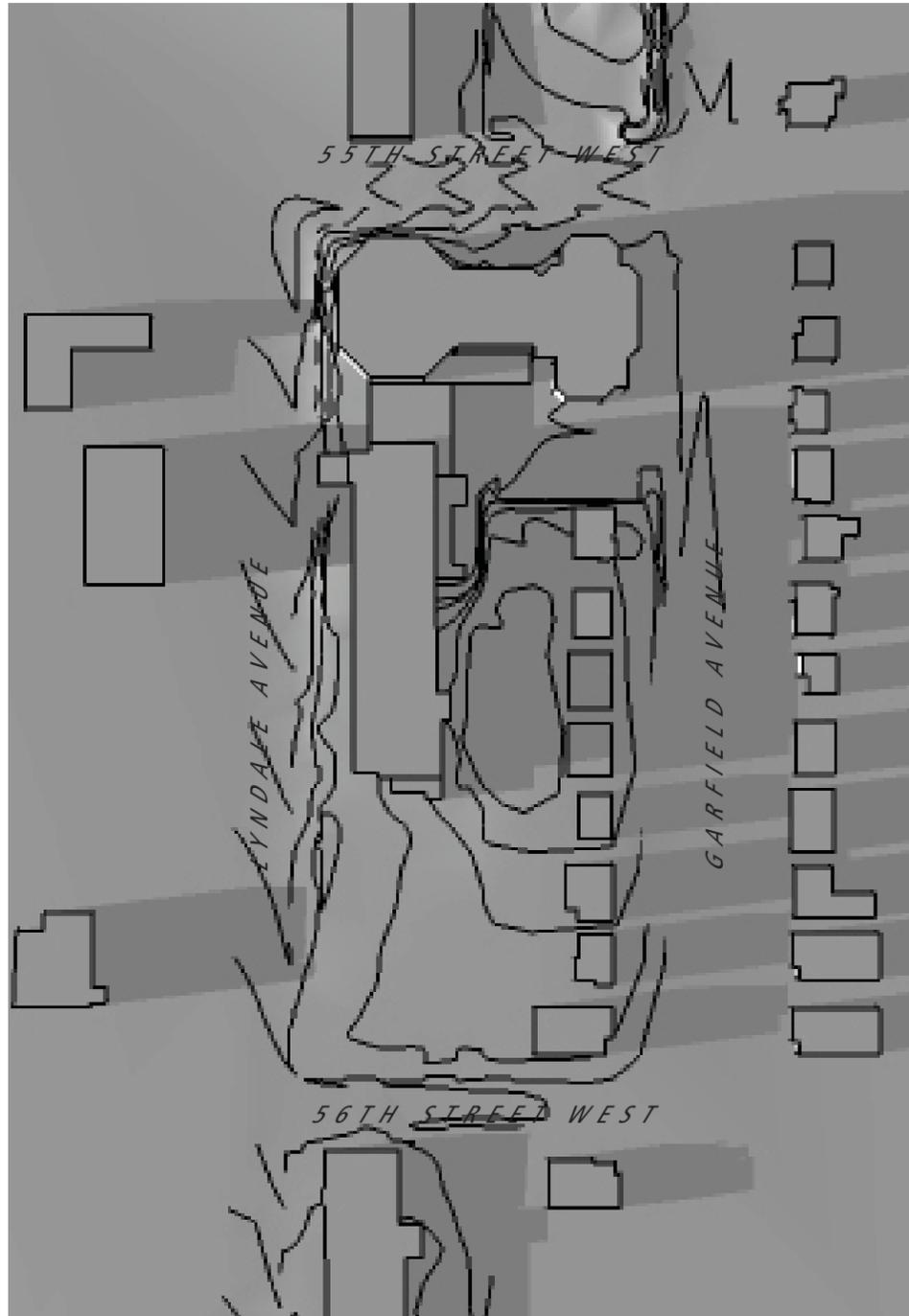


NOON ON SUMMER SOLSTICE

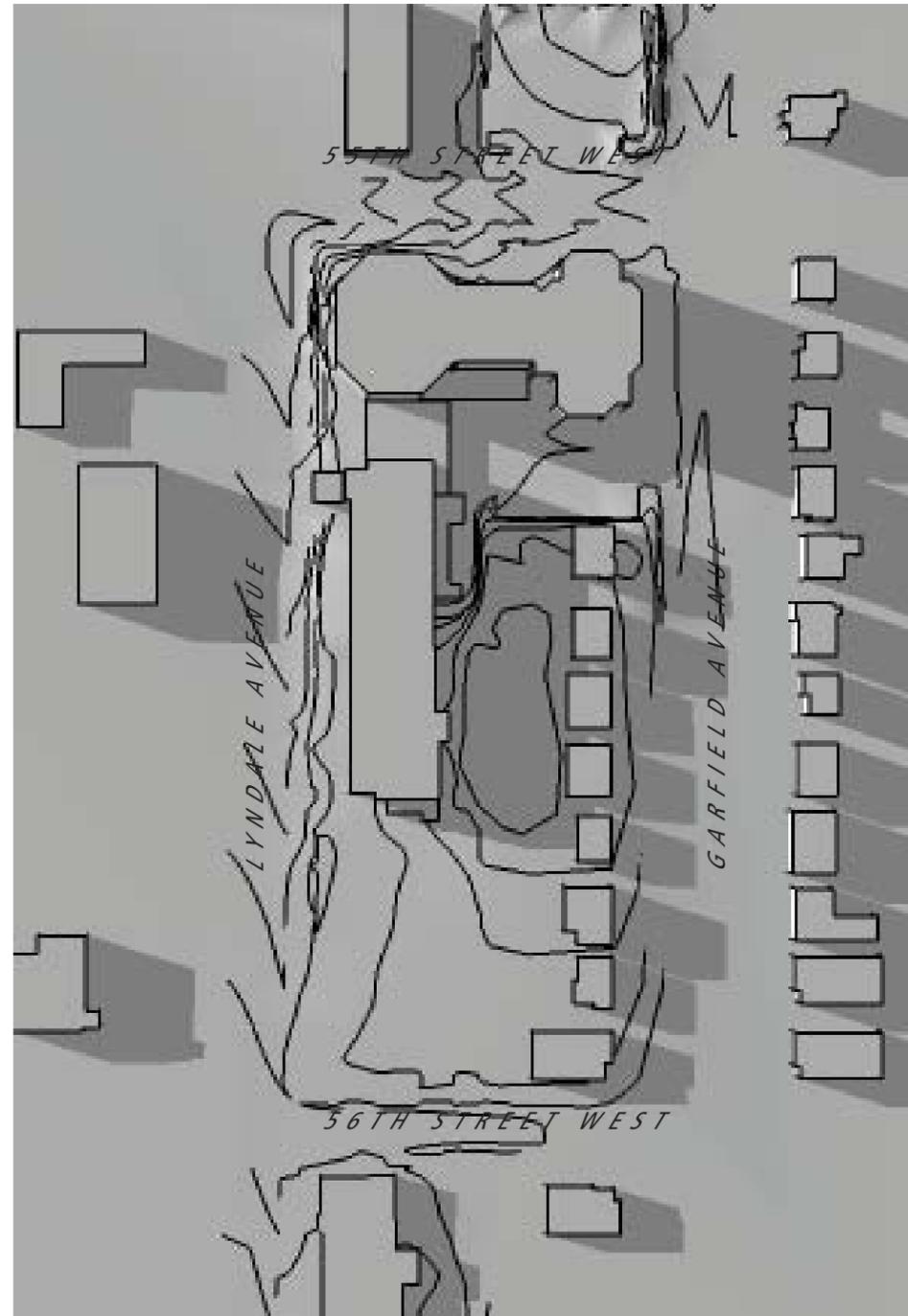


NOON ON WINTER SOLSTICE

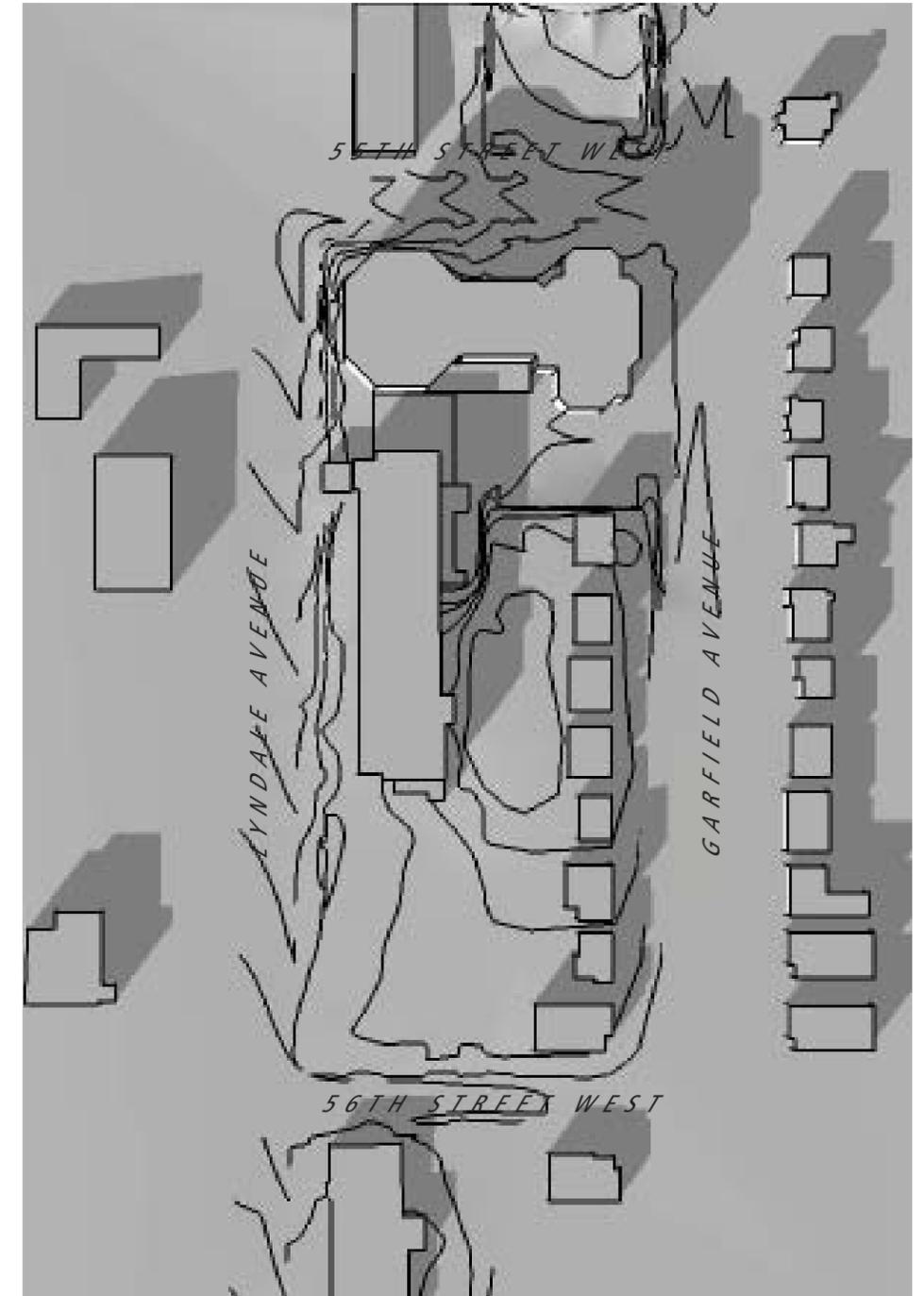
EXISTING MOUNT OLIVET CAREVIEW - SUN SHADOW STUDY



SUNSET - 1 HOUR ON AUTUMNAL / VERNAL EQUINOX

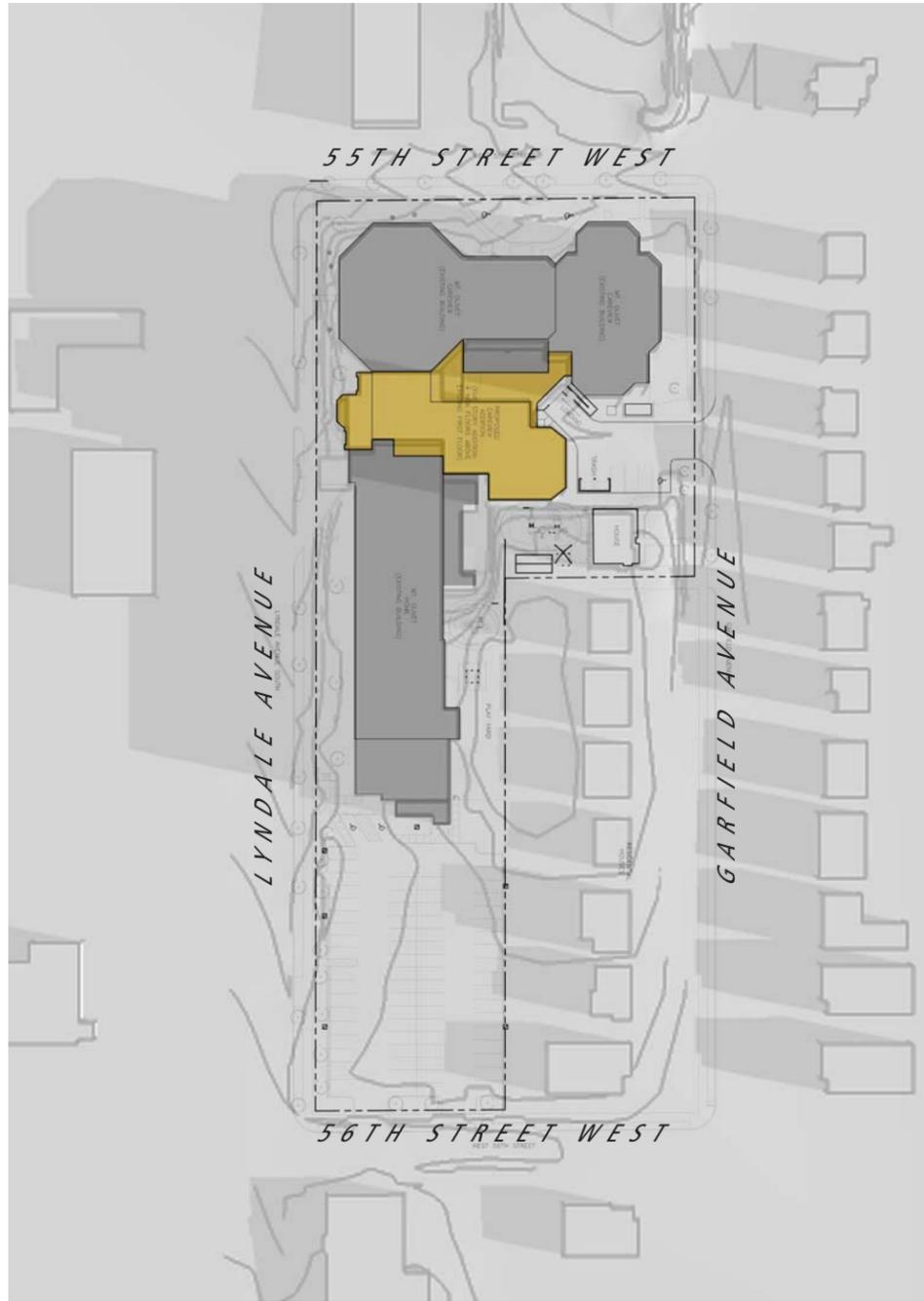


SUNSET - 1 HOUR ON SUMMER SOLSTICE

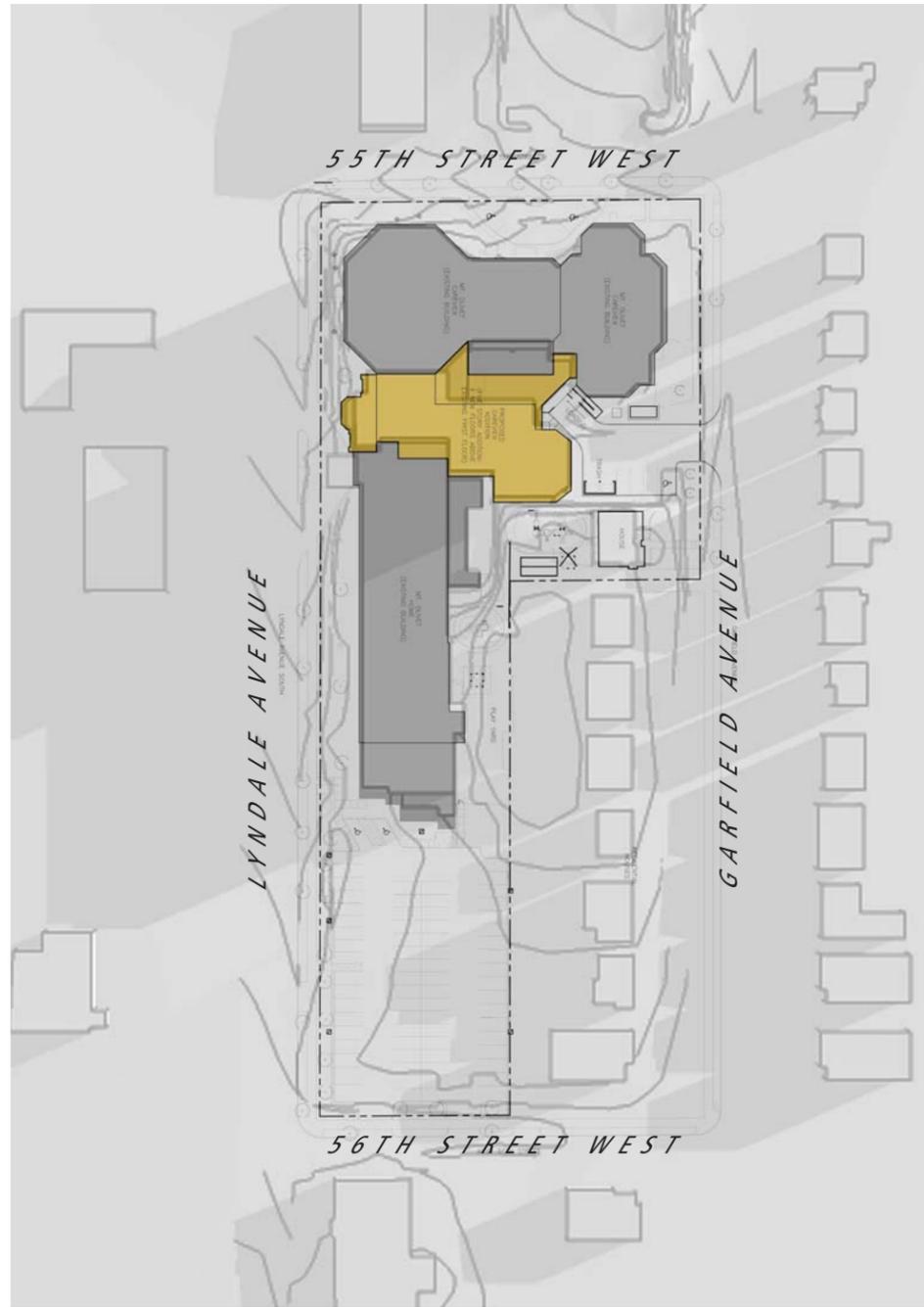


SUNSET - 1 HOUR ON WINTER SOLSTICE

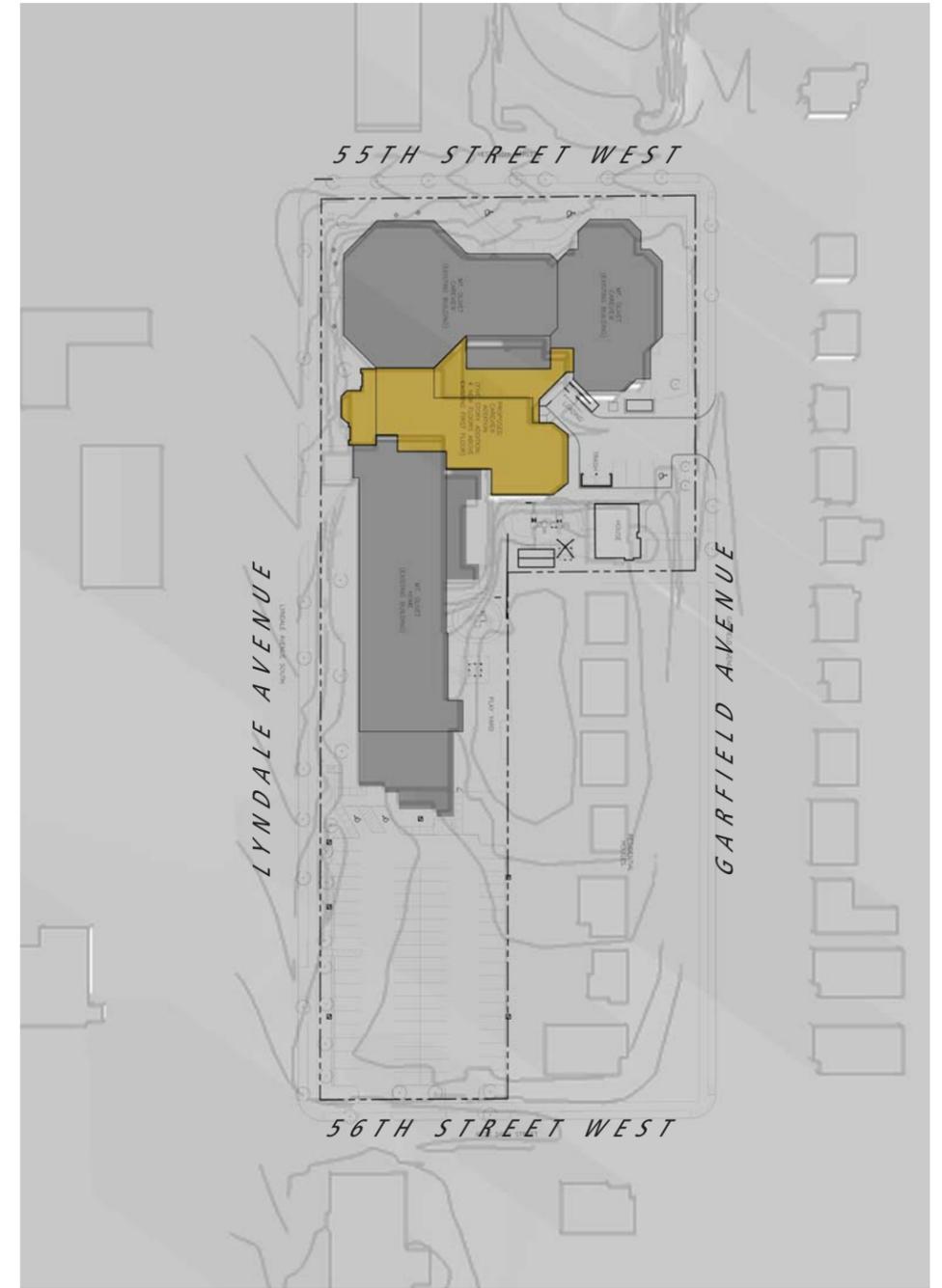
EXISTING MOUNT OLIVET CAREVIEW - SUN SHADOW STUDY



SUNRISE + 1 HOUR ON AUTUMNAL / VERNAL EQUINOX

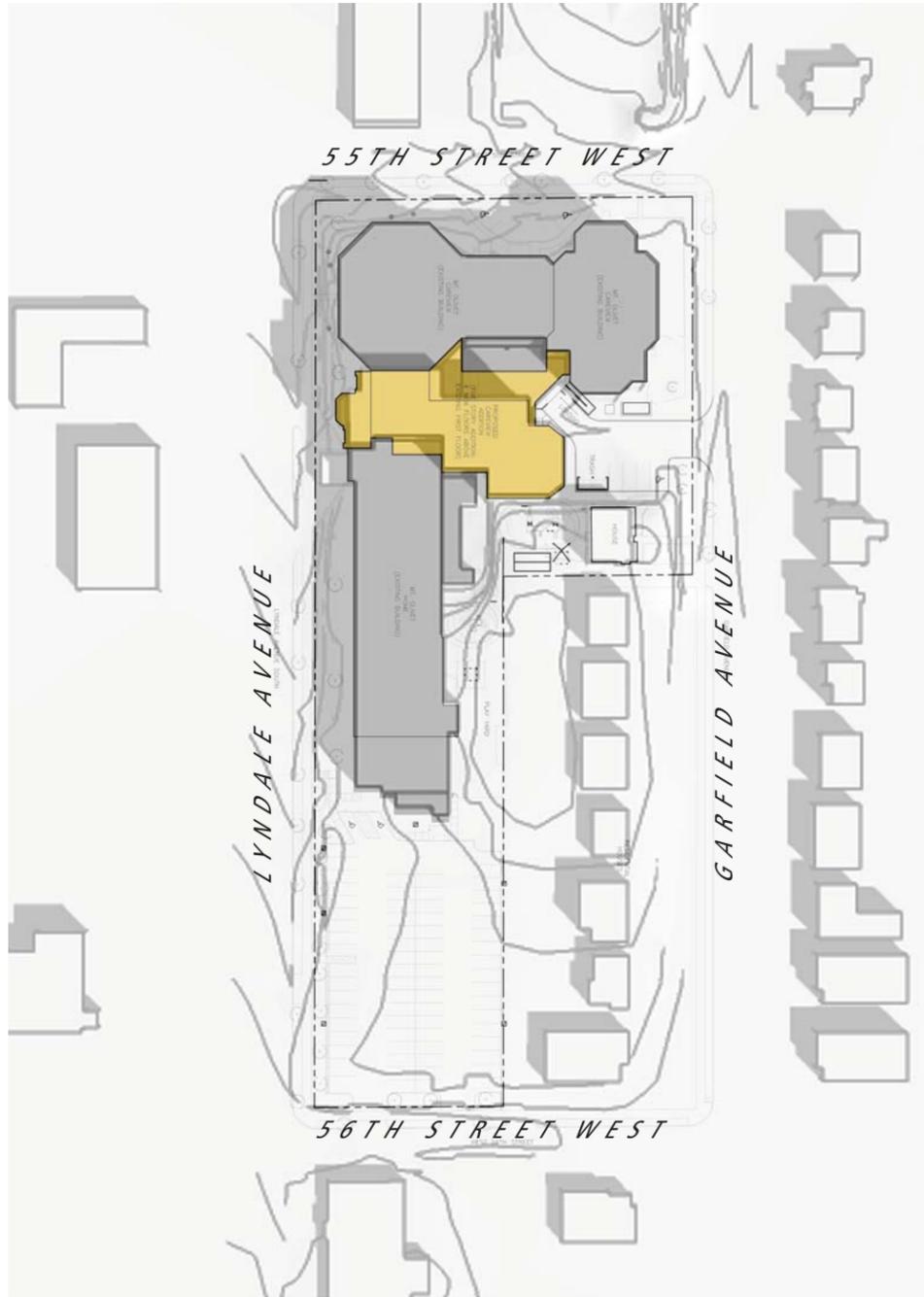


SUNRISE +1 HOUR ON SUMMER SOLSTICE

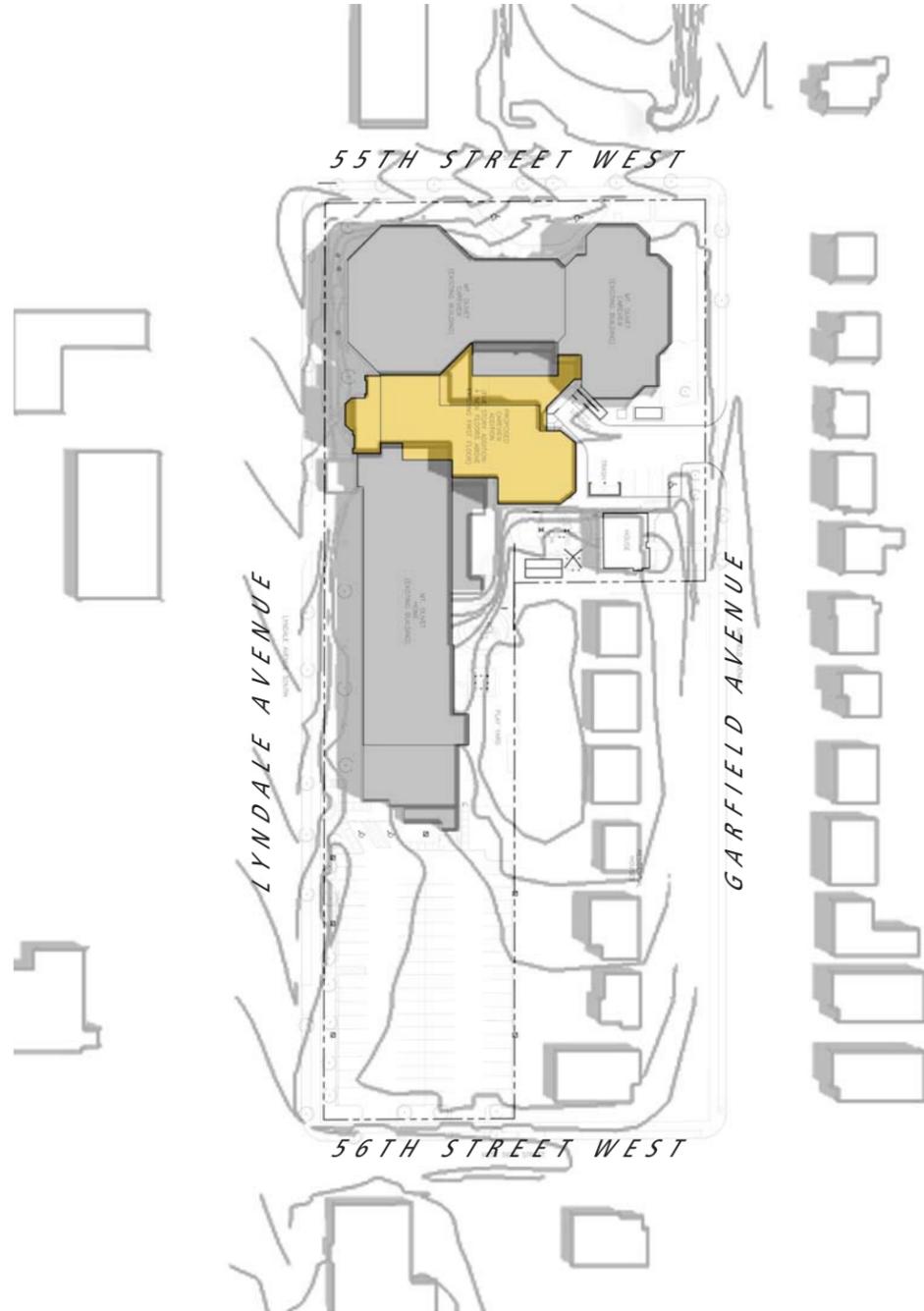


SUNRISE +1 HOUR ON WINTER SOLSTICE

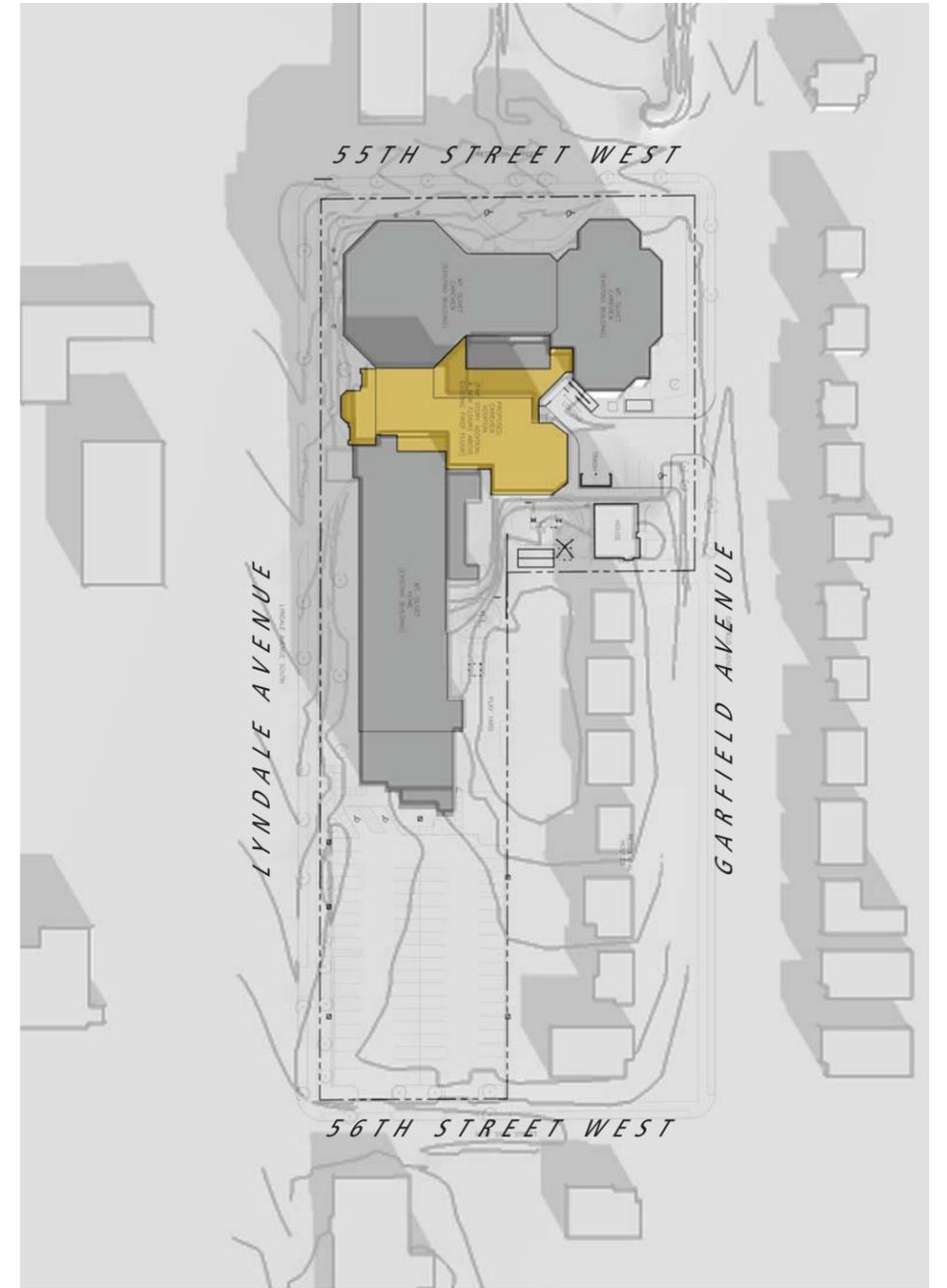
PROPOSED ADDITION FOR MOUNT OLIVET CAREVIEW - SUN SHADOW STUDY



NOON ON AUTUMNAL / VERNAL EQUINOX

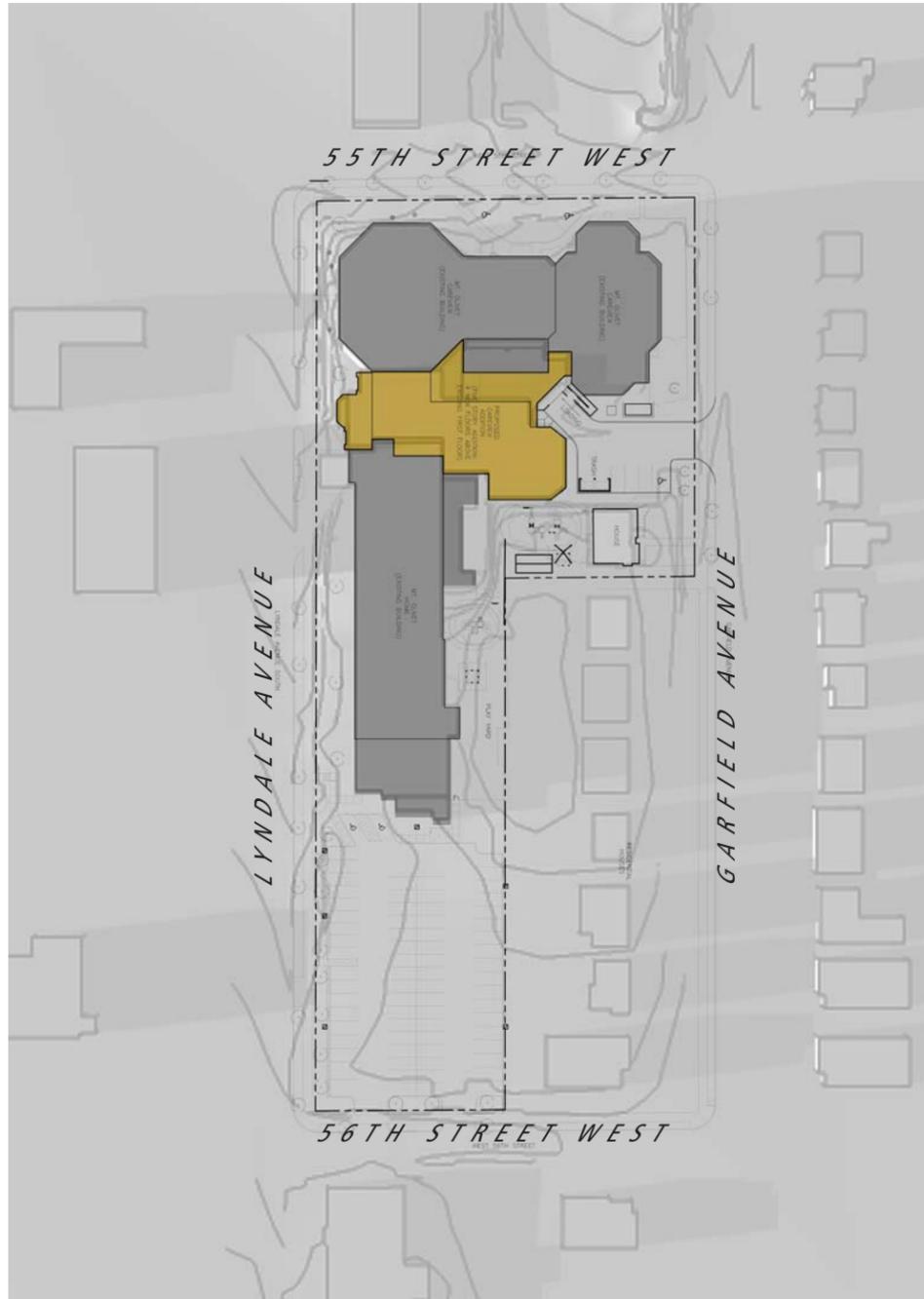


NOON ON SUMMER SOLSTICE

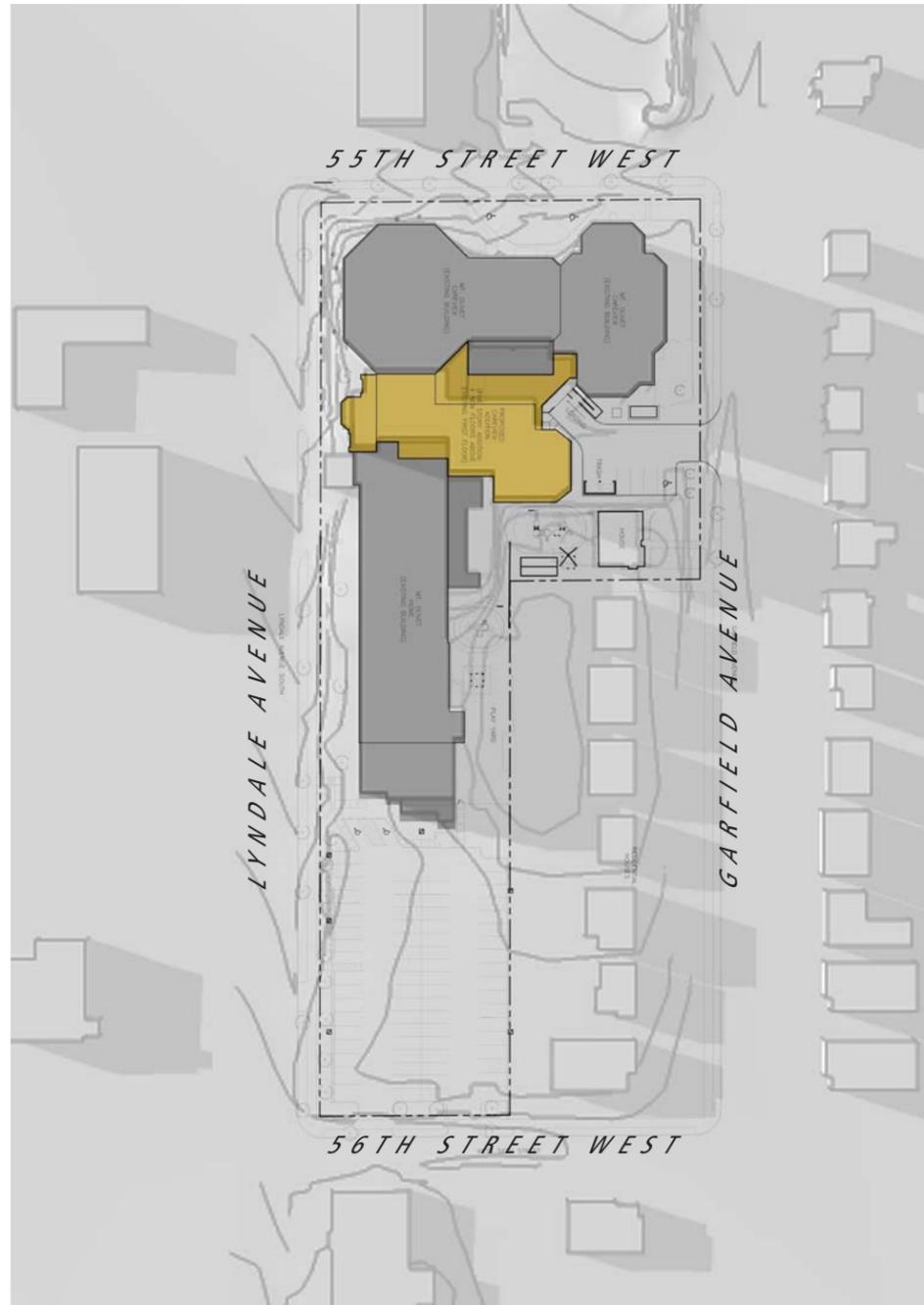


NOON ON WINTER SOLSTICE

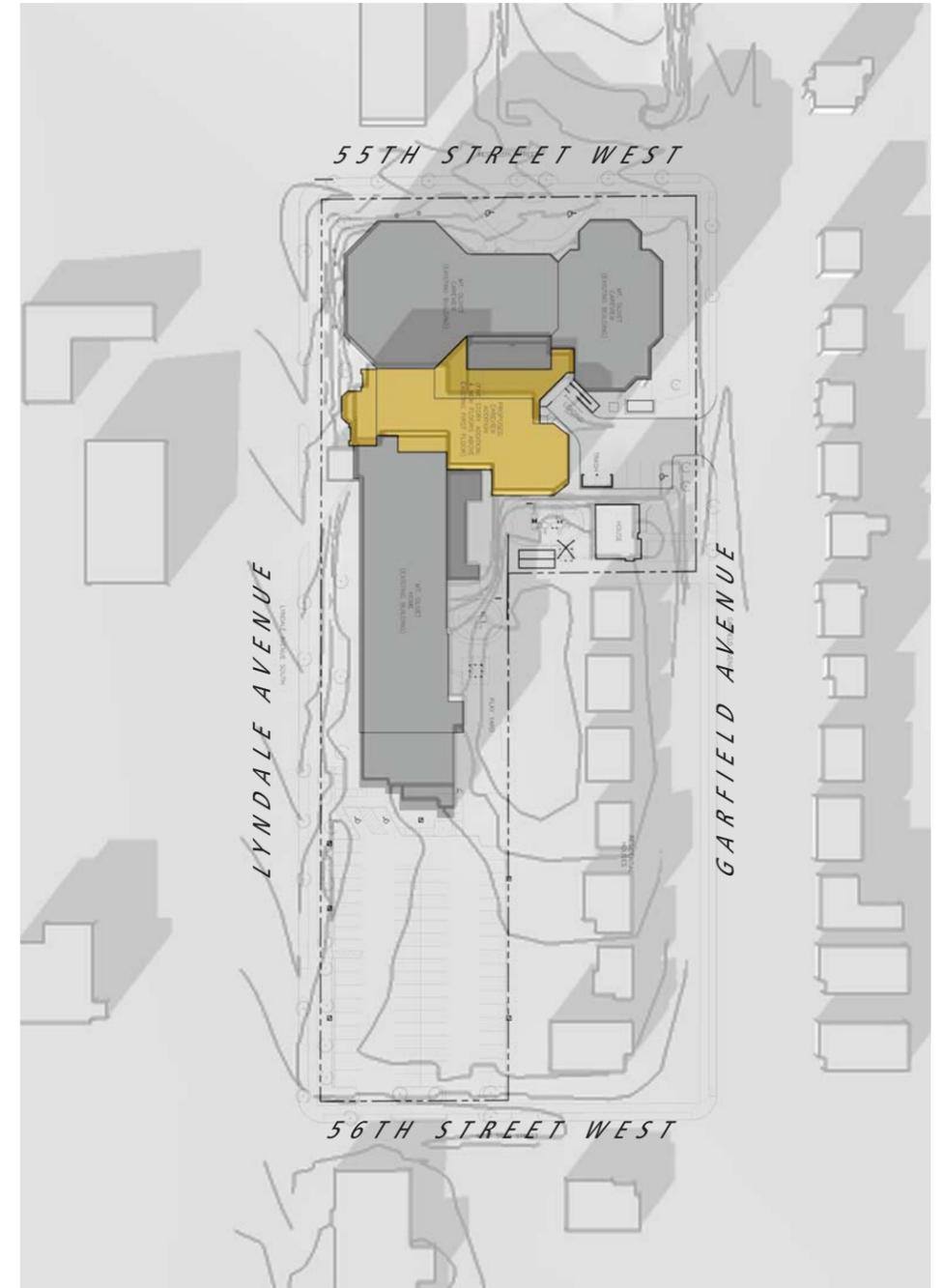
PROPOSED ADDITION FOR MOUNT OLIVET CAREVIEW - SUN SHADOW STUDY



SUNSET - 1 HOUR ON AUTUMNAL / VERNAL EQUINOX



SUNSET - 1 HOUR ON SUMMER SOLSTICE



SUNSET - 1 HOUR ON WINTER SOLSTICE

PROPOSED ADDITION FOR MOUNT OLIVET CAREVIEW - SUN SHADOW STUDY

Mount Olivet Careview Home
5517 Lyndale Avenue South, Minneapolis, MN 55419
PHOTOS OF PROPERTY AND EXISTING STRUCTURES

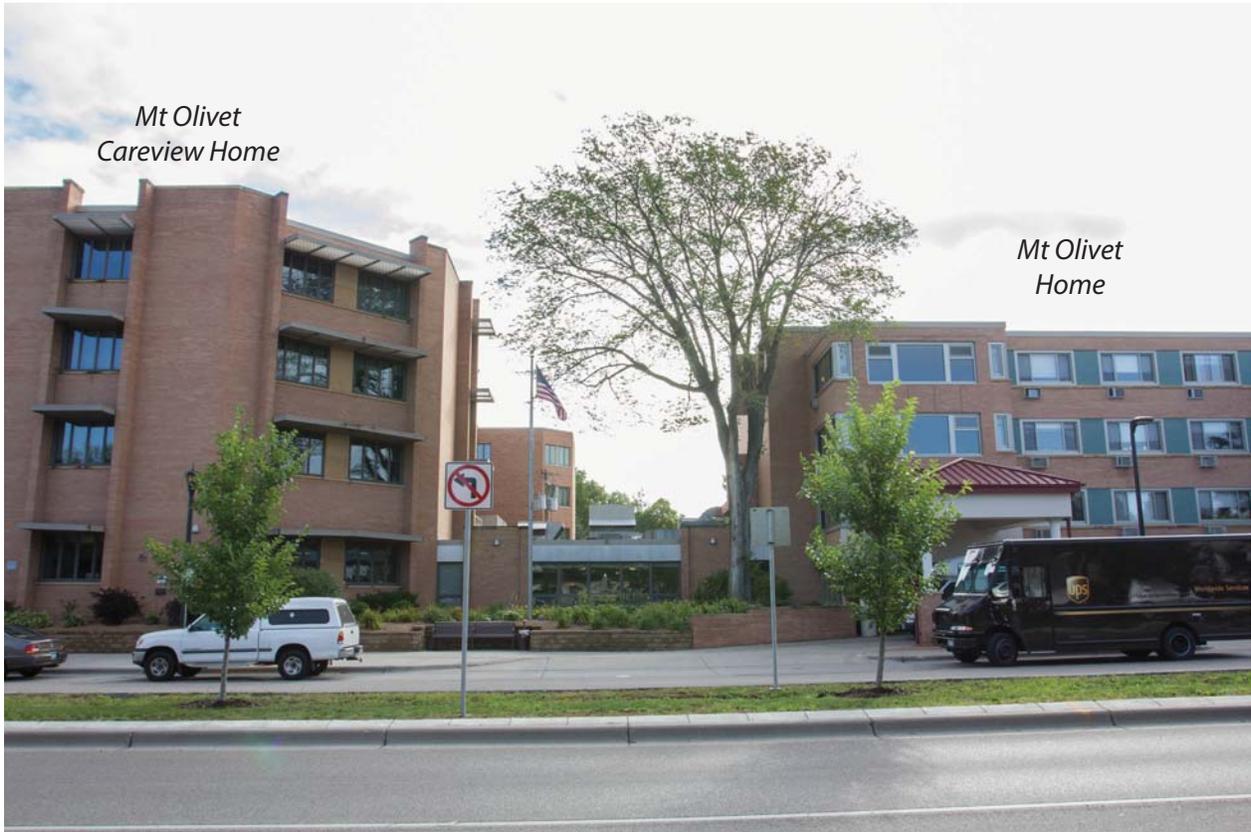


Careview Entrance - South View from West 55th Street



Careview - Southeast View from Corner of Lyndale & West 55th Street.

Mount Olivet Careview Home
5517 Lyndale Avenue South, Minneapolis, MN 55419
PHOTOS OF PROPERTY AND EXISTING STRUCTURES



View East from Lyndale Ave - Section where 5 story addition will connect two buildings



View Southeast from Lyndale - Showing Mt. Olivet Home and patio on sidewalk.

Mount Olivet Careview Home
5517 Lyndale Avenue South, Minneapolis, MN 55419
PHOTOS OF PROPERTY AND EXISTING STRUCTURES



View North from Lyndale Ave - Mount Olivet Home with pedestrian benches



View North from Lyndale - Bicycle locking

Mount Olivet Careview Home
5517 Lyndale Avenue South, Minneapolis, MN 55419
PHOTOS OF PROPERTY AND EXISTING STRUCTURES



Mount Olivet Home - View North showing Mt. Olivet Day Services Entrance



View West from Garfield Ave - Section where 5 story addition will connect two buildings (delivery access)

Mount Olivet Careview Home
5517 Lyndale Avenue South, Minneapolis, MN 55419
PHOTOS OF PROPERTY AND EXISTING STRUCTURES



Mount Olivet Careview Home - Mounted Sign on W 55th Street



Mount Olivet Home - Mounted Sign on Lyndale Avenue



Mount Olivet Day Services - Mounted Sign facing W 56th Street



Mount Olivet Careview Home - Monument Sign at Corner of Lyndale & W 55th Street

Dear City Planning Commission:

12/01/15

As a Minneapolis resident living in the Windom neighborhood, I am writing to request the City Planning Commission extend the review period for the land use application by Mount Olivet Careview Home referenced in Kimberly Holien's CPED Staff Report BZZ-7408. I believe further research is needed to evaluate the necessity of the variances and conditional use permits requested by Mount Olivet, and to better understand the neighborhood impacts of this project.

While I understand Mount Olivet's desire to make improvements to their facility, it is not clear why they must build a structure that does not adhere to city codes. Those rules are in place for a reason. Circumventing the city codes sets a harmful precedent and could negatively alter the character of our neighborhood.

It is my understanding that Mount Olivet has been working on their building plans for more than one year. Yet, neighborhood residents only recently learned of the plans and have been provided only a limited amount of detail regarding the project. Additionally, residents of Garfield Avenue have read the application and found inconsistencies between the application and the reality of the existing and planned structures involved in this project.

As this project has the potential to impact property values, tax revenue for the city and our daily lives, we respectfully request the City Planning Commission take a closer look at the short- and long-term implications of this project on our neighborhood.

When I was first made aware of this project, it was described as a mezzanine that would connect the two buildings. As more information filtered in, I was surprised to learn of the magnitude of the project. It had a strong feeling of deception which is also why I would ask that you "take a closer look" as per above.

Sincerely,

Mike Bohn

5531 Garfield Ave,

Mpls, MN 55419

Holien, Kimberly

From: Kusz, Lisa M.
Sent: Tuesday, December 01, 2015 8:16 AM
To: Holien, Kimberly
Subject: FW: Comments on Mt Olivet Care Home Building Plans

From: Barry Epstein [<mailto:barryepstein97@gmail.com>]
Sent: Monday, November 30, 2015 9:57 PM
To: Kusz, Lisa M.; Quincy, John; Council Members
Cc: Graham, Karen; Megan Cox
Subject: Comments on Mt Olivet Care Home Building Plans

Dear City Planning Commission:

As a Minneapolis resident living in the Windom neighborhood, I am writing to request the City Planning Commission extend the review period for the land use application by Mount Olivet Careview Home referenced in Kimberly Holien's CPED Staff Report BZZ-7408. I believe further research is needed to evaluate the necessity of the variances and conditional use permits requested by Mount Olivet, and to better understand the neighborhood impacts of this project.

While I understand Mount Olivet's desire to make improvements to their facility, it is not clear why they must build a structure that does not adhere to city codes. Those rules are in place for a reason. Circumventing the city codes sets a harmful precedent and could negatively alter the character of our neighborhood.

It is my understanding that Mount Olivet has been working on their building plans for more than one year. Yet, neighborhood residents only recently learned of the plans and have been provided only a limited amount of detail regarding the project. Additionally, residents of Garfield Avenue have read the application and found inconsistencies between the application and the reality of the existing and planned structures involved in this project.

As this project has the potential to impact property values, tax revenue for the city and our daily lives, we respectfully request the City Planning Commission take a closer look at the short- and long-term implications of this project on our neighborhood.

Sincerely,

Barry Epstein

5527 Garfield Ave So, Mpls 55419

Holien, Kimberly

From: Kusz, Lisa M.
Sent: Tuesday, December 01, 2015 8:16 AM
To: Holien, Kimberly
Subject: FW: Comments on Mt. Olivet CareHome Application

From: Megan Cox [<mailto:megancox.09@gmail.com>]
Sent: Tuesday, December 01, 2015 4:48 AM
To: Kusz, Lisa M.; Quincy, John; Council Members
Cc: Graham, Karen
Subject: Comments on Mt. Olivet CareHome Application

Dear City Planning Commission:

As a Minneapolis resident living in the Windom neighborhood, I am writing to request the City Planning Commission extend the review period for the land use application by Mount Olivet Careview Home referenced in Kimberly Holien's CPED Staff Report BZZ-7408. I believe further research is needed to evaluate the necessity of the variances and conditional use permits requested by Mount Olivet, and to better understand the neighborhood impacts of this project.

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As this project has the potential to impact property values, tax revenue for the city and our daily lives, we respectfully request the City Planning Commission take a closer look at the short- and long-term implications of this project on our neighborhood.

I believe there may be a solution that is beneficial for both Mt Olivet and Garfield residents, but we need the time to explore options. Therefore, I am requesting an extension of the application period from the City Planning Commission.

Sincerely,

--
Megan Cox
5519 Garfield Ave
Minneapolis, MN 55419
c. 612-300-9020

Holien, Kimberly

From: Kusz, Lisa M.
Sent: Tuesday, December 01, 2015 8:16 AM
To: Holien, Kimberly
Subject: FW: Mt. Olivet Expansion

From: Philip Smith [<mailto:phil.smith410@gmail.com>]
Sent: Tuesday, December 01, 2015 6:33 AM
To: Kusz, Lisa M.; Quincy, John; Council Members
Cc: Karen Graham; Megan Cox
Subject: Mt. Olivet Expansion

Dear City Planning Commission:

As a Minneapolis resident living in the Windom neighborhood, I am writing to request the City Planning Commission extend the review period for the land use application by Mount Olivet Careview Home referenced in Kimberly Holien's CPED Staff Report BZZ-7408. I believe further research is needed to evaluate the necessity of the variances and conditional use permits requested by Mount Olivet, and to better understand the neighborhood impacts of this project.

While I understand Mount Olivet's desire to make improvements to their facility, it is not clear why they must build a structure that does not adhere to city codes. Those rules are in place for a reason. Circumventing the city codes sets a harmful precedent and could negatively alter the character of our neighborhood.

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As this project has the potential to impact property values, tax revenue for the city and our daily lives, we respectfully request the City Planning Commission take a closer look at the short- and long-term implications of this project on our neighborhood.

Sincerely,

Philip Smith

5544 Garfield Ave.

Minneapolis, MN 55419