

**Department of Community Planning and Economic Development**  
Conditional Use Permit and Site Plan Review  
BZZ-6396

**Date:** February 3, 2014

**Applicant:** Ceresota Funding, LLC, Attention Jay Dworsky, (612) 327-1599

**Addresses of Property:** 155 5<sup>th</sup> Avenue South

**Project Name:** Ceresota Building Residential Development

**Contact Person and Phone:** Ken Piper, Tanek, Inc., (612) 998-8100

**CPED Staff and Phone:** Aaron Hanauer, (612) 673-2494

**Date Application Deemed Complete:** December 31, 2013

**End of 60-Day Decision Period:** March 1, 2014

**Ward:** 7      **Neighborhood Organization:** Downtown West

**Existing Zoning:** C3A/Community Activity Center District, DH/Downtown Height Overlay District, DP Downtown Parking Overlay District, and MR/Mississippi River Critical Area Overlay

**Proposed Zoning:** Not applicable for this application

**Zoning Plate Number:** 14

**Lot Area:** 49,807 square feet or 1.14 acres

**Legal Description:** Not applicable for this application

**Proposed Use:** 57-unit senior housing project

**Concurrent Review:**

- Conditional use permit to increase the height in the Downtown Height Overlay District from six stories or 84 feet to 9 stories, 115 feet.
- Conditional use permit to allow an assisted living facility.
- Site plan review.

**Applicable zoning code provisions:** Chapter 525, Article VII, Conditional Use Permits and Chapter 530 Site Plan Review.

**Background:** The Ceresota Building (historically known as the Northwestern Consolidated Milling Company Elevator "A") operated as a grain elevator from the time it was built in 1908 until the mid-

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1980s. It was designed for cleaning and storage of grain which it supplied to the neighboring Crown Roller Mill (105 5<sup>th</sup> Avenue South) and Standard Mills (now known as the Whitney Condominium building at 150 Portland Avenue).

In 1987, the building underwent a major renovation and conversion to an eleven-story office building. As part of the conversion, the windowless south side (behind the Ceresota Enriched Flour sign) was covered with a mirrored wall on the interior. This allows light to reflect into the atrium from the skylights above. This skylight system would continue to be used for the proposed residential conversion. Substantial landscaping work was also completed when the building was renovated in 1987 including a sunken garden between the Ceresota and Whitney condominium building.

The Ceresota Building is a contributing structure to the Saint Anthony Falls Historic District. The building retains its architectural integrity and the property resembles to a high degree the site after the 1987 office conversion.

In December 2012, the Minneapolis Planning Commission approved a site plan review to allow for the conversion of the Ceresota Building from office to 117 apartments (BZZ-5851). As part of this proposal there were no proposed exterior alterations to the building. The applicant did, however, propose landscaping improvements primarily in the sunken garden.

**Proposal:** The applicant has revised their plans and is now proposing to convert the office building into a 57-unit assisted living facility/apartments marketed towards seniors. The units would consist of 50 studios, three one-bedrooms, three two-bedrooms, and one three-bedroom for the owner. As part of this proposal, the first floor restaurant, Eddington's Soup and Salad, would be converted to a cafeteria/dining area for the residents.

An assisted living facility is defined by the Minneapolis zoning code as a facility registered with the Minnesota Department of Health (DOH) where individualized home care aide services or home management services are provided to residents either by the management or by providers under contract with the management. The applicant states that it is their intent to build a facility that will allow residents to continue living in the same building, even as the amount of care they may require changes. In house services provided will include: 24-hour staffing, daily prepared meals, transportation, housekeeping, laundry, physical therapy, and memory care. In addition, health related services will be provided, including; assistance with medications, bathing, dressing, grooming, eating, transferring, continence care, and toileting. Amenities provided for residence use within the building will include: shared kitchen and dining spaces on each floor, shared lounge spaces with fireplace on each floor, rooftop solarium and deck at the ninth-floor, hair salon, whirlpool tubs, seven-story atrium, underground loading docks, private consult room, activities rooms and private dining rooms. The building is intended to be registered with the Minnesota Department of Health, and the chosen service provider(s) will be licensed with the same agency.

The proposed change in use from an apartment building to an assisted living facility requires a conditional use permit application. In December 2013, the City Council voted to approve a zoning code text amendment that allows assisted living facilities as a conditional use in the C3A/Community Activity Center District. The proposed 1,152 square foot solarium and 665 square foot covered deck on the ninth-

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floor (1,817 square feet in total) requires a conditional use permit due to the proposed height. The proposed addition also requires a site plan review due to the change in the building's bulk. The applicant states that the solarium is a key part of the project, since it has been difficult to develop this property due to the lack of windows.

The proposed solarium received approval from the Heritage Preservation Commission at its meeting of January 7, 2014. No appeal was filed and the actions are final. The applicant is seeking state and federal historic tax credits and the project will be reviewed by the Minnesota State Historic Preservation Office and National Park Service.

No public comments were received at the time this report was published.

**CONDITIONAL USE PERMIT** – To allow for an increase in height in the DH District from six stories or 84 feet to 9 stories, 115 feet.

**Findings as Required by the Minneapolis Zoning Code:**

The Department of Community Planning and Economic Development has analyzed the application and from the findings above concludes that the establishment, maintenance, or operation of the proposed conditional use:

**1. Will not be detrimental to or endanger the public health, safety, comfort or general welfare.**

The subject property is in the DH/Downtown Height Overlay District. The maximum height for the subject property is six stories or 84 feet, whichever is less. The 1,152 square foot solarium and 665 square foot covered deck is proposed to be a part of the Ceresota building's ninth floor and rise to 115 feet in elevation.

The proposed solarium and rooftop deck will not be detrimental to or endanger the public health, safety, comfort, or general welfare. The solarium would be located approximately 38 feet from the nearest building, the seven-story Whitney condominium building, to the north and east. This distance will provide an adequate separation of the two uses. In addition, the proposed solarium and rooftop deck would be setback 42 feet from 2<sup>nd</sup> Street South, which will minimize the impact on the neighboring buildings to the south. Furthermore, the addition would only occupy 11 percent of the overall footprint of the building; the footprint of the solarium and the building is 1,816 square feet and 17,111 square feet respectively.

**2. Will not be injurious to the use and enjoyment of other property in the vicinity and will not impede the normal or orderly development and improvement of surrounding property for uses permitted in the district.**

The proposed ninth-floor solarium and rooftop deck will not be injurious to the use and enjoyment of other property in the vicinity and will not impede normal or orderly development and improvement of surrounding property for uses permitted in the district. As previously mentioned, the proposed

addition is setback an ample distance from the nearest building and the primary elevation; 38 and 42 feet respectively. In addition, the top of the solarium is 40 feet below the top of the building. These design decisions will reduce its impact on neighboring properties and reduce its visibility.

**3. Adequate utilities, access roads, drainage, necessary facilities or other measures, have been or will be provided.**

The increase in the maximum permitted height would not have an adverse impact on utilities, access roads, drainage, and necessary facilities.

**4. Adequate measures have been or will be provided to minimize traffic congestion in the public streets.**

Increasing the maximum permitted height of the solarium and rooftop deck would not have an adverse impact on traffic congestion. The applicant's revised proposal with 57 residential units will have less traffic than the 2012 residential proposal that contained 117 residential units. As with the previous application, the applicant is proposing to provide bicycle parking that exceeds the zoning code requirements. In addition, the applicant has an agreement with The Depot at 300 Washington Avenue to lease off-street parking spaces.

**5. Is consistent with the applicable policies of the comprehensive plan.**

The applicant's proposal of a ninth-floor solarium and rooftop deck for an assisted living facility is consistent with The Minneapolis Plan for Sustainable Growth's future land use map, future land use categories and applicable housing, heritage preservation, economic development, and urban design policies and implementation steps.

There are seven main categories shown on the future land use map. The subject site and the adjacent properties are in the mixed-use category. The mixed-use category allows for mixed use development, including mixed use with residential. Mixed use may include either a mix of retail, office or residential uses within a building or within a district. Although, the proposal for the subject property is not a mixed use, the proposed use, an assisted living facility, will add a new use to the area, which is encouraged.

The future land use map includes land use features that guide and direct future growth and density. The subject property and adjacent properties are within the Mill District Activity Center. Activity centers provide a mix of uses with citywide and regional draw. High intensity of uses, including employment, commercial, office, and residential uses. The applicant's proposed assisted living facility will help with the area's mix of uses.

The applicant's proposal is consistent with the following provisions of *The Minneapolis Plan for Sustainable Growth*.

Land Use Policy 1.5: Promote growth and encourage overall city vitality by directing new commercial and mixed use development to designated corridors and districts. Implementation Step

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1.5.1: Support an appropriate mix of uses within a district or corridor with attention to surrounding uses, community needs and preferences, and availability of public facilities.

Land Use Policy 1.8: Preserve the stability and diversity of the city's neighborhoods while allowing for increased density in order to attract and retain long-term residents and businesses. Implementation Step 1.8.1: Promote a range of housing types and residential densities, with highest density development concentrated in and along appropriate land use features.

Land Use Policy 1.12: Support Activity Centers by preserving the mix and intensity of land uses and by enhancing the design features that give each center its unique urban character.

1.12.1: Encourage a variety of commercial and residential uses that generate activity all day long and into the evening. 1.12.3: Encourage active uses on the ground floor of buildings in Activity Centers.

Housing Policy 3.2: Support housing density in locations that are well connected by transit, and are close to commercial, cultural and natural amenities. Implementation Step 3.2.1: Encourage and support housing development along commercial and community corridors, and in and near growth centers, activity centers, retail centers, transit station areas, and neighborhood commercial nodes.

Housing Policy 3.6: Foster complete communities by preserving and increasing high quality housing opportunities suitable for all ages and household types. Implementation Step 3.6.1: Promote the development of housing suitable for people and households in all life stages that can be adapted to accommodate changing housing needs over time. 3.6.5: Promote accessible housing designs to support persons with disabilities and the elderly.

Heritage Preservation Policy 8.1: Preserve, maintain, and designate districts, landmarks, and historic resources which serve as reminders of the city's architecture, history, and culture. Implementation Step 8.1.1: Protect historic resources from modifications that are not sensitive to their historic significance.

Heritage Preservation Policy 8.8: Preserve neighborhood character by preserving the quality of the built environment. Implementation Step 8.8.1: Preserve and maintain the character and quality of residential neighborhoods with regulatory tools such as the zoning code and housing maintenance code.

Heritage Preservation Policy 8.10: Promote the benefits of preservation as an economic development tool and a method to achieve greater environmental sustainability and city vitality. Implementation Step 8.10.1: Encourage rehabilitation of buildings and landscapes to stimulate economic activity in depressed areas. Implementation Step 8.10.8: Promote financial preservation incentives for property owners and developers.

Urban Design Policy 10.6: New multi-family development or renovation should be designed in terms of traditional urban building form with pedestrian scale design features at the street level. Implementation Step 10.6.1: Design buildings to fulfill light, privacy, and view requirements for the subject building as well as for adjacent properties by building within required setbacks. Implementation Step 10.6.2: Promote the preservation and enhancement of view corridors that

focus attention on natural or built features, such as the Downtown skyline, landmark buildings, significant open spaces or bodies of water. 10.6.4: Orient buildings and building entrances to the street with pedestrian amenities like wider sidewalks and green spaces.

**6. And, does in all other respects conform to the applicable regulations of the district in which it is located upon approval of this conditional use permit, rezoning, and site plan review.**

If the requested land use/zoning applications are approved, the proposal will comply with all provisions of the C3A/Community Activity Center District, DH/Downtown Height Overlay District, DP Downtown Parking Overlay District, and MR/Mississippi River Critical Area Overlay Districts.

***Additional Criteria to Increase the Maximum Permitted Height***

**(1) Access to light and air of surrounding properties.**

The proposed solarium and rooftop deck would not have an adverse impact on the access to light and air of surrounding properties. The proposed solarium and rooftop deck would occupy a small amount of the overall footprint of the building (11 percent). The footprint of the solarium and the building is 1,816 square feet and 17,111 square feet respectively. As noted in Finding 1 and 2 above, the proposed solarium and rooftop deck would be built an adequate distance away from the nearest building and the primary elevation; 38 feet and 42 feet respectively. In addition, the top of the solarium is 40 feet below the top of the building. These design decisions will allow for adequate access to light and air for surrounding properties.

**(2) Shadowing of residential properties or significant public spaces.**

The proposed solarium and deck on the ninth-floor would have a minimal impact on additional shadows of residential properties. As previously stated, the proposed solarium will not have any shadowing impact on properties to the south and the west given its proposed height and location. The modest sized solarium and rooftop deck may create a small increase in shadowing for some of the residential units in the Whitney building to the north and east. However, the additional shadowing created by the solarium and rooftop deck is minimal compared to the shadowing impact that has historically existed between these two buildings.

**(3) The scale and character of surrounding uses.**

The scale and character of the proposed solarium and rooftop deck height would be compatible with the surrounding area. The historic and contemporary buildings within this portion of the Mills District are larger buildings that often span a half block or more. The proposed solarium and rooftop deck is a small addition compared to the overall Ceresota building. The proposed solarium and rooftop deck would add 1,816 square feet of area to a building with 129,121 square feet of gross floor area; an increase of 1.4 percent. Furthermore, the proposed addition is 40 feet below the height of the building's headhouse and setback 42 feet from the primary elevation along 2<sup>nd</sup> Street South, which will limit its visibility.

**(4) Preservation of views of landmark buildings, significant open spaces or water bodies.**

The proposed addition would have a minimal impact of views on landmark buildings, significant open spaces or water bodies because of the proposed location of the addition which is setback from the primary elevation, it's modest size (1,816 square feet), and the location of neighboring buildings. The proposed addition will not impact views of the riverfront for those standing south of the Ceresota looking north. In addition, the proposed addition will have a minimal impact on views of the downtown skyline for those standing to the north of the Ceresota looking south towards downtown.

**CONDITIONAL USE PERMIT** – To allow for an assisted living facility in the C3A/Community Activity Center District

**Findings as Required by the Minneapolis Zoning Code:**

The Department of Community Planning and Economic Development has analyzed the application and from the findings above concludes that the establishment, maintenance, or operation of the proposed conditional use:

**1. Will not be detrimental to or endanger the public health, safety, comfort or general welfare.**

The applicant's proposal to convert the subject property an assisted living facility will not be detrimental to or endanger the public health, safety, comfort or general welfare. The applicant's proposal will allow for an additional housing type in the Mill District, an assisted living facility. The applicant's proposal will allow residents to continue living in the same building, even as the amount of care they may require changes. The proposed rehabilitation will provide seniors independent and dependent living options.

**2. Will not be injurious to the use and enjoyment of other property in the vicinity and will not impede the normal or orderly development and improvement of surrounding property for uses permitted in the district.**

The proposed assisted living facility will not be injurious to the use and enjoyment of other property in the vicinity and will not impede the normal or orderly development and improvement of surrounding property for uses permitted in the district. Over the past 20 years, the Mill District has undergone a transformation from an industrial area to a residential area with commercial and institutional uses nearby. The proposed assisted living facility will continue that trend of having a mixed-use residential neighborhood.

**3. Adequate utilities, access roads, drainage, necessary facilities or other measures, have been or will be provided.**

The proposed assisted living facility would not have an adverse impact on utilities, access roads, drainage, and necessary facilities.

**4. Adequate measures have been or will be provided to minimize traffic congestion in the public streets.**

Adequate measures have been taken to minimize the traffic congestion in the public streets. The applicant's proposed revision from the 2012 approved plans has reduced the number of residential units from 117 to 57, which will reduce the traffic impacts of the development. As with the previous application, the applicant is proposing to provide bicycle parking that exceeds the zoning code requirements. In addition, the applicant has an agreement with The Depot at 300 Washington Avenue South to lease off-street parking spaces.

**5. Is consistent with the applicable policies of the comprehensive plan.**

The applicant's proposal of an assisted living facility is consistent with The Minneapolis Plan for Sustainable Growth's future land use map, future land use categories and applicable housing policies and implementation steps as outlined in Finding 5 of the conditional use permit review for the requested increase in height.

**6. And, does in all other respects conform to the applicable regulations of the district in which it is located upon approval of this conditional use permit, rezoning, and site plan review.**

If the requested land use/zoning applications are approved, the proposal will comply with all provisions of the C3A/Community Activity Center District, DH/Downtown Height Overlay District, DP Downtown Parking Overlay District, and MR/Mississippi River Critical Area Overlay Districts.

**SITE PLAN REVIEW**

**Findings as Required by the Minneapolis Zoning Code:**

- A. The site plan conforms to all applicable standards of Chapter 530, Site Plan Review. (See Section A Below for Evaluation.)**
- B. The site plan conforms to all applicable regulations of the zoning ordinance and is consistent with applicable policies of the comprehensive plan and applicable small area plans adopted by the city council. (See Section B Below for Evaluation.)**

**Section A: Conformance with Chapter 530 of Zoning Code**

**BUILDING PLACEMENT AND DESIGN:**

- Placement of the building shall reinforce the street wall, maximize natural surveillance and visibility, and facilitate pedestrian access and circulation.**
- First floor of the building shall be located not more than eight (8) feet from the front lot line (except in C3S District or where a greater yard is required by the zoning ordinance). If located on corner lot, the building wall abutting each street shall be subject to this requirement.**

- **The area between the building and the lot line shall include amenities.**
- **The building shall be oriented so that at least one (1) principal entrance faces the public street. In the case of a corner lot, the principal entrance shall face the front lot line.**
- **Except in the C3S District, on-site accessory parking facilities shall be located to the rear or interior of the site, within the principal building served, or entirely below grade.**
- **For new construction, the building walls shall provide architectural detail and shall contain windows as required by Chapter 530 in order to create visual interest and to increase security of adjacent outdoor spaces by maximizing natural surveillance and visibility.**
- **In larger buildings, architectural elements, including recesses or projections, windows and entries, shall be emphasized to divide the building into smaller identifiable sections.**
- **Blank, uninterrupted walls that do not include windows, entries, recesses or projections, or other architectural elements, shall not exceed twenty five (25) feet in length.**
- **Exterior materials shall be durable, including but not limited to masonry, brick, stone, stucco, wood, metal, and glass.**
- **The exterior materials and appearance of the rear and side walls of any building shall be similar to and compatible with the front of the building.**
- **The use of plain face concrete block as an exterior material shall be prohibited fronting along a public street, public sidewalk, public pathway, or adjacent to a residence or office residence district.**
- **Entrances, windows, and active functions:**
  - **Residential uses:**
    - **Principal entrances shall be clearly defined and emphasized through the use of architectural features such as porches and roofs or other details that express the importance of the entrance. Multiple entrances shall be encouraged. Twenty (20) percent of the walls on the first floor and ten (10) percent of the walls on each floor above the first that face a public street, public sidewalk, public pathway, or on-site parking lot, shall be windows as follows:**
      - a. **Windows shall be vertical in proportion.**
      - b. **Windows shall be distributed in a more or less even manner.**
  - **Nonresidential uses:**
    - **Principal entrances shall be clearly defined and emphasized through the use of architectural features such as roofs or other details that express the importance of the entrance. Multiple entrances shall be encouraged. Thirty (30) percent of the walls on the first floor and ten (10) percent of the walls on each floor above the first that face a public street, public sidewalk, public pathway, or on-site parking lot, shall be windows as follows:**
      - a. **Windows shall be vertical in proportion.**
      - b. **Windows shall be distributed in a more or less even manner.**
      - c. **The bottom of any window used to satisfy the ground floor window requirement may not be more than four (4) feet above the adjacent grade.**
      - d. **First floor or ground floor windows shall have clear or lightly tinted glass with a visible light transmittance ratio of 0.6 or higher.**
      - e. **First floor or ground floor windows shall allow views into and out of the building at eye level. Shelving, mechanical equipment or other similar fixtures shall not block**

views into and out of the building in the area between four (4) and seven (7) feet above the adjacent grade. However, window area in excess of the minimum required area shall not be required to allow views into and out of the building.

- f. **Industrial uses in Table 550-1, Principal Industrial Uses in the Industrial Districts, may provide less than thirty (30) percent windows on the walls that face an on-site parking lot, provided the parking lot is not located between the building and a public street, public sidewalk or public pathway.**
  - g. **In multiple tenant buildings, each individual ground level tenant space that faces a public street, public sidewalk, public pathway, or on-site parking lot shall comply with the minimum window requirements of this section.**
    - **Minimum window area shall be measured as indicated in section 530.120 of the zoning code.**
    - **Ground floor active functions: Except for industrial uses in Table 550-1, Principal Industrial Uses in the Industrial Districts, the first floor or ground level of buildings shall be designed to accommodate active functions by ensuring that parking, loading, storage, or mechanical equipment rooms are limited to no more than thirty (30) percent of the linear building frontage along each wall facing a public street, public sidewalk, or public pathway.**
- **Minimum window area shall be measured as indicated in section 530.120 of the zoning code.**
  - **The form and pitch of roof lines shall be similar to surrounding buildings.**
  - **Parking Garages: The exterior design shall ensure that sloped floors do not dominate the appearance of the walls and that vehicles are screened from view. In addition to compliance with minimum window requirements, principal and accessory parking garages shall comply with provisions requiring active functions on the ground floor. In the downtown districts, the more restrictive parking garage provisions of Chapter 549, Downtown Districts, shall apply.**
  - **The placement of the Ceresota building at the property line along 2<sup>nd</sup> Street South and 106 feet from 5<sup>th</sup> Avenue South is an existing condition. The building placement on the property line along 2<sup>nd</sup> Street South reinforces the street wall that exists on this side of the street. The windowless façade along 2nd Street South and 5<sup>th</sup> Avenue South is not ideal for natural surveillance and visibility; however, the neighboring buildings along 2nd Street South and 5<sup>th</sup> Avenue South, with their large amounts of glazing, provide natural surveillance and visibility for the area. In addition, by not requiring the Ceresota building to have windows on the 2nd Street South elevation or 5<sup>th</sup> Avenue South elevations it allows the building to retain its historic grain elevator appearance; the Ceresota building is a rare example of a masonry grain elevator in the United States. The placement of the proposed ninth-floor solarium and rooftop deck will help the building maximize natural surveillance and visibility along 2<sup>nd</sup> Street South. The wide walkway connecting the building entrances to 2<sup>nd</sup> Street South facilitates pedestrian access and circulation.**
  - **The first floor of the building is located less than eight feet from the front property line along 2<sup>nd</sup> Street South. Along 5<sup>th</sup> Avenue South, the building is located 106 feet from 5<sup>th</sup> Avenue South. The building that was located between the Ceresota Building and 5th Avenue South was torn down prior to 1987. In its place is a driveway and landscaping for the Ceresota building and the Crown Roller Mill.**
  - **The area between the building and the 5<sup>th</sup> Avenue South property line provides amenities including green space, mature trees, and a decorative fence.**

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- A principal entrance is not located on the 2<sup>nd</sup> Street South elevation, which is an existing condition. An entrance was not added on the 2<sup>nd</sup> Street South elevation in 1987 and is not proposed today in order to preserve the building's historic grain elevator appearance. The residential conversion is proposing to maintain two principal entrances on the 5th Avenue South elevation and one on the riverfront elevation.
- There will be no on-site parking for the proposed residential use; the applicant will provide off-street parking within 300 feet of the subject property.
- The proposed ninth-floor solarium and rooftop deck provides architectural detail that is complementary to the historic grain elevator. The proposed additions are contemporary in design and make clear what is historic and what is new, which is encouraged by the Secretary of the Interior's Guidelines for Rehabilitation. The solarium and rooftop deck are built with glazing and dark bronze aluminum. These proposed materials contrast the blond brick of the original structure and help reduce the focus of the addition. The proposed windows in the solarium are in compliance with the standards established in Chapter 530.
- The Ceresota building is a large building with a 17,111 square foot footprint. With the exception of filling in two windows for the solarium on the ninth-floor, the applicant is not proposing exterior alterations to the historic structure. The applicant's proposed solarium is primarily glazing which will offset it from the original construction and provide a break from the all brick façade.
- The original building does contain blank, uninterrupted walls that do not include windows, entries, recesses or projections, or other architectural elements for more than 25 feet. However, this is an existing condition. The proposed solarium will not have blank, uninterrupted walls.
- The exterior materials of the original construction and new construction are durable. The original construction is primarily masonry. The new construction is proposed to be clad in metal and glass.
- The exterior materials and appearance of the rear and side walls of the original construction and new construction are similar to and compatible with the front of the building. The 1908-grain elevator primarily consists of a blond brick on all elevations. The solarium and rooftop deck is proposed to be metal and glass on all elevations.
- The applicant is not proposing plain face concrete block as an exterior material.
- The principal entrances on the 5<sup>th</sup> Avenue South and riverfront elevations are clearly defined and emphasized through the use of architectural features. As part of the 1987 conversion to office space, the metal canopy and two floor atrium along the riverfront elevation was built to help define the importance of the entrances and to interpret the rail lines that accessed the building when the grain elevator was in operation.
- A residential building is required to have 30 percent of walls on the first floor and ten percent of the walls on each floor above the first that face a public street, public sidewalk, public pathway, or on-site parking lot, be windows. The existing building does not meet this requirement, however, it is an existing condition. The applicant is not proposing additional windows in order to preserve the building's exterior integrity. Prior to 1987, the Ceresota Elevator contained few windows. In 1987, 60 windows were allowed on the eastern portion of the riverfront elevation by the Heritage Preservation Commission and the State Historic Preservation Office because of their location on a secondary elevation and their minimal visibility from the public street. The plan south elevation of the solarium (facing 2<sup>nd</sup> Street South) is subject to the window analysis as part of the site plan review. The plan south elevation, when including the metal components of the windows will have approximately 100 percent window coverage. The windows are vertical in orientation.

- The ground floor will maintain active functions. As proposed, the first floor of the building will primarily consist of a kitchen/dining room, lounge area, and offices. No part of the building facing a public street, public sidewalk, or public pathway will have inactive functions such as parking loading, storage, or mechanical equipment rooms.
- The applicant is not proposing to alter the form and pitch of the roof of the original construction. The form and pitch of the solarium roof is a low-pitch gabled roof. This is a similar rooftop style to that of the top floor of the Whitney building (150 Portland Avenue) directly to the north and the rooftop addition on the Mill City Museum (700 2<sup>nd</sup> Street South).
- The applicant is not proposing a parking garage for this project.

#### **ACCESS AND CIRCULATION:**

- **Clear and well-lighted walkways of at least four (4) feet in width shall connect building entrances to the adjacent public sidewalk and to any parking facilities located on the site.**
- **Transit shelters shall be well lighted, weather protected and shall be placed in locations that promote security.**
- **Vehicular access and circulation shall be designed to minimize conflicts with pedestrian traffic and surrounding residential uses.**
- **Traffic shall be directed to minimize impact upon residential properties and shall be subject to section 530.150 (b) related to alley access.**
- **Site plans shall minimize the use of impervious surfaces.**
- The subject property currently contains a clear and well-lighted walkway of at least four (4) feet in width connecting the building entrances to the adjacent public sidewalks along 2<sup>nd</sup> Street South and 5<sup>th</sup> Avenue South.
- The subject property does not contain a transit shelter on site nor on-site parking.
- Vehicular access and circulation are designed to minimize conflicts with pedestrian traffic and surrounding residential uses. As part of the 1987 conversion, a wide walkway connecting the building entrances to the 2<sup>nd</sup> Street South and 5<sup>th</sup> Avenue South sidewalks was installed. A drive lane with curbing was also built to connect the Ceresota Building and Crown Roller Mill to 2<sup>nd</sup> Street South (vehicles exit on to 5<sup>th</sup> Avenue South). The drive lane provides opportunity to drop off people at the front door of both buildings. The curbing and slightly-lowered drive lane helps provide additional safety for pedestrians.
- Traffic is directed to minimize the impact upon residential properties. The alley access requirement of 530.150 is not applicable with the subject site.
- The site plan minimizes the use of impervious surface by exceeding the minimum landscape percentage requirements for portions of the site not occupied by a building.

#### **LANDSCAPING AND SCREENING:**

- **The composition and location of landscaped areas shall complement the scale of the development and its surroundings.**
- **Not less than twenty (20) percent of the site not occupied by buildings, including all required landscaped yards, shall be landscaped as specified in section 530.160 (a).**
- **Required screening shall be six (6) feet in height, unless otherwise specified, except in required front yards where such screening shall be three (3) feet in height.**

- **Except as otherwise provided, required screening shall be at least ninety-five (95) percent opaque throughout the year. Screening shall be satisfied by one or a combination of the following:**
  - **A decorative fence.**
  - **A masonry wall.**
  - **A hedge.**
- **Parking and loading facilities located along a public street, public sidewalk or public pathway shall comply with section 530.170 (b), including providing landscape yards along a public street, public sidewalk or public pathway and abutting or across an alley from a residence or office residence district, or any permitted or conditional residential use.**
- **The corners of parking lots where rows of parking spaces leave areas unavailable for parking or vehicular circulation shall be landscaped as specified for a required landscaped yard. Such spaces may include architectural features such as benches, kiosks or bicycle parking.**
- **In parking lots of ten (10) spaces or more, no parking space shall be located more than fifty (50) feet from the center of an on-site deciduous tree. Tree islands located within the interior of a parking lot shall have a minimum width of seven (7) feet in any direction.**
- **All other areas not governed by sections 530.160 and 530.170 and not occupied by buildings, parking and loading facilities or driveways, shall be covered with turf grass, native grasses or other perennial flowering plants, vines, mulch, shrubs or trees.**
- **Installation and maintenance of all landscape materials shall comply with the standards outlined in section 530.210.**
- **The city planning commission may approve the substitution or reduction of landscaped plant materials, landscaped area or other landscaping or screening standards, subject to section 530.80, as provided in section 530.220.**
  
- The applicant is not proposing major site alterations. The proposed landscape work includes completing maintenance on the sunken garden (riverside portion of the lot) and new plantings in landscaped areas to replace those needing to be replaced.
- The composition and location of landscaped areas complements the scale of the development and its surroundings. The zoning code requires that at least 20 percent of the site not occupied by the building be landscaped. The lot area of the site is 49,807 square feet. The footprint of the existing building is 17,111 square feet. When you subtract the footprint of the building from the lot size the resulting number is 32,696 square feet; 20 percent of this number is 6,539 square feet. The applicant is proposing to landscape 8,551 square feet, which is 26 percent net site area. The zoning code also requires that there be at least one tree for every five hundred square feet of required landscaping and one shrub for every 100 square feet of required landscaping. Therefore, the project will be required to provide 7 trees and 37 shrubs. The applicant is proposing to plant or maintain 24 canopy trees and more than 100 shrubs.
- Other than the existing mechanical equipment/electrical transfer station near 2<sup>nd</sup> Street South, the site does not have screening requirements. The screening of the mechanical equipment is in compliance with that outlined in Section 535.70, Screening of Mechanical Equipment.
- The site does not contain any at grade parking, above grade parking, or loading facilities located along a public street, public sidewalk, or public pathway.
- The subject site does not contain a parking lot.

- As conditioned, the property owner will maintain the landscape materials in compliance with the standards of section 530.210.

**ADDITIONAL STANDARDS:**

- **All parking lots and driveways shall be designed with wheel stops or discontinuous curbing to provide on-site retention and filtration of stormwater. Where on-site retention and filtration is not practical, the parking lot shall be defined by six (6) inch by six (6) inch continuous concrete curb.**
- **To the extent practical, site plans shall minimize the blocking of views of important elements of the city.**
- **To the extent practical, buildings shall be located and arranged to minimize shadowing on public spaces and adjacent properties.**
- **To the extent practical, buildings shall be located and arranged to minimize the generation of wind currents at ground level.**
- **Site plans shall include crime prevention design elements as specified in section 530.260 related to:**
  - **Natural surveillance and visibility**
  - **Lighting levels**
  - **Territorial reinforcement and space delineation**
  - **Natural access control**
- **To the extent practical, site plans shall include the rehabilitation and integration of locally designated historic structures or structures that have been determined to be eligible to be locally designated. Where rehabilitation is not feasible, the development shall include the reuse of significant features of historic buildings.**
  - No parking will be provided on-site.
  - The proposed addition minimizes the blocking of views of important elements of the city with the proposed location, height and size. The proposed addition is setback 42 feet from the primary elevation. It is 40 feet below the top of the existing building, and has a minimal footprint compared to the overall building (11 percent of the building's footprint).
  - The proposed addition given its size and proposed location will minimize shadowing on public spaces and adjacent properties.
  - The proposed solarium and rooftop deck are located and arranged to not have an impact on the generation of wind currents at ground level.
  - Although the building does not have windows along the lower portion of the 2<sup>nd</sup> Street South elevation, the property does include crime prevention design elements. This includes lighting for pedestrians along the 2<sup>nd</sup> Street South sidewalk and throughout the large parcel, territorial reinforcement and space delineation, as well as natural access control along both streets (2<sup>nd</sup> Street South and 5<sup>th</sup> Avenue South) with the proposed plantings/retention of existing planting areas. In addition, the proposed solarium will help provide eyes on the street.
  - The site plan includes the rehabilitation and reuse of a locally designated historic structure.

**Section B: Conformance with All Applicable Zoning Code Provisions and Consistency with the Comprehensive Plan and Applicable Small Area Plans Adopted by the City Council**

**ZONING CODE:**

**Use:** The proposed assisted living facility is a conditional use in the C3A zoning district.

**Parking and Loading:**

*Minimum automobile parking requirement:* Per Table 541-1, the minimum off-street parking requirement for an assisted living facility is one space per three beds. The proposed assisted living facility would have 62 beds. Therefore, the base minimum parking requirement is 21 off-street parking spaces. However, since the subject property is located in the DP Downtown Parking Overlay District, an assisted living facility is only required to provide a minimum of 90 percent of the number of spaces specified in Table 541-1. With this reduction, the residential parking requirement is reduced to 19 spaces.

The project is not proposing to provide on-street parking on the subject property; however, the project meets its off-street parking requirement through grandfathered parking rights. The Minneapolis zoning code requires office uses, the building's most recent use, to have one space per 500 square feet of gross floor area in excess of 4,000 square feet. The 90,208 square feet of former office space provide the building grandfathered rights to 172 parking spaces (90,208 – 4000/500 square feet). If the proposed project is approved, the grandfathered parking rights would be reduced to 19 off-street parking spaces, the required off-street parking for the proposed assisted living facility).

To help with off-street parking for the subject property, the applicant is proposing to lease off-street parking spaces from the Depot at 300 Washington Avenue South. The Depot is located 250 feet away from the subject property. However, the off-street parking spaces at The Depot will not count towards providing the minimum off-street parking because the parking facility is not under the same ownership or control as the building or use being served.

**Maximum automobile parking requirement:** Per Table 541-1, the maximum off-street parking requirement for an assisted living facility is one space per bed. The proposed 62 bed assisted living facility would have a maximum parking allowance of 62 off-street parking spaces. The proposed project will not exceed their maximum automobile parking requirement.

**Bicycle Parking:** The applicant's proposal is in compliance with the bicycle parking requirements. Per Table 541-3, a congregate living facility is required to provide one bike parking space per four beds. Therefore, the bike parking requirement is 14 spaces. Of those 14 spaces, ninety 90 percent of the required bicycle parking spaces, or 13 spaces, shall meet the standards for long-term bicycle parking outlined in 541.180 (b) (2). Required long-term bicycle parking spaces shall be located in enclosed and secured or supervised areas providing protection from theft, vandalism and weather and shall be accessible to intended users. Required long-term bicycle parking for residential uses shall not be located within dwelling units or within deck or patio areas accessory to dwelling units. The applicant is proposing to have 29 bike parking spaces be long term in a dedicated area in the building's basement.

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**Loading:** Per Table 541-9, an assisted living facility has a low minimum loading requirement. An assisted living facility with 134,056 square feet is required to provide two small loading spaces. The applicant is proposing to maintain the underground loading docks that will accommodate two small loading spaces. The off-street loading spaces are at least 10 feet in width and at least 25 feet in length.

**Maximum Floor Area:** The maximum floor area ratio (F.A.R.) in the C3A Zoning District is 2.7. However, properties in the Downtown Height Overlay District are allowed a F.A.R. of 4.0. The subject site is 49,807 square feet. The existing Ceresota Building, with 129,121 square feet has a floor area ratio of 2.6. With the proposed solarium and filling in the 11<sup>th</sup> floor with a living space, the building would have 134,056 square feet of floor area and a F.A.R. of 2.7.

**Height:** The maximum height for a multifamily building in the C3A Zoning District is four stories or 56 feet, whichever is less. The Downtown Height Overlay District allows a building to be six stories or 84 feet in height. The existing Ceresota Building is 151'6". The applicant is proposing a solarium and rooftop deck that would be nine stories and 115 feet in height. The applicant has requested a conditional use permit to allow for the increased height for proposed addition. CPED's support of this increased height request is evaluated in the conditional use permit section of this report.

**Minimum Lot Area:** The proposed development is in compliance with the minimum lot area requirement for the C3A Zoning District. The minimum lot area requirement for an assisted living facility is 20,000 square feet with a minimum of 80 foot lot width. The subject site meets both of these requirements with a 49,807 square foot lot that has 315 linear feet of frontage along 2<sup>nd</sup> Street South

**Dwelling Units per Acre:** The C3A Zoning District does not have a maximum dwelling unit per acre requirement. The applicant is proposing to have 57 units on a 49,807 square foot lot which equates to 50 units per acre.

**Yard Requirements:** There are no yard requirements for this project.

**Specific Development Standards:** Per Chapter 536 of the Minneapolis zoning code, an assisted living facility has the following development standards:

1. On-site services shall be for residents of the facility only.
2. The operator shall submit a management plan for the facility and a floor plan showing sleeping areas, emergency exits and bathrooms.
3. To the extent practical, all new construction or additions to existing buildings shall be compatible with the scale and character of the surroundings, and exterior building materials shall be harmonious with other buildings in the neighborhood.
4. An appropriate transition area between the use and adjacent property shall be provided by landscaping, screening and other site improvements consistent with the character of the neighborhood.

The applicant's plan as detailed in the statement of proposed use, site plan, and floor plans meets all four specific development standards for an assisted living facility.

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**Signs:** The applicant is proposing to reface three existing freestanding signs. All three signs are proposed to state “Ceresota Residences”; two of the signs are proposed to include the building address, and two of the signs will provide way-finding assistance. The C3A Zoning District only allows one freestanding sign per parcel. However, the signs are existing and the zoning code allows the existing signs to be maintained per Section 531.20 (e) nonconforming signs. The applicant has no plans to modify the large ‘Ceresota’ painted sign on the south elevation.

**Dumpster Screening:** The building’s main trash and recycling area will be located inside of the building. A secondary trash area is proposed near the 2<sup>nd</sup> Street South drive isle (where there are currently irrigation control and gas meters). The screening is and will be in compliance with the Minneapolis zoning code’s screening standards in Section 535.70.

**Lighting:** A lighting plan was not submitted as part of the application materials. All lighting will need to be downcast and shielded to avoid undue glare. All lighting shall comply with Chapters 535 and 541.

**Solar:** The applicant is proposing to install solar panels on the roof of the solarium and covered deck, on the eight floor roof below the parapet, and on the 12<sup>th</sup> floor below the headhouse parapet. All three solar systems meet the Minneapolis zoning code definition for a building-mounted solar energy system, that is, a solar energy system affixed to a principal or accessory building. All of the proposed solar panels will have a maximum extension less than what is allowed by Section 535.840 of the zoning code’s solar energy system standards. A solar energy system is allowed to extend three feet above the ridge level of the gable roof; the applicant is proposing that the solar energy system of the solarium and deck will extend a maximum of 18 inches above the ridge level. The solar panels on the eight floor roof and 12<sup>th</sup> floor below the headhouse parapet will extend less than 36 inches from the roof. As conditioned, if the solar energy systems use a reflector to enhance solar production it shall minimize glare from the reflector that affects adjacent or nearby properties. Measures to minimize nuisance glare include selective placement of the system, screening on the north side of the solar array, modifying the orientation of the system, reducing use of the reflector system, or other remedies that limit glare.

**MINNEAPOLIS PLAN:** The applicant’s site plan is consistent with The Minneapolis Plan for Sustainable Growth’s future land use map, future land use categories and applicable housing, heritage preservation, economic development, and urban design policies and implementation steps as outlined in Finding 5 of the conditional use permit review for the proposed height increase.

**Conformance with Applicable Development Plans or Objectives Adopted by the City Council:**

The project is in compliance with the updated Saint Anthony Falls Historic District guidelines, which were approved by the Minneapolis Heritage Preservation Commission in 2012. The subject site is not located in a small area plan adopted by the Minneapolis City Council. The subject property is located outside of the Downtown East/North Loop Master Plan study area.

**ALTERNATIVE COMPLIANCE:**

- **The Planning Commission or zoning administrator may approve alternatives to any site plan review requirement upon finding any of the following:**
- **The alternative meets the intent of the site plan chapter and the site plan includes amenities or improvements that address any adverse effects of the alternative. Site amenities may include**

**but are not limited to additional open space, additional landscaping and screening, green roof, decorative pavers, ornamental metal fencing, architectural enhancements, transit facilities, bicycle facilities, preservation of natural resources, restoration of previously damaged natural environment, rehabilitation of existing structures that have been locally designated or have been determined to be eligible to be locally designated as historic structures, and design which is similar in form, scale and materials to existing structures on the site and to surrounding development.**

- **Strict adherence to the requirements is impractical because of site location or conditions and the proposed alternative meets the intent of this chapter.**
  - **The proposed alternative is consistent with applicable development plans or development objectives adopted by the city council and meets the intent of this chapter.**
- 
- The applicant's proposal does not require alternative compliance.

### **RECOMMENDATIONS:**

#### **Recommendation of the Department of Community Planning and Economic Development for the conditional use permit to increase the height of a building addition**

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the application for a conditional use to increase the height of an addition in the Downtown Height Overlay District from six stories or 84 feet to 9 stories, 115 feet at 155 5<sup>th</sup> Avenue South.

#### **Recommendation of the Department of Community Planning and Economic Development for the conditional use permit to allow an assisted living facility.**

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the application for a conditional use to allow for an assisted living facility at 155 5<sup>th</sup> Avenue South in the C3A Zoning District.

#### **Recommendation of the Department of Community Planning and Economic Development –for the site plan review:**

The Community Planning and Economic Development Department recommends that the City Planning Commission adopt the above findings and **approve** the site plan review application for the property located at 155 5<sup>th</sup> Avenue South subject to the following conditions:

1. Approval of the final site, elevation, landscaping and lighting plans by the Department of Community Planning and Economic Development.
2. All site improvements shall be completed by February 3, 2016, unless extended by the Zoning Administrator, or the permit may be revoked for non-compliance.

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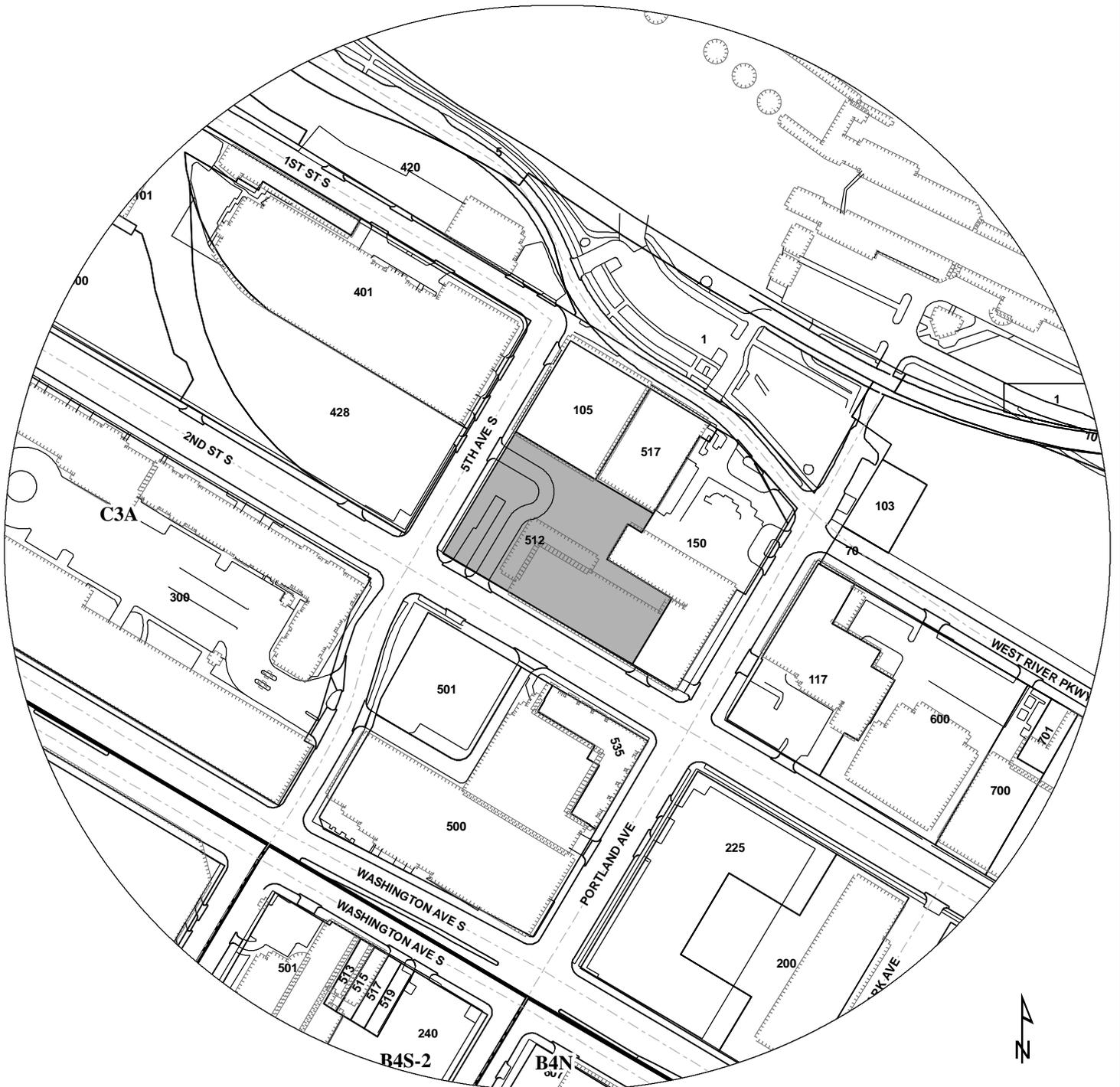
3. Lighting levels shall meet the requirements outlined in Section 535.590 of the zoning code.
4. Installation and maintenance of all landscape materials shall comply with the standards outlined in Section 530.210 of the zoning code.
5. All solar systems that use a reflector to enhance solar production shall minimize glare from the reflector that affects adjacent or nearby properties. Measures to minimize nuisance glare include selective placement of the system, screening on the north side of the solar array, modifying the orientation of the system, reducing use of the reflector system, or other remedies that limit glare.

**Attachments:**

1. Area map and aerials
2. Statement of proposed use, statement to conditional use permit findings, and assisted living facility description
3. City council and neighborhood notification
4. Plan set: landscape plan, site plan, floor plans, roof plan, elevations
5. Photos: photo key, photos of existing conditions, and historic photos
6. Aerials
7. Photo key, description, and images
8. Sign refacing details

NAME OF APPLICANT

WARD



PROPERTY ADDRESS  
**512 2nd Street South**

FILE NUMBER  
**BZZ-6396**

subject property  
and location

S 2nd St S 5th Ave

2nd St

Mill City Museum

subject property

S 2nd St

W River Pkwy

Portland Ave

S 2nd St

S 5th Ave

S 2nd St

West River Pkwy

S 1st St

West River Parkway

Stone Arch Bridge

St Anthony Falls

Stone Arch Bridge

152

65

S Washington



subject property



S 3rd Ave

West River Pkwy

S 1st St

S 2nd St

S Washington Ave

S 5th Ave

S 2nd St

Portland Ave

W River Pk

S 2nd St

St Anthony Falls

Stone Arch Bridge

West River Parkway

Mill City Museum

65

65

152

65

**Statement of Proposed Use and Description**  
**Minneapolis Planning Commission**  
**Land Use Application**

Ceresota Building  
512 2<sup>nd</sup> St. S.

**Building History:**

The Northwestern Consolidated Elevator A (Ceresota Mill) was constructed in 1908 and designed by local elevator engineer George T. Honstain. The eleven-story building is a “receiving elevator” and was originally built to clean and store grain for the neighboring Crown Roller Mill (1879) at the northwest and the Standard Mill (1879, Whitney Lofts) at the north.

The building is historically significant for its association with Minneapolis’ “West Side Milling District” in the Saint Anthony Falls Historic District (NRHP, 1971). The Northwestern Consolidated Milling Company (NCMC), making Ceresota flour, was the third largest flour-milling operation in Minneapolis after an 1891 consolidation. Additionally, the Ceresota Mill is significant as one of the largest brick grain elevators ever built.

In 1987 the elevator was converted into an office building and utilized National Park Service (NPS) Historic Tax Credits. The certified tax credit rehabilitation included the removal of the 57 interior grain bins and a new structural system creating office floors. Sixty additional windows (1-6 floors) were approved by the NPS and the Minneapolis HPC on the riverfront elevation.

**Background:**

In June 2008, the Minneapolis HPC approved 14 additional windows on the riverfront (north) elevation provided they match the 1987 windows at that elevation. In January 2013, the City of Minneapolis approved a 117-unit residential conversion of the building utilizing the 14 additional windows in the design.

**Proposed Alterations:**

The applicant has revised building plans as part of the new NPS tax certification application. Amy Lucas of Landscape Research LLC has submitted the Part 1 application and is currently preparing the Part 2 application. The proposed historic rehabilitation will convert the office building into 57 residential units (senior housing) rather than the 117 in the original City of Minneapolis proposal. The 1987 interior is not original and interior alterations proposed to the NPS follow the Secretary of the Interior’s Standards for Rehabilitation.

The three exterior alterations include:

1. Rooftop Solarium-A solarium of dark aluminum and glass is proposed for the roof creating a 9<sup>th</sup> floor addition. The addition measures 36'-4 3/4" by 32'-4 1/2" and has a gable roof. The gable is 13'-7" at the ridge with a raised section covering the ADA required elevator measuring 8'-9" by 15'-10". An attached shed allows for covered outdoor space for residents and measures 40'-10 1/2" by 16'-0" and is 13'-7 1/2" at the ridge. The solarium and roof deck/shed are centered on the roof of the historic grain conveyor and will have integrated solar panels. The flat areas of the roof will also have solar panels, but will be below parapet. The proposed addition is set back 7'-10" from the north parapet (river elevation); back 37'4" from the east parapet (Whitney Lofts); back 40'1" from south parapet (MacPhail School/Second St.). A simple painted steel rail will enclose the open deck/shed.

The solarium is a key part of the project, which has been hampered by the inability to install windows along the south elevation and is enclosed by the Whitney Lofts on the north and west elevations. It has been difficult to develop this property due to the lack of windows and outdoor space.

2. Roof Infill at 12<sup>th</sup> floor- As part of the 1987 renovation, the mechanical systems were placed at the 12<sup>th</sup> story of the headhouse. The parapet was preserved but the roof was lowered one story below the parapet and systems were installed in the open air area. False windows were installed at the 12<sup>th</sup> story. The owner proposes to remove the mechanical systems and raise the roof to the historic height behind the parapet. A glass skylight with solar panels will be placed on this new roof, but will not be visible.
3. Signage-There are currently three monument/ground signs on the property that read "Exit," "Whitney Lofts," and an address locator sign. These three monument/ground signs will be updated with the new logo, but the size will not be altered. Materials will remain to be metal cladding on the two smaller signs, and brick with a metal sign panel on the largest. The signs will not include any lighting.

**Conditional Use Permit statement:**

The project is requesting a Conditional Use Permit to exceed the height set forth in the zoning code. Currently the building sits within a C3A district, with a downtown height overlay. This allows for a maximum height of 6 stories and 84'-0". The solarium addition on the existing roof will not increase the overall height of the building, but does sit above the height threshold for this district. The solarium will sit at the 9<sup>th</sup> floor, and the maximum height will 115'-5 1/2" above the adjacent plaza.

The proposed solarium adheres to the following Conditional Use Permit guidelines:

1. The addition will not establish or continue a use that will be detrimental to or endanger the public health, safety, comfort, or general welfare.
2. The addition will sit entirely within the footprint of the existing roof. It will not be injurious to the use and enjoyment of other property, and will not impede the normal and orderly development and improvement of surrounding properties.
3. Adequate utilities, access roads, drainage, necessary facilities, and other measures currently exist on the property.
4. The addition does not affect the way the property interacts with the existing public streets. Nor does the addition increase the amount of traffic interacting with the building from the previously approved condition use permit.
5. The solarium addition provides a way for this building to find a use that is compatible with the market conditions of downtown Minneapolis. This use ensures the continued occupancy and upkeep of the historic Ceresota Building. It also continues to add residents to the riverfront area, and provides a choice that caters towards the aging population of the city.
6. As part of the C3A zoning district, this building will provide a permitted residential apartment use.

The solarium also adheres to the following guidelines for increasing height:

1. The modest increase in height that the solarium creates, along with the generous setbacks from adjacent properties, does not create barriers to the access of light and air for adjacent properties. The solarium is set back 40'-7" from the south lot line (2<sup>nd</sup> St.), 38'-7" from the east lot line (Whitney Condos), 36'-9" from a portion of the north lot line (Whitney Condos), 121'-6" from the north lot line across the plaza (Crown Roller Mill), and 186'-0" from the west lot line (5<sup>th</sup> Ave.)
2. The modest increase in height, along with the setbacks from the current roof edge, will result in minimal increase in shadows. This small increase will primary occur in the privately owned plaza between the Ceresota Building and Crown Roller Mill. The primarily glass construction of the solarium will further lessen the impact of these shadows.
3. The scale and character of the surrounding uses is primarily historic industrial mill buildings that have been converted to residential or office uses. Many open lots have been filled in with new parking, residential, and commercial structures.

- The addition will add to the long term viability of this residential conversion. The structure is designed in a way to not mimic a historic structure, while still using the same shape and massing principals as many of the historic buildings.
4. The size and placement of the solarium do not restrict views of significant building or features in the neighborhood. The attached views show that it is not visible from the adjacent streets, and only becomes partially visible when moving two blocks to the east. The new structure is also partially visible from the north when moving to the center of the Stone Arch Bridge. From this view many of the historic structures have been allowed to make modest alterations to allow for a viable conversion. Alterations visible include balconies, new and larger windows, roof decks, trellis, and signage.

**Conditional Use Permit statement (assisted living use):**

The project is requesting a Conditional Use Permit to allow the use of Assisted Living. Currently the C3A zoning district allows Board and Care/Nursing Homes/Assisted Living only as a conditional use.

The proposed assisted living use adheres to the following Conditional Use Permit guidelines:

1. **The establishment, maintenance, or operation of the conditional use will not be detrimental to or endanger the public health, safety, comfort, or general welfare.** Providing a building of this use in the city will allow residents to continue the aging process without being forced to live in a different neighborhood, or even a different city. This provides a missing link in the housing types offered, and allows city residents to stay within the city and neighborhoods they have become a part of.
2. **The conditional use will not be injurious to the use and enjoyment of other property in the vicinity, and will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.** Since this project is making no alterations to the site and only rooftop alterations to the building, it will not physically impede the development of surrounding properties. Further, by providing a housing type that is currently missing from the area, it enhances the quality of the neighborhood by allowing current and future residents an option to remain in the area as they age.
3. **Adequate utilities, access roads, drainage, necessary facilities, or other measures, have been or will be provided.** The building was previously used as an office building, and thus has all the required utilities and access required to also accommodate an assisted living use.
4. **Adequate measures have been or will be taken to minimize traffic congestions in the public streets.** Since the new assisted living use will have a lower occupant capacity, and lower daily occupant access rates, the traffic generated by this property will decrease from previous levels.
5. **The conditional use is consistent with the applicable policies of the comprehensive plan.** In general terms, the comprehensive plan looks to promote a range of housing types and densities across the city. The area this building resides is identified as an activity center, with a recommendation to high/very high density uses. The plan also recommends the concept of complete communities, which encompass housing for all ages and households. Three points have direct relevance to this proposed use.
  - 3.6.1 Promote the development of housing suitable for people and households in all life stages that can be adopted to accommodate changing housing needs over time.
  - 3.6.5 Promote accessible housing designs to support persons with disabilities and the elderly.

**3.6.6** Actively enforce anti-discrimination laws and act to promote Fair Housing practices.

The comprehensive plan also recommends the preservation of historic resources, and encourages cooperation to form a preservation strategy.

**8.10.7** Use planning tools....to retain historic structures while compensating for the loss of development potential.

- 6. The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.** The existing building size and height were established before the creation of the current zoning code. The solarium addition requires a condition use permit to exceed the height allowed in the district. This permit has been applied for concurrently with this conditional use permit. All other aspects of the building and project conform to the current zoning district standards.

The assisted living use also adheres to the following specific development standards:

- 1. On-site services shall be for residents of the facility only.** All facilities and services provided shall be for the use of facility residents.
- 2. The operator shall submit a management plan for the facility and a floor plan showing sleeping areas, emergency exits, and bathrooms.** See attached statement of use and floor plans.
- 3. To the extent practical, all new construction or additions to existing buildings shall be compatible with the scale and character of the surroundings and exterior building materials shall be harmonious with other buildings in the neighborhood.** The proposed solarium addition has been approved by the Minneapolis HPC and will be reviewed for eligibility of state and federal historic tax credits.
- 4. An appropriate transition area between the use and adjacent property shall be provided by landscaping, screening, and other site improvements consistent with the character of the neighborhood.** The site conditions will not change from the current design, approved as part of the 1987 rehabilitation that received federal historic tax credits.

**Statement of Proposed Use and Function  
Minneapolis Planning Commission  
Land Use Application**

Ceresota Building  
512 2<sup>nd</sup> St. S.

**Assisted Living use and function narrative:**

The design will accommodate senior living in 56 units on floors 2-8. These units are primarily studios, there will be (3) one bedroom and (3) two bedroom units. There will be a multi-level unit designed for the owner to be located on floors 10 and 11. Building functionality will accommodate “aging in place” and “continuum of life”. This allows the residents to continue living in the same building, even as the amount of care they may require changes. In house services provided will include: 24-hour staffing, daily prepared meals, transportation, housekeeping, laundry, physical therapy, and memory care. In addition health related services will be provided, including; assistance with medications, bathing, dressing, grooming, eating, transferring, continence care, and toileting. Amenities provided for residence use within the building will include: shared kitchen and dining spaces on each floor, shared lounge spaces with fireplace on each floor, rooftop solarium and deck at the 9<sup>th</sup> floor, hair salon, whirlpool tubs, 7 story atrium with generous skylights, underground loading docks, private consult room, activities rooms and private dining rooms. The building is intended to be registered with the Minnesota Department of Health, and the chosen service provider(s) will be licensed with the same agency.

December 31, 2013

Mr. Jacob Frey  
Minneapolis City Council – Ward 3  
City Hall  
350 South Fifth Street, Room 307  
Minneapolis, MN 55415

RE: Ceresota Building Residential Development  
512 2<sup>nd</sup> Street South  
Minneapolis, MN 55401

Dear Council Member Frey:

I would like to take this opportunity to formally notify you that we will be submitting a Land Use application to the City of Minneapolis – CPED on December 31, 2013.

Our project to convert the Ceresota Building to a residential use received approval in December of 2012. We did not ask for any additional windows. However in the course of developing our documents we have come up with a solarium design and roof deck for the top of the building; this is a feature that I believe will greatly enhance the residential quality of the conversion and compensate for the lack of windows on the exterior. I will also note that we have designed this feature to have minimal visual impact on the exterior views, with the help of our design professionals and historical consultant.

The features which require Planning Commission review are an addition over 1,000 square feet (the solarium is 1,152 square feet) and that the addition will exceed the allowable height of the C3A zoning district. (The allowable height, with downtown height overlay, is 6 stories and 84'-0". The solarium will be located at the 9<sup>th</sup> floor and measure 115'-5 1/2" to the highest point.) The application does not involve any exterior site work or additional windows.

We are working with City Planner Aaron Hanauer and will submit our application on December 31, 2013.

We look forward to working with you as our project progresses and goes before the Minneapolis Planning Commission.

Sincerely,

Jay Dworsky  
Ceresota Funding, LLC  
155 5<sup>th</sup> Avenue South  
Minneapolis, MN 55401  
Ph: 612.327.1599

Cc: Lisa Goodman, Ward 7

December 31, 2013

Ms. Christie Rock  
Downtown Minneapolis Neighborhood Association  
40 South 7<sup>th</sup> Street  
Minneapolis, MN 55402

RE: Ceresota Building Residential Development  
512 2<sup>nd</sup> Street South  
Minneapolis, MN 55401

Dear Christie:

I would like to take this opportunity to formally notify you that we will be submitting our Land Use application to the City of Minneapolis – CPED on December 31, 2013.

Our project to convert the Ceresota Building to a residential use received approval in December of 2012. We did not ask for any additional windows. However in the course of developing our documents we have come up with a solarium design and roof deck for the top of the building; this is a feature that I believe will greatly enhance the residential quality of the conversion and compensate for the lack of windows on the exterior. I will also note that we have designed this feature to have minimal visual impact on the exterior views, with the help of our design professionals and historical consultant.

The features which require Planning Commission review are an addition over 1,000 square feet (the solarium is 1,152 square feet) and that the addition will exceed the allowable height of the C3A zoning district. (The allowable height, with downtown height overlay, is 6 stories and 84'-0". The solarium will be located at the 9<sup>th</sup> floor and measure 115'-5 1/2" to the highest point.) The application does not involve any exterior site work or additional windows.

We are working with City Planner Aaron Hanauer and will submit our application on December 31, 2013. We look forward to working with the City of Minneapolis CPED and Downtown Minneapolis Neighborhood Association on this project.

Sincerely,

Jay Dworsky  
Ceresota Funding, LLC  
155 5<sup>th</sup> Avenue South  
Minneapolis, MN 55401  
Ph: 612.327.1599

# CERESOTA BUILDING

## RESIDENTIAL DEVELOPMENT LAND USE APPLICATION 12.31.2013

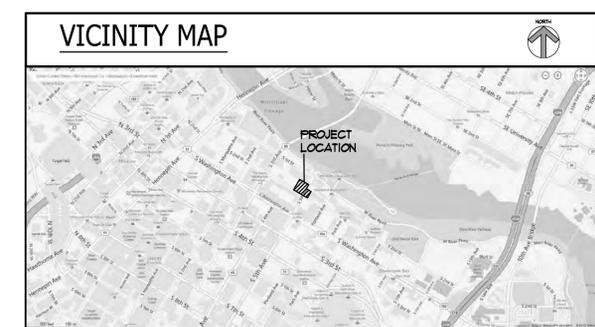


118 E. 26th Street  
Suite 300  
Minneapolis, MN 55404  
P: 612-879-8225  
F: 612-879-8152  
www.tanek.com

SHEET SUMMARY		HPC REVIEW - 11/25/2013	HPC APPLICATION - 12/11/2013	LAND USE APP. - 12/31/2013
GENERAL				
A000	TITLE SHEET	●	●	●
ARCHITECTURAL				
A020	SITE PLAN	●	●	●
A100-3	BASEMENT FLOOR PLAN	●	●	●
A101-3	FIRST FLOOR PLAN	●	●	●
A102-3	SECOND FLOOR PLAN	●	●	●
A103-3	THIRD FLOOR PLAN	●	●	●
A104-3	FOURTH FLOOR PLAN	●	●	●
A105-3	FIFTH FLOOR PLAN	●	●	●
A106-3	SIXTH FLOOR PLAN	●	●	●
A107-3	SEVENTH FLOOR PLAN	●	●	●
A108-3	EIGHTH FLOOR PLAN	●	●	●
A109-3	NINTH FLOOR PLAN	●	●	●
A110-3	TENTH FLOOR PLAN	●	●	●
A111-3	ELEVENTH FLOOR PLAN	●	●	●
A112-3	TWELFTH (ROOF) FLOOR PLAN	●	●	●
A200	EXTERIOR ELEVATIONS	●	●	●
A300	EXTERIOR SECTIONS	●	●	●

PROJECT DIRECTORY	
<b>OWNER</b>	CERESOTA FUNDING, LLC 1661 UTAH DRIVE SOUTH ST. LOUIS PARK, MN
<b>ARCHITECT</b>	TANEK, INC. 118 EAST 26TH STREET SUITE 300 MINNEAPOLIS, MN 55404 CONTACT: KEN PIPER PHONE: 612-938-8100
<b>HISTORIC CONSULTANT</b>	LANDSCAPE RESEARCH, LLC 1926 PENN AVENUE SOUTH MINNEAPOLIS, MN 55405 CONTACT: AMY LUCAS PHONE: 612-414-1945

PROJECT SUMMARY			
<b>BUILDING STATS</b>		<b>SITE STATS</b>	
YEAR BUILT:	1908	TOTAL SITE AREA:	49,201 SF
HEIGHT:	161'-0"	IMPERVIOUS AREA:	41,660 SF
TOTAL BUILDING GROSS AREA:	141,919 SF	BUILDING FOOTPRINT:	16,976 SF
BASEMENT AREA:	15,600 SF	HARDSCAPE AREA:	24,184 SF
LOADING DOCK AND TUNNELS:	8,913 SF	PERVIOUS AREA:	8,641 SF
FIRST FLOOR AREA:	16,611 SF	TURF AREA:	1,799 SF
SECOND FLOOR AREA:	14,322 SF	OTHER LANDSCAPE AREA:	6,848 SF
THIRD FLOOR AREA:	14,321 SF		
FOURTH FLOOR AREA:	13,252 SF	<b>PARKING COUNTS</b>	
FIFTH FLOOR AREA:	13,252 SF	EXISTING ON-SITE STRIPED:	0 STALLS
SIXTH FLOOR AREA:	13,252 SF	OFF-STREET CURB LENGTH:	249'-0"
SEVENTH FLOOR AREA:	13,252 SF	(APPROX. 11 STALLS)	
EIGHTH FLOOR AREA:	9,140 SF		
NINTH FLOOR AREA:	3,134 SF		
TENTH FLOOR AREA:	3,134 SF		
ELEVENTH FLOOR AREA:	3,134 SF		



**Ceresota Building**  
Residential Development  
155 5th Ave. S.  
Minneapolis, MN 55401

**Landscape Research**  
1926 Penn Avenue S  
Minneapolis, MN 55405

PRELIMINARY

scale as noted  
name tvh

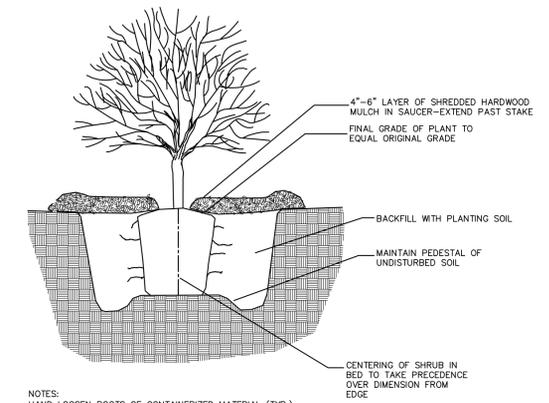
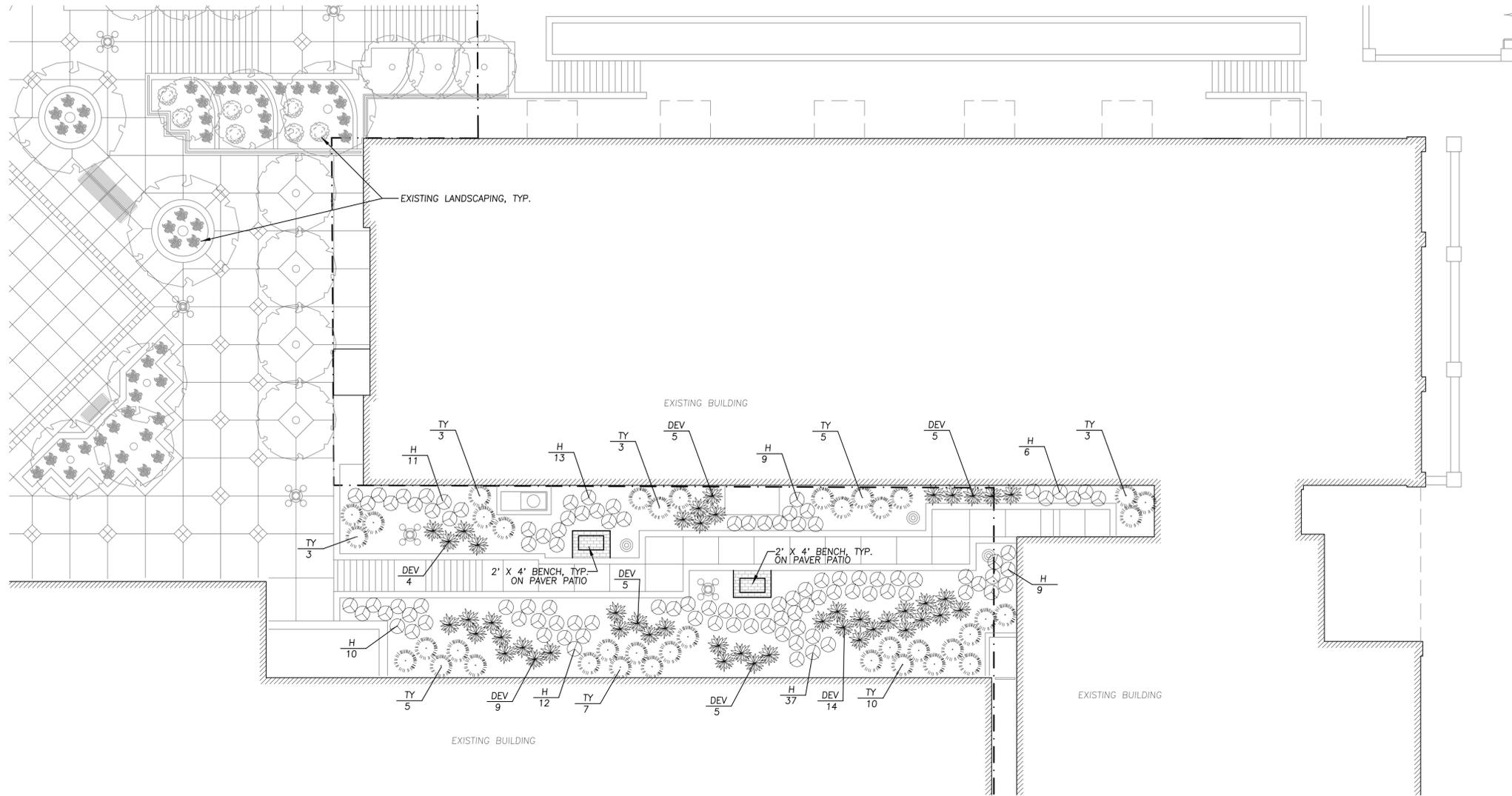
Land Use app. 12.31.2013

HPC application 12.11.2013

HPC review 11.25.2013

Title Sheet

a000



NOTES:  
HAND LOOSEN ROOTS OF CONTAINERIZED MATERIAL (TYP.).  
SCARIFY BOTTOM AND SIDES OF HOLE PRIOR TO PLANTING.

SHRUB PLANTING DETAIL

LEGEND

- ☼ Dwarf European Viburnum
- ⊗ Hosta
- ⊙ Taunton Yew

PLANTS SYMBOL	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE/ROOT
DEV	47	Viburnum opulus 'Compactum'	Dwarf European Viburnum	#3 Pot
H	107	Hosta	Hosta	#1 Pot
TY	39	Taxus x media 'Tauntonii'	Taunton Yew	#5 Pot

LANDSCAPE SPECIFICATIONS

**GENERAL**  
Furnish all work required to complete as indicated by the contract documents and furnish all supplementary items necessary for completion of work specified.

**REFERENCES - QUALITY ASSURANCE**  
Comply with all applicable federal, state, county and local regulations governing landscape materials and work.

Employ only experienced personnel who are familiar with the required work. Provide full time supervision by a qualified foreman acceptable to the owner.

All materials will be judged by the AAN American Standards for Nursery Stock, Latest Edition, American Joint Committee on Horticultural Nomenclature, Last Edition, State Highway Department Standard Specifications for Construction Seed/Sodding/Hydromulching, Last Publication and Hortus, Cornell University, Last Edition.

Coordinate planting with irrigation system installation and review continuously to insure complete coverage of plant materials.

Coordinate backfill and grading issues with general contractor so as unproductive work duplications or delays do not occur.

**GUARANTEE - LIABILITY**  
Contractor assumes all liability and replacement requirements of materials which are damaged, stolen, or misplaced on the job site prior to acceptance of work.

Owner may request contractor to submit delivery tickets of bulk soil deliveries to confirm source and quantity of material.

All plants will be guaranteed for a period of one (1) year from the date of final acceptance. Owner will be responsible for proper maintenance of plants after final acceptance.

Contractor will replace plants which have partially died, thereby damaging shape, size, or symmetry. During guarantee period, dead and unsightly plant materials will be removed and replaced immediately. Guarantee excludes damages caused by vandalism, freeze, drought, insect infestation, or other acts of God. Special equipment required for replacement plants due to access problems are not to be included in the basic project costs. This is a negotiated item at time of replacement only.

Shrub plantings will be done in beds properly prepared using mulch and organic compost. Verify planting areas have been provided as indicated on the plan. Remove all surface rock or debris deposited by previous work operation or excavation performed to create specified bed. Excavate as necessary to provide for thorough blending of 50 percent existing soil and 50 percent compost tilled 4 inches into existing soil to create a fine, loose condition, suitable for good plant growth. Notify owner if existing soil is undesirable. Contractor will insure positive drainage exists in all areas. Specified bed preparation will only be done in shrub group areas, not over general areas where rock is indicated.

**MAINTENANCE - ACCEPTANCE**  
Contractor will maintain all plant materials including turf mowing until final acceptance. It is the owner's intention to accept the project as soon as the contractor has demonstrated a complete project is ready for final acceptance.

**SOIL PREPARATION MATERIALS**  
Topsoil will be local in origin, clean friable, dark in color, free from lumps of clay, rocks, weeds, or other noxious materials.

Mulch will be aged, finely shredded bark mulch, brown in color run through a hammer mill and screened of undesirable material.

Compost will be a recognized brand of peat moss common to the locale, typically used in the landscape trade as a soil amendment to provide a natural acidic, biologically active additive to the soil.

Fertilizer recommendations will be provided to the owner appropriate to the site conditions and time of year for all plant materials including the lawn turf.

**MISCELLANEOUS MATERIALS**  
Edging will be 6 inch, commercial grade, black poly such as Black Diamond or approved equal.

**HERBICIDES - PESTICIDES - FUNGICIDES - FUMIGANTS**  
Contractor may use all means necessary to prepare the site and maintain the materials if properly handled and applied in order to prevent injury to humans, domestic animals, desirable plant life, fish and other wildlife. Contractor will follow all manufacturer directions for applications and heed all labelled warnings. Failure to do so will result in termination from the project.

**FINAL GRADING**  
Loosen and fine rake areas to break up lumps and produce a smooth, even gradient free of unsightly variations, ridges or depressions. Ponding of water in finished areas will not be permitted. Remove from site all stones, rock, and debris one (1) inch or larger. Final grading is subject to critical owner review only after repeated watering or rains to insure settlement has not adversely affected drainage patterns.

**PRUNING**  
Pruning will be limited to the minimum necessary to remove dead wood, suckers, broken twigs or branches and to compensate for loss of roots during transplanting. In no case will pruning exceed one fourth the branching structure of the plant. Pruning will preserve the natural character and structure of the plant. All pruning operations will be performed in accordance with standard arbor culturalist practices.

**FERTILIZATION**  
All trees, shrubs, ground cover and lawn turf will be fertilized in a one time application of an approved fertilizer based on the contractors observations of site conditions and experience in the area.

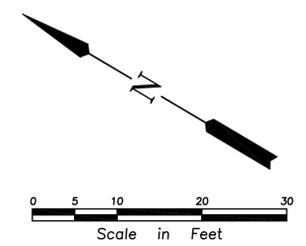
**MULCHING**  
After work of planting has been complete, topdress all planting areas and islands with a six (6) inch layer of shredded bark mulch.

**EDGING INSTALLATION**  
All edging specified will be set flush with finish grade in alignments designated on the plans.

**CLEAN UP**  
Remove all debris generated by work operations from the site daily.

All paved areas will be cleaned daily by washing and sweeping. Remove tire markings from all concrete surfaces.

Leave entire planting areas in a raked condition free of debris and paved surfaces in a broom clean condition ready for final acceptance by owner.



**Rehder & Associates, Inc.**  
Civil Engineers, Planners and Land Surveyors  
3440 Federal Drive, Suite 110 • Eagan, Minnesota 55122  
651-452-4051 • Fax: 651-452-9797 • email: info@rehder.com

PROJECT NO.: 121-2153.037 DRAWING FILE: 2153037.DWG

11-7-12									
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**Issued**  
CITY SUBMITTAL

LANDSCAPE PLAN  
CERESOTA BUILDING  
CITY OF MINNEAPOLIS

SHEET NUMBER  
**L1**

**SITE GENERAL NOTES**

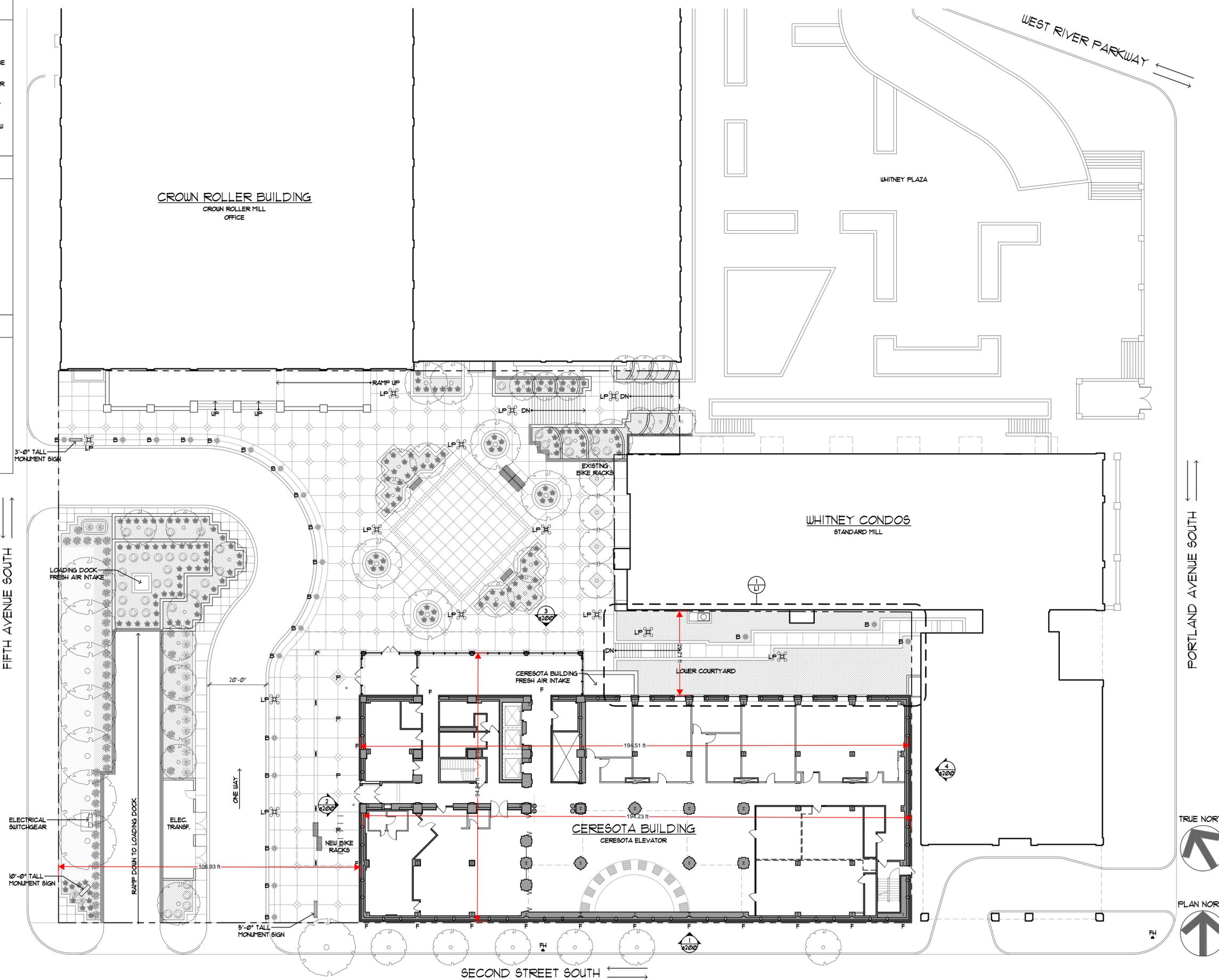
1. ALL LANDSCAPING SHOWN REFERS TO EXISTING CONDITIONS. LANDSCAPING WILL BE RESTORED AND/OR REPLACED TO MATCH AS PART OF THIS PROJECT.
2. NEW BIKE RACKS TO ACCOMMODATE 12 BIKES TO BE INSTALLED NEAR THE SW CORNER OF THE BUILDING.
3. SEE SHEET LI FOR NEW LANDSCAPE PLAN OF LOWER COURTYARD.
4. NO OTHER SITE WORK TO BE COMPLETED AS PART OF THIS PROJECT.
5. EXISTING MONUMENT SIGNS TO BE RECLAD WITH NEW METAL FACING AT SIGNAGE AREAS. SIGNS ARE TO REMAIN UNLIT.

**SITE CALCULATIONS**

TOTAL SITE AREA	49,807 SF
IMPERVIOUS	41,660 SF
BLDG FOOTPRINT	16,916 SF
HARDSCAPE	24,184 SF
PERVIOUS	8,641 SF
TURF	1,799 SF
LANDSCAPE	6,848 SF

**SITE KEY**

- B LIGHTED BOLLARD
- F BUILDING MOUNTED FLOOD
- LP LIGHT POLE
- P PENDANT LIGHT
- FH FIRE HYDRANT



**tanek**  
 118 E. 26th Street  
 Suite 300  
 Minneapolis, MN 55404  
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 F:612-879-8152  
 www.tanek.com

**Ceresota Building**  
 Residential Development  
 155 5th Ave. S.  
 Minneapolis, MN 55401

**Landscape Research**  
 1926 Penn Avenue S.  
 Minneapolis, MN 55405

PRELIMINARY

scale 1/16" = 1'-0"  
 name

Land Use app. 12.31.2013  
 HPC application 12.11.2013  
 HPC review 11.25.2013  
 site plan

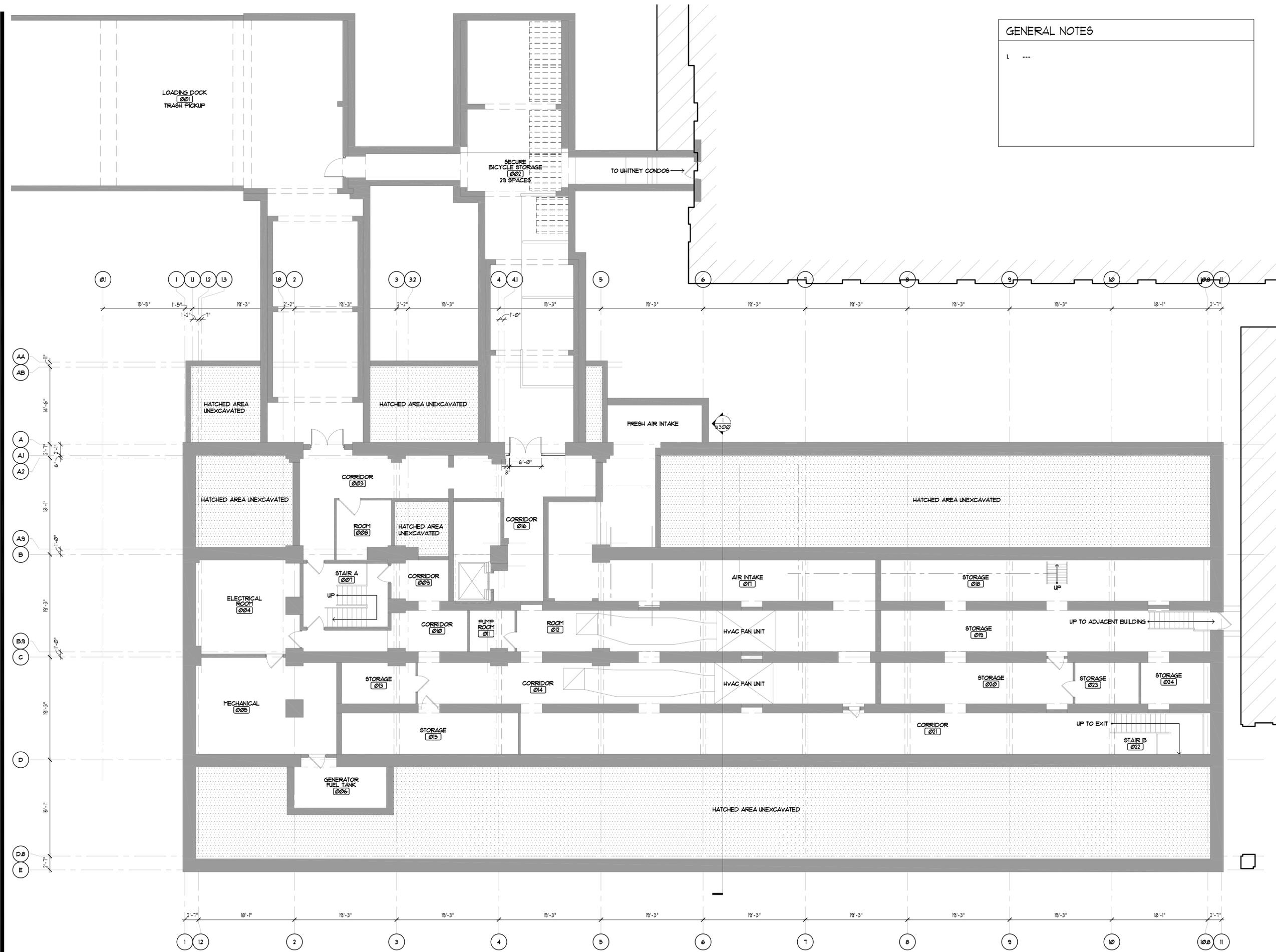
**a020**

1 SITE PLAN  
 1/16" = 1'-0"

PRELIMINARY

**GENERAL NOTES**

1 ...



**1** BASEMENT FLOOR PLAN  
1/8" = 1'-0"

scale 1/8" = 1'-0"  
name

Land Use app. 12.31.2013

HPC application 12.11.2013

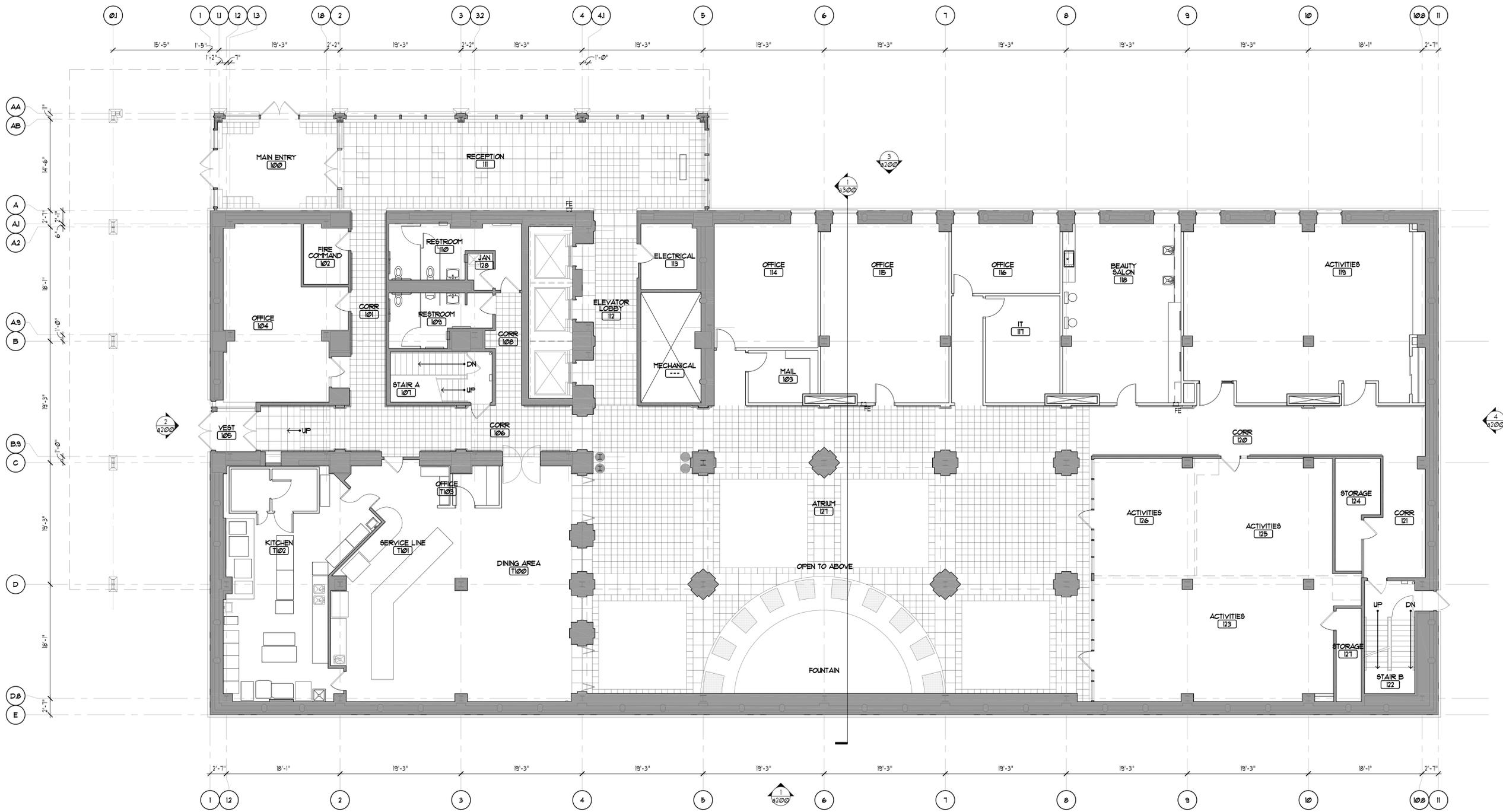
HPC review 11.25.2013

architectural plan  
level 00

**GENERAL NOTES**

1. NO EXTERIOR ENVELOPE WORK TO BE COMPLETED ON THIS LEVEL AS PART OF THIS PROJECT.

PRELIMINARY



1 FIRST FLOOR PLAN  
a101 1/8" = 1'-0"

scale name 1/8" = 1'-0"

Land Use app. 12.31.2013  
HPC application 12.11.2013  
HPC review 11.25.2013

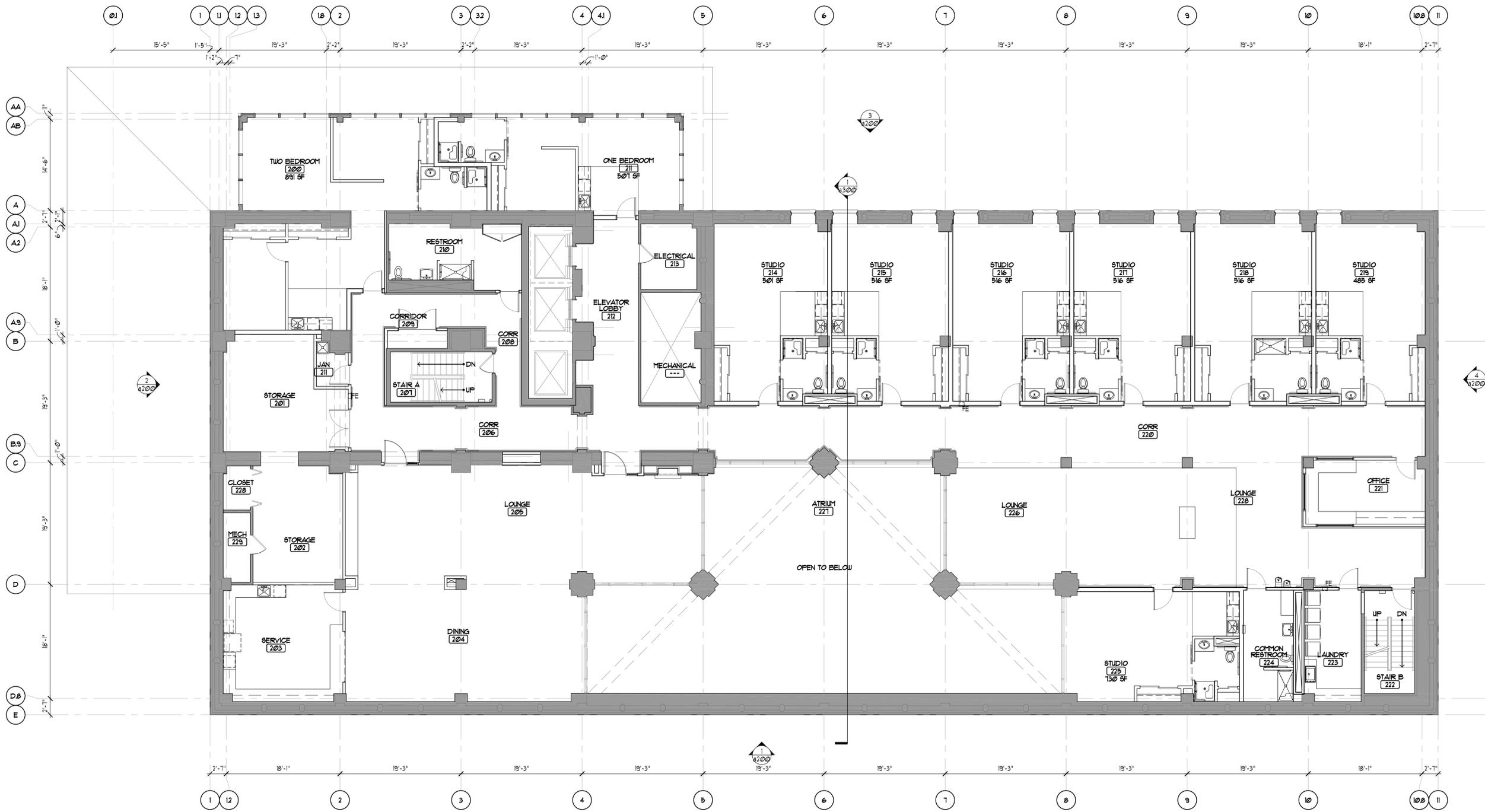
architectural plan level 01



**GENERAL NOTES**

1. NO EXTERIOR ENVELOPE WORK TO BE COMPLETED ON THIS LEVEL AS PART OF THIS PROJECT.

PRELIMINARY



1 SECOND FLOOR PLAN  
a102 1/8" = 1'-0"

scale 1/8" = 1'-0"  
name

Land Use app. 12.31.2013

HPC application 12.11.2013

HPC review 11.25.2013

architectural plan

level 02



**GENERAL NOTES**

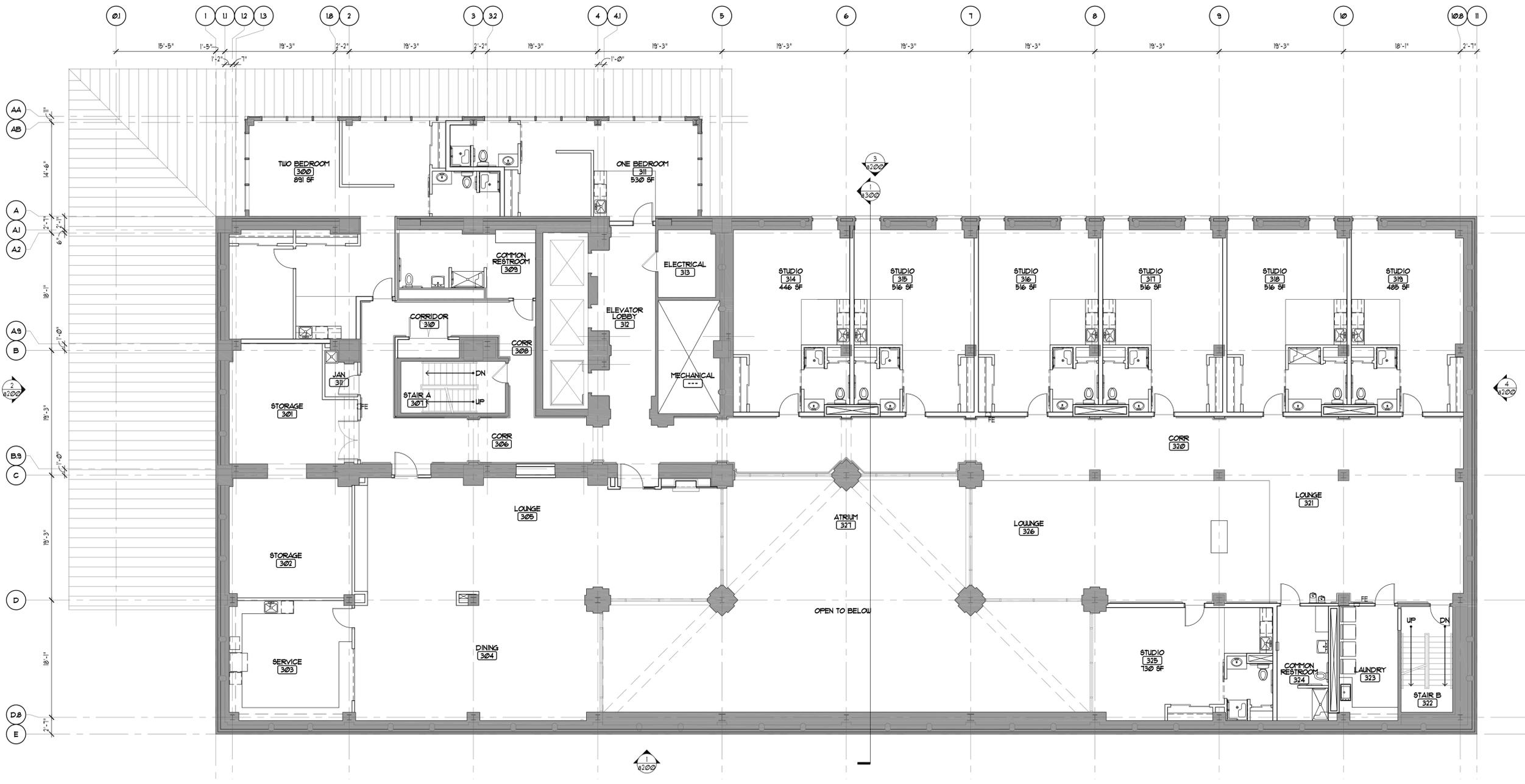
1. NO EXTERIOR ENVELOPE WORK TO BE COMPLETED ON THIS LEVEL AS PART OF THIS PROJECT.

**tanek**

118 E. 26th Street  
Suite 300  
Minneapolis, MN 55404  
P:612-879-8225  
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www.tanek.com

**Ceresota Building**  
Residential Development  
155 5th Ave. S.  
Minneapolis, MN 55401

**Landscape Research**  
1926 Penn Avenue S.  
Minneapolis, MN 55405



PRELIMINARY

scale 1/8" = 1'-0"  
name

Land Use app. 12.31.2013

HPC application 12.11.2013

HPC review 11.25.2013

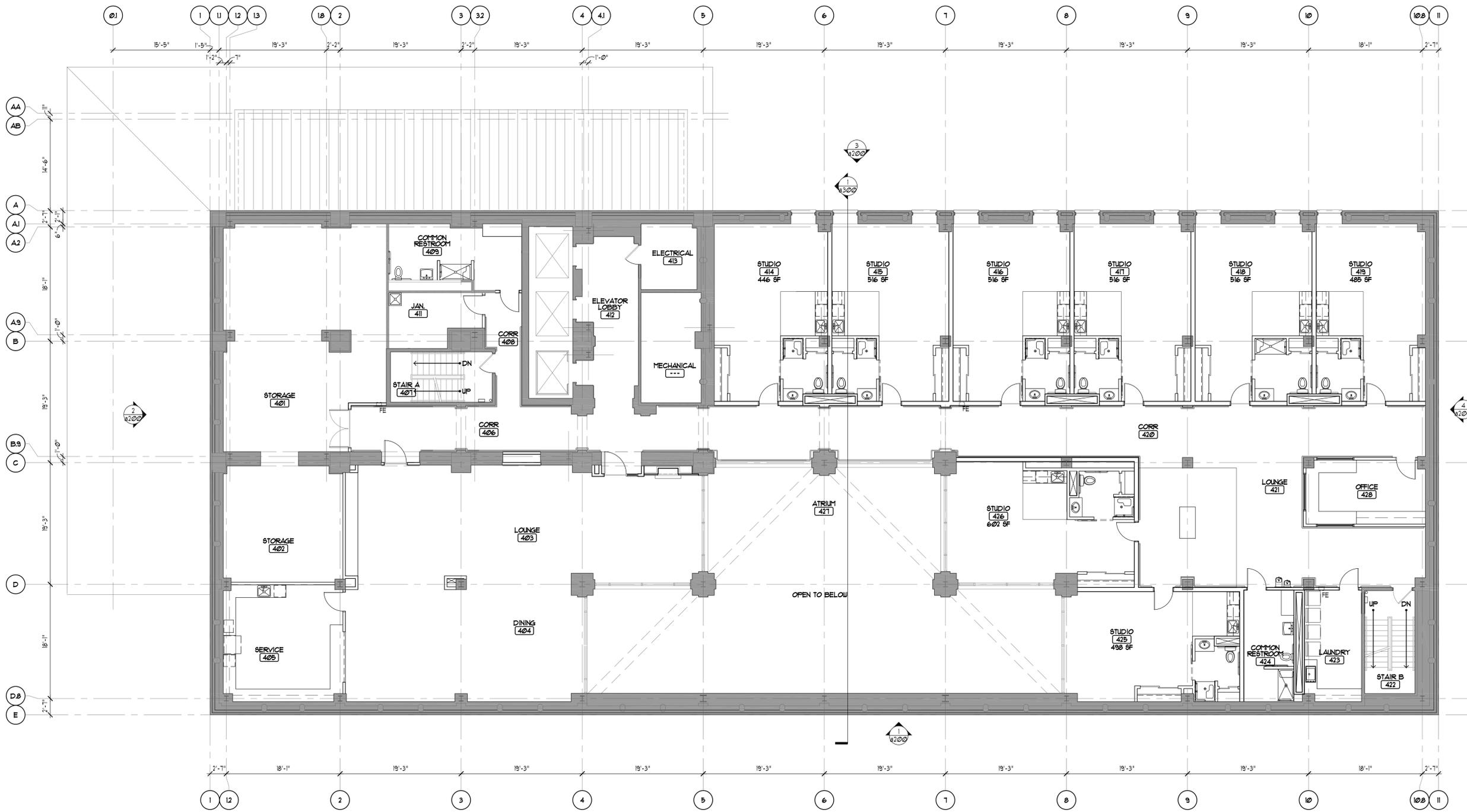
architectural plan  
level 03



**GENERAL NOTES**

1. NO EXTERIOR ENVELOPE WORK TO BE COMPLETED ON THIS LEVEL AS PART OF THIS PROJECT.

PRELIMINARY



1 FOURTH FLOOR PLAN  
a104 1/8" = 1'-0"

scale 1/8" = 1'-0"  
name

Land Use app. 12.31.2013

HPC application 12.11.2013

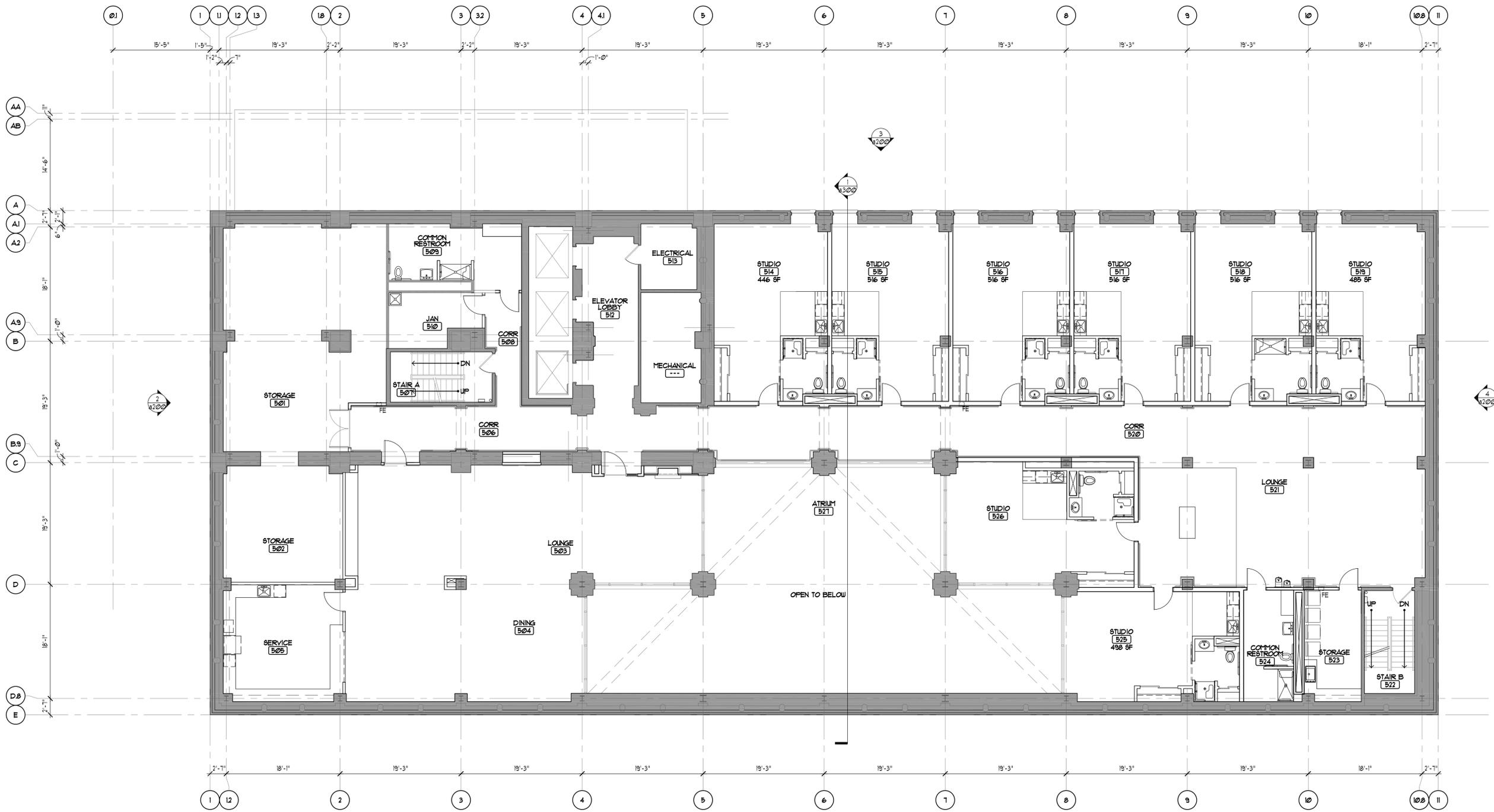
HPC review 11.25.2013

architectural plan  
level 04

**GENERAL NOTES**

1. NO EXTERIOR ENVELOPE WORK TO BE COMPLETED ON THIS LEVEL AS PART OF THIS PROJECT.

PRELIMINARY



**FIFTH FLOOR PLAN**  
a105 1/8" = 1'-0"

scale 1/8" = 1'-0"  
name

Land Use app. 12.31.2013  
HPC application 12.11.2013  
HPC review 11.25.2013

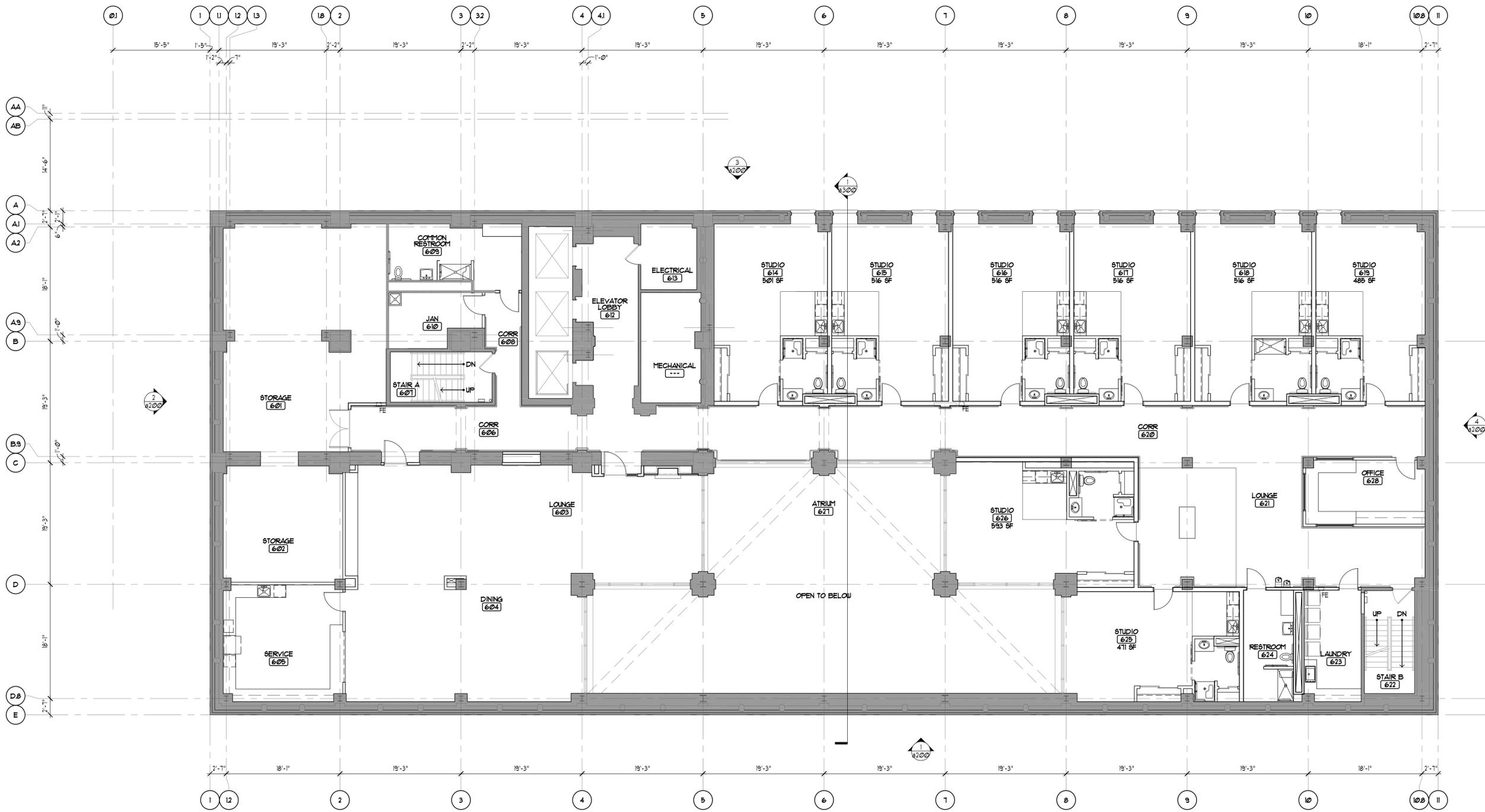
architectural plan  
level 05



**GENERAL NOTES**

1. NO EXTERIOR ENVELOPE WORK TO BE COMPLETED ON THIS LEVEL AS PART OF THIS PROJECT.

PRELIMINARY



**SIXTH FLOOR PLAN**  
1/8" = 1'-0"

scale 1/8" = 1'-0"  
name

Land Use app. 12.31.2013  
HPC application 12.11.2013  
HPC review 11.25.2013

architectural plan  
level 06



**GENERAL NOTES**

1. NO EXTERIOR ENVELOPE WORK TO BE COMPLETED ON THIS LEVEL AS PART OF THIS PROJECT.

PRELIMINARY



SEVENTH FLOOR PLAN  
a107 1/8" = 1'-0"

scale 1/8" = 1'-0"  
name

Land Use app. 12.31.2013

HPC application 12.11.2013

HPC review 11.25.2013

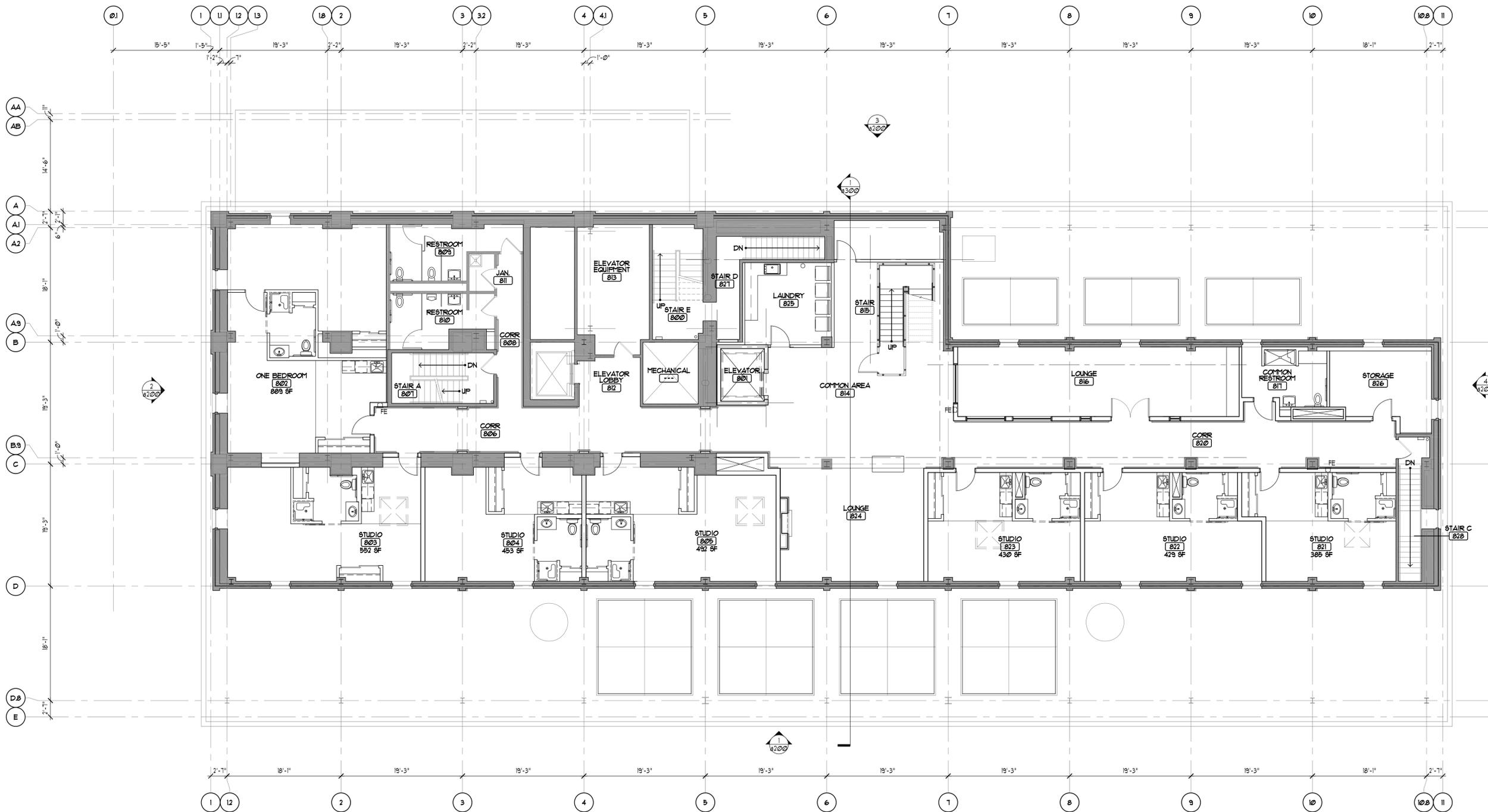
architectural plan level 07



**GENERAL NOTES**

1. EXTERIOR ENVELOPE WORK ON THIS LEVEL LIMITED TO OPENINGS IN EXISTING NON-HISTORIC ROOF STRUCTURE FOR STAIR AND ELEVATOR CONNECTIONS.

PRELIMINARY



1 EIGHTH FLOOR PLAN  
1/8" = 1'-0"

scale 1/8" = 1'-0"  
name

Land Use app. 12.31.2013

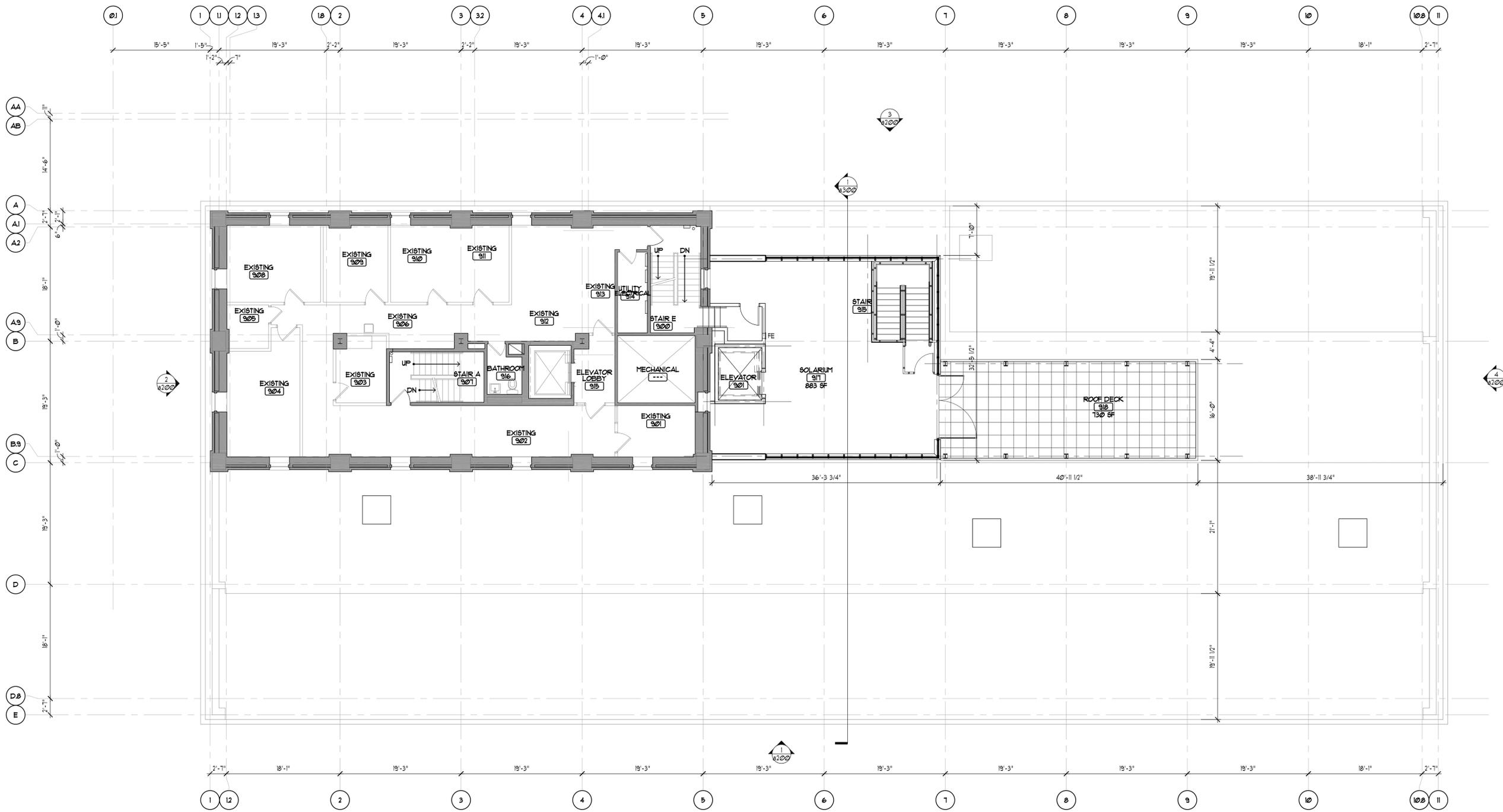
HPC application 12.11.2013

HPC review 11.25.2013

architectural plan  
level 08

GENERAL NOTES  
 1 ---

PRELIMINARY



1 NINTH FLOOR PLAN  
 a109 1/8" = 1'-0"

scale 1/8" = 1'-0"  
 name

Land Use app. 12.31.2013

HPC application 12.11.2013

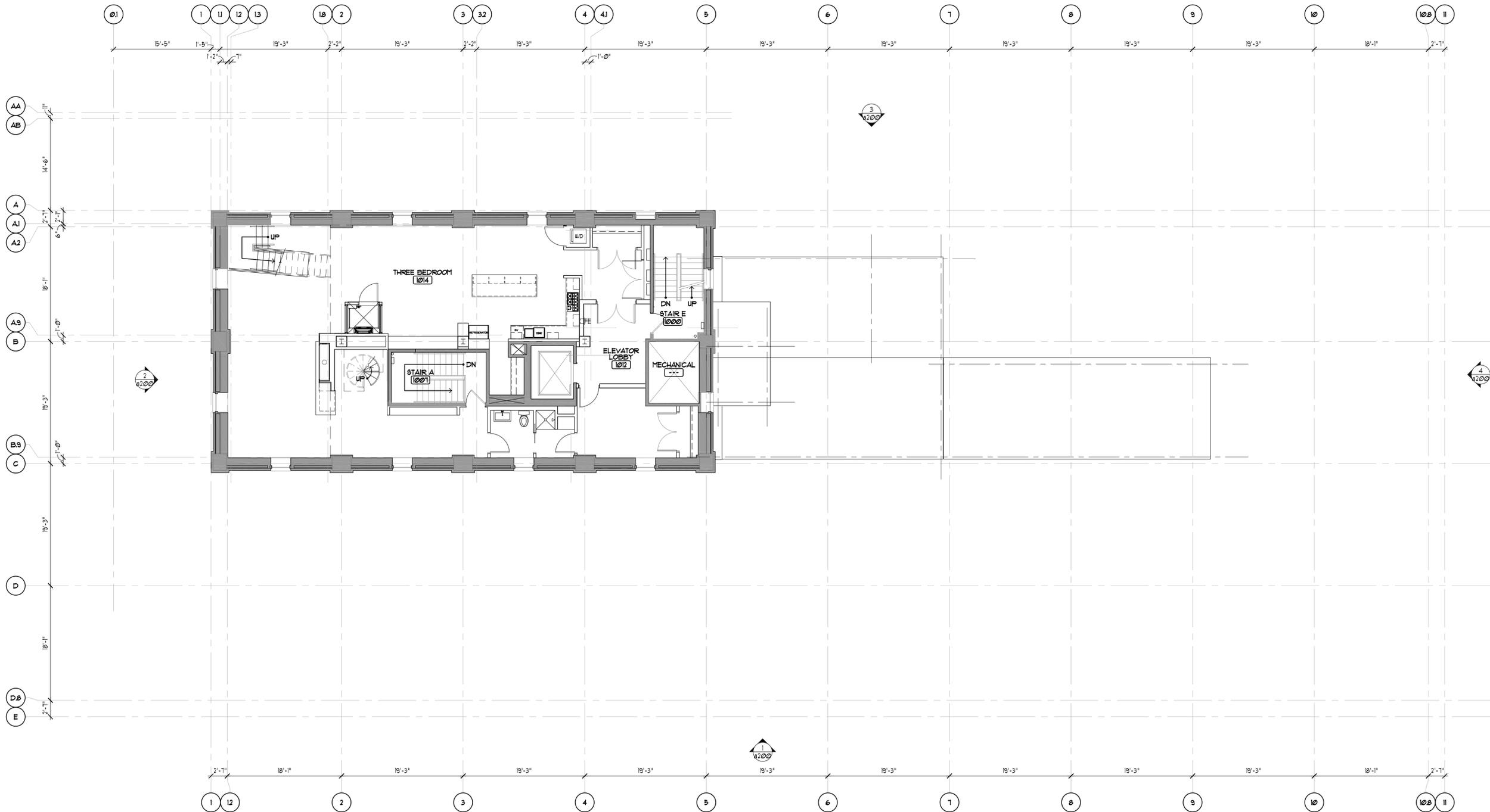
HPC review 11.25.2013

architectural plan  
 level 09

**GENERAL NOTES**

1. NO EXTERIOR ENVELOPE WORK TO BE COMPLETED ON THIS LEVEL AS PART OF THIS PROJECT.

PRELIMINARY



1 TENTH FLOOR PLAN  
a110 1/8" = 1'-0"

scale 1/8" = 1'-0"  
name

Land Use app. 12.31.2013

HPC application 12.11.2013

HPC review 11.25.2013

architectural plan  
level 10

**GENERAL NOTES**

1. NO EXTERIOR ENVELOPE WORK TO BE COMPLETED ON THIS LEVEL AS PART OF THIS PROJECT.

PRELIMINARY



1 ELEVENTH FLOOR PLAN  
a111 1/8" = 1'-0"

scale 1/8" = 1'-0"  
name

Land Use app. 12.31.2013

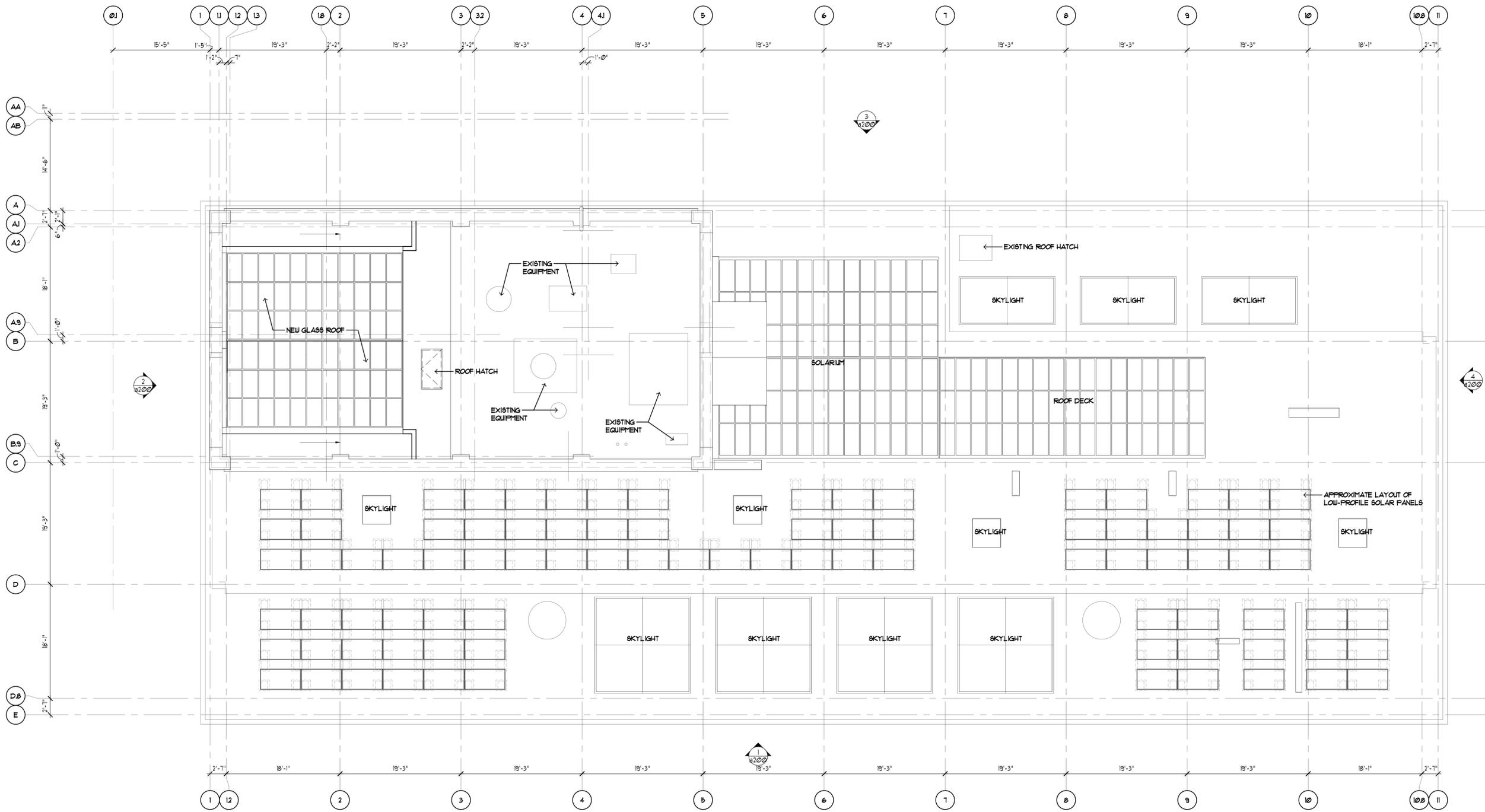
HPC application 12.11.2013

HPC review 11.25.2013

architectural plan  
level 11

**GENERAL NOTES**

1. EXTERIOR ENVELOPE WORK ON ROOF LIMITED TO A NEW GLASS ROOF PLACED OVER PREVIOUSLY EXPOSED PORTION OF 11TH FLOOR, REPLACEMENT GLASS SKYLIGHTS ON LOWER LEVELS, AND ADDITION OF LOW PROFILE SOLAR PANELS ON SOUTH SIDE OF LOWER ROOF LEVELS.



1 ROOF PLAN  
a112 1/8" = 1'-0"

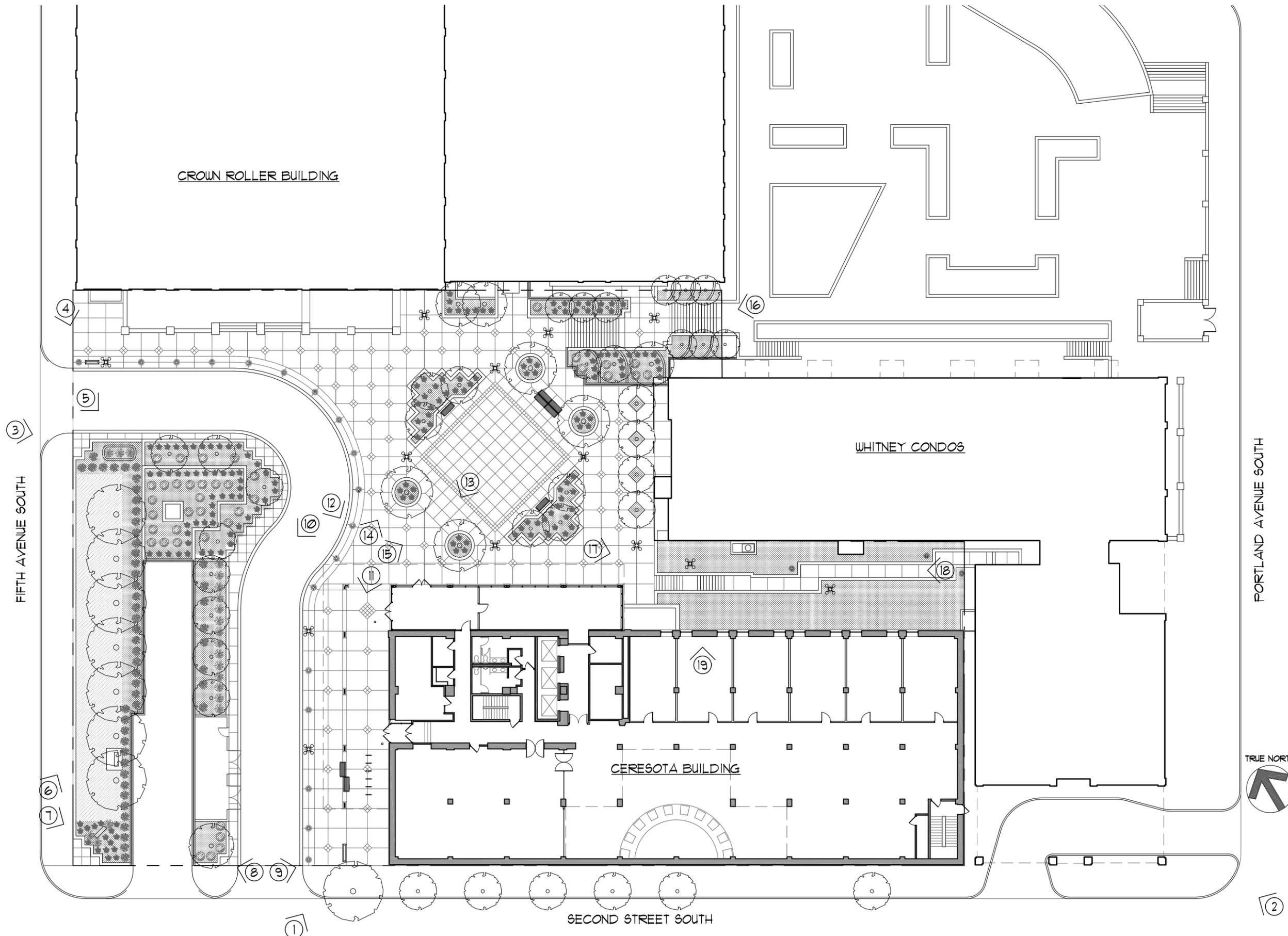
PRELIMINARY

scale 1/8" = 1'-0"  
name

Land Use app. 12.31.2013  
HPC application 12.11.2013  
HPC review 11.25.2013

architectural plan  
level 12 (roof)

**Ceresota Building**  
Residential Development  
512 2nd Street S.  
Minneapolis, MN 55401



TRUE NORTH



scale 1/32" = 1'-0"  
name tvh

land use application 11.07.2012

site photo key plan

## KEY

1 SITE PHOTO KEY PLAN  
KEY 1/32" = 1'-0"













155 5th Ave. So.



















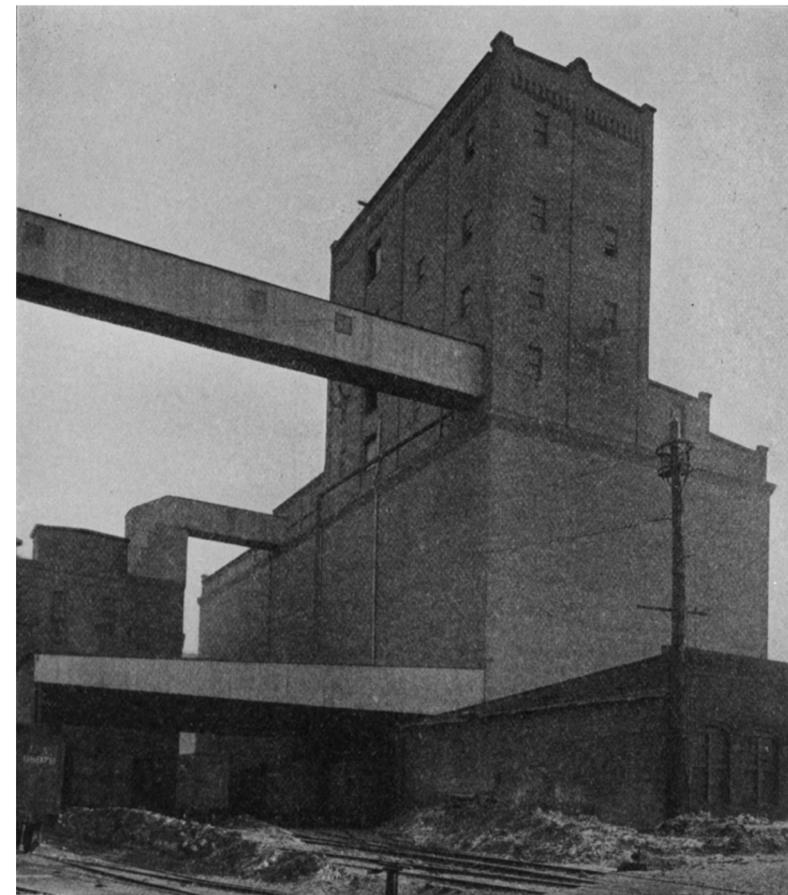








1985 - previous National Park Service application



1918 - courtesy Hennepin County Library

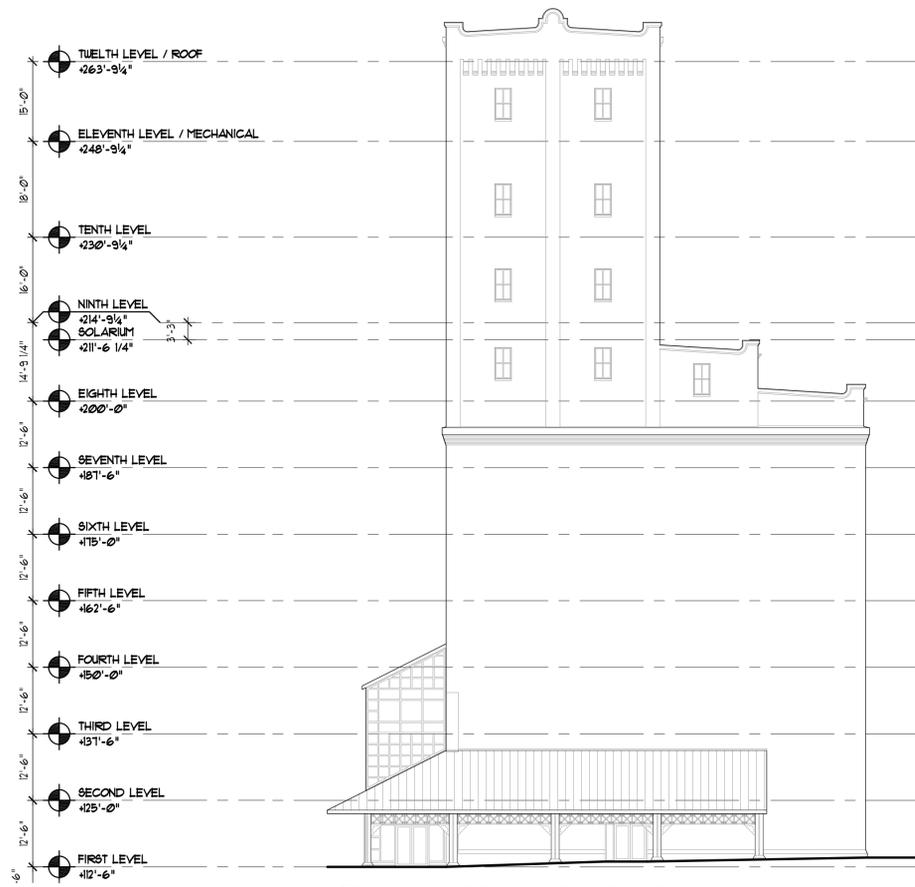


1912 - courtesy Minnesota Historical Society

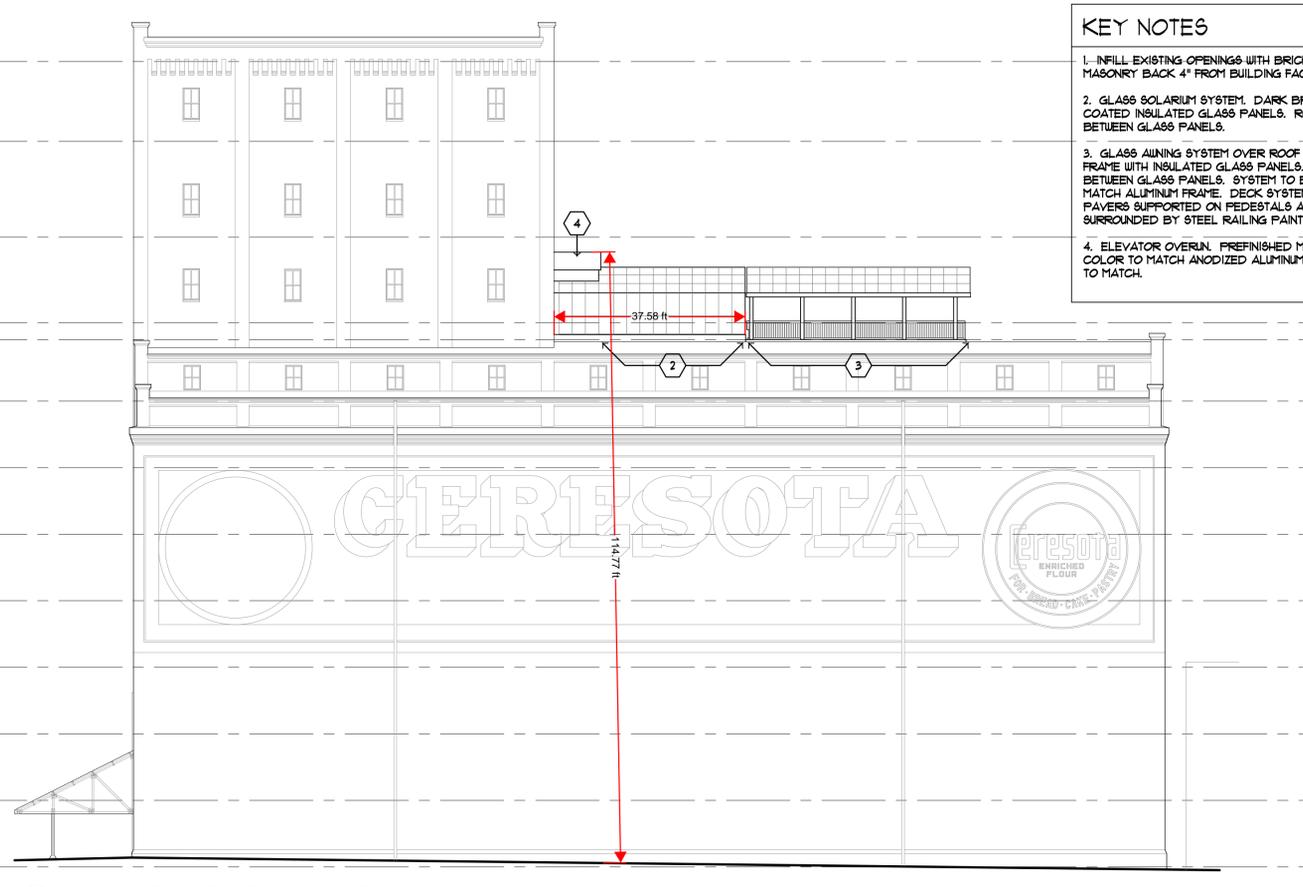


1976 - courtesy Minnesota Historical Society

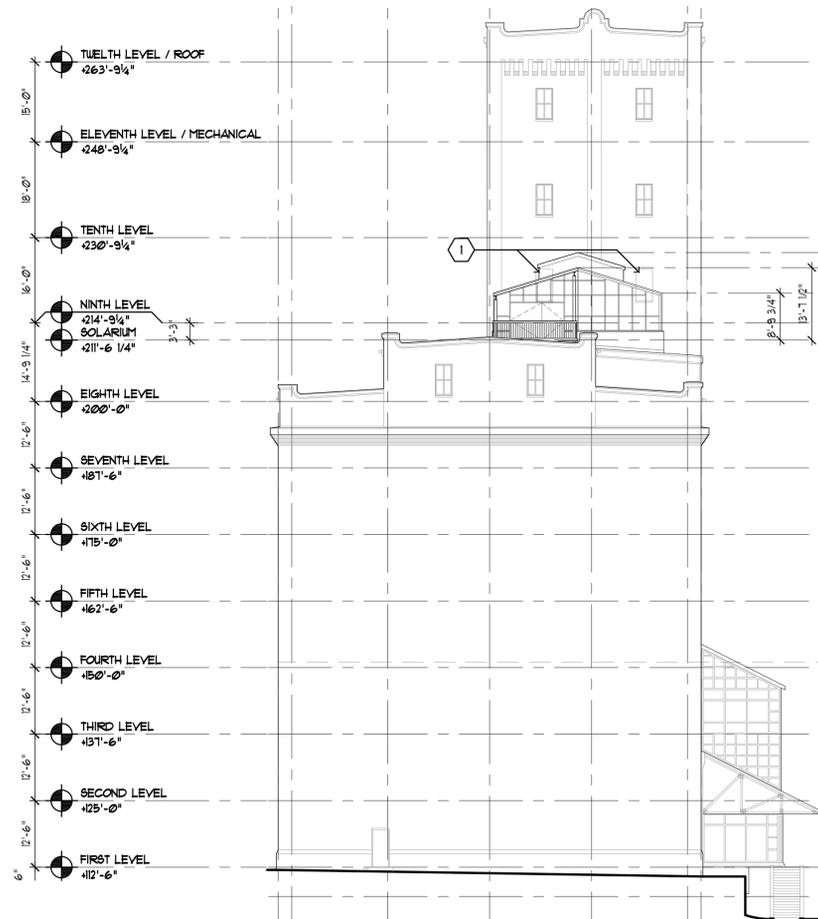
- KEY NOTES**
1. INFILL EXISTING OPENINGS WITH BRICK TO MATCH EXISTING STRUCTURE. SET MASONRY BACK 4" FROM BUILDING FACE TO INDICATE EXTENT OF EXISTING OPENING.
  2. GLASS SOLARIUM SYSTEM. DARK BRONZE ANODIZED ALUMINUM FRAME WITH LOW-E COATED INSULATED GLASS PANELS. ROOF PANELS TO INCORPORATE SOLAR ARRAY BETWEEN GLASS PANELS.
  3. GLASS AWNING SYSTEM OVER ROOF DECK. DARK BRONZE ANODIZED ALUMINUM FRAME WITH INSULATED GLASS PANELS. PANELS TO INCORPORATE SOLAR ARRAY BETWEEN GLASS PANELS. SYSTEM TO BE SUPPORTED ON STEEL FRAME PAINTED TO MATCH ALUMINUM FRAME. DECK SYSTEM SHALL BE PREMANUFACTURED CONCRETE FLOWERS SUPPORTED ON PEDESTALS ABOVE EXISTING ROOF. DECK TO BE SURROUNDED BY STEEL RAILING PAINTED TO MATCH.
  4. ELEVATOR OVERUN. PREFINISHED METAL PANEL OVER INSULATED WALL. PANEL COLOR TO MATCH ANODIZED ALUMINUM. PREFINISHED STANDING SEAM METAL ROOF TO MATCH.



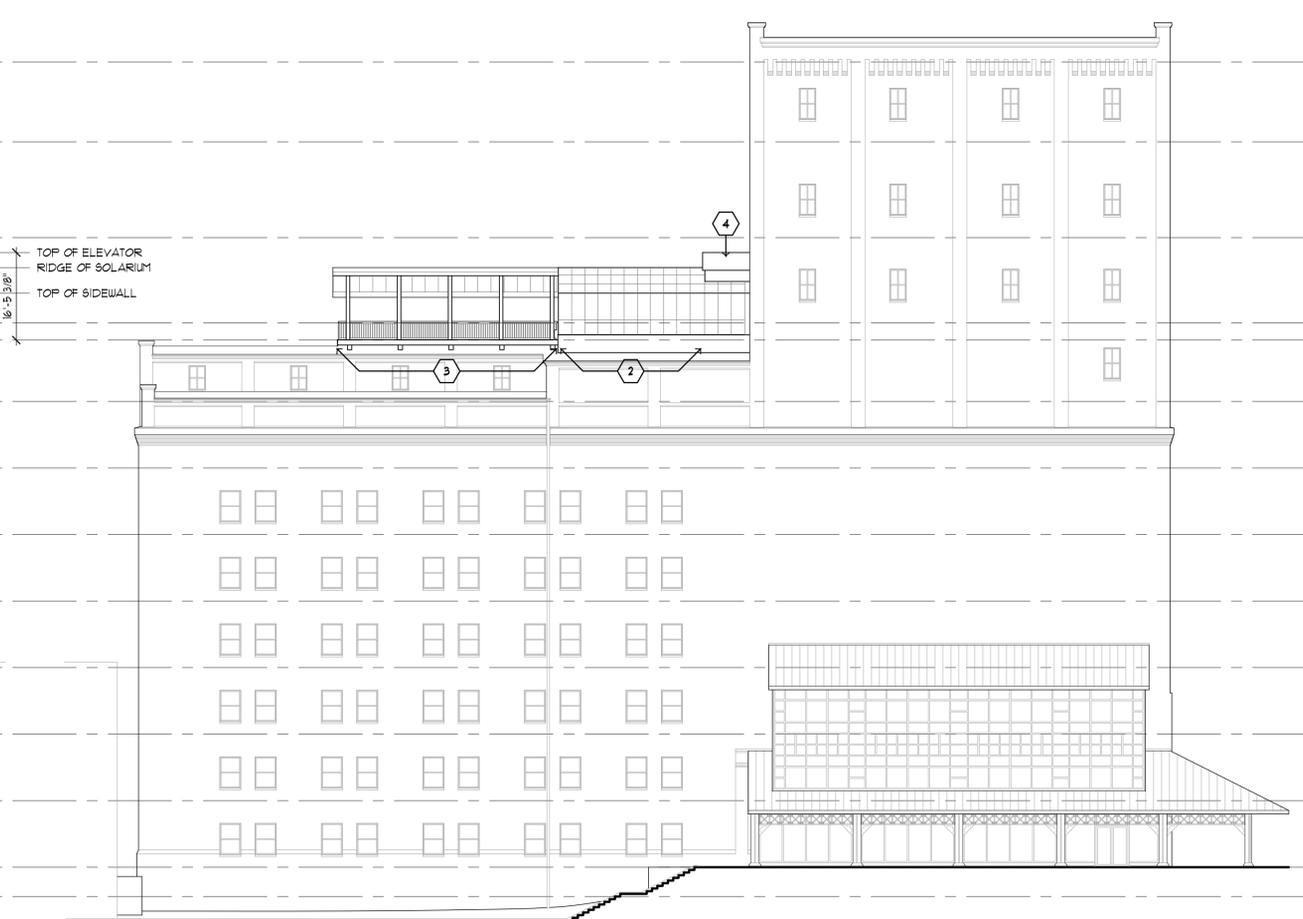
2 PROPOSED WEST ELEVATION  
a200 1/16" = 1'-0"



1 PROPOSED SOUTH ELEVATION  
a200 1/16" = 1'-0"



4 PROPOSED EAST ELEVATION  
a200 1/16" = 1'-0"



3 PROPOSED NORTH ELEVATION  
a200 1/16" = 1'-0"

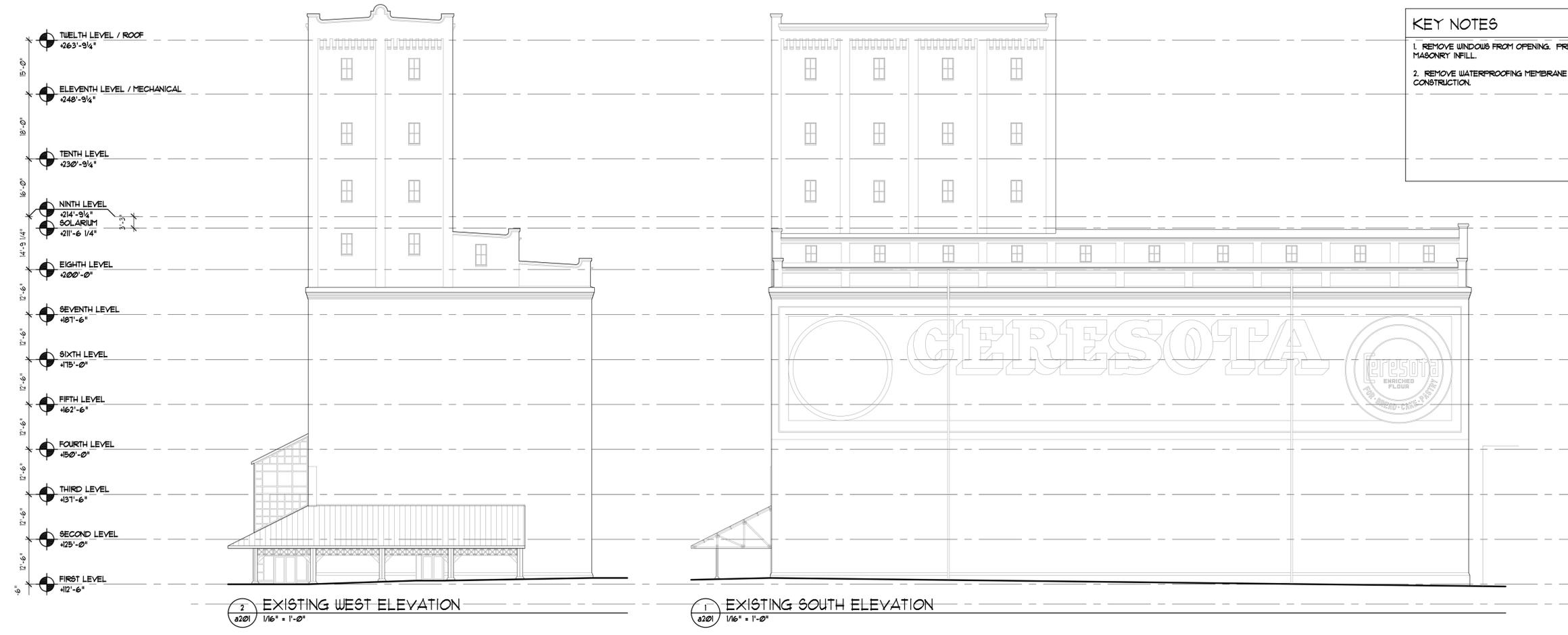
scale 1/16" = 1'-0"  
name

Land Use app. 12.31.2013  
HPC application 12.11.2013  
HPC review 11.25.2013  
proposed architectural elevation

PRELIMINARY

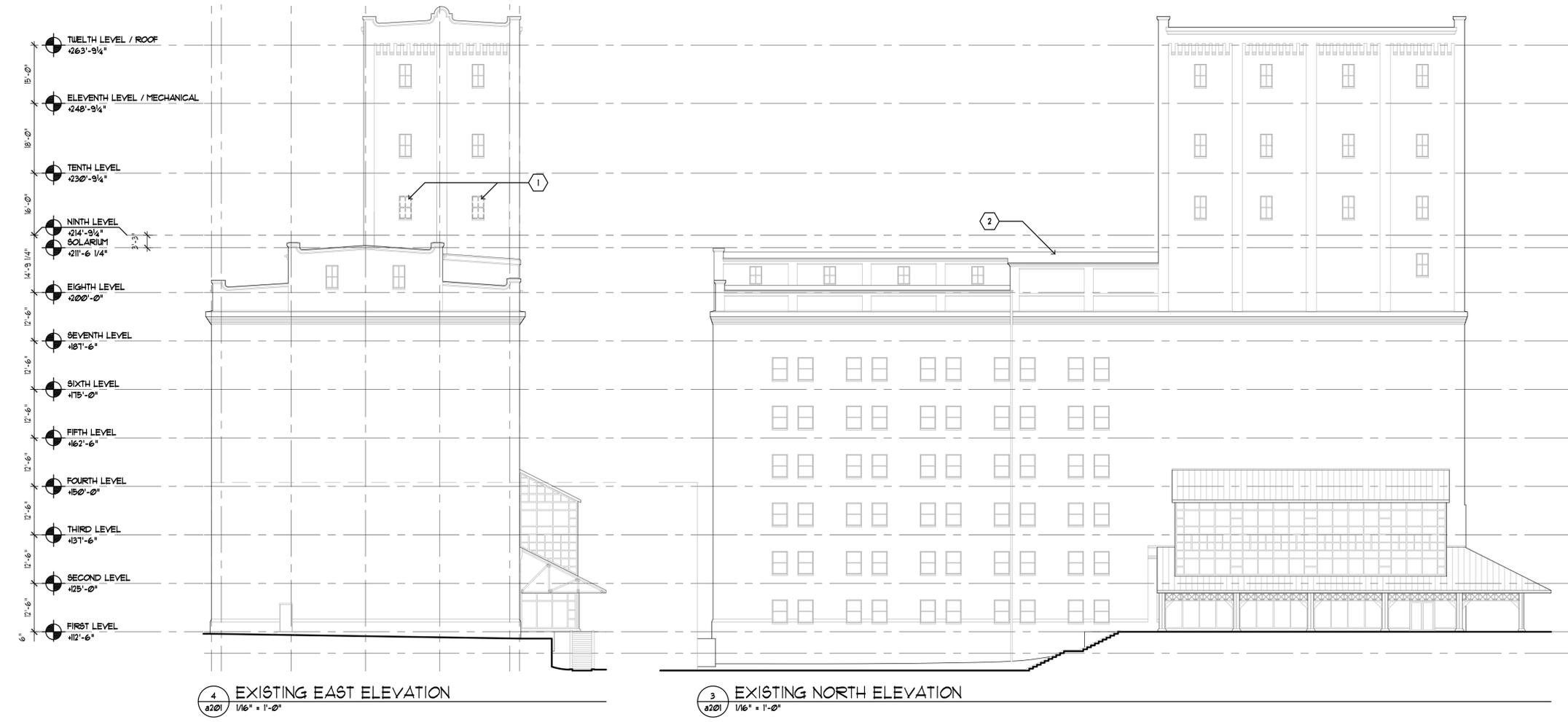
**KEY NOTES**

1. REMOVE WINDOWS FROM OPENING. PREPARE EXISTING OPENING TO RECEIVE NEW MASONRY INFILL.
2. REMOVE WATERPROOFING MEMBRANE AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION.



2 EXISTING WEST ELEVATION  
a201 1/16" = 1'-0"

1 EXISTING SOUTH ELEVATION  
a201 1/16" = 1'-0"



4 EXISTING EAST ELEVATION  
a201 1/16" = 1'-0"

3 EXISTING NORTH ELEVATION  
a201 1/16" = 1'-0"

scale 1/16" = 1'-0"  
name

Land Use app. 12.31.2013  
HPC application 12.11.2013  
HPC review 11.25.2013  
existing architectural elevation



proposed - view from southwest



existing - view from southwest

tanek

architecture  
specialty millwork  
virtual vision  
project management

118 E. 26th Street  
Suite 300  
Minneapolis, MN 55404  
P: 612-879-8225  
F: 612-879-8152

www.tanek.com

Ceresota Senior Housing

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the state of Minnesota.

name date

license number:

project #  
scale:  
name:

HPC submittal review  
12.11.2013

a-1



proposed - view from southeast



existing - view from southeast

Ceresota Senior Housing

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name date

license number:

project #  
scale:  
name:

HPC submittal review  
12.11.2013



proposed - view from east



existing - view from east

tanek

architecture  
specialty millwork  
virtual vision  
project management

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Ceresota Senior Housing

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name date

license number:

project #  
scale:  
name:

HPC submittal review  
12.11.2013

a-3



proposed - view from Stone Arch Bridge



existing - view from Stone Arch Bridge

Ceresota Senior Housing

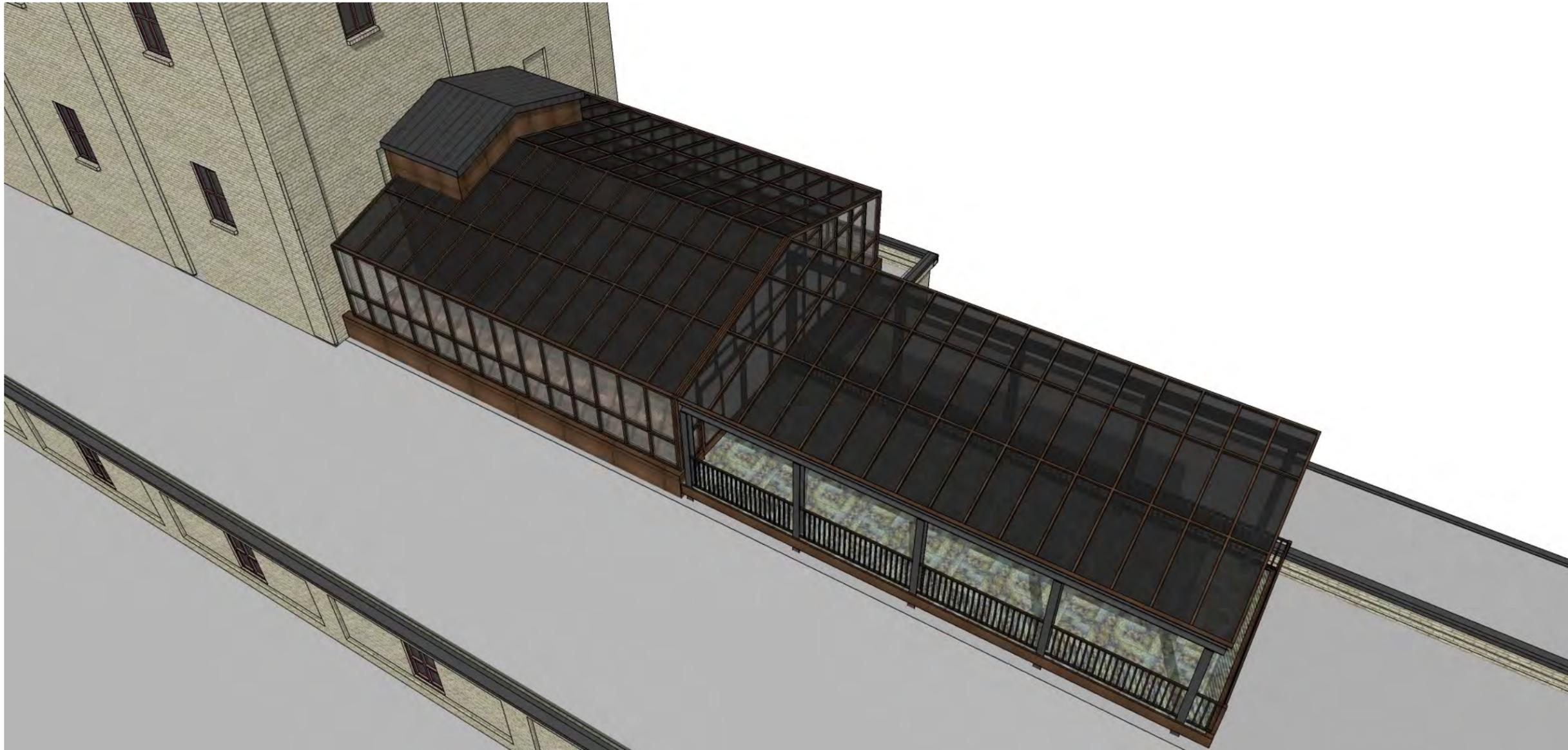
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the state of Minnesota.

name date

license number:

project #  
scale:  
name:

HPC submittal review  
12.11.2013



proposed - aerial view of solarium

Ceresota Senior Housing

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the state of minnesota.

name date

license number:

project #  
scale:  
name:

HPC submittal review  
12.11.2013



proposed - aerial view of solarium

Ceresota Senior Housing

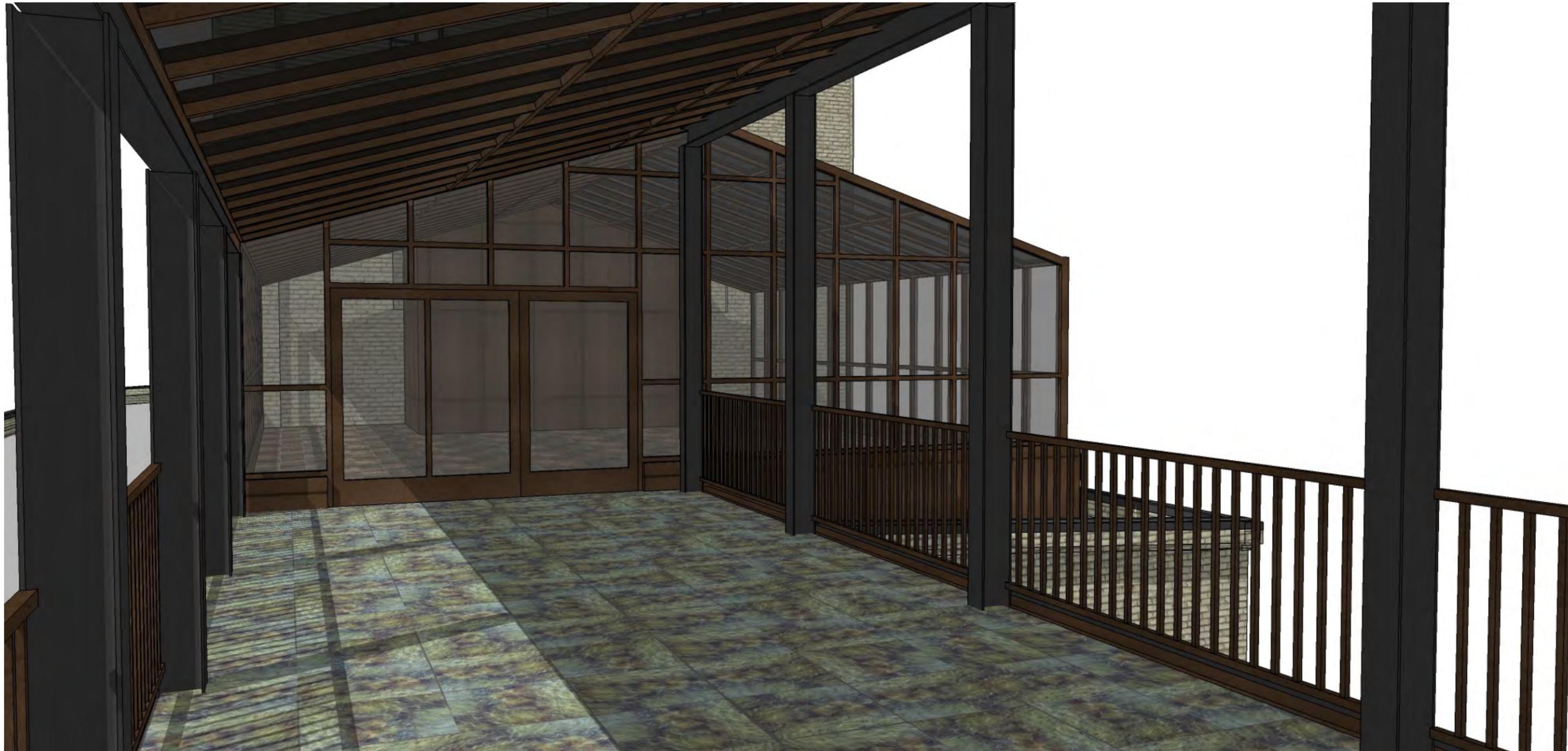
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the state of Minnesota.

name date

license number:

project #  
scale:  
name:

HPC submittal review  
12.11.2013



proposed - view through solarium

Ceresota Senior Housing

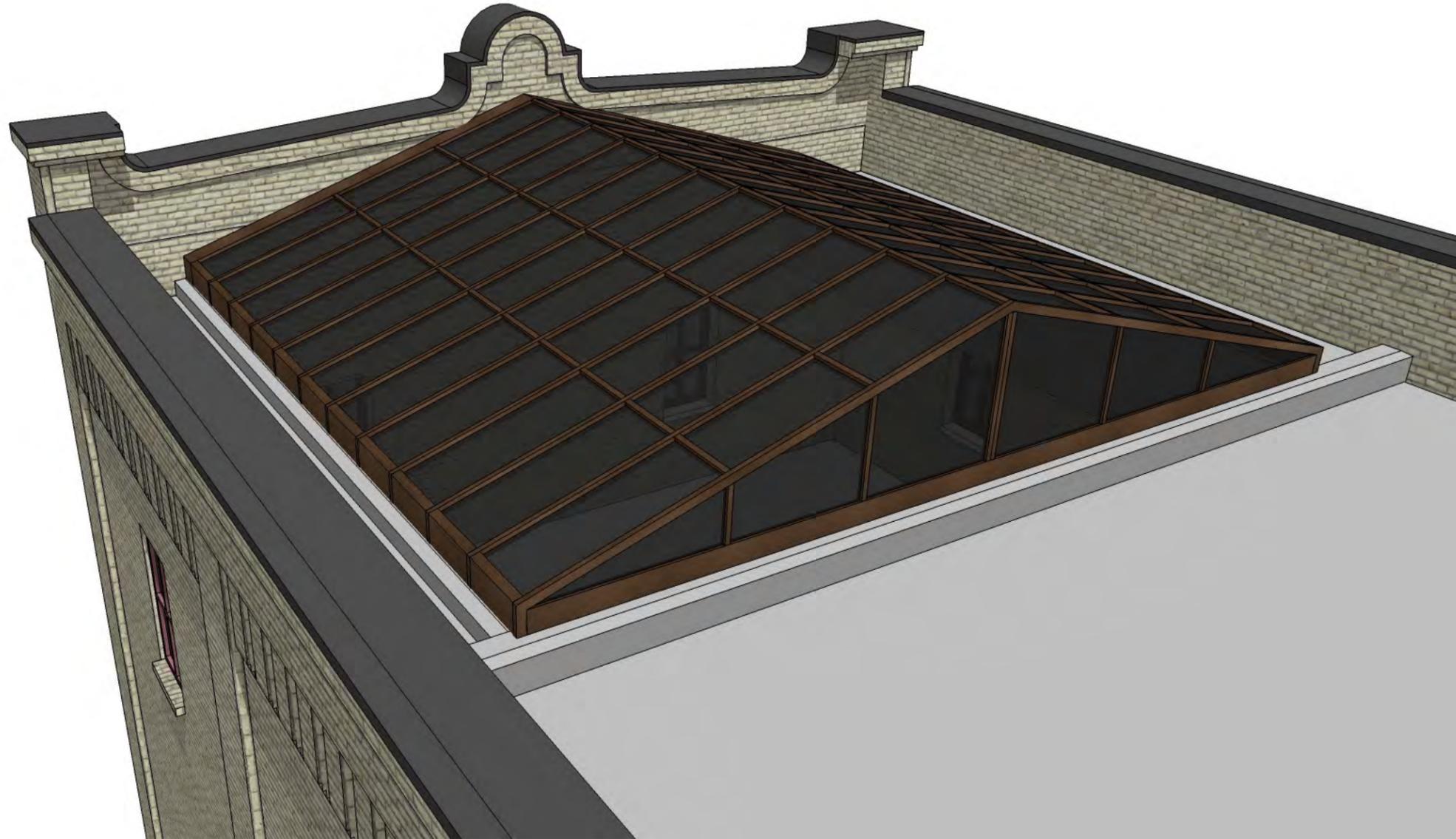
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name date

license number:

project #  
scale:  
name:

HPC submittal review  
12.11.2013



proposed - aerial view of glass roof

Ceresota Senior Housing

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the state of minnesota.

name date

license number:

project #  
scale:  
name:

HPC submittal review  
12.11.2013



proposed monument signs

Ceresota Senior Housing

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the state of Minnesota.

name date

license number:

project #  
scale:  
name:

HPC submittal review  
12.11.2013

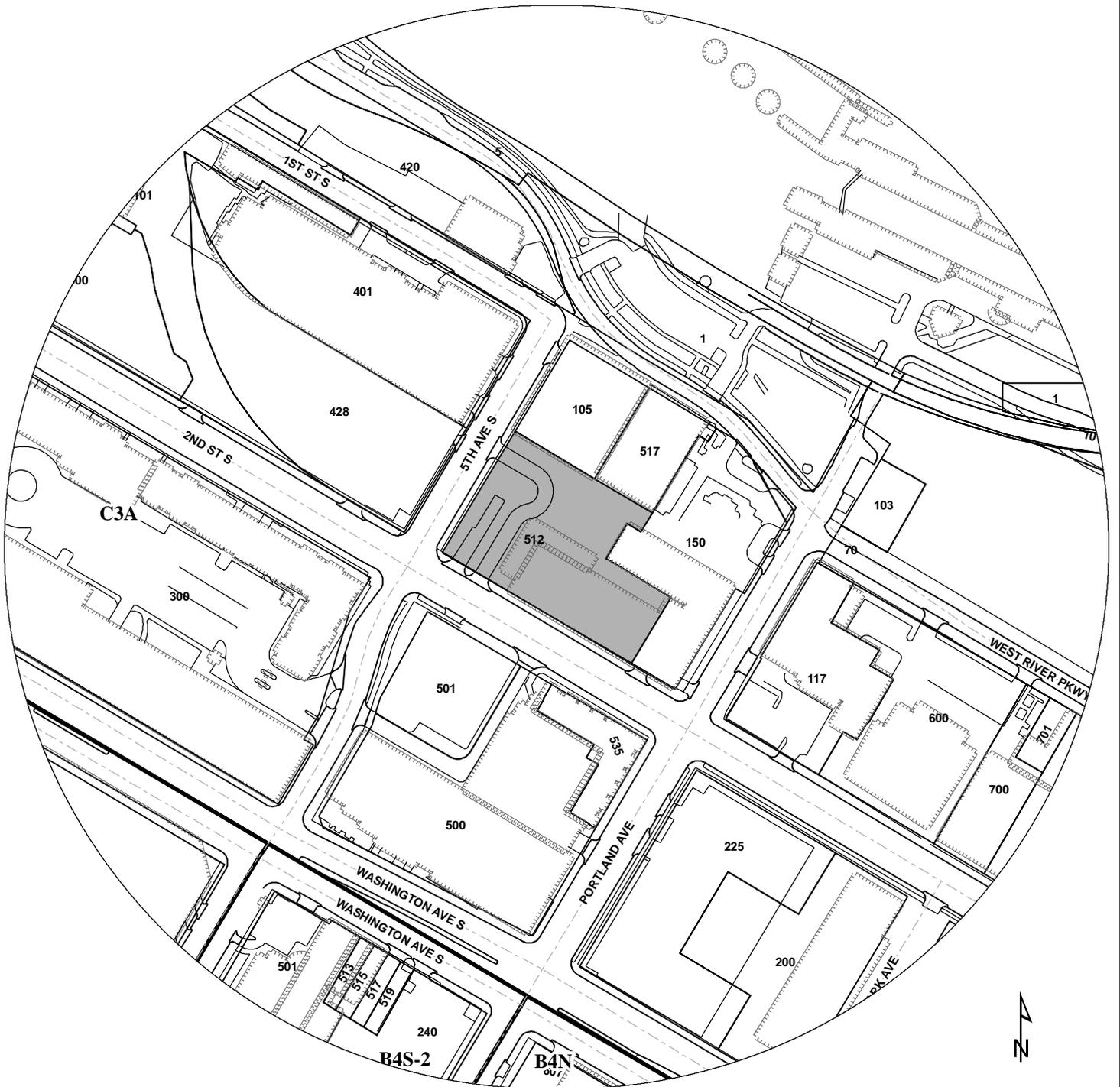


existing monument signs



NAME OF APPLICANT

WARD



PROPERTY ADDRESS  
**512 2nd Street South**

FILE NUMBER  
**BZZ-6396**

subject property  
and location

S 2nd St S 5th Ave

2nd St

Mill City Museum

subject property

S 2nd St

W River Pkwy

Portland Ave

S 2nd St

S 5th Ave

S 2nd St

S 1st St

West River Parkway

Stone Arch Bridge

St Anthony Falls

West River Pkwy

S 5th Ave

152

65

S Washington

Stone Arch Bridge



subject property



S 3rd Ave

West River Pkwy

S 1st St

S 2nd St

S 5th Ave

S Washington Ave

S 2nd St

Portland Ave

S 2nd St

W River Pk

S 4th Ave

Ave

65

65

152

St Anthony Falls

Stone Arch Bridge

West River Parkway

Mill City Museum

**Statement of Proposed Use and Description  
Minneapolis Planning Commission  
Land Use Application**

Ceresota Building  
512 2<sup>nd</sup> St. S.

**Building History:**

The Northwestern Consolidated Elevator A (Ceresota Mill) was constructed in 1908 and designed by local elevator engineer George T. Honstain. The eleven-story building is a “receiving elevator” and was originally built to clean and store grain for the neighboring Crown Roller Mill (1879) at the northwest and the Standard Mill (1879, Whitney Lofts) at the north.

The building is historically significant for its association with Minneapolis’ “West Side Milling District” in the Saint Anthony Falls Historic District (NRHP, 1971). The Northwestern Consolidated Milling Company (NCMC), making Ceresota flour, was the third largest flour-milling operation in Minneapolis after an 1891 consolidation. Additionally, the Ceresota Mill is significant as one of the largest brick grain elevators ever built.

In 1987 the elevator was converted into an office building and utilized National Park Service (NPS) Historic Tax Credits. The certified tax credit rehabilitation included the removal of the 57 interior grain bins and a new structural system creating office floors. Sixty additional windows (1-6 floors) were approved by the NPS and the Minneapolis HPC on the riverfront elevation.

**Background:**

In June 2008, the Minneapolis HPC approved 14 additional windows on the riverfront (north) elevation provided they match the 1987 windows at that elevation. In January 2013, the City of Minneapolis approved a 117-unit residential conversion of the building utilizing the 14 additional windows in the design.

**Proposed Alterations:**

The applicant has revised building plans as part of the new NPS tax certification application. Amy Lucas of Landscape Research LLC has submitted the Part 1 application and is currently preparing the Part 2 application. The proposed historic rehabilitation will convert the office building into 57 residential units (senior housing) rather than the 117 in the original City of Minneapolis proposal. The 1987 interior is not original and interior alterations proposed to the NPS follow the Secretary of the Interior’s Standards for Rehabilitation.

The three exterior alterations include:

1. Rooftop Solarium-A solarium of dark aluminum and glass is proposed for the roof creating a 9<sup>th</sup> floor addition. The addition measures 36'-4 3/4" by 32'-4 1/2" and has a gable roof. The gable is 13'-7" at the ridge with a raised section covering the ADA required elevator measuring 8'-9" by 15'-10". An attached shed allows for covered outdoor space for residents and measures 40'-10 1/2" by 16'-0" and is 13'-7 1/2" at the ridge. The solarium and roof deck/shed are centered on the roof of the historic grain conveyor and will have integrated solar panels. The flat areas of the roof will also have solar panels, but will be below parapet. The proposed addition is set back 7'-10" from the north parapet (river elevation); back 37'4" from the east parapet (Whitney Lofts); back 40'1" from south parapet (MacPhail School/Second St.). A simple painted steel rail will enclose the open deck/shed.

The solarium is a key part of the project, which has been hampered by the inability to install windows along the south elevation and is enclosed by the Whitney Lofts on the north and west elevations. It has been difficult to develop this property due to the lack of windows and outdoor space.

2. Roof Infill at 12<sup>th</sup> floor- As part of the 1987 renovation, the mechanical systems were placed at the 12<sup>th</sup> story of the headhouse. The parapet was preserved but the roof was lowered one story below the parapet and systems were installed in the open air area. False windows were installed at the 12<sup>th</sup> story. The owner proposes to remove the mechanical systems and raise the roof to the historic height behind the parapet. A glass skylight with solar panels will be placed on this new roof, but will not be visible.
3. Signage-There are currently three monument/ground signs on the property that read "Exit," "Whitney Lofts," and an address locator sign. These three monument/ground signs will be updated with the new logo, but the size will not be altered. Materials will remain to be metal cladding on the two smaller signs, and brick with a metal sign panel on the largest. The signs will not include any lighting.

**Conditional Use Permit statement:**

The project is requesting a Conditional Use Permit to exceed the height set forth in the zoning code. Currently the building sits within a C3A district, with a downtown height overlay. This allows for a maximum height of 6 stories and 84'-0". The solarium addition on the existing roof will not increase the overall height of the building, but does sit above the height threshold for this district. The solarium will sit at the 9<sup>th</sup> floor, and the maximum height will 115'-5 1/2" above the adjacent plaza.

The proposed solarium adheres to the following Conditional Use Permit guidelines:

1. The addition will not establish or continue a use that will be detrimental to or endanger the public health, safety, comfort, or general welfare.
2. The addition will sit entirely within the footprint of the existing roof. It will not be injurious to the use and enjoyment of other property, and will not impede the normal and orderly development and improvement of surrounding properties.
3. Adequate utilities, access roads, drainage, necessary facilities, and other measures currently exist on the property.
4. The addition does not affect the way the property interacts with the existing public streets. Nor does the addition increase the amount of traffic interacting with the building from the previously approved condition use permit.
5. The solarium addition provides a way for this building to find a use that is compatible with the market conditions of downtown Minneapolis. This use ensures the continued occupancy and upkeep of the historic Ceresota Building. It also continues to add residents to the riverfront area, and provides a choice that caters towards the aging population of the city.
6. As part of the C3A zoning district, this building will provide a permitted residential apartment use.

The solarium also adheres to the following guidelines for increasing height:

1. The modest increase in height that the solarium creates, along with the generous setbacks from adjacent properties, does not create barriers to the access of light and air for adjacent properties. The solarium is set back 40'-7" from the south lot line (2<sup>nd</sup> St.), 38'-7" from the east lot line (Whitney Condos), 36'-9" from a portion of the north lot line (Whitney Condos), 121'-6" from the north lot line across the plaza (Crown Roller Mill), and 186'-0" from the west lot line (5<sup>th</sup> Ave.)
2. The modest increase in height, along with the setbacks from the current roof edge, will result in minimal increase in shadows. This small increase will primary occur in the privately owned plaza between the Ceresota Building and Crown Roller Mill. The primarily glass construction of the solarium will further lessen the impact of these shadows.
3. The scale and character of the surrounding uses is primarily historic industrial mill buildings that have been converted to residential or office uses. Many open lots have been filled in with new parking, residential, and commercial structures.

- The addition will add to the long term viability of this residential conversion. The structure is designed in a way to not mimic a historic structure, while still using the same shape and massing principals as many of the historic buildings.
4. The size and placement of the solarium do not restrict views of significant building or features in the neighborhood. The attached views show that it is not visible from the adjacent streets, and only becomes partially visible when moving two blocks to the east. The new structure is also partially visible from the north when moving to the center of the Stone Arch Bridge. From this view many of the historic structures have been allowed to make modest alterations to allow for a viable conversion. Alterations visible include balconies, new and larger windows, roof decks, trellis, and signage.

### **Conditional Use Permit statement (assisted living use):**

The project is requesting a Conditional Use Permit to allow the use of Assisted Living. Currently the C3A zoning district allows Board and Care/Nursing Homes/Assisted Living only as a conditional use.

The proposed assisted living use adheres to the following Conditional Use Permit guidelines:

1. **The establishment, maintenance, or operation of the conditional use will not be detrimental to or endanger the public health, safety, comfort, or general welfare.** Providing a building of this use in the city will allow residents to continue the aging process without being forced to live in a different neighborhood, or even a different city. This provides a missing link in the housing types offered, and allows city residents to stay within the city and neighborhoods they have become a part of.
2. **The conditional use will not be injurious to the use and enjoyment of other property in the vicinity, and will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.** Since this project is making no alterations to the site and only rooftop alterations to the building, it will not physically impede the development of surrounding properties. Further, by providing a housing type that is currently missing from the area, it enhances the quality of the neighborhood by allowing current and future residents an option to remain in the area as they age.
3. **Adequate utilities, access roads, drainage, necessary facilities, or other measures, have been or will be provided.** The building was previously used as an office building, and thus has all the required utilities and access required to also accommodate an assisted living use.
4. **Adequate measures have been or will be taken to minimize traffic congestions in the public streets.** Since the new assisted living use will have a lower occupant capacity, and lower daily occupant access rates, the traffic generated by this property will decrease from previous levels.
5. **The conditional use is consistent with the applicable policies of the comprehensive plan.** In general terms, the comprehensive plan looks to promote a range of housing types and densities across the city. The area this building resides is identified as an activity center, with a recommendation to high/very high density uses. The plan also recommends the concept of complete communities, which encompass housing for all ages and households. Three points have direct relevance to this proposed use.
  - 3.6.1 Promote the development of housing suitable for people and households in all life stages that can be adopted to accommodate changing housing needs over time.
  - 3.6.5 Promote accessible housing designs to support persons with disabilities and the elderly.

**3.6.6** Actively enforce anti-discrimination laws and act to promote Fair Housing practices.

The comprehensive plan also recommends the preservation of historic resources, and encourages cooperation to form a preservation strategy.

**8.10.7** Use planning tools....to retain historic structures while compensating for the loss of development potential.

- 6. The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.** The existing building size and height were established before the creation of the current zoning code. The solarium addition requires a condition use permit to exceed the height allowed in the district. This permit has been applied for concurrently with this conditional use permit. All other aspects of the building and project conform to the current zoning district standards.

The assisted living use also adheres to the following specific development standards:

- 1. On-site services shall be for residents of the facility only.** All facilities and services provided shall be for the use of facility residents.
- 2. The operator shall submit a management plan for the facility and a floor plan showing sleeping areas, emergency exits, and bathrooms.** See attached statement of use and floor plans.
- 3. To the extent practical, all new construction or additions to existing buildings shall be compatible with the scale and character of the surroundings and exterior building materials shall be harmonious with other buildings in the neighborhood.** The proposed solarium addition has been approved by the Minneapolis HPC and will be reviewed for eligibility of state and federal historic tax credits.
- 4. An appropriate transition area between the use and adjacent property shall be provided by landscaping, screening, and other site improvements consistent with the character of the neighborhood.** The site conditions will not change from the current design, approved as part of the 1987 rehabilitation that received federal historic tax credits.

**Statement of Proposed Use and Function  
Minneapolis Planning Commission  
Land Use Application**

Ceresota Building  
512 2<sup>nd</sup> St. S.

**Assisted Living use and function narrative:**

The design will accommodate senior living in 56 units on floors 2-8. These units are primarily studios, there will be (3) one bedroom and (3) two bedroom units. There will be a multi-level unit designed for the owner to be located on floors 10 and 11. Building functionality will accommodate “aging in place” and “continuum of life”. This allows the residents to continue living in the same building, even as the amount of care they may require changes. In house services provided will include: 24-hour staffing, daily prepared meals, transportation, housekeeping, laundry, physical therapy, and memory care. In addition health related services will be provided, including; assistance with medications, bathing, dressing, grooming, eating, transferring, continence care, and toileting. Amenities provided for residence use within the building will include: shared kitchen and dining spaces on each floor, shared lounge spaces with fireplace on each floor, rooftop solarium and deck at the 9<sup>th</sup> floor, hair salon, whirlpool tubs, 7 story atrium with generous skylights, underground loading docks, private consult room, activities rooms and private dining rooms. The building is intended to be registered with the Minnesota Department of Health, and the chosen service provider(s) will be licensed with the same agency.

December 31, 2013

Mr. Jacob Frey  
Minneapolis City Council – Ward 3  
City Hall  
350 South Fifth Street, Room 307  
Minneapolis, MN 55415

RE: Ceresota Building Residential Development  
512 2<sup>nd</sup> Street South  
Minneapolis, MN 55401

Dear Council Member Frey:

I would like to take this opportunity to formally notify you that we will be submitting a Land Use application to the City of Minneapolis – CPED on December 31, 2013.

Our project to convert the Ceresota Building to a residential use received approval in December of 2012. We did not ask for any additional windows. However in the course of developing our documents we have come up with a solarium design and roof deck for the top of the building; this is a feature that I believe will greatly enhance the residential quality of the conversion and compensate for the lack of windows on the exterior. I will also note that we have designed this feature to have minimal visual impact on the exterior views, with the help of our design professionals and historical consultant.

The features which require Planning Commission review are an addition over 1,000 square feet (the solarium is 1,152 square feet) and that the addition will exceed the allowable height of the C3A zoning district. (The allowable height, with downtown height overlay, is 6 stories and 84'-0". The solarium will be located at the 9<sup>th</sup> floor and measure 115'-5 1/2" to the highest point.) The application does not involve any exterior site work or additional windows.

We are working with City Planner Aaron Hanauer and will submit our application on December 31, 2013.

We look forward to working with you as our project progresses and goes before the Minneapolis Planning Commission.

Sincerely,

Jay Dworsky  
Ceresota Funding, LLC  
155 5<sup>th</sup> Avenue South  
Minneapolis, MN 55401  
Ph: 612.327.1599

Cc: Lisa Goodman, Ward 7

December 31, 2013

Ms. Christie Rock  
Downtown Minneapolis Neighborhood Association  
40 South 7<sup>th</sup> Street  
Minneapolis, MN 55402

RE: Ceresota Building Residential Development  
512 2<sup>nd</sup> Street South  
Minneapolis, MN 55401

Dear Christie:

I would like to take this opportunity to formally notify you that we will be submitting our Land Use application to the City of Minneapolis – CPED on December 31, 2013.

Our project to convert the Ceresota Building to a residential use received approval in December of 2012. We did not ask for any additional windows. However in the course of developing our documents we have come up with a solarium design and roof deck for the top of the building; this is a feature that I believe will greatly enhance the residential quality of the conversion and compensate for the lack of windows on the exterior. I will also note that we have designed this feature to have minimal visual impact on the exterior views, with the help of our design professionals and historical consultant.

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We are working with City Planner Aaron Hanauer and will submit our application on December 31, 2013. We look forward to working with the City of Minneapolis CPED and Downtown Minneapolis Neighborhood Association on this project.

Sincerely,

Jay Dworsky  
Ceresota Funding, LLC  
155 5<sup>th</sup> Avenue South  
Minneapolis, MN 55401  
Ph: 612.327.1599

# CERESOTA BUILDING

## RESIDENTIAL DEVELOPMENT LAND USE APPLICATION 12.31.2013

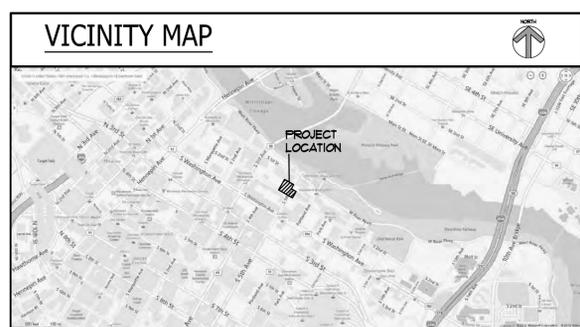


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SHEET SUMMARY		HPC REVIEW - 11/25/2013	HPC APPLICATION - 12/11/2013	LAND USE APP. - 12/31/2013
GENERAL				
A000	TITLE SHEET	●	●	●
ARCHITECTURAL				
A020	SITE PLAN	●	●	●
A100-3	BASEMENT FLOOR PLAN	●	●	●
A101-3	FIRST FLOOR PLAN	●	●	●
A102-3	SECOND FLOOR PLAN	●	●	●
A103-3	THIRD FLOOR PLAN	●	●	●
A104-3	FOURTH FLOOR PLAN	●	●	●
A105-3	FIFTH FLOOR PLAN	●	●	●
A106-3	SIXTH FLOOR PLAN	●	●	●
A107-3	SEVENTH FLOOR PLAN	●	●	●
A108-3	EIGHTH FLOOR PLAN	●	●	●
A109-3	NINTH FLOOR PLAN	●	●	●
A110-3	TENTH FLOOR PLAN	●	●	●
A111-3	ELEVENTH FLOOR PLAN	●	●	●
A112-3	TWELFTH (ROOF) FLOOR PLAN	●	●	●
A200	EXTERIOR ELEVATIONS	●	●	●
A300	EXTERIOR SECTIONS	●	●	●

PROJECT DIRECTORY	
<b>OWNER</b>	CERESOTA FUNDING, LLC 1661 UTAH DRIVE SOUTH ST. LOUIS PARK, MN
<b>ARCHITECT</b>	TANEK, INC. 118 EAST 26TH STREET SUITE 300 MINNEAPOLIS, MN 55404 CONTACT: KEN PIPER PHONE: 612-938-8100
<b>HISTORIC CONSULTANT</b>	LANDSCAPE RESEARCH, LLC 1926 PENN AVENUE SOUTH MINNEAPOLIS, MN 55405 CONTACT: AMY LUCAS PHONE: 612-414-1945

PROJECT SUMMARY			
<b>BUILDING STATS</b>		<b>SITE STATS</b>	
YEAR BUILT:	1908	TOTAL SITE AREA:	49,201 SF
HEIGHT:	161'-0"	IMPERVIOUS AREA:	41,660 SF
TOTAL BUILDING GROSS AREA:	141,919 SF	BUILDING FOOTPRINT:	16,976 SF
BASEMENT AREA:	15,600 SF	HARDSCAPE AREA:	24,184 SF
LOADING DOCK AND TUNNELS:	8,913 SF	PERVIOUS AREA:	8,641 SF
FIRST FLOOR AREA:	16,611 SF	TURF AREA:	1,799 SF
SECOND FLOOR AREA:	14,322 SF	OTHER LANDSCAPE AREA:	6,848 SF
THIRD FLOOR AREA:	14,321 SF		
FOURTH FLOOR AREA:	13,252 SF	<b>PARKING COUNTS</b>	
FIFTH FLOOR AREA:	13,252 SF	EXISTING ON-SITE STRIPED:	0 STALLS
SIXTH FLOOR AREA:	13,252 SF	OFF-STREET CURB LENGTH:	249'-0"
SEVENTH FLOOR AREA:	13,252 SF	(APPROX. 11 STALLS)	
EIGHTH FLOOR AREA:	9,140 SF		
NINTH FLOOR AREA:	3,134 SF		
TENTH FLOOR AREA:	3,134 SF		
ELEVENTH FLOOR AREA:	3,134 SF		



**Ceresota Building**  
Residential Development  
155 5th Ave. S.  
Minneapolis, MN 55401

**Landscape Research**  
1926 Penn Avenue S  
Minneapolis, MN 55405

PRELIMINARY

scale as noted  
name tvh

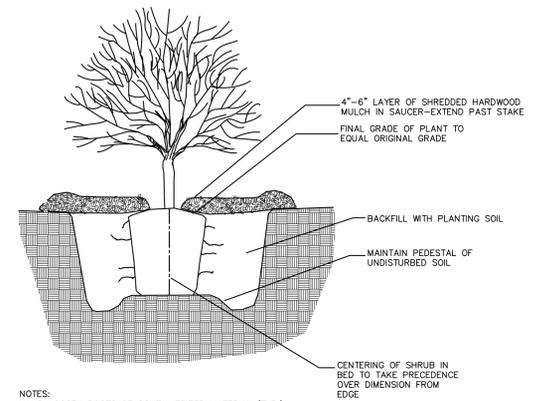
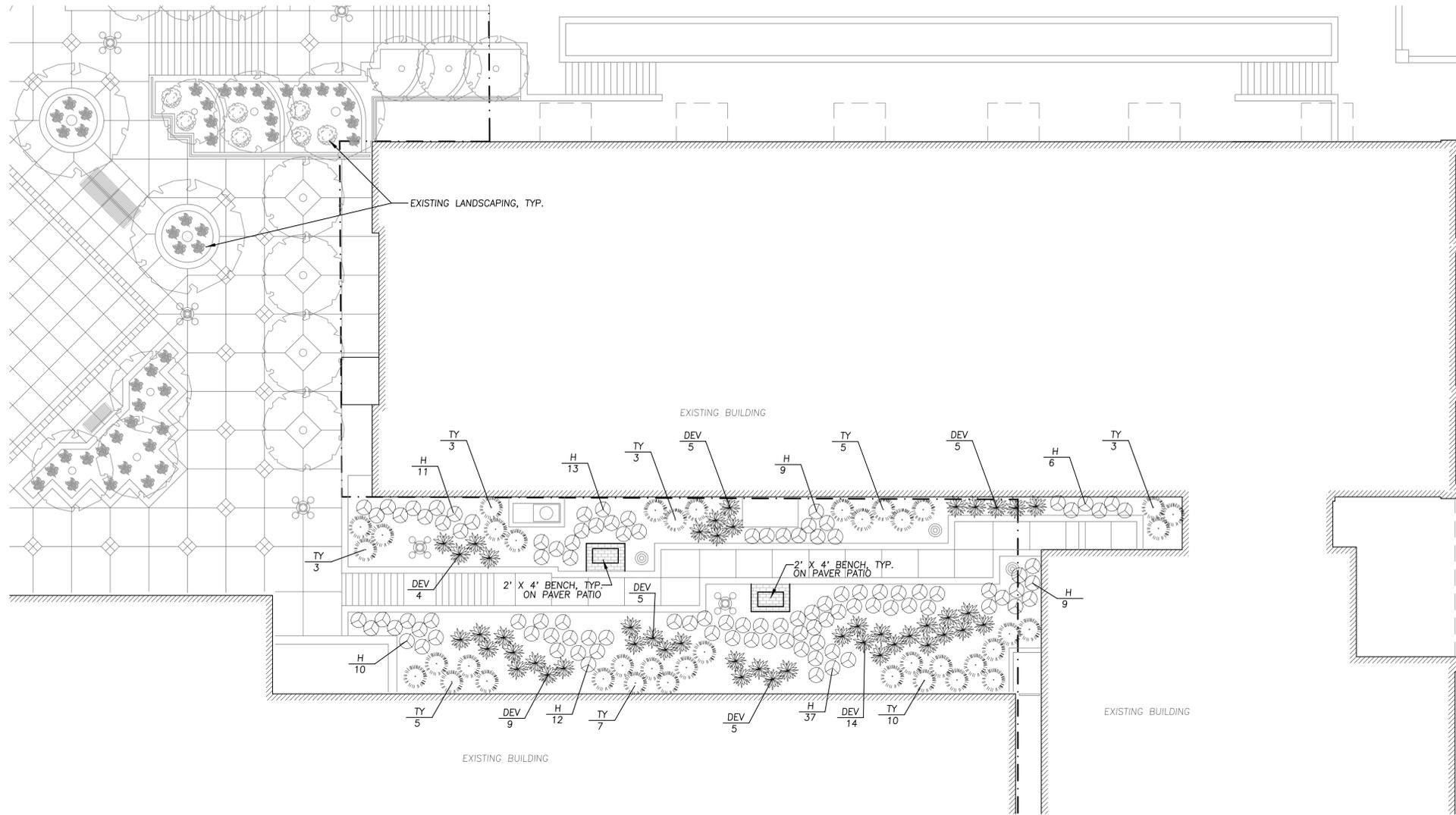
Land Use app. 12.31.2013

HPC application 12.11.2013

HPC review 11.25.2013

Title Sheet

a000



NOTES:  
HAND LOOSEN ROOTS OF CONTAINERIZED MATERIAL (TYP.).  
SCARIFY BOTTOM AND SIDES OF HOLE PRIOR TO PLANTING.

SHRUB PLANTING DETAIL

**LEGEND**

- ☼ Dwarf European Viburnum
- ⊗ Hosta
- ⊙ Taunton Yew

**LANDSCAPE SPECIFICATIONS**

**GENERAL**

Furnish all work required to complete as indicated by the contract documents and furnish all supplementary items necessary for completion of work specified.

**REFERENCES - QUALITY ASSURANCE**

Comply with all applicable federal, state, county and local regulations governing landscape materials and work.

Employ only experienced personnel who are familiar with the required work. Provide full time supervision by a qualified foreman acceptable to the owner.

All materials will be judged by the AAN American Standards for Nursery Stock, Latest Edition, American Joint Committee on Horticultural Nomenclature, Last Edition, State Highway Department Standard Specifications for Construction Seed/Sodding/Hydromulching, Last Publication and Hortus, Cornell University, Last Edition.

Coordinate planting with irrigation system installation and review continuously to insure complete coverage of plant materials.

Coordinate backfill and grading issues with general contractor so as unproductive work duplications or delays do not occur.

**GUARANTEE - LIABILITY**

Contractor assumes all liability and replacement requirements of materials which are damaged, stolen, or misplaced on the job site prior to acceptance of work.

Owner may request contractor to submit delivery tickets of bulk soil deliveries to confirm source and quantity of material.

All plants will be guaranteed for a period of one (1) year from the date of final acceptance. Owner will be responsible for proper maintenance of plants after final acceptance.

Contractor will replace plants which have partially died, thereby damaging shape, size, or symmetry. During guarantee period, dead and unsightly plant materials will be removed and replaced immediately. Guarantee excludes damages caused by vandalism, freeze, drought, insect infestation, or other acts of God. Special equipment required for replacement plants due to access problems are not to be included in the basic project costs. This is a negotiated item at time of replacement only.

Shrub plantings will be done in beds properly prepared using mulch and organic compost. Verify planting areas have been provided as indicated on the plan. Remove all surface rock or debris deposited by previous work operation or excavation performed to create specified bed. Excavate as necessary to provide for thorough blending of 50 percent existing soil and 50 percent compost tilled 4 inches into existing soil to create a fine, loose condition, suitable for good plant growth. Notify owner if existing soil is undesirable. Contractor will insure positive drainage exists in all areas. Specified bed preparation will only be done in shrub group areas, not over general areas where rock is indicated.

**MAINTENANCE - ACCEPTANCE**

Contractor will maintain all plant materials including turf mowing until final acceptance. It is the owner's intention to accept the project as soon as the contractor has demonstrated a complete project is ready for final acceptance.

**SOIL PREPARATION MATERIALS**

Topsail will be local in origin, clean friable, dark in color, free from lumps of clay, rocks, weeds, or other noxious materials.

Mulch will be aged, finely shredded bark mulch, brown in color run through a hammer mill and screened of undesirable material.

Compost will be a recognized brand of peat moss common to the locale, typically used in the landscape trade as a soil amendment to provide a natural acidic, biologically active additive to the soil.

Fertilizer recommendations will be provided to the owner appropriate to the site conditions and time of year for all plant materials including the lawn turf.

**MISCELLANEOUS MATERIALS**

Edging will be 6 inch, commercial grade, black poly such as Black Diamond or approved equal.

**HERBICIDES - PESTICIDES - FUNGICIDES - FUMIGANTS**

Contractor may use all means necessary to prepare the site and maintain the materials if properly handled and applied in order to prevent injury to humans, domestic animals, desirable plant life, fish and other wildlife. Contractor will follow all manufacturer directions for applications and heed all labeled warnings. Failure to do so will result in termination from the project.

**FINAL GRADING**

Loosen and fine rake areas to break up lumps and produce a smooth, even gradient free of unsightly variations, ridges or depressions. Ponding of water in finished areas will not be permitted. Remove from site all stones, rock, and debris one (1) inch or larger. Final grading is subject to critical owner review only after repeated watering or rains to insure settlement has not adversely affected drainage patterns.

**PRUNING**

Pruning will be limited to the minimum necessary to remove dead wood, suckers, broken twigs or branches and to compensate for loss of roots during transplanting. In no case will pruning exceed one fourth the branching structure of the plant. Pruning will preserve the natural character and structure of the plant. All pruning operations will be performed in accordance with standard arbor culturalist practices.

**FERTILIZATION**

All trees, shrubs, ground cover and lawn turf will be fertilized in a one time application of an approved fertilizer based on the contractors observations of site conditions and experience in the area.

**MULCHING**

After work of planting has been complete, topdress all planting areas and islands with a six (6) inch layer of shredded bark mulch.

**EDGING INSTALLATION**

All edging specified will be set flush with finish grade in alignments designated on the plans.

**CLEAN UP**

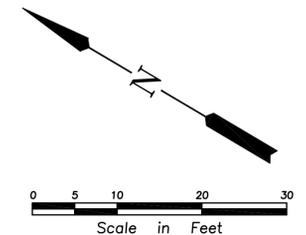
Remove all debris generated by work operations from the site daily.

All paved areas will be cleaned daily by washing and sweeping. Remove tire markings from all concrete surfaces.

Leave entire planting areas in a raked condition free of debris and paved surfaces in a broom clean condition ready for final acceptance by owner.

**PLANT LIST**

PLANTS SYMBOL	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE/ROOT
DEV	47	Viburnum opulus 'Compactum'	Dwarf European Viburnum	#3 Pot
H	107	Hosta	Hosta	#1 Pot
TY	39	Taxus x media 'Tauntonii'	Taunton Yew	#5 Pot



**SITE GENERAL NOTES**

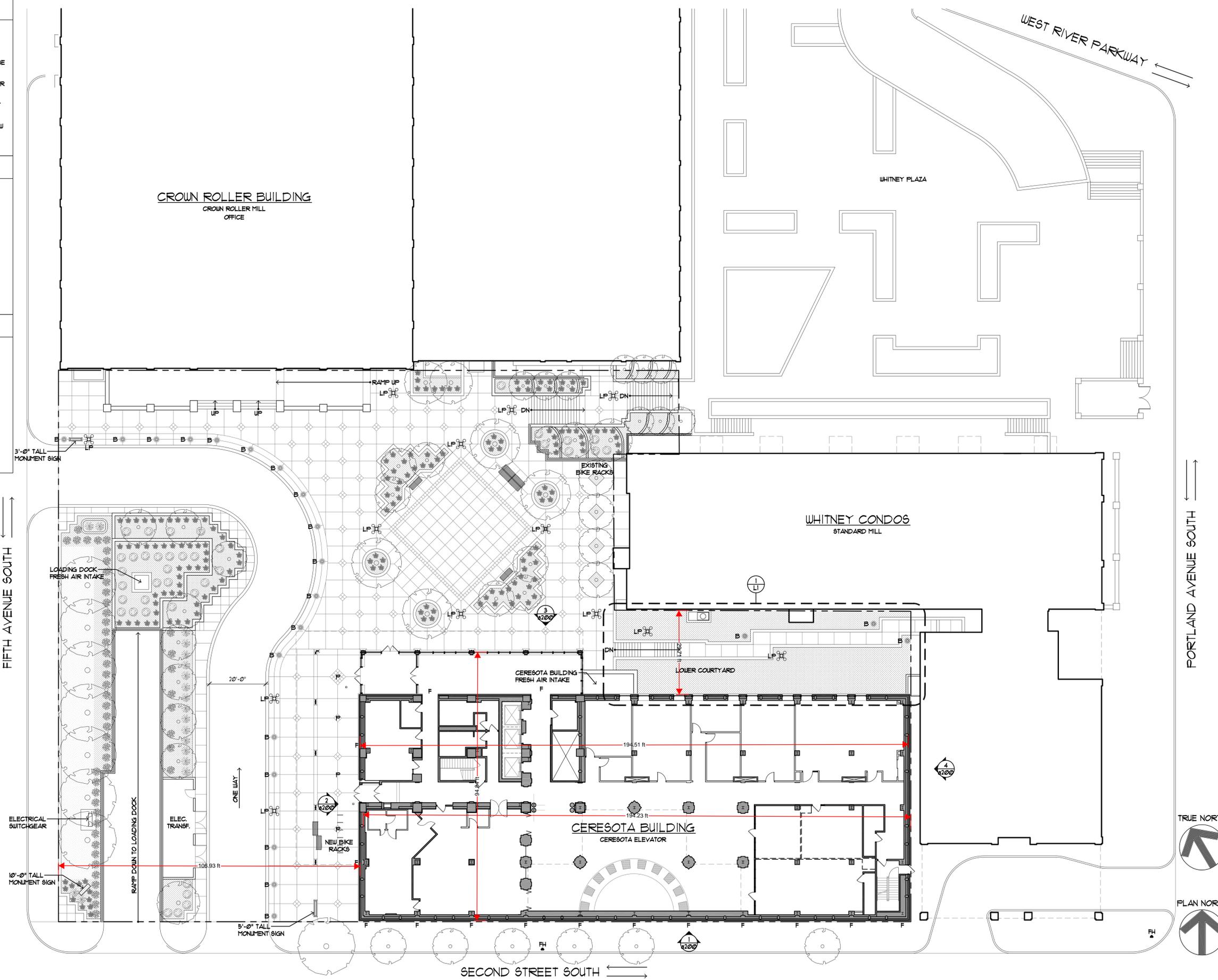
1. ALL LANDSCAPING SHOWN REFERS TO EXISTING CONDITIONS. LANDSCAPING WILL BE RESTORED AND/OR REPLACED TO MATCH AS PART OF THIS PROJECT.
2. NEW BIKE RACKS TO ACCOMMODATE 12 BIKES TO BE INSTALLED NEAR THE SW CORNER OF THE BUILDING.
3. SEE SHEET LI FOR NEW LANDSCAPE PLAN OF LOWER COURTYARD.
4. NO OTHER SITE WORK TO BE COMPLETED AS PART OF THIS PROJECT.
5. EXISTING MONUMENT SIGNS TO BE RECLAD WITH NEW METAL FACING AT SIGNAGE AREAS. SIGNS ARE TO REMAIN UNLIT.

**SITE CALCULATIONS**

TOTAL SITE AREA	49,807 SF
IMPERVIOUS	41,660 SF
BLDG FOOTPRINT	16,916 SF
HARDSCAPE	24,184 SF
PERVIOUS	8,641 SF
TURF	1,799 SF
LANDSCAPE	6,848 SF

**SITE KEY**

- B LIGHTED BOLLARD
- F BUILDING MOUNTED FLOOD
- LP LIGHT POLE
- P PENDANT LIGHT
- FH FIRE HYDRANT



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 Residential Development  
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**Landscape Research**  
 1926 Penn Avenue S.  
 Minneapolis, MN 55405

PRELIMINARY

scale 1/16" = 1'-0"  
 name



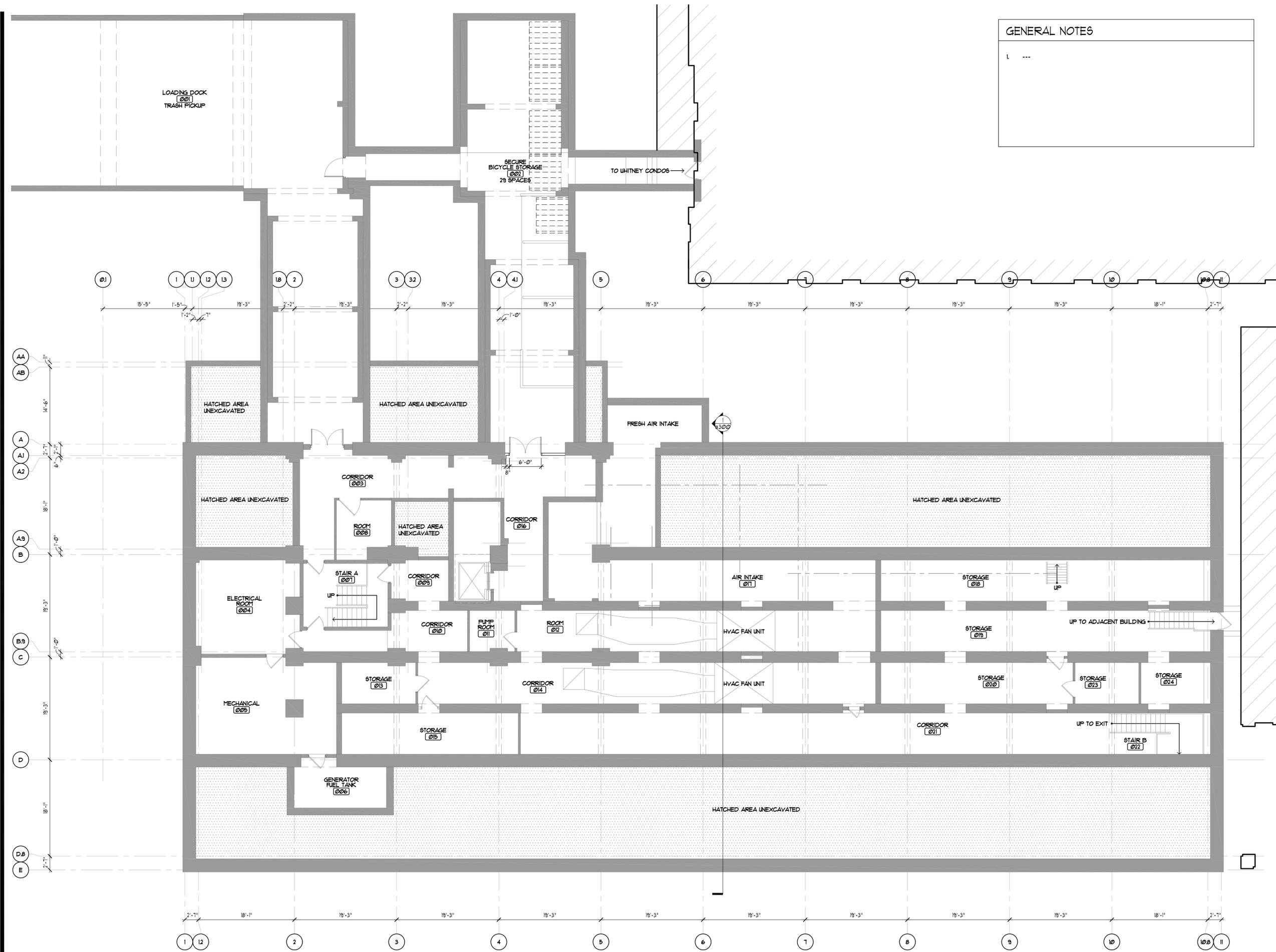
Land Use app. 12.31.2013  
 HPC application 12.11.2013  
 HPC review 11.25.2013  
 site plan

1 SITE PLAN  
 1/16" = 1'-0"

**a020**

PRELIMINARY

GENERAL NOTES  
1 ...



1 BASEMENT FLOOR PLAN  
1/8" = 1'-0"

scale 1/8" = 1'-0"  
name

Land Use app. 12.31.2013  
HPC application 12.11.2013  
HPC review 11.25.2013

architectural plan  
level 00

**GENERAL NOTES**

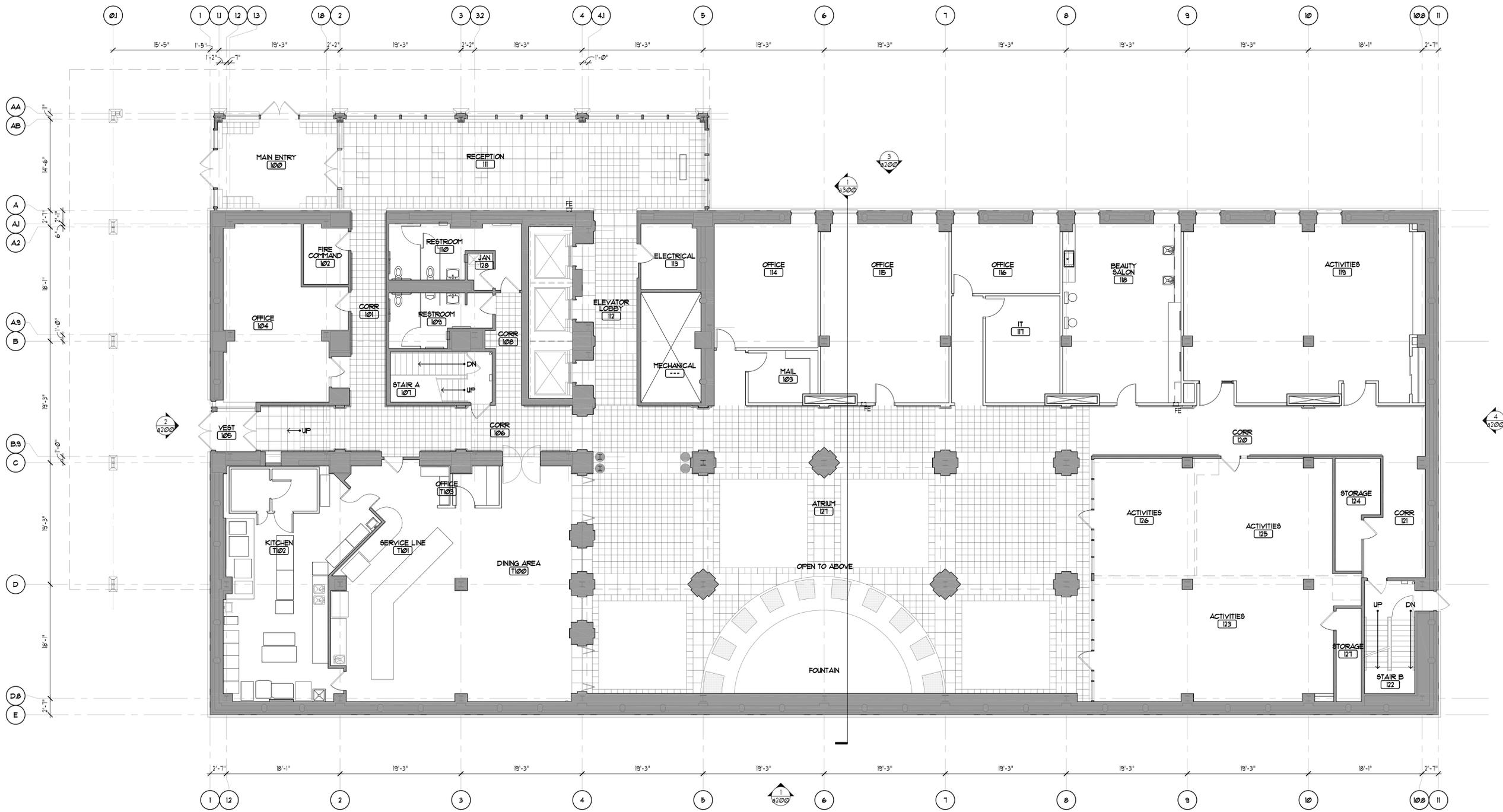
1. NO EXTERIOR ENVELOPE WORK TO BE COMPLETED ON THIS LEVEL AS PART OF THIS PROJECT.

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1 FIRST FLOOR PLAN  
a101 1/8" = 1'-0"

PRELIMINARY

scale 1/8" = 1'-0"  
name

Land Use app. 12.31.2013  
HPC application 12.11.2013  
HPC review 11.25.2013  
architectural plan  
level 01

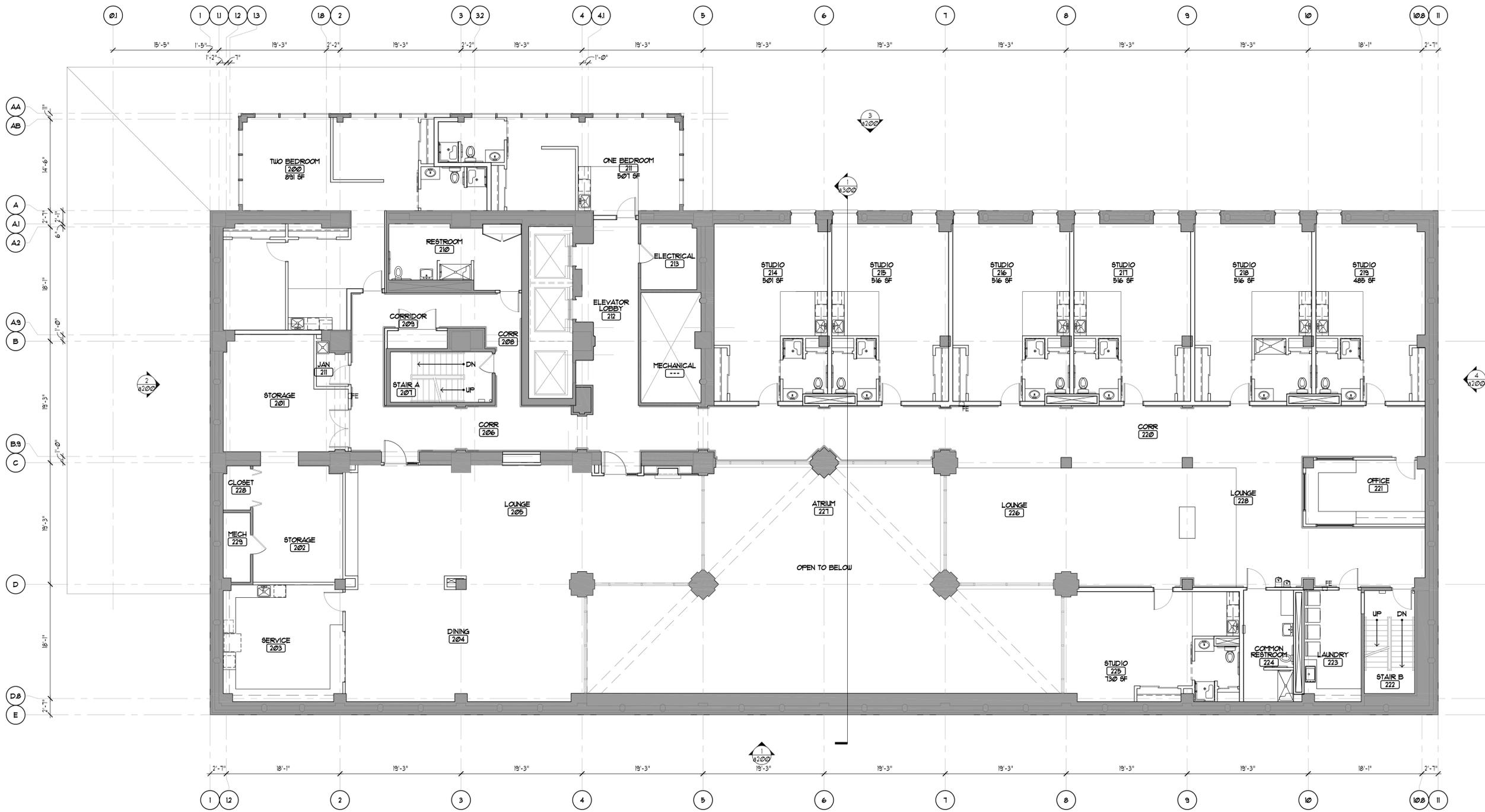


a101

**GENERAL NOTES**

1. NO EXTERIOR ENVELOPE WORK TO BE COMPLETED ON THIS LEVEL AS PART OF THIS PROJECT.

PRELIMINARY



1 SECOND FLOOR PLAN  
a102 1/8" = 1'-0"

scale 1/8" = 1'-0"  
name

Land Use app. 12.31.2013

HPC application 12.11.2013

HPC review 11.25.2013

architectural plan

level 02



**GENERAL NOTES**

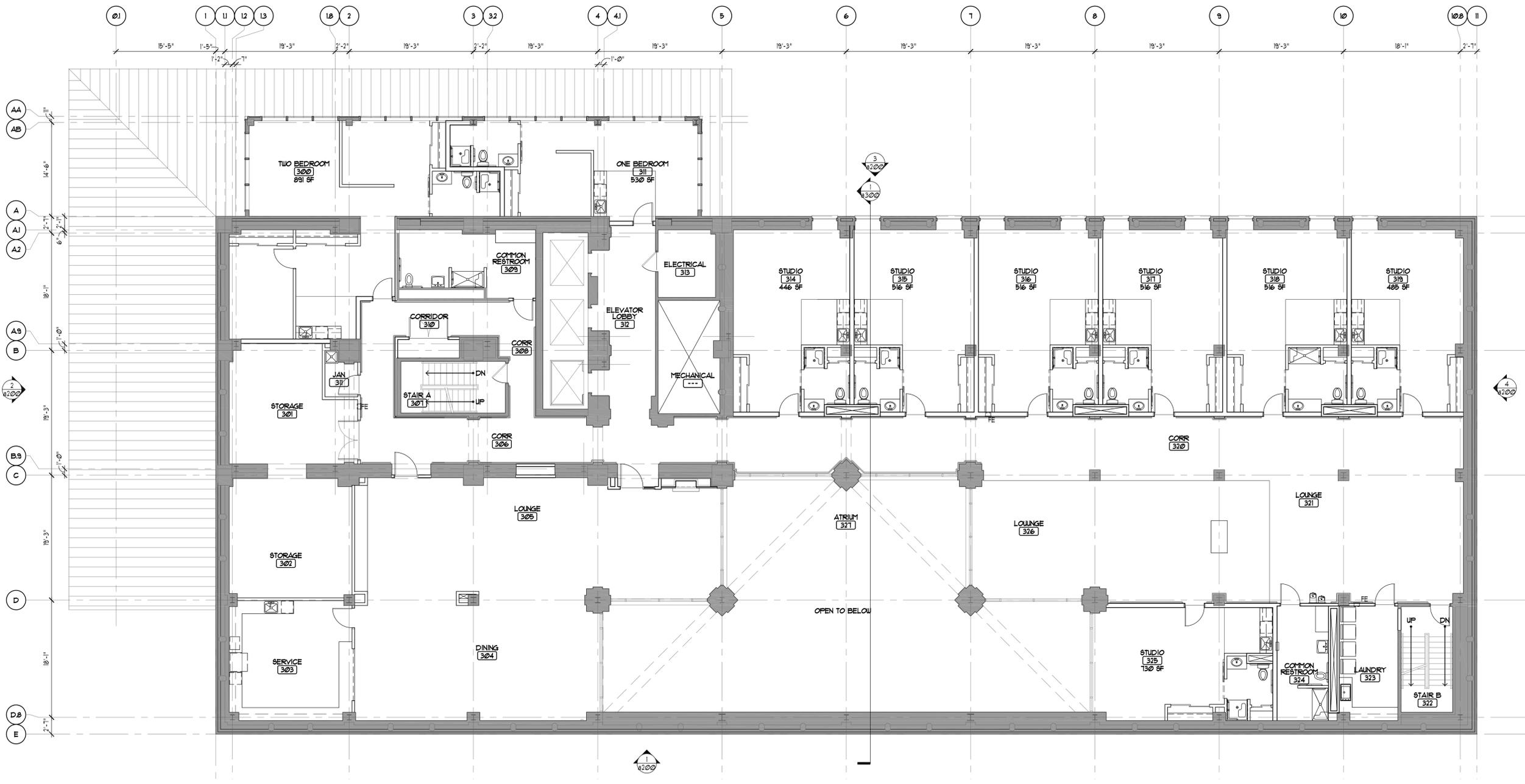
1. NO EXTERIOR ENVELOPE WORK TO BE COMPLETED ON THIS LEVEL AS PART OF THIS PROJECT.

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PRELIMINARY

scale 1/8" = 1'-0"  
name

Land Use app. 12.31.2013  
HPC application 12.11.2013  
HPC review 11.25.2013

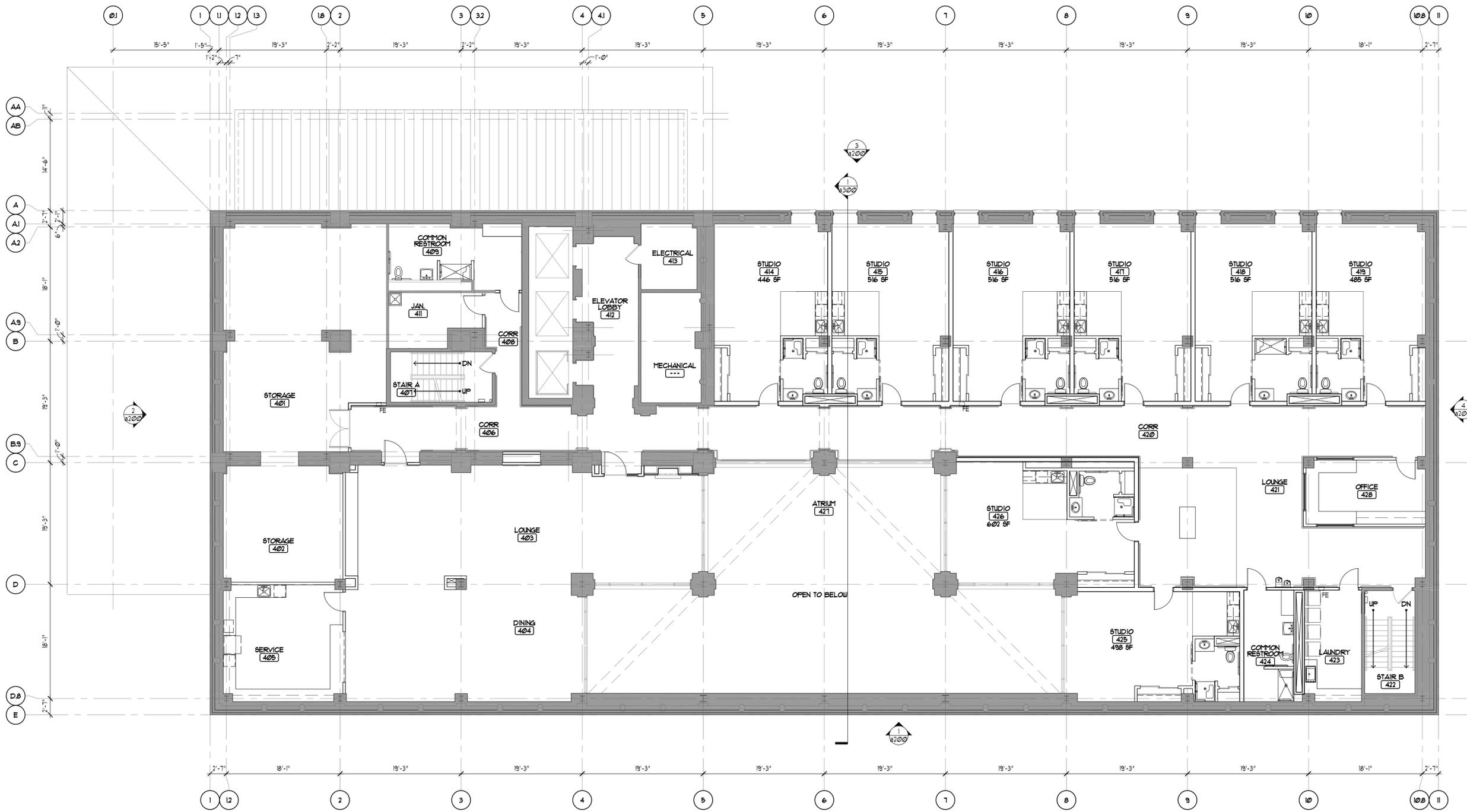
architectural plan  
level 03



**GENERAL NOTES**

1. NO EXTERIOR ENVELOPE WORK TO BE COMPLETED ON THIS LEVEL AS PART OF THIS PROJECT.

PRELIMINARY



1 FOURTH FLOOR PLAN  
a104 1/8" = 1'-0"



scale 1/8" = 1'-0"  
name

Land Use app. 12.31.2013

HPC application 12.11.2013

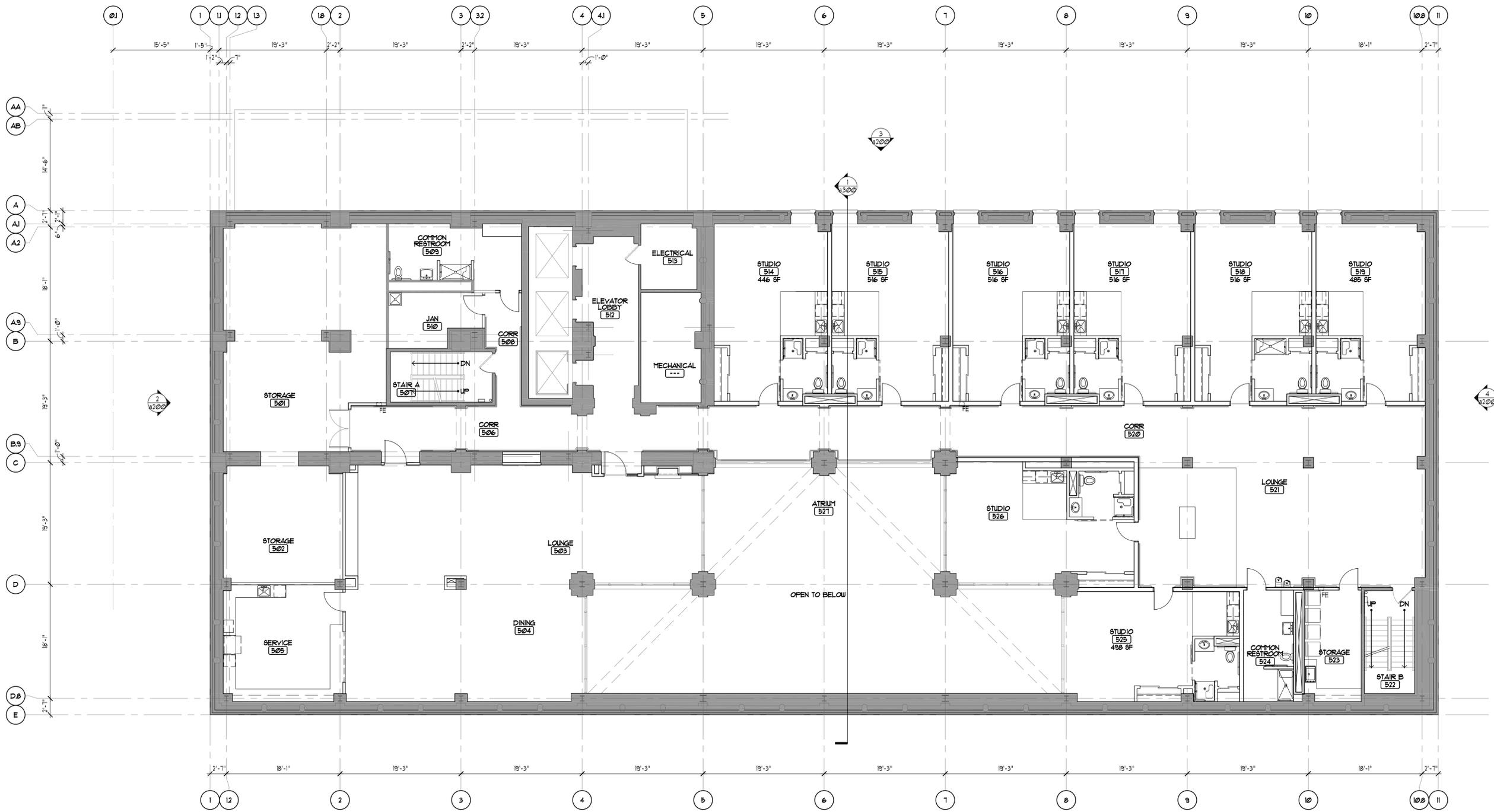
HPC review 11.25.2013

architectural plan level 04

**GENERAL NOTES**

1. NO EXTERIOR ENVELOPE WORK TO BE COMPLETED ON THIS LEVEL AS PART OF THIS PROJECT.

PRELIMINARY



**FIFTH FLOOR PLAN**  
a105 1/8" = 1'-0"

scale 1/8" = 1'-0"  
name

Land Use app. 12.31.2013  
HPC application 12.11.2013  
HPC review 11.25.2013

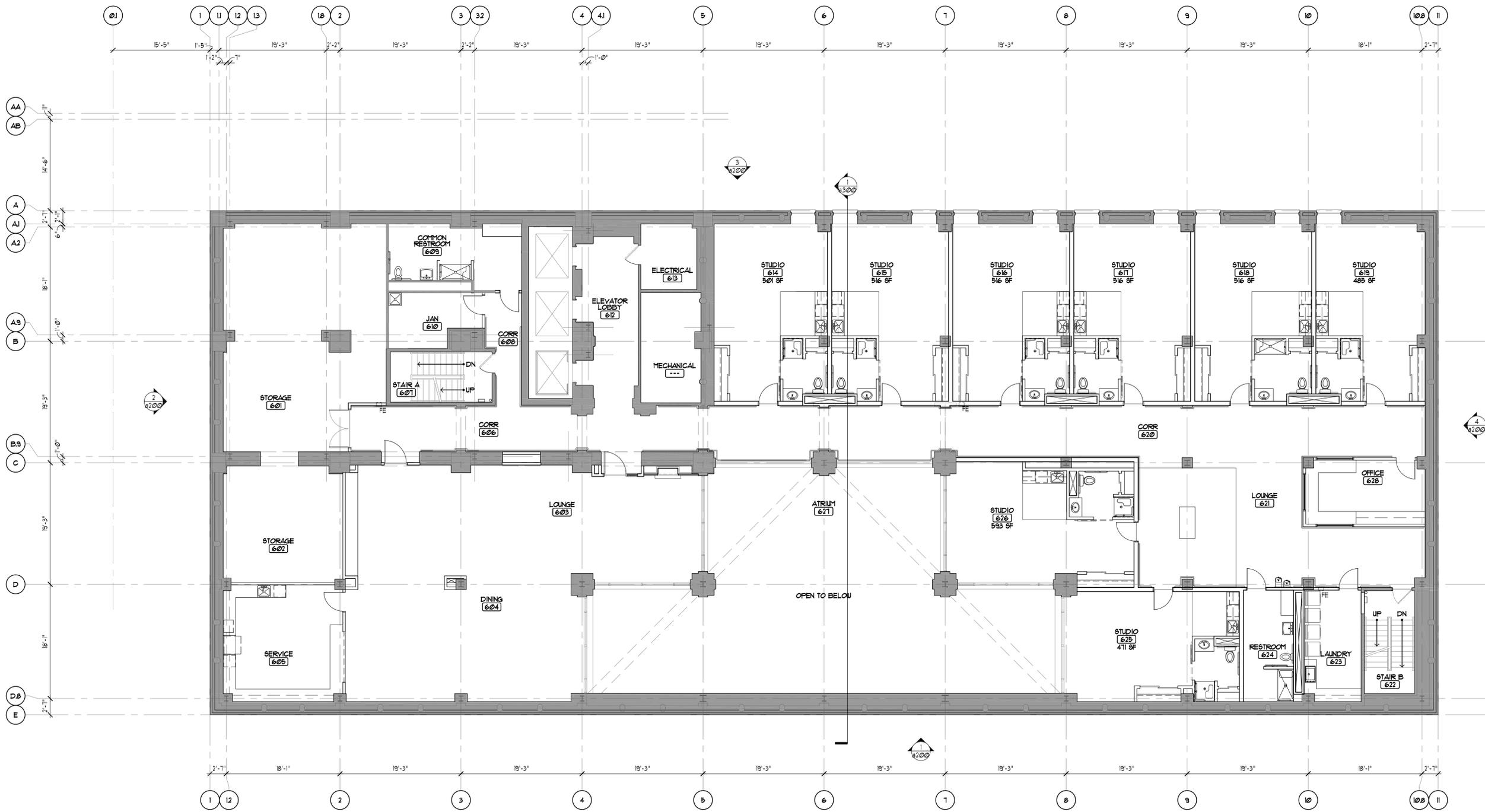
architectural plan  
level 05



**GENERAL NOTES**

1. NO EXTERIOR ENVELOPE WORK TO BE COMPLETED ON THIS LEVEL AS PART OF THIS PROJECT.

PRELIMINARY



**SIXTH FLOOR PLAN**  
1/8" = 1'-0"

scale 1/8" = 1'-0"  
name

Land Use app. 12.31.2013  
HPC application 12.11.2013  
HPC review 11.25.2013

architectural plan  
level 06



**GENERAL NOTES**

1. NO EXTERIOR ENVELOPE WORK TO BE COMPLETED ON THIS LEVEL AS PART OF THIS PROJECT.

PRELIMINARY



SEVENTH FLOOR PLAN  
a107 1/8" = 1'-0"

scale 1/8" = 1'-0"  
name

Land Use app. 12.31.2013

HPC application 12.11.2013

HPC review 11.25.2013

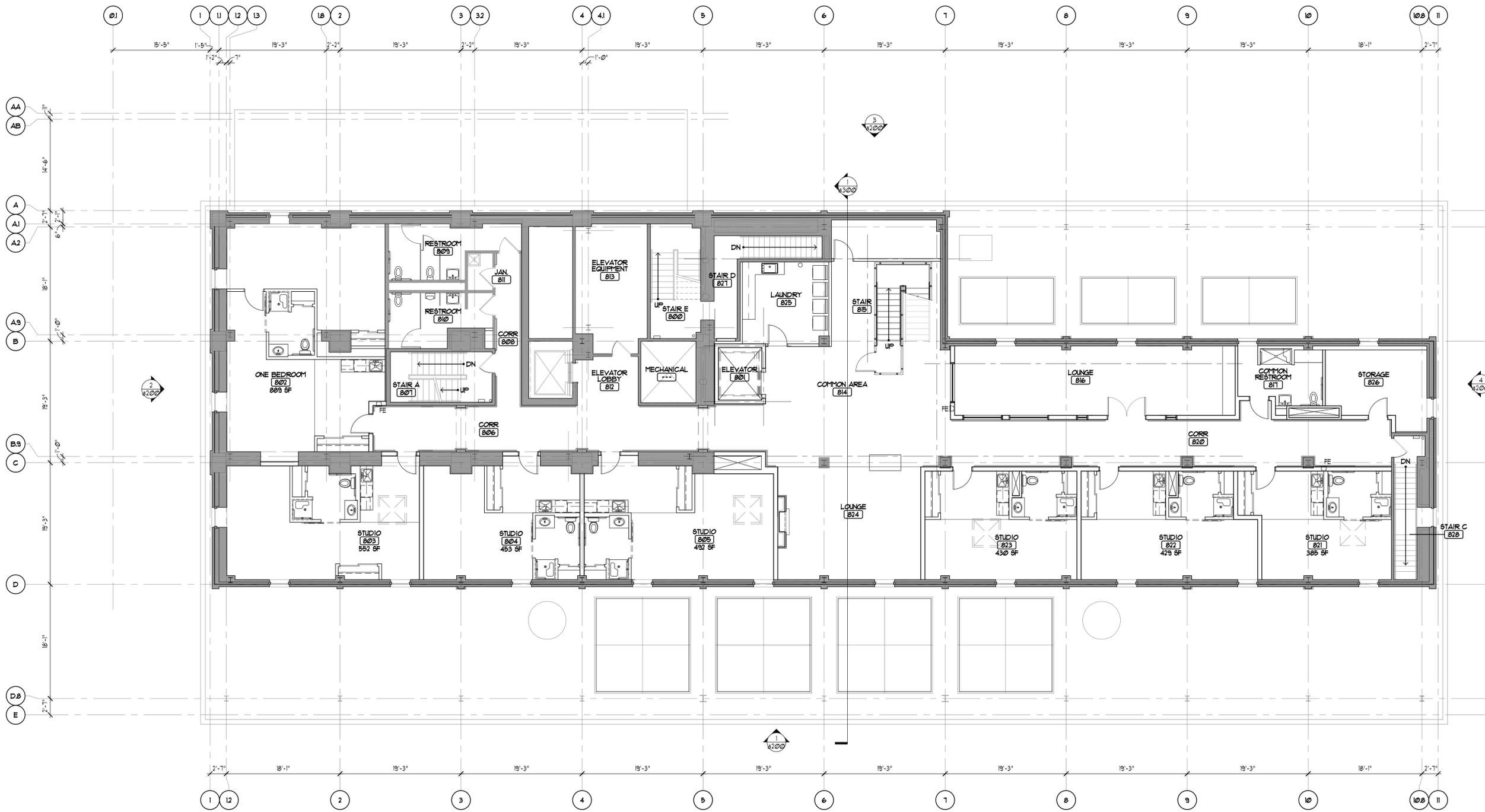
architectural plan level 07



**GENERAL NOTES**

1. EXTERIOR ENVELOPE WORK ON THIS LEVEL LIMITED TO OPENINGS IN EXISTING NON-HISTORIC ROOF STRUCTURE FOR STAIR AND ELEVATOR CONNECTIONS.

PRELIMINARY



1 EIGHTH FLOOR PLAN  
1/8" = 1'-0"

scale 1/8" = 1'-0"  
name

Land Use app. 12.31.2013

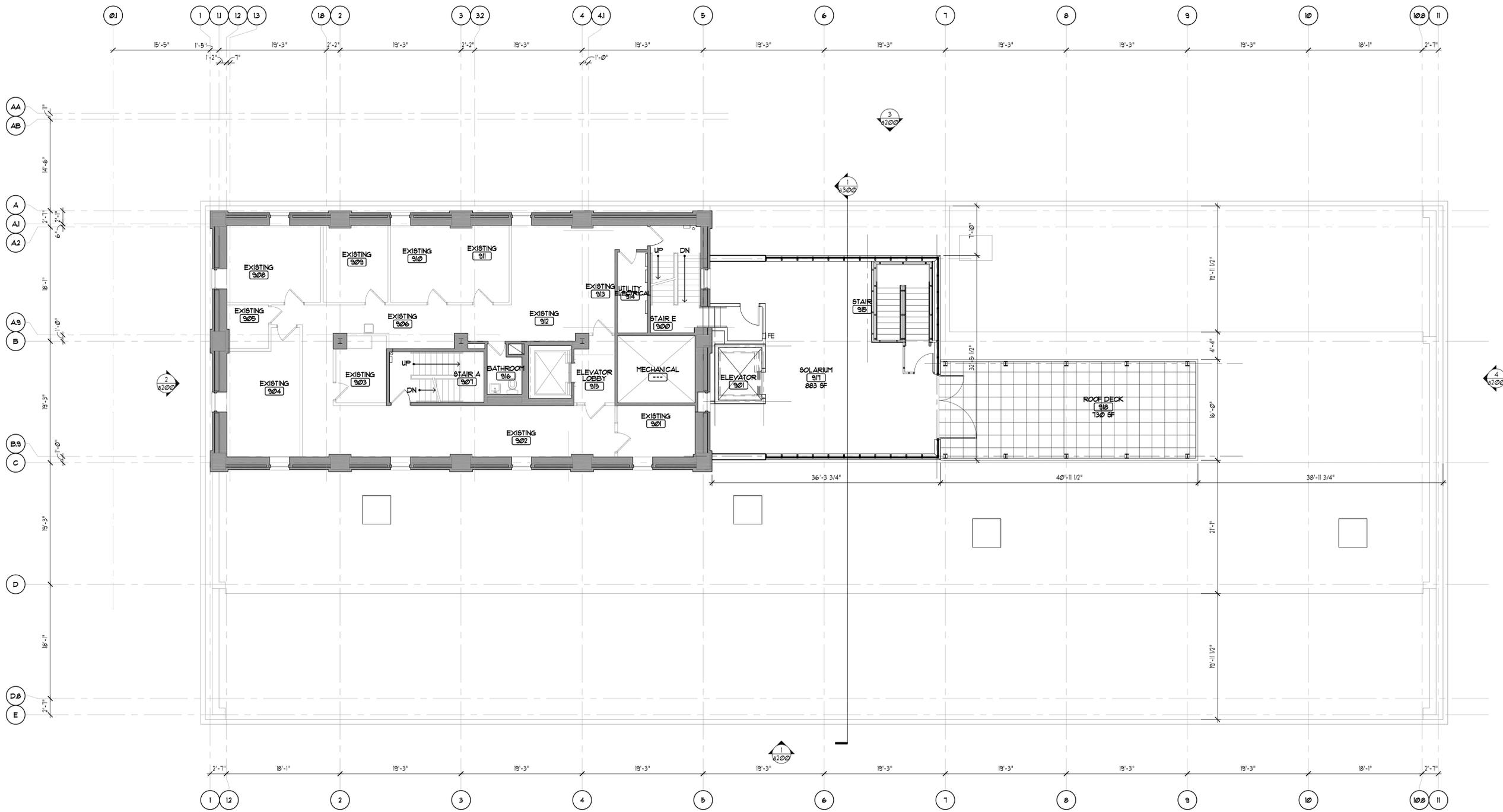
HPC application 12.11.2013

HPC review 11.25.2013

architectural plan  
level 08

GENERAL NOTES  
 1 ---

PRELIMINARY



1 NINTH FLOOR PLAN  
 a109 1/8" = 1'-0"

scale 1/8" = 1'-0"  
 name

Land Use app. 12.31.2013

HPC application 12.11.2013

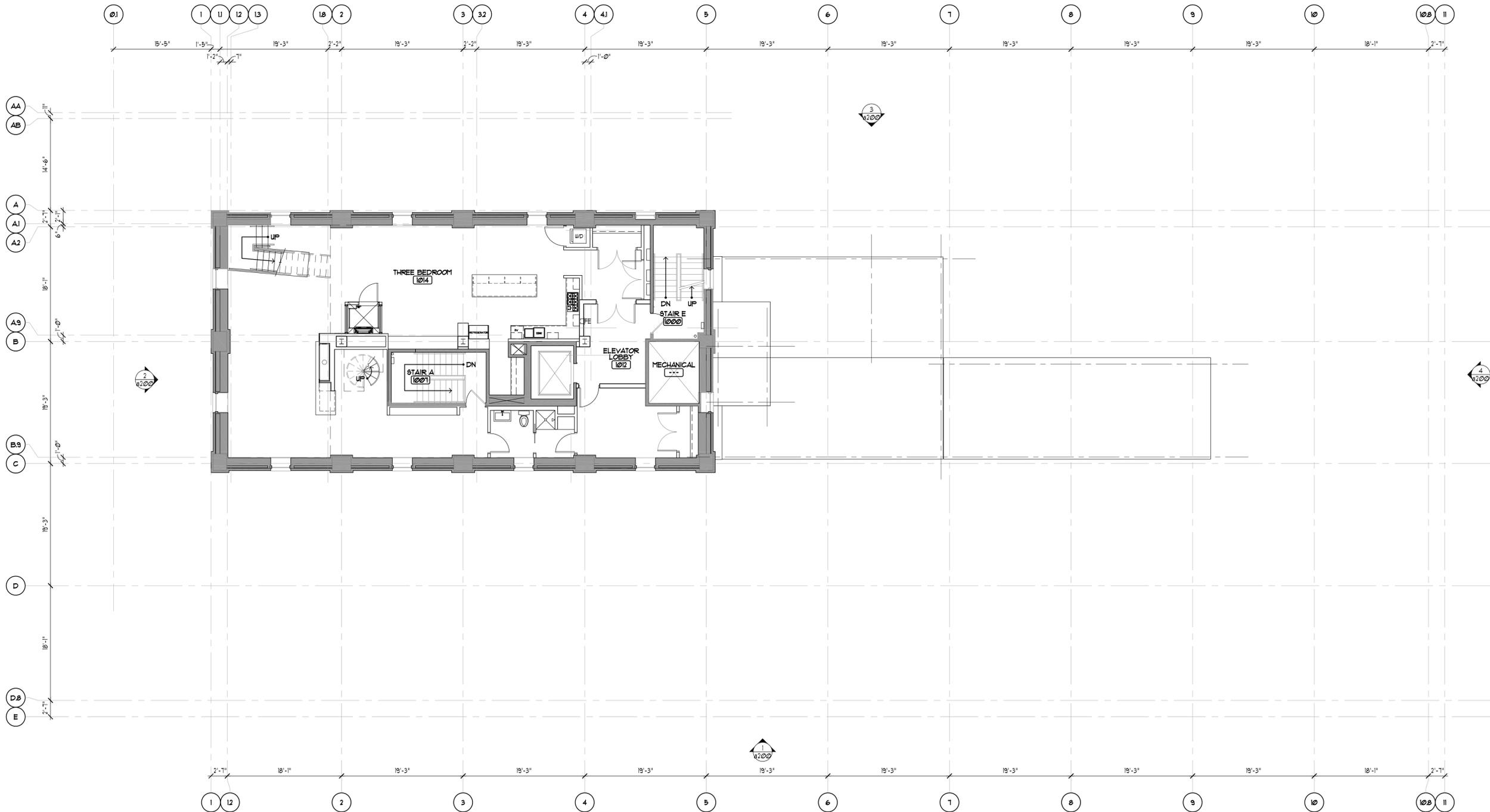
HPC review 11.25.2013

architectural plan  
 level 09

**GENERAL NOTES**

1. NO EXTERIOR ENVELOPE WORK TO BE COMPLETED ON THIS LEVEL AS PART OF THIS PROJECT.

PRELIMINARY



1 TENTH FLOOR PLAN  
a110 1/8" = 1'-0"

scale 1/8" = 1'-0"  
name

Land Use app. 12.31.2013

HPC application 12.11.2013

HPC review 11.25.2013

architectural plan  
level 10

**GENERAL NOTES**

1. NO EXTERIOR ENVELOPE WORK TO BE COMPLETED ON THIS LEVEL AS PART OF THIS PROJECT.

PRELIMINARY



1 ELEVENTH FLOOR PLAN  
a111 1/8" = 1'-0"

scale 1/8" = 1'-0"  
name

Land Use app. 12.31.2013

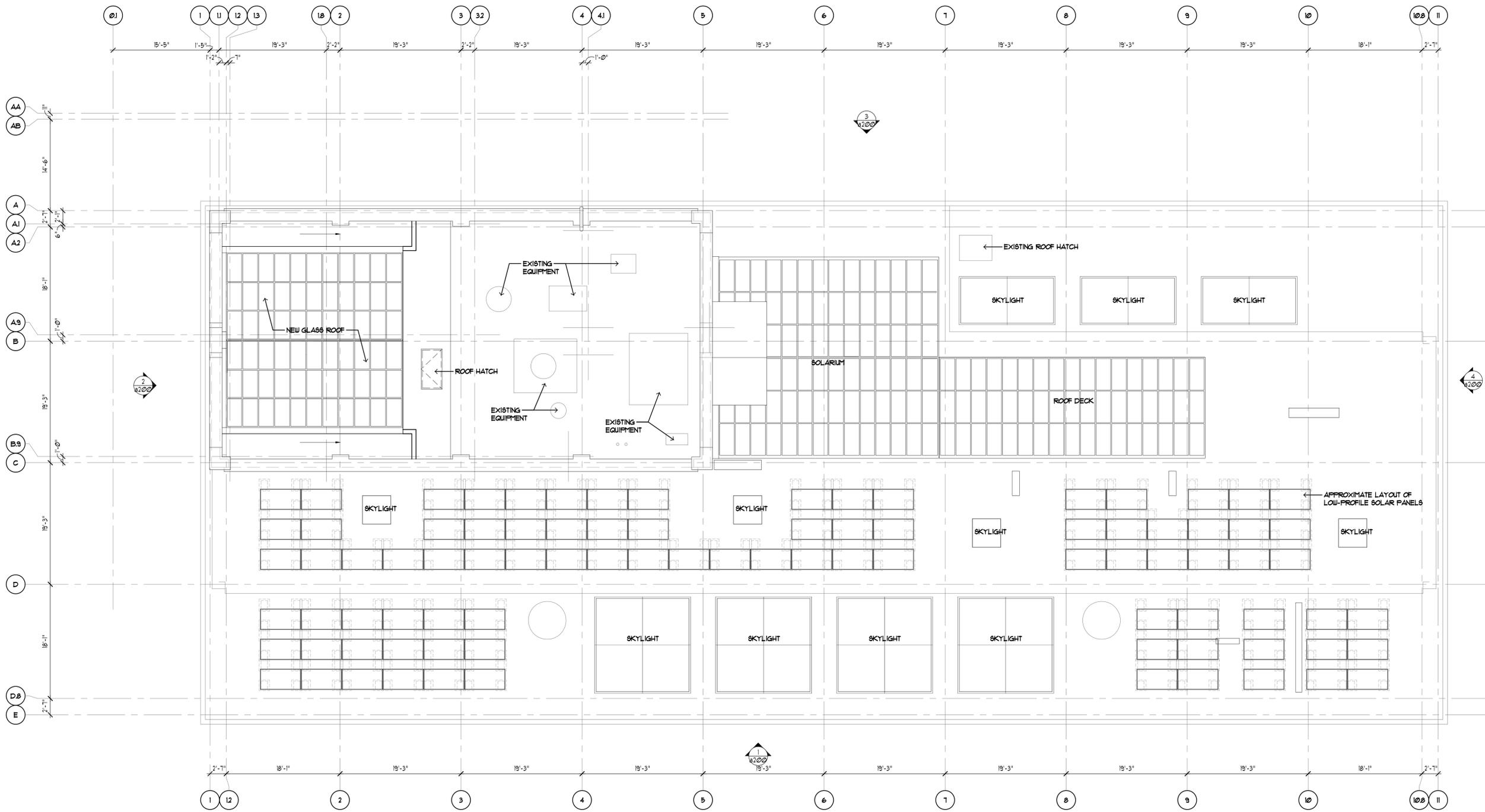
HPC application 12.11.2013

HPC review 11.25.2013

architectural plan  
level 11

**GENERAL NOTES**

1. EXTERIOR ENVELOPE WORK ON ROOF LIMITED TO A NEW GLASS ROOF PLACED OVER PREVIOUSLY EXPOSED PORTION OF 11TH FLOOR, REPLACEMENT GLASS SKYLIGHTS ON LOWER LEVELS, AND ADDITION OF LOW PROFILE SOLAR PANELS ON SOUTH SIDE OF LOWER ROOF LEVELS.



1 ROOF PLAN  
1/8" = 1'-0"

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PRELIMINARY

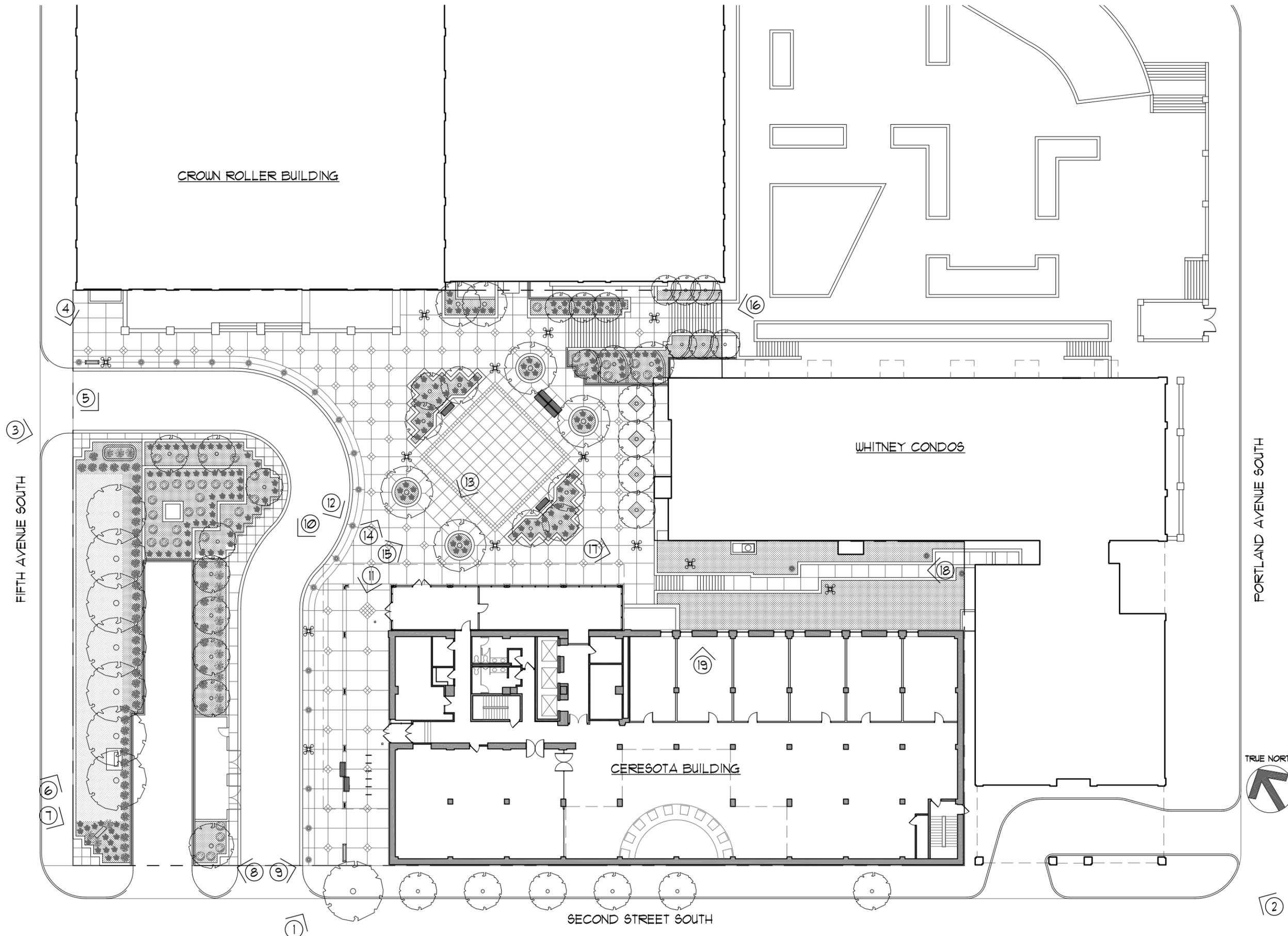
scale 1/8" = 1'-0"  
name

Land Use app. 12.31.2013  
HPC application 12.11.2013  
HPC review 11.25.2013

architectural plan  
level 12 (roof)

a112

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Residential Development  
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Minneapolis, MN 55401



scale 1/32" = 1'-0"  
name tvh

land use application 11.07.2012  
site photo key plan

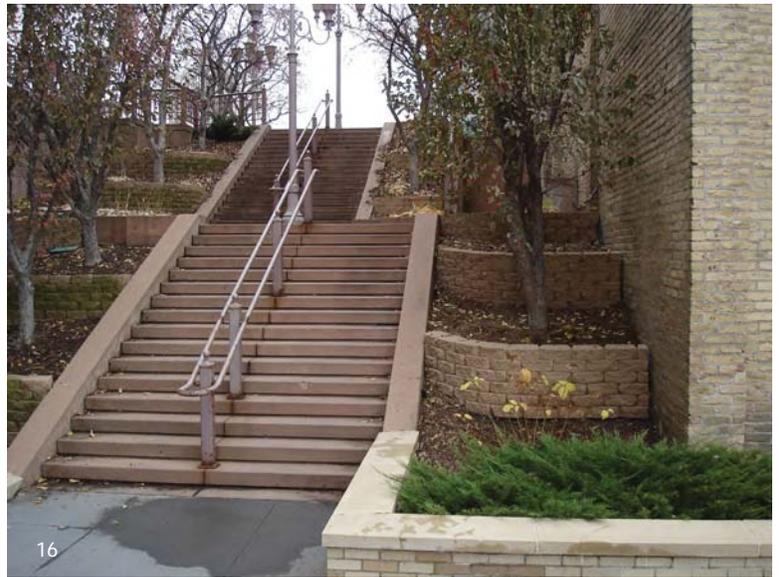
## KEY

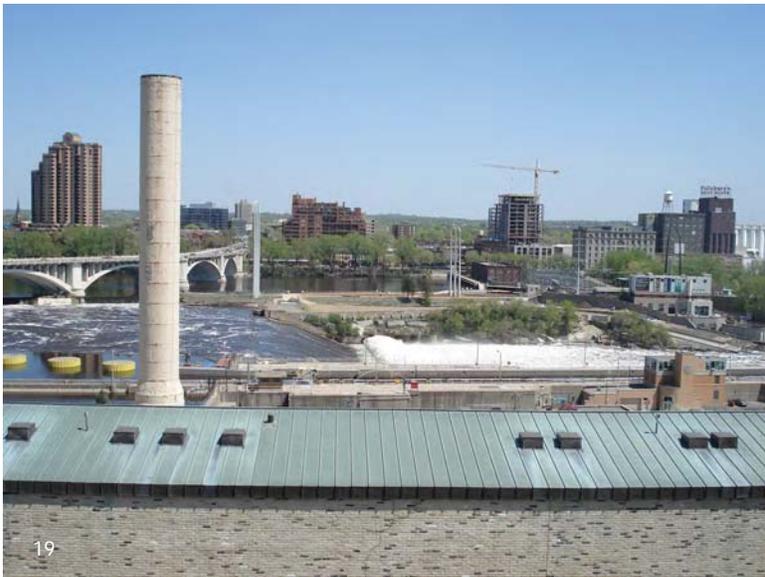
1 SITE PHOTO KEY PLAN  
KEY 1/32" = 1'-0"





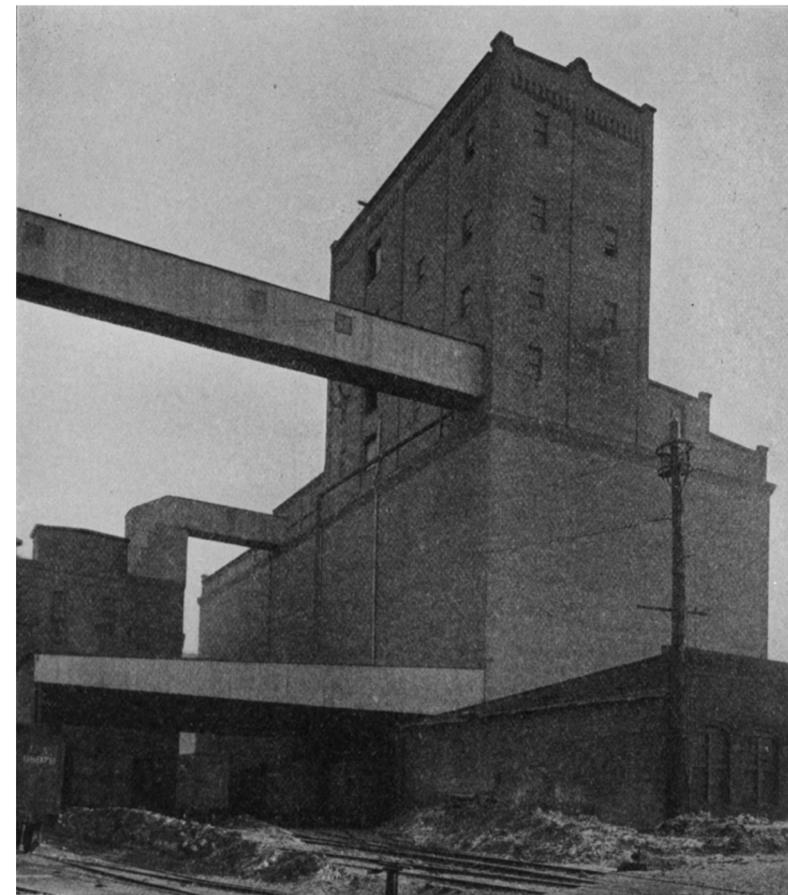








1985 - previous National Park Service application



1918 - courtesy Hennepin County Library

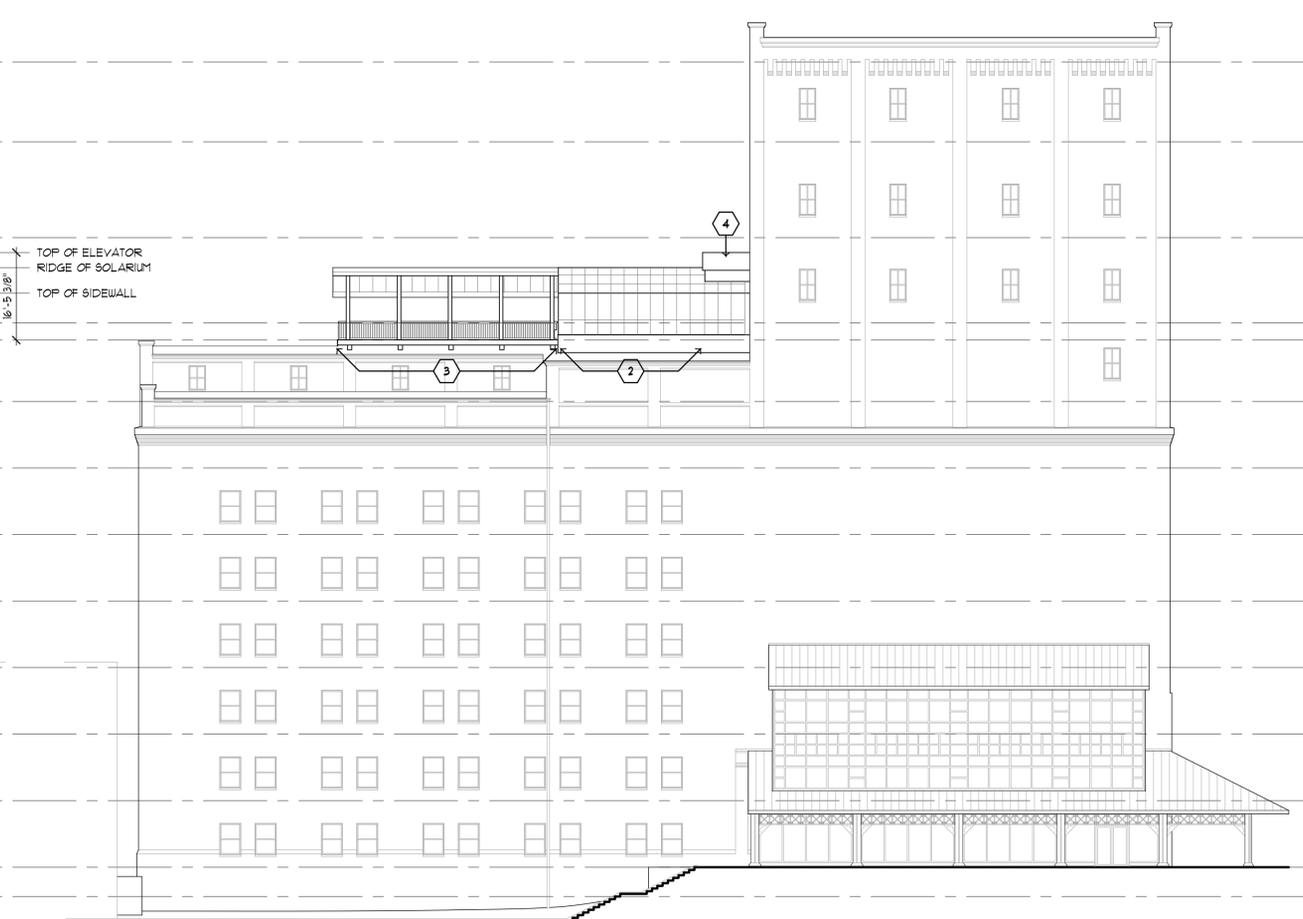
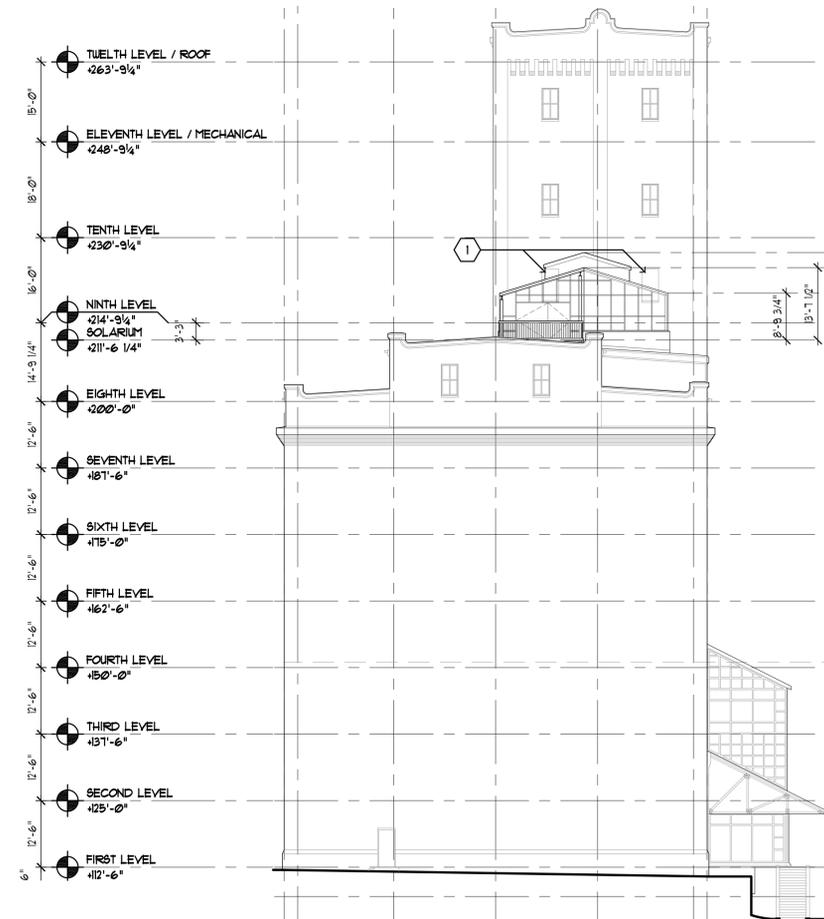
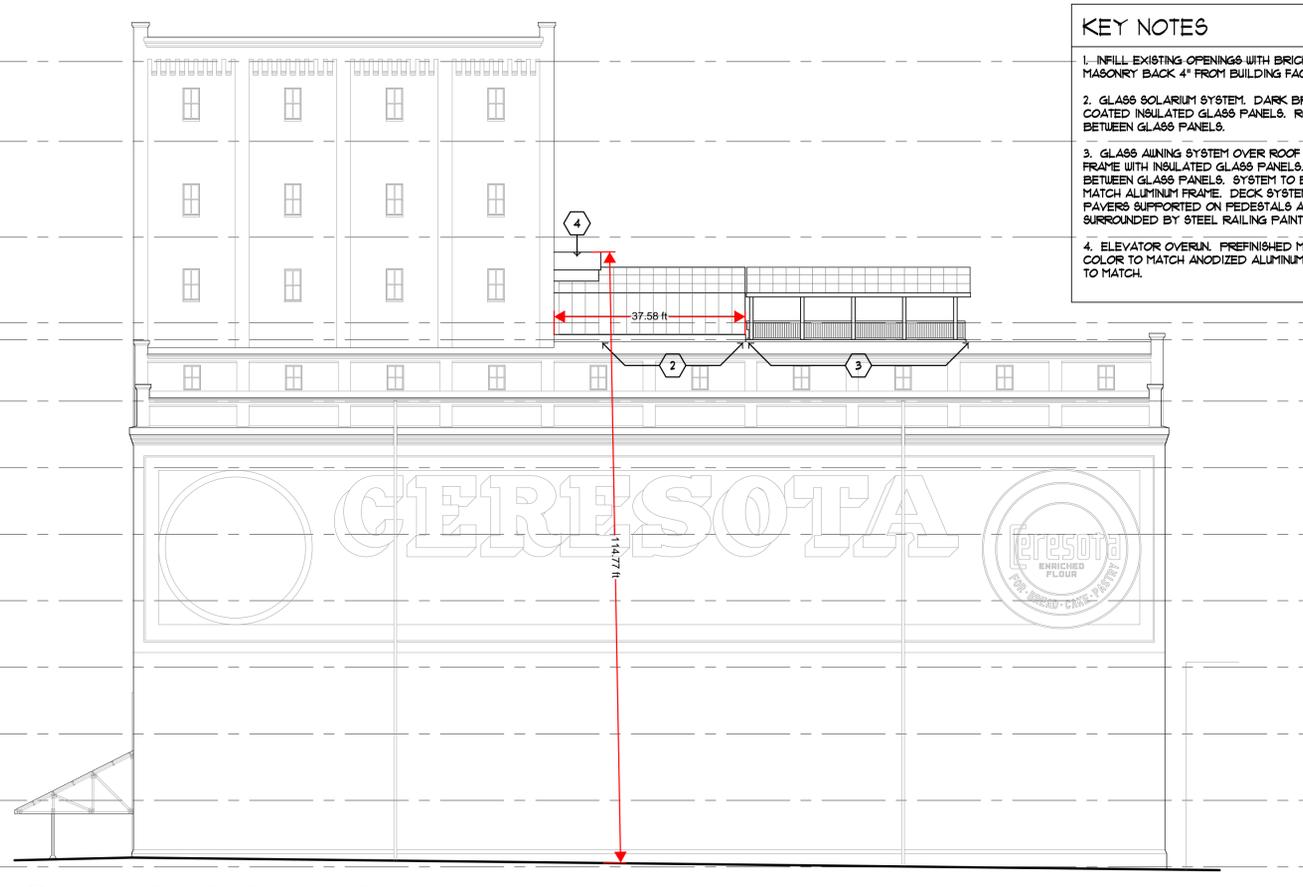
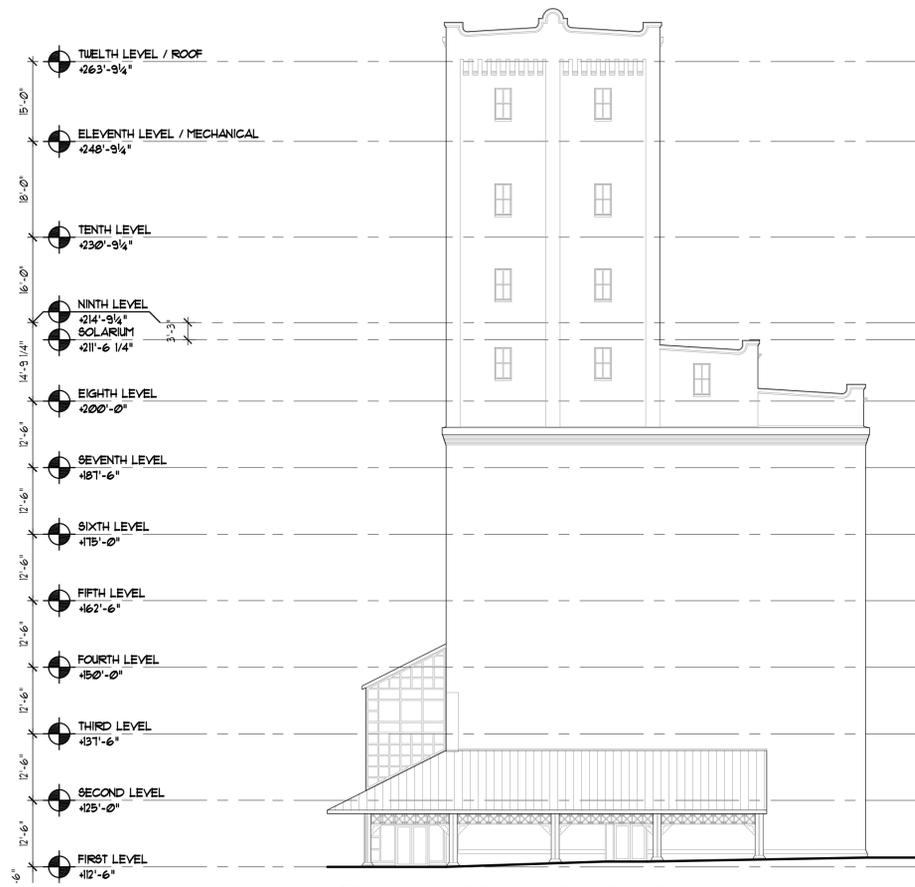


1912 - courtesy Minnesota Historical Society



1976 - courtesy Minnesota Historical Society

- KEY NOTES**
1. INFILL EXISTING OPENINGS WITH BRICK TO MATCH EXISTING STRUCTURE. SET MASONRY BACK 4" FROM BUILDING FACE TO INDICATE EXTENT OF EXISTING OPENING.
  2. GLASS SOLARIUM SYSTEM. DARK BRONZE ANODIZED ALUMINUM FRAME WITH LOW-E COATED INSULATED GLASS PANELS. ROOF PANELS TO INCORPORATE SOLAR ARRAY BETWEEN GLASS PANELS.
  3. GLASS AWNING SYSTEM OVER ROOF DECK. DARK BRONZE ANODIZED ALUMINUM FRAME WITH INSULATED GLASS PANELS. PANELS TO INCORPORATE SOLAR ARRAY BETWEEN GLASS PANELS. SYSTEM TO BE SUPPORTED ON STEEL FRAME PAINTED TO MATCH ALUMINUM FRAME. DECK SYSTEM SHALL BE PREMANUFACTURED CONCRETE FLOWERS SUPPORTED ON PEDESTALS ABOVE EXISTING ROOF. DECK TO BE SURROUNDED BY STEEL RAILING PAINTED TO MATCH.
  4. ELEVATOR OVERUN. PREFINISHED METAL PANEL OVER INSULATED WALL. PANEL COLOR TO MATCH ANODIZED ALUMINUM. PREFINISHED STANDING SEAM METAL ROOF TO MATCH.

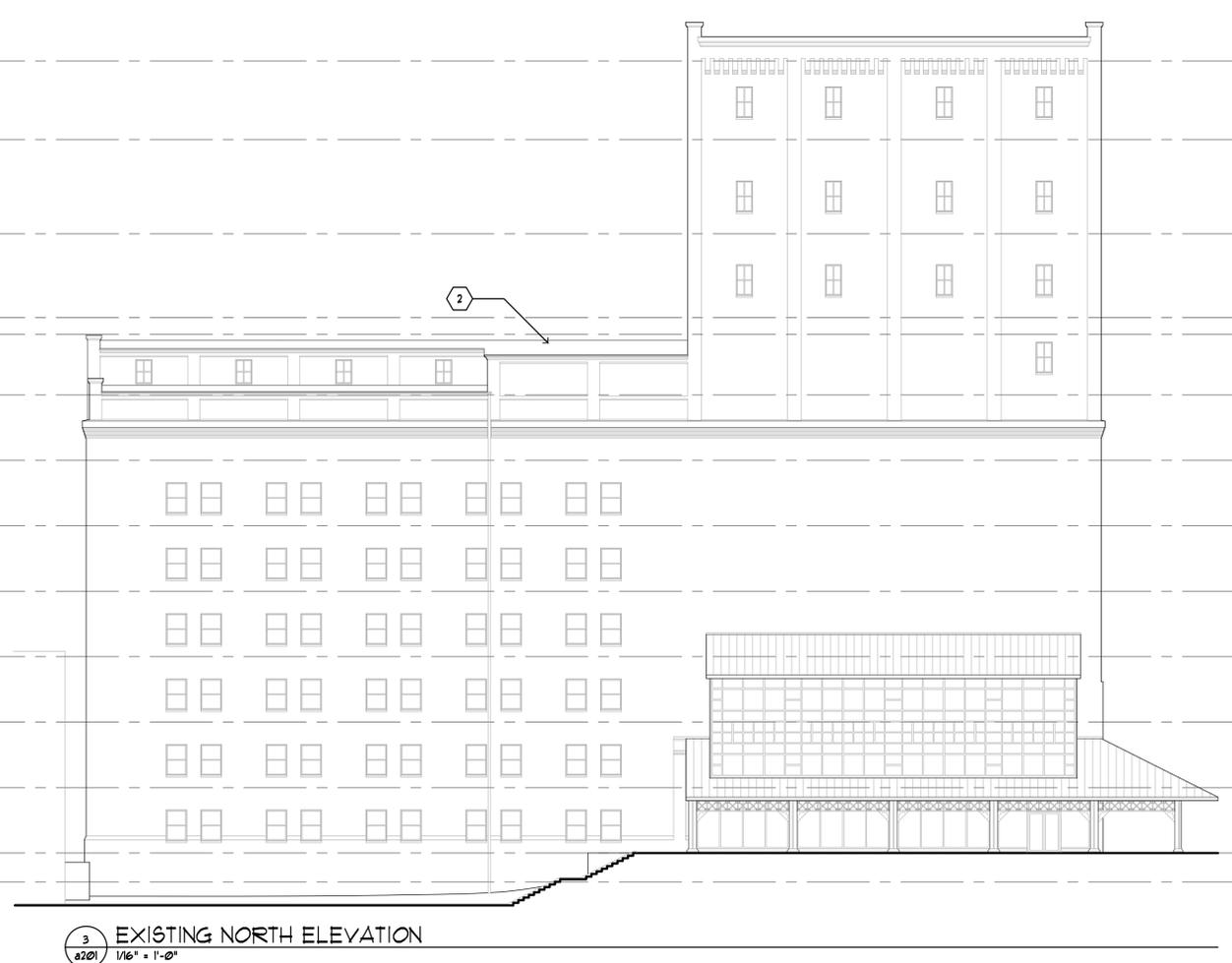
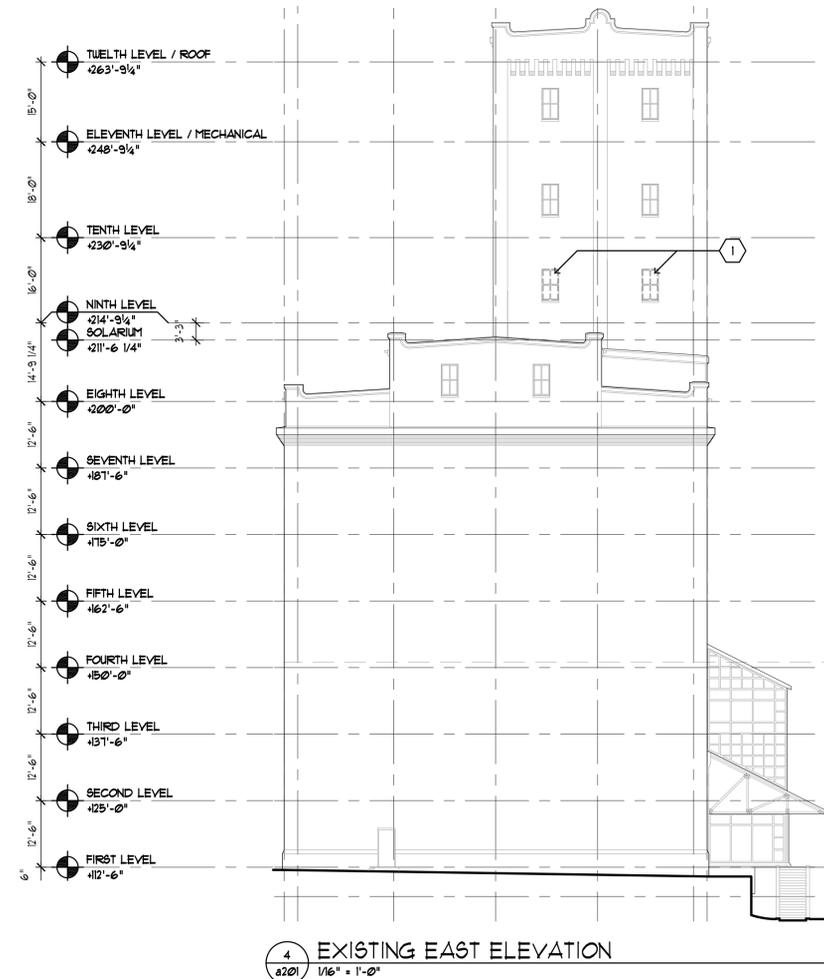
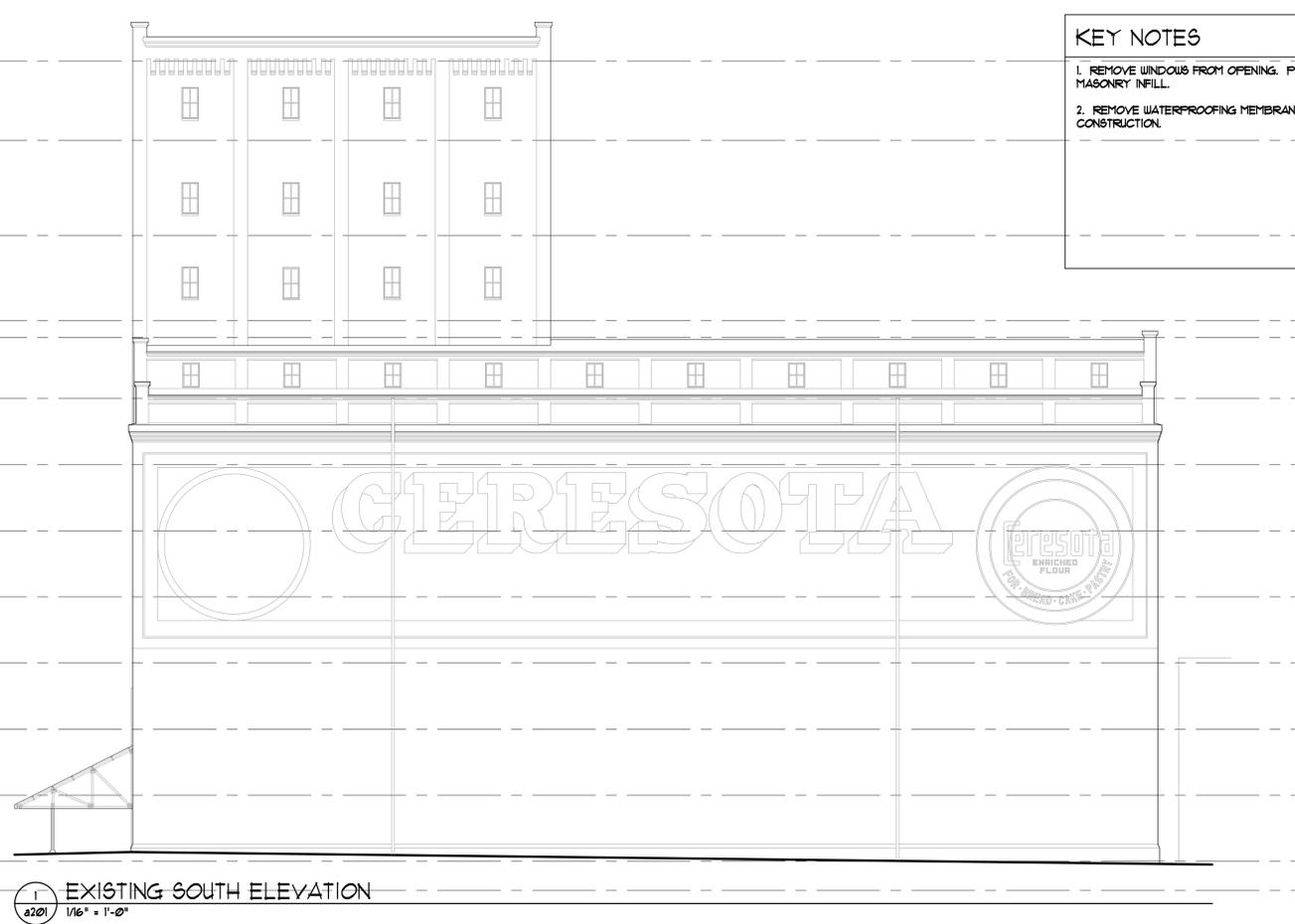
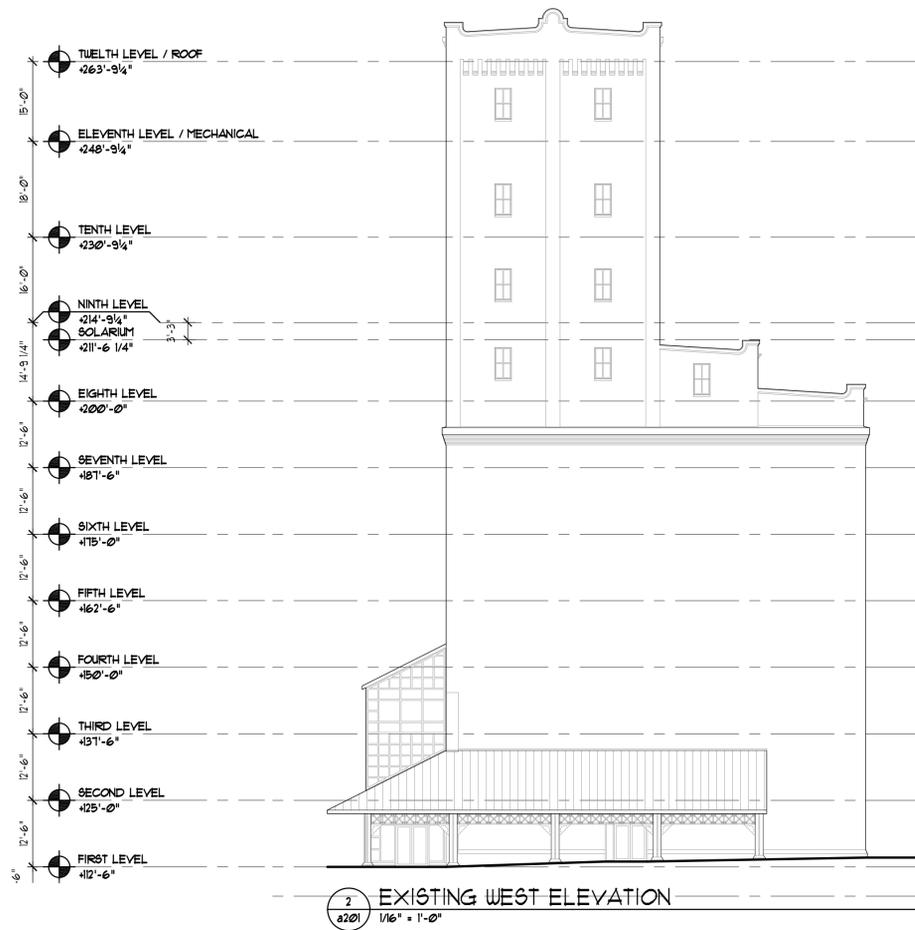


scale 1/16" = 1'-0"  
name

Land Use app. 12.31.2013  
HPC application 12.11.2013  
HPC review 11.25.2013  
proposed architectural elevation

**KEY NOTES**

1. REMOVE WINDOWS FROM OPENING. PREPARE EXISTING OPENING TO RECEIVE NEW MASONRY INFILL.
2. REMOVE WATERPROOFING MEMBRANE AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION.



scale 1/16" = 1'-0"  
name

Land Use app. 12.31.2013  
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existing architectural elevation



proposed - view from southwest



existing - view from southwest

tanek

architecture  
specialty millwork  
virtual vision  
project management

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Ceresota Senior Housing

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the state of Minnesota.

name date

license number:

project #  
scale:  
name:

HPC submittal review  
12.11.2013

a-1



proposed - view from southeast



existing - view from southeast

Ceresota Senior Housing

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name date

license number:

project #  
scale:  
name:

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12.11.2013



proposed - view from east



existing - view from east

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license number:

project #  
scale:  
name:

HPC submittal review  
12.11.2013



proposed - view from Stone Arch Bridge



existing - view from Stone Arch Bridge

Ceresota Senior Housing

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name date

license number:

project #  
scale:  
name:

HPC submittal review  
12.11.2013



proposed - aerial view of solarium

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scale:  
name:

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12.11.2013



proposed - aerial view of solarium

Ceresota Senior Housing

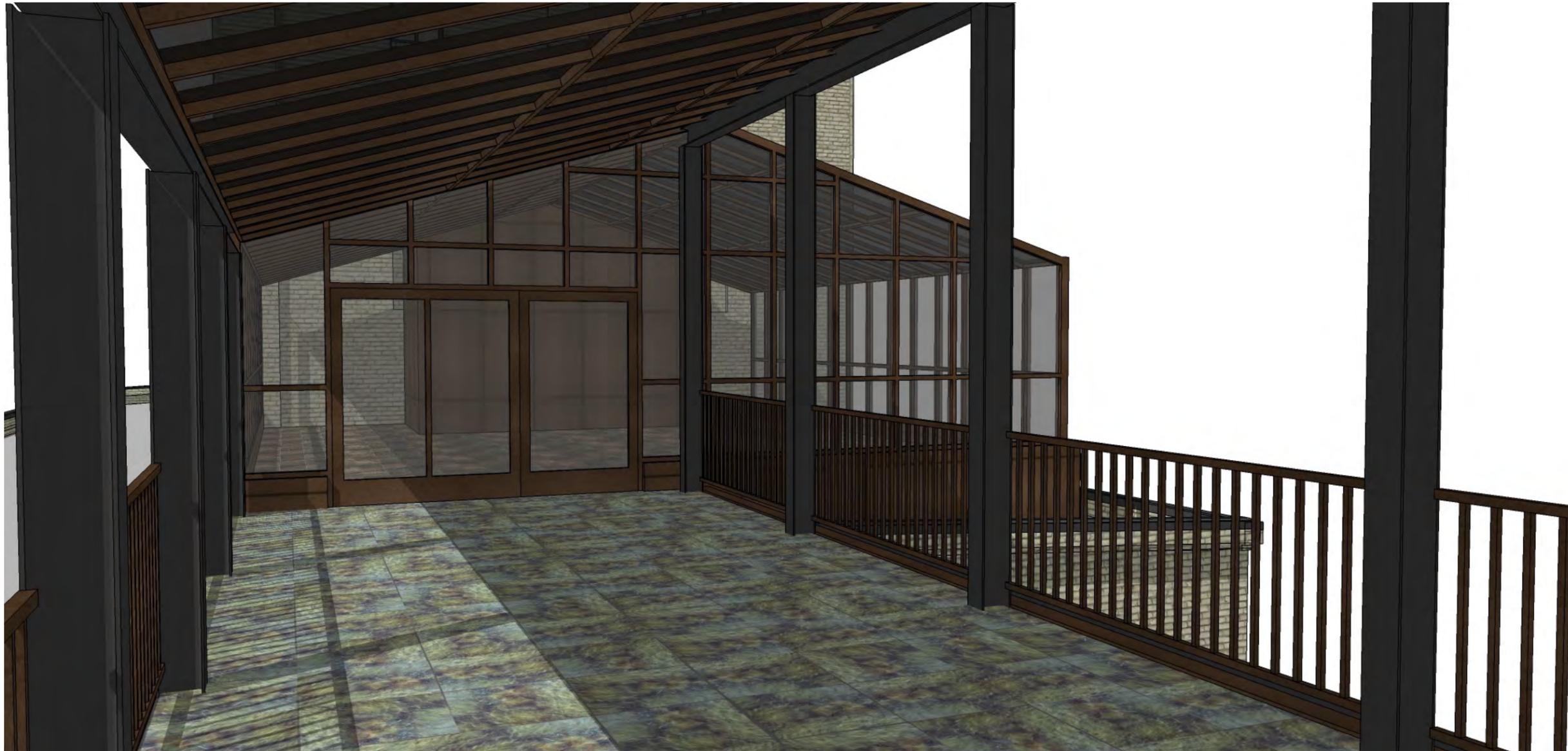
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the state of minnesota.

name date

license number:

project #  
scale:  
name:

HPC submittal review  
12.11.2013



proposed - view through solarium

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name date

license number:

project #  
scale:  
name:

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proposed - aerial view of glass roof

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name date

license number:

project #  
scale:  
name:

HPC submittal review  
12.11.2013



proposed monument signs

Ceresota Senior Housing

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name date

license number:

project #  
scale:  
name:

HPC submittal review  
12.11.2013



existing monument signs

