

**Interim Use Permit Statement of Proposed Use & Description of the Property:**  
@718 Broadway for Sanctuary Church Adjacent Principle Parking Facility

Sanctuary Covenant Church's vision for the past 10+ years has been to be a place of reconciliation in the heart of North Minneapolis. Just take a look at their website (<http://sanctuarycov.org/who-we-are/>) to get a feel for their history and heart to serve the community of North Minneapolis. The selection of the current site under consideration at West Broadway and Aldrich Avenue has been a careful and deliberate choice of a place that bridges between the residential and commercial: a place that makes connections between families and economic opportunities; of individual lives and that of the broader community and city.

The church has a long history of partnerships with community-serving organizations and volunteers that bring their shared assets and resources to North Minneapolis for good...not just profit. They are here to encourage and empower through relational counseling and mentoring, training in job and life skills that build stronger families, businesses and community.

Their persistence in pursuing this site, despite initial staff concerns, speaks to a heart to do GOOD things in this neighborhood, even when it may be difficult and complex. The church is made up of local neighbors and business men and women who share a vision and strategy for transforming the long-empty lots along West Broadway to places of living and growing relationship-building community...not to merely collect development grant money and leave, or merely to profit from rent, or selling good and services, but mainly to be a place of encouragement and empowerment, knowing that "it is better to give than to receive" and to treat your neighbor as you would like to be treated...

That is at the heart of this effort to invest several millions of dollars to first establish the church building as a relationship-building and serving center along the "neighborhood" edge of West Broadway. The future south "West Broadway Building" would be planned through the leadership of the church in partnership with other community-supporting retail sales (i.e. coffeehouse?) and services (i.e. business & financial, professionals, etc.), and housing (affordable) along West Broadway Ave. The time frame of this work still needs to be determined within the 5- year parameters of the Interim Use Permit Authorization.

Sanctuary is committed to work with the community and city to realize the long-term vision of the West Broadway Alive! Plan... Not just in it's physical forms, but also by investing in the deeper, personal aspects of community that are needed to make the most of the Comprehensive Plan's goals to create a safer, more sustainable, healthier, efficient community with the benefits of residential eyes on the streets, less dependence on individual cars, and effective higher density living. Improved buildings & businesses benefit from stronger relationships and Sanctuary Covenant Church is committed to helping North Minneapolis build both.

The “split-zoning” of the church’s site works well with the efficiency of reusing and expanding an existing building on the North Portion of the site for the initial church phase, with MINIMUM parking to be established mid-block that allows for shared parking with future building growth... in conformance with the requirements of the Zoning and Comprehensive Plan. The proposed Variance and Interim Use Permit allow the otherwise conforming parking that serves the church use to precede its shared off-peak use for a 3-story minimum +/- 33,000 sf retail/service/office housing building to come to the south portion of the site along West Broadway. The church is committed to long term, community centered growth, that fulfills and complements the West Broadway Alive! Plan.

We are amazed that the south portion of the site has stood empty for almost 10 years as developers have come and gone in trying to make the financial and regulatory requirements work together to bring good things to the site. The church is eager to work with the Hawthorne and Eastside Neighborhood Councils and West Broadway Business & Area Coalition to develop the south portion of the site, starting with the shared mid-block parking with new on-site storm water management, landscaping and lighting. The Interim Use Permit approval allows up to 5 years of time to mobilize and develop the long term building plans and partnerships... but would allow the church to immediately cleanup the former White Castle site with an interim use within the “garden footprint” of the future building... to be determined in concert with the community.

Preliminary calculation show that the proposed 50-stall parking lot satisfies the minimum parking requirements for the weekly church assembly use, with the same stalls serving the weekday and evening off-peak need of the future non-church uses. While the Zoning Code allows for up to a maximum of 200 stalls for the church use alone, Sanctuary wants to make the most of shared parking agreements with commercial neighbors to share the use of existing underutilized parking stalls...This minimal parking scope and shared strategy are at the heart of the comprehensive plan and just makes good sense. That said, the plan does caution about taking away too much parking and we see a need to maintain the minimum parking adjacent to the church as good hosts for visitors as well as a possible safe off-street game court, out-door gathering place, or simply for reliable church or neighborhood parking at off peak time.

We think that the proposed Use, Plans, and Growth strategy for this site with Sanctuary church makes sense, fulfills the long term goals of the comprehensive plan, and would be a way of immediately redeeming a useful asset for and with the community. We have sought the input and support of the City Staff , neighborhood resident and business groups , and look forward to telling our story through the approval process as Sanctuary continues it’s mission to serve and improve life in North Minneapolis at the corner of Aldrich and West Broadway. We appreciate your consideration and support in this work.

## **Interim Use Response to Conditional Use Findings Questions**

718 West Broadway for Sanctuary Covenant Church 12/22/15

by Tom Peterson Station 19 Architects, Inc.

### ***(1) The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, comfort or general welfare.***

The proposed parking layout for the Interim Use Permit satisfies the above by allowing the church to provide the minimum required parking on their own property without pedestrians needing to cross streets or sidewalks. On-Street parking and additional Off-Site shared parking agreements can manage additional parking needs, but the Interim Use Permit allows the safest and most accessible parking situation. The proposed parking layout is planned to serve a future building located on the South Portion of the site with the same benefits shared with that future building's users and guests at off-peak times through a shared parking agreement.

### ***(2) The conditional use will not be injurious to the use and enjoyment of other property in the vicinity and will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.***

The proposed parking layout satisfies the above by meeting the parking requirements for the Church use, under the same ownership on the North Zoning Lot portion of the site, as well as also having the capacity to serve the accessory shared parking requirements of a future on-site building along West Broadway in conformance with the C3S and West Broadway Overlay District requirements.

### ***(3) Adequate utilities, access roads, drainage, necessary facilities or other measures, have been or will be provided.***

We have provided full civil engineering documentation to provide confidence in addressing the above requirements with standard city templates for removal and repair of existing drives and walks in the public right of way. The storm water management calculations include the anticipated the future build-out of the south building of 11,000 sq. ft. along the south lot line with a 7' walk along the south edge of parking and west of building at corner.

### ***(4) Adequate measures have been or will be taken to minimize traffic congestion in the public streets.***

The proposed reduced parking area and concentration at the mid-block location allows a single 25' two-way drive to service the parking and loading off of Aldrich Ave with minimum impact to the neighborhood to the north. The proposed plan removes vehicle site access from West Broadway to ease traffic congestion and potential pedestrian hazard at sidewalk crossing.

### ***(5) The conditional use is consistent with the applicable policies of the comprehensive plan.***

Our approach to the site development at 718 West Broadway is that we are preparing for a future Mixed-Use Building along West Broadway that complies with the C3S and West Broadway Overlay District requirements in Use, Parking, and Site & Building Development Guidelines. We are convinced that proposed permitted uses and site design from West Broadway to 21<sup>st</sup> Ave N provides an appropriate bridge & buffer from Residential

Neighborhood to Mixed Use Commercial with a Owner that continues their 10+ Year commitment to serving and improving both individual and community life and business in North Minneapolis.

We feel that the proposed Interim Use for the proposed parking area meets the applicable policies of the West Broadway Alive! West Small Area Plan and broader Comprehensive Plan in preparation for a future 3-4 story Min. 33,000+ sq. ft. (FAR=1.0+) Mixed-Use South building with Ground Floor Commercial Business and 2-3 stories of 28-42 units of housing above.

The partnerships to occupy the building are still being formed, but the Interim Use Permit's approval and limited term provides the foundation and incentive to quickly formalize these partnerships in order to bring their financial, organizational, and personal assets to the serve and support North Minneapolis community life.

With the South Building the Interim Principle Parking Use will transition to serve the already the permitted accessory on-site parking requirements for the future South Building along West Broadway, as well as the minimum on-site parking requirements for the Church Use on the North Zoning Lot portion of the site.

We feel the proposed use of the site embodies **Policy 2.8** to “*Balance the demand for parking with objectives for improving the environment for transit, walking, and bicycle, while supporting the city’s business community*”...including the social service and charitable work of a community-serving and racial-reconciling local church.

We feel that the proposed plan would work towards generally fulfilling the Minneapolis Comprehensive Plan & West Broadway Alive Small Area Plan policies & descriptions and specifically:

*1.4 Minneapolis will encourage activities that rely on coordinated programming and facilities use with community partners in the volunteer, nonprofit and private sectors.*

*4.4 Minneapolis will continue to provide a wide range of goods and services for city residents, to promote employment opportunities, to encourage the use and adaptive reuse of existing commercial buildings, and to maintain and improve compatibility with surrounding areas.*

*9.6 Minneapolis will work with private and other public sector partners to invest in new development that is attractive, functional and adds value to the physical environment.*

*9.15 Minneapolis will protect residential areas from the negative impact of non-residential uses by providing appropriate transitions.*

*9.16 Minneapolis will encourage new development to use human scale design features and incorporate sunlight, privacy, and view elements into building and site designs.*

*9.28 Minneapolis will support development in commercial corridors where it enhances the street’s character, improves its ability to accommodate automobile traffic and foster pedestrian movement, and expands the range of goods and services offered.*

**With the proposed future south Mixed- Use building:**

*4.9 Minneapolis will grow by increasing its supply of housing.*

*4.10 Minneapolis will increase its housing that is affordable to low and moderate income households.*

*4.11 Minneapolis will improve the availability of housing options for its residents.*

**From the West Broadway Alive! Plan:  
Development Guidelines Chapter 9.**

*Parking for new buildings should not be located between the building and the street. It should be located in a parking structure or on a surface lot situated adjacent to or behind the new building. Block-specific parking lots should be identified and parking associations should be developed to ensure their maintenance. Safety should be addressed by providing identifiable, well lit, and well maintained pedestrian routes between the parking lot and store entrances. Bicycle parking should typically be provided for every new development, and should be available for every commercial area on West Broadway.*

**West Broadway Alive! “Future Land Use Plan” & Map 1.1 Land Use Map:**

- North OR2 Zoning Lot - “Urban Neighborhood” w/ “Urban Oriented” development Intensity
  - **Urban Neighborhood (UN)**— *Predominantly residential area with a range of densities, with highest densities generally to be concentrated around identified nodes and corridors. May include undesignated nodes and some other small-scale uses, including neighborhood-serving commercial and institutional and semi-public uses (for example, schools, community centers, **religious institutions**, public safety facilities, etc.) scattered throughout.*
- South C3s Zoning Lot- “Mixed Use” w/ “Transit Oriented” development Intensity
  - **Mixed Use (MU)**— *Allows for mixed use development, including mixed use with residential. Mixed use may include either a mix of retail, office or residential uses within a building or within a district. There is no requirement that every building be mixed use.*

***(6) The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.***

The proposed parking layout is designed to meet the Chapter 530 Site Plan Design requirements and other district specific requirements. The Interim Use Permit will provide the minimum required off-street parking requirements of the Church use, under the same ownership on the North Zoning Lot portion of the site, as well as also having the capacity to serve the as the accessory shared parking requirements of a future south building along West Broadway. Area, height, and possible shared parking requirements for that building should be able to be in conformance with the C3S and West Broadway Overlay District and would be approved under Site Plan Review at that time . Until that building is constructed the Interim Use would allow the parking to be built first, as an interim Principle Parking Facility.

Staff has initially confirmed that Alternate Compliance for the north landscape & screening requirement is provided by a 7’ wide walk that could be removed and serve as a future screened landscape yard if ownership of the two lots were ever separated. The lot is proposed to be under the control and use of the same Owner at this time and into the future.

## **Interim Use Statement Addressing the Interim Use Conditions and Guarantees**

1. It is understood that the interim use of the site as a Principle Parking Facility shall be allowed as a Conditional Use in the South Zoning Lot portion of the proposed site zoned C3S and within the West Broadway Overlay District. The proposed interim use accommodates the minimum required accessory off-street parking requirement for the proposed religious assembly use on the North Zoning Lot of the Site zoned OR2, and would also serve as shared on-site accessory parking for a future building located on the south portion of the South Zoning Lot.

2. It is understood that, except as otherwise authorized by this section, this interim use shall conform to this zoning ordinance as if it were established as a conditional use.

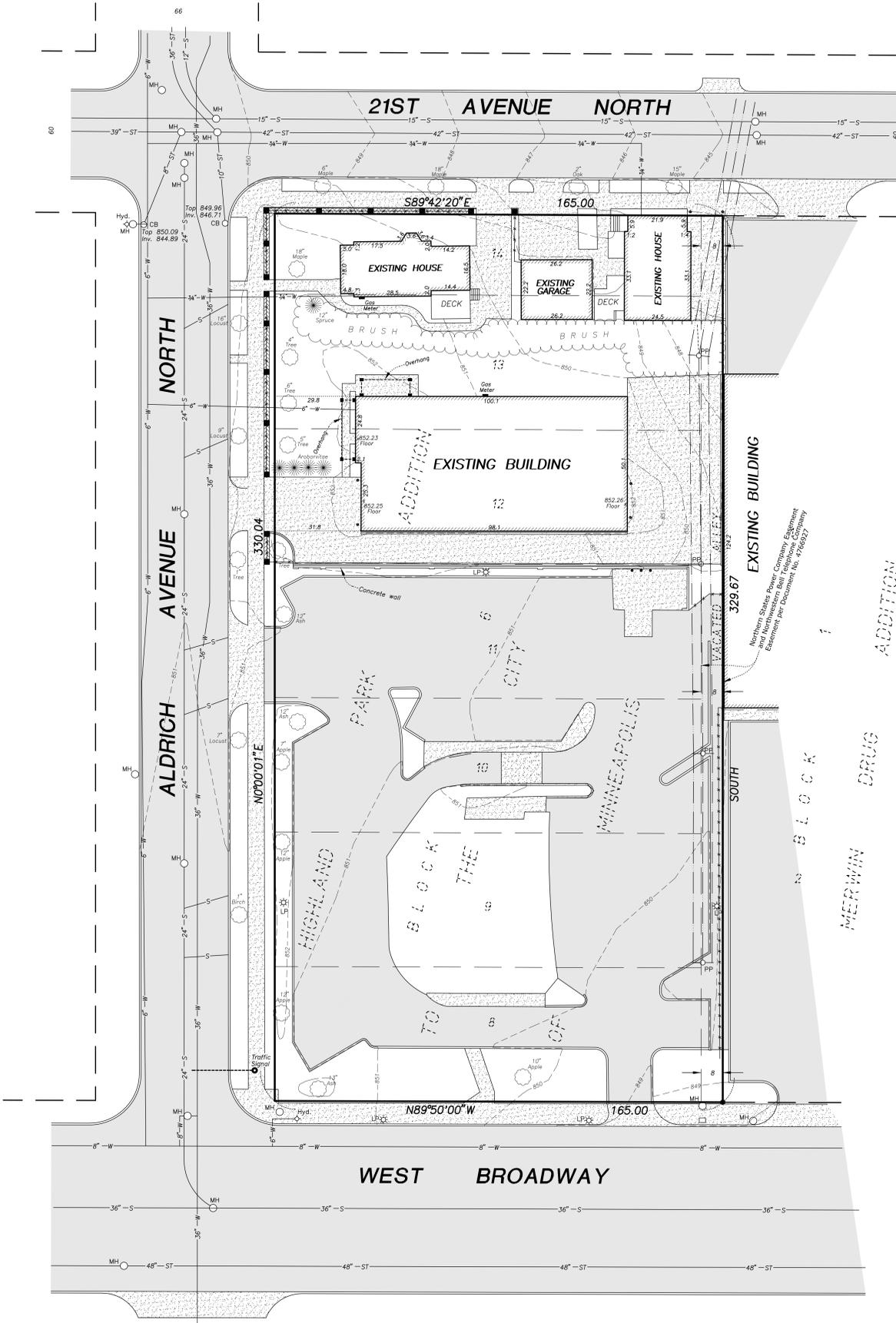
3. It is understood that the date or event that will terminate the interim use shall be identified with certainty. Interim uses may not be granted for a period of greater than five (5) years.

4. It is understood that In the event of a public taking of property after the interim use is established, the property owner shall not be entitled to compensation for any increase in value attributable to the interim use.

5. It is understood that such conditions and guarantees as the city council deems reasonable and necessary are to protect the public interest and to ensure compliance with the standards and purposes of this zoning ordinance and policies of the comprehensive plan. It is the intent of the applicant that the proposed interim use would provide the permanent shared accessory parking for a future building on the south portion of the site in conformance with the zoning requirements of the C3S and West Broadway Overlay District and policies of the with the Broadway Alive! Small Area Plan as a part of Minneapolis' Comprehensive Plan.



# Boundary and Topographic Survey for: SANCTUARY COVENANT CHURCH



### NOTES

- \* Bearings shown are based on the plat of MERWIN DRUG ADDITION.
- \* Utilities shown are from information furnished by the City of Minneapolis and respective utility companies in response to Gopher State One Call Ticket No. 152890757 and are verified where possible.
- \* Contact Gopher State One Call for utility locations before any construction shall begin. Phone 651-454-0002.
- \* Area = 54,425 square feet (1.25 acres).

### LEGEND

- Iron Monument Found
- S — Sanitary Sewer
- ST — Storm Sewer
- W — Watermain
- Hyd. ◊ Hydrant
- GV • Gate Valve
- MH ○ Manhole
- CB ○ Catch Basin
- Inv. Invert Elevation
- Guard Post
- PP ○ Power Pole
- LP ✖ Light Pole
- Electrical Transformer
- ▨ Concrete Surface
- ▩ Bituminous Surface

**UTILITY STATEMENT**

The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated, although he does certify that they are shown as accurately as possible from information available. The surveyor has not physically located the underground utilities.

### PROPERTY DESCRIPTION

Lots 8, 9, 10, 11, 12, 13 and 14, Block 6, HIGHLAND PARK ADDITION TO THE CITY OF MINNEAPOLIS, together with the West Half of the vacated alley adjacent thereto.

I hereby certify that this survey was prepared by me or under my direction and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Dated this 23rd day of October, 2015

REHDER & ASSOCIATES, INC.

*Gary C. Huber*

Gary C. Huber, Land Surveyor

Minnesota License No. 22036

Revised November 17, 2015 to show NSP and Northwestern Bell Easement

**Rehder and Associates, Inc.**

CIVIL ENGINEERS AND LAND SURVEYORS  
3440 Federal Drive • Suite 110 • Eagan, Minnesota • Phone (651) 452-5051

JOB: 154-2876.010

# THE SANCTUARY

## MINNEAPOLIS, MN

### PROJECT TEAM

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 Station 19 Architects, Inc.  
 2001 University Ave. S.E. Suite 100  
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 PH:(612) 623-1800  
 FAX:(612) 623-0012

**LANDSCAPE DESIGN**  
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 318 Cedar Street  
 Saint Paul, MN 55101  
 PH: 651-294-0038

**CIVIL ENGINEER / SURVEYOR**  
 Rehder & Associates, Inc.  
 3440 Federal Drive, Suite 110  
 Eagan, MN 55122  
 PH: 651-452-5051  
 FAX: 651-452-9797

### LOCATION MAP



### INTERIM USE PERMIT SUBMITTAL

**T1** TITLE SHEET

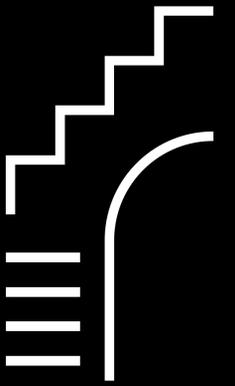
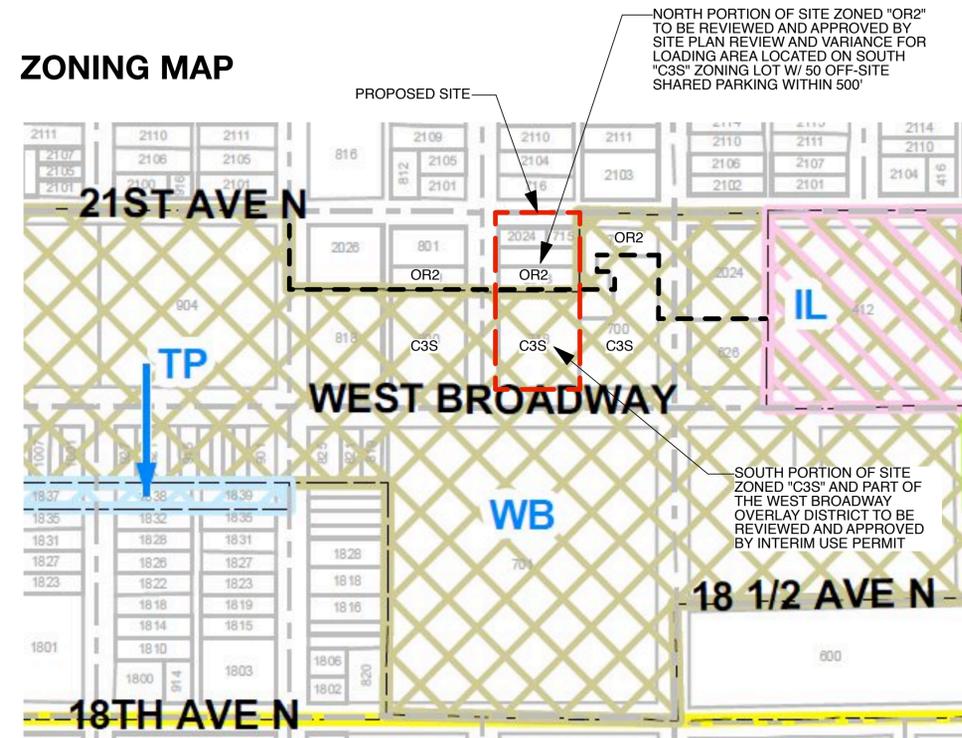
#### CIVIL

- C1** DEMOLITION & EROSION CONTROL PLAN
- C2** SITE DIMENSION PLAN
- C3** GRADING DRAINAGE AND UTILITY PLAN

#### LANDSCAPE & LIGHTING

- L1.1** LANDSCAPE PLAN
- L1.2** LANDSCAPE DETAILS
- L2** SITE LIGHTING PLAN

### ZONING MAP



## STATION NINETEEN

Architects - Incorporated

2001 UNIVERSITY AVENUE, SOUTHEAST SUITE 100

MINNEAPOLIS, MINNESOTA 55414

PHONE (612) 623.1800  
 FAX (612) 623.0012

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Registered Architect under the laws of the state of:

MINNESOTA

SIGNATURE

ARCHITECT: **TOM PETERSON**

REGISTRATION NUMBER: **44417**

DATE: **12/11/2015**

DRAWN BY: **MM**

CHECKED BY: **NT**

PROJECT TITLE

**SANCTUARY COVENANT CHURCH**

MINNEAPOLIS, MINNESOTA

Project Number **4469**

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No.	Date	Appr	Revision Notes
1	11/23/2015		PDR SUBMITTAL

No.	Date	Issue Notes

Phase

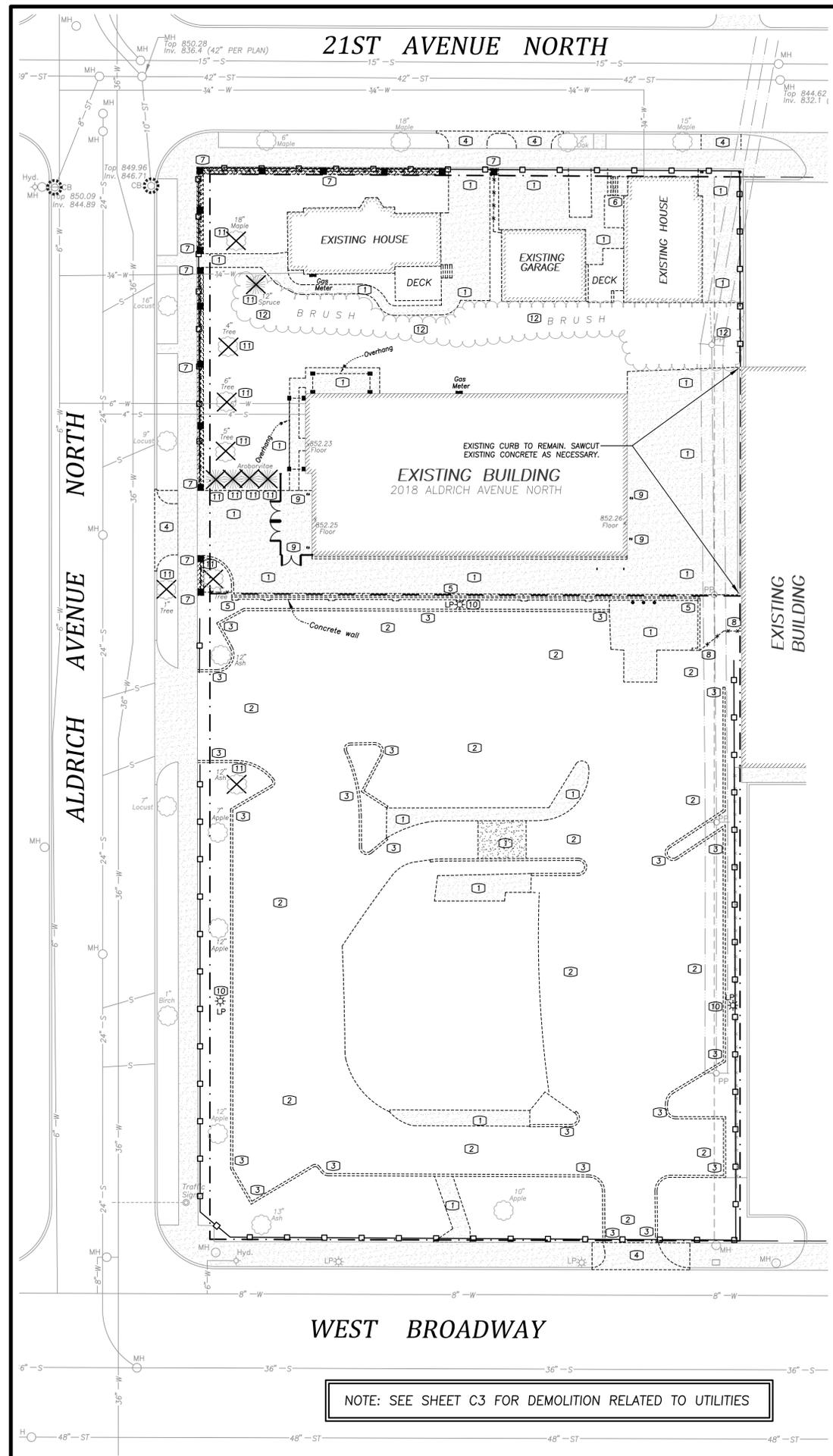
**SITE PLAN REVIEW**

Sheet Title

**TITLE BLOCK**

Drawing No.

**T1**



**GENERAL PLAN NOTES**

1. State law: 48 hours before excavating, call gopher one-call, 651-454-0002, for field location of underground utility lines. This is a free service which locates utility company lines but does not locate private lines. Contractors excavating on site shall provide for locating of private lines, including privately owned lines, by contractor service or other suitable means.
2. Contractor is responsible for providing all O.S.H.A. Safety measures during underground work. This includes providing and maintaining barricades and warning signs, and maintaining appropriate angle of repose on all exposed trenches to protect person and property. Provide shoring and sheeting as required.
3. Contractor shall be responsible for locating and protection of existing structures and utilities as required during excavation and underground work.
4. Contractor shall be responsible for disposal of all excavated material not suitable for backfill and all excess material remaining after backfilling has been completed.
5. Contractor shall be responsible for establishing existing site conditions including elevations, grades, finished surfaces and existing utilities. All areas affected during construction shall be returned to their original condition upon completion of underground work.
6. Contractor shall be responsible for obtaining and paying for all permits required prior to beginning work.
7. Field verify all elevations, dimensions and distances.
8. An obstruction permit is required anytime construction work is performed in the Public right-of-way. Please contact Scott Kramer at 612-673-2383 regarding details of sidewalk and lane closures. Log on to <http://minneapolis.mn.roadway.net/> for a permit.
9. Contact Tim Drew at 612-673-2152 prior to construction for the temporary removal/temporary relocation of any City of Minneapolis signal system that may be in the way of construction.
10. Contact Bill Prince at 612-673-3901 regarding impacts to the existing street lighting system.
11. Contact Doug Maday at 612-673-5755 prior to construction for the removal of any City of Minneapolis right-of-way signs that may be in the way of construction.
12. Permits and approval are required from Environmental Services for the following activities: After hours work, temporary storage of impacted soils on site prior to disposal or reuse, remediation of contaminated soil and groundwater, dewatering and discharge of accumulated storm water or ground water to City sewers, flammable waste traps, underground or above ground tank installation or removal, well construction or sealing, or on-site rock crushing. Contact Tom Frame at [tom.frame@ci.minneapolis.mn.us](mailto:tom.frame@ci.minneapolis.mn.us) for permit applications and approvals.
13. No construction, demolition or commercial power maintenance equipment shall be operated within the City between the hours of 6:00 p.m. and 7:00 a.m. on weekdays or during any hours on Saturdays, Sundays and state and federal holidays, except under permit. Contact Environmental Services at 612-673-3867 for permit information.

**MINNEAPOLIS STANDARD EROSION CONTROL NOTES**

1. Contractor must call a construction start 48 hours prior to any land disturbances 612-673-3867. Failure to do so may result in fines, the revocation of permit and a stop work order being issued.
2. Install perimeter erosion control at the locations shown on the plans prior to the commencement of any land disturbance or construction activities.
3. Before beginning construction, install a temporary rock construction entrance at each point where vehicles exit the construction site. Use 2 inch or greater diameter rock in a layer at least 6 inches thick across the entire width of the entrance. Extend the rock entrance at least 50 feet into the construction zone using a geo-textile fabric beneath the aggregate to prevent migration of soil into the rock from below.
4. Remove all soils and sediments tracked or otherwise deposited onto public and private pavement areas. Removal shall be on a daily basis when tracking occurs and may be ordered by Minneapolis inspectors at any time if conditions warrant. Sweeping shall be maintained throughout the duration of the construction and done in a manner to prevent dust being blown to adjacent properties.
5. Install inlet protection at all public and private catch basin inlets, which receive runoff from the disturbed areas. Contractor shall clean, remove sediment or replace storm drain inlet protection devices on a routine basis such that the devices are fully functional for the next rain event. Sediment deposited in and/or plugging drainage systems is the responsibility of the contractor. Hay bales or filter fabric wrapped grates are not allowed for inlet protection.
6. Locate soil or dirt stockpiles no less than 25 feet from any public or private roadway or drainage channel. If remaining for more than seven days, stabilize the stockpiles by mulching, vegetative cover, tarps, or other means. Control erosion from all stockpiles by placing silt barriers around the piles. Temporary stockpiles located on paved surfaces must be no less than two feet from the drainage/gutter line and shall be covered if left more than 24 hours.
7. Maintain all temporary erosion and sediment control devices in place until the contributing drainage area has been stabilized. Inspect temporary erosion and sediment control devices on a daily basis and replace deteriorated, damaged, or rotted erosion control devices immediately.
8. Temporarily or permanently stabilize all construction areas which have undergone final grading, and all areas in which grading or site building construction operations are not actively underway against erosion due to rain, wind and running water within 7-14 days. Use seed and mulch, erosion control matting, and/or sodding and staking in green space areas. Remove all temporary synthetic, structural, non-biodegradable erosion and sediment control devices after the site has undergone final stabilization with permanent vegetation establishment. Final stabilization for purposes of this removal is 70% established cover over denuded area.
9. Ready mixed concrete and concrete batch/mix plants are prohibited within the public right of way. All concrete related production, cleaning and mixing activities shall be done in the designated concrete mixing/washout locations as shown in the erosion control plan. Under no circumstance may washout water drain onto the public right of way or into any public or private storm drain conveyance.
10. Changes to approved erosion control plan must be approved by the erosion control inspector prior to implementation. Contractor to provide installation and details for all proposed alternate type devices.
11. If dewatering or pumping of water is necessary, the contractor is responsible for obtaining any necessary permits and/or approvals prior to discharge of any water from the site. If the discharge from the dewatering or pumping process is turbid or contains sediment laden water, it must be treated through the use of sediment traps, vegetative filter strips, or other sediment reducing measures such that the discharge is not visibly different from the receiving water. Additional erosion control measures may be required at the discharge point to prevent scour erosion. The contractor shall provide a dewatering/pumping plan to the Erosion Control Inspector prior to initiating dewatering activities.

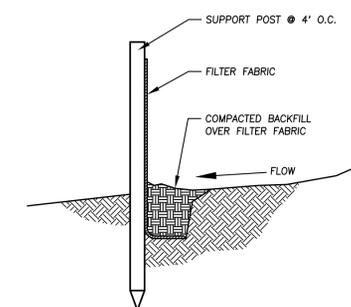
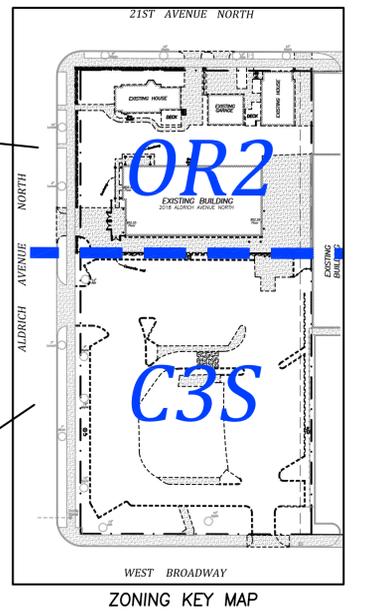
**DEMOLITION NOTES**

- 1 - Remove concrete pavement.
- 2 - Remove bituminous pavement.
- 3 - Remove concrete curb & gutter.
- 4 - Remove concrete driveway apron.
- 5 - Remove concrete wall.
- 6 - Remove concrete steps.
- 7 - Remove wrought iron fence, concrete block columns, and pavers.
- 8 - Remove chainlink fence.
- 9 - Remove bollard.
- 10 - Remove light pole.
- 11 - Remove tree.
- 12 - Remove brush and misc. vegetation.

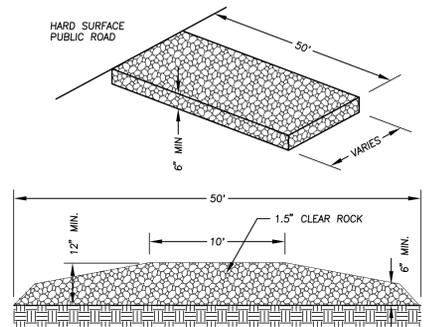
NOTE: SEE ARCHITECTURAL FOR DEMOLITION OF EXISTING HOUSES, GARAGES & DECKS.

NORTH PORTION OF SITE ZONED "OR2" TO BE REVIEWED AND APPROVED BY SITE PLAN REVIEW AND VARIANCE FOR LOADING AREA LOCATED ON SOUTH "C3S" ZONING LOT W/50 OFF-SITE SHARED PARKING WITHIN 500'

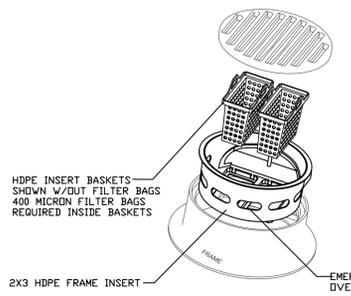
SOUTH PORTION OF SITE ZONED "C3S" AND PART OF THE WEST BROADWAY OVERLAY DISTRICT TO BE REVIEWED AND APPROVED BY INTERIM USE PERMIT.



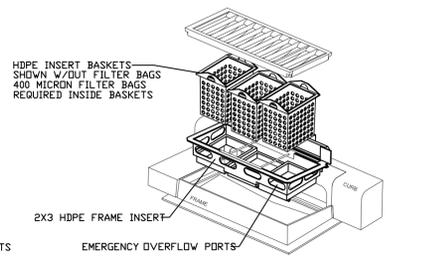
1 C1 SILT FENCE NO SCALE



2 C1 ROCK CONSTRUCTION ENTRANCE NO SCALE



3 C1 INLET PROTECTION (INFRASAFE OR EQUAL) NO SCALE



NOTE: USE THIS TYPE OF INLET PROTECTION AFTER THE CASTING IS INSTALLED.

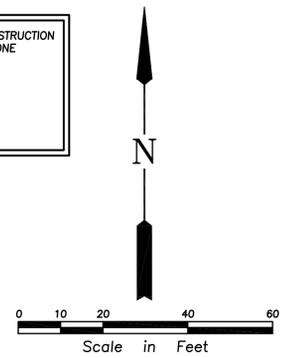
PARTY RESPONSIBLE FOR MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL MEASURES

ALL CLEARING, GRADING, CONSTRUCTION OR DEVELOPMENT WILL BE DONE PURSUANT TO THE PLAN

OWNER \_\_\_\_\_ DATE \_\_\_\_\_  
 DEVELOPER \_\_\_\_\_ DATE \_\_\_\_\_  
 CONTRACTOR \_\_\_\_\_ DATE \_\_\_\_\_

**LEGEND**

- INLET PROTECTION DEVICE
- SILT FENCE
- BOUNDARY/ROW/BLOCK LINE
- TREE TO BE REMOVED



**Rehder & Associates, Inc.**  
 Civil Engineers, Planners and Land Surveyors  
 3140 Federal Drive, Suite 110 • Eagan, Minnesota 55122  
 651-452-0051 • Fax: 651-452-9797 • email: info@rehder.com

PROJECT NO.: 151-2876.011 DRAWING FILE: 2876011.DWG

I hereby certify that this plan was prepared by me or a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Name: Benton G. Ford Date: 12-11-15 Reg. No.: 24392

**Issued**

11-23-15	PDR SUBMITTAL
12-11-15	SITE PLAN REVIEW

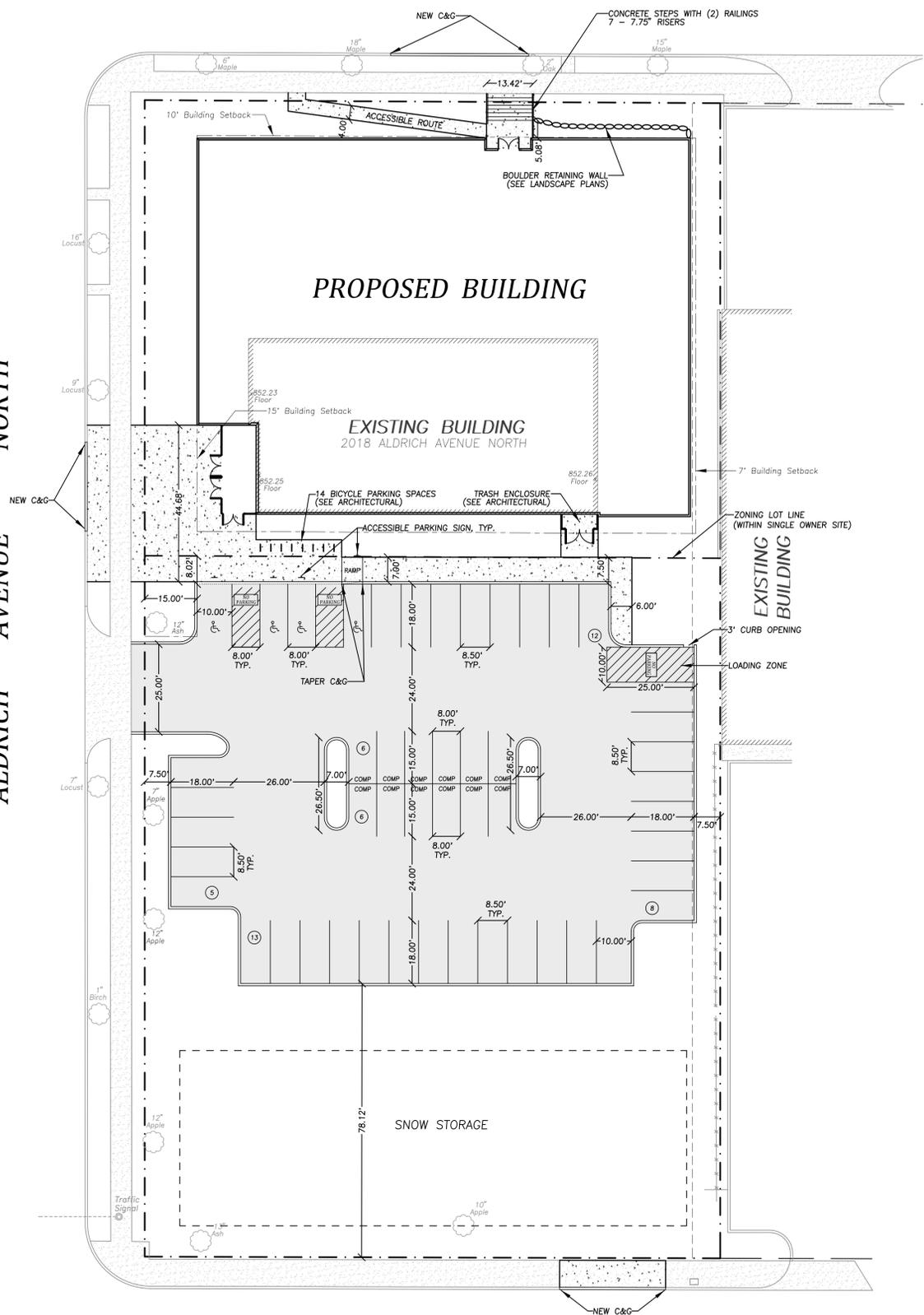
**DEMOLITION & EROSION CONTROL PLAN**  
**SANCTUARY COVENANT CHURCH**  
**CITY OF MINNEAPOLIS**

SHEET NUMBER **C1**

21ST AVENUE NORTH

NORTH  
ALDRICH AVENUE

WEST BROADWAY



TOTAL SITE DATA

Site Area = 54,425 square feet  
 Impervious Area = 33,987 square feet (62.4%)  
 Pervious Area = 20,438 square feet  
 Disturbed Area = 49,658 square feet

NORTH PORTION OF SITE ZONED "OR2" TO BE REVIEWED AND APPROVED BY SITE PLAN REVIEW AND VARIANCE FOR LOADING AREA LOCATED ON SOUTH "C3S" ZONING LOT W/50 OFF-SITE SHARED PARKING WITHIN 500'

SITE DATA (OR2 ZONED LOT)

Site Area = 21,440 square feet  
 Impervious Area = 17,066 square feet (79.6%)  
 Pervious Area = 4,374 square feet

PARKING REQUIREMENTS (OR2 ZONED LOT)

6000 SF of worship assembly + 1500 SF of assembly overflow (adjacent space) = 7500 SF total

7500 SF @ occupant load of 15 SF per occupant = 500 occupants

City of Minneapolis minimum parking standard is 10% of occupant load for religious assembly = 50 parking stalls

Bicycle parking incentive: Minimum parking capacity may be reduced by 10%, where bicycle parking spaces are provided equal to or greater than 25% of the number of required automobile stalls.

Therefore minimum bicycle parking spaces = required parking stalls X 25% = 12.5 (13 bicycle parking spaces). This would allow for an automobile stall reduction of 10% of minimum required = 5 parking stalls.

Total Minimum required parking spaces (with bicycle incentive, 13 spaces) = 50 - 5 = 45 parking stalls

Maximum required parking spaces of 40% = 200 parking stalls

Accessible spaces required = 3  
 Accessible spaces provided = 4

Loading area requirements:  
 (1) 10'X25' loading space required.  
 (1) 10'X25' loading spaces provided.

Trash/recycling area requirements:  
 (1) screened trash/recycling enclosure required.  
 (1) provided.

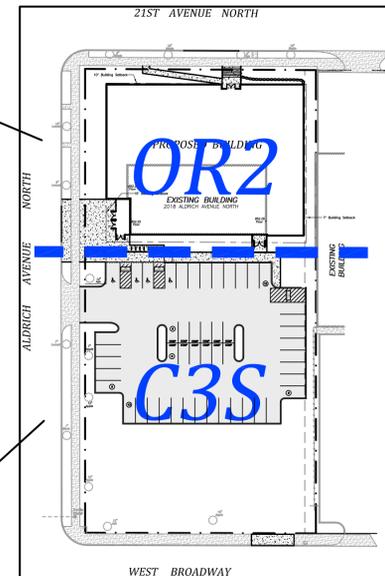
SOUTH PORTION OF SITE ZONED "C3S" AND PART OF THE WEST BROADWAY OVERLAY DISTRICT TO BE REVIEWED AND APPROVED BY INTERIM USE PERMIT.

SITE DATA (C3S ZONED LOT)

Site Area = 32,985 square feet  
 Impervious Area = 16,921 square feet (51.3%)  
 Pervious Area = 16,064 square feet

PARKING STALLS PROVIDED (C3S ZONED LOT)

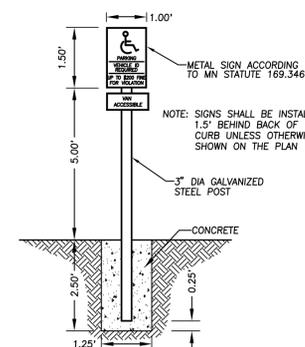
STANDARD STALLS	COMPACT STALLS	ACCESSIBLE STALLS	TOTAL STALLS
34	12	4	50



ZONING KEY MAP

SITE NOTES

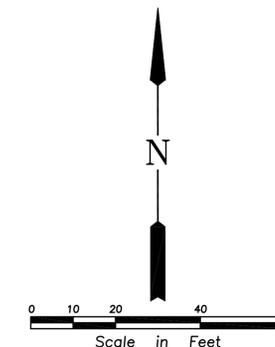
- (1) - All dimensions between curbing and to radius points are to face of curb.
- (2) - All dimensions abutting curbs are to face of curb.



1 ACCESSIBLE PARKING SIGN AND POST  
NO SCALE

LEGEND

- PROPOSED CONCRETE
- PROPOSED STD. DUTY BITUMINOUS
- BOUNDARY/ROW/BLOCK LINE
- EASEMENT
- BUILDING/PARKING SETBACK LINE



Issued

11-23-15  
12-11-15  
PDR SUBMITTAL  
SITE PLAN REVIEW

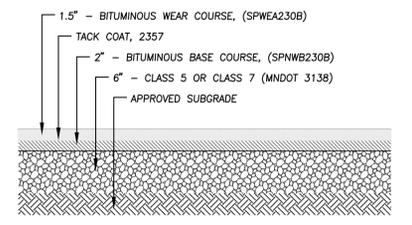
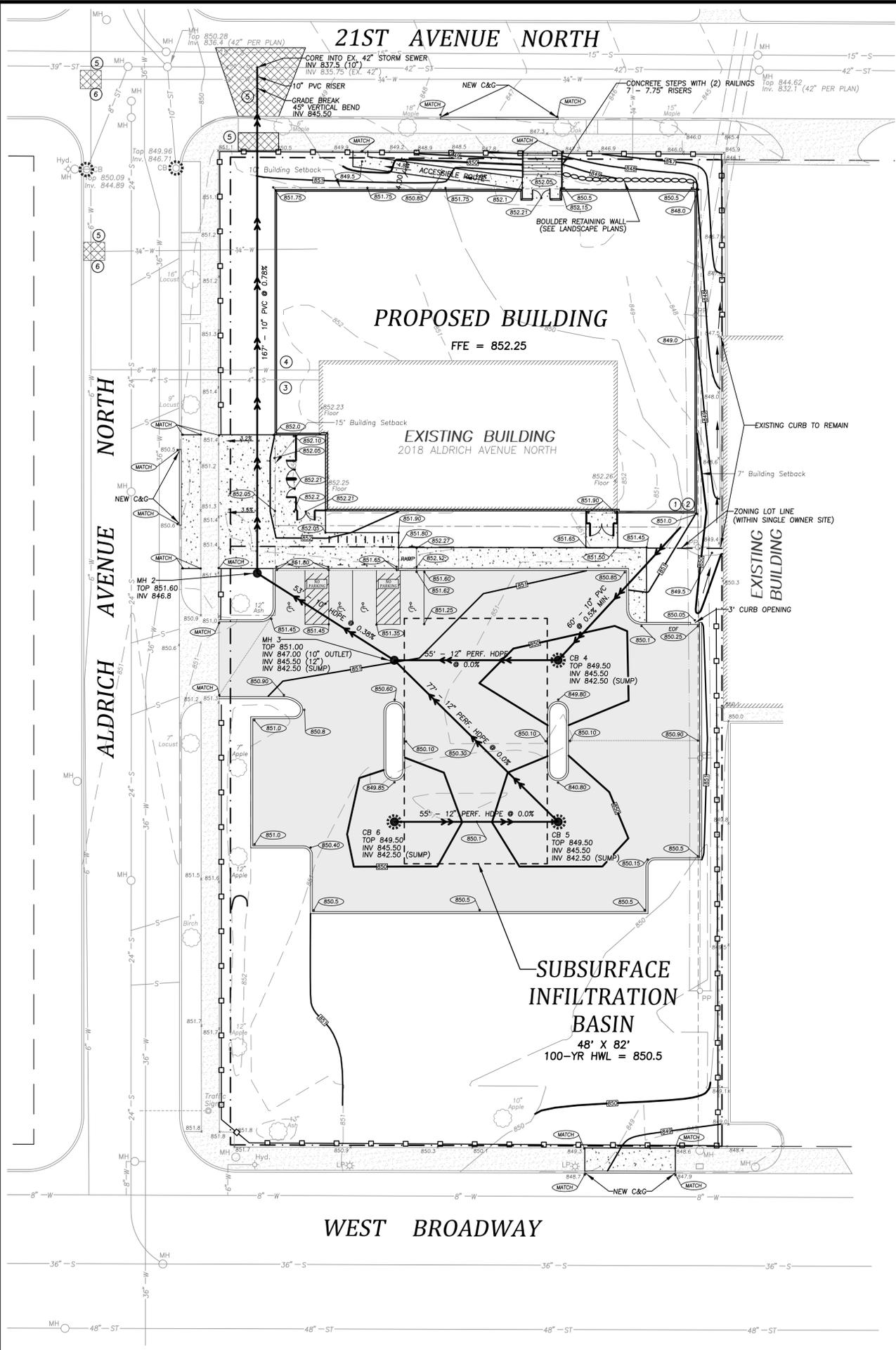
SITE DIMENSION PLAN  
 SANCTUARY COVENANT CHURCH  
 CITY OF MINNEAPOLIS

SHEET NUMBER

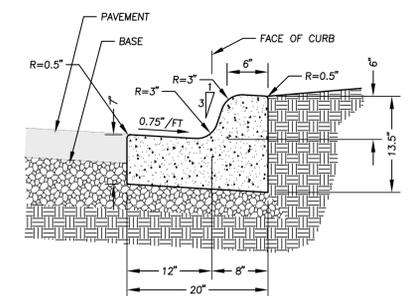
C2

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.  
 Name: Bentley G. Ford Date: 12-11-15  
 Reg. No. 24392

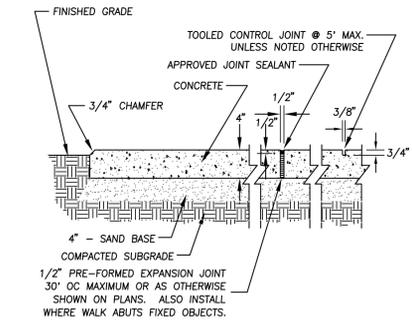
Rehder & Associates, Inc.  
 Civil Engineers, Planners and Land Surveyors  
 3440 Federal Drive, Suite 110 • Eagan, Minnesota 55122  
 651-452-5051 • Fax: 651-452-9797 • email: info@rehder.com  
 PROJECT NO.: 151-2876.011 DRAWING FILE: 2876011.DWG



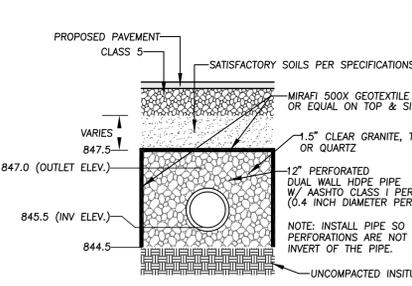
**1 C3** PAVEMENT SECTION  
NO SCALE



**2 C3** B612 CONCRETE CURB & GUTTER  
NO SCALE



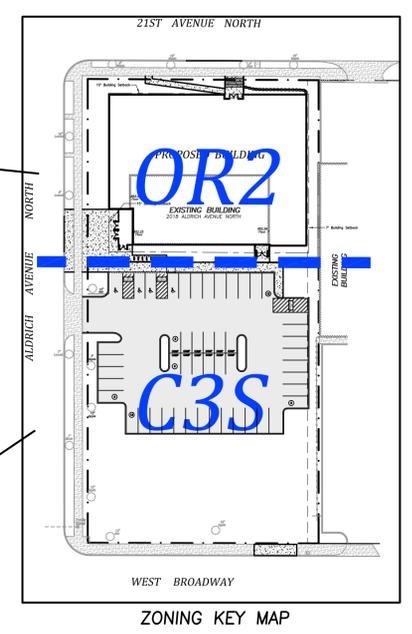
**3 C3** CONCRETE SIDEWALK  
NO SCALE



**4 C3** SUBSURFACE INFILTRATION BASIN CROSS SECTION  
NO SCALE

NORTH PORTION OF SITE ZONED "OR2" TO BE REVIEWED AND APPROVED BY SITE PLAN REVIEW AND VARIANCE FOR LOADING AREA LOCATED ON SOUTH "C3S" ZONING LOT W/50 OFF-SITE SHARED PARKING WITHIN 500'

SOUTH PORTION OF SITE ZONED "C3S" AND PART OF THE WEST BROADWAY OVERLAY DISTRICT TO BE REVIEWED AND APPROVED BY INTERIM USE PERMIT.



**GRADING NOTES**

- 1 - All elevations shown are to final surfaces.
- 2 - Contractor is responsible for obtaining a National Pollutant Discharge Elimination System (NPDES) General Storm Water Permit for Construction Activity before construction begins.

**UTILITY NOTES**

- 1 - All sewer services to extend to a point 5' from proposed building.
- 2 - Verify all service locations and inverts with mechanical contractor before construction.
- 3 - Reuse existing sanitary sewer service to 2018 Aldrich Avenue North.
- 4 - Reuse existing water service to 2018 Aldrich Avenue North.
- 5 - Restore street, walk and curb/gutter matching existing pavement sections.
- 6 - Coordinate removal/abandonment of existing water services at the main per City standards.
- 7 - Cap/remove unused sanitary sewer services per City standards.

**MINNEAPOLIS STANDARD STORM WATER NOTES**

The Contractor, property owner or responsible party shall contact Minneapolis Surface Waters and Sewers 48 hours prior to any excavation or construction related to or in the location of the proposed Stormwater Management BMP (Contact Paul Chellsen, 673-2406 or paul.chellsen@minneapolismn.gov).

Upon the project's completion the General Contractor, Property Owner or Responsible Party shall provide to the Department of Public Works a Final Stormwater Management Report including record drawings. This report will serve as a means of verification that the intent of the approved stormwater management design has been met. This final report shall substantiate that all aspects of the original design have been adequately provided for by the construction of the project.

**CATCH BASIN/MANHOLE SCHEDULE**

STRUCTURE NO.	BARREL SIZE	NEENAH CASTING NO.
MH 1	48"	R-1642B
MH 2	48"	R-1642B
MH 3	48"	R-1642B
CB 4	27"	R-2573-1C
CB 5	48"	R-2573-1C
CB 6	27"	R-2573-1C

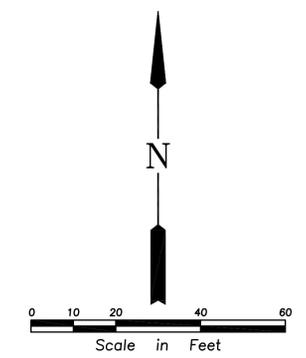
**NON-STORMWATER DISCHARGES**

The proposed structure and associated site improvements should not, to the best of our knowledge, produce any non-stormwater discharges. The soil borings do not reveal that the proposed structure will fall within a zone that produces continuous or regular groundwater discharges.

As typical, the structure will, however, have a foundation dewatering system and an elevator pit tied to a sump pump. When that system does receive intermittent and/or nuisance flow, it is assumed that the flow will be the result of stormwater infiltrating the surface and entering the drain tile system. The sump pump for the system will discharge the stormwater at grade, adjacent to the building and, not, into a direct connection to the storm sewer system. Therefore, any flows generated by the drain tile/sump pump should be rare and be fully disconnected from the City's storm water infrastructure.

**LEGEND**

- PROPOSED CATCH BASIN/MANHOLE
- PROPOSED STORM SEWER
- ▭ PROPOSED CONCRETE
- ▭ PROPOSED STD. DUTY BITUMINOUS
- ▭ PROPOSED CONTOUR
- PROPOSED ELEVATION
- SILT FENCE
- INLET PROTECTION DEVICE
- BOUNDARY/ROW/BLOCK LINE
- - - EASEMENT
- BUILDING/PARKING SETBACK LINE
- DRAINAGE ARROW
- EXISTING WATERMAIN
- S EXISTING SANITARY SEWER
- ST EXISTING STORM SEWER
- 980 EXISTING CONTOUR
- x 995.50 EXISTING ELEVATION



**Rehder & Associates, Inc.**  
Civil Engineers, Planners and Land Surveyors  
3440 Federal Drive, Suite 110 • Eagan, Minnesota, 55122  
651-929-5051 • Fax: 651-929-9797 • email: info@rehder.com

PROJECT NO.: 151-2876.011 DRAWING FILE: 2876011.DWG

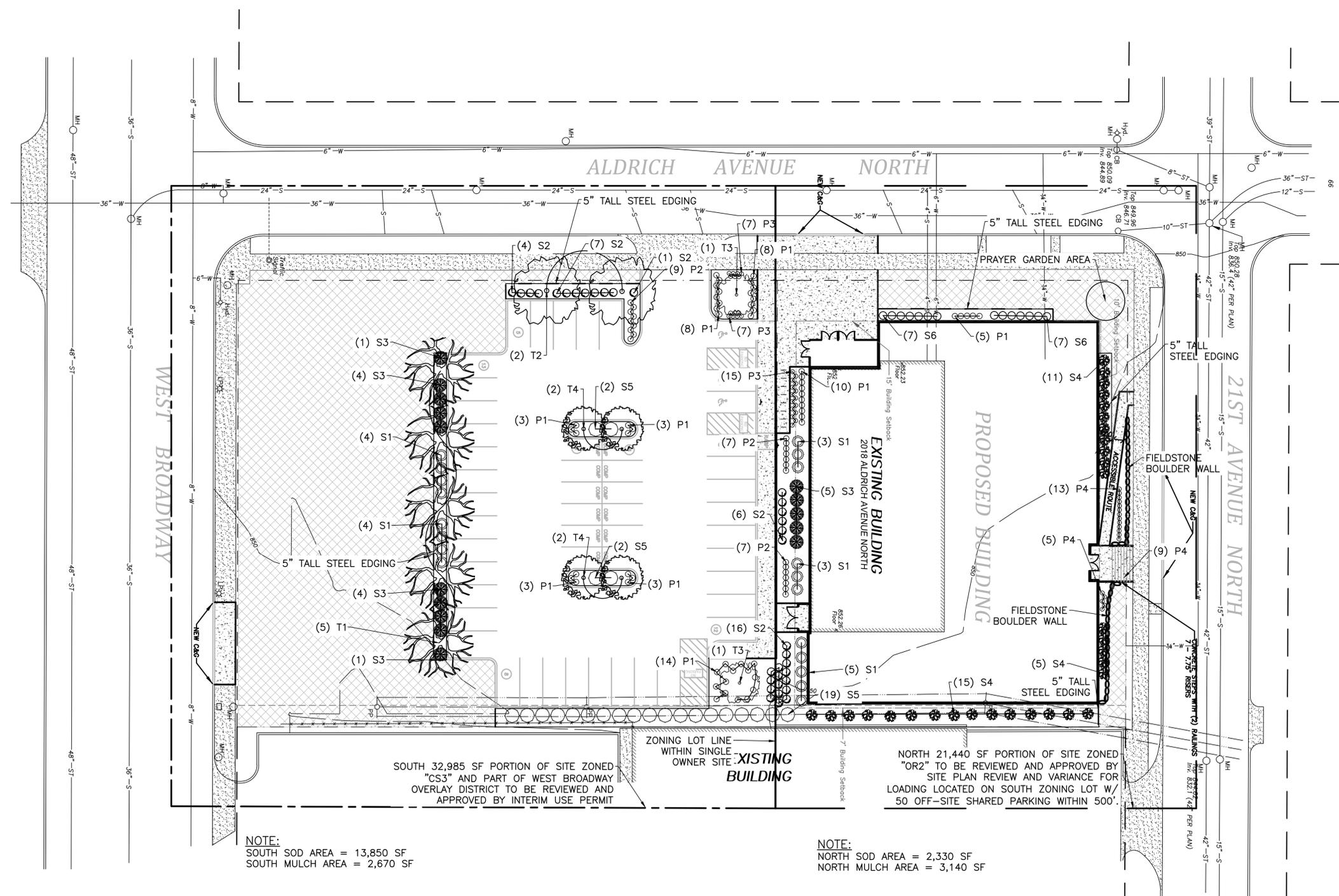
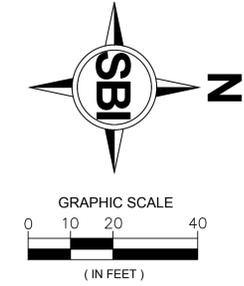
I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Name: Benton G. Ford Date: 12-11-15 Reg. No.: 24392

Issued  
11-23-15 PDR SUBMITTAL  
12-11-15 SITE PLAN REVIEW

GRADING, DRAINAGE & UTILITY PLAN  
SANCTUARY COVENANT CHURCH  
CITY OF MINNEAPOLIS

SHEET NUMBER  
**C3**



NOTE:  
SOUTH SOD AREA = 13,850 SF  
SOUTH MULCH AREA = 2,670 SF

NOTE:  
NORTH SOD AREA = 2,330 SF  
NORTH MULCH AREA = 3,140 SF

Quantity	ID	Common Name	Scientific Name	Size	Height	Width
<b>TREES</b>						
5	T1	Autumn Blaze Maple	<i>Acer x freemanii 'JeffersRed'</i>	3" B&B	50-60'	25'
2	T2	Skyline Honeylocust	<i>Gleditsia triacanthos var. inermis 'Skycole'</i>	3" B&B	50'	25'
2	T3	Spring Snow Crabapple	<i>Malus 'Spring Snow'</i>	3" B&B	25-30'	15'
4	T4	Crimson Spire Oak	<i>Quercus alba x Quercus robur</i>	3" B&B	40'	15'
<b>SHRUBS</b>						
19	S1	Arctic Fire Dogwood	<i>Cornus stolonifera 'Farrow'</i>	#5 cont.	5'	4'
34	S2	Dwarf Bush Honeysuckle	<i>Diervilla lonicera</i>	#5 cont.	3'	3'
15	S3	Dart's Gold Ninebark	<i>Physocarpus opulifolius 'Darts Gold'</i>	#5 cont.	5'	5'
31	S4	Taunton Yew (Evergreen)	<i>Taxus x media 'Taunton'</i>	#5 cont.	3'	4'
23	S5	Compact American Viburnum	<i>Viburnum trilobum 'Bailey Compact'</i>	#5 cont.	6'	5'
14	S6	Chicagoland Green Boxwood	<i>Buxus 'Glencoe'</i>	#7 cont.	3'	3'
<b>PERENNIALS</b>						
57	P1	Eldorado Feather Reed Grass	<i>Calamagrostis x acutiflora 'Eldorado'</i>	#1 cont.	4'	2'
23	P2	Red Switch Grass	<i>Panicum virgatum 'Shenandoah'</i>	#1 cont.	3'	2'
29	P3	Purple Emperor Sedum	<i>Sedum x 'Purple Emperor'</i>	#1 cont.	2'	1.5'
18	P4	Fanal Astilbe	<i>Astilbe x arendsii 'Fanal'</i>	#1 cont.	2'	1.5'

ALL PLANTING AREAS TO RECEIVE 3" DEEP MULCH LAYER  
SEE SHEET L1.2 FOR PLANTING NOTES AND DETAILS



I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Registered Architect under the laws of the state of:  
**MINNESOTA**

SIGNATURE: \_\_\_\_\_  
ARCHITECT: \_\_\_\_\_  
REGISTRATION NUMBER: \_\_\_\_\_  
DATE: \_\_\_\_\_  
DRAWN BY: \_\_\_\_\_  
CHECKED BY: \_\_\_\_\_  
PROJECT TITLE  
**SANCTUARIES COVENANT CHURCH**  
MINNEAPOLIS, MINNESOTA

Project Number 4469

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No.	Date	Appr	Revision	Notes

Phase  
**SITE\_PLAN REVIEW**

Sheet Title  
**LANDSCAPE PLAN**

Drawing No.  
**L1.1**

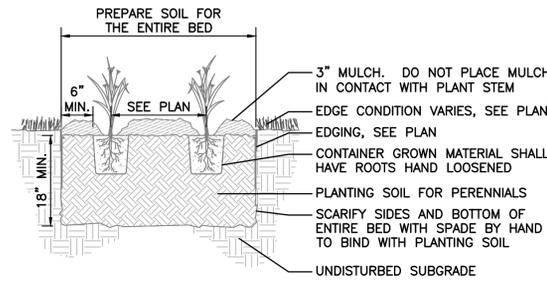
**GENERAL NOTES**

1. CONTRACTOR SHALL INSPECT THE SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS RELATING TO THE NATURE AND SCOPE OF WORK.
2. CONTRACTOR SHALL VERIFY PLAN LAYOUT AND BRING TO THE ATTENTION OF THE LANDSCAPE ARCHITECT ANY DISCREPANCIES WHICH MAY COMPROMISE THE DESIGN OR INTENT OF THE LAYOUT.
3. CONTRACTOR SHALL ASSURE COMPLIANCE WITH APPLICABLE CODES AND REGULATIONS GOVERNING THE WORK AND MATERIALS SUPPLIED.
4. CONTRACTOR SHALL PROTECT EXISTING ROADS, CURBS/GUTTERS, WALKWAYS, TREES, LAWNS AND SITE ELEMENTS DURING CONSTRUCTION OPERATIONS. DAMAGE TO SAME SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
5. CONTRACTOR SHALL VERIFY ALIGNMENT AND LOCATION OF UNDERGROUND AND ABOVE GRADE UTILITIES AND PROVIDE THE NECESSARY PROTECTION FOR SAME BEFORE CONSTRUCTION BEGINS.
6. CONTRACTOR SHALL COORDINATE THE PHASES OF CONSTRUCTION AND PLANTING INSTALLATION WITH OTHER CONTRACTORS WORKING ON SITE.
7. EXISTING CONTOURS, TRAILS, VEGETATION, CURB/GUTTER AND OTHER ELEMENTS ARE BASED UPON INFORMATION SUPPLIED TO THE LANDSCAPE ARCHITECT BY OTHERS. CONTRACTOR SHALL VERIFY DISCREPANCIES PRIOR TO CONSTRUCTION AND NOTIFY LANDSCAPE ARCHITECT OF SAME.
8. CONTRACTOR SHALL REVIEW THE SITE FOR DEFICIENCIES IN SITE CONDITIONS WHICH MIGHT NEGATIVELY AFFECT PLANT ESTABLISHMENT, SURVIVAL OR WARRANTY. UNDESIRABLE SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
9. SYMBOLS ON PLAN DRAWING TAKE PRECEDENCE OVER SCHEDULES IF DISCREPANCIES IN QUANTITIES EXIST.
10. CONTRACTOR SHALL INSTALL STEEL EDGING (5" TALL x 3/8" THICK) AT ALL MULCH BED BORDERS THAT ARE NOT ADJACENT TO PAVEMENT OR THE BUILDING FOUNDATION.

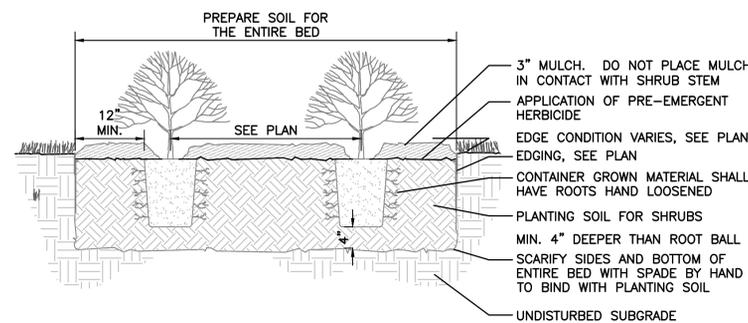
**PLANTING NOTES**

1. ALL PLANT MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE "AMERICAN STANDARD FOR NURSERY STOCK," AMERICAN ASSOCIATION OF NURSERYMEN.
2. ALL PLANTS SHALL BE TRUE TO TYPE, HAVE NORMAL AND WELL DEVELOPED BRANCHES AND HAVE A VIGOROUS AND FIBROUS ROOT SYSTEM. ALL PLANTS SHALL ALSO BE FREE OF ANY DEFECTS, DISEASES, SUNCLAD INJURIES, ABRASIONS, INSECT EGGS, BORERS AND ALL FORMS OF INFESTATION. ALL NEW PLANTS SHALL BE NURSERY GROWN IN SIMILAR CLIMATIC CONDITIONS AS THAT FOUND IN THE PROJECT AREA.
3. STAKE PROPOSED PLANTING LOCATIONS PER PLAN FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALL.
4. INSTALL PLANT MATERIAL ONCE FINAL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
5. INSTALL PLANT MATERIALS PER PLANTING DETAILS.
6. SUBSTITUTION REQUESTS FOR PLANT MATERIAL TYPE & SIZE SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR CONSIDERATION PRIOR TO BIDDING. ALL SUBSTITUTIONS AFTER BIDDING MUST BE APPROVED BY LANDSCAPE ARCHITECT AND ARE SUBJECT TO CONTRACT ADJUSTMENTS.
7. ADJUSTMENTS IN LOCATION OF PROPOSED PLANT MATERIALS MAY BE NEEDED IN THE FIELD. LANDSCAPE ARCHITECT MUST BE NOTIFIED PRIOR TO ADJUSTMENT OF ANY PLANTS.
8. APPLY PRE-EMERGENT HERBICIDE (PREEN OR APPROVED EQUAL) IN ALL PLANTING BEDS FOLLOWED BY SHREDDED HARDWOOD MULCH.
9. INSTALL 3" DEEP SHREDDED HARDWOOD MULCH IN ALL PLANTING BEDS. REMOVE ALL MULCH FROM TOUCHING PLANT STEMS - PLANT STEMS SHOULD NOT BE IN DIRECT CONTACT WITH MULCH.

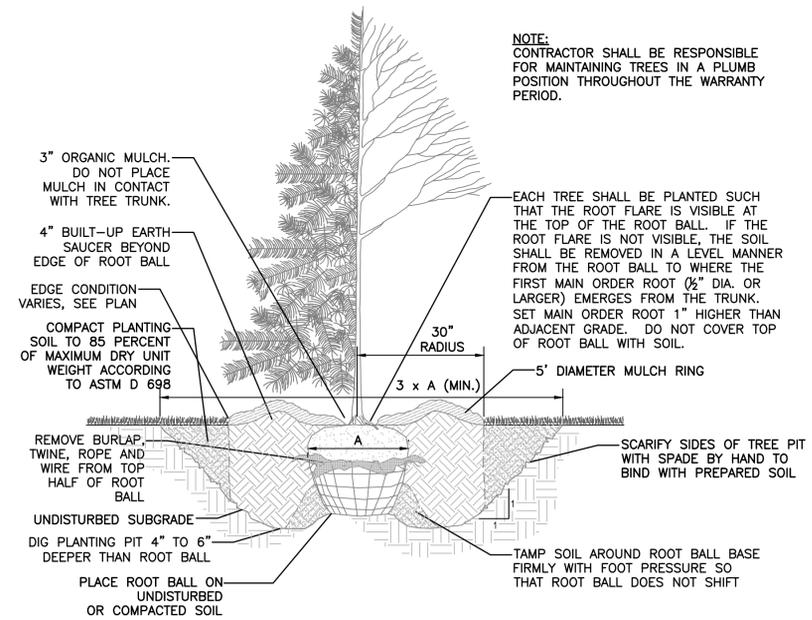
LANDSCAPE ARCHITECT CONTACT:  
MITCHELL COOKAS  
MCOOKAS@SOLUTIONBLUE.COM  
651-289-5534



**1 PERENNIAL PLANTING DETAIL**  
NTS



**2 SHRUB PLANTING DETAIL**  
NTS



**3 TREE PLANTING DETAIL**  
NTS

**NOTE:**  
CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING TREES IN A PLUMB POSITION THROUGHOUT THE WARRANTY PERIOD.



651-294-0038  
www.SolutionBlue.com  
318 Cedar Street  
Saint Paul, MN 55101

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Registered Architect under the laws of the state of:

MINNESOTA

SIGNATURE: \_\_\_\_\_  
ARCHITECT: \_\_\_\_\_  
REGISTRATION NUMBER: \_\_\_\_\_  
DATE: \_\_\_\_\_  
DRAWN BY: \_\_\_\_\_  
CHECKED BY: \_\_\_\_\_

PROJECT TITLE  
SANCTUARY COVENANT CHURCH  
MINNEAPOLIS, MINNESOTA

Project Number 4469

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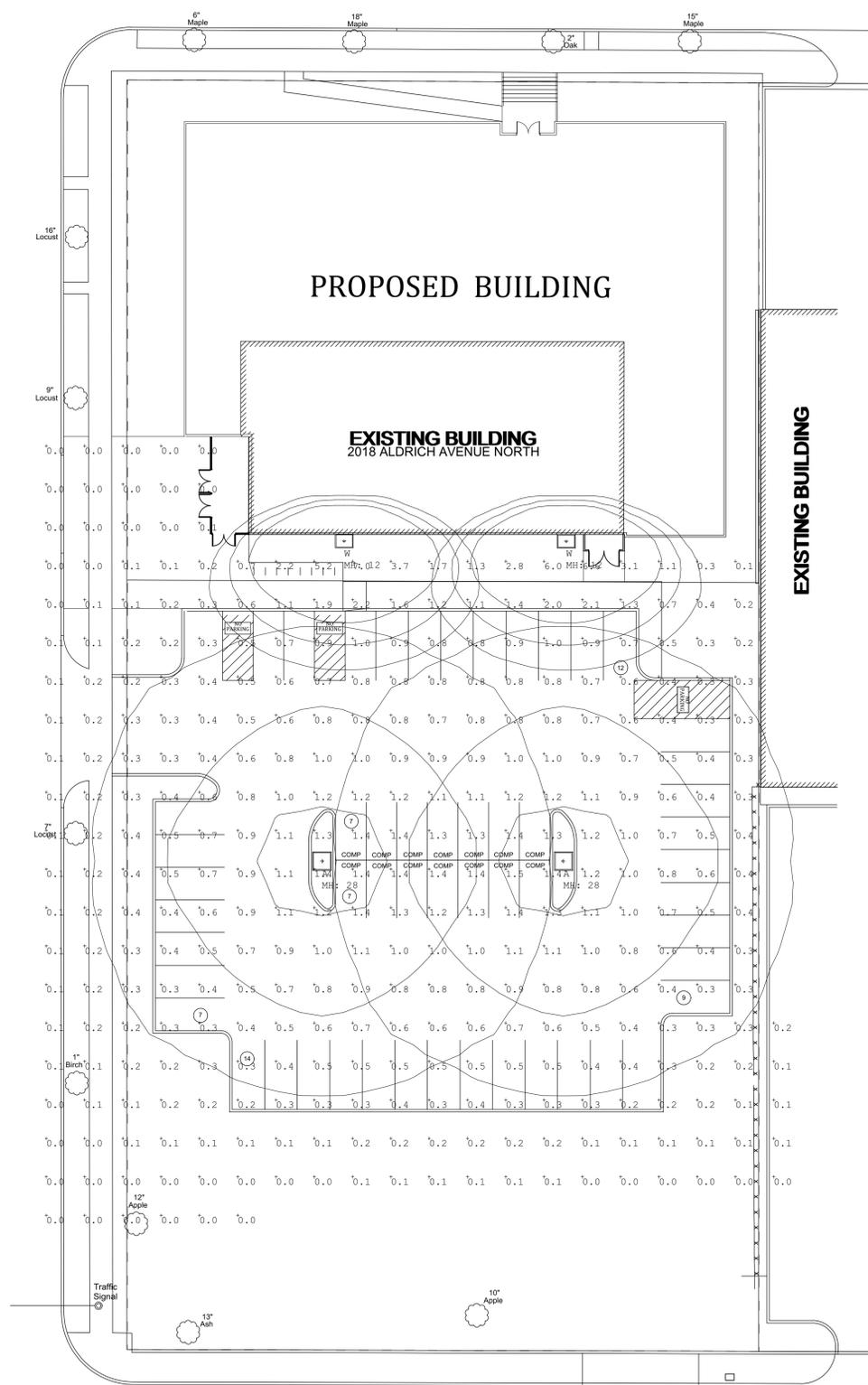
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No.	Date	Appr.	Revision Notes

No.	Date	Issue Notes
Phase		SITE_PLAN REVIEW
Sheet Title		LANDSCAPE DETAILS
Drawing No.		L1.2

21ST AVENUE NORTH

NORTH  
ALDRICH AVENUE  
ALDRICH AVENUE



WEST BROADWAY

MAINTAINED LIGHT LEVELS USING  
LEOTEK LED FIXTURE.  
4000K COLOR TEMP.  
FULL CUTOFF  
25' TALL HAPCO POLE.

ALD, Inc.  
ARCHITECTURAL LIGHTING DESIGNS, INC.  
2920 ANTHONY LANE  
ST. ANTHONY, MN 55418  
612-252-4100, 612-252-4141 fax  
CONTACT: SCOTT HARMES  
sharmes@aldmpls.com

FIXTURES MUST BE THE FOLLOWING: Filename: E:\STATION 19\SANCTUARY COVENANT\ALDLTG.AGI

Qty	Symbol	Label	Description	Arrangement	LLF	Lum. Lumens	Lum. Watts	BUG Rating
2	A		LEOTEK AR13-10M-MV-NW-5-xx-700/25' HAPCO SSA POLE	SINGLE	0.855	9215	86	B3-U0-G2
2	W		LEOTEK ES1-24H-MV-NW-W-XX-700	SINGLE	0.855	5771	58.6	B2-U0-G1

Calculation Summary Date: 11/19/2015

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL AREA	Illuminance	Fc	0.62	7.0	0.0	N.A.	N.A.

**DISCLAIMER**  
This lighting plan specifies luminaires supplied by ALD. Any deviation from this plan or use of luminaires other than ALD products will require full submittal of fixture sample, drawings, and lighting plan to city, engineer and landscape architect for prior approval.

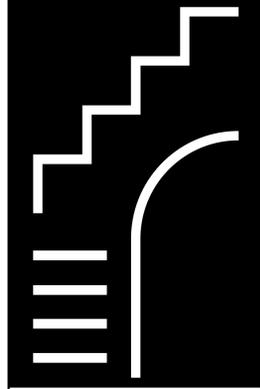
These calculations are NOT valid for owner or city approval using any "non-ALD represented product" or fixtures not shown on this plan. Fixtures must be provided by ALD.

Calculations have been performed with our best interpretation of the details given to us. Some differences between measured and calculated results may occur due to intolerances in calculation methods, testing procedures, component performance, measurement techniques and field conditions such as voltage, temperature variations, lamp manufacturer variations, and other variables. Calculations do not take into consideration objects such as, but not limited to, trees, buildings, pavement, sidewalk, or cars. Calculation values represent horizontal (i.e. light meter facing straight up) illuminance FC levels (unless otherwise noted). If the real environment conditions do not match the input data, differences will occur between measured values and calculated values. ALD is not responsible for acquiring or interpreting any local lighting codes.

Calculations do not take into account for elevation changes.

TYPE A  
FULL CUTOFF  
25' TALL HAPCO POLE.  
3' TALL CONCRETE BASE

TYPE W  
WALL MOUNTED  
COORDINATE LOCATION w/ARCHITECT  
12' MOUNT HEIGHT



**STATION NINETEEN**

Architects - Incorporated

2001 UNIVERSITY AVENUE SOUTHEAST SUITE 100

MINNEAPOLIS, MINNESOTA 55414

PHONE (612) 623.1800  
FAX (612) 623.0012

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Registered Architect under the laws of the State of:

MINNESOTA

SIGNATURE

ARCHITECT:

REGISTRATION NUMBER:

DATE: 12/11/2015

DRAWN BY:

CHECKED BY:

PROJECT TITLE

**SANCTUARY COVENANT CHURCH**

MINNEAPOLIS MINNESOTA

Project Number **4469**

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No.	Date	Appr	Revision Notes

1 11/23/15 PDR SUBMITTAL

No. Date Issue Notes

Phase **SITE PLAN REVIEW**

Sheet Title **SITE LIGHTING PLAN**

Drawing No.

**L2**



N 21st Ave

N Aldrich

N Lyndale A

N

N 21

N Aldrich Ave

Lyndale Ave N

81

81

81

W Broadway Ave

W Broadway Ave

Lyndale Ave N

Feedback Tips Leave P

50 Feet

Pictometry Bird's Eye © 2016 MDA Geospatial Se

**INTERIM USE PERMIT EXISTING SITE PHOTOS @ 718 WEST BROADWAY AVE, MINNEAPOLIS**

Existing building on North Zoning Lot of Site to be reused & expanded for Church Use...North edge of Interim Use @ South Zoning Lot along block wall (to be removed).



**Existing Panoramic Picture taken 9/15/15 @ 718 West Broadway Ave, Minneapolis Looking North**

Existing parking lot with grass at demoed fast food restaurant to be replaced with proposed Interim Parking Use serving minimum off-street requirements for Church Use on North Zoning Lot and future shared accessory parking requirements for future building along Broadway Ave.



**Existing Panoramic Picture taken 9/15/15 @ 718 West Broadway Ave, Minneapolis Looking South**



