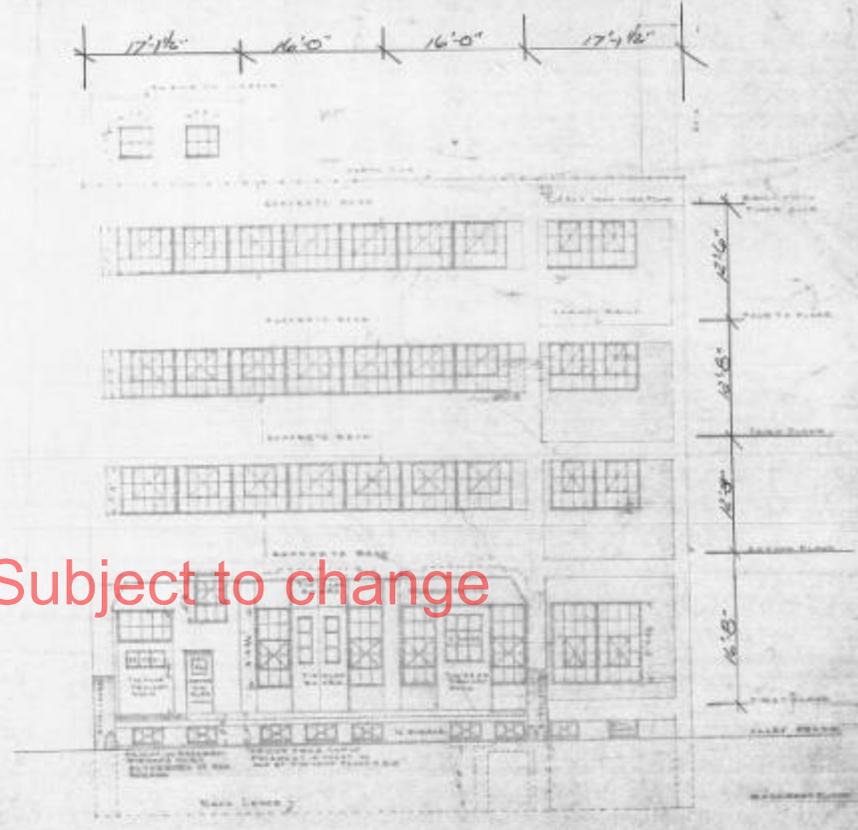






CROSS-SECTION ON LINE A-A.  
SEE FIRST FLOOR PLAN, SHEET NO. 7.



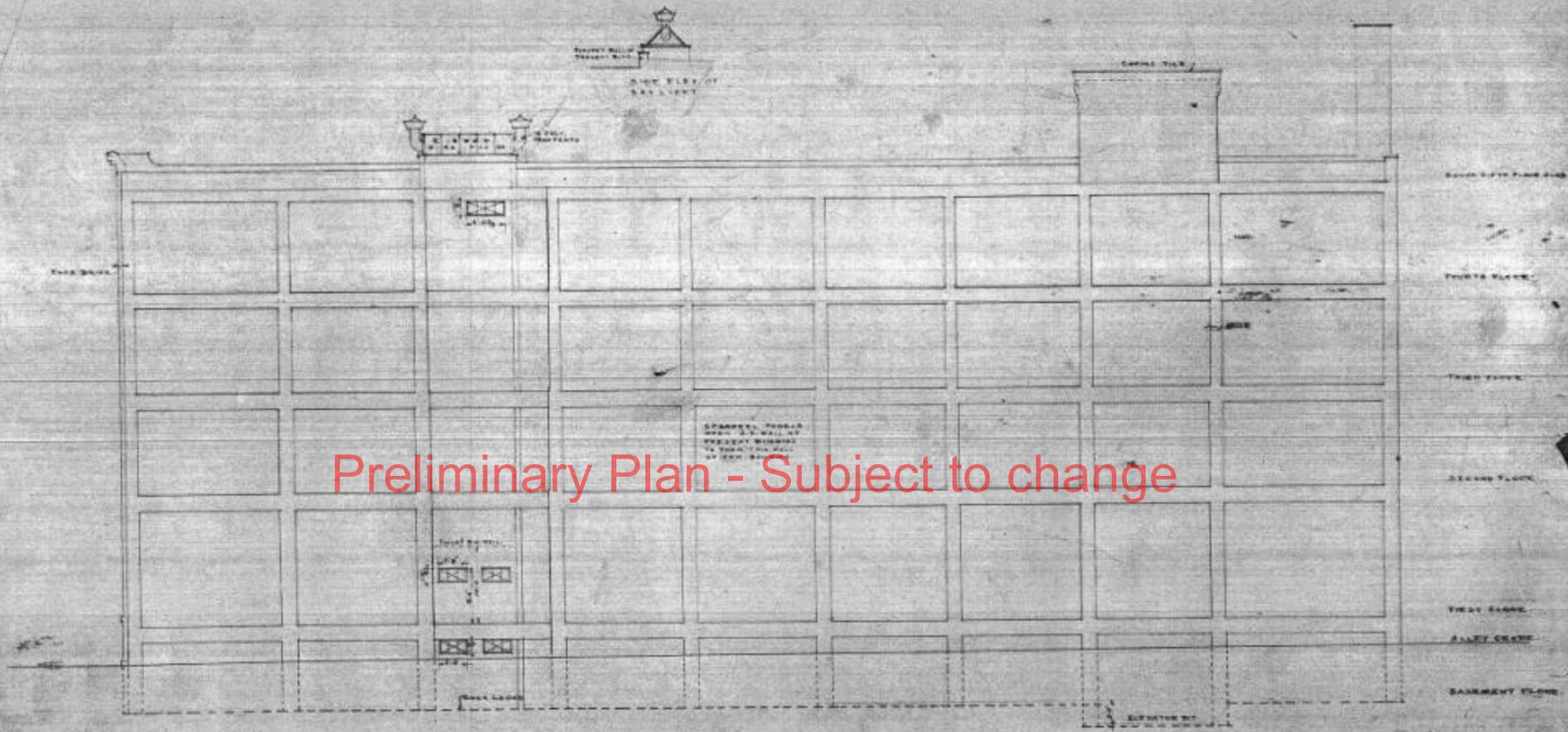
REAR ELEVATION.

SCALE 1/4" = 1'-0"

NOTED: ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS TO BE USED IN THIS PROJECT.  
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STEWART SCHMIDT & CO.  
 ARCHITECTS  
 CHICAGO, ILL.

Preliminary Plan - Subject to change



Preliminary Plan - Subject to change

RIGHT SIDE ELEVATION.  
SCALE 1/4" = 1'-0"

# THE NORTHWESTERN BUILDING - 219 NORTH SECOND STREET, MINNEAPOLIS, MN

PROJECT DESCRIPTION: .PROJECT INCLUDES CORE AND SHELL REDEVELOPMENT OF BUILDING INTO COMMERCIAL OFFICE SPACE. WORK INCLUDES NEW EXTERIOR WINDOWS ON THE NON-CONTRIBUTING ELEVATIONS, NEW CORE, LOBBIES AND RESTROOMS ON 4 FLOORS, AND OTHER LIFE-SAFETY SYSTEMS.



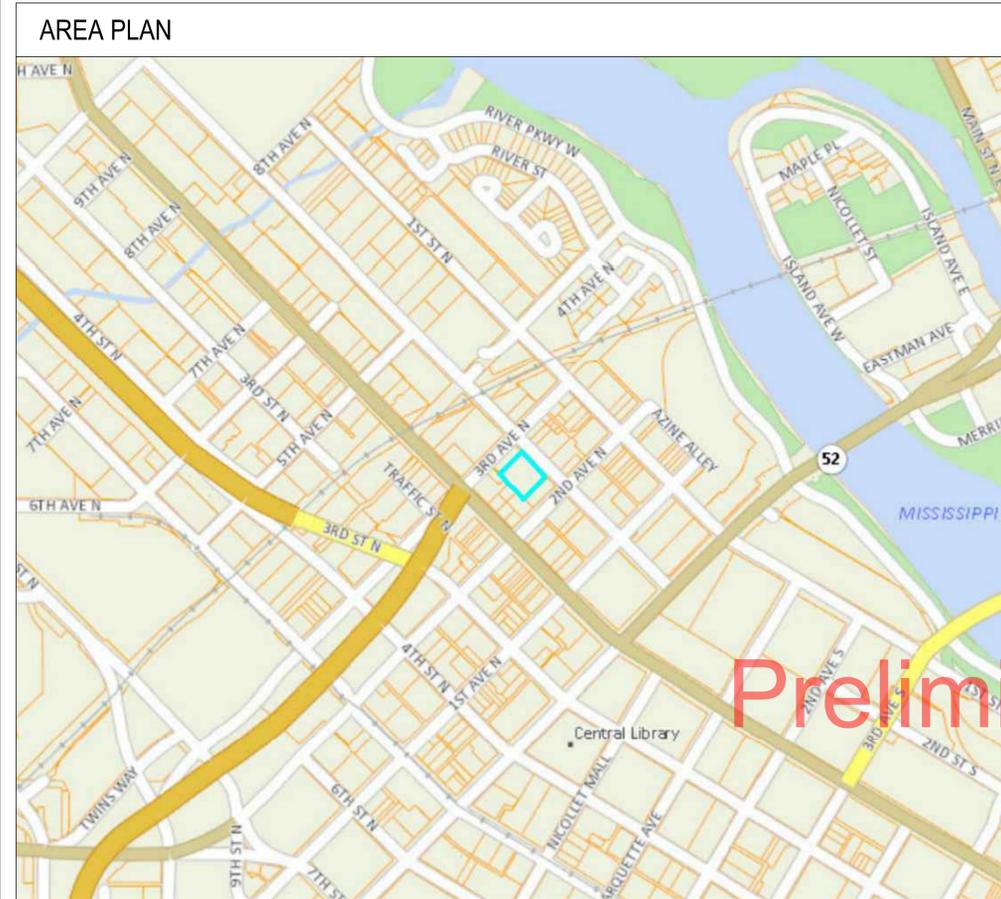
Alex Haeker, AIA  
5325 Colfax Ave S  
Minneapolis, MN 55419  
alex@awhlc.net  
awhlc.net 612-558-5383



Kevin Kuppe  
The Ackerberg Group  
O: 612-924-6509  
C: 612-770-7146  
kevin@ackerberg.com

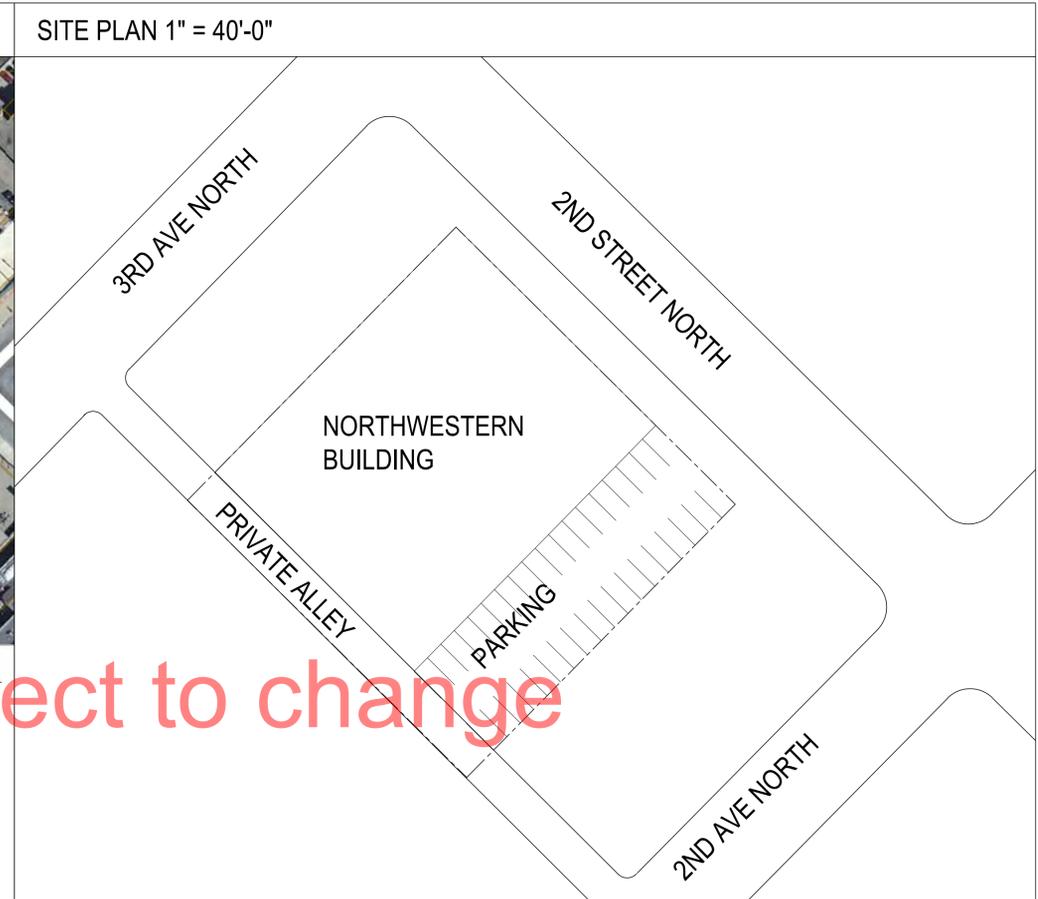
PROJECT DEVELOPER

PROJECT:  
NORTHWESTERN BUILDING  
219 2nd Street N  
Minneapolis, MN 55401



Parcel ID: 22-029-24-14-0100  
Owner Name: 219 Llc  
Parcel: 219 2nd St N, Unit C11  
Address: Minneapolis, MN 55401  
Property Type: Commercial-Non Preferred  
Home-stead: Non-Homestead  
Parcel: 0.79 acres  
Area: 34,388 sq ft

Map Scale: 1" = 100 ft.



Preliminary Plan - Subject to change

PROJECT DIRECTORY
<b>OWNER</b>  219 LLC
<b>DEVELOPER</b>  Ackerberg Group
<b>PROJECT ARCHITECT</b>  AWH Architects, LLC
<b>STRUCTURAL ENGINEER</b>  MBJ Engineers
<b>MECH., ELECTRICAL &amp; PLUMBING</b>  TBD
<b>GENERAL CONTRACTOR</b>  RJM CONSTRUCTION
MEP TO BE D/B, SUBMIT UNDER SEPARATE COVER FIRE SUPPRESSION TO BE D/B, SUBMIT UNDER SEPARATE COVER

ABBREVIATIONS	
ABV	ABOVE
ACT	ACOUSTICAL CEILING TILE
AFF	ABOVE FINISHED FLOOR
ALT	ALTERNATE
APPROX	APPROXIMATELY
AV	AUDIO VISUAL
AVG	AVERAGE
AWT	ACOUSTICAL WALL TREATMENT
BLK	BLACK
BP	BACK PAINTED
CAB	CABINET
CLNG	CEILING
CMU	CONCRETE MASONRY UNIT
CONF	CONFERENCE
CONT	CONTINUE (OUS) (ATION)
CPT	CARPET
CW	CURTAIN WALL
DEG	DEGREE
DF	DRINKING FOUNTAIN
DTL	DETAIL
DW	DISHWASHER
DWG	DRAWING
EQ	EQUAL
EXG	EXISTING
FF	FINISHED FACE, FACE OF WALL
FIN	FINISH
FIXT	FIXTURE
FLR	FLOOR
GC	GENERAL CONTRACTOR
GWB	GYPSUM WALL BOARD
HT	HEIGHT
INSUL	INSULATION
LAM	LAMINATE
LF	LINEAR FOOT
LIN	LINEAR
LTG	LIGHTING
MATL	MATERIAL
MAX	MAXIMUM
MEL	MELAMINE
MDF	MEDIUM DENSITY FIBERBOARD
MECH	MECHANICAL
MIN	MINIMUM
OC	ON CENTER
OH	OVERHEAD
PLAM	PLASTIC LAMINATE
PNL	PANEL
PREFAB	PREFABRICATED
QTY	QUANTITY
RCP	REFLECTED CEILING PLAN
REF	REFRIGERATOR
REF	REFERENCE
REQD	REQUIRED
RO	ROUGH OPENING
SIM	SIMILAR
SPEC	SPECIFICATIONS
STK	SMALL TIGHT KNOT
STOR	STORAGE
TBD	TO BE DETERMINED
TEMP	TEMPORARY
TOB	TOP OF BEAM
TOC	TOP OF CONCRETE
TOD	TOP OF DECK
TOS	TOP OF SLAB
TOW	TOP OF WALL
VAR	VARIES
VERT	VERTICAL

SHEET INDEX
A000 COVER SHEET
D100 DEMOLITION PLANS
D200 DEMOLITION ELEVATIONS
D201 DEMOLITION ELEVATIONS
A101 FIRST FLOOR PLAN
A102 SECOND FLOOR PLAN
A106 1 & 2 FLOOR RCP
A111 FIRST FLOOR FINISH
A112 SECOND FLOOR FINISH
A200 EXTERIOR ELEVATIONS
A201 EXTERIOR ELEVATIONS
A202 INTERIOR ELEVATIONS
A400 WINDOW DETAILS
A401 DETAILS
A402 SIGNAGE DETAILS
A600 EXISTING WINDOW TYPES
A601 NEW WINDOW TYPES

LIST OF CODES
<b>CODES AND ORDINANCE</b>
2006 INTERNATIONAL BUILDING CODE - IBC W/ MN AMENDMENTS
2007 MINNESOTA STATE BUILDING CODE - W/ IBC AMENDMENTS
2005 NATIONAL ELECTRIC CODE - NEC
2000 INTERNATIONAL MECHANICAL CODE - IMC (PER MN STATE BUILDING CODE 1346)
1998 MINNESOTA PLUMBING CODE W/ 2003 AMENDMENTS - CHPATER 4715
2000 INTERNATIONAL FUEL & GAS CODE - IFGC W/ AMENDMENTS
2002 NFPA - 13
2003 ANSI 117.1 - (PER MN STATE BUILDING CODE CH. 1341)
<b>SPRINKLER</b>
SPRINKLER THROUGHOUT PER 403.2 NFPA - 13 WET SYSTEM
<b>OCCUPANCY TYPE</b>
<b>B</b>
<b>CONSTRUCTION TYPES</b>
4-STORY OFFICE: TYPE II-A
MEP TO BE D/B, SUBMIT UNDER SEPARATE COVER
FIRE SUPPRESSION TO BE D/B, SUBMIT UNDER SEPARATE COVER

COVER SHEET

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Architect under the laws of the State of Minnesota.

Name:  
Alex Haeker, AIA, NCARB  
Signature:

License #:  
Date:

ISSUE	DATE
PERMITS PREPARATION APPLICATION	5/20/2013
PERMITS PREPARATION APPLICATION	6/20/2013
PERMITS PREPARATION SET	6/17/2013
PERMITS PREPARATION SET	7/2/2013
PERMITS PREPARATION SET	7/12/2013
PERMITS PREPARATION SET	7/26/2013

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Signature:

License #:  
Date:

ISSUE	DATE
HERITAGE PRESERVATION APPLICATION	5/20/2013
PERMITS AND APPLICATION	6/20/2013
PERMITS AND APPLICATION	6/17/2013
PERMITS AND APPLICATION	7/2/2013
PERMITS AND APPLICATION	7/2/2013
PERMITS AND APPLICATION	7/2/2013

DEMOLITION KEY	
	DESCRIPTION
	DEMOLISH WALL AND ASSOCIATED COMPONENTS
	REMOVE DOOR AND ASSOCIATED COMPONENTS
	EXG WALL - VERIFY AT ALL CORRIDORS TO MAINTAIN 1HR RATING
	EXG WALL - VERIFY AT ALL CORRIDORS TO MAINTAIN 1HR RATING
	EXG DOOR - VERIFY 1 HR RATING AT ALL CORRIDOR CONDITIONS

GENERAL DEMOLITION NOTES:

SCOPE OF WORK ONLY INCLUDES CORE AND SHELL REDEVELOPMENT. EXISTING TENANT SPACES TO REMAIN AS SHOWN. COORDINATE NEW WORK WITH DEVELOPER AND TENANT ARCHITECTS FOR WORK ASSOCIATED WITH NEW OR EXISTING TENANT FIT OUT SCOPE.

CONSULT ARCHITECT FOR CLARIFICATION OF INTENT IF UNCLEAR AND IF SPECIAL CONDITIONS ARE ENCOUNTERED.

SEE NEW ELEVATIONS TO VERIFY SCOPE OF WINDOW AND MASONRY REMOVAL.

PATCH AND REPAIR FLOOR TO BE LEVEL WITH EXISTING FLOOR. PREPARE FLOOR FOR NEW FLOOR FINISH. SEE FINISH PLANS.

SECURE AND FASTEN ALL LOOSE DEBRIS IN EXISTING WALLS AND COLUMNS TO REMAIN; SUCH AS NAILS, BOLTS, ETC.

REMOVE ALL LOOSE MORTAR, BRICKS, CMU, STEEL AND ASSOCIATED COMPONENTS FROM WALLS TO REMAIN.

SALVAGE ALL BRICK REMOVED FROM WINDOW AND OTHER OPENINGS DURING DEMOLITION FOR USE IN FUTURE WALL INFILL. APPLIES TO INTERIOR AND EXTERIOR WALLS.

PROTECT MATERIALS TO REMAIN; REPAIR DAMAGE TO BUILDING TO REMAIN.

COORDINATE DEMOLITION WITH REHAB AND NEW CONSTRUCTION.

PATCH NEW ROOF PENETRATIONS TO EXISTING ROOF SYSTEM(S). COORDINATE W/ ROOFING CONTRACTOR TO MAINTAIN CURRENT WARRANTIES IF APPLICABLE.

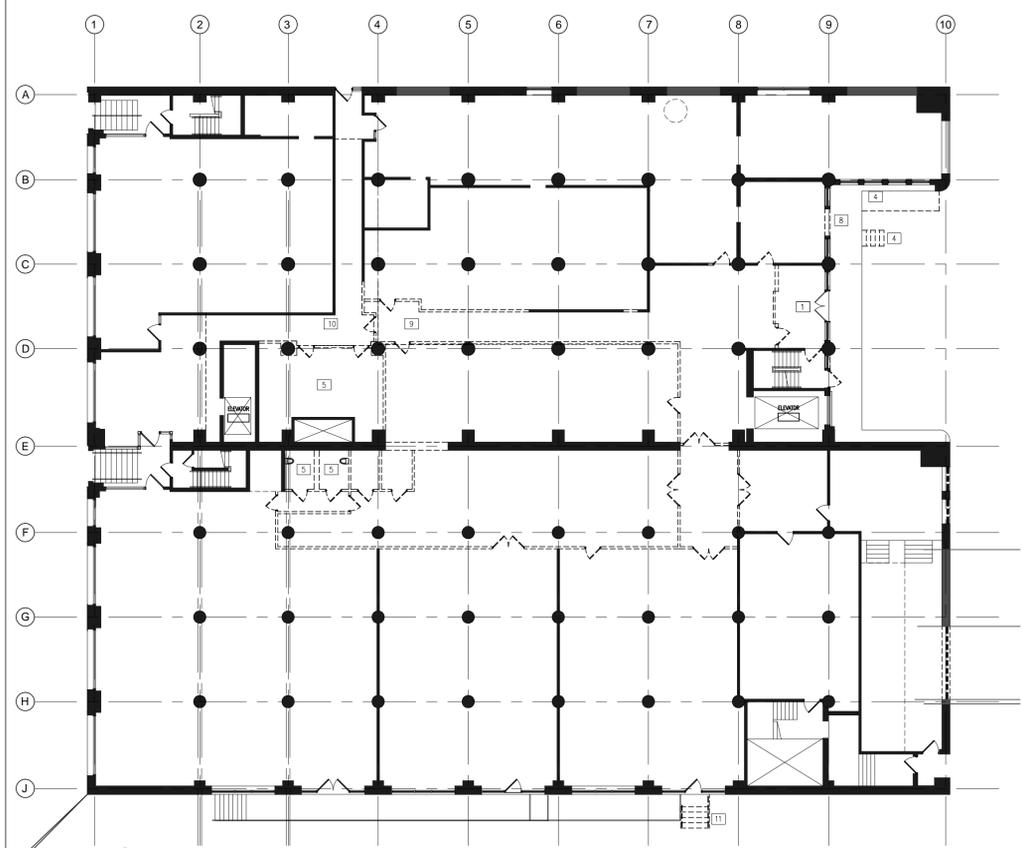
AT ALL EXISTING EXTERIOR WALLS SCHEDULED TO REMAIN, REMOVE EXISTING CLAY TILE / CMU:

- A. AS REQUIRED TO REFRAME FOR WINDOW INSTALLATION
- B. WHERE DETERIORATED

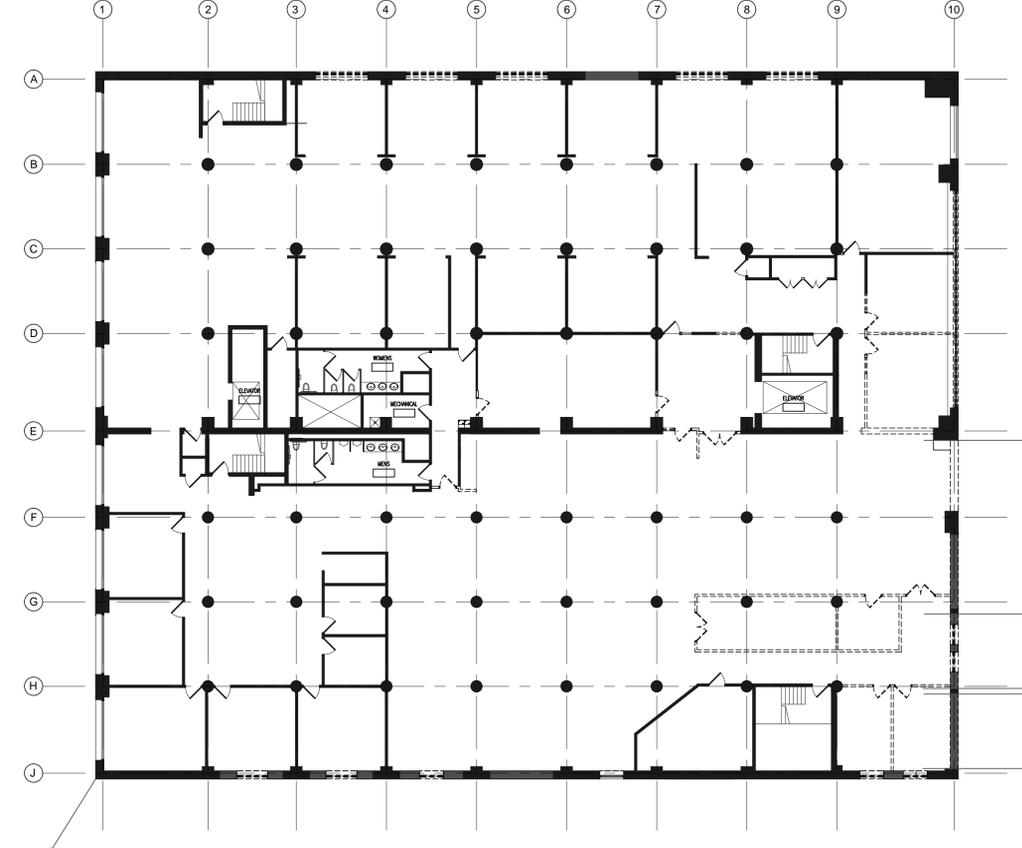
DEMOLISH WALLS AS INDICATED; PROTECT WALLS/COLUMNS TO REMAIN. REPAIR AS REQUIRED. CONSULT ARCHITECT.

DEMOLITION KEYNOTES:

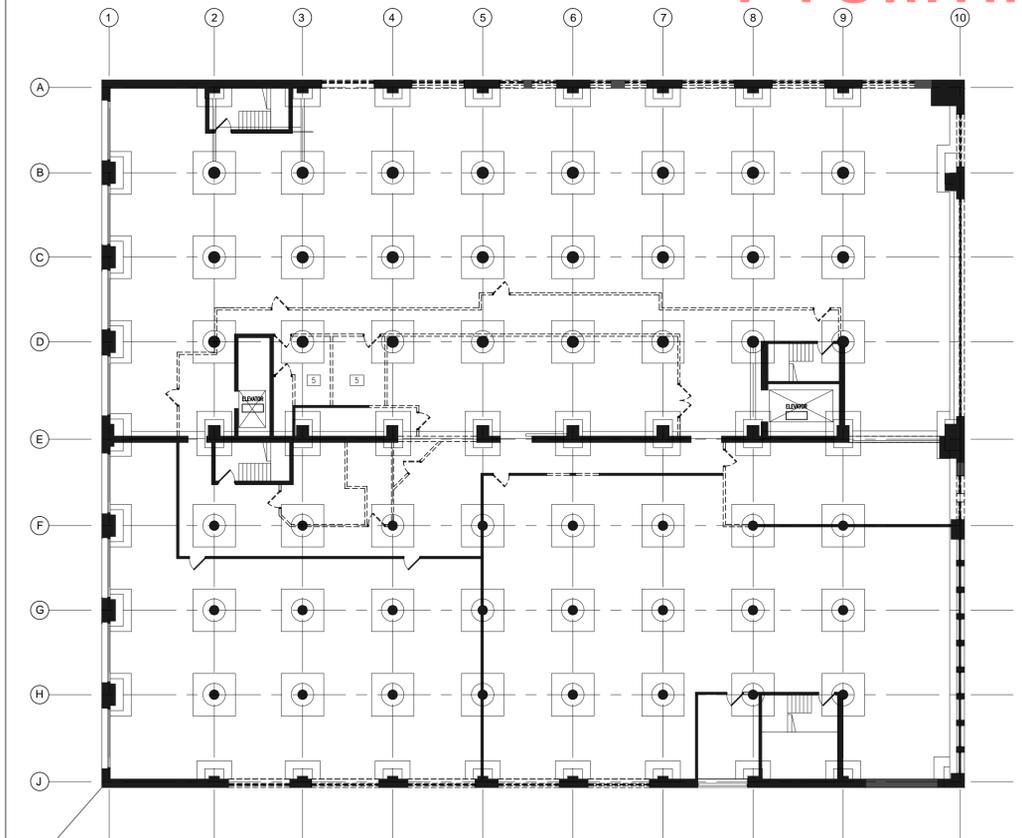
- 1 SECURE IN PLACE AS SHOWN ON A101 EXISTING HISTORIC DOOR AND FRAME. PREPARE FOR NEW CODE COMPLAINT DOOR.
- 2 EXISTING HISTORIC TO REMAIN; REFURBISH AS REQUIRED. CONSULT ARCHITECT.
- 3 NOT USED.
- 4 REMOVE RAMP AND STAIR AND ASSOCIATED COMPONENTS.
- 5 REMOVE RESTROOM FIXTURES AND ASSOCIATED COMPONENTS.
- 6 RESTORE HISTORIC STEEL WINDOW IN STAIRWELL
- 7 PREP EXISTING OPENING FOR NEW WALL INFILL WITH WALL TYPE SHOWN.
- 8 REMOVE EXISTING NON-HISTORIC INFILL. PRESERVE ADJACENT WINDOWS AND ASSOCIATED COMPONENTS.
- 9 REMOVE PORTION OF MEZZANINE. SEE PLAN A101.
- 10 REMOVE GWB CLG OVERHEAD.
- 11 REMOVE CONCRETE STOOP, STEPS, AND HANDRAILS



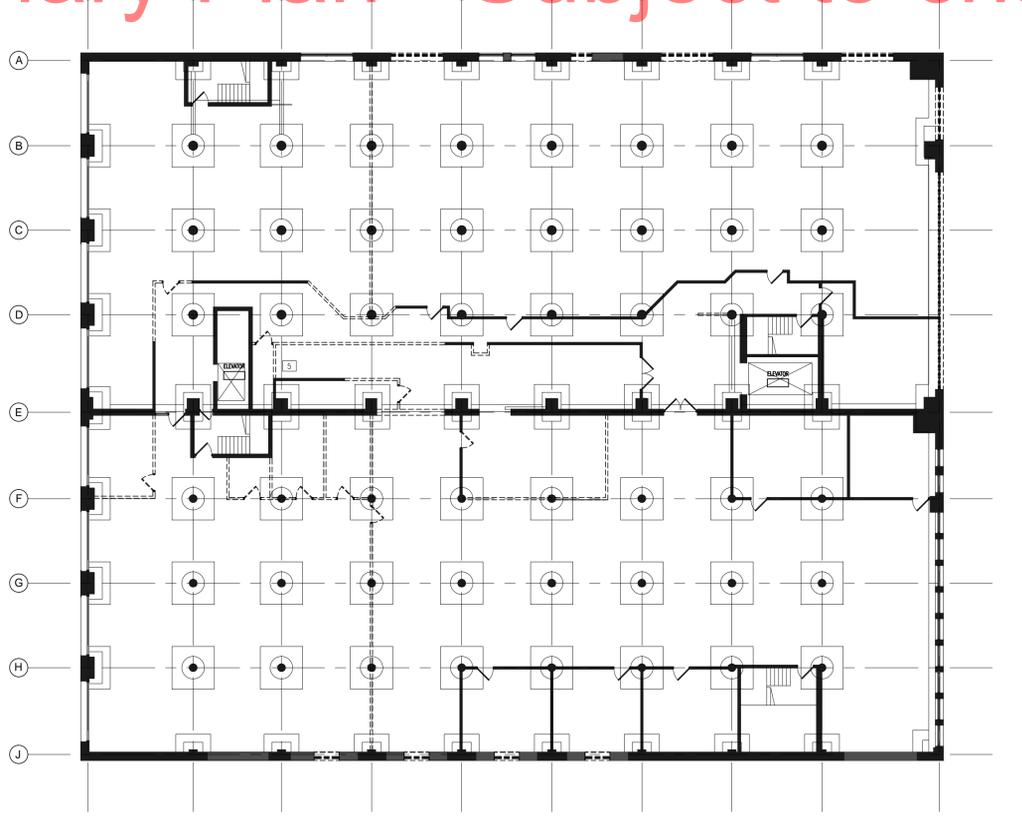
**1** FIRST FLOOR DEMOLITION PLAN  
D100 1/16" = 1'-0"



**2** SECOND FLOOR DEMOLITION PLAN  
D100 1/16" = 1'-0"



**3** THIRD FLOOR DEMOLITION PLAN  
D100 1/16" = 1'-0"



**4** FOURTH FLOOR DEMOLITION PLAN  
D100 1/16" = 1'-0"

Preliminary Plan - Subject to change



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Name:  
Alex Haecker, AIA, NCARB  
Signature:

License #:

Date:

ISSUE	DATE
PRELIMINARY PRESENTATION APPLICATION	5/20/2013
REVISED PRELIMINARY APPLICATION	6/3/2013
FINAL PRELIMINARY REPORT	6/17/2013
FINAL PRELIMINARY SET	7/2/2013
OWNER REVIEW AND PRICING SET	7/12/2013
FINAL EXACT SET SUBMITTAL	7/26/2013

**DEMOLITION KEY**

	DESCRIPTION
	INDICATES EXISTING COMMON BRICK TO REMAIN.
	INDICATES COMMON BRICK TO BE REMOVED FOR NEW WINDOW OR OPENING. STORE FOR REUSE.
	INDICATES CMU TO BE REMOVED. NON-HISTORIC INFILL.
	INDICATES GLASS BLOCK TO BE REMOVED. NON-HISTORIC INFILL.

GENERAL ELEVATION DEMOLITION NOTES:

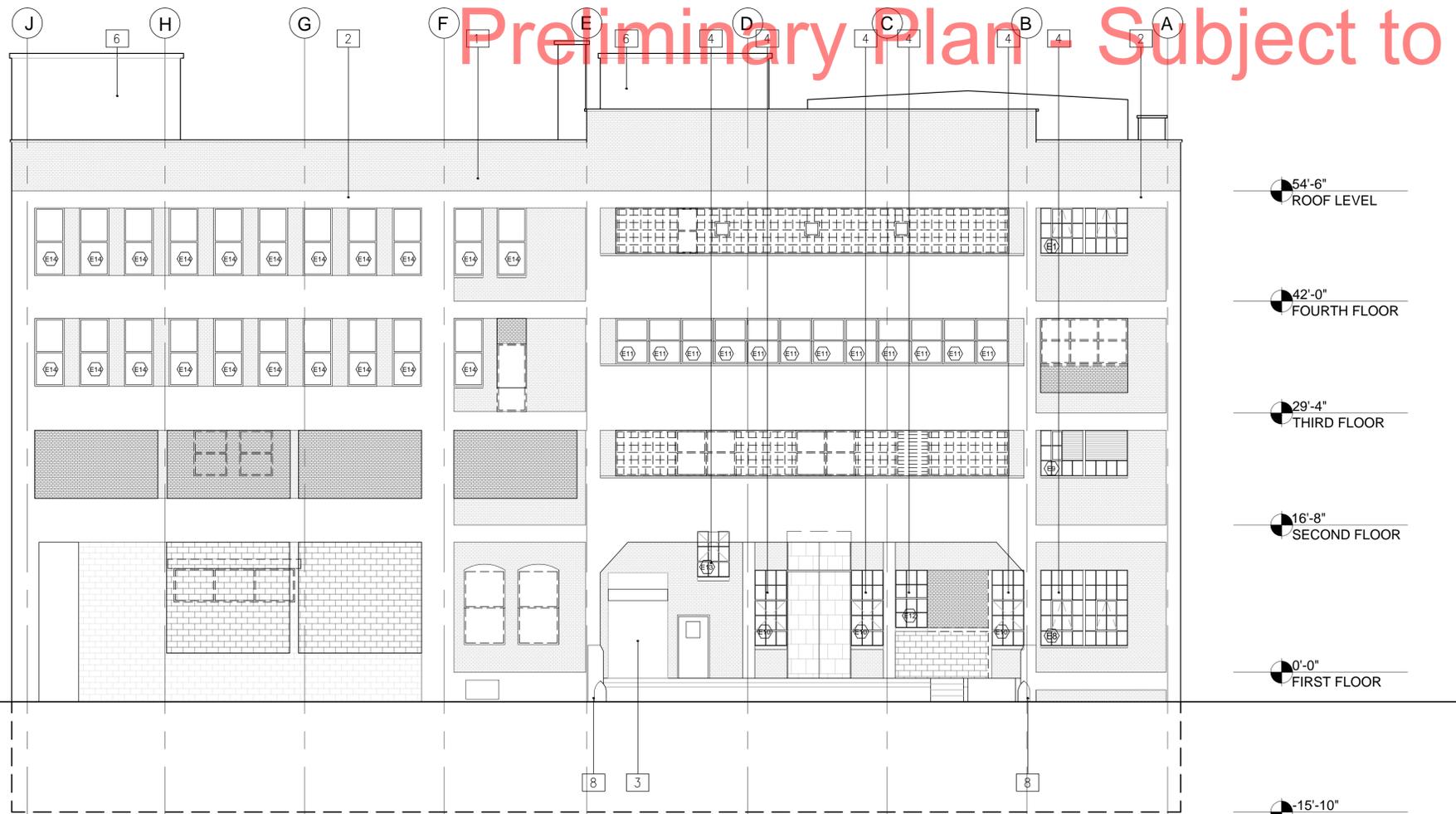
1. VERIFY ALL OPENINGS IN FIELD
2. REFER TO ELEVATIONS FOR NEW WINDOWS AND ASSOCIATED MASONRY OPENINGS.

DEMOLITION ELEVATION KEYNOTES:

- 1 EXISTING BRICK TO REMAIN. REMOVE PAINT AND CLEAN WITH GENTLE, NON-ABRASIVE METHOD OF LOW PRESSURE (100 PSI) WATER WASH. TUCK POINT AS REQUIRED.
- 2 EXISTING EXPOSED CONCRETE FRAME TO REMAIN. REPAIR SPALDING, CRACKS AS NECESSARY. PREP FOR NEW FINISH OF CEMENTITIOUS PAINT, GRAY.
- 3 EXISTING NON-HISTORIC STEEL ROLL DOWN DOOR TO REMAIN.
- 4 EXISTING HISTORIC WINDOW TO REMAIN AND TO BE REFURBISHED. REFER TO ELEVATIONS FOR MORE INFORMATION.
- 5 REMOVE EXISTING CANOPY AND ASSOCIATED COMPONENTS.
- 6 EXISTING ROOF TOP STRUCTURES TO REMAIN AS IS.
- 7 REMOVE EXTERIOR LIGHT FIXTURE.
- 8 CUT OFF CORRODED STEEL AND REPAIR AND REPLACE.
- 9 WINDOWS ON THIS ELEVATION TO REMAIN, NO CHANGE



1 NORTH ELEVATION  
D200 1/16" = 1'-0"



2 SOUTH ELEVATION  
D200 1/16" = 1'-0"

Preliminary Plan - Subject to change

I hereby certify that this plan, specification report was prepared by me or under my supervision and I am a duly licensed AIA under the laws of the State of Minnesota.

Name:  
Alex Haecker, AIA,  
Signature:

License #:

Date:

ISSUE  
REVISIONS  
DATE  
BY  
CHECKED BY  
DATE  
BY

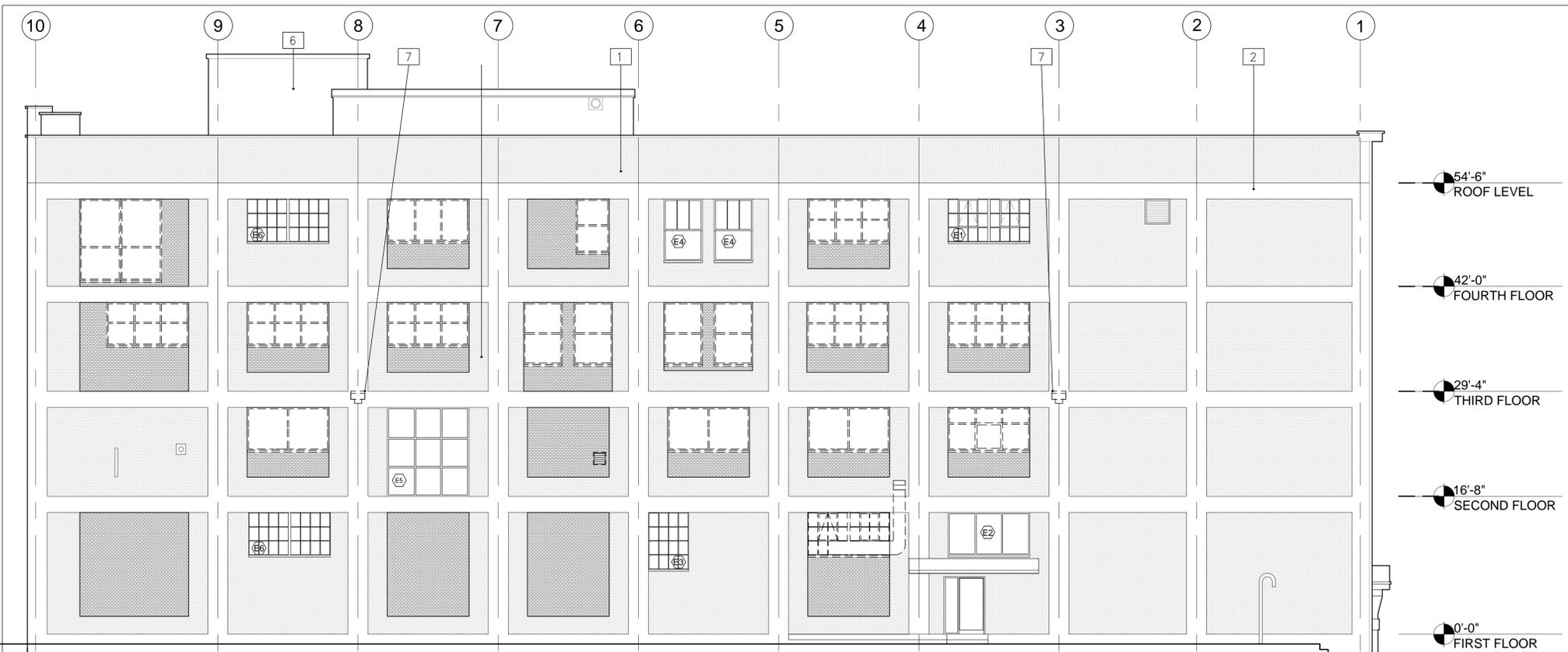
DEMOLITION KEY	
	DESCRIPTION
	INDICATES EXISTING COMMON BRICK TO REMAIN.
	INDICATES COMMON BRICK TO BE REMOVED FOR NEW WINDOW OR OPENING. STORE FOR REUSE.
	INDICATES CMU TO BE REMOVED. NON-HISTORIC INFILL.
	INDICATES GLASS BLOCK TO BE REMOVED. NON-HISTORIC INFILL.

GENERAL ELEVATION DEMOLITION NOTES:

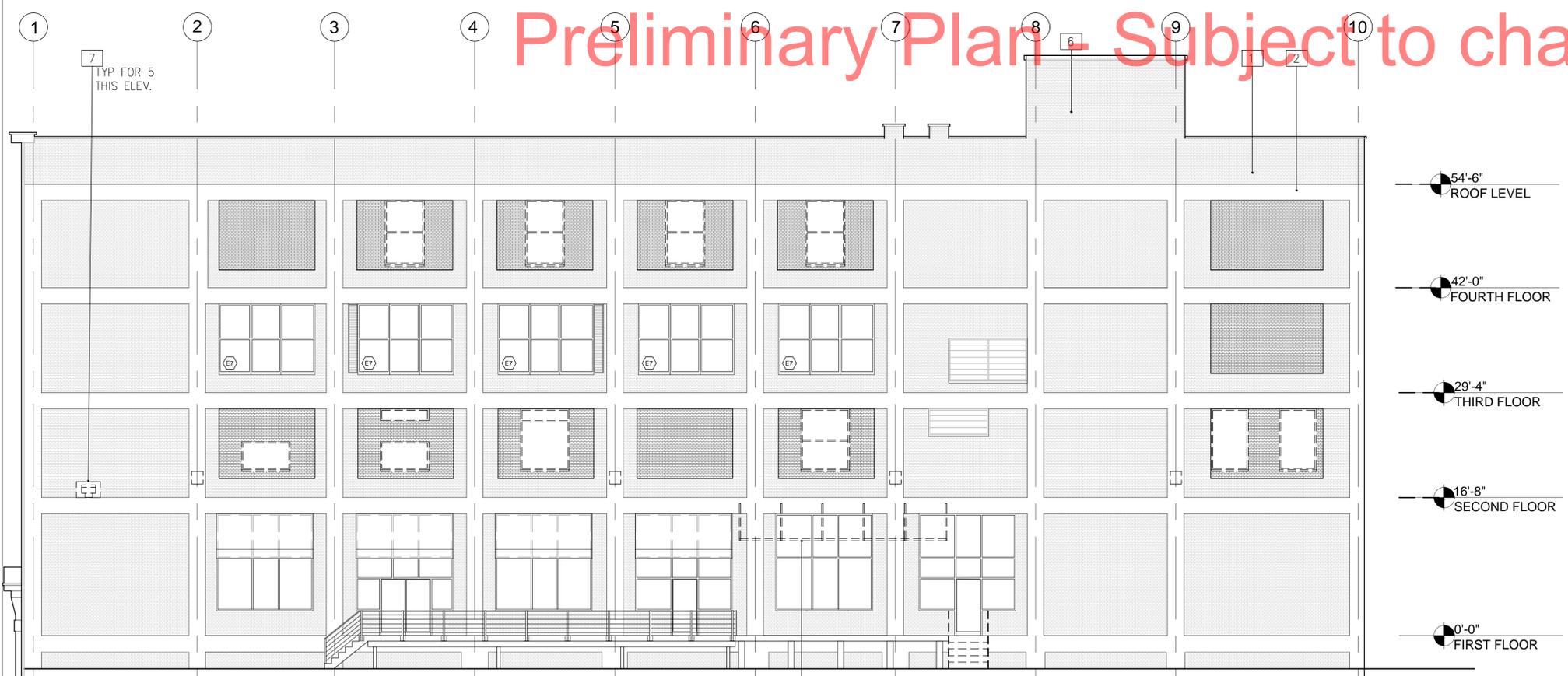
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- 9 WINDOWS ON THIS ELEVATION TO REMAIN, NO CHANGE

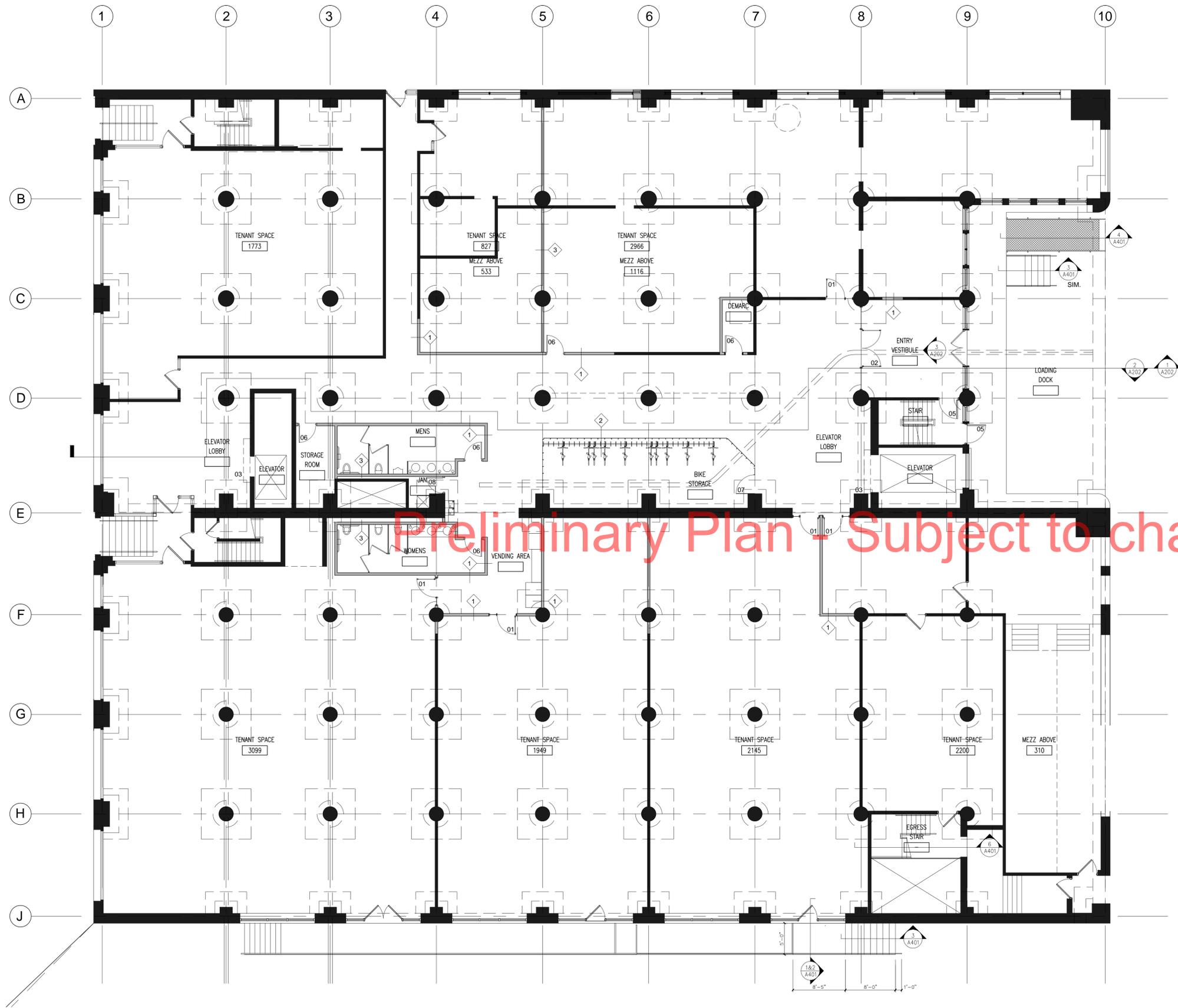


1 EAST ELEVATION  
1/8" = 1'-0"



2 WEST ELEVATION  
1/8" = 1'-0"

Preliminary Plan - Subject to change



GENERAL NOTES:

1. CONSULT ARCHITECT FOR CLARIFICATION OF INTENT IF UNCLEAR AND IF SPECIAL CONDITIONS ARE ENCOUNTERED.
  2. FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS.
  3. DIMENSIONS AT EXTERIOR WALLS ARE TO OUTSIDE FACE OF SHEATHING.
  4. DIMENSIONS AT INTERIOR WALLS ARE TO CENTERLINE OF WALL.
  5. DIMENSIONS AT DEMISING WALLS ARE TO CENTERLINE OF WALL.
  6. NEW DEMISING WALLS ARE TO BE TO UNDERSIDE OF EXISTING CONCRETE SLAB, 1HR FIRE RATING WITH ACOUSTIC RATING UNLESS NOTED OTHERWISE.
  7. PREP AND PAINT ALL EXISTING WALLS, STRUCTURES, CEILINGS SCHEDULED TO REMAIN EXPOSED, INCLUDING STAIRWAY WALLS. PREP AND PAINT ALL EXISTING METAL STAIR RAILINGS. ALL NEW WALLS AND CEILINGS TO BE PAINTED.
  8. WHEREVER OPENINGS ARE CUT THROUGH FIRE RATED PARTITIONS, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PATCH AND REPAIR ANY OPENING TO MAINTAIN THE INTEGRITY OF THE FIRE RATING.
  9. AT ALL EXISTING EXTERIOR WALLS SCHEDULED TO REMAIN, REMOVE EXISTING CLAY TILE/CMU:
    - A. AS REQUIRED TO REFRAME FOR WINDOW INSTALLATION
    - B. WHERE DETERIORATED.
 OF SYSTEM(S). COORDINATE W/ ROOFING CONTRACTOR TO MAINTAIN CURRENT WARRANTIES IF APPLICABLE.
- AT ALL EXISTING EXTERIOR WALLS SCHEDULED TO REMAIN, REMOVE EXISTING CLAY TILE / CMU:
- A. AS REQUIRED TO REFRAME FOR WINDOW INSTALLATION
  - B. WHERE DETERIORATED

Wall Types

1		5/8" GWB 3-5/8" MTL STUDS @ 24" O.C. 5/8" GWB
2		3X13X1/4" THICK CHANNEL GLASS
3		3-5/8" MTL STUDS @ 24" O.C. 5/8" MILDEEW RESISTANT GWB

1 FIRST FLOOR PLAN  
1/8" = 1'-0"

**AMH**  
ARCHITECTS

Alex Haecker, AIA  
5325 Colfax Ave S  
Minneapolis, MN 55419  
alex@amhllc.net  
amhllc.net 612-558-5383

**ACKERBERG**

Kevin Kuppe  
The Ackerberg Group  
O: 612-924-6509  
C: 612-770-7146  
kevin@ackerberg.com

PROJECT DEVELOPER

PROJECT:  
NORTHWESTERN BUILDING  
219 2nd Street N  
Minneapolis, MN 55401

FIRST FLOOR PLAN

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Architect under the laws of the State of Minnesota.

Name:  
Alex Haecker, AIA, NCARB

Signature:

License #:  
Date:

ISSUE	DATE
PERMITS PREPARATION/APPLICATION	5/20/2013
PERMITS APC APPLICATION	6/3/2013
PERMITS PROGRESS SET	6/17/2013
PERMITS PROGRESS SET	7/2/2013
CHANGE REVIEW AND RESPONSE SET	7/12/2013
PHASE PART I APC SUBMITTAL	7/26/2013

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Signature:

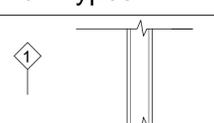
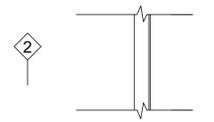
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Date:

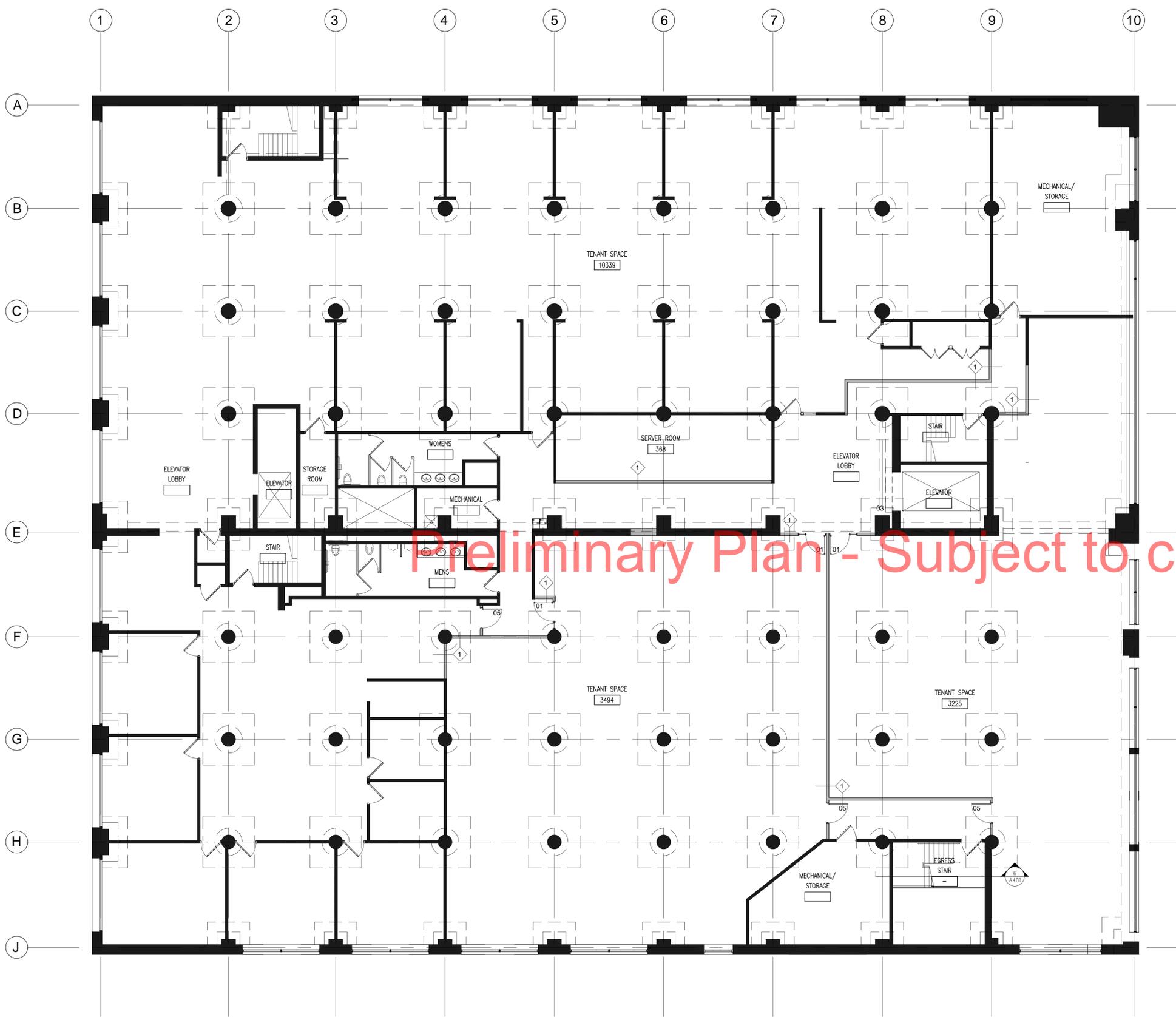
ISSUE	DATE
PERMITS PREPARATION/APPLICATION	5/20/2013
PERMITS AEC APPLICATION	6/3/2013
PERMITS AEC SET	6/17/2013
PERMITS AEC REVIEW SET	7/2/2013
PERMITS AEC SUBMITTAL	7/26/2013

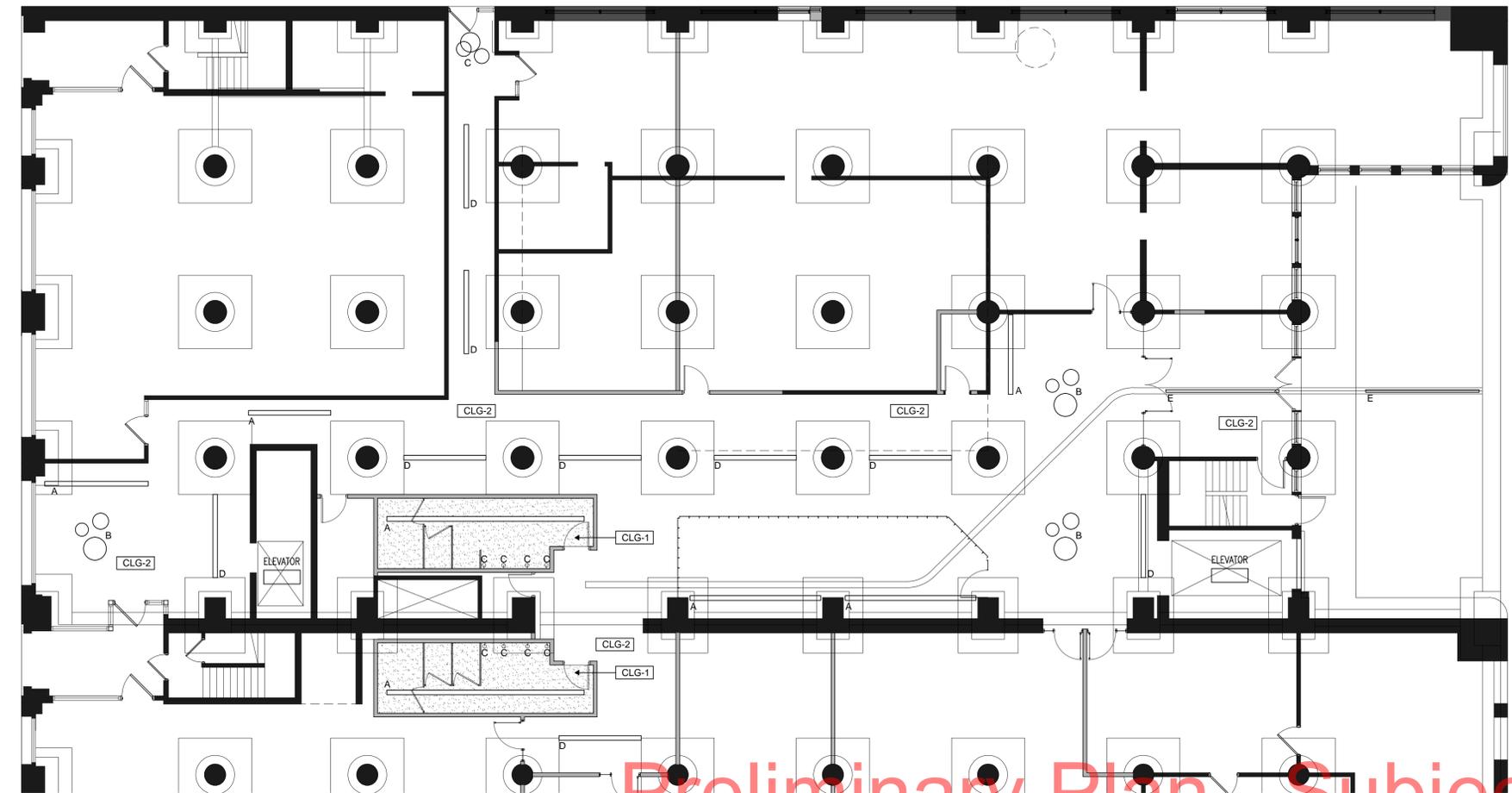
GENERAL NOTES:

- CONSULT ARCHITECT FOR CLARIFICATION OF INTENT IF UNCLEAR AND IF SPECIAL CONDITIONS ARE ENCOUNTERED.
- FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS.
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- AT ALL EXISTING EXTERIOR WALLS SCHEDULED TO REMAIN, REMOVE EXISTING CLAY TILE/CMU:
  - AS REQUIRED TO REFRAME FOR WINDOW INSTALLATION
  - WHERE DETERIORATED.
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- AT ALL EXISTING EXTERIOR WALLS SCHEDULED TO REMAIN, REMOVE EXISTING CLAY TILE / CMU:
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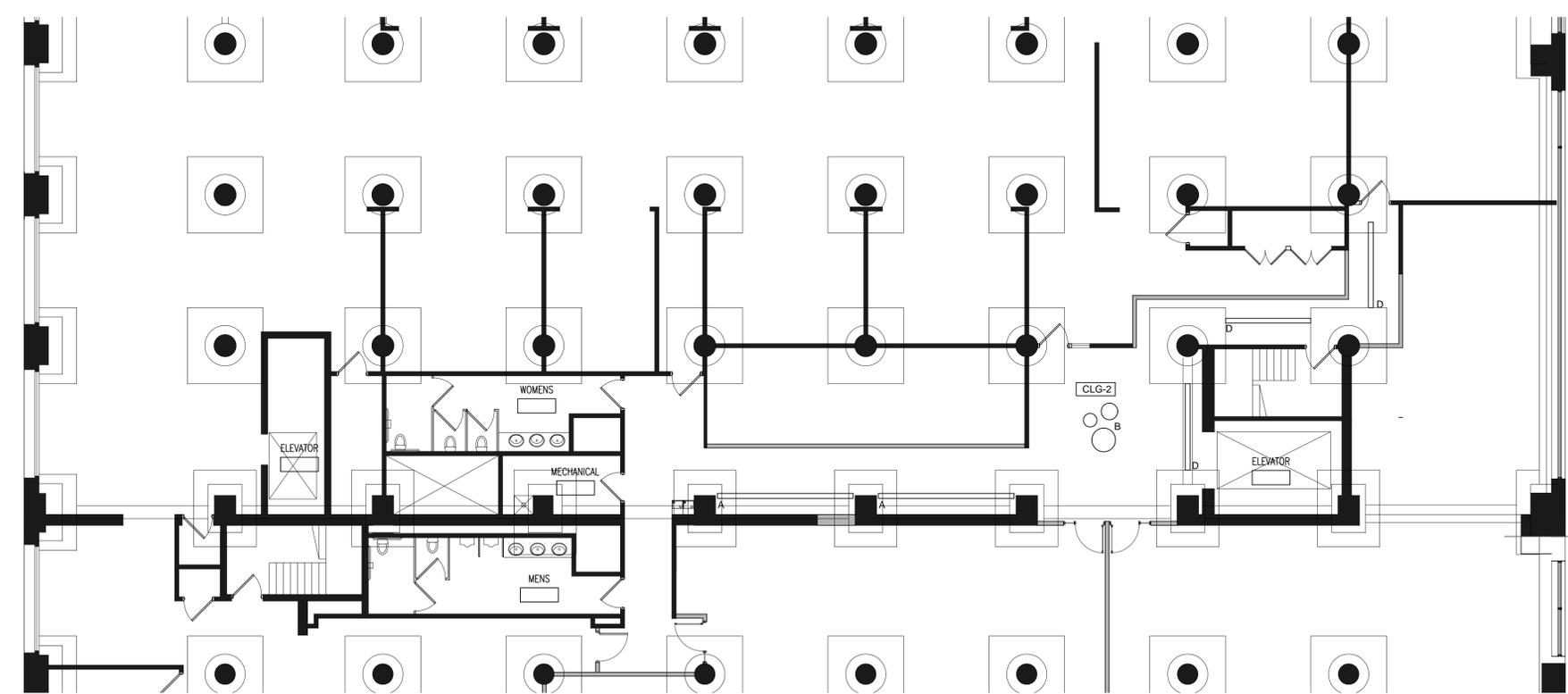
Preliminary Plan - Subject to change

Wall Types	
1	 <p>5/8" GWB 3-5/8" MTL STUDS @ 24" O.C. 5/8" GWB</p>
2	 <p>3X13X1/4" THICK CHANNEL GLASS</p>
3	 <p>3-5/8" MTL STUDS @ 24" O.C. 5/8" MILDEW RESISTANT GWB</p>





1 FIRST FLOOR RCP  
1/8" = 1'-0"



2 SECOND FLOOR RCP  
1/8" = 1'-0"

Preliminary Plan - Subject to change

LIGHT FIXTURE SCHEDULE

	DESC	MANUFACTURER	LAMPS	MOUNTING HEIGHT B.O.F.
A	CIRRUS CHANNEL WALL WASH	EDGE LIGHTING DIMENSIONS VARY CC-WW-7WDC-VARIES-27K-SA-(W) WET LOCATION IN RESTROOMS	WW 3000K LEDs, 85+CRI	@ CONC - MOUNT TO EXG @ RR - PROVIDE NICHE IN GWB CLG
B	FRENCH EMPIRE CHAINMAIL CHANDELIER	RESTORATION HARDWARE 17" DIAMETER #6806.0564 (PEWTER) 21" DIAMETER #6806.0563 (PEWTER) 30" DIAMETER #6806.0913 (PEWTER)	G SOCKET 28W CFL	VARIES CONSULT WITH ARCHITECT
C	ANTIQUED METAL DRUM	RESTORATION HARDWARE 19-1/2" DIAMETER #6806.0407 (ANT. SILVER) 25-1/2" DIAMETER #6806.0405 (ANT. SILVER)	G SOCKET 28W CFL	VARIES CONSULT WITH ARCHITECT
D	LINEAR INDIRECT DIRECT	LITE CONTROL MOD 22 P-ID-0200-2-8-T5HO-2-8-T5HO-BW-TCWM	T5HO	MOUNT BOTTOM OF FIXTURE 2'6" FROM BOTTOM OF DECK
E	CIRRUS CHANNEL LINEAR	EDGE LIGHTING DIMENSIONS VARY CC-WW-7WDC-VARIES-27K-SA-(W)	WW 3000K LEDs, 85+CRI	MOUNT FIXTURE TO UNDERSIDE OF EXG STEEL BEAM
F				
G	WALL MOUNTED COMPACT FLOURESCENT	MAXLITE SKFHLWP- Large wall pack HIGH OUTPUT SELFBALLASTED	150W	26'-0" ABOVE GRADE AS SHOWN ON ELEVATIONS
H	WALL MOUNTED COMPACT FLOURESCENT	MAXLITE SKFH1X1SMC- Surface mount wall pack	60W	7'-0" ABOVE FINISH FLOOR

FINISH SCHEDULE

	DESC	FINISH
CLG-1	SUSPENDE DRWAYLL CEILING @ 9'-0"	PT-1
CLG-2	EXISTING CONCRETE DECK	PT-1

**AMH**  
ARCHITECTS

Alex Haecker, AIA  
5325 Colfax Ave S  
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612-558-5383

**ACKERBERG**  
Kevin Kuppe  
The Ackerberg Group  
C: 612-924-6509  
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kevin@ackerberg.com

PROJECT DEVELOPER

PROJECT:  
NORTHWESTERN BUILDING  
219 2nd Street N  
Minneapolis, MN 55401

1 + 2 REFLECTED CLG PLAN

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Architect under the laws of the State of Minnesota.

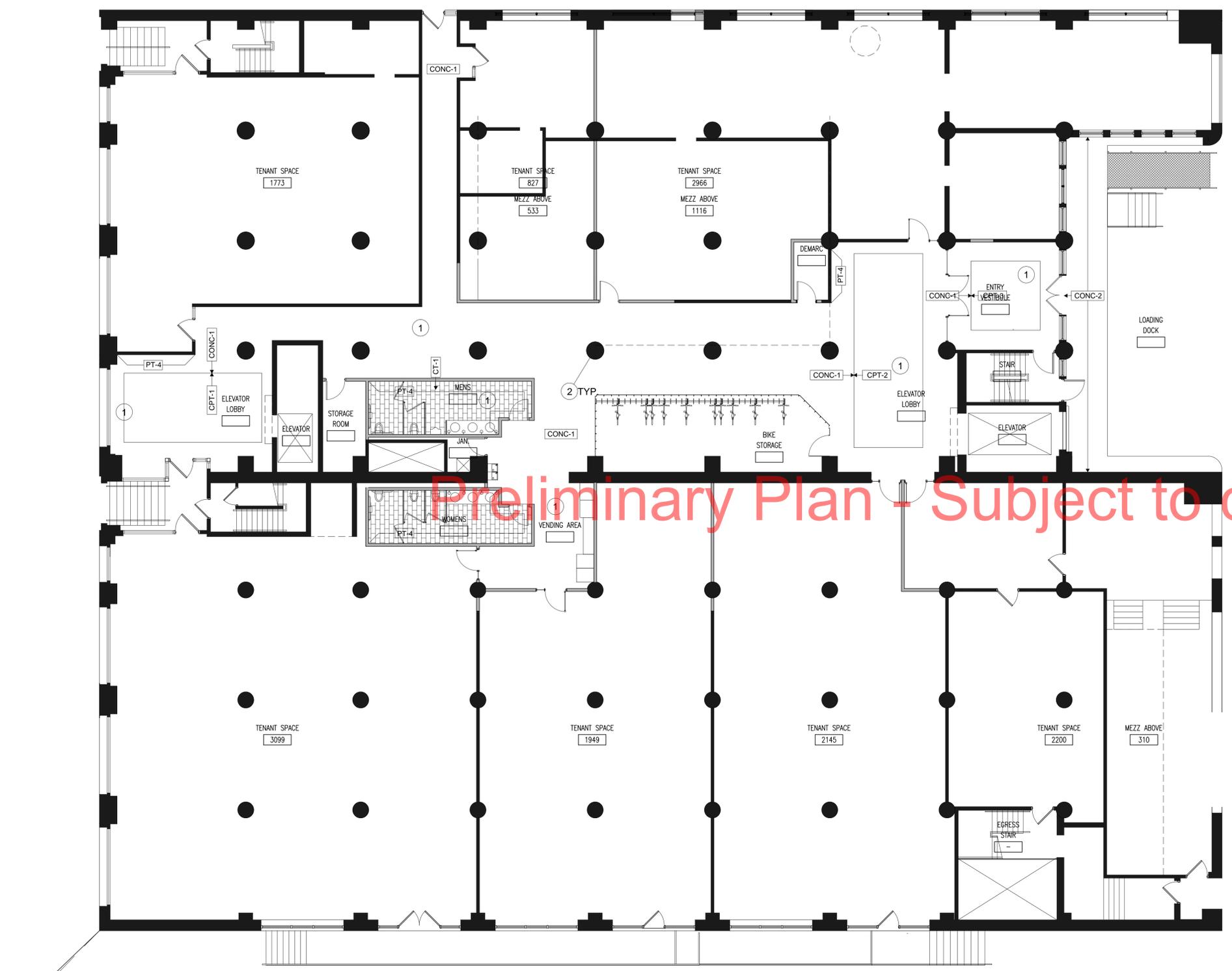
Name:  
Alex Haecker, AIA, NCARB  
Signature:

License #:  
Date:

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PHASE PART 4 AND SUBMITTAL	7/26/2013

FINISH SCHEDULE		
	DESC	FINISH
CPT-1	CARPET	INTERFACE FLOR OR EQUIVALENT
CPT-2	CARPET	INTERFACE FLOR OR EQUIVALENT
CPT-3	WALK-OFF CARPET TILE	INTERFACE FLOR OR EQUIVALENT
PT-1	ALL CEILINGS	DRYFALL CEILING PAINT BM WHITE DOVE OC-17 MATTE FINISH
PT-2	ALL EXPOSED HISTORIC WALLS	BM WHITE DOVE OC-17 MATTE FINISH
PT-3	ALL WALLS UNLESS OTHERWISE NOTED	BM THUNDER AF-685 SATIN FINISH
PT-4	FEATURE WALLS	BM KENDALL GRAY HC-166 MATTE FINISH
CONC-1	EXISTING CONCRETE FLOORS	CLEAR COAT MATTE FINISH HIGH PERFORMANCE INDUSTRIAL OR EQUIVALENT
CONC-2	EXISTING CONCRETE LOADING DOCK	REMOVE LOOSE AND FAILING CONCRETE POUR NEW SURFACE TO MATCH 1ST FLOOR HEIGHT PROVIDE BROOM FINISH
CT-1	SUBWAY TILE FLOOR AND WALL	FLOOR - WHITE MATTE FINISH WALL - WHITE GLOSS FINISH

- KEYNOTES**
- ① ENTIRE CEILING TO BE PT-1, TYP
  - ② CONCRETE COLUMNS TO BE PT-2, TYPICAL FOR ALL EXPOSED CONCRETE COLUMNS, CAPITOLS AND DROP DOWN PLATES



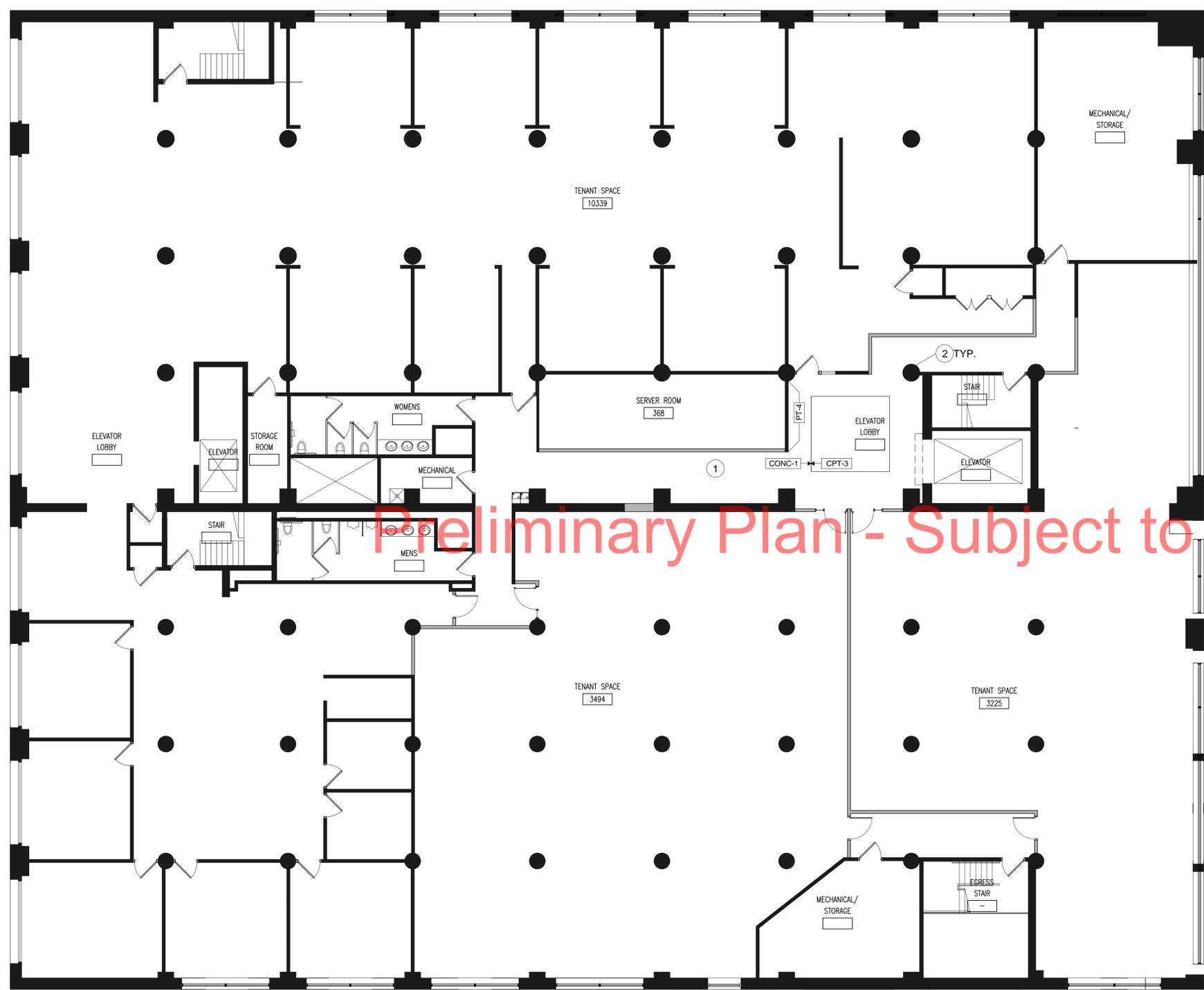
1 FIRST FLOOR PLAN  
A101 1/8" = 1'-0"

**FINISH SCHEDULE**

	DESC	FINISH
CPT-1	CARPET	INTERFACE FLOR OR EQUIVALENT
CPT-2	CARPET	INTERFACE FLOR OR EQUIVALENT
CPT-3	WALK-OFF CARPET TILE	INTERFACE FLOR OR EQUIVALENT
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**KEYNOTES**

- ① ENTIRE CEILING TO BE PT-1, TYP
- ② CONCRETE COLUMNS TO BE PT-2, TYPICAL FOR ALL EXPOSED CONCRETE COLUMNS, CAPITOLS AND DROP DOWN PLATES



Preliminary Plan - Subject to change

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Signature:

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PHASE PART II HTC SUBMITTAL	7/26/2013



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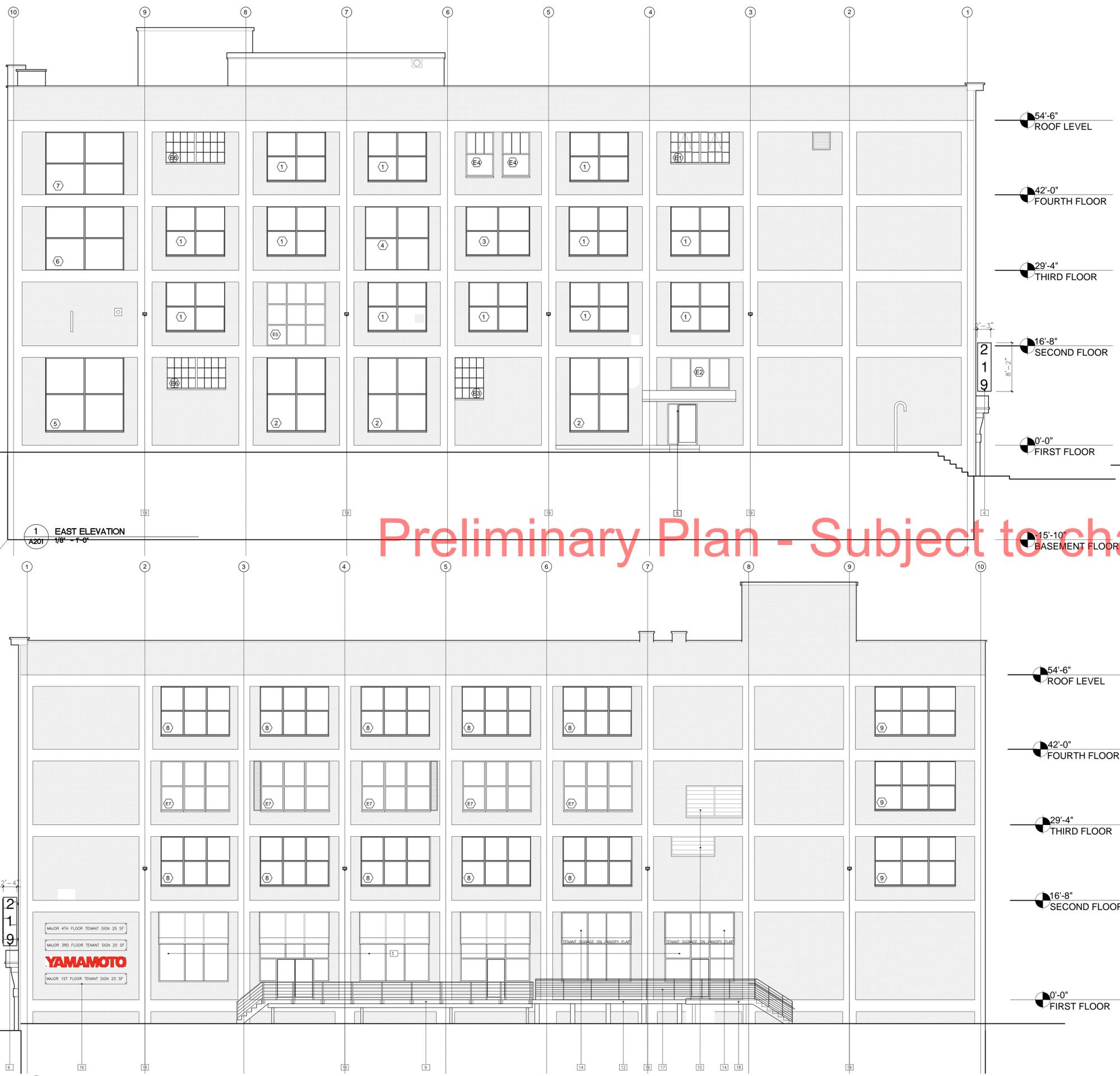
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CHANGE REVIEW AND REVISION SET	7/12/2013
PHASE PART II HTC SUBMITTAL	7/26/2013

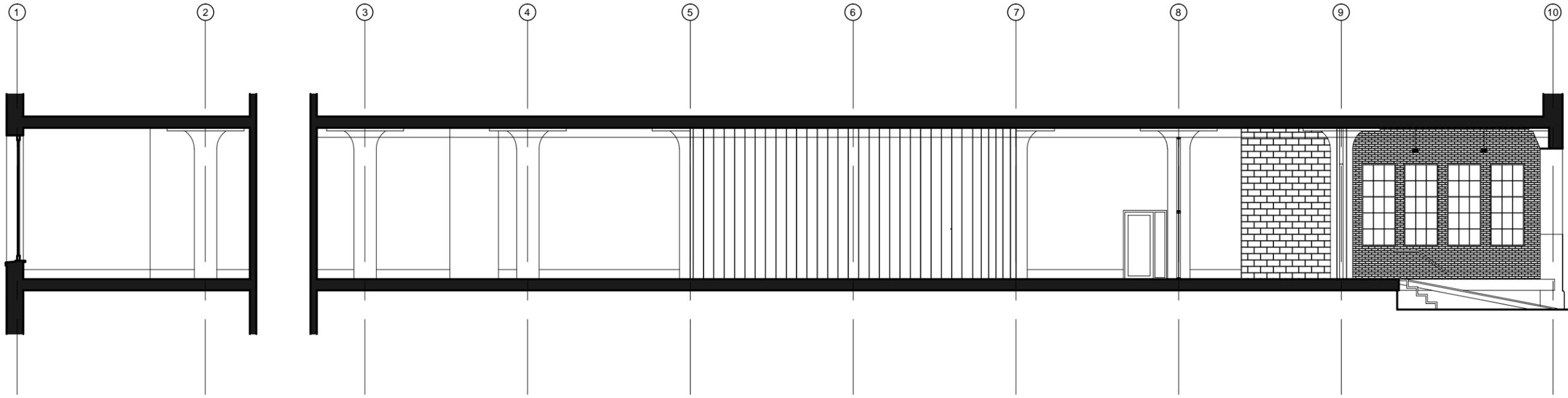
GENERAL ELEVATION NOTES:

1. VERIFY ALL OPENINGS IN FIELD
2. REFER TO WINDOW TYPES AND DETAILS FOR WINDOWS AND ASSOCIATED MASONRY OPENINGS.
3. ALL EXTERIOR EXPOSED CONCRETE TO BE GENTLY CLEANED, REPAIR SPALDING AND CRACKS AND PAINTED WITH A CEMENTITIOUS GRAY PAINT.
4. ALL EXTERIOR MASONRY AND MORTAR JOINTS TO HAVE PAINT REMOVED, GENTLY CLEANED AND REPOINTED AS REQUIRED. ALL JOINTS TO BE HAND TOOLED, NO POWER TOOLS ARE TO BE USED. MORTAR TO MATCH EXISTING. ASSUME 50% NEEDS TO BE TUCK POINTED, PROVIDE ALLOWANCE FOR ADDITIONAL. NO WORK ON FRONT ELEVATION.
5. AT NEW WINDOW/MASONRY OPENINGS, EXTERIOR BRICK TO BE CAREFULLY REMOVED (NOT SAWCUT) AND SAVED FOR REUSE. TOOTH IN REUSED BRICK AT WINDOW JAMBS AND RETURNS.

ELEVATION KEYNOTES:

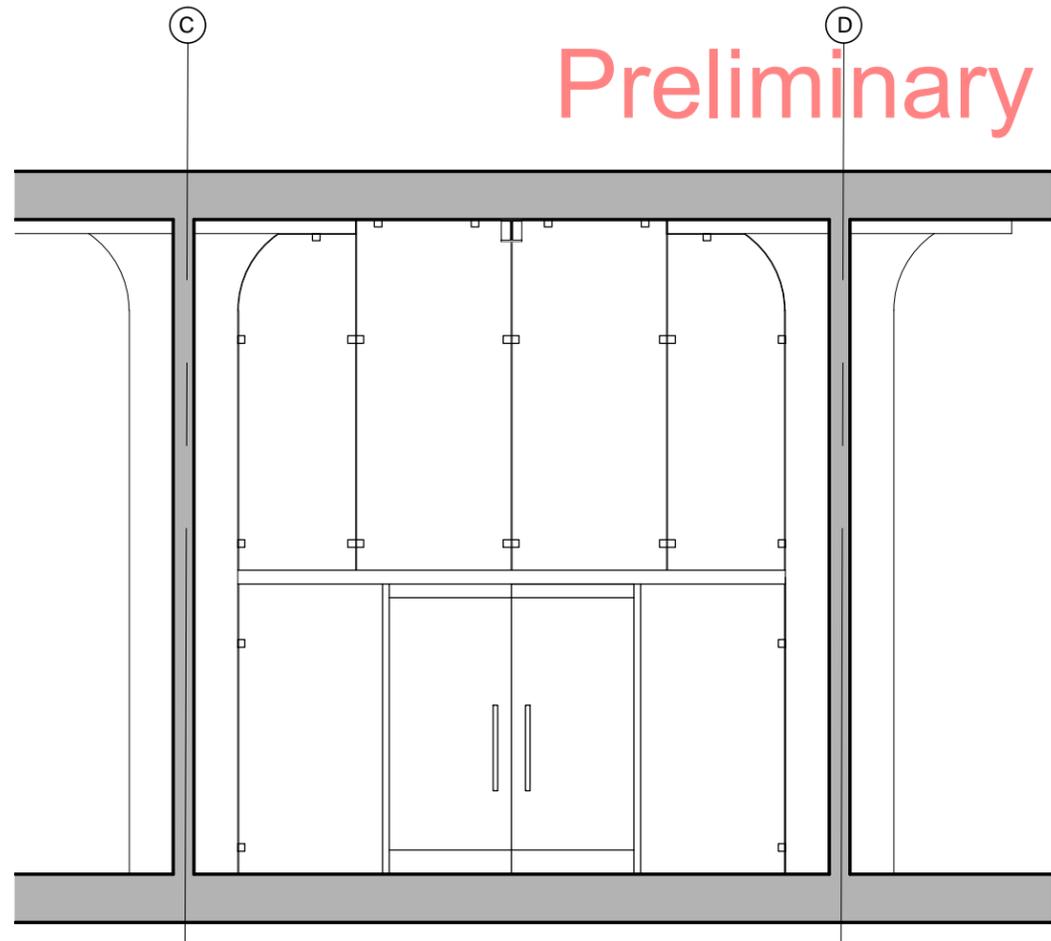
- 1 ALL WINDOWS THIS ELEVATION TO REMAIN AND NO WORK.
- 2 REPAIR AND RESTORE EXISTING TIN WRAPPED LOADING DOCK DOOR. SEE A601
- 3 EXISTING OVERHEAD DOOR TO REMAIN.
- 4 7 TOTAL E10 STEEL WINDOWS TO BE REFURBISHED. SEE PLAN.
- 5 EXISTING CANOPIES AND STOREFRONT SYSTEMS TO REMAIN.
- 6 NEW ALUMINUM BUILDING BLADE SIGN. SEE A402.
- 7 NOT USED.
- 8 NOT USED.
- 9 NON-HISTORIC LOADING DOCK AND RAILING SYSTEM TO REMAIN. PAINT RAILING AND ASSOCIATED COMPONENTS BLACK.
- 10 EXISTING LOUVERS TO REMAIN. PAINT BLACK, TYPICAL..
- 11 EXISTING CONCRETE LOADING DOCK AND BUMPER GUARD TO REMAIN.
- 12 NEW METAL STAIR AND RAMP. SEE A401
- 13 REPAIR AND REFURBISH STEEL BUMPER GUARDS. PAINT BLACK.
- 14 NEW CANOPY TO MATCH EXISTING. SEE A402.
- 15 NEW TENANT BUILDING SIGNAGE. SEE A402.
- 16 REMOVE EXISTING WIRED GLAZING AND INSTALL INSULATED METAL PANELS. PAINT BLACK.
- 17 EXTEND CABLE RAIL SYSTEM ACROSS EXISTING LOADING DOCK
- 18 NEW STAIR AND LANDING - SEE A401
- 19 WALL MOUNTED COMPACT FLUORESCENT, TYP. -SEE LIGHTING LEGEND FIXTURE TYPE G
- 20 NEW MASONRY INFILL TO MATCH EXISTING.



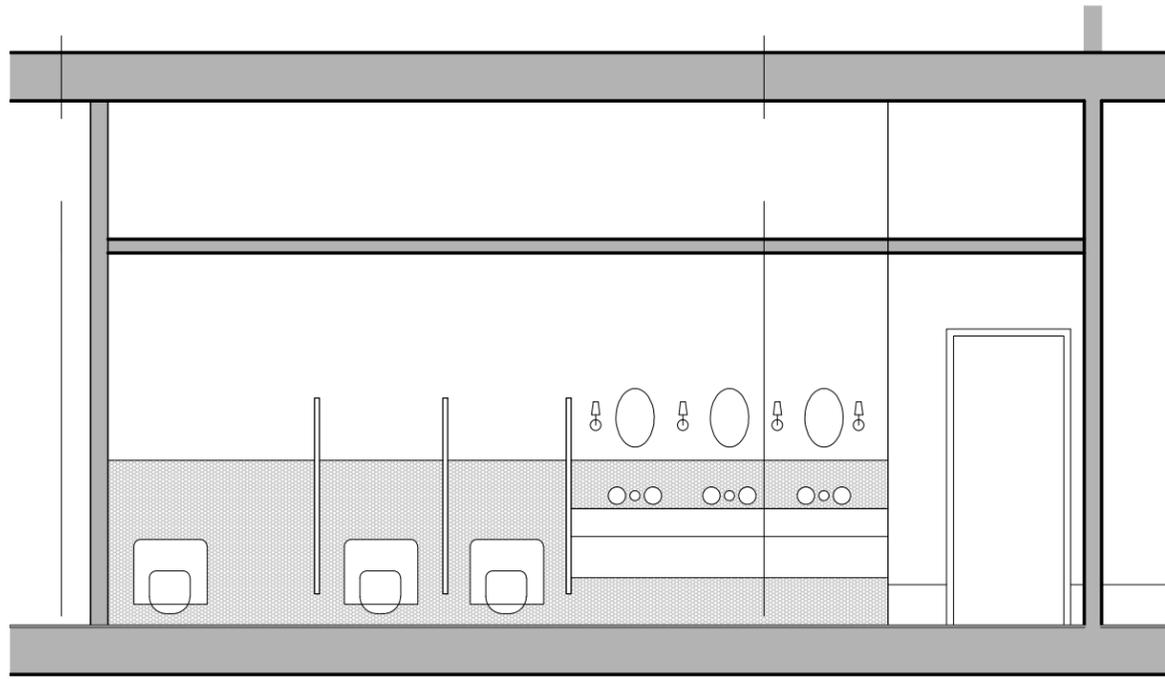


1 FIRST FLOOR CORRIDOR  
A202 3/16" = 1'-0"

Preliminary Plan - Subject to change



2 ENTRY VESTIBULE GLASS WALL  
A202 1/2" = 1'-0"



3 TYPICAL RESTROOM WET WALL  
A202 1/2" = 1'-0"

INTERIOR ELEVATIONS

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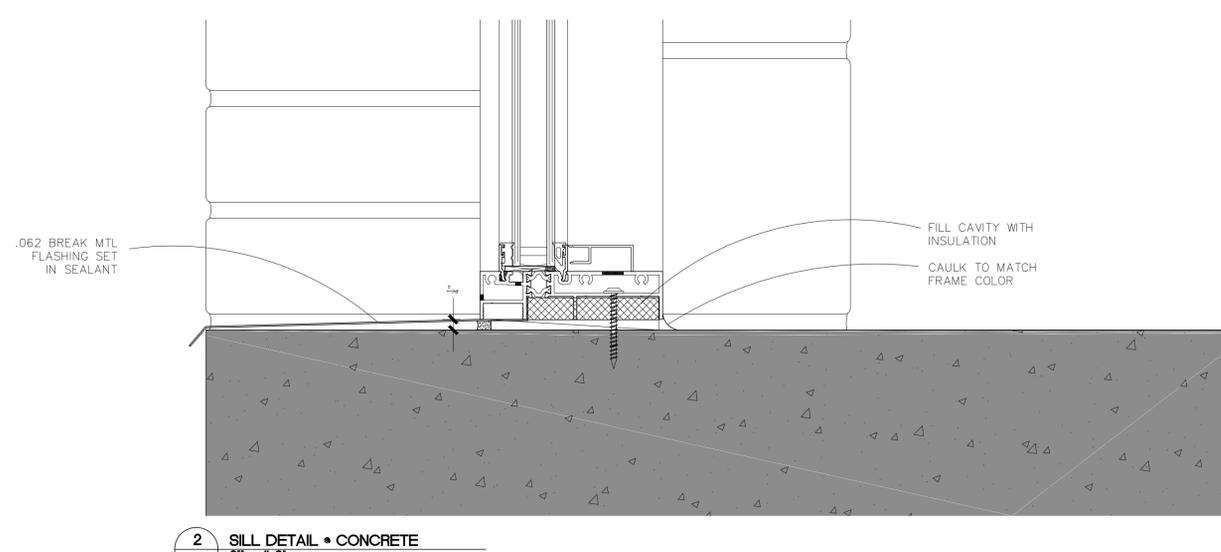
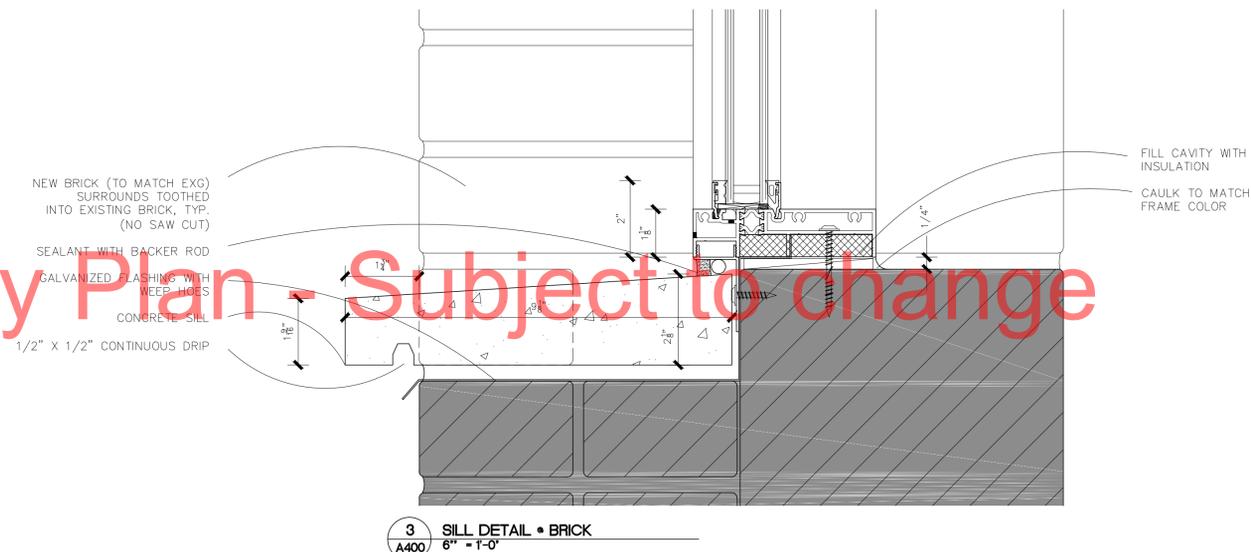
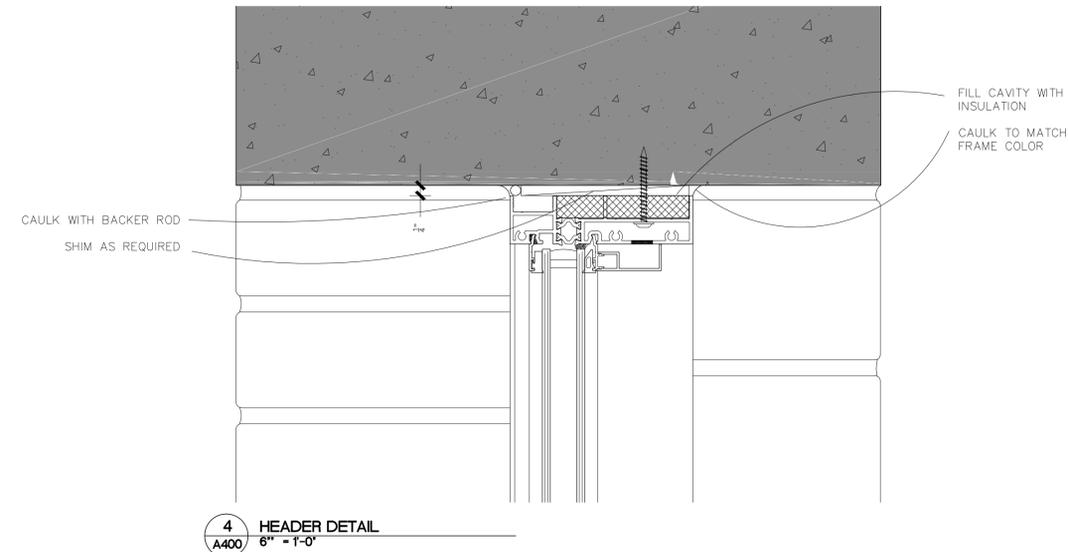
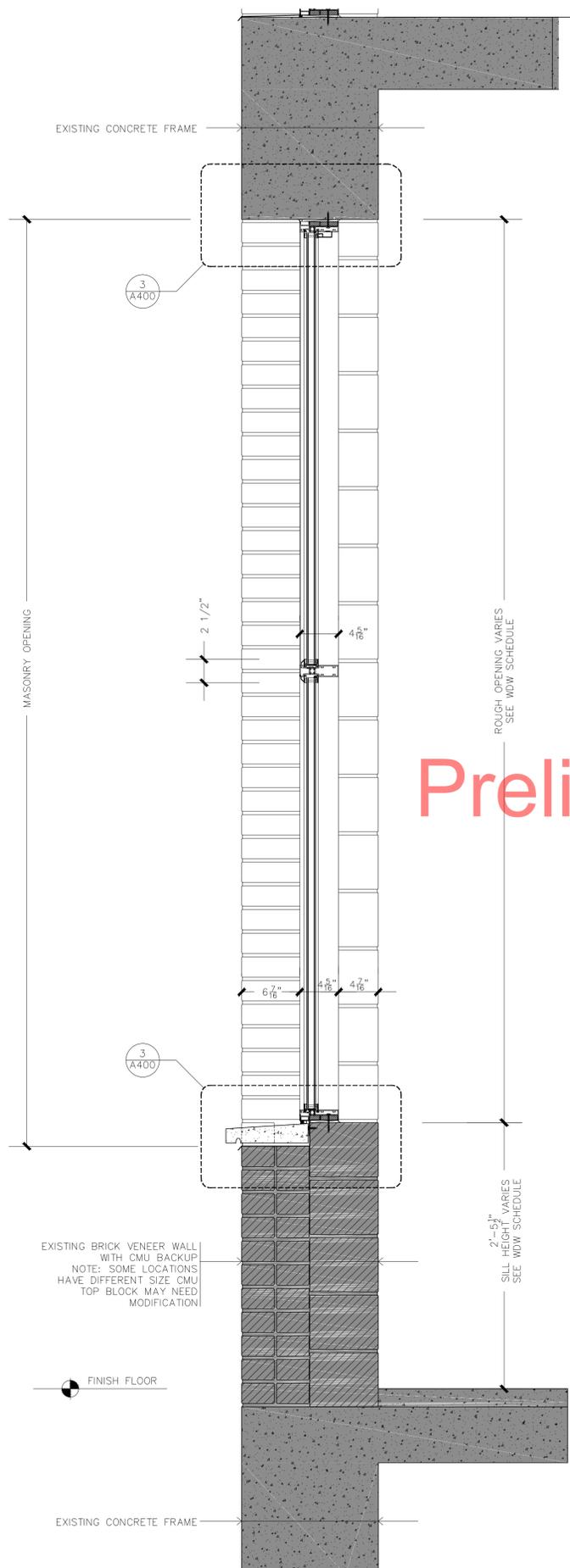
NO.	DATE
1	5/20/2013
2	6/3/2013
3	6/17/2013
4	7/2/2013

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PHASE PART ARCH SCHEMATICS	7/26/2013



1 TYP WDW SECTION • CONC HEAD/MASONRY SILL  
1-1/2" = 1'-0"

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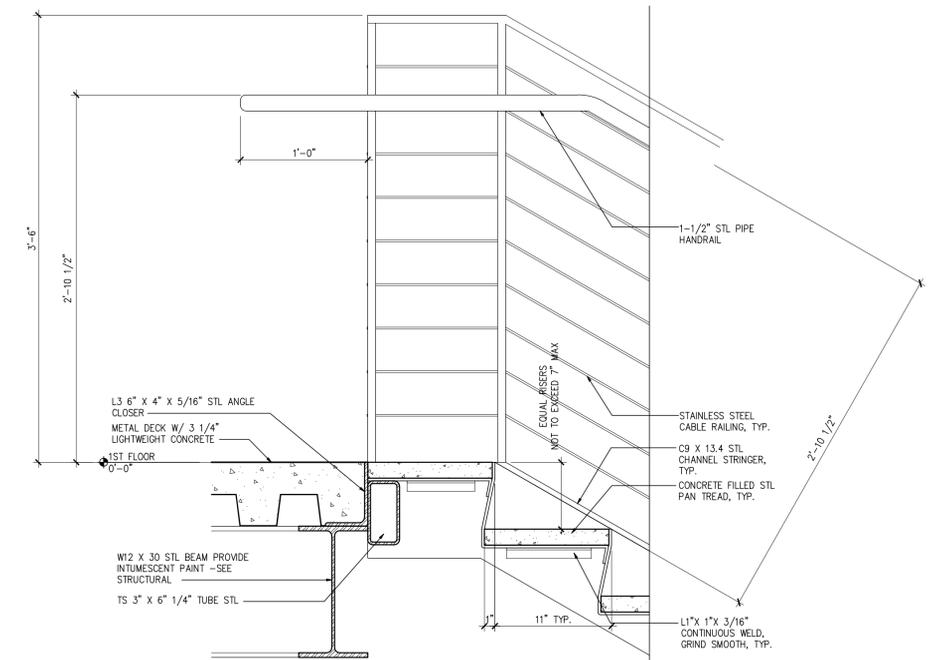
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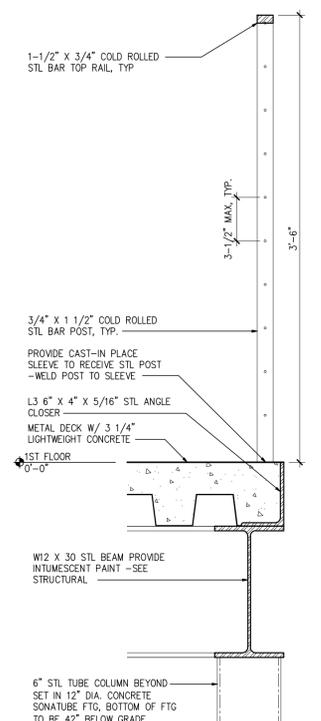
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PERMITS PART AEC SUBMITTAL	7/26/2013



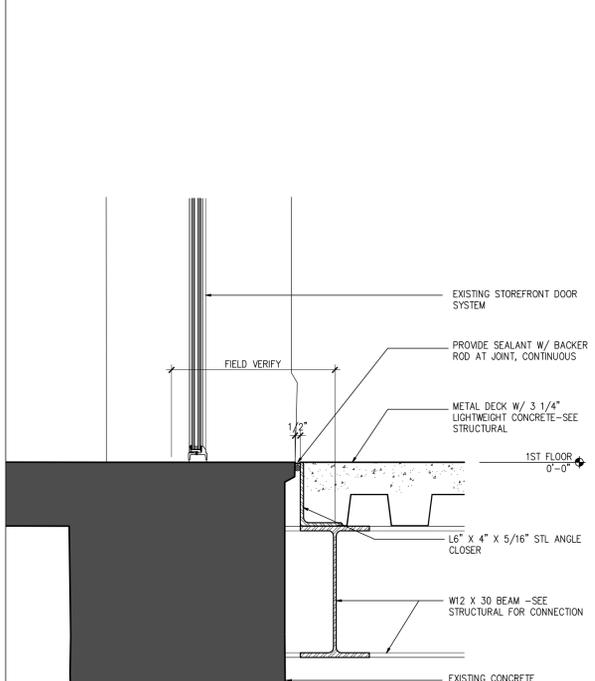
**6 SECTION THRU EXISTING STAIR WITH NEW HAND AND GUARD RAIL**  
A401 3/8" = 1'-0"



**3 DETAIL AT STAIR LANDING**  
A402 1 1/2" = 1'-0"



**2 DETAIL AT GUARD RAIL**  
A402 1 1/2" = 1'-0"



**1 DETAIL AT DOOR SILL**  
A402 1 1/2" = 1'-0"

**GUARD RAIL SYSTEM:**  
WOVEN WIRE MESH INFILL PANELS WITH 3"x3" OPENINGS  
1"x1" GALVANIZED STEEL POSTS AND TOP RAIL

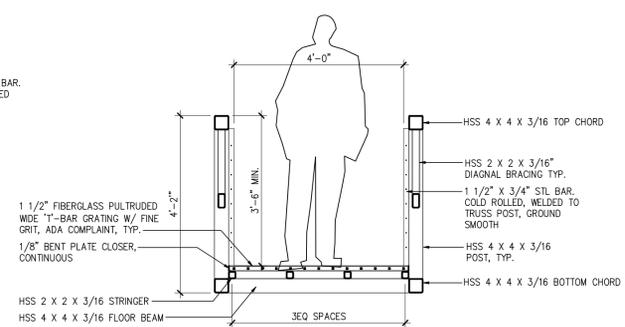
**HANDRAIL:**  
1-1/2" STL PIPE ON STL BRACKETS

**NOTE: GUARD RAIL TO BE 42" HIGH MEASURED FROM STAIR NOSE  
HANDRAIL TO BE 36" HIGH MEASURED FROM STAIR NOSE**

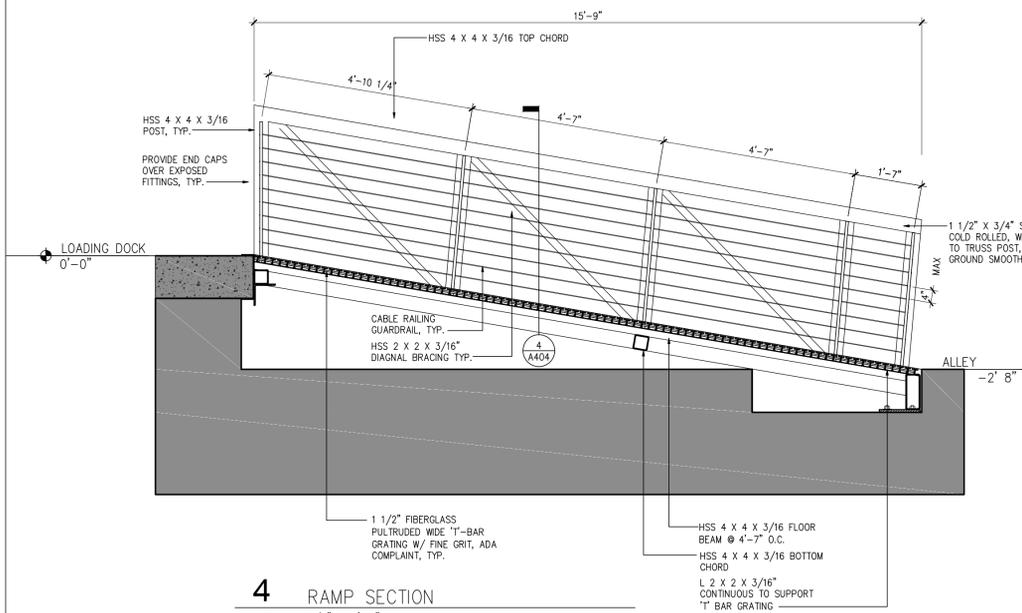
PROVIDE HANDRAIL ON EAST WALL PER CODE

PROVIDE 42" HIGH GUARDRAIL ON WEST SIDE OPEN EDGE AT EACH FLOOR

TYPE H FIXTURE, TYP.

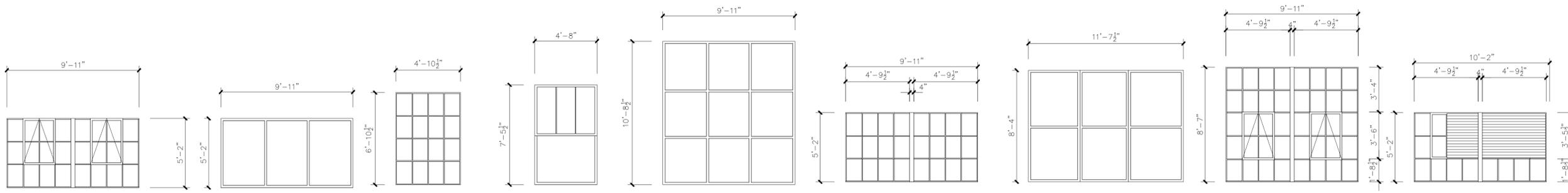


**5 RAMP SECTION**  
A401 1/2" = 1'-0"

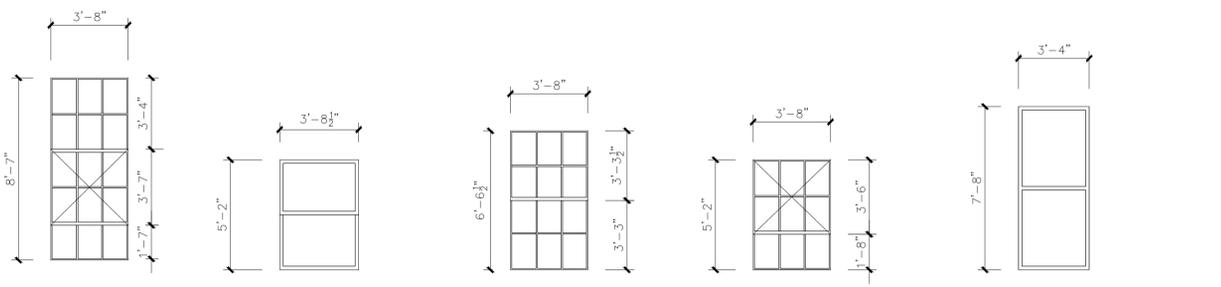


**4 RAMP SECTION**  
A401 1/2" = 1'-0"





**E1** REFURBISH EXISTING STEEL WINDOW. REPLACE GLASS SINGLE PANE UNITS AS REQUIRED. PAINT FRAME BLACK.  
**E2** EXISTING NON-HISTORIC STOREFRONT SYSTEM WITH 1" INSULATED GLASS. NO WORK.  
**E3** REFURBISH EXISTING STEEL WINDOW. REPLACE GLASS SINGLE PANE UNITS AS REQUIRED. PAINT FRAME BLACK.  
**E4** REFURBISH EXISTING STEEL DOUBLE HUNG WINDOW. REPLACE GLASS SINGLE PANE UNITS AS REQUIRED. PAINT FRAME BLACK.  
**E5** EXISTING NON-HISTORIC STOREFRONT SYSTEM WITH 1" INSULATED GLASS. NO WORK.  
**E6** REFURBISH EXISTING STEEL WINDOW. REPLACE GLASS SINGLE PANE UNITS AS REQUIRED. PAINT FRAME BLACK.  
**E7** EXISTING NON-HISTORIC STOREFRONT SYSTEM WITH 1" INSULATED GLASS. NO WORK.  
**E8** REFURBISH EXISTING STEEL WINDOW. REPLACE GLASS SINGLE PANE UNITS AS REQUIRED. PAINT FRAME BLACK.  
**E9** REFURBISH EXISTING STEEL WINDOW. REPLACE GLASS SINGLE PANE UNITS AS REQUIRED. PAINT FRAME AND LOUVERS BLACK.

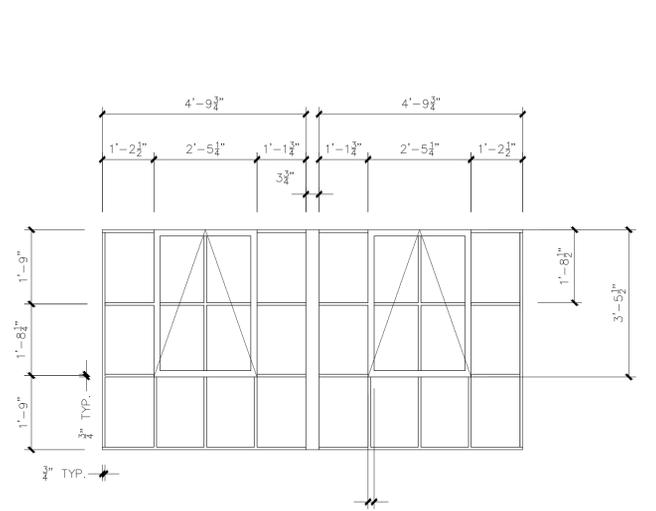


**E10** REFURBISH EXISTING STEEL WINDOW. REPLACE GLASS SINGLE PANE UNITS AS REQUIRED. PAINT FRAME BLACK.  
**E11** EXISTING NON-HISTORIC STOREFRONT SYSTEM WITH 1" INSULATED GLASS. NO WORK.  
**E12** REFURBISH EXISTING STEEL WINDOW. REPLACE GLASS SINGLE PANE UNITS AS REQUIRED. PAINT FRAME BLACK.  
**E13** REFURBISH EXISTING STEEL WINDOW. REPLACE GLASS SINGLE PANE UNITS AS REQUIRED. PAINT FRAME BLACK.  
**E14** EXISTING NON-HISTORIC STOREFRONT SYSTEM WITH 1" INSULATED GLASS. NO WORK.

# Preliminary Plan - Subject to change

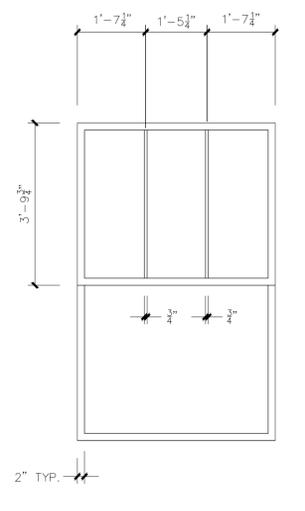
**NOTE:** PROVIDE 1/2" X 2" WELD AT BOTTOM OF ALL OPERABLE UNITS (INTERIOR SIDE) OF HISTORIC STEEL WINDOWS TO SECURE IN PLACE. GRIND WELL FLAT AND PAINT BLACK TO MATCH SURROUNDINGS.

**1** EXISTING WINDOWS TO REMAIN  
A600 1/4" - T-0"



**E1**  
2" TYP FOR OPERATIONAL FRAMES

**NOTE:** WINDOW TYPE E1 DIMENSIONS AND PROFILES SHOWN. THESE DIMENSIONS ARE ALSO THE SAME FOR E3, E6, E8, E9, E10, E12, + E13 UNLESS OTHERWISE NOTED.



**E4**

**NOTE:** WINDOW TYPE E4 DIMENSIONS AND PROFILES SHOWN.

**2** HISTORIC STEEL WINDOW TYPICAL PROFILES AND DIMENSIONS  
A600 1/2" - T-0"

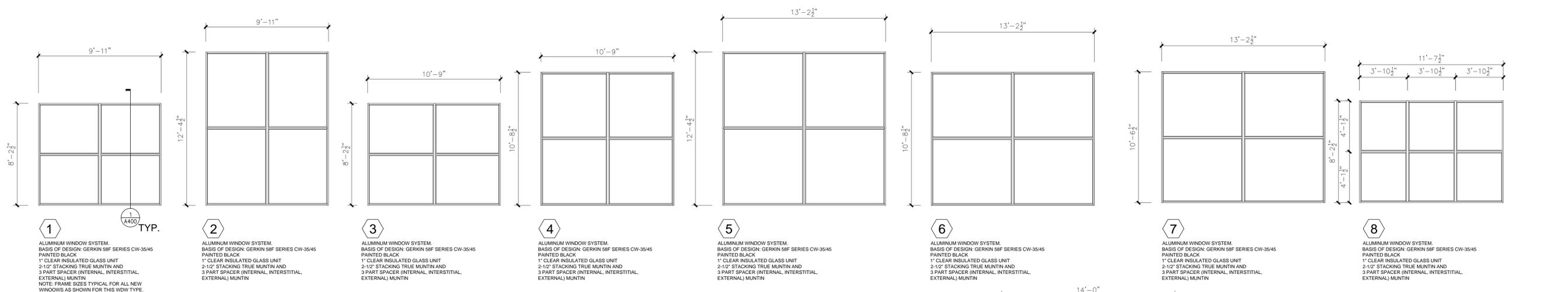
**EXISTING WINDOW TYPES TO REMAIN**

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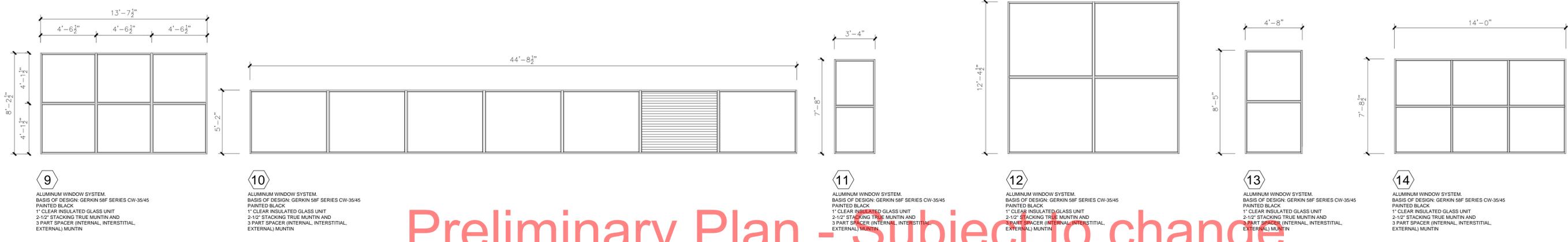
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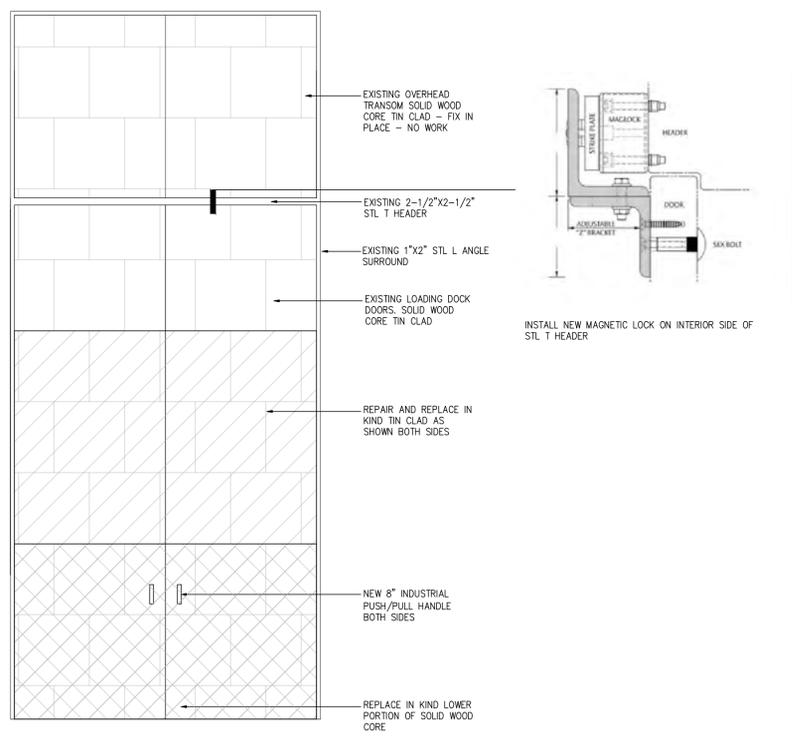


NOTE: SEE A400 FOR DETAILS OF NEW WINDOWS.



Preliminary Plan - Subject to change

**1** NEW WINDOW TYPES  
A601 / 1/4" - 1'-0"



**2** NEW WINDOW TYPES  
A601 / 1/2" - 1'-0"

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# Rhino Series

COMMERCIAL ALUMINUM WINDOWS

FIXED WINDOWS | CW-35/45 LC-40/50

## 58F SERIES

Preliminary Plan - Subject to change



**Gerkin**<sup>TM</sup>  
WINDOWS & DOORS



**A**



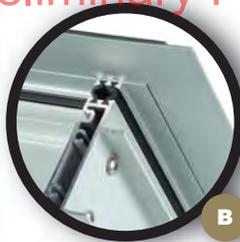
**Quality since 1932**

Our primary focus has been to manufacture energy saving window and door products. Throughout our history we have established ourselves as an innovator in the design and manufacturing capability of insulated windows and doors.

Stringent product testing and innovative design has allowed our products to evolve as market and consumer needs change. In the winter of 1989-90 we started to conceptualize and design our Rhino Commercial Aluminum window and door series. Today we have several commercial window styles in the Rhino line. This window and door series consists of a commercial horizontal slider, casement, single hung, double hung, hopper, awning, fixed and patio door. Each Rhino window reflects the design and manufacturing expertise we've implemented over the years. We also publish our AAMA test results to back up our claims of product performance and quality.

Preliminary Plan - Subject to change

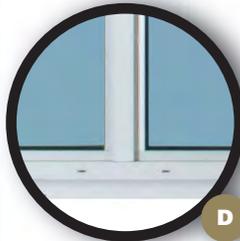
**CW-35/45 FEATURES**



**B**



**C**



**D**



**E**



**F**

- A** AAMA CW35/CW45-LC40/LC50 fixed window
- B** 4 5/16" frame depth with a thermal bar thermal break. This thermal break system helps this window achieve u-values as low as .30 (3/16" or 1/4" glazing required).
- C** Double wall mainframe - This feature gives our window more structure and stability than our single wall window and storefront competitors.
- D** The dual wall allows us to build in an internal water drainage system. This system will prevent water from seeping into the building wall, unlike storefront which must use sill flashing with end dams.
- E** Equal sight lines - When horizontal and vertical rails intersect, the sight lines will remain equal in windows up to 99" tall. Even when windows are field mullied, the field mull will look like a factory mull.
- F** Interior or exterior glazed - This option allows the window to be ordered as interior or exterior glazing. The standard glazing is to the interior.



## 58F SERIES COMMERCIAL FIXED WINDOWS

Gerkin Windows & Doors model 58F fixed window offers a new dimension to the commercial field. This window can be used in storefront type applications and will offer much larger size options than ever offered by Gerkin.

The 58F fixed window has a frame depth of 4 5/16" and can be used as a compliment to our Rhino double hung window for transoms or XO configurations.

This window was tested as a 15'0" x 8'3" three lite window (60 x 99 each lite) and a 96 x 120 (48 x 120) two lite window! With windows this large, we can offer a better option to the commercial market than storefront windows. Unlike storefront windows, the 58F is built in our climate controlled plant and fully glazed. Our workmanship, attention to detail and quality control are far superior to on site storefront construction.

One of the main features of the 58F is our thermal bar thermal break system. While storefront systems typically offer poor thermal performance, Gerkin's thermal bar is a revolutionary thermal break, which achieves superior thermal performance. In fact we have achieved an NFRC certified u-value of up to .30 with double glaze LoE<sup>3</sup> glass! (3/16" or 1/4" glazing required)

The 58F fixed has been designed to offer true water tightness. Our double wall mainframe has an internal drain system which ensures that water will never penetrate into the building wall. Unlike Storefront systems which have single walls and require sill pans with end dams to control the water, the Gerkin 58F has a built in water management system.

Another large advantage to using the 58F over storefront is the nail fin option. Nail fins are the perfect application for installing into a wood framed structure. The nail fin offers a great anchoring device and gives a water tight flashing. Storefront systems don't offer a system for wood framed buildings.

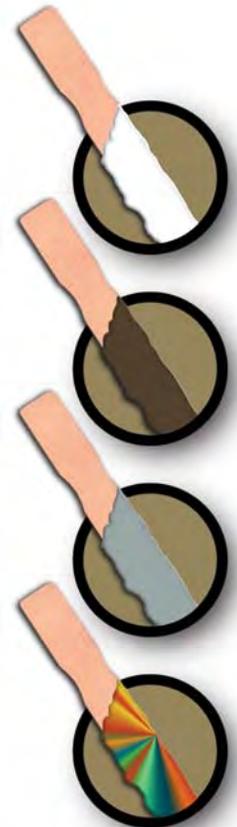
Our versatile 58F fixed will offer Gerkin customers even more project opportunities than ever before. For quote requests, please contact our estimating department.

## ONLINE INFORMATION

Our website at [www.gerkin.com](http://www.gerkin.com) offers AutoCAD details of window drawings and written specifications for architectural use. The Gerkin estimating department offers quoting and shop drawing services. Distributor catalogs are also available for over the counter quoting and architectural detail referral.

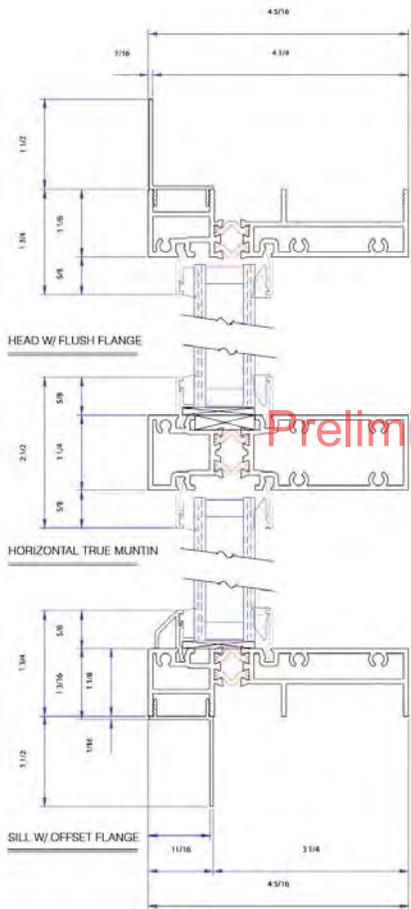
## COLORS

Standard colors are baked enamel white, bronze anodized and clear anodized. Custom colors are available.



# 58F SERIES

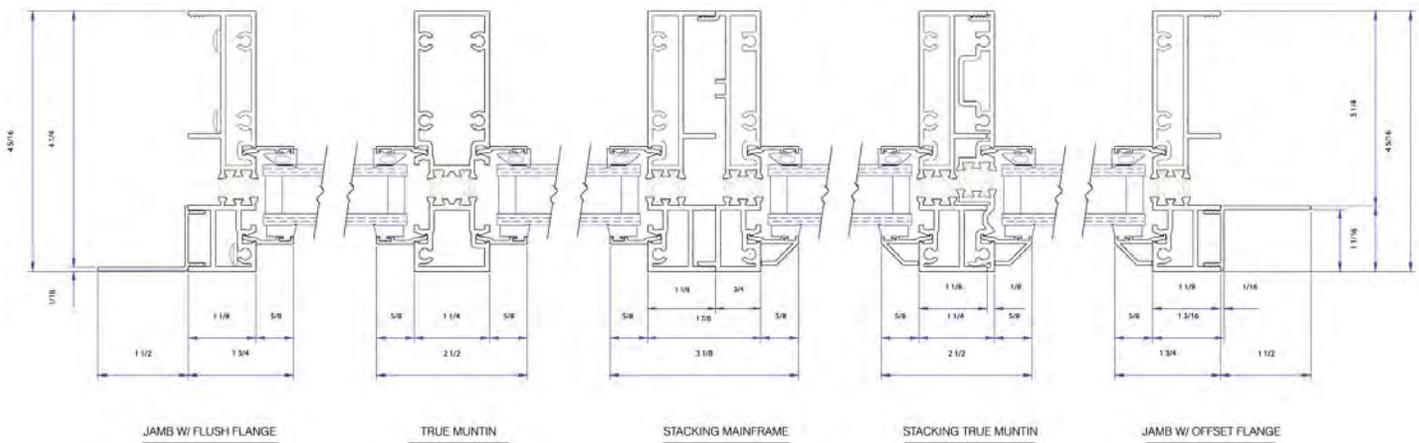
## CW-35/45 HORIZONTAL & VERTICAL DETAILS



Preliminary Plan - Subject to change



CW-35/45 Commercial Fixed Windows



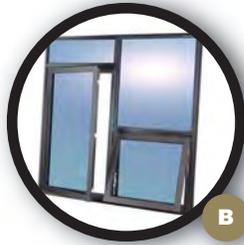


# Rhino Series

COMMERCIAL ALUMINUM WINDOWS

FIXED WINDOWS | CW-35/45 LC-40/50

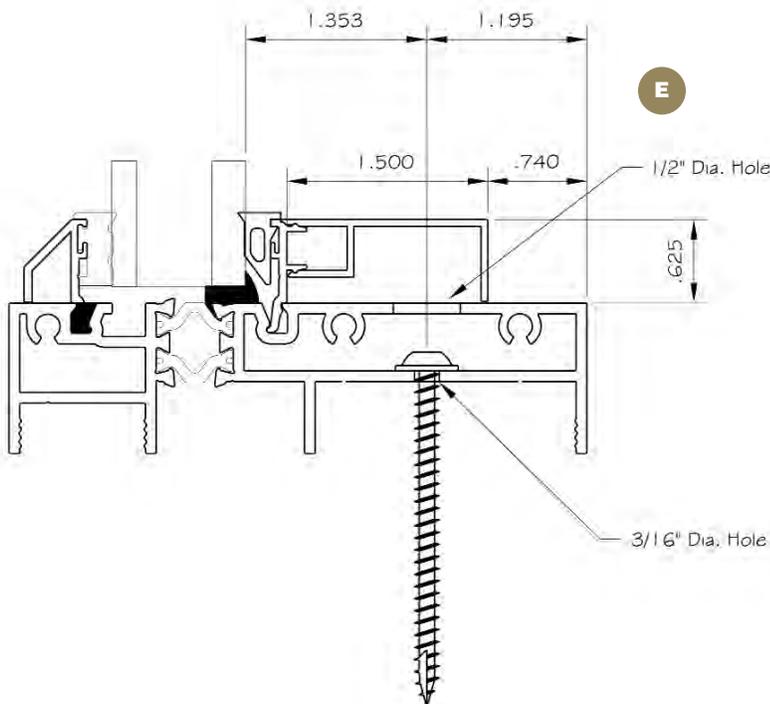
## 58F SERIES



Preliminary Plan - Subject to change

### CW-35/45 OPTIONS

- A** Glazing retainer options - This window comes standard with a flat glazing retainer, but also offers an optional contoured decorative glazing retainer. Either one of these retainers can be used on the exterior side or interior side of the window for a customized appearance.
- B** Operating window option - The 58F can come with hopper awnings or casements factory installed into the frame.
- C** Nail fin option - The nail fin gives this window the ability to be used in wood frame construction. It offers a great solution to sealing the window from water penetration, unlike storefront which will rely on caulk only.
- D** Panning Option - Panning is the perfect option when the 58F is used in a retrofit condition where existing window frames would be left in place and need to be covered.
- E** Pre-drilled frame and anchor cover option - The 58F can be pre-drilled in the factory which allows for anchoring through the frame. Gerkin will provide anchor covers to conceal all anchor points.
- F** Subframe option - The subframe is used in a masonry opening. This product offers easier installation from inside the building and allows for thermal expansion and contraction. Our subframe is pre-cut and prepped for screwing together prior to installing into the masonry.



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# Rhino Series

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FIXED WINDOWS | CW-35/45 LC-40/50

## 58F SERIES

### AAMA TEST RESULTS

MODEL	CLASS	TEST SIZE	AIR INFILTRATION (cfm/sq.ft.)	WATER (psf)	SWL <sup>1</sup> (psf)	U-VALUE w/LoE/Argon	SHGC <sup>2</sup>	VT <sup>3</sup>	CONDENSATION RESISTANCE BASED ON NFRC TESTING	SOUND TRANSMISSION CLASS
58F	CW-PG35-FW	95 x 120 - 2 Lite W/ Stacking Mainframe	.01 cfm/sq.ft @ 25 mph .02 cfm/sq.ft @ 50 mph	12	52.5	0.31	0.24	0.56	47	N/A
58F	LC-PG50-FW	95 x 120 - 2 Lite W/ Stacking Mainframe	.01 cfm/sq.ft @ 25 mph .02 cfm/sq.ft @ 50 mph	12	75.0	0.31	0.24	0.56	47	N/A
58F	CW-PG45-FW	178 x 99 - 3 Lite W/ Stacking True Muntin	<.01 cfm/sq.ft @ 25 mph .01 cfm/sq.ft @ 50 mph	12	67.5	0.31	0.24	0.56	47	N/A
58F	LC-PG50-FW	178 x 99 - 3 Lite W/ Stacking True Muntin	<.01 cfm/sq.ft @ 25 mph .01 cfm/sq.ft @ 50 mph	12	75.0	0.31	0.24	0.56	47	N/A
58F	LC-PG40-FW	178 x 99 - 3 Lite W/ Stacking True Muntin	<.01 cfm/sq.ft @ 25 mph .01 cfm/sq.ft @ 50 mph	12	60.0	0.31	0.24	0.56	47	N/A

<sup>1</sup>Structural Wind Load • <sup>2</sup>Solar Heat Gain Coefficient • <sup>3</sup>Visible Transmittance  
 TESTED AND CERTIFIED TO AAMA/WDMA/CSA 101/I.S.2/A440-08  
 U-VALUE/SHGC/VT/CRF TESTED TO NFRC 100/200/500 (With 1" Insulated Glass Unit With 1/8" 366 And 1/8" Clear)

Preliminary Plan - Subject to change

All Gerkin Rhino Products offer a comprehensive Limited Warranty. For detailed warranty information, visit [www.gerkin.com](http://www.gerkin.com)



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Super Spacer®