

The Beer Gardens, as a feature element in the program and a unique element in the metropolitan area, are located strategically at the south west corner of the site. It's placement is oriented to the south and west based on ideal solar orientation and views to downtown Minneapolis. The garden serves as the front yard to the 520 Malcolm Avenue complex.

Sub-surface soil contamination limit development in the dashed areas.

A south facing entry court with water feature is an important element in the sequencing of experiences being created for the public and helps screen direct views from the front door to the loading docks and trash seen directly across 5th St.

A courtesy drop-off area located directly off the entrance court/building entry is intended to aid patrons with special needs and in times of inclement weather. It is also used as a buffer to separate patrons from truck traffic and views to the south.

The building setback is intended to ease a 6 foot change in elevation from street to FFE based on soil contamination.

A pedestrian path is clearly defined from the corner of Malcolm and 5th St. up to the public entry and along the south face of the building where pedestrians are separated from loading docks and truck traffic to the south.

No thru traffic this area

Future plans call for a satellite beer station in the garden and large monument sign placed at the corner of the site. The conceptual plan is to integrate these two structures with an overhead canopy creating a gateway of sorts for pedestrians approaching the site from the south west.

Comprehensive Site Plan with Future Expansion



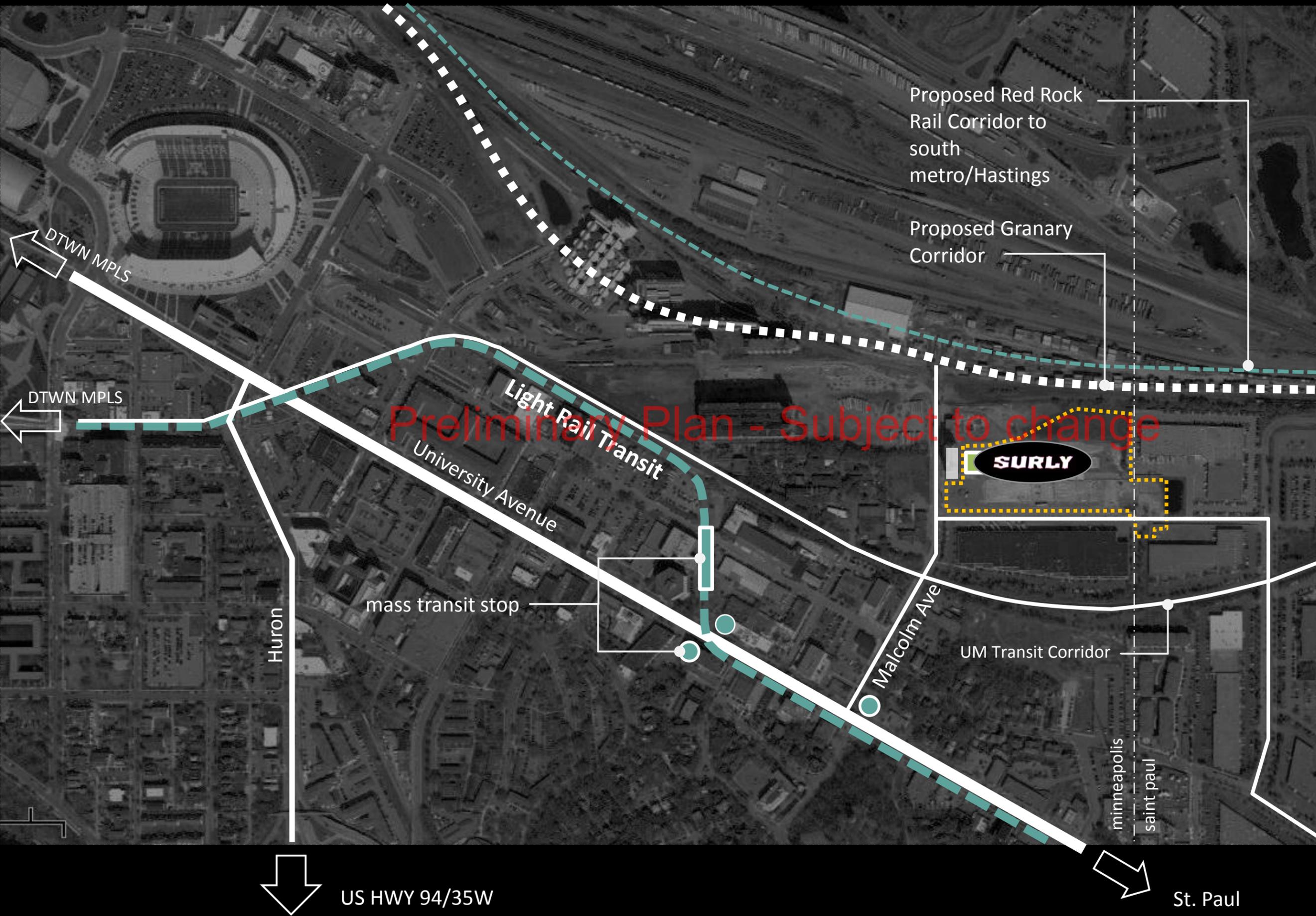
South Elevation with Future Expansion

This page contains reference information on alternative means of transportation accessible to the Surly Brewery site. Alternative means of transportation was a key element for the owner in selecting this site.

Bike Routes



The Surly site is strategically located within relatively easy access to downtown Minneapolis and Saint Paul and surrounding communities. Bicycle culture is part of Surly culture and major dedicated bike paths flank the site on the north and the south.



Proposed Red Rock Rail Corridor to south metro/Hastings

Proposed Granary Corridor

Preliminary Plan - Subject to change

SURLY

mass transit stop

UM Transit Corridor

Huron

Malcolm Ave

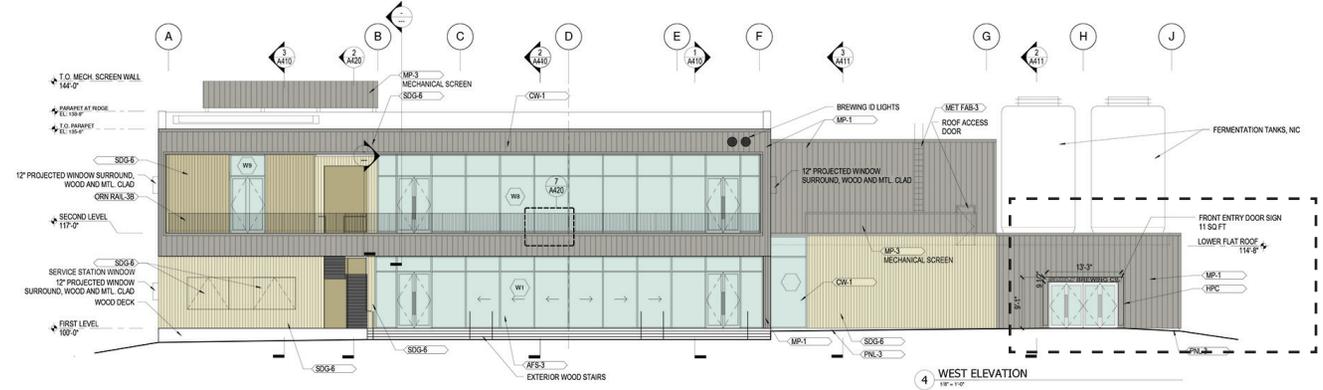
minneapolis  
saint paul

US HWY 94/35W

St. Paul

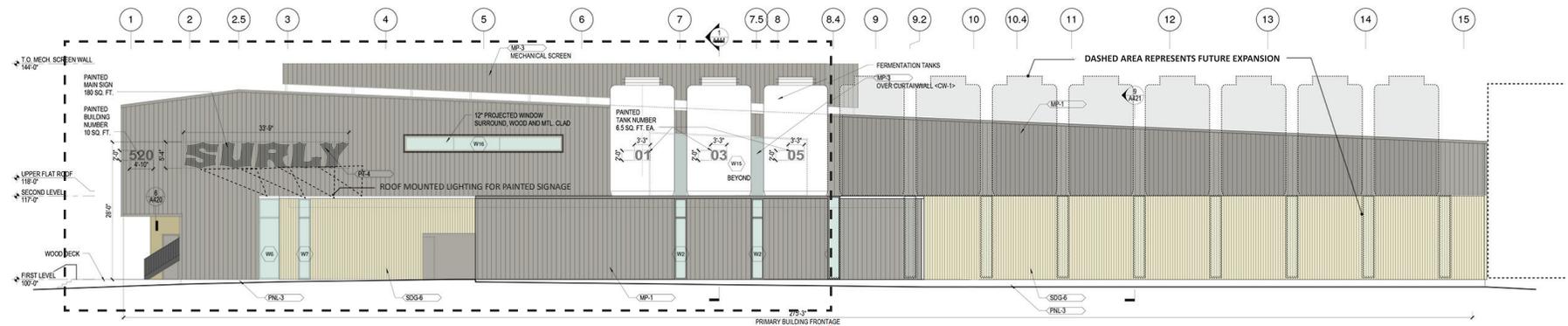
DTWN MPLS

DTWN MPLS



4 WEST ELEVATION  
18'-11 1/2"

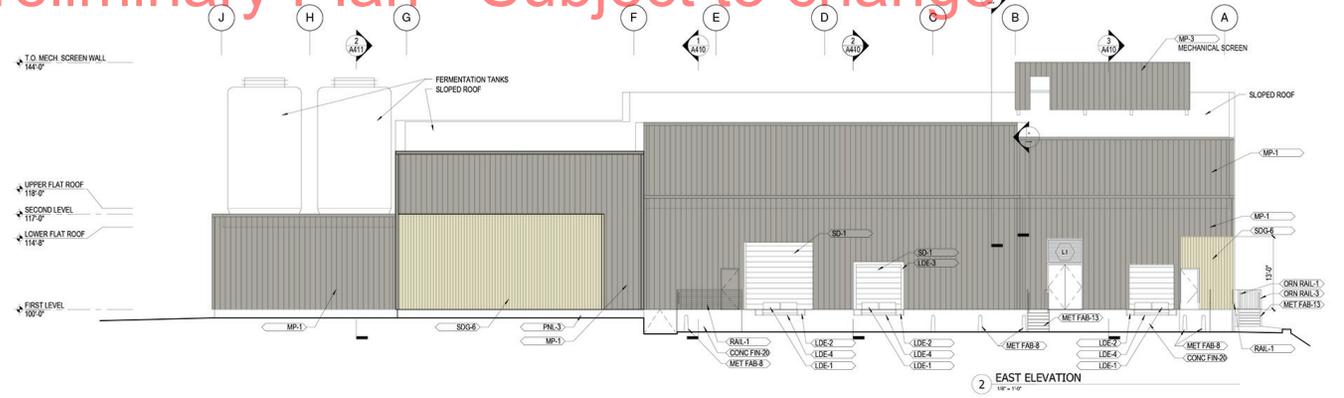
SIGNAGE AREA- DASHED



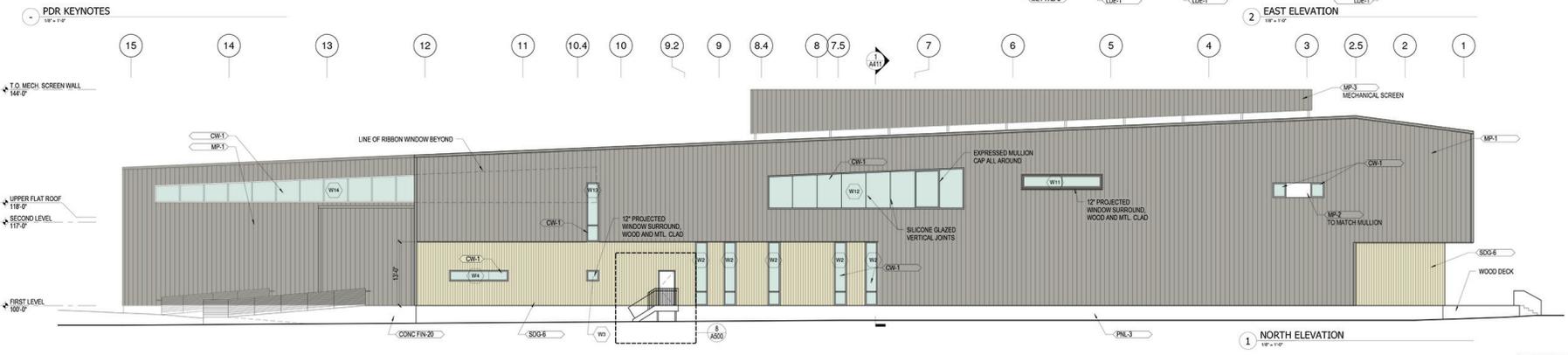
3 SOUTH ELEVATION  
18'-11 1/2"

Preliminary Plan - Subject to change

BUILDING SIGN SUMMARY		PRIMARY BUILDING MATERIALS SUMMARY	
MAIN SIGN :	180 SQ FT	MP-1	FORMED LAP SEAMED 3 INCH DEEP CORRUGATED STEEL PANELS, FLOURPOLYMER FINISH, EXPOSED FASTENERS
BUILDING NUMBER :	10 SQ FT	SDG-6	WESTERN RED CEDAR, 4" NOMINAL WIDTH, DARK STAIN OR TRANSPARENT FINISH
TANK NUMBERS X(6) :	39 SQ FT	CW-1	EXTRUDED ALUMINUM CURTAIN WALL, THERMALLY BROKEN, FLOURPOLYMER FINISH
FRONT ENTRY (EAST) :	11 SQ FT	AFS-3	LIFT & SLIDE ALUMINUM STOREFRONT FRAMING, THERMALLY BROKEN, FLOURPOLYMER FINISH
TOTAL :	240 SQ FT	PNL-3	MINERAL FIBER REINFORCED CEMENT PANEL, EXPOSED FASTENERS
TOTAL BLDG SIGNAGE ALLOWED :	275 SQ FT	MP-3	PERFORATED FORMED LAP SEAMED 3 INCH DEEP CORRUGATED STEEL PANELS, FLOURPOLYMER FINISH, EXPOSED FASTENERS
		CONC FIN-20	EXPOSED SMOOTH FORMED CONCRETE
		PT-4	PAINT (OFF WHITE)



2 EAST ELEVATION  
18'-11 1/2"



1 NORTH ELEVATION  
18'-11 1/2"

PDR KEYNOTES  
18'-11 1/2"

Preliminary Plan - Subject to change

Rendering from the corner of Malcolm Avenue and 5th Street looking towards beer and entry gardens



Brewery Expansion shown this portion of rendering

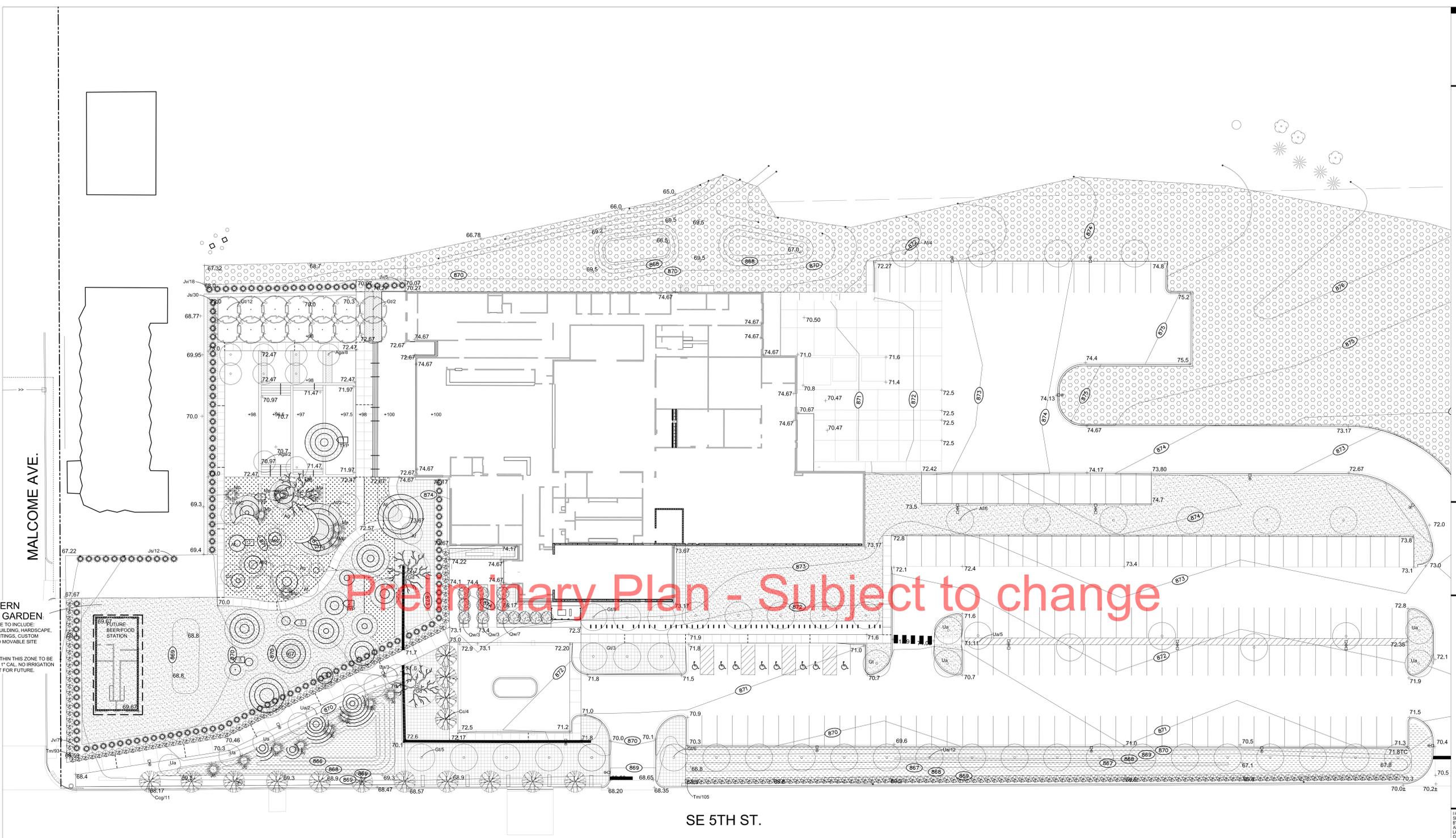
Preliminary Plan - Subject to change

Rendering from 5th Street looking towards courtesy drop-off, bike parking and entry court





Table with 3 columns: NO., DESCRIPTION, DATE. Multiple rows for project history.

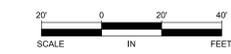


Preliminary Plan - Subject to change

SOUTHERN "SPILL" GARDEN. FUTURE PHASE TO INCLUDE: BEERFOOD BUILDING, HARDSCAPE, GARDEN PLANTINGS, CUSTOM BENCHES AND MOVABLE SITE FURNITURE.

ALL TREES WITHIN THIS ZONE TO BE #25 CONT. OR 1" CAL. NO IRRIGATION BUT STUB OUT FOR FUTURE.

SE 5TH ST.



LEGEND

Legend detailing symbols for deciduous trees, ornamental trees, columnar trees, confiferous hedges, and confiferous shrubs. Includes descriptions and codes.

Seed Mixes section detailing descriptions and percentages for Low Maintenance Native Turf and Native Prairie Mix.

Trees and Shrubs sections listing key codes, descriptions, sizes, and comments for various plant species.

NOTES

- 1. IMPORT PLANTING SOIL FOR TREE AND SHRUB PLANTING AREAS
2. HARDWOOD MULCH IN ALL SHRUB, PERENNIAL, PLANT AND HEDGE AREAS
3. IRRIGATE ALL TREES AND SHRUBS, GARDEN MIX AND RUBBLE GARDEN TYPES. STUB OUT FOR FUTURE IRRIGATION IN SOUTHERN SPILL GARDEN.

KEYNOTES

- 1. PLANTED LANDFORMS: SEE 1/L905
2. PLANTED LANDFORMS: SOUTHERN SPILL GARDEN. SEE 1/L905
3. PLANTED BOWL. SEE 2/L905





SURLY DESTINATION  
BREWERY  
520 MALCOLM AVENUE SE MINNEAPOLIS, MN

NOT FOR  
CONSTRUCTION

PRELIMINARY DEVELOPMENT REVIEW - FIRST SUBMISSION

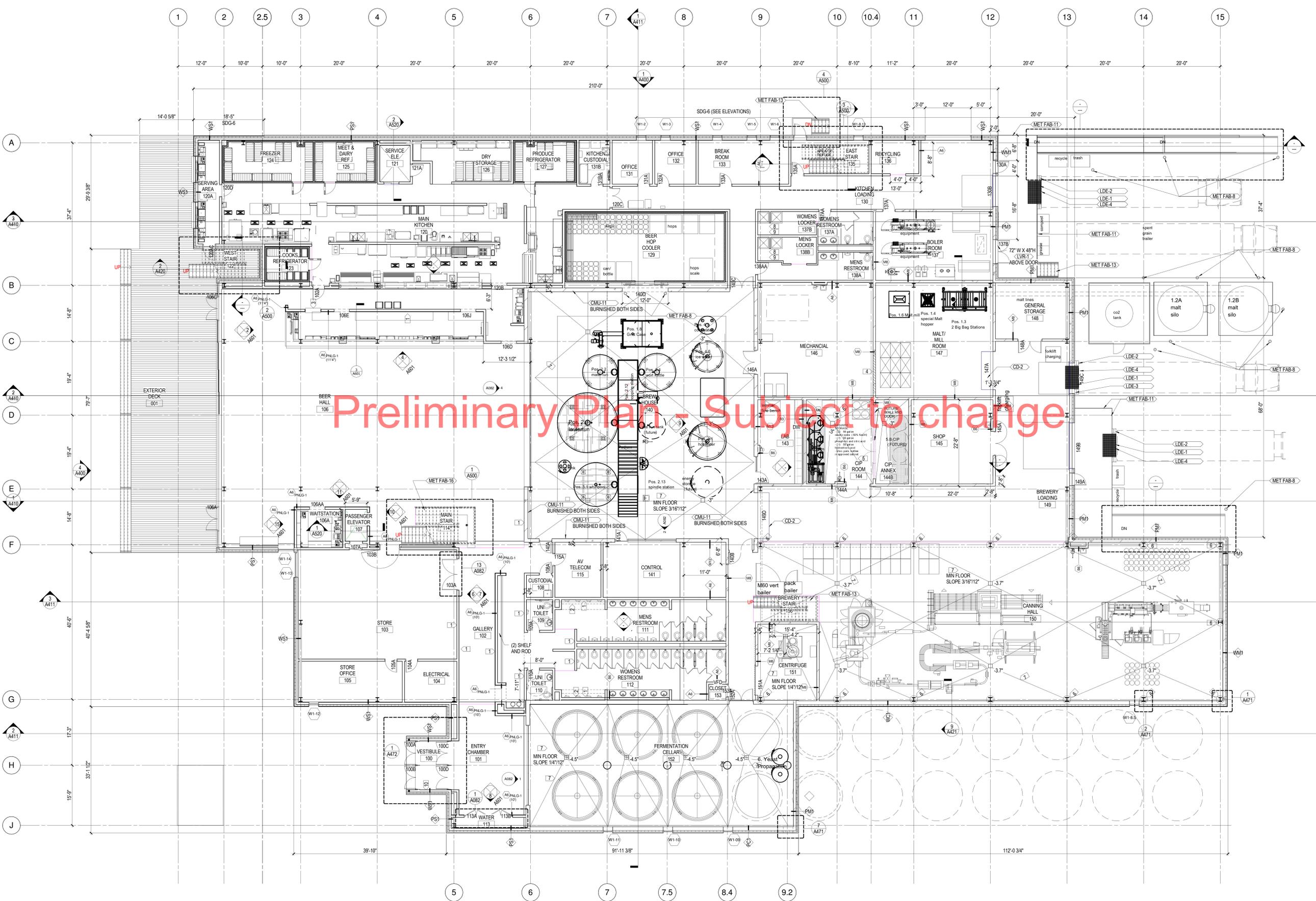
HGA NO: 3357-001-00  
FIRST FLOOR  
PLAN

CP-2 DESIGN DEVELOPMENT

A201

#	DESCRIPTION
A	ALL INTERIOR PARTITIONS SHALL BE 1/2" UNO
B	REFER TO SHEET A401 FOR DETAIL OF TYPICAL DOOR FRAMES, ELEVATIONS AND DETAILS
C	ALL MECHANICAL EQUIPMENT PADS TO BE 4" HIGH UNO. LENGTH AND WIDTH PADS TO BE VERIFIED WITH EQUIPMENT SUPPLIERS & OWNER BY CONTRACTOR
D	PROVIDE METAL PLATE BRACKING AND/OR TREATED WOOD BRACKING IN WALLS WHERE WALL MOUNTED EQUIPMENT IS SHOWN ON PLANS OR ELEVATIONS. VERIFY HEIGHT AND LENGTH ACTUAL EQUIPMENT. SEE DETAIL 14A600
E	FLOOR FINISH LOCATIONS TO BE CONFIRMED WITH OWNER & EQUIPMENT VENDORS BEFORE INSTALLATION
F	KITCHEN EQUIPMENT & OWNER PROVIDED EQUIPMENT SHOWN FOR REFERENCE ONLY
G	SEE A460 FOR INTERIOR WALL TYPES & A460 FOR EXTERIOR WALL TYPES
H	PRODUCT CONTAINS A METHANE VENTING SYSTEM - SEE DOCUMENTS BY BARR ENGINEERING

#	DESCRIPTION
1	POTENTIAL AIR WALLS - QVP FINISH TO LEVEL C OR ADDITIONAL BLOCKING MAY BE REQUIRED. SEE ELEVATIONS FOR ADDITIONAL NOTES
2	1" UP 1/2" ABOVE HANG OFFERS
3	SEE SHEET A401 FOR TYPICAL WINDOW
4	PROVIDE DOOR COAST WALL FOR GROUND FLOOR RETAIL AND WAITING AREA
5	FORMAL CONTRACTOR SEE: REFER TO STRUCTURAL FOR CHANGING DIMENSIONS IN FOUNDATION WALL
6	CONCRETE COLUMN W/ 4" AFF WITH SLOPED CONCRETE AT BASE. PROVIDE 2" AFF TO AT BLOCK & COLUMN JAIL
7	SLOPED FLOOR TO DRAIN MINIMUM SLOPE IN ROOM AS INDICATED
8	RESPONSE LOADS: REFER TO STRUCTURAL FOR CHANGING DIMENSIONS IN FOUNDATION WALL
9	SEE SANS FOR TYPICAL ACCESSORIES & MOUNTING HEIGHTS. PROVIDE 11" ADA ACCESSIBLE SHOWER FOR LOCKER ROOM
10	FLOOR MOUNT CABINET HEATER AT ENTRY VESTIBULE



14 FIRST LEVEL FLOOR PLAN  
1/8" = 1'-0"

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#	DESCRIPTION
A	ALL INTERIOR PARTITIONS SHALL BE "AF" UNO
B	REFER TO SHEET A201 FOR DETAILS OF TYPICAL DOOR FRAMES, ELEVATIONS AND DETAILS
C	ALL MECHANICAL EQUIPMENT PADS TO BE 4" HIGH UNO. LENGTH AND WIDTH PADS TO BE VERIFIED WITH EQUIPMENT SUPPLIERS & OWNER BY CONTRACTOR
D	PROVIDE METAL PLATE BACKING AND/OR TREATED WOOD BLOCKING IN WALLS WHERE WALL MOUNTED EQUIPMENT IS SHOWN ON PLANS OR ELEVATIONS. VERIFY HEIGHT AND LENGTH BEFORE INSTALLATION
E	FLOOR SINK LOCATIONS TO BE CONFIRMED WITH OWNER & EQUIPMENT VENDORS BEFORE INSTALLATION
F	KITCHEN EQUIPMENT & OWNER PROVIDED EQUIPMENT SHOWN FOR REFERENCE ONLY
G	SEE A66 FOR INTERIOR WALL TYPES & A660 FOR EXTERIOR WALL TYPES
H	PROJECT CONTAINS A METHANE VENTING SYSTEM - SEE DOCUMENTS BY BARR ENGINEERING



**SURLY DESTINATION  
BREWERY**  
520 MALCOLM AVENUE SE MINNEAPOLIS, MN

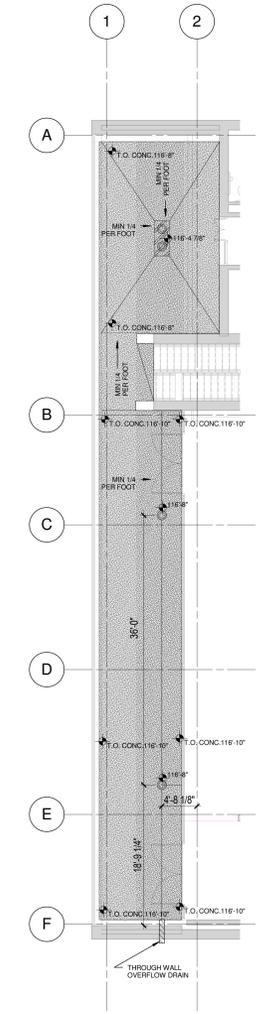
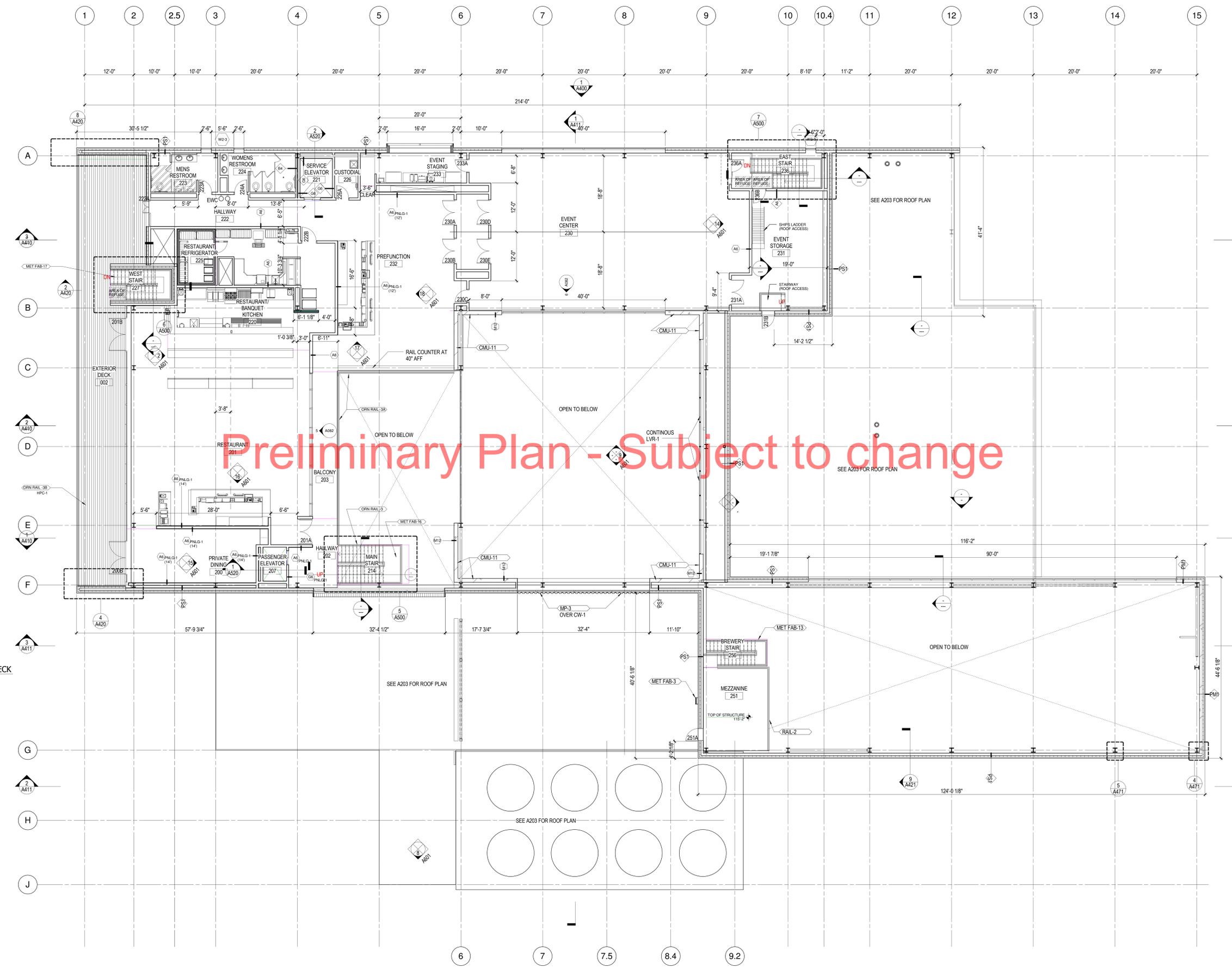
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CONSTRUCTION

PRELIMINARY DEVELOPMENT REVIEW - FIRST SUBMISSION

HGA NO: 3357-001-00  
SECOND  
FLOOR PLAN

CP-2 DESIGN DEVELOPMENT

**A202**



2 SUBFLOOR PLAN AT EXTERIOR DECK  
1/8" = 1'-0"

1 SECOND LEVEL FLOOR PLAN  
1/8" = 1'-0"



SURLY DESTINATION BREWERY  
520 MALCOLM AVENUE SE MINNEAPOLIS, MN

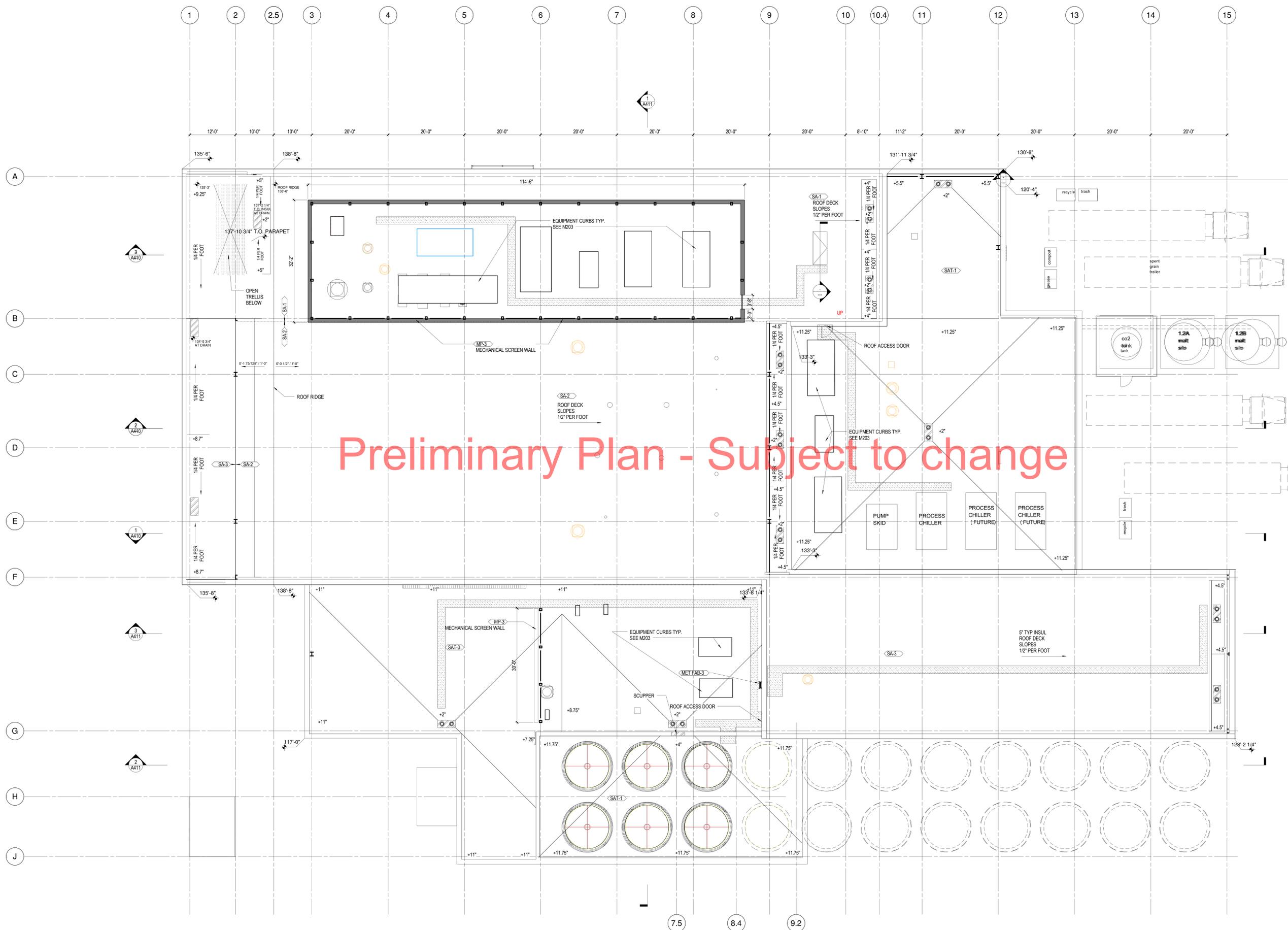
NOT FOR CONSTRUCTION

PRELIMINARY DEVELOPMENT REVIEW - FIRST SUBMISSION

HGA NO: 3357-001-00  
ROOF PLAN

CP-2 DESIGN DEVELOPMENT

A203



Preliminary Plan - Subject to change

1 ROOF PLAN  
1/8" = 1'-0"

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**SURLY**

SURLY DESTINATION  
BREWERY  
520 MALCOLM AVENUE SE MINNEAPOLIS, MN

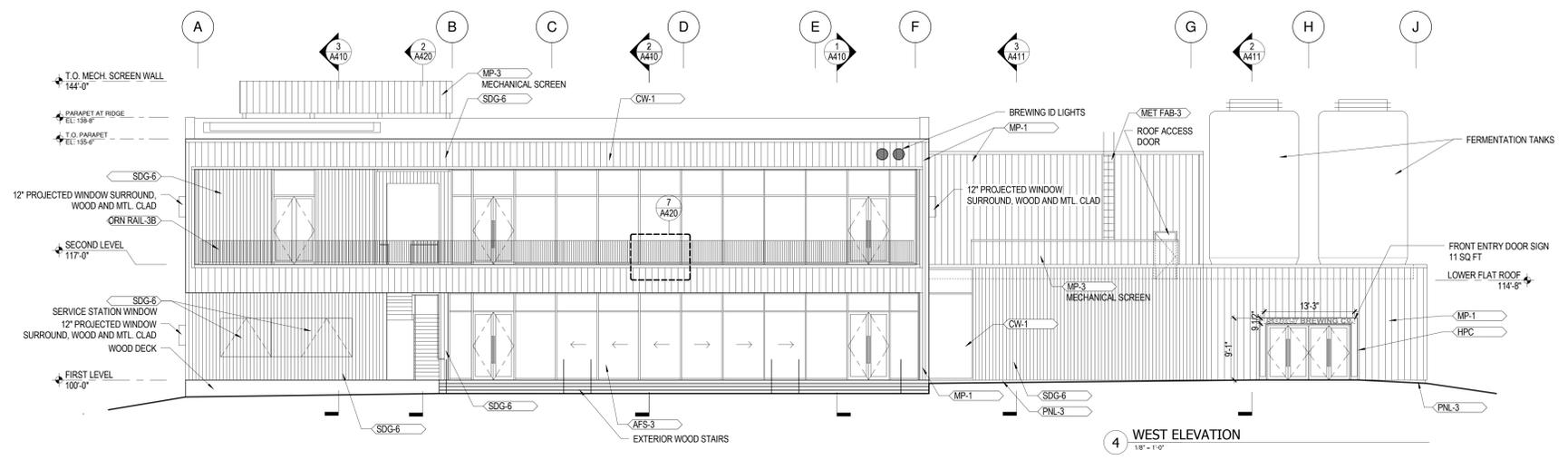
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PRELIMINARY DEVELOPMENT REVIEW - FIRST SUBMISSION

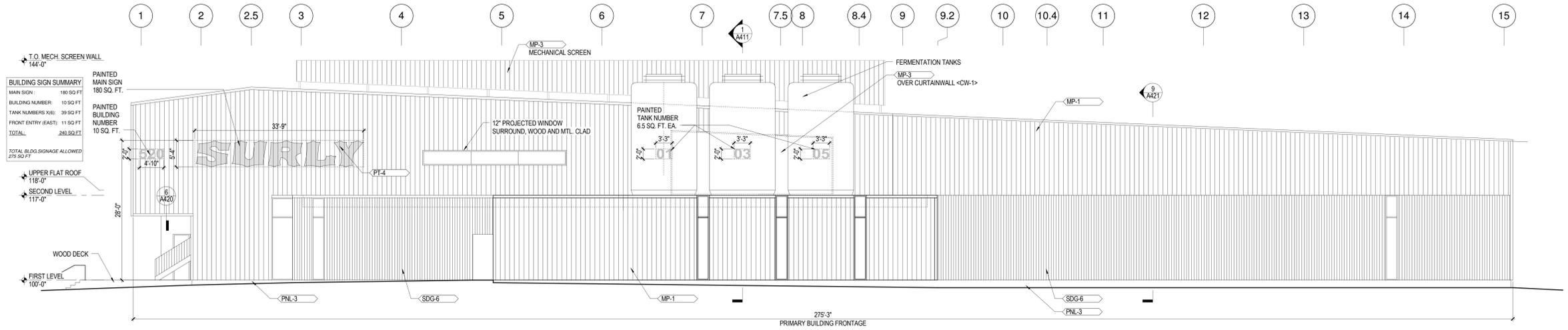
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EXTERIOR  
ELEVATIONS

CP-2 DESIGN DEVELOPMENT

A400



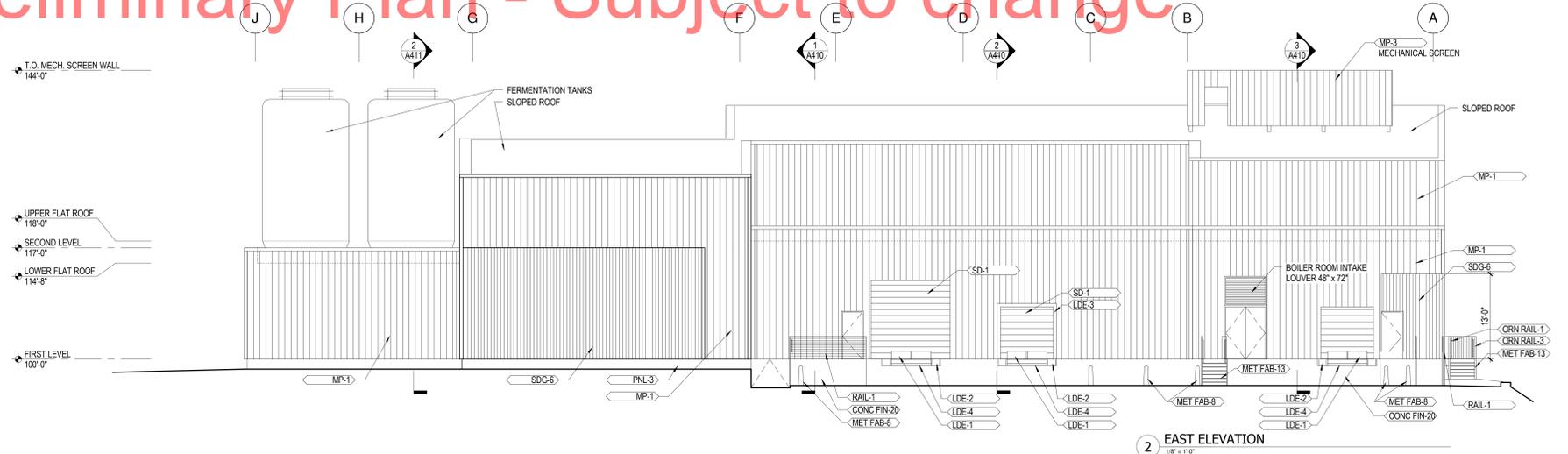
4 WEST ELEVATION  
1/8" = 1'-0"



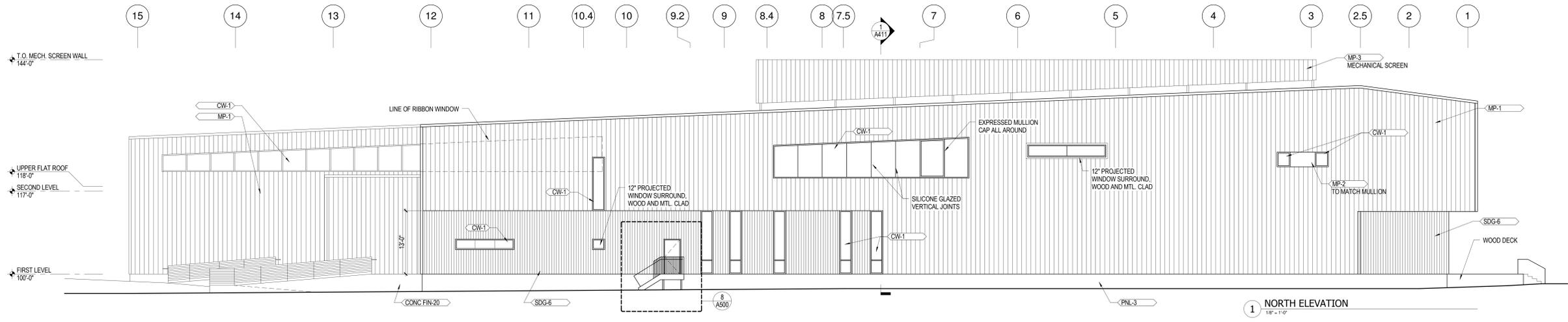
275'-3" PRIMARY BUILDING FRONTAGE

Preliminary Plan - Subject to change

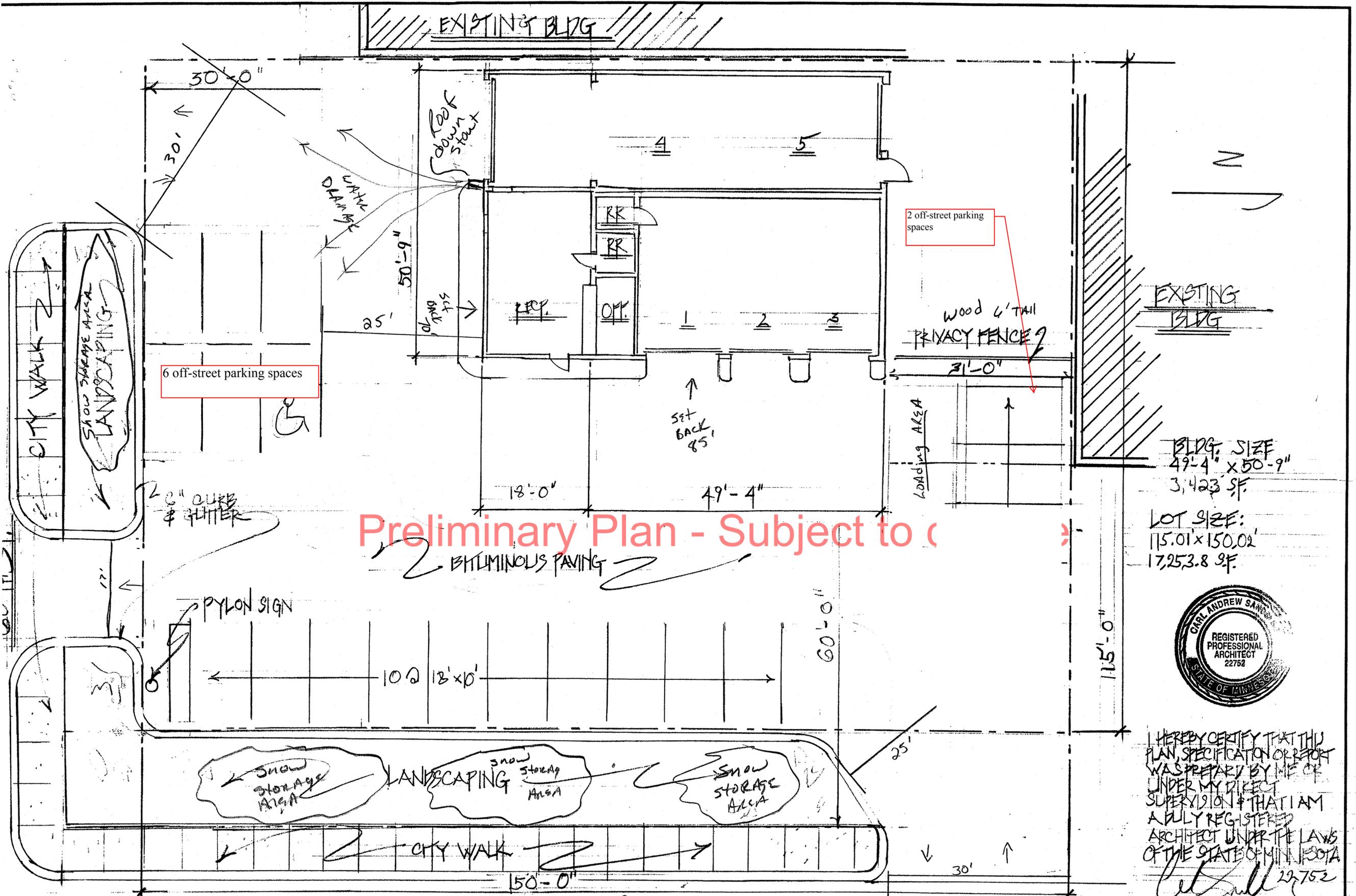
3 SOUTH ELEVATION  
1/8" = 1'-0"



2 EAST ELEVATION  
1/8" = 1'-0"



1 NORTH ELEVATION  
1/8" = 1'-0"



Preliminary Plan - Subject to (

BLDG. SIZE  
49'-4" x 50'-9"  
3,423 SF.

LOT SIZE:  
115.01 x 150.02  
17,253.8 SF.



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION & THAT I AM A FULLY REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA  
22752

Proposed Site Plan

5936 PORTLAND AVE S, MPLS, MN

CARL SANDBERG ARCHITECT		
SCALE: 1"=20'	APPROVED BY:	DRAWN BY: CAS
DATE: 7/20/12		REVISED:
		DRAWING NUMBER:

TOTAL Lot size 17,253' TOTAL Impervious 14,523' Previous 2,730'