

City of Minneapolis
Department of Community Planning and Economic Development
250 S. 4th Street, Room 300 PSC
Minneapolis, MN 55415-1385

MEMORANDUM

DATE: May 8, 2014

TO: City Planning Commissioners – Committee of the Whole

FROM: Becca Farrar, Senior City Planner

SUBJECT: Kraus Anderson - 501-523 9th St S, 502-518 9th St S, and 811 5th Ave S

Kraus Anderson is proposing to consolidate its Twin Cities operations in a new 4-story, 80,000 square foot office building. The building would be LEED-certified and contain office workspace for 250 to 270 employees, conference rooms, a training center, a cafeteria, a fitness area and a total of 242 off-street parking spaces (48 underground parking spaces and 194 surface parking spaces). The property is zoned B4N (Downtown Neighborhood) District and is located in the DP (Downtown Parking) Overlay District.

The existing Kraus Anderson facility, located at 525 8th Street South, will remain in use until the new building is complete. Once the new facility is occupied, the existing building will be demolished for additional surface parking. The applicant has stated that they do intend to pursue development on the remainder of the lot but no detail on potential future phases has been included as part of this application.

The exterior materials proposed on the new building include brick, manufactured stone, zinc, metal panel and a combination of spandrel and vision glass. The fenestration would be shaded by vertical fins on the west and north elevations and horizontal overhangs on the south and east elevations.

Formal land use applications have not been submitted to date; however, based on a cursory review of the proposal, the following land use applications appear necessary based on the proposed development:

- (1) Amendment to the existing CUP to allow parking in the DP Overlay District (in areas on the site where no parking is currently located);
- (2) A variance of the minimum FAR requirement in the B4N District from 2.0 to .73;

- (3) A variance of the parking maximum based on the gross square footage of the proposed building from 80 to 242 spaces;
- (4) Site plan review;
- (5) Preliminary and Final Plat.

CPED Staff has concerns regarding the amount of surface parking proposed for the development as the supply encourages single-occupancy vehicular trips for nearly every employee that would work in the building. In addition, there is no guarantee for future phased development on the remainder of the parcel. The proposal results in the underdevelopment of the site as over 80% of the lot is covered by the proposed surface parking lot. As currently proposed, the parking lot would appear to meet the 20% landscaping requirement.

Committee of the Whole - Project Description
Kraus Anderson Corporate Headquarters
Minneapolis, MN



Kraus Anderson will be consolidating its Twin Cities operations in a new 80,000 square-foot, 4-story office building on their current property at the corner of Eighth Street South and Fifth Avenue South in downtown Minneapolis. The building will contain office space for 270 employees, conference rooms, a training center, a cafeteria and a fitness area. An outdoor terrace on the second floor of the office building will provide an exterior respite for staff. In addition to 48 underground parking spaces and 194 surface parking spaces, the site development will include the required green space and landscape elements as well as pedestrian links desired by the Elliot Park Neighborhood.

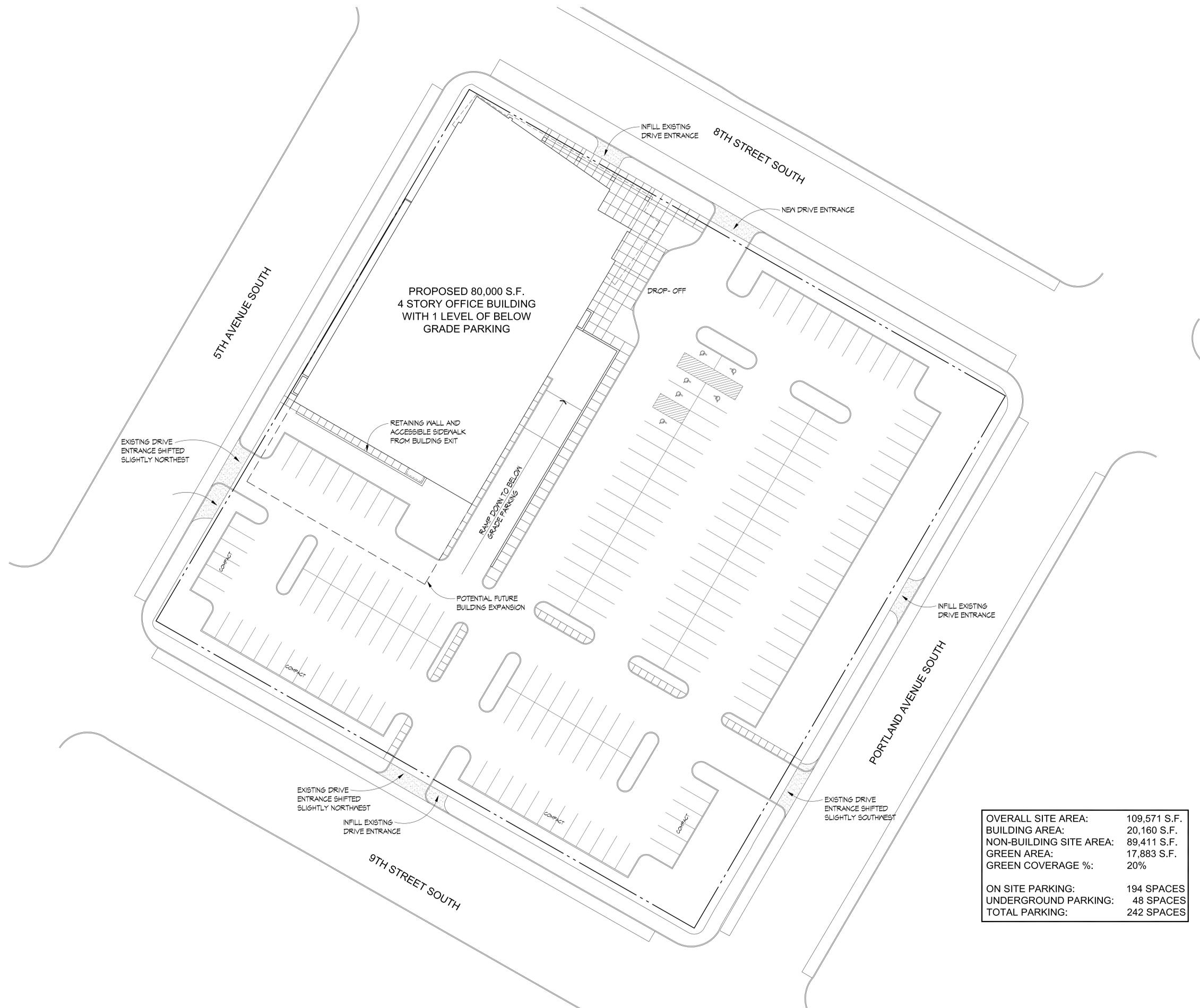
The new office building will be clad in a variety of materials including brick, manufactured stone, zinc, metal panel and a combination of spandrel and vision glass. The fenestration will be shaded by vertical fins on the west and north elevations and horizontal overhangs on the south and east elevations. Kraus Anderson is committed to energy and material conservation, and the project has been registered with the USGBC for LEED certification.

The existing Kraus Anderson facility will remain in use until the new building is complete. Once the new facility is occupied, the existing building will be demolished to make way for future phases of development. Given the site's location and B4N zoning, it is Kraus Anderson's intent to increase the development's density in future phases as market-opportunities arise.

As part of the Land Use Application, Kraus Anderson will be requesting the following variances and a CUP amendment.

- A variance from the required FAR in the B4N District. Kraus Anderson is requesting that the minimum FAR requirement be reduced from 2.0 to .73.
- A parking variance. Kraus Anderson is requesting an increase from the maximum parking requirement of 80 to 242.
- A CUP amendment allowing surface parking on portions of the site where parking is not currently located (primarily the existing building area).

Kraus Anderson looks forward to occupying the new building in 2015 and continuing the company's long history in Minneapolis.



OVERALL SITE AREA:	109,571 S.F.
BUILDING AREA:	20,160 S.F.
NON-BUILDING SITE AREA:	89,411 S.F.
GREEN AREA:	17,883 S.F.
GREEN COVERAGE %:	20%
ON SITE PARKING:	194 SPACES
UNDERGROUND PARKING:	48 SPACES
TOTAL PARKING:	242 SPACES

SITE PLAN

Issues and Revisions:

Commission No. 41100-13184
Drawn by JL
Checked by RH, AM

SHEET

A1.2

1 SITE PLAN
A1.2 1"=20'-0"



LANDSCAPE INSTALLATION:

COORDINATE THE PHASES OF CONSTRUCTION AND PLANTING INSTALLATION WITH OTHER CONTRACTORS WORKING ON SITE.

NO PLANTING WILL BE INSTALLED UNTIL COMPLETE GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.

WHERE SOD ABUTS PAVED SURFACES, FINISHED GRADE OF SOD SHALL BE HELD 1" BELOW SURFACE ELEVATION OF TRAIL, SLAB, CURB, ETC.

SOD ALL DESIGNATED AREAS DISTURBED DUE TO GRADING. SOD SHALL BE LAID PARALLEL TO THE CONTOURS AND SHALL HAVE STAGGERED JOINTS. ON SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES, THE SOD SHALL BE STAKED TO THE GROUND.

ALL PLANT MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AMERICAN ASSOCIATION OF NURSERYMEN. UNLESS NOTED OTHERWISE, DECIDUOUS SHRUBS SHALL HAVE AT LEAST 5 CANES AT THE SPECIFIED SHRUB HEIGHT. ORNAMENTAL TREES SHALL HAVE NO V CROTCHES AND SHALL BEGIN BRANCHING NO LOWER THAN 3' ABOVE ROOT BALL. STREET AND BOULEVARD TREES SHALL BEGIN BRANCHING NO LOWER THAN 6' ABOVE FINISHED GRADE.

PLAN TAKES PRECEDENCE OVER PLANT SCHEDULE IF DISCREPANCIES IN QUANTITIES EXIST. SPECIFICATIONS TAKE PRECEDENCE OVER NOTES.

ALL PROPOSED PLANTS SHALL BE LOCATED AND STAKED AS SHOWN ON PLAN. LANDSCAPE ARCHITECT MUST APPROVE ALL STAKING OF PLANT MATERIAL PRIOR TO ANY AND ALL DIGGING.

NO PLANT MATERIAL SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVAL IS REQUESTED OF THE LANDSCAPE ARCHITECT BY THE LANDSCAPE CONTRACTOR PRIOR TO THE SUBMISSION OF A BID AND/OR QUOTATION.

ADJUSTMENTS IN LOCATION OF PROPOSED PLANT MATERIALS MAY BE NEEDED IN FIELD. SHOULD AN ADJUSTMENT BE ADVISED, THE LANDSCAPE ARCHITECT MUST BE NOTIFIED.

ALL PLANT MATERIALS SHALL BE FERTILIZED UPON INSTALLATION WITH DRIED BONE MEAL, OTHER APPROVED FERTILIZER MIXED IN WITH THE PLANTING SOIL PER THE MANUFACTURER'S INSTRUCTIONS OR MAY BE TREATED FOR SUMMER AND FALL INSTALLATION WITH AN APPLICATION OF GRANULAR 0-20-20 OF 12 OZ PER 2.5" CALIPER PER TREE AND 6 OZ PER SHRUB WITH AN ADDITIONAL APPLICATION OF 10-10-10 THE FOLLOWING SPRING IN THE TREE SAUCER.

ALL PLANTING AREAS RECEIVING GROUND COVER, PERENNIALS, ANNUALS, AND/OR VINES SHALL RECEIVE A MINIMUM OF 12" DEPTH OF PLANTING SOIL CONSISTING OF AT LEAST 45 PARTS TOPSOIL, 45 PARTS PEAT OR MANURE AND 10 PARTS SAND.

ALL PLANTS TO BE INSTALLED AS PER PLANTING DETAILS.

WRAPPING MATERIAL SHALL BE CORRUGATED PVC PIPING 1" GREATER IN CALIBER THAN THE TREE BEING PROTECTED OR QUALITY, HEAVY, WATERPROOF CREPE PAPER MANUFACTURED FOR THIS PURPOSE. WRAP ALL DECIDUOUS TREES PLANTED IN THE FALL PRIOR TO 12-1 AND REMOVE ALL WRAPPING AFTER 5-1.

BLACK METAL EDGER TO BE USED TO CONTAIN SHRUBS, PERENNIALS, AND ANNUALS WHERE BED MEETS SOD UNLESS NOTED OTHERWISE.

ALL SHRUB BED MASSINGS TO RECEIVE 3" DEEP SHREDDED HARDWOOD MULCH AND FIBER MAT WEED BARRIER.

ALL TREES TO RECEIVE 4" DEEP SHREDDED HARDWOOD MULCH WITH NO MULCH IN DIRECT CONTACT WITH TREE TRUNK.

ALL ANNUAL AND PERENNIAL PLANTING BEDS TO RECEIVE 3" DEEP SHREDDED HARDWOOD MULCH WITH NO WEED BARRIER.

SPREAD GRANULAR PRE-EMERGENT HERBICIDE (PREEN OR EQUAL) PER MANUFACTURER'S RECOMMENDATIONS UNDER ALL MULCHED AREAS.

VERIFY EXISTING/PROPOSED IRRIGATION SYSTEM LAYOUT AND CONFIRM COMPLETE LIMITS OF IRRIGATION PRIOR TO SUPPLYING SHOP DRAWINGS.

LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AN IRRIGATION LAYOUT PLAN AND SPECIFICATION AS A PART OF THE SCOPE OF WORK WHEN BIDDING. THESE SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ORDER AND/OR INSTALLATION. IT SHALL BE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT ALL SOD-DESIGNED AND PLANTED AREAS ARE IRRIGATED PROPERLY, INCLUDING THOSE AREAS DIRECTLY AROUND AND ADJUTING BUILDING FOUNDATION.

THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH A WATERING/LAWN IRRIGATION SCHEDULE APPROPRIATE TO THE PROJECT SITE CONDITIONS AND TO PLANT MATERIAL GROWTH REQUIREMENTS.

IF THE LANDSCAPE CONTRACTOR IS CONCERNED OR PERCEIVES ANY DEFICIENCIES IN THE PLANT SELECTIONS, SOIL CONDITIONS OR ANY OTHER SITE CONDITION WHICH MIGHT NEGATIVELY AFFECT PLANT ESTABLISHMENT, SURVIVAL OR GUARANTEE, HE MUST BRING THESE DEFICIENCIES TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO PROCUREMENT AND/OR INSTALLATION.

CONTRACTOR SHALL SUBMIT A WRITTEN REQUEST FOR THE OWNER ACCEPTANCE INSPECTION OF ALL LANDSCAPE AND SITE IMPROVEMENTS.

CONTRACTOR IS RESPONSIBLE FOR ON-GOING MAINTENANCE OF ALL NEWLY INSTALLED MATERIALS UNTIL TIME OF OWNER ACCEPTANCE. ANY ACTS OF VANDALISM OR DAMAGE WHICH MAY OCCUR PRIOR TO OWNER ACCEPTANCE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL PROVIDE THE OWNER WITH A MAINTENANCE PROGRAM INCLUDING, BUT NOT NECESSARILY LIMITED TO, PRUNING, FERTILIZATION AND DISEASE/PEST CONTROL.

CONTRACTOR SHALL GUARANTEE NEW PLANT MATERIAL THROUGH ONE CALENDAR YEAR FROM THE DATE OF OWNER ACCEPTANCE.

WARRANTY (ONE FULL GROWING SEASON) FOR LANDSCAPE MATERIALS SHALL BEGIN ON THE DATE OF ACCEPTANCE BY THE LANDSCAPE ARCHITECT AFTER THE COMPLETION OF PLANTING OF ALL LANDSCAPE MATERIALS. NO PARTIAL ACCEPTANCE WILL BE CONSIDERED.

REPRODUCIBLE AS-BUILT DRAWING(S) OF ALL LANDSCAPE INSTALLATION AND SITE IMPROVEMENTS UPON COMPLETION OF CONSTRUCTION INSTALLATION AND PRIOR TO PROJECT ACCEPTANCE.

UNLESS NOTED OTHERWISE THE APPROPRIATE DATES FOR SPRING PLANT MATERIAL INSTALLATION AND SOD/PLACEMENT IS FROM THE TIME GROUND HAS THAWED TO JUNE 15.

FALL SODDING IS GENERALLY ACCEPTABLE FROM AUGUST 15 - NOVEMBER 1. PLANTING OUTSIDE THESE DATES IS NOT RECOMMENDED. ANY ADJUSTMENT MUST BE APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT.

CONIFEROUS PLANTING MAY OCCUR FROM AUGUST 15 - OCTOBER 1 AND FALL DECIDUOUS PLANTING FROM THE FIRST FROST UNTIL NOVEMBER 15. PLANTING OUTSIDE THESE DATES IS NOT RECOMMENDED. ANY ADJUSTMENT MUST BE APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT.

PROTECT ALL EXISTING OAKS ON SITE SCHEDULED TO REMAIN. IF EXISTING OAKS ARE DAMAGED IN ANY MANNER, ABOVE OR BELOW GROUND IN THE ROOT SYSTEM, AN ASPHALTIC TREE PRUNING PAINT SHOULD BE APPLIED IMMEDIATELY AFTER WOUNDING. OAKS ARE NOT TO BE PRUNED, REMOVED OR TRANSPLANTED BETWEEN APRIL 15 AND JULY 1. NOTIFY LANDSCAPE ARCHITECT IF THESE DATES ARE UNAVOIDABLE.

LANDSCAPE CONTRACTOR SHALL ESTABLISH TO HIS SATISFACTION THAT SOIL AND COMPACTION CONDITIONS ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE AT AND AROUND THE BUILDING SITE.

GENERAL NOTES:

CONTRACTOR SHALL VISIT SITE PRIOR TO SUBMITTING BID. HE SHALL INSPECT SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS RELATING TO THE NATURE AND SCOPE OF WORK.

VERIFY LAYOUT AND ANY DIMENSIONS SHOWN AND BRING TO THE ATTENTION OF THE LANDSCAPE ARCHITECT ANY DISCREPANCIES WHICH MAY COMPROMISE THE DESIGN AND/OR INTENT OF THE PROJECT'S LAYOUT.

ASSURE COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS GOVERNING THE WORK OR MATERIALS SUPPLIED.

CONTRACTOR SHALL PROTECT ALL EXISTING ROADS, CURBS/GUTTERS, TRAILS, TREES, LAWNS AND SITE ELEMENTS DURING PLANTING OPERATIONS. ANY DAMAGE TO SAME SHALL BE REPAIRED AT NO COST TO THE OWNER.

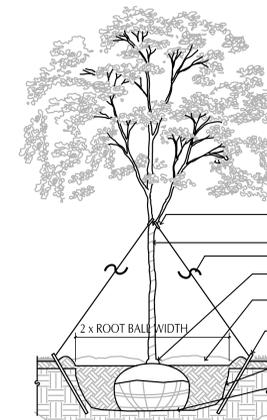
CONTRACTOR SHALL VERIFY ALIGNMENT AND LOCATION OF ALL UNDERGROUND AND ABOVE GRADE UTILITIES AND PROVIDE THE NECESSARY PROTECTION FOR SAME BEFORE CONSTRUCTION / MATERIAL INSTALLATION BEGINS (MINIMUM 10' - 0" CLEARANCE).

ALL UNDERGROUND UTILITIES SHALL BE LAID SO THAT TRENCHES DO NOT CUT THROUGH ROOT SYSTEMS OF ANY EXISTING TREES TO REMAIN.

EXISTING CONTOURS, TRAILS, VEGETATION, CURB/GUTTER AND OTHER EXISTING ELEMENTS BASED UPON INFORMATION SUPPLIED TO LANDSCAPE ARCHITECT BY OTHERS. CONTRACTOR SHALL VERIFY ANY AND ALL DISCREPANCIES PRIOR TO CONSTRUCTION AND NOTIFY LANDSCAPE ARCHITECT OF SAME.

THE ALIGNMENT AND GRADES OF THE PROPOSED WALKS, TRAILS AND/OR ROADWAYS ARE SUBJECT TO FIELD ADJUSTMENT REQUIRED TO CONFORM TO LOCALIZED TOPOGRAPHIC CONDITIONS AND TO MINIMIZE TREE REMOVAL AND GRADING. ANY CHANGE IN ALIGNMENT MUST BE APPROVED BY LANDSCAPE ARCHITECT.

LANDSCAPE DETAILS:



THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL TREES IN A PLUMB POSITION THROUGH THE WARRANTY PERIOD. STAKING IS SUGGESTED, BUT NOT REQUIRED. ANY STAKING MUST CONFORM WITH PRACTICES AS DEFINED IN A.S.A. GUIDELINES FOR STANDARD PRACTICES.

PRUNE DAMAGED AND CROSSING BRANCHES AFTER PLANTING IS COMPLETE. CUT BACK WIRE BASKET REMOVE ALL FLAGGING AND LABELING FROM TREE.

WATER TREE THOROUGHLY DURING PLANTING OPERATIONS. PLACE BACKFILL IN 8-12" LIFTS AND SATURATE SOIL WITH WATER. DO NOT COMPACT MORE THAN NECESSARY TO MAINTAIN PLUMB.

16"x2" POLYPROPYLENE OR POLYETHYLENE STRAP

TREE WRAP TO FIRST BRANCH

SAFETY FLAGGING - ONE PER WIRE

ROOT FLARE EVEN WITH OR JUST ABOVE GRADE.

MULCH - 4" DEEP. NO MULCH IN CONTACT WITH TRUNK - SEE SPECS.

WOOD STAKE (OPTIONAL)

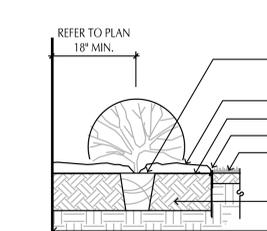
EDGE VARIES - SEE PLAN

SCARIFY BOTTOM AND SIDES OF HOLE PRIOR TO PLANTING

SET PLANT ON UNDISTURBED NATIVE SOIL

CONTRACTOR IS RESPONSIBLE FOR TESTING PERCOLATION RATES PRIOR TO PLANTING. NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY IF POOR DRAINAGE EXISTS.

1 DECIDUOUS TREE PLANTING DETAIL
SCALE: 1/2" = 1'-0"



LOOSEN ROOTS OF ALL CONTAINERIZED PLANTS. SCARIFY BOTTOM AND SIDES OF HOLE PRIOR TO PLANTING

SHRUBS TO BE PLACED SO THAT TOP OF CONTAINER SITS FLUSH WITH PROPOSED GRADE.

MULCH - 3" DEEP - SEE SPEC

LANDSCAPE FABRIC - SEE SPEC.

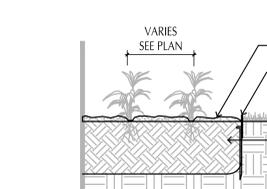
EDGING MATERIAL - SEE SPEC.

EDGE VARIES - REFER TO PLAN

PLANTING SOIL - SEE SPEC.

BUILDING WALL (TYP)

2 SHRUB PLANTING DETAIL
SCALE: 3/4" = 1'-0"



MULCH - SEE SPECS. 3" DEPTH

EDGER - SEE SPECS.

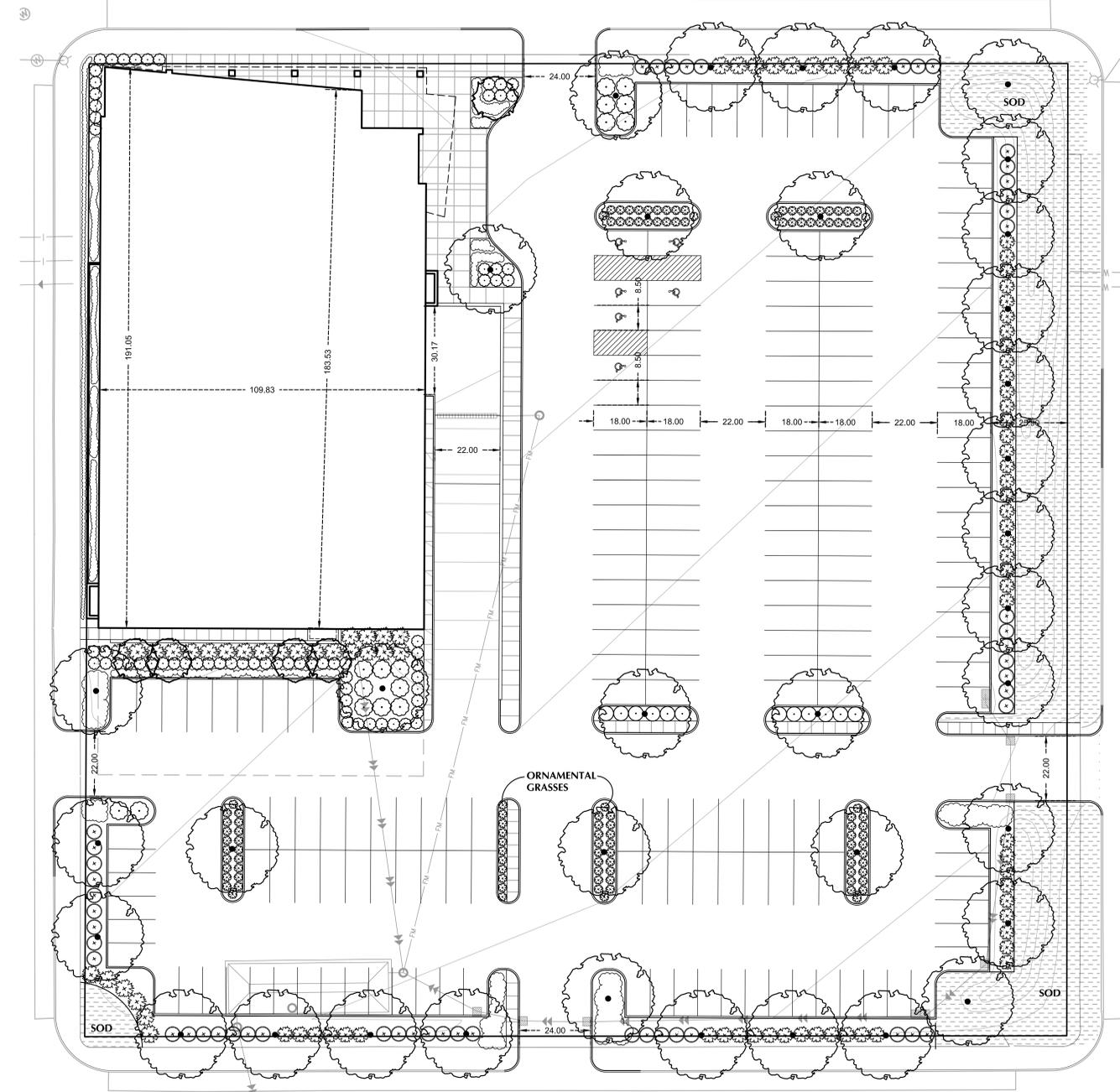
EDGE VARIES - SEE PLAN

12" DEPTH (MIN). LOAM PLANTING SOIL - SEE SPECS.

LOOSEN ROOTS OF PLANT MATERIAL PRIOR TO PLANTING

3 PERENNIAL PLANTING
SCALE: 3/4" = 1'-0"

LANDSCAPE PLAN:



PLANT PALETTE:

SYMBOL	PLANT TYPE / POTENTIAL SPECIES LIST	SYMBOL	PLANT TYPE / POTENTIAL SPECIES LIST	SYMBOL	PLANT TYPE / POTENTIAL SPECIES LIST		
(Circle with dot)	DECIDUOUS SHADE TREES - 2.5" CAL. RED SUNSET MAPLE Acer rubrum 'Frankred' LITTLELEAF LINDEN Tilia cordata BICOLOR OAK Quercus bicolor KENTUCKY COFFEETREE Gymnocladus dioica RIVER BIRCH Betula nigra SKYLINE HONEYLOCUST Gleditsia triacanthos var. inermis 'Skycole' VALLEY FORGE ELM Ulmus americana 'Valley Forge'	(Circle with cross)	PERENNIALS - #1 POT BLACK EYED SUSAN Rudbeckia hirta 'Goldstrum' SEDUM Sedum spp. DAYLILY Hemerocallis sp. ASTILBE Astilbe spp. ASTER Aster spp. KARL FOERSTER GRASS Calamagrostis acutiflora 'Karl Foerster' CORAL BELLS Heuchera spp.	(Circle with horizontal lines)	DECIDUOUS SHRUBS - #2 POT BUTTERFLY BUSH Dierivilla sessilifolia 'Butterfly' DOGWOOD Cornus spp. GRO-LOW FRAGRANT SUMAC Rhus aromatica 'Gro-Low' MARLEEN SNOWBERRY Symphoricarpos x doorenbosii 'Marleen' SPIREA Spirea spp. BARBERRY Berberis spp.	(Circle with vertical lines)	CONIFEROUS SHRUBS - #2 POT GREY OWL JUNIPER Juniperus virginiana 'Grey Owl' MINT JULEP JUNIPER Juniperus chinensis 'Montleg' TAUNTON YEW Taxus x media 'Taunton' BLUEBERRY DELIGHT JUNIPER Juniperus communis depressa 'AmiDak'
(Square with dot)	SOD						

LANDSCAPE REQUIREMENTS:

NOT LESS THAN 20% OF THE SITE NOT OCCUPIED BY BUILDINGS SHALL BE LANDSCAPED WITH 1 TREE PER 500 SF. AND 1 SHRUB PER 100 SF.

SITE = 109,571 SF.
BUILDING = 20,144 SF.
SITE - BUILDING = 89,427 SF.

REQUIRED LANDSCAPE AREA = 17,885 SF.
PROPOSED LANDSCAPE AREA = 17,799 SF.

TREES REQUIRED = 36
TREES REQUIRED = 36

SHRUBS REQUIRED = 179
SHRUBS PROPOSED = 254

POPE ARCHITECTS
POPE ARCHITECTS
1295 BANDANA BLVD N, SUITE 200
ST. PAUL, MN 55108-2735
(651) 642-9200 | FAX (651) 642-1101
www.popearch.com

KRAUS-ANDERSON
KRAUS ANDERSON
DOWNTOWN OFFICE
525 S. 8th STREET
MINNEAPOLIS, MN

COMMITTEE OF THE WHOLE
5-22-2014

LOUCKS ASSOCIATES
Planning • Civil Engineering • Land Surveying
Landscape Architecture • Environmental
7200 Hemlock Lane - Suite 300
Maple Grove, Minnesota 55369
Telephone: (763) 424-5505
www.loucksassociates.com

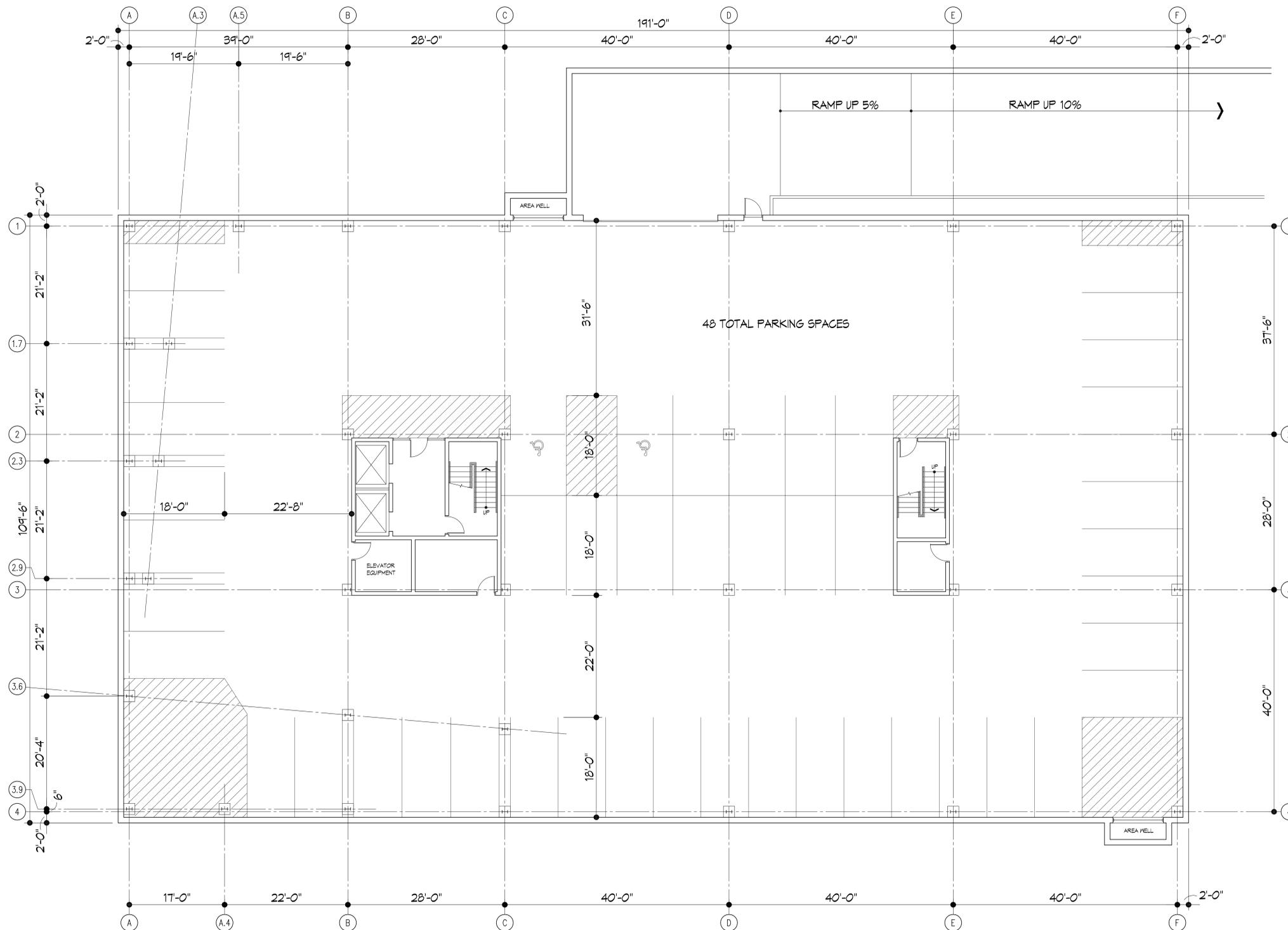
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of Minnesota.
Timothy J Fedie - LA
48303 License No. Date
LOUCKS Project # 13593

Issues and Revisions:

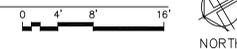
LANDSCAPE PLAN

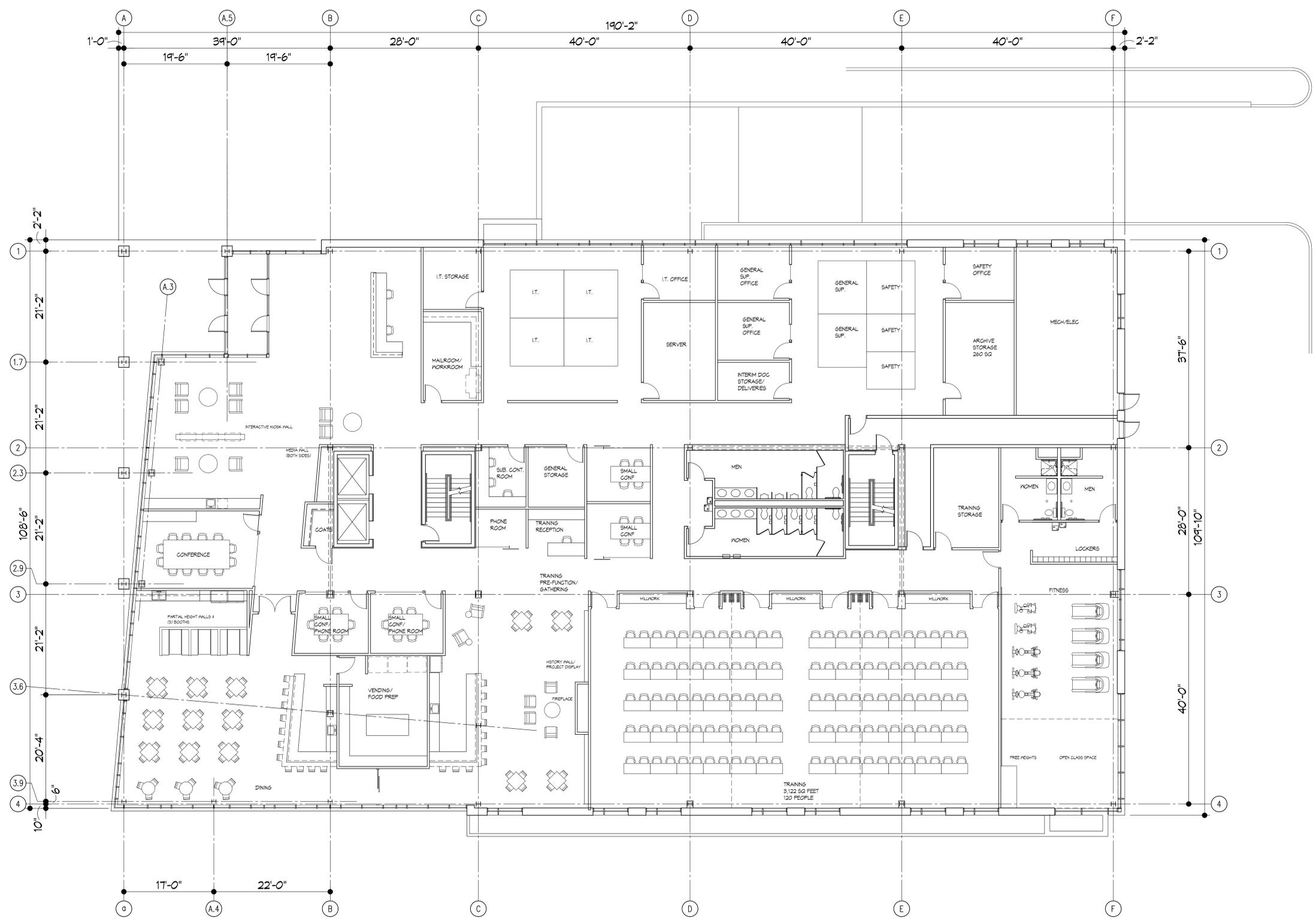
Commission No.	13-593.0
Drawn by	TJF
Checked by	TJF

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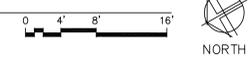


1 BASEMENT FLOOR PLAN - 20,915 G.S.F.
A2.1 1/8"=1'-0"





1 FIRST FLOOR PLAN - 20.073 G.S.F.
A2.2 1/8"=1'-0"



FIRST
FLOOR PLAN

Issues and Revisions:

Commission No. 41100-13184
Drawn by JL
Checked by RH, AM

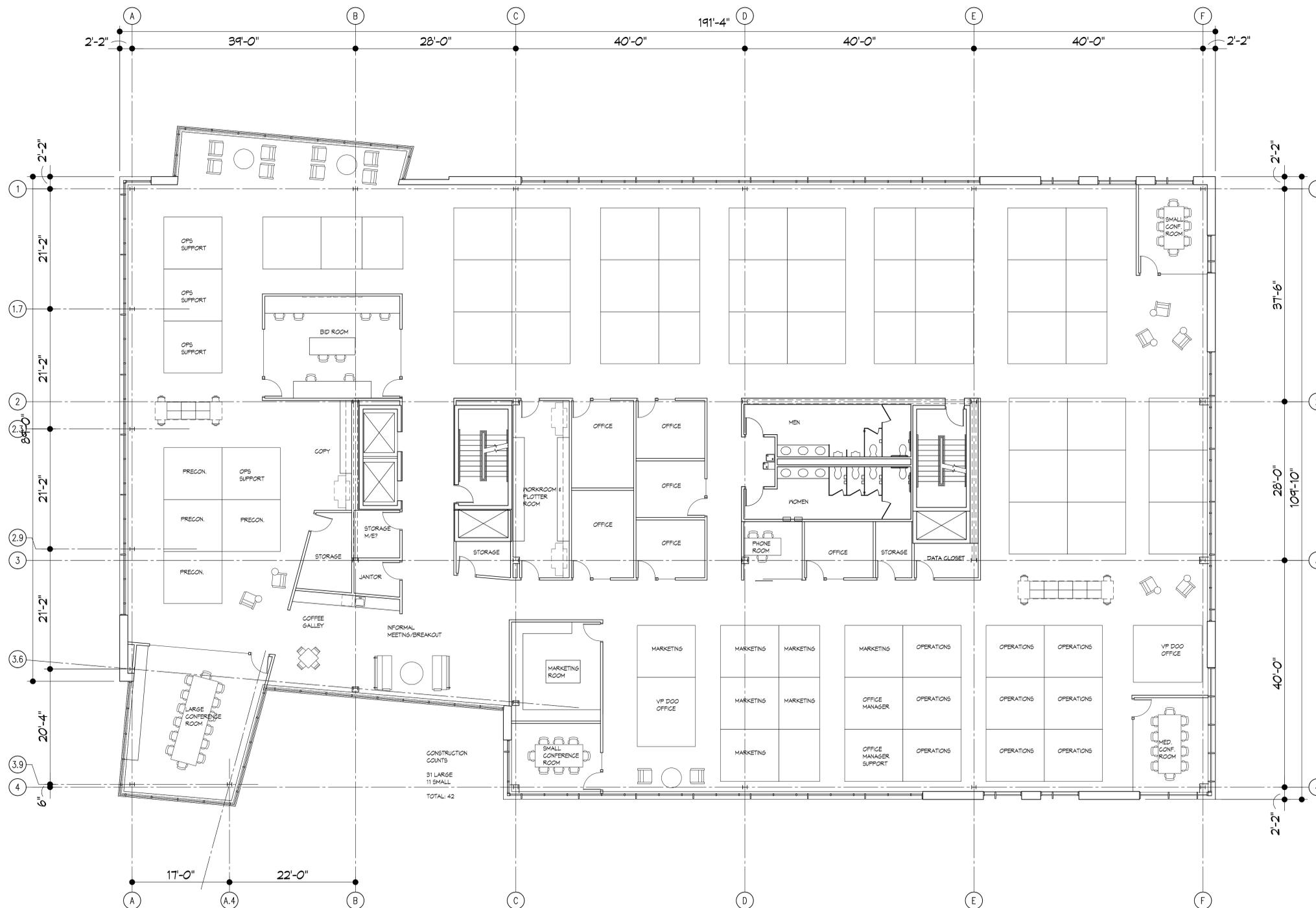
**THIRD
FLOOR PLAN**

Issues and Revisions:

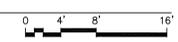
Commission No. 41100-13184
Drawn by JL
Checked by RH, AM

SHEET

A2.4



1 THIRD FLOOR PLAN - 20,504 G.S.F.
A2.4 1/8"=1'-0"



FOURTH FLOOR PLAN

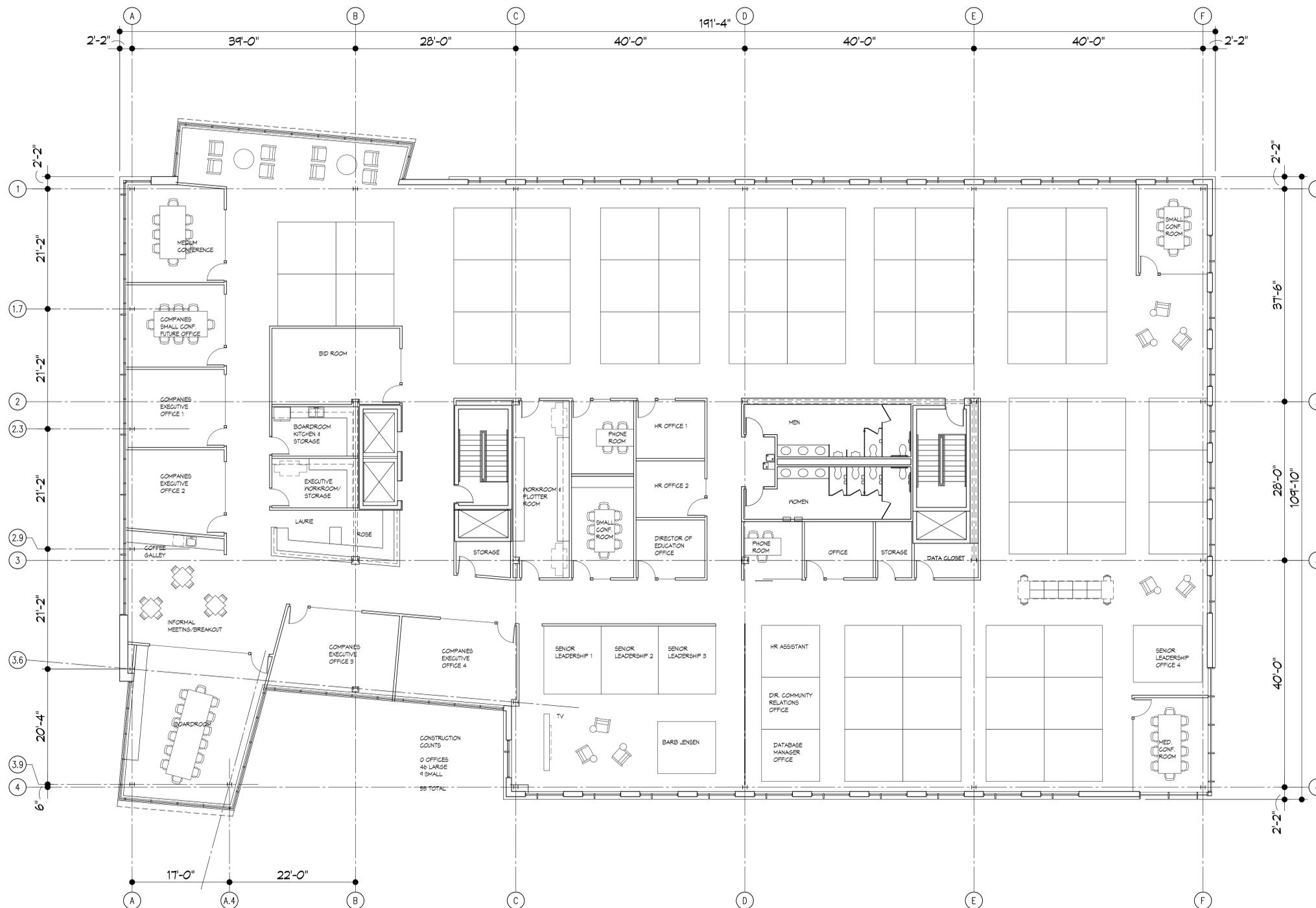
Issues and Revisions:

NO.	DESCRIPTION

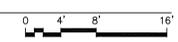
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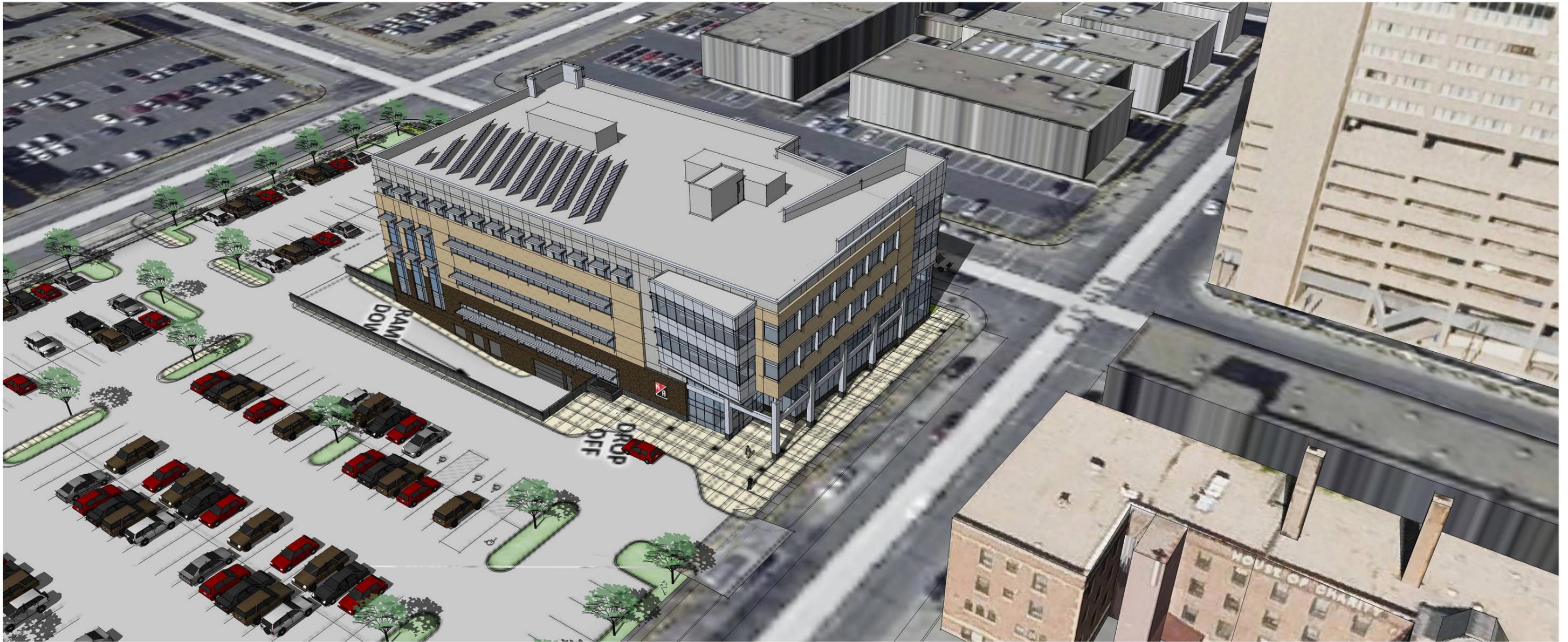
SHEET

A2.5



1 FOURTH FLOOR PLAN - 20,377 G.S.F.
A2.5 1/8"=1'-0"





BIRDSEYE VIEW



Kraus-Anderson Downtown Office

525 S. 8TH STREET, MINNEAPOLIS, MN

Committee of the Whole Exhibits

5-14-14 | COMM# 41100-13184





CONTEXT STREET VIEW IMAGE 1



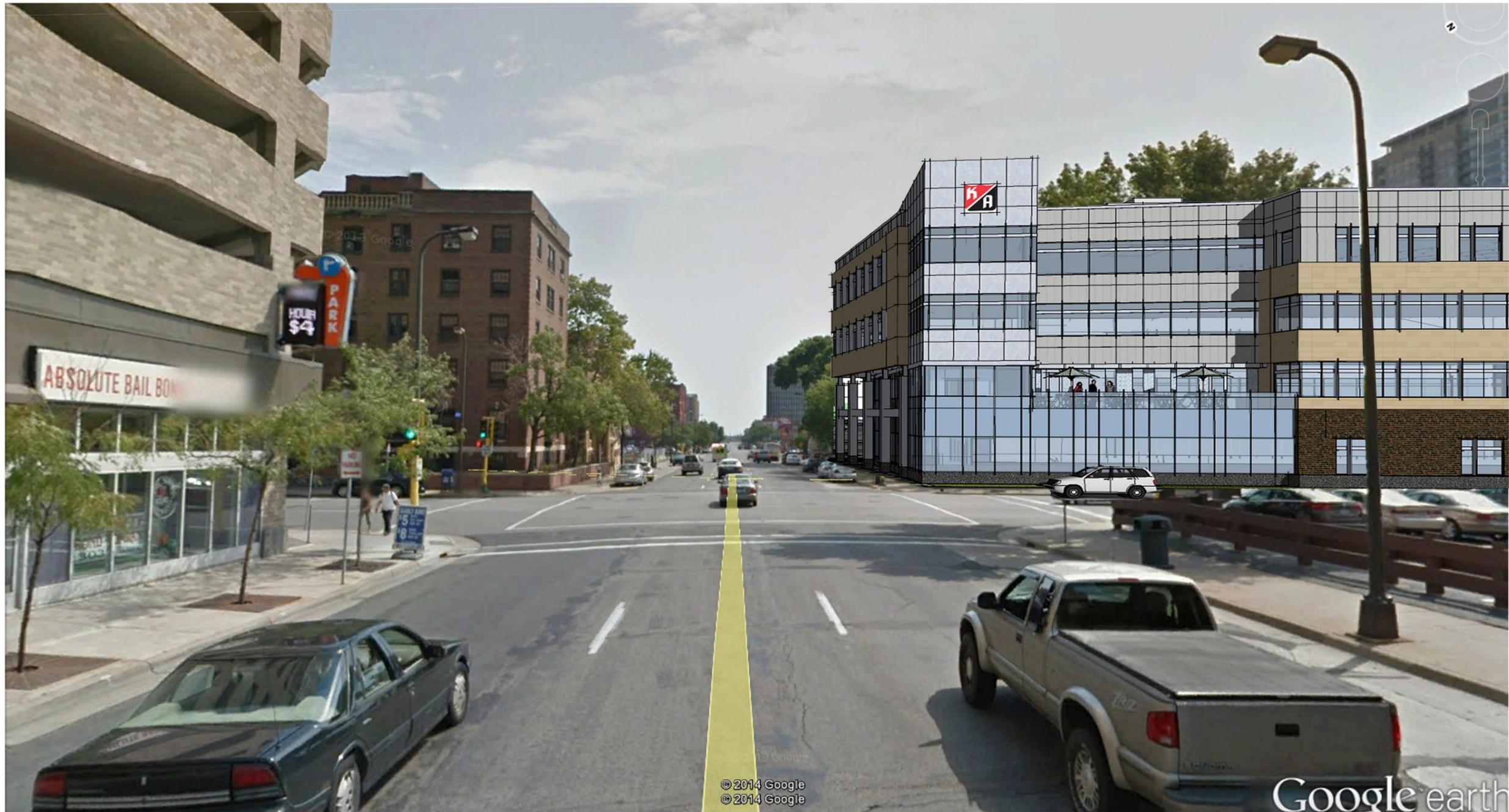
Kraus-Anderson Downtown Office

525 S. 8TH STREET, MINNEAPOLIS, MN

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CONTEXT STREET VIEW IMAGE 2



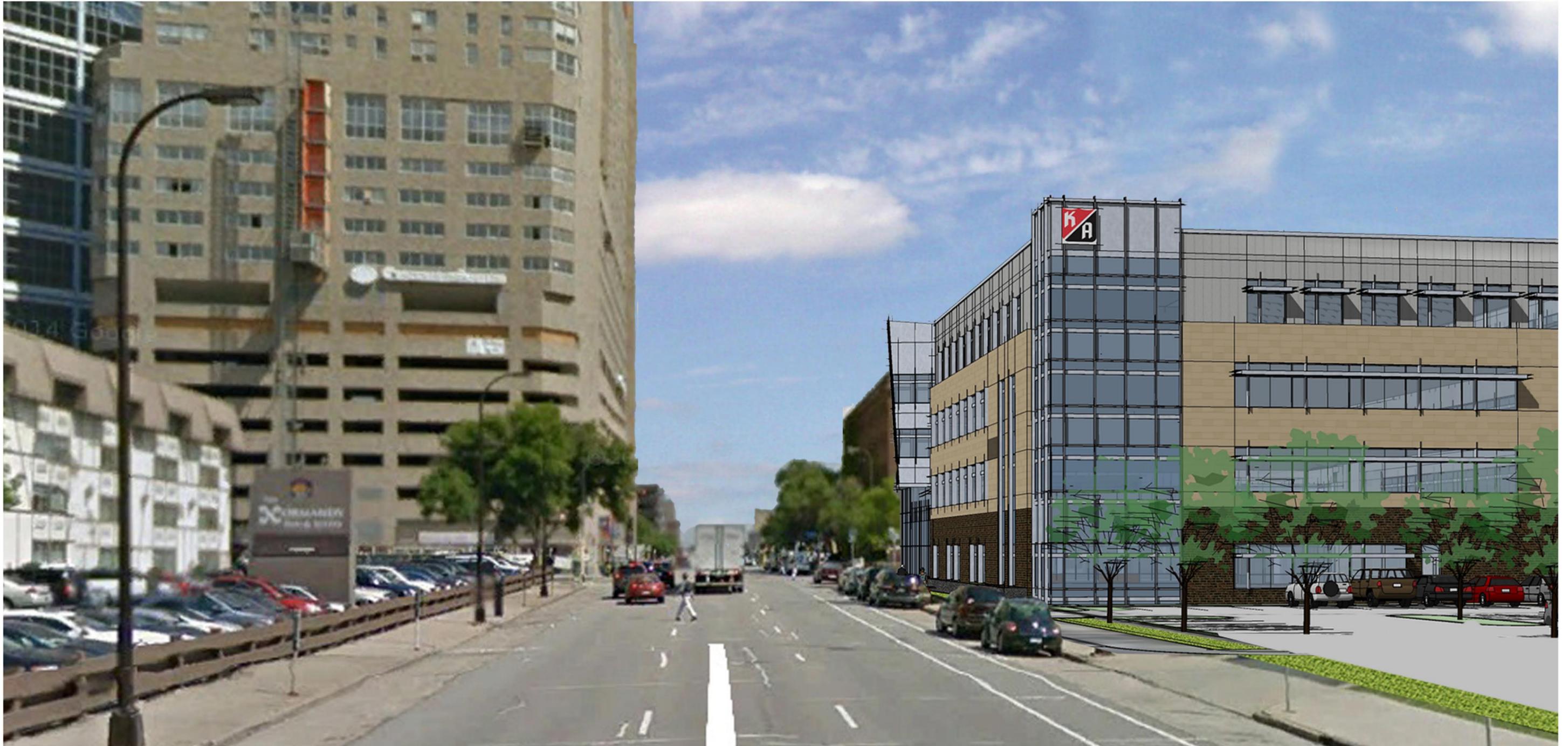
Kraus-Anderson Downtown Office

525 S. 8TH STREET, MINNEAPOLIS, MN

Committee of the Whole Exhibits

5-14-14 | COMM# 41100-13184





CONTEXT STREET VIEW IMAGE 3



Kraus-Anderson Downtown Office

525 S. 8TH STREET, MINNEAPOLIS, MN

Committee of the Whole Exhibits

5-14-14 | COMM# 41100-13184





62' top of parapet

8'-6"
14'-0"
14'-0"
14'-0"
16'-0"
12'-0"

- Prefinished metal coping
- Metal Panel Type A - Composite "Reynobond" Metal Panel
- Metal Panel Type B - Zinc Metal Panel
- Wall System - Masonry/ Precast Veneer TBD
- 1" Insulated clear vision glass in aluminum frame system
- Aluminum sunscreen
- Window System at 1st / 2nd Fl (North Elev, Lobby, Terrace) - 1" Insulated glass in aluminum frame system
- Aluminum clad column covers w/ 2' 6" stone base
- Face brick w/ 2' 6" stone base

EAST ELEVATION

Total Wall Area:	12,802 SF
Vision Glazing Area:	4,010 SF
Vision Glazing Percentage:	31%

ELEVATIONS



Kraus-Anderson Downtown Office

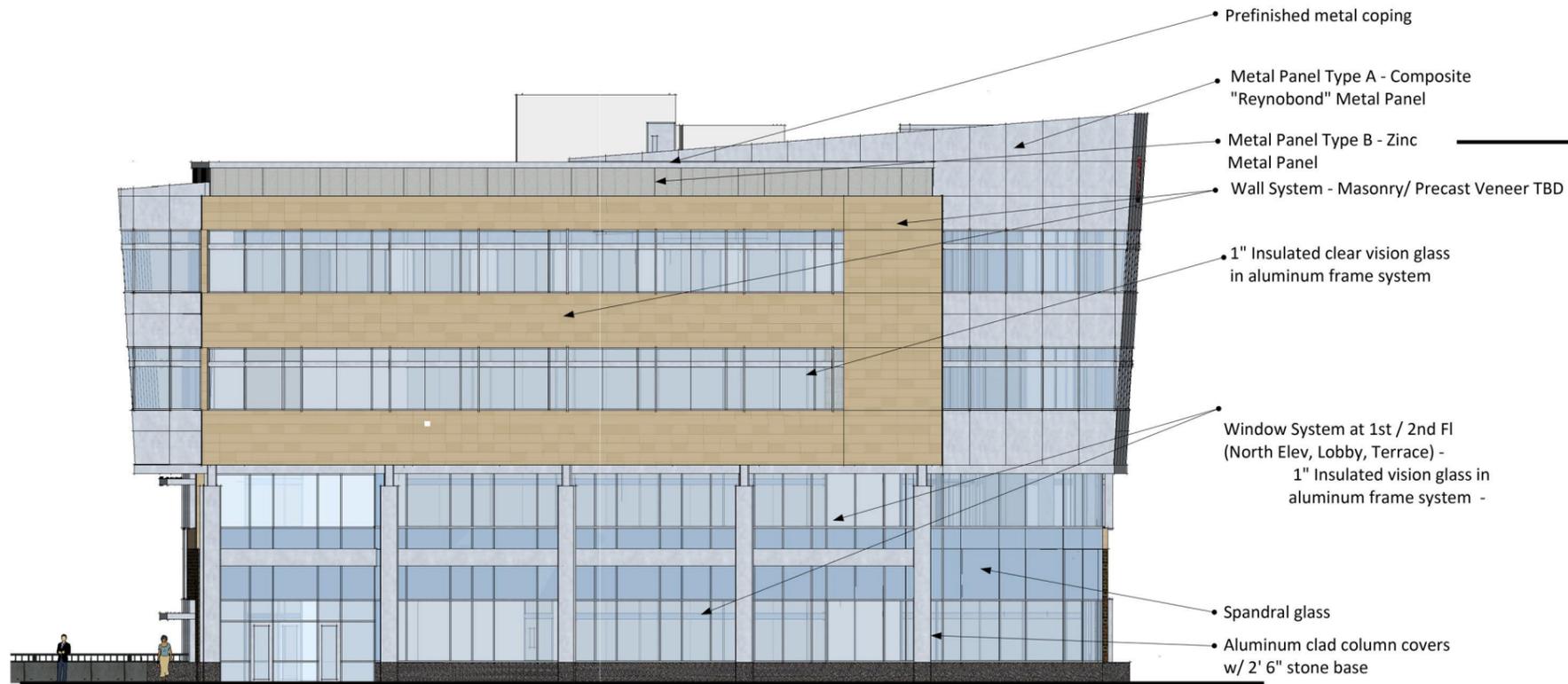
525 S. 8TH STREET, MINNEAPOLIS, MN

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KRAUS-ANDERSON®



NORTH ELEVATION

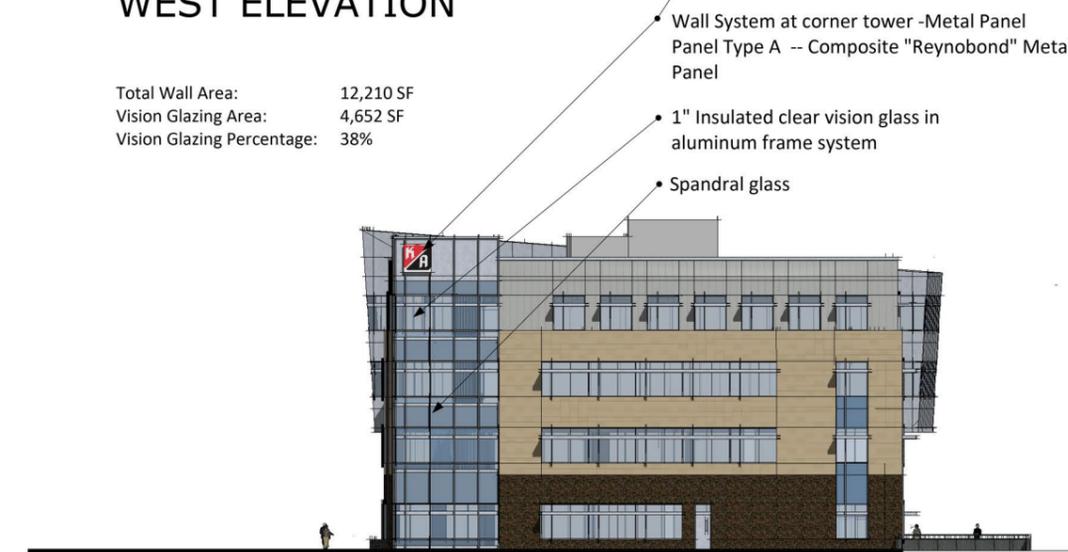
Total Wall Area: 7,164 SF
 Vision Glazing Area: 3,040 SF
 Vision Glazing Percentage: 42%

- Prefinished metal coping
- Metal Panel Type A - Composite "Reynobond" Metal Panel
- Metal Panel Type B - Zinc Metal Panel
- Wall System - Masonry/ Precast Veneer TBD
- 1" Insulated clear vision glass in aluminum frame system
- Window System at 1st / 2nd Fl (North Elev, Lobby, Terrace) - 1" Insulated vision glass in aluminum frame system -
- Spandral glass
- Aluminum clad column covers w/ 2' 6" stone base



WEST ELEVATION

Total Wall Area: 12,210 SF
 Vision Glazing Area: 4,652 SF
 Vision Glazing Percentage: 38%



SOUTH ELEVATION

Total Wall Area: 7,162 SF
 Vision Glazing Area: 2,026 SF
 Vision Glazing Percentage: 28%

- Wall System at corner tower -Metal Panel Panel Type A -- Composite "Reynobond" Metal Panel
- 1" Insulated clear vision glass in aluminum frame system
- Spandral glass

ELEVATIONS



Kraus-Anderson Downtown Office

525 S. 8TH STREET, MINNEAPOLIS, MN

Committee of the Whole Exhibits

5-14-14 | COMM# 41100-13184



KRAUS-ANDERSON®