



CPED STAFF REPORT

Prepared for the City Planning Commission

CPC Agenda Item #10
 July 14, 2014
 BZZ-6609 and PL-283

LAND USE APPLICATION SUMMARY

Property Location: 1227 4th Street Southeast and 425 13th Avenue Southeast
Project Name: Riverton Community Housing
Prepared By: [Hilary Dvorak](#), Principal Planner, (612) 673-2639
Applicant: Gary Ellis with Riverton Community Housing
Project Contact: Mary Novak with Project for Pride in Living
Request: To construct a new 66-unit residential building with ground floor commercial space.

Required Applications:

Rezoning	Of 1227 4 th Street Southeast from R5 Multiple-family District to OR3 High Institutional Office Residence District
Variance	To reduce the required 20.1-foot front yard setback along 4 th Street Southeast (this was noticed as a required 15-foot front yard setback)
Variance	To reduce the required 15-foot front yard setback along 13 th Avenue Southeast
Variance	To reduce the required 15-foot north interior side yard setback
Variance	To increase the maximum permitted size of a neighborhood serving retail sales and services use
Variance	To reduce the off-street parking requirement from 71 to 30 (this was noticed from 66 to 30)
Variance	To allow 3 wall signs over 14 feet in height
Site Plan Review	For a new 6-story, 66-unit residential building with ground floor commercial space.
Preliminary and final plat	PL-283

SITE DATA

Existing Zoning	R5 Multiple-family District and OR3 Institutional Office Residence District UA University Area Overlay District
Lot Area	25,530 square feet / .59 acres
Ward(s)	3
Neighborhood(s)	Marcy-Holmes
Designated Future Land Use	Urban Neighborhood
Land Use Features	Community Corridor (4 th Street Southeast) Activity Center (Dinkytown)
Small Area Plan(s)	Master Plan for the Marcy-Holmes Neighborhood DRAFT Marcy-Holmes Neighborhood Master Plan DRAFT Dinkytown USA Business District Plan

Date Application Deemed Complete	June 18, 2014	Date Extension Letter Sent	Not applicable
End of 60-Day Decision Period	August 17, 2014	End of 120-Day Decision Period	Not applicable

BACKGROUND

SITE DESCRIPTION AND PRESENT USE. The property is located in southeast Minneapolis on the corner of 13th Avenue Southeast and 4th Street Southeast. The site is occupied by an existing 16-unit residential building that will be demolished as part of this project. The existing building was constructed in 1963.

SURROUNDING PROPERTIES AND NEIGHBORHOOD. The site is surrounded by residential properties of varying densities and commercial uses. The site is located within walking distance of the University of Minnesota Twin Cities campus. The site is located in the Marcy-Holmes neighborhood.

PROJECT DESCRIPTION. The applicant owns the existing Riverton building located at 1227 4th Street Southeast and the existing Chateau building located at 425 13th Avenue Southeast. The applicant is proposing to demolish the existing 16-unit Riverton building and construct a new 6-story, 66-unit residential building with ground floor commercial space on that site. The applicant is not proposing to make any alterations or modifications to the existing Chateau building which is an 18-story, 127-unit residential building with ground floor commercial space.

The existing Riverton site is zoned R5 Multiple-family District and the existing Chateau site is zoned OR3 Institutional Office Residence District. Because the lots are being replatted as part of this development the underlying zoning needs to be unified as the zoning ordinance does not allow one to create a lot with split zoning. The applicant is proposing to rezone the entire site to the OR3 Institutional Office Residence District. Both of the properties are located in the UA University Area Overlay District.

In order to accommodate a larger site for the new building the applicant is proposing to reconfigure the existing property boundaries through a replat. The existing Chateau property has frontage along 4th Street Southeast. This portion of the property provides access to the underground parking for the building. There is also an access easement over this portion of the property that provides vehicular access to the adjacent residential properties on the block. The vehicular access to the Chateau and the access easement for the adjacent buildings will remain in place even after the construction of the new building is complete.

RELATED APPROVALS. No land use applications have been reviewed for this site.

PUBLIC COMMENTS. No public comments have been received for this site. Any correspondence received prior to the public meeting will be forwarded on to the Planning Commission for consideration.

ANALYSIS

REZONING

The Department of Community Planning and Economic Development has analyzed the application for a rezoning of 1227 4th Street Southeast from the R5 Multiple-family District to the OR3 High Institutional Office Residence District based on the following [findings](#):

1. *Whether the amendment is consistent with the applicable policies of the comprehensive plan.*

The future land use map in *The Minneapolis Plan for Sustainable Growth* designates this site as Urban Neighborhood. Rezoning the subject property to the OR3 Institutional Office Residence District would be consistent with the applicable policies of *The Minneapolis Plan for Sustainable Growth*. The following principles and policies outlined in the plan apply to this proposal:

Land Use Policy 1.4: Develop and maintain strong and successful commercial and mixed use areas with a wide range of character and functions to serve the needs of current and future users.

1.4.1 Support a variety of commercial districts and corridors of varying size, intensity of development, mix of uses, and market served.

Land Use Policy 1.5: Promote growth and encourage overall city vitality by directing new commercial and mixed use development to designated corridors and districts.

1.5.1 Support an appropriate mix of uses within a district or corridor with attention to surrounding uses, community needs and preferences, and availability of public facilities.

Land Use Policy 1.9: Through attention to the mix and intensity of land uses and transit service, the City will support development along Community Corridors that enhances residential livability and pedestrian access.

1.9.1 Support the continued presence of existing small-scale retail sales and commercial services along Community Corridors.

1.9.6 Promote more intensive residential development along Community Corridors near intersections with Neighborhood Commercial Nodes and other locations where it is compatible with existing character.

Land Use Policy 1.12: Support Activity Centers by preserving the mix and intensity of land uses and by enhancing the design features that give each center its unique urban character.

1.12.1 Encourage a variety of commercial and residential uses that generate activity all day long and into the evening.

1.12.2 Encourage mixed use buildings, with commercial uses located on the ground floor and secure entrances for residential uses.

1.12.3 Encourage active uses on the ground floor of buildings in Activity Centers.

1.12.6 Encourage the development of high- to very-high density housing within the boundaries of Activity Centers.

2. *Whether the amendment is in the public interest and is not solely for the interest of a single property owner.*

The amendment will allow the applicant to construct a higher-density housing development on the site than what is currently there. The amendment will also allow the applicant to include ground floor commercial space within the building. The comprehensive plan and the current *Master Plan for the Marcy-Holmes Neighborhood* call for high- to very-high density housing on this site. In addition, the draft *Marcy-Holmes Neighborhood Master Plan* designates this site as Mixed Use and specifically encourages retail along the street facing sides of the property.

3. *Whether the existing uses of property and the zoning classification of property within the general area of the property in question are compatible with the proposed zoning classification, where the amendment is to change the zoning classification of particular property.*

Properties in the immediate area are zoned R5 Multiple-family District, OR3 Institutional Office Residence District, C1 Neighborhood Commercial District, C2 Neighborhood Corridor Commercial District and C3A Community Activity Center District. The site is surrounded by residential properties of varying densities and commercial uses. The site is also located within walking distance of the University of Minnesota Twin Cities campus. Given the surrounding zoning classifications, the context and uses in the area, as well as adopted policy, rezoning the subject property to the OR3 Institutional Office Residence District would be appropriate and compatible in this location.

4. *Whether there are reasonable uses of the property in question permitted under the existing zoning classification, where the amendment is to change the zoning classification of particular property.*

In general, there are reasonable uses of the property allowed under the R5 zoning classification. However, the request to rezone the property to the OR3 zoning classification is also reasonable. Rezoning the site to the OR3 zoning classification would allow limited commercial uses which is a desired goal of the draft *Marcy-Holmes Neighborhood Master Plan*.

5. *Whether there has been a change in the character or trend of development in the general area of the property in question, which has taken place since such property was placed in its present zoning classification, where the amendment is to change the zoning classification of particular property.*

The surrounding area is and has primarily remained a mixed-use area with residential developments of varying densities and a mixture of commercial uses.

VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance to reduce the required 20.1-foot front yard setback along 4th Street Southeast based on the following [findings](#):

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

The setback of the adjacent residential structure to the west from the front property line along 4th Street Southeast is 20.1 feet. The applicant is proposing to construct the building between five feet 11 inches and nine feet from the front property line. In addition, there will be a mechanical grate constructed five feet five inches from the front property line and stairs and a raised patio constructed up to the front property line. The stairs and patio are permitted obstructions but they exceed the zoning code dimensional allowances that would allow them to be constructed as of right.

The existing Chateau property has frontage along 4th Street Southeast. This portion of the property provides access to the underground parking for the building. There is also an access easement over this portion of the property that provides vehicular access to the adjacent residential properties on the block. The vehicular access to the Chateau and the access easement for the adjacent buildings will remain in place even after the construction of the new building is complete. Because of this situation the developable portion of the lot is limited and therefore the building needs to be constructed closer to the front property line along 4th Street Southeast. This is a unique circumstance of this property.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The site is located in an Activity Center and along a Community Corridor. The comprehensive plan policies for these land use features encourage constructing buildings up to the front property line. While the immediately adjacent building to the west is set back 20.1 feet from the front property line a new development just to the west of that building was built within two feet of the front property line. Given the access easement over the western portion of the property there will be 40 feet of open space between the proposed building and the immediately adjacent building to the west.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

The recent trend in development for new buildings in the area is to construct them within close proximity of the front property line. While the immediately adjacent building to the west is set back 20.1 feet from the front property line there will be 40 feet of open space between the two buildings given the access easement over the western portion of the property.

VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance to reduce the required 15-foot front yard setback along 13th Avenue Southeast based on the following [findings](#):

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

The required front yard setback in the OR3 zoning district is 15 feet. The setback of the adjacent residential structure to the north from the front property line along 13th Avenue Southeast is zero feet. It should be noted that the portion of the adjacent building that is located up to the front property line is the roof of the underground parking garage. The roof of the underground parking garage projects out of the ground approximately four to five feet. The tower portion of the adjacent building is set back 23.7 feet from the front property line along 13th Avenue Southeast. The applicant is proposing to construct the building between six feet and eight feet 10 inches from the front property line. In addition, there will be a raised patio constructed up to the front property line. The patio is a permitted obstruction but it exceeds the zoning code dimensional allowances that would allow it to be constructed as of right.

The existing Chateau property has frontage along 4th Street Southeast. This portion of the property provides access to the underground parking for the building. There is also an access easement over this portion of the property that provides vehicular access to the adjacent residential properties on the block. The vehicular access to the Chateau and the access easement for the adjacent buildings will remain in place even after the construction of the new building is complete. Because of this situation the developable portion of the lot is limited and therefore the building needs to be constructed closer to the front property line along 13th Avenue Southeast. This is a unique circumstance of this property.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The site is located in an Activity Center and along a Community Corridor. The comprehensive plan policies for these land use features encourage constructing buildings up to the front property line.

While the tower portion of the adjacent building to the north is set back 23.7 feet from the front property line it is also set back approximately 42 feet from the shared interior property line.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

The recent trend in development for new buildings in the area is to construct them within close proximity of the front property line. While the tower portion of the adjacent building to the north is set back 23.7 feet from the front property line it is also set back approximately 42 feet from the shared interior property line.

VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance to reduce the required 15-foot north interior side yard setback based on the following findings:

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

The required interior side yard setback for a six story building in the OR3 zoning district is 15 feet. The applicant is proposing to construct the building between six feet six inches and 12 feet from the north interior property line. In addition, there will be a mechanical grate constructed six feet six inches from the north interior property line and a transformer/generator located three feet from the north interior property line.

The existing Chateau property has frontage along 4th Street Southeast. This portion of the property provides access to the underground parking for the building. There is also an access easement over this portion of the property that provides vehicular access to the adjacent residential properties on the block. The vehicular access to the Chateau and the access easement for the adjacent buildings will remain in place even after the construction of the new building is complete. Because of this situation the developable portion of the lot is limited and therefore the building needs to be constructed closer to the north interior property line. This is a unique circumstance of this property.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The comprehensive plan encourages new developments to provide appropriate physical transitions and separation between buildings using green space, fencing, setbacks or orientation. The tower portion of the adjacent building is set back 42 feet from the shared north interior property line.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

The setback of the adjacent residential structure to the north from the north interior property line is 16 feet. It should be noted that the portion of the adjacent building that is located 16 feet from the north interior property line is the roof of the underground parking garage. The roof of the underground parking garage projects out of the ground approximately four to five feet. The tower portion of the adjacent building is set back 42 feet from the shared north interior property line.

VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance to increase the maximum permitted size of a neighborhood serving retail sales and services use based on the following findings:

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

The maximum size of a neighborhood serving retail sales and services use in the OR3 zoning district is 2,000 square feet. The size of the commercial space in the proposed building is 2,365 square feet and is located on the corner of 4th Street Southeast and 13th Avenue Southeast. Typically land located within the boundaries of an Activity Center is commercially zoned. In the commercial zoning districts, a retail sales and services use is allowed to be a minimum of 4,000 square feet as of right. As part of this development a portion of the parcel is being rezoned to the OR3 zoning district. This zoning classification was chosen because the rest of the parcel was already zoned OR3. This is a unique circumstance of this property.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

Providing a neighborhood serving retail sales and services use that is larger than 2,000 square feet will be in keeping with the spirit and intent of the ordinance and the comprehensive plan. The site is located in an Activity Center which encourages a variety of commercial uses on the ground floor of mixed use buildings that generate activity all day long and into the evening. The draft *Marcy-Holmes Neighborhood Master Plan* designates this site as Mixed Use and specifically encourages retail along the street facing sides of the property.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

There are commercial uses in most of the buildings located within the Dinkytown Activity Center. Providing a neighborhood serving retail sales and services use that is larger than 2,000 square feet will not be detrimental to the health, safety or welfare of the general public or of those utilizing the property or nearby properties.

VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance to reduce the off-street parking requirement from 71 to 30 based on the following findings:

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

The development site is located in the UA University Area Overlay District. In the UA University Area Overlay District, one-half parking space per bedroom but not less than one space per dwelling unit is required for the development. The applicant is proposing to have a total of 66 dwelling units and 115 bedrooms in the building. The commercial portion of the development requires a total of five parking spaces. Therefore, a total of 71 off-street parking spaces are required. The applicant is

proposing to have a total of 30 parking spaces located in one level of underground parking. The applicant owns the adjacent Chateau building which has a total of 127 dwelling units and 247 bedrooms. The commercial portion of this building requires a total of eight parking spaces. Therefore, a total of 135 off-street parking spaces are required. There are a total of 125 parking spaces located in three levels of enclosed parking and 10 surface parking spaces.

In total, between the two buildings, there are 193 dwelling units and 263 bedrooms. The combined parking requirement is 193 parking spaces for the residential and 13 for the commercial. In total, between the two buildings, there are 165 parking spaces provided. There is no commercial parking provided in either of the two buildings. For the residential portion of the building the parking factors out to be .85 parking spaces per dwelling unit or .63 parking spaces per bedroom. This is a unique circumstance of this property.

The applicant has indicated that because of the site's proximity to the University of Minnesota Twin Cities campus, access to transit and access to the robust bicycle network in Minneapolis that a one-to-one parking ratio per dwelling unit is not necessary in this location. The applicant has indicated that the residential population of the Chateau building does not lease all of the parking spaces within the building.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The proposal to reduce the required off-street parking requirement will be in keeping with the spirit and intent of the ordinance and the comprehensive plan. The site is unique in its location and proximity to various land use features and alternative transportation options. In addition, a total of 115 bicycle parking spaces are being provided on site. However, CPED is recommending that an additional three bicycle parking spaces be provided on site to meet the commercial bicycle parking requirement.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

The proposal to reduce the required off-street parking requirement will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity, nor would it be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties. The proposal is contextually appropriate given its location within a pedestrian and transit-oriented area.

VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance to allow 3 wall signs over 14 feet in height based on the following [findings](#):

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

The applicant is proposing to have three wall signs on the building. One of the signs is located over the residential entrance and two are located over the entrance to the commercial portion of the building. There is an approximate three-foot grade change on the property, north to south. To maintain consistent floor levels within the building the southern portion of the building has been

raised approximately two feet above grade. Given this the sign band sits greater than 14 feet above grade. This is a unique circumstance of this property.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The applicant is proposing to use the property in a reasonable manner. The overall height of the three wall signs is 15 feet; only one foot higher than what is allowed by the zoning code.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

Allowing the three walls signs to be installed one foot taller than what is allowed by the zoning code will not alter the essential character of the locality. There are a variety of signs in the immediate area of different heights and sizes.

SITE PLAN REVIEW

The Department of Community Planning and Economic Development has analyzed the application based on the required [findings](#) and [applicable standards](#) in the site plan review chapter:

I. Conformance to all applicable standards of Chapter 530, Site Plan Review.

Building Placement and Design – Requires alternative compliance

- The building reinforces the street wall, facilitates pedestrian access and maximizes natural surveillance. The building is located close to the front property lines along both 4th Street Southeast and 13th Avenue Southeast, there is a raised patio on the corner of the building, there are entrances and exits at street level that can be accessed by residents, guests, employees and customers and there are large windows on all sides of the development that maximize the opportunities for people to observe adjacent spaces and the public sidewalks.
- The required front yard setback along 4th Street Southeast is 20.1 feet and the required front yard setback along 13th Avenue Southeast is 15 feet. The applicant has requested variances to reduce the front yard setback along 4th Street Southeast to between five feet 11 inches and nine feet from the front property line and to between six feet and eight feet 10 inches from the front property line along 13th Avenue Southeast.
- Where the building is setback from the property lines there are staircases, a raised patio, bicycle parking racks, a mechanical grate and landscaping.
- The main entrance to the residential portion of the building will be located along 4th Street Southeast and the main entrance to the commercial portion of the building will be located on the corner of 4th Street Southeast and 13th Avenue Southeast.
- Parking for the proposed development will be located in one level of enclosed parking beneath the building.
- The building is articulated with a curved building wall at the corner of 4th Street Southeast and 13th Avenue Southeast, varying window patterns, different materials and a variety of colors.
- There are no areas of the building that are over 25 feet in length and void of windows, entries, recesses or projections, or other architectural elements. Given the grade change on the site and the need to provide enough vertical clearance for the underground parking garage the residential portion of the building on the first floor is elevated higher than the lobby area and the commercial space. Given this the bottom of the residential windows on the 13th Avenue

Southeast side of the building are located six feet above grade. CPED is recommending that the applicant either construct raised planters, grade the land differently or plant landscape materials that will make the windows appear lower to the ground.

- The exterior materials include burnished block, brick, Nichiha fiber cement panels and fiber cement panels. The sides and rear of the building are similar to and compatible with the front of the building.
- Plain face concrete block is not being proposed as an exterior building material.
- The residential portion of the building on the first floor facing 13th Avenue Southeast does not meet the minimum window requirement. Alternative compliance is required. The windows in the development are vertical in nature and are evenly distributed along the building walls. See **Table I**.
- The entire building frontage along both 4th Street Southeast and 13th Avenue Southeast contains active functions.
- The principal roof line of the building will be flat. There is a mixture of flat and pitched roofed buildings in the area.

Table I. Percentage of Windows Required for Elevations Facing a Public Street, Sidewalk, Pathway, or On-Site Parking

	Code Requirement		Proposed	
Residential Uses				
1 st Floor along 4 th Street Southeast	20% minimum	86 sq. ft.	43%	186 sq. ft.
1 st Floor along 13 th Avenue Southeast	20% minimum	163 sq. ft.	10%	83 sq. ft.
2 nd Floor and Above along 4 th Street Southeast	10% minimum	106 sq. ft.	More than 10%	
2 nd Floor and Above along 13 th Avenue Southeast	10% minimum	162 sq. ft.	More than 10%	
Nonresidential Uses				
1 st Floor along 4 th Street Southeast	30% minimum	125 sq. ft.	71%	294 sq. ft.
1 st Floor along 13 th Avenue Southeast	30% minimum	108 sq. ft.	73%	264 sq. ft.

Access and Circulation – Meets requirements

- All of the entrances leading into the building are directly connected to a public sidewalk.
- No integrated transit shelters are proposed as part of this development.
- Parking for the proposed development will be located in one level of enclosed parking beneath the building. The parking garage will be accessed from the existing driveway along 4th Street Southeast. This access drive is also used to access the underground parking for the Chateau and the adjacent residential properties on the block.
- There is no public alley on this block.
- The maximum impervious surface requirement in the OR3 zoning district is 85 percent. According to the materials submitted by the applicant 77 percent of the site will be impervious.

Landscaping and Screening – Meets requirements

- The applicant is meeting the landscaping and screening requirements of the zoning code. In addition to providing the required number of canopy trees and shrubs, additional ornamental trees, grasses and perennials will be planted on the site. The applicant is also proposing to landscape the boulevard along both 4th Street Southeast and 13th Avenue Southeast with trees, shrubs and perennials.

Table 2. Landscaping and Screening Requirements

	Code Requirement	Proposed
Lot Area	--	25,530 sq. ft.
Building footprint	--	11,284 sq. ft.
Remaining Lot Area	--	14,246 sq. ft.
Landscaping Required	2,849 sq. ft.	5,460 sq. ft.
Canopy Trees (1: 500 sq. ft.)	6 trees	7 trees
Shrubs (1: 100 sq. ft.)	29 shrubs	57 shrubs

Additional Standards – Meets requirements

- All of the parking for this development will be underground.
- The building will not block views of important elements of the city.
- The building will cast shadows on adjacent residential properties but not on public spaces. Although there will be shadows cast on surrounding properties they won't be cast for the entire day.
- This development should have minimal wind effects on the surrounding area.
- The site plan complies with crime prevention design elements as there are walkways that direct people to the building entrances, there is a raised patio on the corner of 4th Street Southeast and 13th Avenue Southeast and large windows on all sides of the building that maximize the opportunities for people to observe adjacent spaces and the public sidewalks and there are lights located near all of the pedestrian entrances.
- This building is neither historically designated nor is the site located in a historic district.

2. Conformance with all applicable regulations of the zoning ordinance.

The proposed use is *permitted* in the OR3 District.

Off-street Parking and Loading – Requires variance(s)

- The applicant has applied for a variance to reduce the off-street parking requirement from 71 spaces to 30 spaces.
- In the UA University Area Overlay District the minimum bicycle parking requirement for residential uses is one space per bedroom. Not less than 90 percent of the required bicycle parking spaces for the residential portion of the development need to meet the standards of long-term bicycle parking. In this case not less than 104 of the 115 required bicycle parking spaces need to be located within the building.
- An additional three bicycle parking spaces need to be provided on site for the commercial portion of the development.

Table 3. Vehicle Parking Requirements Per Use (Chapter 54I)

	Minimum Parking Requirement	Applicable Reductions	Total Minimum Requirement	Maximum Parking Allowed	Proposed
General retail sales and services	4	--	4	12	--
Restaurant, sit down	5	--	5	32	--
Residential dwellings	66		66	--	--
Total	--	--	71, there is only one commercial space within the building	--	30

Table 4. Bicycle Parking and Loading Requirements (Chapter 54I)

	Minimum Bicycle Parking	Minimum Short-Term	Minimum Long-Term	Proposed	Loading Requirement	Proposed
General retail sales and services	3	Not less than 50%	--	20	None	0
Restaurant, sit down	3	Not less than 50%	--	20	None	0
Residential dwellings	115	--	Not less than 90%	95	None	0
Total	118, there is only one commercial space within the building	--	--	115	0	0

Building Bulk and Height – Meets requirements

Table 5. Building Bulk and Height Requirements

	Code Requirement	Proposed
Lot Area	--	25,530 sq. ft. / .59 acres
Gross Floor Area (GFA)	--	70,864 sq. ft.
Maximum Floor Area Ratio (GFA/Lot Area)	3.5	2.78
Maximum Building Height	6 stories or 84 feet, whichever is less	6 stories or 73 feet

Residential Lot Requirements – Meets requirements

Table 6. Residential Lot Summary

	Code Requirement	Proposed
Dwelling Units (DU)	--	66 DUs
Density (DU/acre)	--	112 DU/acre
Minimum Lot Area	Not applicable	Not applicable
Minimum Lot Width	Not applicable	Not applicable

Yard Requirements – Requires variance(s)

Table 7. Minimum Yard Requirements

	Zoning District	Overriding Regulations	Total Requirement	Proposed
Front along 4 th Street Southeast	20.1 ft.	--	20.1 ft.	Between 5 ft. 11 in. and 9 ft.
Front along 13 th Avenue Southeast	15 ft.	--	15 ft.	Between 6 ft. and 8 ft. 10 in.
Interior Side (North)	15 ft.	--	15 ft.	Between 6 ft. 6 in. and 12 ft.
Interior Side (West)	15 ft.	--	15ft.	41 ft. 11 in.

Signs – Requires variance(s)

- Signs are subject to Chapter [543](#) of the Zoning Code. All new signs are required to meet the requirements of Chapter 543 of the zoning code. In the OR3 zoning district one can have one-and-a-half square feet of signage for every one foot of primary building wall. However, if there is a freestanding sign on the zoning lot then there can only be one square foot of signage for every one foot of primary building wall. Wall signs are limited to 180 square feet in size. Projecting signs are limited to 12 square feet in size. The maximum sign height for both wall signs and projecting signs is 14 feet. Freestanding signs are limited to 32 square feet and can be no taller than 8 feet. The zoning code also limits the number of freestanding signs on a zoning lot to one.
- The applicant is proposing to have three wall signs on the building. One of the signs is located over the residential entrance and two are located over the entrance to the commercial portion of the building. All of the signs are smaller than 180 square feet but they are all higher than 14 feet.

Dumpster Screening – Meets requirements

- There will be a trash and recycling storage area provided on the first floor of the building.

Screening of Mechanical Equipment – Meets requirements with Conditions of Approval

- The applicant is proposing to have a transformer/generator located near the north property line. For screening purposes, the applicant is proposing to have a two-foot high retaining wall with a four-foot high decorative metal fence around them. To better screen the transformer/generator, CPED is recommending that additional landscape materials be located along the north property line.

Lighting – *Meets requirements with Conditions of Approval*

- A lighting plan showing footcandles was not submitted as part of the application materials. CPED is recommending that a lighting plan that meets the requirements of Chapter [535](#) of the Zoning Code be met.

Impervious Surface Area – *Meets requirements*

- The maximum impervious surface requirement in the OR3 zoning district is 85 percent. According to the materials submitted by the applicant 77 percent of the site will be impervious.

Specific Development Standards – *Not applicable*

UA Overlay District Standards – *Requires variance(s)*

- The applicant has applied for a variance to reduce the off-street parking requirement from 71 spaces to 30 spaces.
- In the UA University Area Overlay District the minimum bicycle parking requirement for residential uses is one space per bedroom. Not less than 90 percent of the required bicycle parking spaces for the residential portion of the development need to meet the standards of long-term bicycle parking. In this case not less than 104 of the 115 required bicycle parking spaces need to be located within the building.

3. Conformance with the applicable policies of *The Minneapolis Plan for Sustainable Growth*.

The Minneapolis Plan for Sustainable Growth identifies the site as Urban Neighborhood on the future land use map. The proposed development is consistent with the following principles and policies outlined in the comprehensive plan:

Urban Design Policy 10.4: Support the development of residential dwellings that are of high quality design and compatible with surrounding development.

10.4.1 Maintain and strengthen the architectural character of the city's various residential neighborhoods.

10.4.2 Promote the development of new housing that is compatible with existing development in the area and the best of the city's existing housing stock.

Urban Design Policy 10.5: Support the development of multi-family residential dwellings of appropriate form and scale.

Policy 10.6: New multi-family development or renovation should be designed in terms of traditional urban building form with pedestrian scale design features at the street level.

10.6.1 Design buildings to fulfill light, privacy, and view requirements for the subject building as well as for adjacent properties by building within required setbacks.

10.6.2 Promote the preservation and enhancement of view corridors that focus attention on natural or built features, such as the Downtown skyline, landmark buildings, significant open spaces or bodies of water.

10.6.3 Provide appropriate physical transition and separation using green space, setbacks or orientation, stepped down height, or ornamental fencing to improve the compatibility between higher density and lower density residential uses.

10.6.4 Orient buildings and building entrances to the street with pedestrian amenities like wider sidewalks and green spaces.

10.6.5 Street-level building walls should include an adequate distribution of windows and architectural features in order to create visual interest at the pedestrian level.4. Conformance with applicable development plans or objectives adopted by the City Council.

4. Conformance with applicable development plans or objectives adopted by the City Council.

The current *Master Plan for the Marcy-Holmes Neighborhood* was approved by the Minneapolis City Council in December of 2003. The plan calls for high- to very-high density housing on this site. In addition, the draft *Marcy-Holmes Neighborhood Master Plan* designates this site as Mixed Use and specifically encourages retail along the street facing sides of the property. The proposed development is in conformance with these plans.

5. Alternative compliance.

The Planning Commission or zoning administrator may approve alternatives to any site plan review requirement upon finding that the project meets one of three criteria required for [alternative compliance](#). Alternative compliance is requested for the following requirements:

- **Window Requirement.** The residential portion of the building on the first floor facing 13th Avenue Southeast does not meet the minimum window requirement. Twenty percent or 163 square feet of window area is required. There is 83 square feet of window area provided between two and 10 feet or approximately 10 percent. Given the grade change on the site and the need to provide enough vertical clearance for the underground parking garage the residential portion of the building on the first floor facing 13th Avenue Southeast is elevated higher than the lobby area and the commercial space. Given this the bottom of the residential windows on the 13th Avenue Southeast side of the building are located six feet above grade. This reduces the amount of window area that can be counted towards the minimum window requirement. CPED is recommending that the City Planning Commission grant alternative compliance to allow less than 20 percent. The secondary residential entrance on 13th Avenue Southeast is made out of glass. CPED is recommending that a side light equal in size and height to the door be added next to the door and that they be centered to align with the bank of windows above.

PRELIMINARY/FINAL PLAT

The Department of Community Planning and Economic Development has analyzed the application [for a Preliminary and Final Plat](#) based on the following [findings](#):

- I. *The subdivision is in conformance with these land subdivision regulations, the applicable regulations of the zoning ordinance and policies of the comprehensive plan.*

Subdivision Regulations:

The applicant is proposing to replat several lots into two new lots. Lot 1 is being created for the existing Chateau building located at 425 13th Avenue Southeast and Lot 2 is being created for the proposed Riverton development located at 1227 4th Street Southeast.

The subdivision is in conformance with the design requirements of the land subdivision regulations except for Section 598.230 (5), which requires utility easements to be five feet wide on side lot lines

and ten feet wide on rear lot lines, where no alley is provided. In order to be in conformance with the land subdivision regulations, a variance of Section 598.230 (5) is required to eliminate the drainage and utility easements from both lots. While variances from the zoning code require a separate application, variances from the subdivision standards are done as a part of the subdivision application subject to the standards listed below.

598.310. Variances. Where the planning commission finds that hardships or practical difficulties may result from strict compliance with these regulations, or that the purposes of these regulations may be served to a greater extent by an alternative proposal, it may approve variances to any or all of the provisions of this chapter. In approving variances, the planning commission may require such conditions as it deems reasonable and necessary to secure substantially the objectives of the standards or requirements of these regulations. No variance shall be granted unless the planning commission makes the following findings:

- (1) There are special circumstances or conditions affecting the specific property such that the strict application of the provisions of this chapter would deprive the applicant of the reasonable use of land.
- (2) The granting of the variance will not be detrimental to the public welfare or injurious to other property in the area in which the property is located.

Given the layout of the proposed development, drainage and utility easements are not possible around the interior lot lines. The Public Works Department has agreed that drainage easements are not required for this development, but encouraged. Given this CPED recommends varying the drainage easement requirement to zero.

Zoning Ordinance:

The subdivision is in conformance with the design requirements of the zoning code.

Comprehensive Plan:

The subdivision is in conformance with the policies of the comprehensive plan.

2. *The subdivision will not be injurious to the use and enjoyment of other property in the immediate vicinity, nor be detrimental to present and potential surrounding land uses, nor add substantially to congestion in the public streets.*

The applicant is proposing to replat several lots into two new lots.

3. *All land intended for building sites can be used safely without endangering the residents or users of the subdivision or the surrounding area because of flooding, erosion, high water table, soil conditions, improper drainage, steep slopes, rock formations, utility easements or other hazard.*

The land intended for building can be used safely without endangering the residents or users of the subdivision or the surrounding area because of flooding, erosion, high water table, soil conditions, improper drainage, steep slopes, rock formations, utility easements or other hazard. The site is relatively flat.

4. *The lot arrangement is such that there will be no foreseeable difficulties, for reasons of topography or other conditions, in securing building permits and in providing driveway access to buildings on such lots from an approved street. Each lot created through subdivision is suitable in its natural state for the proposed use with minimal alteration.*

The parcels created by this application present no foreseeable difficulties for this development. No significant alterations to the land appear necessary.

5. *The subdivision makes adequate provision for stormwater runoff, and temporary and permanent erosion control in accordance with the rules, regulations and standards of the city engineer and the requirements of these land subdivision regulations. To the extent practicable, the amount of stormwater runoff from the site after development will not exceed the amount occurring prior to development.*

The Surface Water and Sewers Division of the Public Works Department will review and approve the drainage and sanitary system plans for this development prior to building permits being issued.

FOR REZONINGS ONLY

ZONING PLATE NUMBER. 15

LEGAL DESCRIPTION. Lot 10, all in Block Q of Tuttle's Addition to St. Anthony.

RECOMMENDATIONS

Recommendation of the Department of Community Planning and Economic Development for the Rezoning:

The Department of Community Planning and Economic Development recommends that the City Planning Commission and City Council adopt the above findings and **approve** the rezoning petition from the R5 Multiple-family District to the OR3 High Institutional Office Residence District for the property located at of 1227 4th Street Southeast.

Recommendation of the Department of Community Planning and Economic Development for the Variance:

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the application for a variance to reduce the required 20.1-foot front yard setback along 4th Street Southeast at the properties located at 1227 4th Street Southeast and 425 13th Avenue Southeast.

Recommendation of the Department of Community Planning and Economic Development for the Variance:

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the application for a variance to reduce the required 15-foot front yard setback along 13th Avenue Southeast at the properties located at 1227 4th Street Southeast and 425 13th Avenue Southeast.

Recommendation of the Department of Community Planning and Economic Development for the Variance:

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the application for a variance to reduce the required 15-foot north interior side yard setback at the properties located at 1227 4th Street Southeast and 425 13th Avenue Southeast.

Recommendation of the Department of Community Planning and Economic Development for the Variance:

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the application for a variance to increase the maximum permitted size of a neighborhood serving retail sales and services use at the properties located at 1227 4th Street Southeast and 425 13th Avenue Southeast.

Recommendation of the Department of Community Planning and Economic Development for the Variance:

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the application for a variance to reduce the off-street parking requirement from 71 to 30 at the properties located at 1227 4th Street Southeast and 425 13th Avenue Southeast, subject to the following conditions:

1. At least three bicycle parking spaces shall be provided on site for the commercial portion of the development.

Recommendation of the Department of Community Planning and Economic Development for the Variance:

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the application for a variance to allow 3 wall signs over 14 feet in height at the properties located at 1227 4th Street Southeast and 425 13th Avenue Southeast.

Recommendation of the Department of Community Planning and Economic Development for the Site Plan Review:

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the site plan review application to allow a new 6-story, 66-unit residential building with ground floor commercial space at the properties located at 1227 4th Street Southeast and 425 13th Avenue Southeast, subject to the following conditions:

1. Approval of the final site plan, landscaping plan, elevations and lighting plan by the Department of Community Planning and Economic Development.
2. All site improvements shall be completed by July 14, 2016, unless extended by the Zoning Administrator, or the permit may be revoked for non-compliance.
3. The applicant shall either construct raised planters, grade the land differently or plant landscape materials that will make the residential windows appear lower to the ground along 13th Avenue Southeast.
4. Not less than 104 of the 115 required bicycle parking spaces for the residential portion of the building shall be located within the building.
5. At least three bicycle parking spaces shall be provided on site for the commercial portion of the development.
6. To better screen the transformer/generator, additional landscape materials shall be located along the north property line.

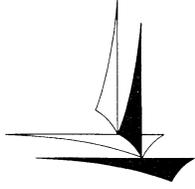
7. A side light equal in size and height to the door along 13th Avenue Southeast shall be added next to the door and they shall be centered to align with the bank of windows above.

Recommendation of the Department of Community Planning and Economic Development for the Preliminary and Final Plat:

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the Preliminary and Final Plat application for the properties located at 1227 4th Street Southeast and 425 13th Avenue Southeast.

ATTACHMENTS

1. PDR report
2. Written description and findings submitted by applicant
3. Zoning map
4. Site layout plan
5. Survey
6. Preliminary and final plat
7. Plat responses from the Public Works Department and the Office of the City Attorney
8. Plans set – civil plans, landscaping plan and architectural plans
9. Renderings
10. Photos
11. Correspondence



Minneapolis Development Review
250 South 4th Street
Room 300
Minneapolis, MN 55415

Preliminary Development Review Report

Development Coordinator Assigned: **MATTHEW JAMES**
(612) 673-2547
matthew.james@minneapolismn.gov

Status *
RESUBMISSION REQUIRED

Tracking Number:	PDR 1001202
Applicant:	RIVERTON COMMUNITY HOUSING 425 13TH AVE SE MINNEAPOLIS, MN 55414
Site Address:	1227 4TH ST SE 425 13TH AVE SE
Date Submitted:	27-MAY-2014
Date Reviewed:	04-JUN-2014

Purpose

The purpose of the Preliminary Development Review (PDR) is to provide Customers with comments about their proposed development. City personnel, who specialize in various disciplines, review site plans to identify issues and provide feedback to the Customers to assist them in developing their final site plans.

The City of Minneapolis encourages the use of green building techniques. For additional information please check out our green building web page at: http://www.ci.minneapolis.mn.us/mdr/GreenBuildingOptions_home.asp.

DISCLAIMER: *The information in this review is based solely on the preliminary site plan submitted. The comments contained in this report are preliminary ONLY and are subject to modification.*

Project Scope

A six-story student housing co-op of 67 dwelling units with 1,272 sf of commercial space proposed for the 4th St SE & 13th Ave. SE corner of the structure.

Business Licensing

- Continue to work with Matthew James at 612-673-2547 concerning a Food Plan Review, SAC determination and any Business License application submittal that may be required for this proposed project.

***Approved:** You may continue to the next phase of developing your project.

***Resubmission Required:** You cannot move forward or obtain permits until your plans have been resubmitted and approved.

❑ Historical Preservation Committee

- There is no HPC flag on this property. HPC review is not required at this time. HPC review is required for any wrecking permits pertaining to the removal of existing structures.

❑ Addressing

- Per City of Minneapolis Street Naming and Address Standard V1.22, the City of Minneapolis holds authority for assignment of all addresses, verification, change, and/or additions. Each assigned address number uses the street that provides the best/direct access for life safety equipment and best/direct access to the occupants.
- The address for the proposed building will be 1227 4th Street SE. This address meets the City of Minneapolis Street Naming and Address Standard requirements.
- When assigning suite sequences the following guidelines are as follows:
- The first one to two digits of the suite sequence number will designate the floor number of the site.
- The last two digits of the suite sequence number will designate the unique ID for the unit (condo, suite, unit, or apartment).
- Suite sequence digit numbers will be assigned to dwelling, commercial and retail units, not common areas. For example, laundry rooms, saunas, workout rooms, etc., would not be assigned numbers.
- Please provide each condo, suite, unit or apartment number.

❑ Parks - Forestry

- Contact Paul Martinson (612-499-9209) regarding removal or the process for protection of trees during construction in the city right of way.
- Effective January 1, 2014, the City of Minneapolis and the Minneapolis Park and Recreation Board adopted an update to the existing Parkland Dedication Ordinance. The adopted City of Minneapolis Parkland Dedication ordinance is located in Section 598.340 of the City's Land Subdivision ordinance:
 - <http://library.municode.com/index.aspx?clientId=11490>
- As adopted, the fee in lieu of dedication for new residential units is \$1,500 per unit (affordable units excluded per ordinance) and for commercial and industrial development it is \$200 per development employee (as defined in ordinance). Any dedication fee (if required) must be paid at the time of building permit issuance.
- There is also an administration fee that is 5% of the calculated park dedication fee.
- As proposed, for your PROJECT, the calculated dedication fee is as follows:
 - Park Dedication Fee Calculation =
 - Residential (67 new - 16 existing x \$1,500 per unit) = \$76,500
 - Non-Residential Commercial Space = \$200
 - 5% of \$XX (Administration Fee) = \$1,000
 - Total Park Dedication Administrative Fee: \$77,700
 - This is a preliminary calculation based on your current proposal; a final calculation will be made at the time of building permit submittal.
 - For further information, please contact Matthew James at 612-673-2547.

❑ Zoning - Planning

- Separate applications are required for the changes to the Chateau property and the new Riverton building.
- The site will be replatted into two new lots and access easements will remain in place.
- The project is tentatively scheduled for the July 14, 2014, CPC meeting.

❑ Right of Way

- An encroachment permit shall be required for all streetscape elements in the Public right-of-way such as: plants & shrubs, planters, tree grates and other landscaping elements, sidewalk furniture (including bike racks and bollards), and sidewalk elements other than standard concrete walkways such as pavers, stairs, raised landings, retaining walls, access ramps, and railings (NOTE: railings may not extend into the sidewalk pedestrian area). Please contact Bob Boblett at (612) 673-2428 for further information.
- Note to the Applicant: Any elements of an earth retention system and related operations (such as construction crane boom swings) that fall within the Public right-of-way will require an encroachment permit application. If there are to be any earth retention systems which will extend outside the property line of the development then a plan must be submitted showing details of the system. All such elements shall be removed from the Public right-of-way following construction with the exception of tie-backs which may remain but must be uncoupled and de-tensioned. Please contact Bob Boblett at (612) 673-2428 for further information.
- In addition, any elements of an earth retention system and related excavations that fall within the Public right-of-way will require a "Right-of-Way Excavation Permit". This permit is typically issued to the General Contractor just prior to the start of construction. However, it is the Applicant's responsibility to insure that all required permits have been acquired by its consultants, contractors, sub-contractor's prior to the start of work.

❑ Street Design

- The plan as submitted meets the requirements of the Public Works Street Design Division.

❑ Sidewalk

- ADA compliant pedestrian ramps are required at each crosswalk at the intersection of 4th St. S.E.. and 13th Ave. S.E. Construct two (2) ADA compliant pedestrian ramps at this location. Include the appropriate details and standard plates in the site plan, refer Mn/DOT Standard Plan 5-297.250 Pedestrian Curb Ramp Details at: <http://standardplans.dot.state.mn.us/stdplan.aspx>
- Any currently defective public sidewalk or public sidewalk damaged during construction must be removed and replaced.

❑ Traffic and Parking

- The nature of the proposed development is such that traffic impacts will be an issue; please contact Allen Klugman at (612) 673-2743 to discuss the requirements of a Travel Demand Management Plan (TDMP).
- Current ordinance states that all maneuvers associated with loading, parking or sanitation pick up for a private development shall occur on private property. Please provide a narrative explaining the delivery and trash removal operations and show turning maneuvers for all truck type vehicles that will be using the loading dock/parking entrance areas.
- Limited use of the right of way will be approved for the construction of this development, please contact Scott Kramer at 612-673-2383 for right of way restrictions.
- Please contact Bill Prince at (612) 673-3901 regarding existing and proposed street lighting. All street lighting (existing and proposed) shall be shown clearly on the site plan.
- Bus shelters in the right of way need Metro Transit's approval. The Applicant shall provide verification that Metro Transit has been notified and approvals given for the bus stop proposal. Please contact Robert Rimstad at (612) 349-7768 for further information.

❑ Water

- The plan as submitted meets the requirements of the Public Works Water Maintenance & Distribution Division.

❑ Fire Safety

- Provide required automatic fire suppression system throughout building
- Fire department connection must be located on the address side of building and within 150 feet of a fire hydrant
- Provide required automatic fire alarm system throughout building
- Fire department apparatus access roads shall be provided and maintained at all times

❑ Environmental Health

- Documented petroleum releases have occurred on some parcels in the area that may have adversely affected the site. If the project will be disturbing identified impacted soils on the site preapproval for removal, disposal and/or reuse of must occur from the MCPA and the City of Minneapolis prior to beginning excavation activities. If impacted soil is encountered during site activities work will need to stop and notification provided to the MN State Duty officer at (615) 649-5451.
- Current parking is at-grade. If parking for the proposed project will be below grade, determination of the seasonal high water table needs to be conducted for impact to subgrade structures. Subgrade structures should be designed to prevent infiltration of groundwater without the need for a permanent dewatering system being installed. If a continuously operating permanent dewatering system is needed it must be approved as part of the sanitary sewer and storm drain site plan approval prior to construction beginning.
- If dewatering is required during site construction see below for city permit requirements.
- No construction, demolition or commercial power maintenance equipment shall be operated within the city between the hours of 6:00 p.m. and 7:00 a.m. on weekdays or during any hours on Saturdays, Sundays and state and federal holidays, except under permit. Contact Environmental Services at 612-673-3867 for permit information.
- Permits and approval are required from Environmental Services for the following activities: Temporary storage of impacted soils on site prior to disposal or reuse; Reuse of impacted soils on site; Dewatering and discharge of accumulated storm water or ground water, underground or aboveground tank installation or removal, well construction or sealing. Contact Tom Frame at 612-673-5807 for permit applications and approvals.
- A review of the project, permits issued and an inspection from Environmental Service for identification of equipment and site operations that require annual registration with the City of Minneapolis will occur for this project.

❑ Sewer Design

- General: Please provide a copy of any geotechnical reports for the site. As underground parking is proposed, please identify if permanent pumping of groundwater is proposed.
- Stormwater Management: It is recommended that some of the sites green space be utilized to provide stormwater treatment for portions of the site. Stormwater treatment features could possibly be installed that would be both visually appealing and provide some level of stormwater treatment. Additionally, the site could potentially be eligible for a stormwater utility fee credit if appropriate stormwater BMPs are utilized.
- Utility Connections: Please identify the invert elevation of the existing City storm sewer main at the proposed storm sewer connection point.
- The proposed storm sewer service connection to the City main should be installed with a saddle tee fitting, per City of Minneapolis Standard Supplemental Specifications. Please revise Keyed Note #1, Sheet C300, accordingly.
- The trench drain located at the exterior of the underground parking area should either be connected to the storm sewer or discharged at grade on the site. As the drain serves as a backup to the exterior storm trench drain a connection to the sanitary sewer is not permitted.
- For comments or questions on Public Works Surface Water & Sewers Division related requirements please contact Jeremy Strehlo, (Professional Engineer) at (612) 673-3973, or jeremy.strehlo@minneapolismn.gov

□ Construction Code Services

- The structure is assumed to not be a high rise.
- Sheet A201. Roof access. Compliance with section 1009.11 does not appear to be met. One stairway should extend to the roof.
- Sheet A101. Exit discharge. Show compliance with section 1024 exit travel path for the interior stair termination. A free and unobstructed path must be maintained through the lobby.
- Sheet A101. Exit discharge. Show compliance with section 1024.6 from exit door 101 to the public way.
- Compliance with accessible, accessible A and B units and distribution is required per MN Rules 1341. Provide a table showing counts and types with final plans.
- Van accessible parking and clearances should be noted and reviewed with all encroaching sub-trades as needed. MN Rules 1341.
- A SAC determination is required including proposed spec occupancies for inclusion or future as allowed.

END OF REPORT

Riverton Community Housing

1227 4th St. SE

14-0008

Statement of Proposed Use:

The proposed student housing project will replace the current 2.5 story building at 1227 4th St. SE. The new building will be a 6 story student housing co-op of approximately 66 dwelling units and 30 below-grade enclosed parking stalls and 5 surface stalls. The project, with its co-op structure, provides a well managed, invested student housing community that contributes to the vibrancy of the Dinkytown and University area while being good neighbors.

The property owner on the project is Riverton Community Housing, who owns and operates 6 projects , a total of 434 housing units in the university area. Each property operates with a co-op structure, which provides members opportunities to be part of the decision making process for each property. In addition, the mission is to provide a more affordable option that makes housing and a higher education more accessible.

One of the projects that Riverton Community Housing owns and operates is the Chateau, the adjacent 18 story apartment building. This parcel is being proposed to be combined with the 1227 property and re-platted and re-zoned to match the rest of the block. The access to the Chateau parking garage will be across the new parcel, and with the same ownership entities no easement is required at this time. The loading, servicing, and parking access will continue to function as current for the Chateau, and the accessible route to the plaza will remain in place. In addition, there is a current easement over the access drive for the historic homes on the other corner of the block, and this is proposed to remain in place.

On level 1, there is approximately 2365 square feet of commercial space proposed on the corner. This is in response to the neighborhood request for expanding commercial space outside the Dinkytown core. The commercial space would have a front patio to further enliven the street corner on both 4th and 13th. The project has also proposed a seat wall planter continuing along 13th to provide active places to gather, yet give a buffer to the units located on level 1. At that portion, the units are approximately 5' above grade, providing a safe separation from nighttime activity.

The proposed new construction type is type IIIA, 5 stories of wood frame construction over one level of precast concrete above grade. This will accommodate a higher floor to floor at the commercial space, allow for parking below. The bicycle room on level 1 is meant to provide easy access and safe storage for the bicycle commuter, and

additional bicycle parking racks are located in the below-grade garage and along 4th. Given its location, demographic, and access to frequent busses, it is anticipated to have a high use of alternative means of transport.

Legal description:

Lots 1 and 2; The Southeast 22 feet of Lot 8 and; The Northwest 32.5 feet of Lot 9, Lot 10, All in Block Q Tuttle's Addition to St. Anthony.

(Torrens Property – Certificate of Title No. 1168484)

Together with:

The Southeasterly Half of Lot 3, Block Q, Tuttle's Addition to St. Anthony.

(Abstract Property)

Together with:

Lot 9, Block Q, Tuttle's Addition to St. Anthony except for the Northwesterly 32.5 feet of said Lot 9.

(Abstract Property)

Riverton Community Housing – 1227 4th St. SE

Zoning amendment findings:

- 1) *Whether the amendment is consistent with the applicable policies of the comprehensive plan.*
 - OR3 of this parcel is consistent with the proposed Marcy-Holmes Master Plan Update, which calls for increased density and expansion of commercial uses west from Dinkytown's existing commercial area; ("Consistent with the applicable policies of the comprehensive plan") This is not yet adopted yet, but the neighborhood has specifically requested the expansion.
- 2) *Whether the amendment is in the public interest and is not solely for the interest of a single property owner*
 - Rezoning to OR3 for this parcel benefits the public goals of expanding the commercial area of Dinkytown to meet current and projected demand for commercial space while maintaining Dinkytown's historic core of C1 and C2 parcels. Providing the OR3 classification allows increased density near the university and Dinkytown, which contributes to the vibrancy of the area.
- 3) *Whether the existing uses of property and the zoning classification of property within the general area of the property in question are compatible with the proposed zoning classification, where the amendment is to change the zoning classification of particular property.*
 - OR3 of this parcel is compatible with the general area, as most of the other parcels on the block are zoned OR3, including the existing 18 story Chateau building and the existing 412 lofts building. The site is appropriate for higher density housing due to its proximity to the university and to the commercial core of Dinkytown.
 - Section 547.320 states that an OR3 parcel is "established to provide a mixed use environment of very high density dwellings, large office uses, and major institutions, with additional small scale retail sales and services uses designed to serve the immediate surroundings." This proposed development best meets this criteria.
- 4) *Whether there are reasonable uses of the property in question permitted under the existing zoning classification, where the amendment is to change the zoning classification of particular property.*
 - The property is currently zoned R-5, and that classification would not be compatible with the request to expand commercial mixed use in the area.
- 5) *Whether there has been a change in the character or trend of development in the general area of the property in question, which has taken place since such property was placed in its present zoning classification, where the amendment is to change the zoning classification of particular property*

property line and the building. Along the interior property line, the 1st floor above the parking plinth along the adjacent Chateau is set back approximately 63', and the proposed building will not take away from the light and air of the bicycle storage area.

Variance for parking:

The parking variance requests the minimum parking requirements from 0.5 spaces per bedroom or 1 space per unit to be reduced to 0.25 spaces per bedroom and 0.5 spaces per unit. With 66 units and 115 bedrooms, the minimum requirement would be 58 stalls + 6 stalls for the retail, assuming a restaurant or coffee shop use.

- 1) With the access easement and access to the adjacent Chateau, the site does not practically allow for more parking stalls. In addition, the Chateau, which is owned by the same organization, does not have the demand from the housing alone to fill all the parking stalls in the current Chateau garage.
- 2) Riverton Community Housing has been providing housing in the area including The Chateau adjacent to this property for several decades. Most of the students living in their buildings want to live close to campus so they do not have to drive. For this reason most students walk, ride a bike or take public transportation and building additional parking stalls would not serve the residents of the building. 118 bike parking spaces will be provided, consistent with the requirements of the university overlay district. In addition, visitor bicycle parking will be provided outside of the building in a convenient location.
- 3) Given the availability of mass transit, pedestrian ways, and biking options for the intended population, the reduction in parking stalls is appropriate with the demand. The parking stalls on the site are also under the control of Riverton.

Variance for Increased Retail Space:

The variance request is to allow a retail space of 2,365sf, more than the 2,000sf allowed in an OR3.

- 1) The Marcy Holmes Neighborhood Association has strong interest in retail uses on the first floor of this development. Having initially proposed a smaller retail space, it was increased to accommodate their request of closer to 2,500 sq. ft. of retail space in the building of which we are able to accommodate 2,365 sq. ft. Providing this additional retail space adds vibrancy to the streetscape and creates a more enjoyable pedestrian experience.
- 2) The new proposed area plan supports more intensive and mixed uses in the area with a goal of increased density and an expansion of commercial uses west of Dinkytown's existing commercial core. This site, being immediately adjacent to the current Dinkytown core, meets the goals of the proposed new master plan.
- 3) The additional retail space will provide continuity from the retail use across the block, and will anchor the corner of the building with a strong presence.

Variance for Increased Signage

The project proposes to locate the building signage, both retail and commercial, above the 14' height limit. The top of the signs are proposed at 16'-0".

- 1) The Dinkytown district along 4th St. SE has a series of signs, many vertically oriented, located above the 14' height limit, including the adjacent Library Bar, the Varsity Theater,

and Erik's bike shop. In order to continue and to not place the retail at a competitive disadvantage, the signage is placed a bit higher. In addition, due to the relatively small site, the building footprint along 4th is raised a few feet to allow appropriate accessible van clearances into the parking garage.

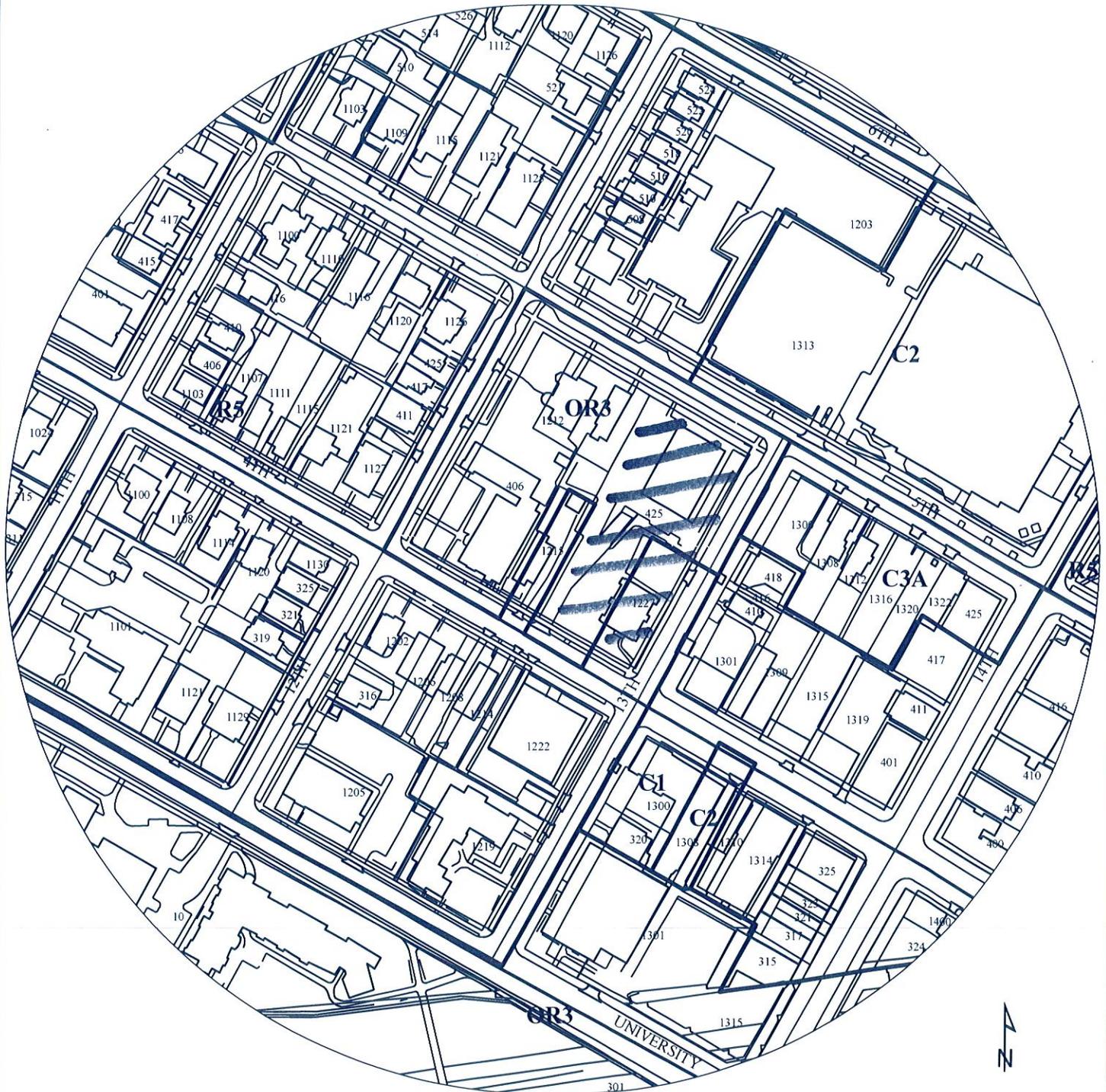
- 2) The proposed signage will enliven the expanded commercial district, and allow for the expansion of the retail to be consistent with the other properties. The adjacent Chateau, due to the 4'-4" parking plinth, has existing signage more than 14' than grade, but less than 14' from the plaza. The proposal for the new building is similar – it is less than 14' from the plaza immediately adjacent.
- 3) The location of the signage is appropriate, facing the county library, the Library Bar, and the rest of Dinkytown, reducing potential impact on residential. The additional height will also give clearance and distance from potential vandals.

Riverton Community Housing

3rd

NAME OF APPLICANT

WARD



200 100 0 200 400

PROPERTY ADDRESS

1227 4th Street Southeast and 425 13th Avenue Southeast

FILE NUMBER

BZZ-6609

5TH STREET
SOUTHEAST



Existing lot (2 parcels) =
41,886sf + 11,005sf (est.) =
52,862sf

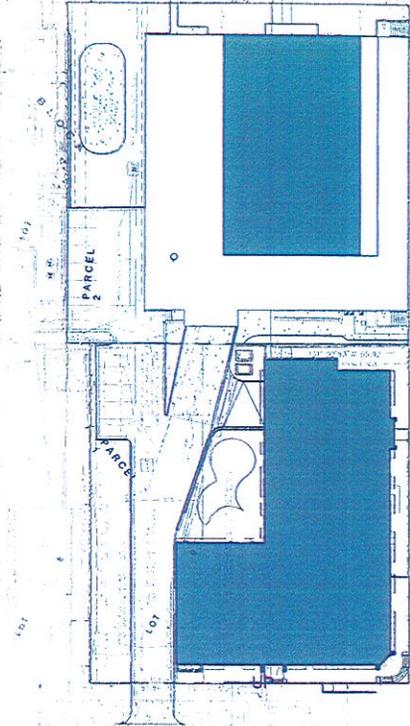
Proposed Chateau lot (est.) =
27,361sf

Proposed new lot (est.) =
25,530sf

Access easement

4TH STREET
SOUTHEAST

6TH STREET
SOUTHEAST



Existing Chateau

proposed lot area = 27,361sf
 green (pervious) space = 4,305sf (16%)
 tower footprint (level 1) = 7,048sf
 tower footprint (levels 2-18) = 7,632sf
 parking footprint = 17,202sf (63%)
 gross sf without parking = 136,792sf
 gross sf of parking only = 51,181sf
 gross sf with parking = 187,973sf
 FAR on proposed lot = 5.0
 FAR on current lot = 3.0
 existing dwelling unit count = 127
 existing bedroom count = 247
 existing enclosed parking stalls = 125
 existing surface parking stalls = 10
 DU / acre on current lot = 132
 DU / acre on proposed lot = 204

Proposed Building

divided lot area = 25,530sf (.58 acres)
 green (pervious) space, estimated = 5,460sf (18%)
 building footprint = 11,284sf at level 1 (44%)
 11,997sf at levels 2-5
 11,592sf at level 6
 parking footprint = 11,016sf
 gross sf without parking = 70,864sf
 gross sf with parking = 81,880sf
 FAR = 2.8
 Dwelling units per acre = 115

1

Proposed site division

XL-100 1" = 60'-0"

2

Proposed site division with buildings

XL-100 1" = 60'-0"



Riverton Community Housing

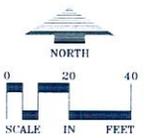
1275 10th St SE, Bannockburn, ID 83403 | 208.325.1111 | 10-04-19

XL-100

SITE DIAGRAM

RIVERTON CHATEAU ADDITION

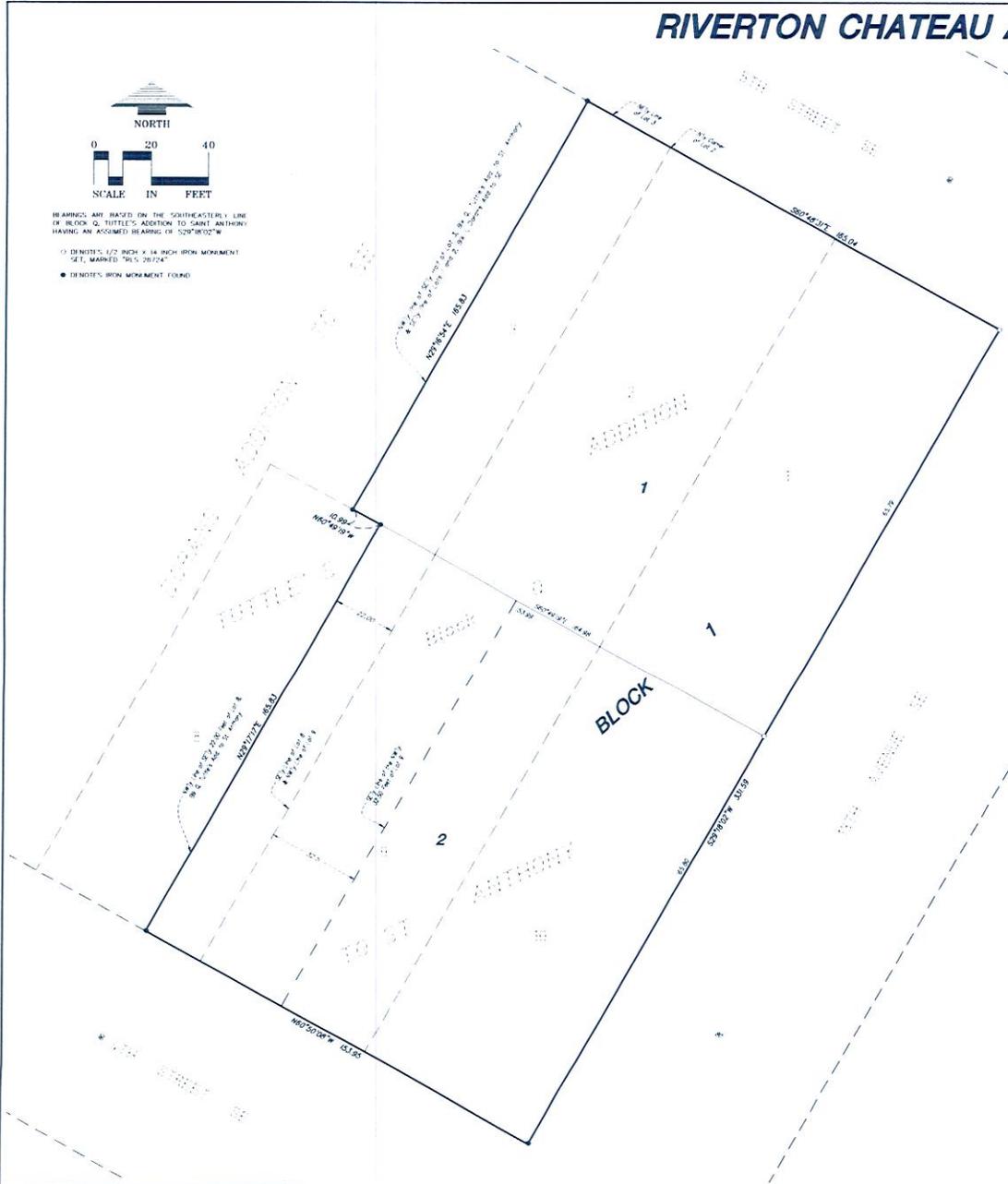
R.T. DOC. No. _____
C.R. DOC. No. _____



BEARINGS ARE BASED ON THE SOUTHEASTERLY LINE OF BLOCK Q, TUTTLE'S ADDITION TO SAINT ANTHONY HAVING AN ASSUMED BEARING OF $S29^{\circ}18'00''W$

○ DENOTES 1/2 INCH X 1/4 INCH IRON MONUMENT SET, MARKED "TALS 28724"

● DENOTES IRON MONUMENT FOUND



KNOW ALL PERSONS BY THESE PRESENTS, That Riverton Community Housing, a Minnesota nonprofit corporation, fee owner of the following described property situated in the County of Hennepin, State of Minnesota, to-wit:

- Lot 1 and 2, the Southwest 22 feet of Lot 6 and the Northwest 32.5 feet of Lot 9, Lot 10, all in Block Q, Tuttle's Addition to St. Anthony. (Tortoise Property)
- Together with:
- The Southeastern Half of Lot 3, Block Q, Tuttle's Addition to St. Anthony. (Abstract Property)
- Together with:
- Lot 9, Block Q, Tuttle's Addition to St. Anthony except for the Northwestern 32.5 feet of said Lot 9. (Abstract Property)

Has caused the same to be surveyed and platted as RIVERTON CHATEAU ADDITION.

In witness whereof said Riverton Community Housing, a Minnesota nonprofit corporation, has caused these presents to be signed by its proper officer this _____ day of _____, 201__.

Riverton Community Housing

(Signature) _____ (Title) _____

(Printed Name) _____

State of _____
County of _____

The foregoing instrument was acknowledged before me this _____ day of _____, 201__ by _____ of Riverton Community Housing, a Minnesota nonprofit corporation, on behalf of the corporation.

(Signature) _____

(Printed Name) _____

Notary Public
My Commission Expires _____, 201__

SURVEYOR'S CERTIFICATION

I, Richard L. Licht, do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat, and all public ways are shown and labeled on this plat.

Dated this _____ day of _____, 201__.

Richard L. Licht, Licensed Land Surveyor
Minnesota License No. 28724

State of Minnesota
County of Hennepin

The foregoing instrument was acknowledged before me this _____ day of _____, 201__ by Richard L. Licht.

(Signature) _____

(Printed Name) _____
Notary Public Hennepin County, Minnesota
My Commission Expires January 31, 201__

MINNEAPOLIS, MINNESOTA

I hereby certify that this plat of RIVERTON CHATEAU ADDITION was approved by the Planning Commission of the City of Minneapolis at a meeting thereof held this _____ day of _____, 201__. If applicable, the written comments and recommendations of the Commission of Transportation and the County Highway Engineer have been received by the City or the prescribed 30-day period has elapsed without receipt of such comments and recommendations, as provided by Minn. Stat. § 505.03, subd. 2.

CITY CLERK OF MINNEAPOLIS, MINNESOTA

By _____ Assistant City Clerk

MINNEAPOLIS, MINNESOTA

I, the Secretary of the Planning Commission of the City of Minneapolis, Minnesota, do hereby certify that on this _____ day of _____, 201__, the City of Minneapolis acting by and through its City Planning Commission duly approved the plat of RIVERTON CHATEAU ADDITION, and duly authorizes such action of the Commission by its Secretary. The prescribed ten-day period for appeal has elapsed without receipt of an appeal, as provided by Title 22, Section 568.200 of the Minnesota Code of Ordinances.

By _____ Secretary of the Planning Commission

RESIDENT AND REAL ESTATE SERVICES, Hennepin County, Minnesota

I hereby certify that taxes payable in 201__ and prior years have been paid for land described on this plat, dated this _____ day of _____, 201__.

Mark V. Chapin, Hennepin County Auditor

By _____ Deputy

SURVEY DIVISION, Hennepin County, Minnesota

Pursuant to MN. STAT. Sec. 360B.565 (1989) this plat has been approved this _____ day of _____, 201__.

_____ County Surveyor

REGISTRAR OF TITLE, Hennepin County, Minnesota

I hereby certify that the within plat of RIVERTON CHATEAU ADDITION, was filed in this office this _____ day of _____, 201__, at _____ o'clock _____ M.

Martin McCormick, Registrar of Title

By _____ Deputy

COUNTY RECORDER, Hennepin County, Minnesota

I hereby certify that the within plat of RIVERTON CHATEAU ADDITION was recorded in this office this _____ day of _____, 201__, at _____ o'clock _____ M.

Martin McCormick, County Recorder

By _____ Deputy



**Department of Public Works
Engineering Design Division/Right-of-Way Section
309 2nd Avenue South, Room 200
673-2428**

Date: June 25, 2014
To: Hilary Dvorak – CPED Planning
Erik Nilsson – City Attorney
From: Robert Boblett, Right of Way
Subject: Riverton Chateau – Preliminary and Final

We have reviewed the preliminary and final plats of Riverton Chateau, and we have no right of way issues.

The developers may want to consider adding drainage and utility easements.



Office of the City Attorney

Susan L. Segal
City Attorney

350 South 5th Street – Room 210
Minneapolis MN 55415

June 26, 2014

Office 612 673-2010
Civil Division Fax 612 673-3362
Criminal Division Fax 612 673-2189
CPED FAX 612 673-5112
TTY 612 673-2157

The Minneapolis City Council
Room 307, City Hall
350 South Fifth Street
Minneapolis, MN 55415

Minneapolis Planning Commission
Room 110, Public Service Center
250 South Fourth Street
Minneapolis, MN 55415

Re: Plat application for proposed Riverton Chateau Addition

Dear Members of the City Council and Planning Commission:

Pursuant to the request of the Minneapolis Planning Department, I have examined a copy of the final plat application for the proposed Riverton Chateau Addition.

It appears that the required monuments have been placed, the dedications are sufficient and that the required affirmations are stated on the face of the plat. The various records provided to me indicate that all the land contained within the area of the proposed plat is owned in fee simple by Riverton Community Housing, a Minnesota nonprofit corporation. It is my opinion that the plat and title are satisfactory and meet statutory requirements.

This opinion is for the sole benefit of the Minneapolis City Council and Minneapolis City Planning Commission. Other persons are advised that they must seek their own legal counsel relative to the matters herein discussed.

Very truly yours,

ERIK E. NILSSON
Assistant City Attorney
(612) 673-2192

Cc: Hilary Dvorak, Senior City Planner





CONTACTS

DEVELOPER

NAME: PROJECT FOR PRIDE IN LIVING for RIVERTON COMMUNITY HOUSING
 CONTACT: CHRIS WILSON
 MARY NOVAK
 ADDRESS: 1035 EAST FRANKLIN AVENUE MINNEAPOLIS, MN 55404
 PHONE No.: 612-455-5100
 FAX No.: 612-455-5101
 E-MAIL: CHRIS.WILSON@PPL-INC.ORG
 MARY.NOVAK@PPL-INC.ORG

PROPERTY OWNER

NAME: RIVERTON COMMUNITY HOUSING
 CONTACT: GARY ELLIS
 ADDRESS: 425 13TH AVE. SE MINNEAPOLIS, MN 55414
 PHONE No.: 612-331-3911
 FAX No.: 612-455-5101
 E-MAIL: GELLIS@RIVERTON.ORG

CONTRACTOR

NAME: FRANA COMPANIES
 CONTACT: MIKE BENEDICT
 DAN ACKMANN
 ADDRESS: 633 SECOND AVENUE SOUTH HOPKINS, MN 55343
 PHONE No.: 952-935-8600
 FAX No.: 952-935-8644
 E-MAIL: MIKE@FRANA.COM
 DACKMANN@FRANA.COM

ARCHITECT

NAME: URBANWORKS ARCHITECTUE LLC
 CONTACT: DAVID HAALAND, AIA
 DEVON LUNDY, AIA
 ADDRESS: 901 N 3RD. ST., STE 145 MINNEAPOLIS, MN 55401
 PHONE No.: 612-455-3100
 FAX No.: 612-455-3199
 E-MAIL: DHAALAND@URBAN-WORKS.COM
 DLUNDY@URBAN-WORKS.COM

CIVIL ENGINEER

NAME: BKBM ENGINEERS
 CONTACT: KEITH MATTE, P.E.
 ADDRESS: 5930 BROOKLYN BOULEVARD MINNEAPOLIS, MN 55429
 PHONE No.: 763-843-0446
 FAX No.: 763-843-0421
 E-MAIL: KMATTE@BKBM.COM

LANDSCAPE ARCHITECT

NAME: STUDIO GREEN
 CONTACT: BILL DELANEY
 ADDRESS: 901 N 3RD. ST. SUITE 145
 PHONE No.: 612-455-3112
 FAX No.: 612-455-3199
 E-MAIL: STUDIOGREENLA@COMCAST.NET

STRUCTURAL ENGINEER

NAME: BKBM ENGINEERS
 CONTACT: RONALD J. LAMERE, P.E.
 JOHN TIMM, P.E.
 ADDRESS: 5930 BROOKLYN BOULEVARD MINNEAPOLIS, MN 55429
 PHONE No.: 763-843-0474
 FAX No.: 763-843-0421
 E-MAIL: JTIMM@BKBM.COM

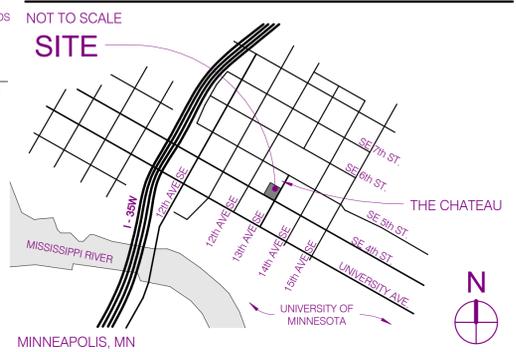
INTERIOR DESIGNER

NAME: G2 GROUP
 CONTACT: GERRY EWALD
 ADDRESS: 901 N 3RD. ST., 145 MINNEAPOLIS, MN 55401
 PHONE No.: 612-455-3181
 FAX No.: 612-455-3199
 E-MAIL: GERRY@G2GROUP-MN.COM

UNIT COUNT

UNIT TYPE	LEVEL 1	LEVEL 2	LEVEL 3	LEVEL 4	LEVEL 5	LEVEL 6	UNIT TYPE TOTAL	BEDS
1 BR UNIT	0	3	3	3	3	3	15	15
2 BR UNIT	2	5	5	5	5	5	27	54
3 BR UNIT	1	2	2	2	2	2	11	33
STUDIO UNIT	3	2	2	2	2	2	13	13
Grand total	6	12	12	12	12	12	66	115

VICINITY MAP



SITE & BUILDING STATISTICS

A. SITE SQUARE FOOTAGE:	PROPOSED NEW LOT	=	25,481 sf (0.58 ACRE)
B. GROSS BUILDING SQUARE FOOTAGE:	SUBLEVEL 1	=	11,016 sf
	LEVEL ONE	=	11,284 sf
	LEVELS 2-5	=	11,997 sf
	LEVEL 6	=	11,992 sf
	TOTAL GROSS S.F.	=	81,880 sf
	ABOVE GRADE S.F.	=	70,864 sf
C. PERCENT OF SITE COVERATE & FLOOR AREA RATIO	% SITE COVERAGE	=	44.3%
	F.A.R.	=	2.8
D. DWELLING UNITS PER ACRE:	67 UNITS / .58 ACRE	=	115 UNITS PER ACRE
E. PERVIOUS SITE AREA:	5460 sf	=	21.4% PERVIOUS
F. APPROX ELEVATION ABOVE MEAN SEA LEVEL:	LEVEL 1	=	833' - 6"
G. HEIGHT OF ROOF ABOVE GRADE		=	72' - 10"
H. BEDROOM COUNT		=	115

PARKING STALLS

	SUBLEVEL 1	SURFACE
STANDARD PARKING STALL:	24	5
COMPACT PARKING STALL:	4	
ACCESSIBLE PARKING STALL:	2	
GRAND TOTAL:	30	5
BICYCLE PARKING		
VERTICAL:	18	45
HORIZONTAL:	35	
ON GROUND:		20
TOTAL:	73	45
GRAND TOTAL	120	20

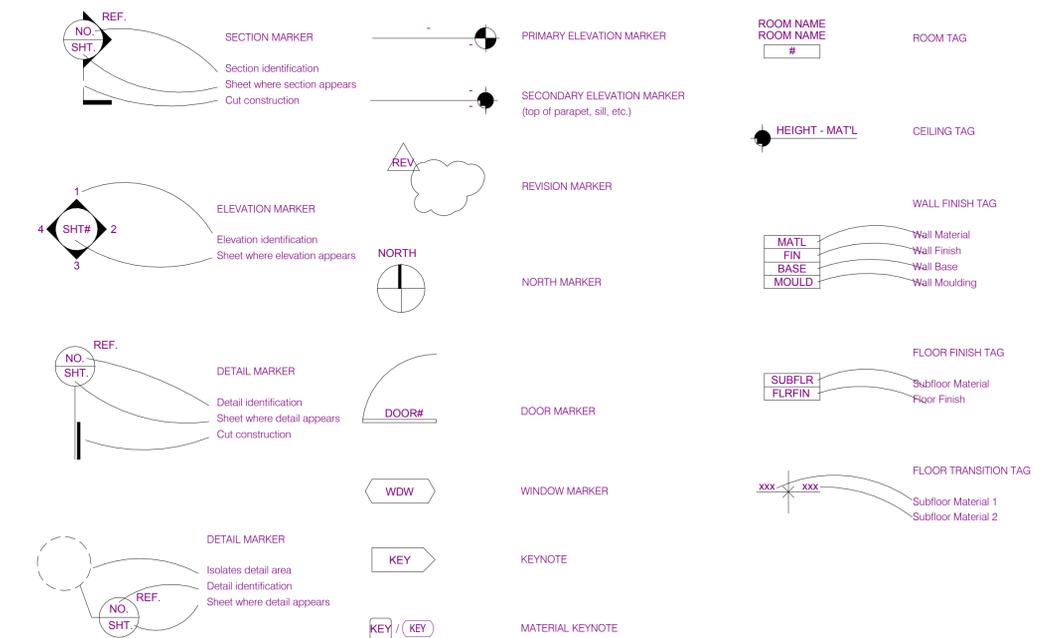
GENERAL NOTES

- DO NOT SCALE DRAWINGS.
- SUBCONTRACTORS SHALL VISIT THE JOB SITE AND SHALL REVIEW THE CONTRACT DOCUMENTS TO FAMILIARIZE THEMSELVES WITH THE REQUIREMENTS AND INTENT OF THE SCOPE OF THE WORK PRIOR COMMENCEMENT OF WORK. DISCREPANCIES SHALL BE REPORTED TO GENERAL CONTRACTOR FOR CLARIFICATION.

SHEET LIST

G001	TITLE SHEET
-SURVEY-	BOUNDARY AND TOPOGRAPHIC SURVEY
-PLAT-	PRELIMINARY PLAT
C100	DEMOLITION AND EROSION CONTROL PLAN
C200	GRADING, DRAINAGE AND EROSION CONTROL PLAN
C300	UTILITY PLAN
C400	PAVING AND GEOMEGRIC PLAN
C500	DETAILS
C501	DETAILS
C600	WATERSHED PLAN
L300	LANDSCAPE PLAN
LA100	ARCHITECTURAL SITE PLAN
A001	SUBLEVEL PLAN
A101	LEVEL 1 PLAN
A102	LEVEL 2 PLAN
A103	LEVEL 3-5 PLAN
A106	LEVEL 6 PLAN
A201	ROOF PLAN
A301	BUILDING ELEVATIONS
A302	BUILDING ELEVATIONS

SYMBOLS



901 NORTH THIRD STREET, SUITE 145
 MINNEAPOLIS, MN 55401
 612.455.3100

CONSULTANT

PRELIMINARY

NOT FOR CONSTRUCTION

REVISIONS

#	Date	Description
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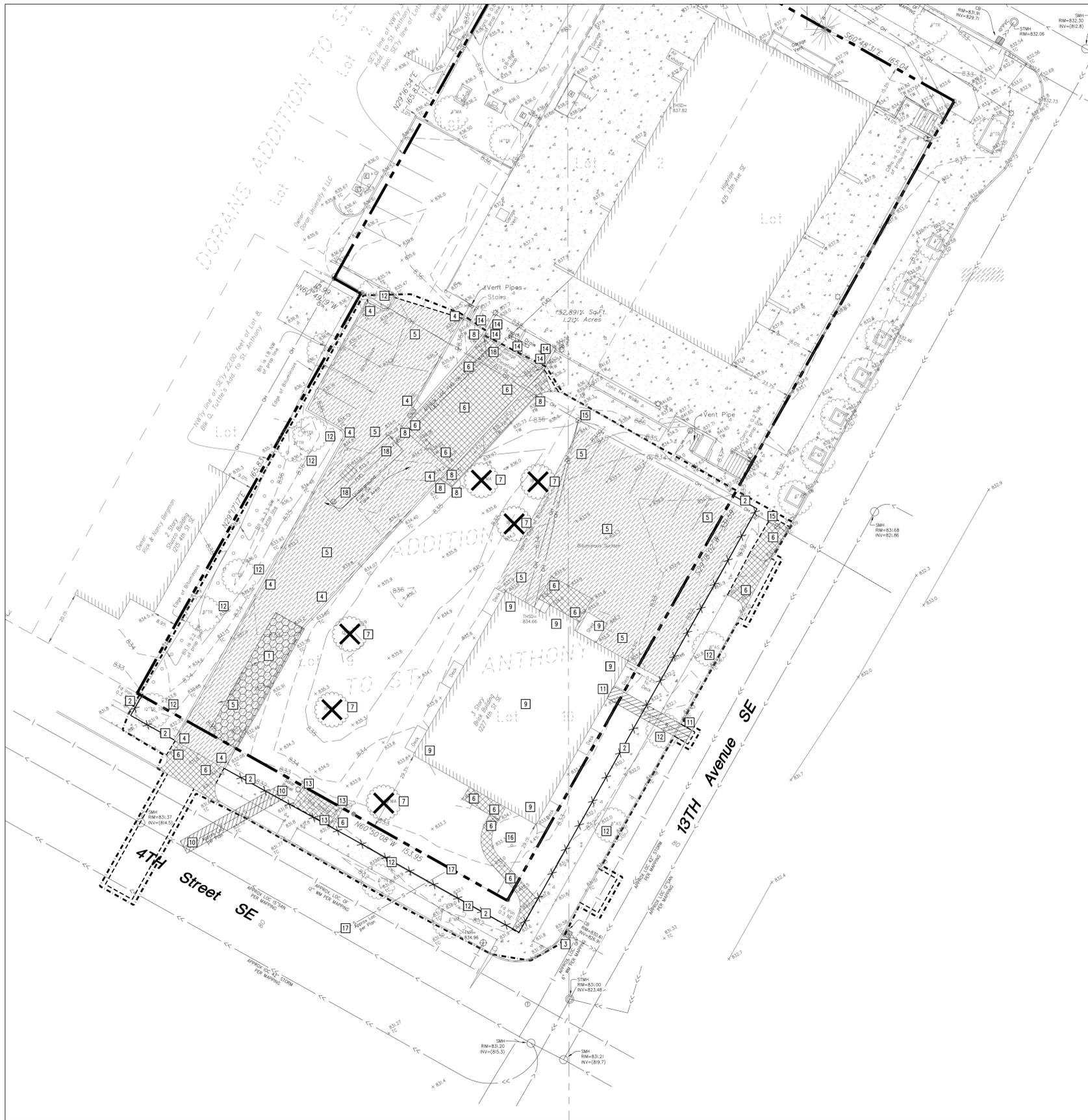
DATE	5/30/14
PROJECT #	14-0008
PHASE	PDR

DRAWN BY	DP5L
CHECKED BY	DPEH

KEY PLAN

TITLE SHEET

G001



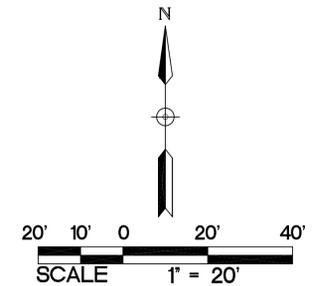
PROPOSED PLAN SYMBOLS

CONSTRUCTION LIMITS	- - - - -
PERIMETER SEDIMENT CONTROL	X X
PROPERTY LINE	— — — — —
SAWCUT LINE (APPROX.)	- - - - -
EROSION CONTROL BLANKET (TEMPORARY)	[Pattern]
PIPE REMOVAL OR ABANDONMENT	[Pattern]
BITUMINOUS REMOVAL	[Pattern]
CONCRETE REMOVAL	[Pattern]
TREE REMOVAL	X

ABBREVIATIONS

BLDG	Building
BM	Bench Mark
CB	Catch Basin
CL	Center Line
CONC	Concrete
DIP	Ductile Iron Pipe
ELEV	Elevation
EX	Existing
FFE	Finished Floor Elevation
INV	Invert
MAX	Maximum
MH	Manhole
MIN	Minimum
PVC	Polyvinyl Chloride
RCP	Reinforced Concrete Pipe
RED	Reducer

APPROXIMATE DISTURBED AREA IS 0.79 ACRES



*NOTE: CONSTRUCTION LIMITS ARE ANTICIPATED TO BE PROPERTY LINE UNLESS OTHERWISE SHOWN.

KEYED NOTES

- KEYED NOTES ARE DENOTED BY [NO] ON PLAN.
- INSTALL ROCK CONSTRUCTION ENTRANCE. REFER TO DETAIL 1/C500.
 - INSTALL PERIMETER SEDIMENT CONTROLS. REFER TO DETAILS 2/C500 AND 4/C500.
 - INSTALL INLET SEDIMENT PROTECTION. REFER TO DETAIL 3/C500.
 - REMOVE CURB AND GUTTER IN ITS ENTIRETY TO THE EXTENT SHOWN. SAWCUT AND REMOVE AT NEAREST JOINT.
 - SAWCUT AND REMOVE BITUMINOUS PAVEMENT IN ITS ENTIRETY TO THE EXTENTS SHOWN.
 - SAWCUT AND REMOVE CONCRETE PAVEMENT IN ITS ENTIRETY TO THE EXTENTS SHOWN.
 - REMOVE TREE IN ITS ENTIRETY INCLUDING STUMP.
 - REMOVE RETAINING WALL IN ITS ENTIRETY.
 - REMOVE BUILDING IN ITS ENTIRETY, INCLUDING EXTERIOR STAIRS, OVERHANGS, FOOTINGS, AND SMALL UTILITIES. COORDINATE REMOVAL OF SMALL UTILITIES WITH LOCAL UTILITY COMPANIES.
 - ABANDON SANITARY SEWER SERVICE SHOWN. EXISTING SANITARY SEWER MAIN HAS PREVIOUSLY BEEN LINED. SERVICE LINE WAS NOT CONNECTED TO MAIN. FOLLOW ALL CITY OF MINNEAPOLIS STANDARDS AND SPECIFICATIONS.
 - ABANDON WATER SERVICE SHOWN. FOLLOW ALL CITY OF MINNEAPOLIS STANDARDS AND SPECIFICATIONS.
 - EXISTING TREE TO REMAIN. PROTECT AT ALL TIMES.
 - EXISTING BUS SHELTER TO BE REMOVED. COORDINATE WITH MET COUNCIL TEMPORARY SHELTER DURING CONSTRUCTION.
 - EXISTING WALL TO REMAIN. PROTECT AT ALL TIMES.
 - EXISTING UTILITY POLE TO REMAIN. PROTECT AT ALL TIMES.
 - REMOVE SIGN. COORDINATE WITH OWNER ANY POSSIBLE SALVAGE.
 - EXISTING 6-INCH CLAY SANITARY SEWER LINE IS TO BE RE-USED. SEWER WAS INSTALLED IN 1886. EXISTING SERVICE IS TO BE REFURBISHED BY INSITU LINING. CONTRACTOR IS TO DETERMINE INVERT ELEVATION PRIOR TO CONSTRUCTION AND INFORM CIVIL ENGINEER OF FINDINGS. COORDINATE WITH MECHANICAL CONTRACTOR PRIOR TO CONSTRUCTION.
 - EXISTING FUEL STORAGE TANK IS LOCATED IN THE THIS AREA. TANK HAS A 12,000 GALLON CAPACITY AND WAS INSTALLED JANUARY 1972. A LEAK WAS DETECTED IN 1994 AND ANY REPAIR/REMEDIATION WAS COMPLETED IN 1997. RECORDS INDICATE THERE MAY BE TWO TANKS. PRIOR TO CONSTRUCTION, CONTRACTOR IS TO DETERMINE LOCATION AND DEPTH TO TOP OF TANK AND BUILDING FUEL SUPPLY LINE. REPORT FINDINGS TO CIVIL ENGINEER.

DEMOLITION AND REMOVAL NOTES:

- PRIOR TO START OF DEMOLITION, ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE INSTALLED BY THE CONTRACTOR AND INSPECTED BY THE CITY OF MINNEAPOLIS AND HENNEPIN COUNTY. ALL SILT FENCES SHALL BE INSTALLED AND INSPECTED PRIOR TO ANY CONSTRUCTION ACTIVITY. SILT FENCES SHALL BE INSTALLED ALONG THE CONTOUR.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ASCERTAIN THE LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY THE LOCATION, ELEVATION AND MARK ALL EXISTING UTILITIES 48 HOURS BEFORE CONSTRUCTION STARTS. THE ENGINEER, ARCHITECT OR OWNER DOES NOT GUARANTEE THAT ALL THE UTILITIES ARE MAPPED, OR IF MAPPED, ARE SHOWN CORRECTLY. CONTACT Gopher State One Call at 651-454-0902 FOR FIELD LOCATING EXISTING UTILITIES. CONTACT UTILITY OWNER IF DAMAGE OCCURS DUE TO CONSTRUCTION.
- PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR IS TO CLEARLY IDENTIFY IN THE FIELD THE WETLAND PERIMETERS THAT ARE NOT TO BE IMPACTED SO THAT NO ENCROACHMENT OCCURS. AFTER THE PERIMETERS ARE CLEARLY MARKED IN THE FIELD, THE CONTRACTOR SHALL CONTACT MIDDLE MISSISSIPPI WATERSHED DISTRICT TO CONFIRM AND APPROVE NO ENCROACHMENT LIMITS.
- THERE MAY BE MISCELLANEOUS ITEMS TO BE REMOVED THAT ARE NOT IDENTIFIED ON THESE PLANS. THE CONTRACTOR SHALL VISIT THE SITE AND REVIEW THE DOCUMENTS TO OBTAIN A CLEAR UNDERSTANDING OF THE INTENDED SCOPE OF WORK.
- PRIOR TO START OF CONSTRUCTION, DISCONNECT ALL GAS AND ELECTRIC SERVICES. COORDINATE DISCONNECTION OF EACH UTILITY WITH THE UTILITY OWNER. REMOVE ALL GAS AND ELECTRIC LINES UNDER PROPOSED BUILDING FOOTPRINT.
- ANY UTILITIES NOT INDICATED FOR REMOVAL OR ABANDONMENT, ARE TO BE PROTECTED AT ALL TIMES.
- ALL EXISTING CURB AND GUTTER IS TO BE REMOVED WITHIN THE SCOPE OF THE PROJECT FROM THE SAW CUT LINES TO THE NEAREST JOINT.
- THE BACKGROUND INFORMATION WAS PREPARED BY LOUCHS ASSOCIATES. (763) 424-5505.
- ALL WORK IN THE PUBLIC RIGHT OF WAY IS TO BE COORDINATED WITH THE CITY OF MINNEAPOLIS. ROADWAY REPAIRS, BOULEVARD REPAIRS, AND TRAFFIC CONTROL ARE TO BE PER CITY OF MINNEAPOLIS STANDARDS AND SPECIFICATIONS.

GENERAL NOTES:

- CONCRETE CURB AND GUTTER REMOVAL, PAVEMENT REMOVAL, AND UTILITY REMOVAL LIMITS ARE TO BE COORDINATED THE CITY OF MINNEAPOLIS AND UTILITY OWNER. REFER TO ALL CONSTRUCTION DOCUMENTS.
- THE CONTRACTOR SHALL DEVELOP AND IMPLEMENT A TRAFFIC CONTROL PLAN WHILE WORKING WITHIN THE RIGHT-OF-WAY. THE TRAFFIC CONTROL PLAN SHALL BE APPROVED BY THE CITY ENGINEERING DEPARTMENT PRIOR TO STREET ENCROACHMENT.
- CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING AND REVIEW ALL CONSTRUCTION DOCUMENTS AND GEOTECHNICAL REPORTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR ITEMS THAT SHOULD HAVE BEEN ANTICIPATED BY PERFORMING THE ABOVE.
- THE ROCK CONSTRUCTION ENTRANCE INDICATED ON THE PLAN IS SHOWN IN AN APPROXIMATE LOCATION. PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR IS TO COORDINATE WITH THE CITY OF MINNEAPOLIS FOR THE EXACT ROCK CONSTRUCTION ENTRANCE LOCATION.

1 DEMOLITION AND EROSION CONTROL PLAN
C100 1"=20'

NOTE:
STORM SEWER INLETS NOT SHOWN ON PLAN MAY RECEIVE RUNOFF FROM CONSTRUCTION ACTIVITIES. INSTALL INLET SEDIMENT PROTECTION PER DETAIL 3/C500 ON ALL STORM INLETS THAT MAY RECEIVE RUNOFF.



901 NORTH THIRD STREET, SUITE 145
MINNEAPOLIS, MN 55401
612.455.3100

CONSULTANT
5930 Brooklyn Boulevard Minneapolis, MN 55429-2518
Phone: (763) 843-0420
Fax: (763) 843-0421
www.bkbn.com
BKBM Project # 14237.00

PRELIMINARY
NOT FOR CONSTRUCTION

REVISIONS

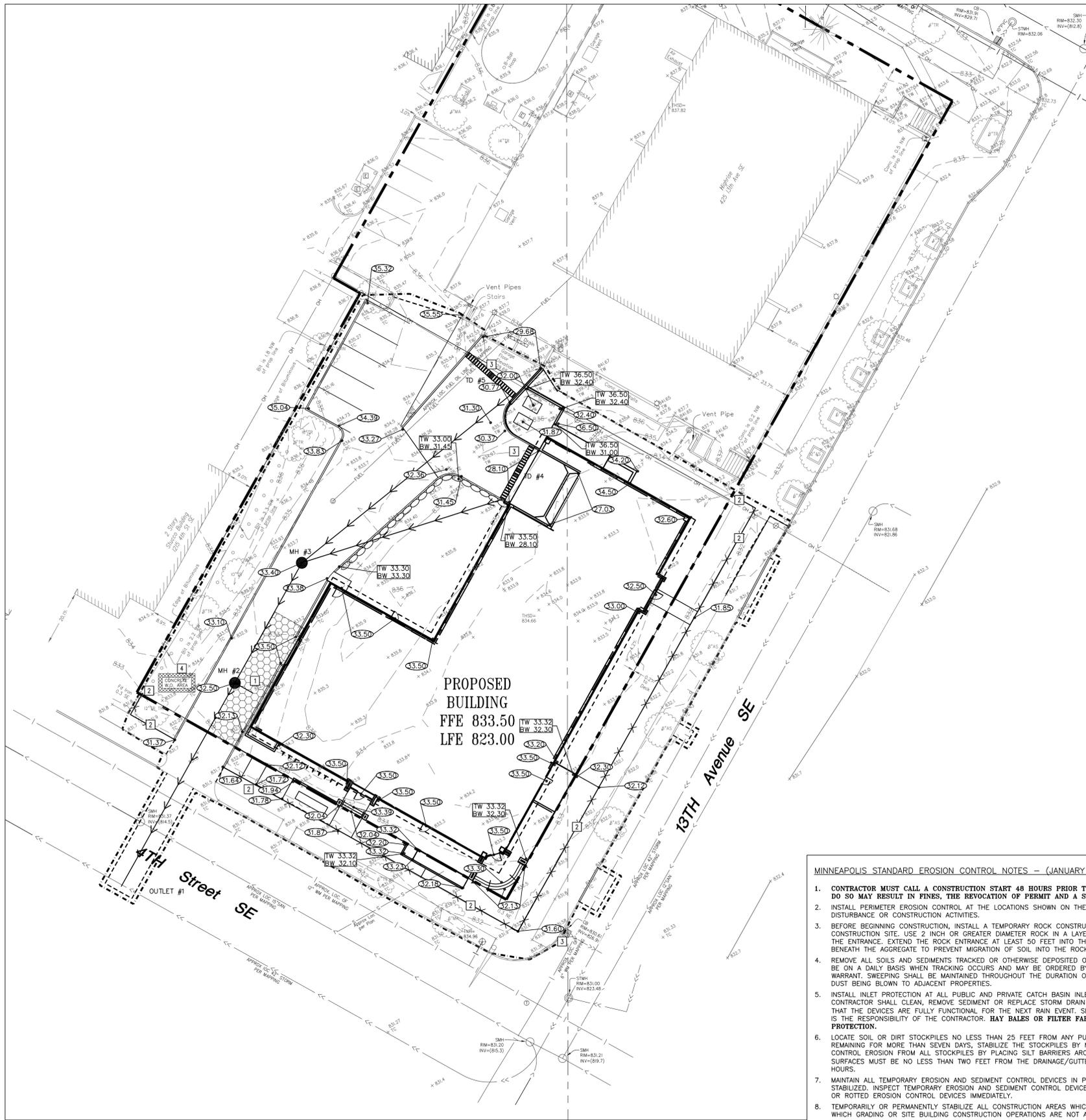
#	Date	Description

DATE 05/12/2014
PROJECT # 14237
PHASE PDR SUBMITTAL

DRAWN BY REM
CHECKED BY KAM

DEMOLITION AND EROSION CONTROL PLAN

C100



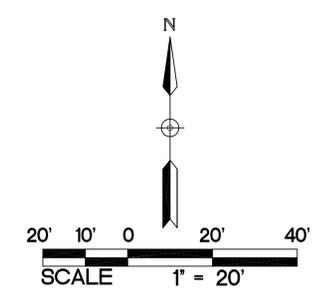
1 GRADING, DRAINAGE AND EROSION CONTROL PLAN
 C200 1"=20'

PROPOSED PLAN SYMBOLS

CONSTRUCTION LIMITS	---
PERIMETER SEDIMENT CONTROL	---X---
PROPERTY LINE	---
SAWCUT LINE (APPROX.)	---
PROPOSED CONTOUR	---
DRAIN TILE	---
STORM SEWER	---
RETAINING WALL	---
MANHOLE	●
ROCK CONSTRUCTION ENTRANCE	---
RETAINING WALL SPOT ELEVATION	TW 33.32 BW 32.30
SPOT ELEVATION	41.96
SOIL BORING	SB-1
CONCRETE WASHOUT AREA	---

ABBREVIATIONS

BLDG	Building
BM	Bench Mark
BW	Bottom of Wall
CB	Catch Basin
CONC	Concrete
ELEV	Elevation
EX	Existing
FFE	Finished Floor Elevation
INV	Invert
LFE	Lower Floor Elevation
MAX	Maximum
MH	Manhole
MIN	Minimum
NIC	Not In Contract
PVC	Polyvinyl Chloride
RCP	Reinforced Concrete Pipe
TW	Top of Wall
W.O.	Washout



WALKWAY NOTES:

1. GRADING CONTRACTOR IS TO COORDINATE WITH PAVING CONTRACTOR SO THAT ALL STEPS AND LANDINGS ARE SLOPED PER CODE.
2. ALL SIDEWALK LONGITUDINAL AND TRANSVERSE SLOPES ARE TO BE PER CODE.

NOTE:
 STORM SEWER INLETS NOT SHOWN ON PLAN MAY RECEIVE RUNOFF FROM CONSTRUCTION ACTIVITIES. INSTALL INLET SEDIMENT PROTECTION PER DETAIL 3/C500 ON ALL STORM INLETS THAT MAY RECEIVE RUNOFF.

APPROXIMATE DISTURBED AREA IS 0.79 ACRES

- KEYED NOTES**
- KEYED NOTES ARE DENOTED BY [NO] ON PLAN.
1. INSTALL ROCK CONSTRUCTION ENTRANCE. REFER TO DETAIL 1/C500.
 2. INSTALL PERIMETER SEDIMENT CONTROL. REFER TO DETAILS 2/C500 AND 4/C500.
 3. INSTALL INLET SEDIMENT PROTECTION. REFER TO DETAIL 3/C500.
 4. APPROXIMATE LOCATION OF TEMPORARY CONTAINED CONCRETE WASH OUT BIN. REFER TO THE MINNESOTA'S NPDES/SDS GENERAL STORMWATER PERMIT FOR CONSTRUCTION ACTIVITY FOR MORE DETAILS. SELF CONTAINED CONCRETE WASHOUTS ON CONCRETE DELIVERY TRUCKS IS AN ACCEPTABLE ALTERNATIVE TO ON-SITE CONTAINMENT.

- RETAINING WALL NOTES:**
1. ALL TOP AND BOTTOM ELEVATIONS CORRESPOND TO THE RESPECTIVE GRADE ELEVATIONS ON EACH SIDE OF THE WALL.
 2. THE BOTTOM ELEVATION IS THE ELEVATION OF THE LOW-GRADE SIDE OF THE WALL, NOT THE TOP ELEVATION OF THE BURIED BLOCK COURSE.
 3. ALL RETAINING WALLS SHALL HAVE PROTECTIVE FENCING AT THE TOP WHERE THE VERTICAL HEIGHT EXCEEDS 30 INCHES. REFER TO ARCHITECTURAL AND LANDSCAPE PLANS AND SPECIFICATIONS.
 4. MODULAR BLOCK RETAINING WALL SHALL BE DESIGNED AND CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER. DESIGN CALCULATIONS AND SHOP DRAWINGS SHALL BE SUBMITTED TO THE OWNER AND ARCHITECT PRIOR TO CONSTRUCTION OF WALL.

- GRADING NOTES:**
1. THE CONTRACTOR SHALL VISIT THE SITE, REVIEW ALL CONSTRUCTION DOCUMENTS AND FIELD VERIFY THE EXISTING CONDITIONS PRIOR TO BIDDING. NO ADDITIONAL COMPENSATION WILL BE GIVEN FOR WORK THAT COULD HAVE BEEN IDENTIFIED BY A SITE VISIT OR CONSTRUCTION DOCUMENT REVIEW.
 2. THE BACKGROUND INFORMATION WAS PREPARED BY LOUCKS ASSOCIATES. CONTACT RICHARD LIGHT AT (763) 424-5505.
 3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ASCERTAIN THE LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY THE LOCATION, ELEVATION AND MARK ALL EXISTING UTILITIES 48 HOURS BEFORE CONSTRUCTION STARTS. THE ENGINEER, ARCHITECT OR OWNER DOES NOT GUARANTEE THAT ALL THE UTILITIES ARE MAPPED, OR IF MAPPED, ARE SHOWN CORRECTLY. CONTACT GOPHER ONE AT 651-454-0002 FOR FIELD LOCATING EXISTING UTILITIES. CONTACT UTILITY OWNER IF DAMAGE OCCURS DUE TO CONSTRUCTION.
 4. PROTECT ALL EXISTING STRUCTURES AND UTILITIES WHICH ARE NOT SCHEDULED FOR REMOVAL.
 5. NOTIFY CITY BUILDING INSPECTOR BEFORE TRENCHING AND EXCAVATION WORK COMMENCES. THE CONTRACTOR SHALL OBTAIN ALL APPLICABLE PERMITS PRIOR TO START OF CONSTRUCTION.
 6. ALL SPOT ELEVATIONS SHOWN AS 31.96, FOR EXAMPLE, ARE TO BE UNDERSTOOD TO MEAN 831.96.
 7. ALL SPOT ELEVATIONS ALONG THE CURB-LINE INDICATE THE ELEVATION OF THE GUTTER, UNLESS NOTED OTHERWISE.
 8. NO LANDSCAPED SLOPES ARE TO EXCEED 3:1 (3 FEET HORIZONTAL TO 1 FOOT VERTICAL) UNLESS NOTED OTHERWISE.
 9. PROVIDE POSITIVE DRAINAGE FROM BUILDINGS AT ALL TIMES.
 10. UPON COMPLETION OF THE GRADING AND UTILITY WORK, THE DEVELOPER SHALL CERTIFY THAT ALL GRADING AND UTILITY WORK WAS PERFORMED IN ACCORDANCE WITH THE APPROVED GRADING AND UTILITY PERMITS. AN AS-BUILT GRADING AND UTILITY PLAN SHALL BE SUBMITTED TO THE CITY FOR REVIEW AND DISTRIBUTION.
 11. PRIOR TO ISSUANCE OF BUILDING PERMITS, ALL NECESSARY EROSION CONTROL DEVICES MUST BE IN PLACE AND FUNCTIONING. THE CITY (AND WATERSHED) WILL INSPECT THE SITE TO DETERMINE ITS SUITABILITY FOR BUILDING ACTIVITIES. IF THE PUBLIC UTILITIES HAVE NOT BEEN INSTALLED AT THIS POINT, IT MAY BE NECESSARY TO WITHHOLD BUILDING PERMITS FOR VARIOUS LOTS TO ALLOW THE CONTRACTOR ADEQUATE SPACE TO PERFORM THIS WORK.
 12. ALL DEBRIS CREATED IN THE PROCESS OF CLEARING AND GRADING THE SITE SHALL BE REMOVED FROM THE SITE. THIS INCLUDES TREES AND SHRUBS. UNDER NO CIRCUMSTANCES SHALL THIS TYPE OF MATERIAL BE BURIED OR BURNED ON THE SITE.
 13. THE INTENT IS TO STRIP AND SALVAGED TOPSOIL FOR POTENTIAL RE-SPREADING ON THE SITE, IF APPROVED BY THE LANDSCAPE ARCHITECT AND/OR SPECIFICATIONS. SIX INCHES OF TOPSOIL - AFTER COMPACTION - SHALL BE RE-SPREAD PRIOR TO SEEDING AND MULCHING. EXCESS TOPSOIL MAY BE REMOVED FROM THE SITE PROVIDING THERE IS ADEQUATE TOPSOIL REMAINING TO PROPERLY FINISH THE SITE AS NOTED ABOVE. THE TOPSOIL STRIPPING, STOCKPILING AND RE-SPREADING SHALL BE DONE IN ACCORDANCE TO, AND NOTED ON, THE APPROVED GRADING PLAN AND SPECIFICATIONS. THE CONTRACTOR SHALL REFER TO THE LANDSCAPE DRAWINGS AND SPECIFICATIONS FOR ANY SPECIAL TOPSOIL OR PLANTING REQUIREMENTS.
 14. ALL GRADING OPERATIONS SHALL BE CONDUCTED IN A MANNER TO MINIMIZE THE POTENTIAL FOR SITE EROSION. EROSION CONTROL MEASURES SHALL BE INSTALLED TO PREVENT SEDIMENT FROM RUNNING OFF ONTO ADJACENT PROPERTIES. ANY DAMAGE TO ADJACENT PROPERTIES MUST BE CORRECTED AND RESTORED AS SOON AS PERMISSION IS GRANTED FROM THE ADJACENT PROPERTY OWNER(S).
 15. IF CONSTRUCTION OF THE SITE WORK PROCEEDS THROUGH THE WINTER MONTHS, ANY DISTURBED AREAS OUTSIDE THE BUILDING FOOTPRINTS ARE TO BE MINIMALLY STABILIZED PRIOR TO MARCH 1, AS FOLLOWS: AREAS PLANNED TO RECEIVE PAVEMENTS ARE TO HAVE CLASS 5 BASE INSTALLED; ALL OTHER DISTURBED AREAS ARE TO BE SEEDED, STRAW MULCH PLACED, AND DISC-ANCHORED.
 16. WINTER MULCHING:
 - 16.A. SNOW MULCHING SHALL BE DEFINED AS MULCH MATERIAL SPREAD OVER THE TOP OF SNOW SO THAT THE MULCH MELTS THROUGH THE SNOW AND STICKS TO THE EXPOSED SOILS.
 - 16.B. FROZEN GROUND MULCHING SHALL BE DEFINED AS MULCH MATERIAL SPREAD OVER FROZEN GROUND. MULCH MATERIALS THAT DO NOT REQUIRE DISC-ANCHORING INTO THE SOIL MAY BE PLACED WITHOUT MODIFICATION. MULCH MATERIALS THAT REQUIRE DISC-ANCHORING MAYBE ANCHORED WITH HYDRAULIC SOIL STABILIZERS OR MAY BE FROZEN TO THE SOIL BY APPLYING WATER, AT A RATE OF 2000 GALLONS PER ACRE, OVER THE MULCH AS A SUBSTITUTION FOR DISC-ANCHORING.
 17. RETAINING WALLS AND APPROPRIATE SAFETY FENCING ALONG THE TOP OF WALLS ARE TO BE DESIGNED AND CERTIFIED BY A REGISTERED PROFESSIONAL ENGINEER. SUBMIT RETAINING WALL SHOP DRAWINGS TO PROJECT TEAM PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL LIMIT THE DISTURBED AREA AS MUCH AS POSSIBLE.

- MINNEAPOLIS STANDARD EROSION CONTROL NOTES - (JANUARY 7, 2011)**
1. CONTRACTOR MUST CALL A CONSTRUCTION START 48 HOURS PRIOR TO ANY LAND DISTURBANCES 612-673-3867. FAILURE TO DO SO MAY RESULT IN FINES, THE REVOCATION OF PERMIT AND A STOP WORK ORDER BEING ISSUED.
 2. INSTALL PERIMETER EROSION CONTROL AT THE LOCATIONS SHOWN ON THE PLANS PRIOR TO THE COMMENCEMENT OF ANY LAND DISTURBANCE OR CONSTRUCTION ACTIVITIES.
 3. BEFORE BEGINNING CONSTRUCTION, INSTALL A TEMPORARY ROCK CONSTRUCTION ENTRANCE AT EACH POINT WHERE VEHICLES EXIT THE CONSTRUCTION SITE. USE 2 INCH OR GREATER DIAMETER ROCK IN A LAYER AT LEAST 6 INCHES THICK ACROSS THE ENTIRE WIDTH OF THE ENTRANCE. EXTEND THE ROCK ENTRANCE AT LEAST 50 FEET INTO THE CONSTRUCTION ZONE USING A GEO-TEXTILE FABRIC BENEATH THE AGGREGATE TO PREVENT MIGRATION OF SOIL INTO THE ROCK FROM BELOW.
 4. REMOVE ALL SOILS AND SEDIMENTS TRACKED OR OTHERWISE DEPOSITED ONTO PUBLIC AND PRIVATE PAVEMENT AREAS. REMOVAL SHALL BE ON A DAILY BASIS WHEN TRACKING OCCURS AND MAY BE ORDERED BY MINNEAPOLIS INSPECTORS AT ANY TIME IF CONDITIONS WARRANT. SWEEPING SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE CONSTRUCTION AND DONE IN A MANNER TO PREVENT DUST BEING BLOWN TO ADJACENT PROPERTIES.
 5. INSTALL INLET PROTECTION AT ALL PUBLIC AND PRIVATE CATCH BASIN INLETS, WHICH RECEIVE RUNOFF FROM THE DISTURBED AREAS. CONTRACTOR SHALL CLEAN, REMOVE SEDIMENT OR REPLACE STORM DRAIN INLET PROTECTION DEVICES ON A ROUTINE BASIS SUCH THAT THE DEVICES ARE FULLY FUNCTIONAL FOR THE NEXT RAIN EVENT. SEDIMENT DEPOSITED IN AND/OR PLUGGING DRAINAGE SYSTEMS IS THE RESPONSIBILITY OF THE CONTRACTOR. HAY BALES OR FILTER FABRIC WRAPPED GRATES ARE NOT ALLOWED FOR INLET PROTECTION.
 6. LOCATE SOIL OR DIRT STOCKPILES NO LESS THAN 25 FEET FROM ANY PUBLIC OR PRIVATE ROADWAY OR DRAINAGE CHANNEL. IF REMAINING FOR MORE THAN SEVEN DAYS, STABILIZE THE STOCKPILES BY MULCHING, VEGETATIVE COVER, TARPS, OR OTHER MEANS. CONTROL EROSION FROM ALL STOCKPILES BY PLACING SILT BARRIERS AROUND THE FILES. TEMPORARY STOCKPILES LOCATED ON PAVED SURFACES MUST BE NO LESS THAN TWO FEET FROM THE DRAINAGE/GUTTER LINE AND SHALL BE COVERED IF LEFT MORE THAN 24 HOURS.
 7. MAINTAIN ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES IN PLACE UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED. INSPECT TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES ON A DAILY BASIS AND REPLACE DETERIORATED, DAMAGED, OR ROTTED EROSION CONTROL DEVICES IMMEDIATELY.
 8. TEMPORARILY OR PERMANENTLY STABILIZE ALL CONSTRUCTION AREAS WHICH HAVE UNDERGONE FINAL GRADING, AND ALL AREAS IN WHICH GRADING OR SITE BUILDING CONSTRUCTION OPERATIONS ARE NOT ACTIVELY UNDERWAY AGAINST EROSION DUE TO RAIN, WIND AND RUNNING WATER WITHIN 7-14 DAYS. USE SEED AND MULCH, EROSION CONTROL MATTING, AND/OR SODDING AND STAKING IN GREEN SPACE AREAS. REMOVE ALL TEMPORARY SYNTHETIC, STRUCTURAL, NON-BIODEGRADABLE EROSION AND SEDIMENT CONTROL DEVICES AFTER THE SITE HAS UNDERGONE FINAL STABILIZATION WITH PERMANENT VEGETATION ESTABLISHMENT. FINAL STABILIZATION FOR PURPOSES OF THIS REMOVAL IS 70% ESTABLISHED COVER OVER DENuded AREA.
 9. READY MIXED CONCRETE AND CONCRETE BATCH/MIX PLANTS ARE PROHIBITED WITHIN THE PUBLIC RIGHT OF WAY. ALL CONCRETE RELATED PRODUCTION, CLEANING AND MIXING ACTIVITIES SHALL BE DONE IN THE DESIGNATED CONCRETE MIXING/WASHOUT LOCATIONS AS SHOWN IN THE EROSION CONTROL PLAN. UNDER NO CIRCUMSTANCE MAY WASHOUT WATER DRAIN ONTO THE PUBLIC RIGHT OF WAY OR INTO ANY PUBLIC OR PRIVATE STORM DRAIN CONVEYANCE.
 10. CHANGES TO APPROVED EROSION CONTROL PLAN MUST BE APPROVED BY THE EROSION CONTROL INSPECTOR PRIOR TO IMPLEMENTATION. CONTRACTOR TO PROVIDE INSTALLATION AND DETAILS FOR ALL PROPOSED ALTERNATE TYPE DEVICES.
 11. IF DEWATERING OR PUMPING OF WATER IS NECESSARY, THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS AND/OR APPROVALS PRIOR TO DISCHARGE OF ANY WATER FROM THE SITE. IF THE DISCHARGE FROM THE DEWATERING OR PUMPING PROCESS IS TURBID OR CONTAINS SEDIMENT LADEN WATER, IT MUST BE TREATED THROUGH THE USE OF SEDIMENT TRAPS, VEGETATIVE FILTER STRIPS, OR OTHER SEDIMENT REDUCING MEASURES SUCH THAT THE DISCHARGE IS NOT VISIBLY DIFFERENT FROM THE RECEIVING WATER. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED AT THE DISCHARGE POINT TO PREVENT SCOUR EROSION. THE CONTRACTOR SHALL PROVIDE A DEWATERING/PUMPING PLAN TO THE EROSION CONTROL INSPECTOR PRIOR TO INITIATING DEWATERING ACTIVITIES.



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REVISIONS

#	Date	Description

DATE	05/12/2014
PROJECT #	14237
PHASE	PDR SUBMITTAL

DRAWN BY	REM
CHECKED BY	KAM

GRADING, DRAINAGE AND EROSION CONTROL PLAN

C200



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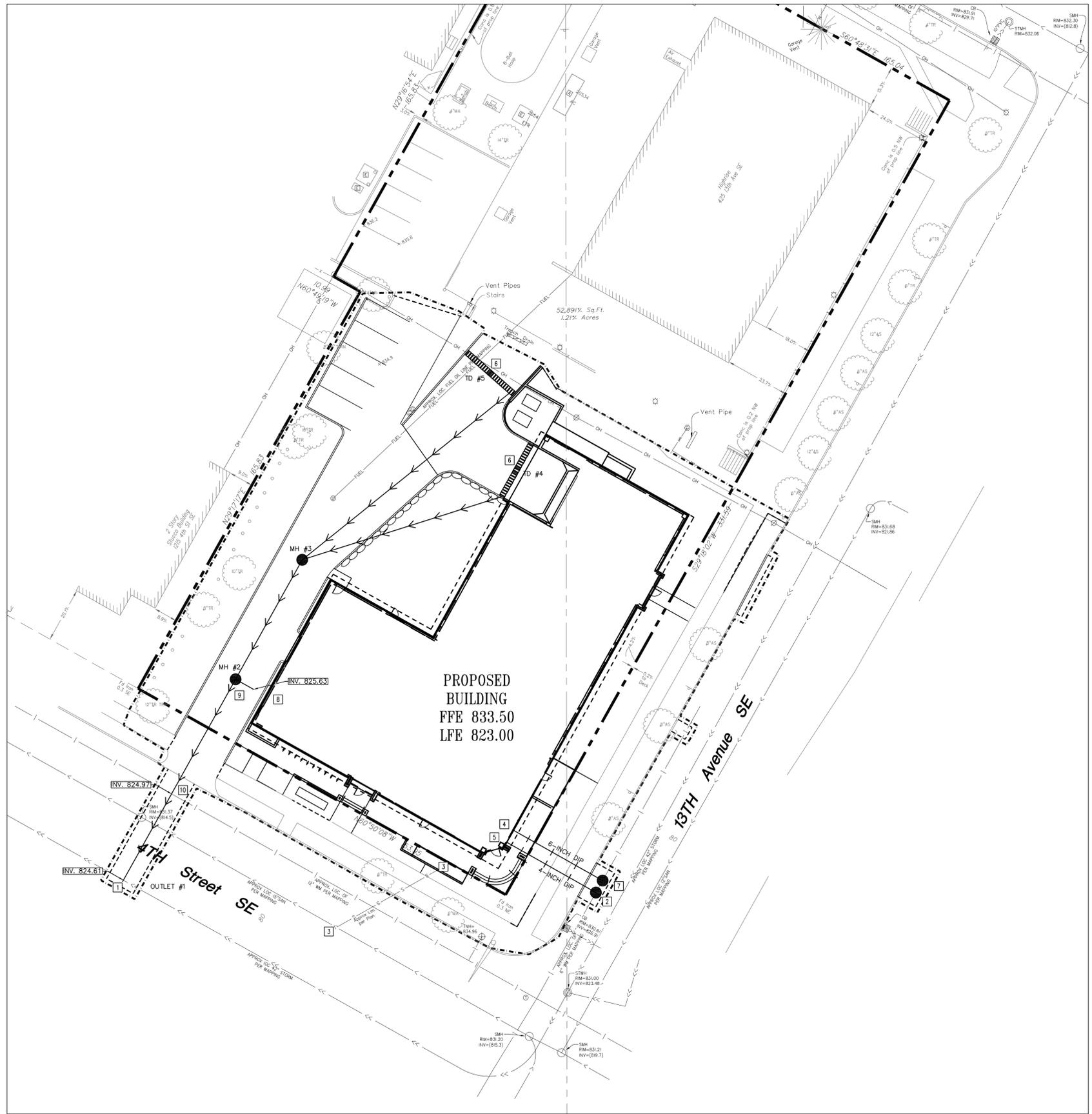
#	Date	Description

DATE 05/12/2014
PROJECT # 14237
PHASE PDR SUBMITTAL

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CHECKED BY KAM

UTILITY PLAN

C300



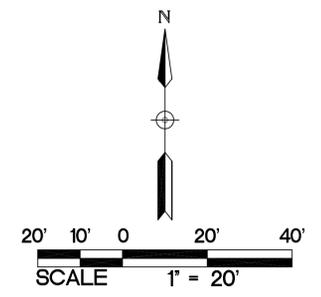
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C300
UTILITY PLAN
1"=20'

PROPOSED PLAN SYMBOLS

CONSTRUCTION LIMITS	---
PROPERTY LINE	---
SAWCUT LINE (APPROX.)	---
WATER PIPE	---
STORM SEWER	---
MODULAR BLOCK RETAINING WALL	---
CATCH BASIN	---
MANHOLE	---
SEWER SPOT ELEVATION	---

ABBREVIATIONS

BLDG	Building
BM	Bench Mark
CB	Catch Basin
CONC	Concrete
DIP	Ductile Iron Pipe
ELEV	Elevation
EX	Existing
FFE	Finished Floor Elevation
HDPE	High Density Polyethylene
INV	Invert
MAX	Maximum
MH	Manhole
MIN	Minimum
PVC	Polyvinyl Chloride
RD	Roof Drain



KEYED NOTES

- KEYED NOTES ARE DENOTED BY [] ON PLAN.
- CORE DRILL EXISTING STORM SEWER AT INVERT ELEVATION 824.61 FOR PROPOSED 12-INCH PVC PIPE CONNECTION. GROUT SEAL AROUND OPENING. FOLLOW ALL CITY OF MINNEAPOLIS STANDARDS AND SPECIFICATIONS.
 - WET TAP EXISTING 6-INCH WATER MAIN FOR 4-INCH SERVICE. THE CITY OF MINNEAPOLIS WILL PROVIDE AND INSTALL THE WET TAP AND VALVE AS PART OF THE PERMIT FEE. THE CONTRACTOR IS TO EXCAVATE FOR THE WET TAP, CONSTRUCT THE WATER VALVE MANHOLE, CONNECT TO THE VALVE AND BACKFILL THE TRENCH PER CITY OF MINNEAPOLIS STANDARDS AND SPECIFICATIONS. REFER TO DETAIL 8/C500. COORDINATE ALL WORK WITH CITY OF MINNEAPOLIS. CONTRACTOR SHALL SUBMIT TRAFFIC CONTROL PLANS TO MINNEAPOLIS PRIOR TO CONSTRUCTION.
 - EXISTING SANITARY SERVICES IS TO REMAIN. CONTRACTOR SHALL VERIFY SIZE AND STATUS OF SERVICES. EXISTING SANITARY SEWER SERVICES ARE BELIEVED TO BE 6-INCH VITRIFIED CLAY PIPE. CONTRACTOR SHALL RE-LINE EXISTING SERVICE PIPE. INVERT OF EXISTING SEWER SERVICE IS APPROXIMATELY 815.8±.
 - STUB 6-INCH FIRE PROTECTION LINE TO WITHIN 5- FEET OF PROPOSED BUILDING. FOLLOW ALL CITY OF MINNEAPOLIS STANDARDS AND SPECIFICATIONS.
 - STUB 4-INCH DOMESTIC WATER SERVICE TO WITHIN 5- FEET OF PROPOSED BUILDING. FOLLOW ALL CITY OF MINNEAPOLIS STANDARDS AND SPECIFICATIONS.
 - INSTALL TRENCH DRAIN. REFER TO DETAIL 2/C501.
 - INSTALL 6x6 TEE AND VALVE FOR 6-INCH SERVICE. THE CITY OF MINNEAPOLIS WILL PROVIDE AND INSTALL THE TEE AND VALVE AS PART OF THE PERMIT FEE. THE CONTRACTOR IS TO EXCAVATE FOR THE TEE INSTALLATION, CONSTRUCT THE WATER VALVE MANHOLE, CONNECT TO THE VALVE AND BACKFILL THE TRENCH PER CITY OF MINNEAPOLIS STANDARDS AND SPECIFICATIONS. REFER TO DETAIL 8/C500. COORDINATE ALL WORK WITH CITY OF MINNEAPOLIS. CONTRACTOR SHALL SUBMIT TRAFFIC CONTROL PLANS TO MINNEAPOLIS PRIOR TO CONSTRUCTION.
 - LOCATION OF PROPOSED ROOF DRAIN LEAD. REFER TO STORM SEWER TABLE FOR INVERT ELEVATIONS AND PIPE SIZES. COORDINATE EXACT LOCATION AND INVERT ELEVATION WITH MECHANICAL CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
 - INSTALL 12-INCH TIDEFLEX CHECKMATE INLINE VALVE WITH UPSTREAM CLAMP CONFIGURATION. FOLLOW MANUFACTURER'S INSTALLATION RECOMMENDATIONS AND SPECIFICATIONS. CONTACT SWANSON FLO AT 763-383-4700.
 - NEW STORM SEWER MAYBE WITHIN 18-INCHES OF EXISTING WATER MAIN. CONTRACTOR TO POTHOLE AND DETERMINE DEPTH TO TOP OF WATERMAIN. IF WATERMAIN IS LESS THAN 822.87 CONTRACTOR SHALL INSTALL 20- FEET OF DUCTILE IRON PIPE IN LIEU OF THE SPECIFIED HDPE, CENTERED ON THE WATER MAIN.

UTILITY NOTES FOR WORK IN PUBLIC RIGHT-OF-WAY:

- FOLLOW ALL CITY OF MINNEAPOLIS AND HENNEPIN COUNTY STANDARDS AND SPECIFICATIONS.
- PRIOR TO CONSTRUCTION, CONTRACTORS ARE TO COORDINATE ALL WORK WITHIN RIGHT OF WAY AND OBTAIN ALL APPLICABLE PERMITS.

UTILITY NOTES:

- COORDINATE SERVICE CONNECTION LOCATIONS AT THE BUILDING WITH THE MECHANICAL CONTRACTOR PRIOR TO CONSTRUCTION. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR UNCOORDINATED WORK.
- ALL SERVICE CONNECTIONS WITH LESS THAN 5 FEET OF COVER OVER THE TOP OF PIPE ARE TO BE INSULATED. INSULATION SHALL BE INSTALLED FROM THE CONNECTION OF THE SERVICE AT THE BUILDING TO THE POINT WHICH THE SERVICE ATTAINS 5 FEET OF COVER.
- PROTECT ALL EXISTING STRUCTURES AND UTILITIES WHICH ARE NOT SCHEDULED TO BE REMOVED.
- ALL SEWER AND WATER CROSSINGS SHALL HAVE A MINIMUM VERTICAL SEPARATION OF 1.5 FEET AND HORIZONTAL SEPARATION OF 10 FEET. FOLLOW ALL HEALTH DEPARTMENT AND CITY OF MINNEAPOLIS AND HENNEPIN COUNTY STANDARDS.
- ALL WATER MAINS SHALL BE DUCTILE IRON PIPE, CLASS 52, UNLESS NOTED OTHERWISE.
- ALL WATER MAIN SHALL HAVE A MINIMUM DEPTH OF COVER OF 7.5 FEET OVER TOP OF WATER MAIN.
- PROVIDE THRUST BLOCKING ON ALL WATER MAIN PER CITY OF MINNEAPOLIS. PROVIDE MECHANICAL JOINT RESTRAINTS ON ALL BENDS, VALVES, TEES, PLUGS AND HYDRANT LEADS.
- SANITARY SEWER PIPING SHALL BE PVC SDR 26 UNLESS NOTED OTHERWISE.
- STORM SEWER PIPING SHALL BE SMOOTH INTERIOR AND ANNULAR EXTERIOR CORRUGATED HIGH DENSITY POLYETHYLENE (HDPE), UNLESS NOTED OTHERWISE. HDPE PIPE SHALL CONFORM TO ASTM F2306.
- ALL FLARED END SECTIONS ARE TO HAVE TRASH GUARDS. ALL DOWNSTREAM FLARED END SECTIONS SHALL HAVE GEOTEXTILE FABRIC AND RIPRAP PER MNDOT STANDARDS, AS DETAILED.
- CONTRACTORS ARE TO COORDINATE ALL WORK WITH GAS, ELECTRIC, TELEVISION AND TELEPHONE COMPANIES PRIOR TO START OF CONSTRUCTION.
- ALL PORTIONS OF THE STORM SEWER SYSTEM LOCATED WITHIN 10- FEET OF THE BUILDING OR WATER SERVICE LINE SHALL BE TESTED IN ACCORDANCE WITH MN PLUMBING CODE.
- ALL JOINTS AND CONNECTIONS IN THE STORM SEWER SYSTEM SHALL BE GAS TIGHT OR WATER TIGHT IN ACCORDANCE TO MN PLUMBING CODE. APPROVED RESILIENT RUBBER JOINTS MUST BE USED TO MAKE WATER TIGHT CONNECTIONS TO MANHOLES, CATCH BASINS, AND OTHER STRUCTURES. GROUT RINGS ARE AN ACCEPTABLE ALTERNATIVE. CEMENT MORTAR JOINTS ARE PERMITTED ONLY FOR REPAIRS AND CONNECTIONS OF EXISTING LINES CONSTRUCTED WITH SUCH JOINTS.

CITY OF MINNEAPOLIS UTILITY NOTES:

- ALL WORK DONE OUTSIDE OF THE LOT LINE ON PUBLIC RIGHT-OF-WAY MUST BE DONE BY A CONTRACTOR LICENSED TO WORK IN THE CITY OF MINNEAPOLIS WHO HAS THE \$100,000.00 SIDEWALK CONTRACTOR'S BOND ON FILE WITH THE SIDEWALK DIVISION.
- ALL UTILITIES MUST BE INSTALLED BY A MINNEAPOLIS LICENSED CONTRACTOR.
- UPON THE PROJECT'S COMPLETION, THE GENERAL CONTRACTOR SHALL PROVIDE TO THE DEPARTMENT OF PUBLIC WORKS A FINAL STORMWATER MANAGEMENT REPORT INCLUDING RECORD DRAWINGS. THIS REPORT WILL SERVE AS A MEANS OF VERIFICATION THAT THE INTENT OF THE APPROVED STORM WATER MANAGEMENT DESIGN HAS BEEN MET. THIS FINAL REPORT SHALL SUBSTANTIATE THAT ALL ASPECTS OF THE ORIGINAL DESIGN HAVE BEEN ADEQUATELY PROVIDED FOR BY THE CONSTRUCTION OF THE PROJECT.

STRUCTURE IDENTIFICATION	STRUCTURE DIMENSION (INCHES)	NEENAH CASTING	TOP ELEVATION	INVERT ELEVATION	PIPE LENGTH, DIAMETER, SLOPE & NEXT UPSTREAM STRUCTURE
OUTLET #1	NA	NA	NA	NE. 824.61	84 L.F. OF 12" HDPE PIPE @ 1.00%, MH #2
MH #2	48	R-1733	832.50	SW. 825.45 SE. 825.55 NE. 825.45	8 L.F. OF 8" SCH 40 PVC PIPE @ 1.00%, ROOF DRAIN 50 L.F. OF 12" HDPE PIPE @ 1.00%, MH #3
MH #3	48	R-1733	833.40	SW. 825.95 NE. 825.95 NE. 827.63	76 L.F. OF 6" HDPE PIPE @ 1.00%, TD #4 97 L.F. OF 6" HDPE PIPE @ 1.00%, TD #5
TD #4	SEE DETAIL 2/C501		828.10	SW. 826.71	
TD #5	SEE DETAIL 2/C501		830.65	SW. 828.60	



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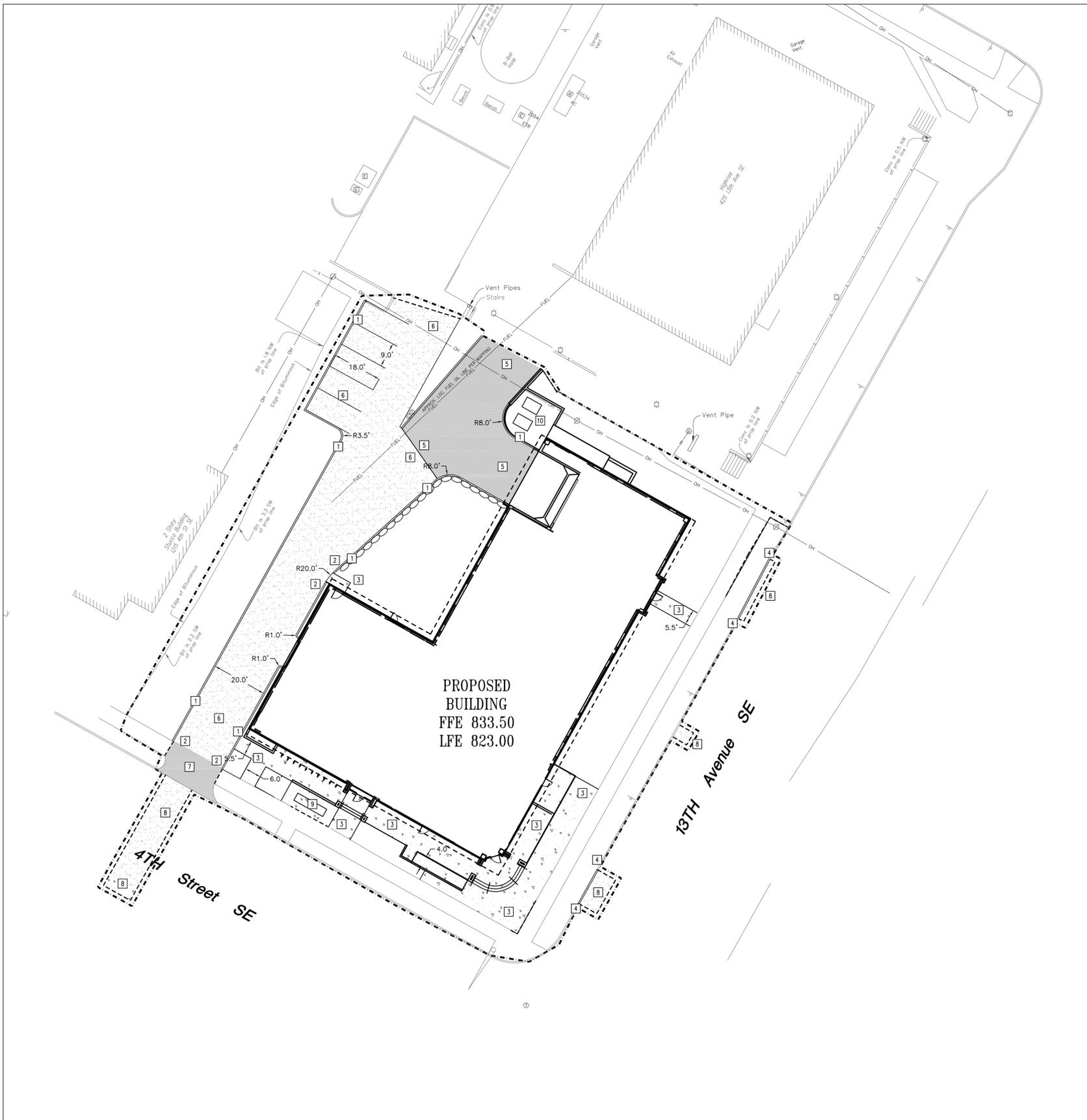
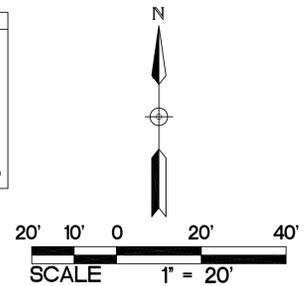
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PAVING AND
GEOMETRIC
PLAN



PROPOSED PLAN SYMBOLS	
CONSTRUCTION LIMITS	---
PROPERTY LINE	---
SAWCUT LINE (APPROX.)	---
BITUMINOUS PAVEMENT	[Pattern]
CONCRETE SIDEWALK	[Pattern]
CONCRETE PAVEMENT	[Pattern]

ABBREVIATIONS	
BLDG	Building
BM	Bench Mark
CONC	Concrete
ELEV	Elevation
EX	Existing
FFE	Finished Floor Elevation
LFE	Lower Floor Elevation
MAX	Maximum
MIN	Minimum
R	Radius
TYP.	Typical
MNUTCD	Minnesota Manual on Uniform Traffic Control Devices



1 PAVING AND GEOMETRIC PLAN
C400 1"=20'

KEYED NOTES

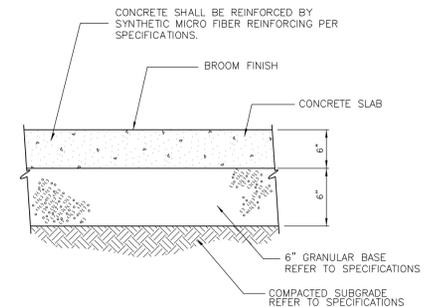
- KEYED NOTES ARE DENOTED BY [Number] ON PLAN.
- INSTALL B612 CONCRETE CURB AND GUTTER. REFER TO DETAIL 3/C501.
 - INSTALL NOSEDOWN CURB SECTION. REFER TO DETAIL 5/C501.
 - INSTALL CONCRETE WALK. REFER TO DETAIL 4/C501. REFER TO LANDSCAPE PLANS FOR CONCRETE FINISH AND JOINTING.
 - INSTALL B624 CONCRETE CURB AND GUTTER. REFER TO DETAIL 6/C501.
 - INSTALL CONCRETE PAVEMENT. REFER TO DETAIL 7/C501.
 - INSTALL BITUMINOUS PAVEMENT. REFER TO DETAIL 8/C501.
 - INSTALL CONCRETE DRIVE ENTRANCE PER DETAIL 9/C501, 10/C501, AND 11/C501.
 - REPAIR 4TH STREET AND 13TH AVENUE PAVEMENTS PER CITY OF MINNEAPOLIS STANDARDS. EXISTING PAVEMENT CROSS-SECTION IS UNKNOWN AT THIS TIME. INTENT IS FOR THE CONTRACTOR TO REPLACE THE EXISTING PAVEMENT CROSS-SECTION.
 - NEW BUS STOP SHELTER. COORDINATE WITH ARCHITECTURAL DRAWINGS AND METCOUNCIL.
 - INSTALL TRANSFORMER AND GENERATOR CONCRETE PADS PER DETAIL 2/C400

GENERAL NOTES:

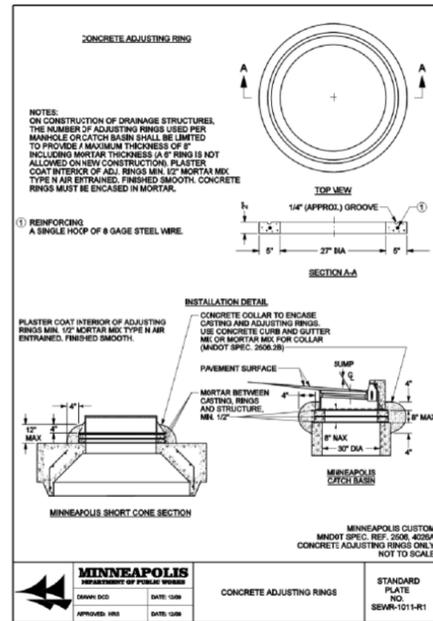
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.
- ALL CURB AND GUTTER IS TO BE B612 CONCRETE CURB AND GUTTER UNLESS NOTED OTHERWISE.
- NO SIDEWALK IS TO HAVE MORE THAN A 2% CROSS SLOPE OR MORE THAN A 5% LONGITUDINAL SLOPE.
- REFER TO ARCHITECTURAL PLANS FOR PROPOSED BUILDING LAYOUT.
- FOLLOW ALL CITY OF MINNEAPOLIS AND HENNEPIN COUNTY RULES, REGULATIONS AND SPECIFICATIONS WHEN WORKING IN PUBLIC RIGHT OF WAY.
- NO PONDING OF WATER OR ABRUPT TRANSITIONS WILL BE ALLOWED WHERE NEW PAVEMENT/CURB/SIDEWALK MATCHES INTO EXISTING PAVEMENT/CURB/SIDEWALK.
- THE CONTRACTOR IS TO CONTACT THE CITY OF MINNEAPOLIS FIRE MARSHALL FOR THE EXACT PLACEMENT OF FIRE LANES, YELLOW-PAINTED CURBING AND NO PARKING AREAS FOR FIRE PROTECTION PURPOSES.

PAVING NOTES:

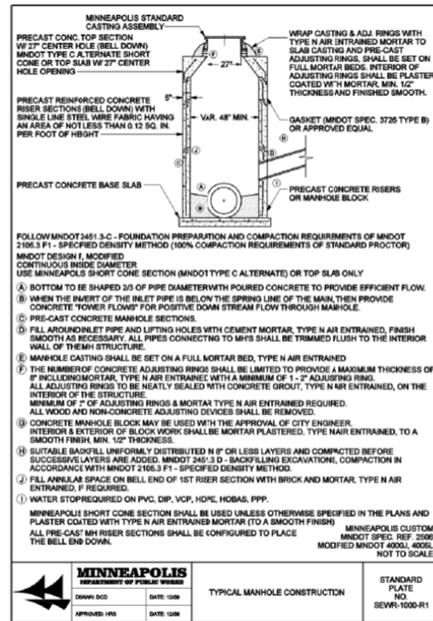
- REFER TO STRUCTURAL PLANS FOR STOOP DETAILS. ALL WALKS ARE TO BE CENTERED ON THE DOORS.
- INSTALL APPROPRIATE EXPANSION MATERIAL WHERE CONCRETE IS ADJACENT TO BUILDING FACE.
- SAWCUT AND MATCH NEW BITUMINOUS PAVEMENT INTO EXISTING PAVEMENT. NO ABRUPT GRADE TRANSITIONS OR PONDING OF WATER WILL BE ALLOWED.
- MATCH NEW CONCRETE CURB AND GUTTER INTO EXISTING. FOLLOW ALL CITY OF MINNEAPOLIS STANDARDS AND SPECIFICATIONS FOR CURB TYPE, MATERIAL AND INSTALLATION METHODS.
- SAWCUT EXISTING BITUMINOUS PAVEMENT AND CURB AND GUTTER TO NEAREST JOINT. COORDINATE REMOVAL LIMITS WITH SITE DEMOLITION CONTRACTOR AND CONSTRUCTION MANAGER. INSTALL DRIVE ENTRANCE PER CITY OF MINNEAPOLIS STANDARDS AND SPECIFICATIONS. FOLLOW ALL CITY OF MINNEAPOLIS AND HENNEPIN COUNTY REQUIREMENTS FOR TRAFFIC CONTROL.



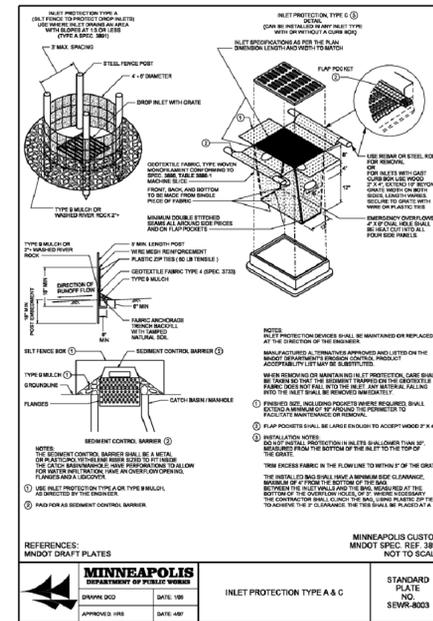
2 CONCRETE SLAB
C400 NOT TO SCALE



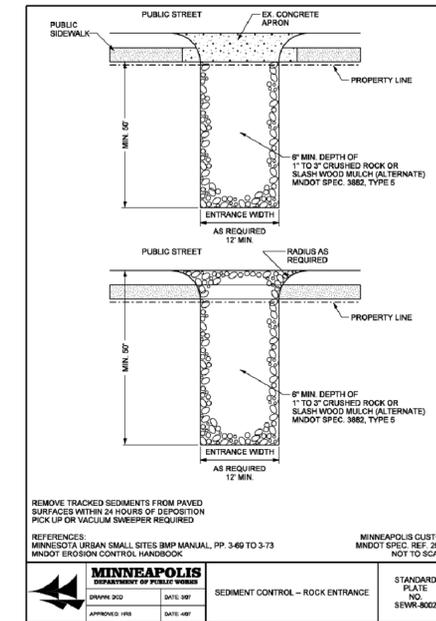
7 CONCRETE ADJUSTMENT RINGS
C500 NOT TO SCALE



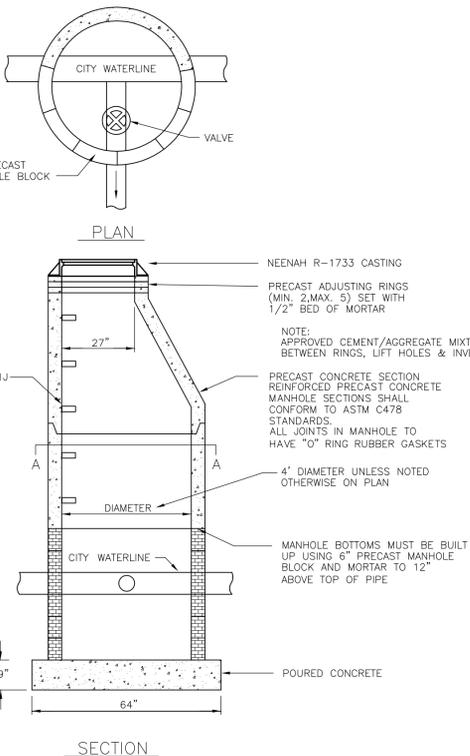
5 STORM SEWER MANHOLE/CATCH BASIN
C500 NOT TO SCALE



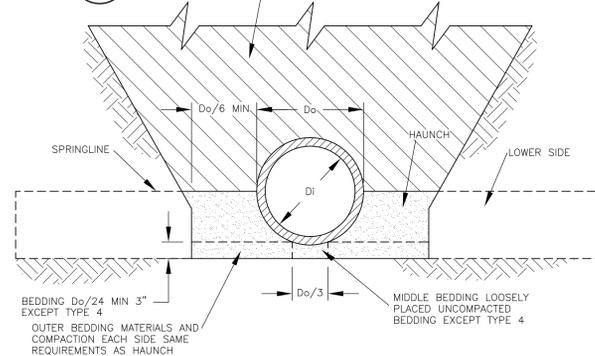
3 INLETS SEDIMENTATION PROTECTION OPTIONS
C500 NOT TO SCALE



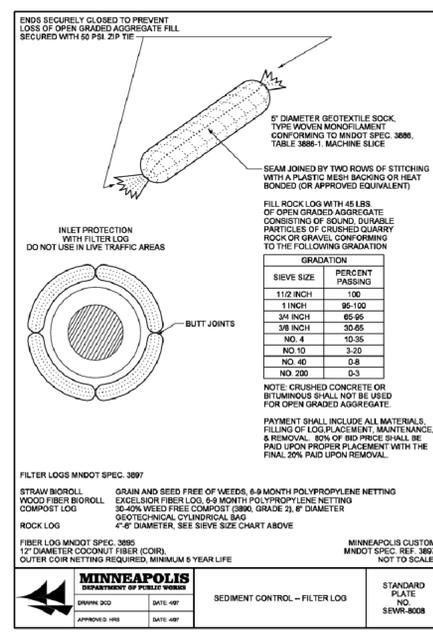
1 BERMED ROCK CONSTRUCTION ENTRANCE
C500 NOT TO SCALE



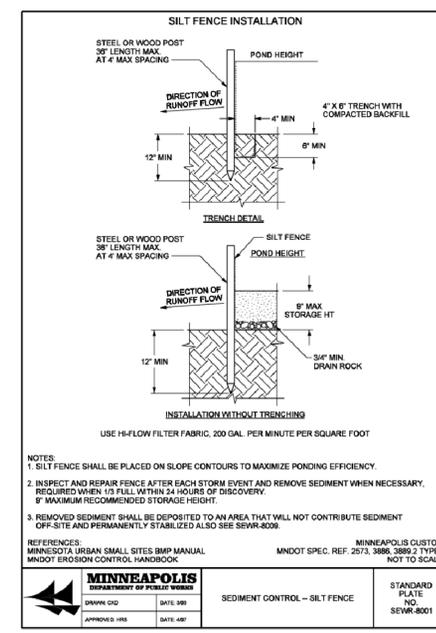
8 WATER VALVE MANHOLE
C500 NOT TO SCALE



6 PIPE BEDDING
C500 NOT TO SCALE



4 FILTER LOG
C500 NOT TO SCALE



2 SILTATION FENCE
C500 NOT TO SCALE

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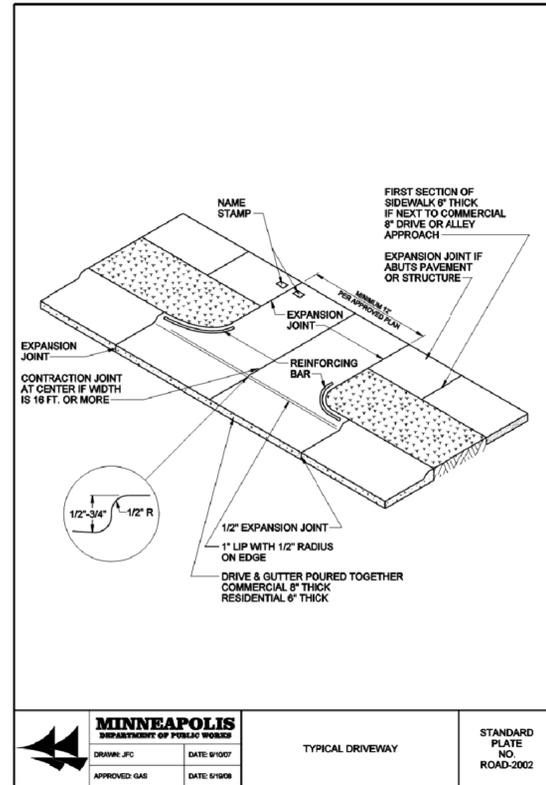
REVISIONS
Date Description

DATE 05/12/2014
PROJECT # 14237
PHASE PDR SUBMITTAL

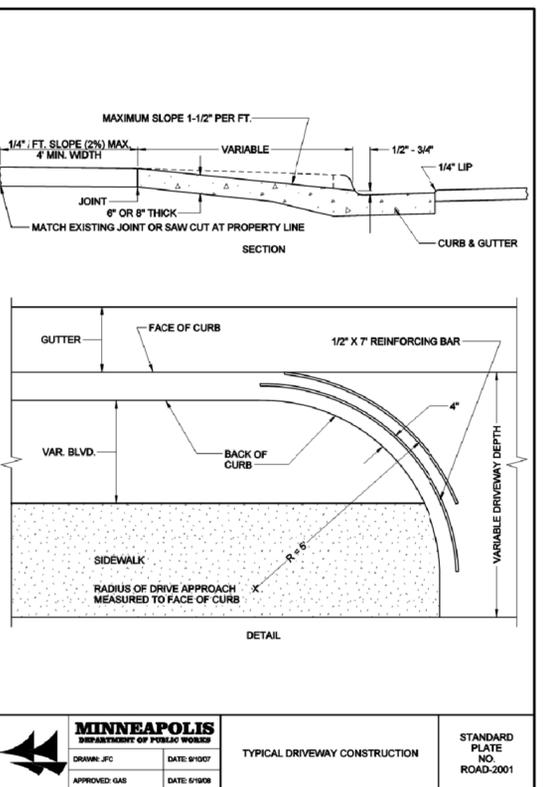
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DETAILS

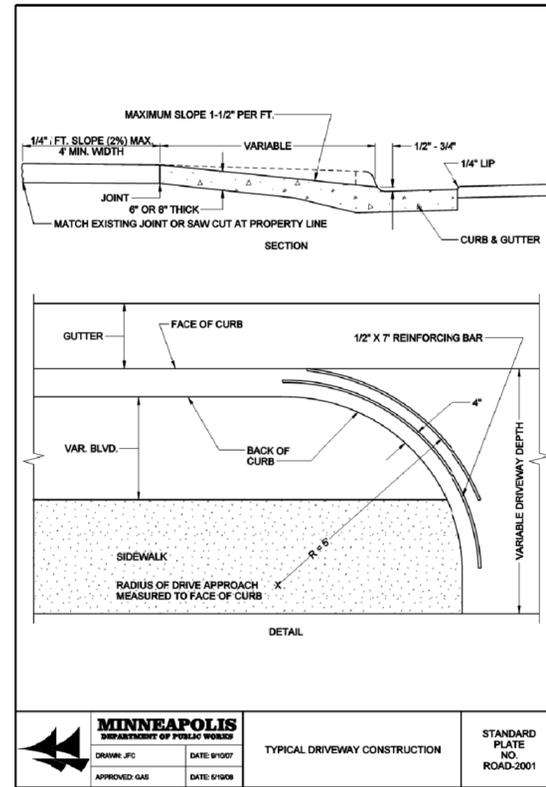
C501



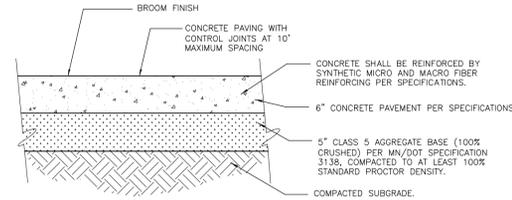
10 TYPICAL CONCRETE DRIVEWAY APRON
C501 NOT TO SCALE



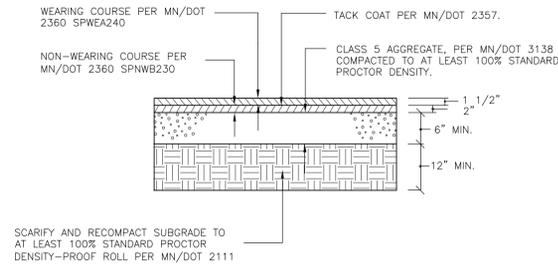
11 TYPICAL CONCRETE DRIVEWAY CONSTRUCTION
C501 NOT TO SCALE



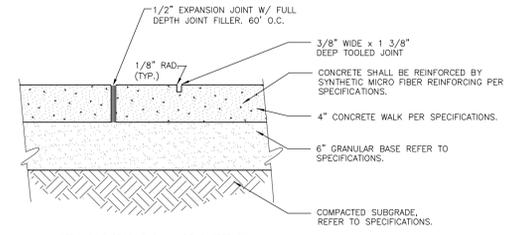
9 CONCRETE DRIVEWAY APRON
C501 NOT TO SCALE



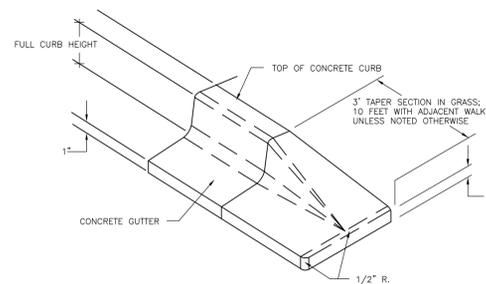
7 CONCRETE PAVEMENT
C501 NOT TO SCALE



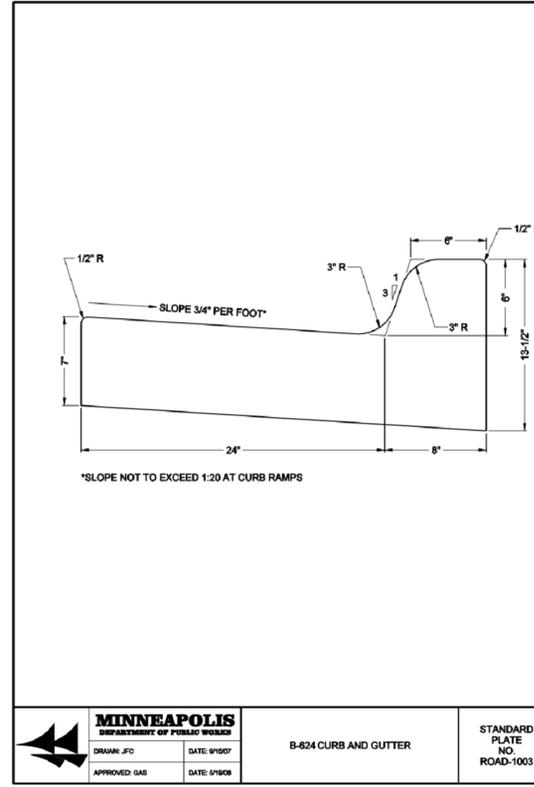
8 LIGHT-DUTY BITUMINOUS PAVEMENT
C501 NOT TO SCALE



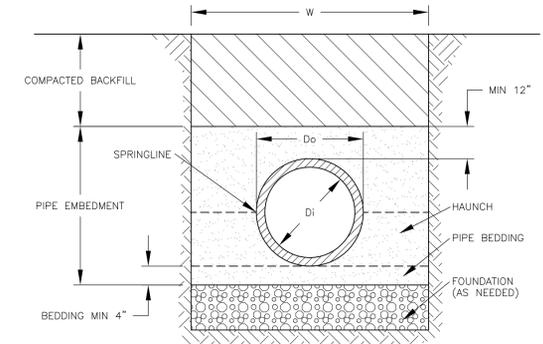
4 CONCRETE SIDEWALK CONSTRUCTION (TYP.)
C501 NOT TO SCALE



5 NOSE-DOWN CURB SECTION
C501 NOT TO SCALE

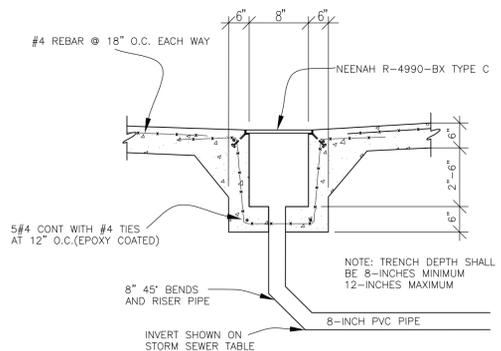


6 B624 CONCRETE CURB AND GUTTER
C501 NOT TO SCALE

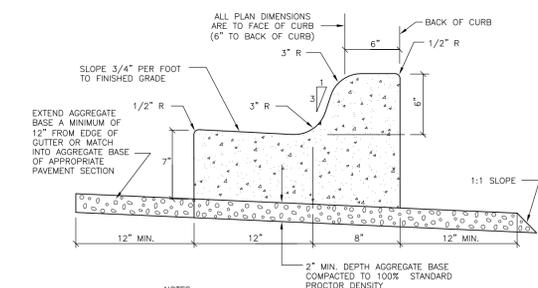


NOTES:
1. THE MINIMUM TRENCH WIDTH "W" SHALL BE W=D_o+16" OR 1.25*D_o+12 WHICHEVER IS GREATER.
2. PIPE EMBEDMENT MATERIAL SHALL BE CLASS I OR CLASS II MATERIAL. REFER TO SPECIFICATIONS FOR DETAILS.
3. REFER TO ASTM D2321-05 "UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY-FLOW APPLICATIONS" FOR DETAILS.

1 TYPICAL PIPE BEDDING FOR PVC
C501 NOT TO SCALE



2 TRENCH DRAIN DETAIL
C501 NOT TO SCALE



NOTES:
1. DIRECTION OF TRANSVERSE GUTTER SLOPE TO MATCH DIRECTION OF ADJACENT PAVEMENT SLOPE.
2. CONSTRUCT CURB AND GUTTER IN ACCORDANCE WITH MN/DOT SPECIFICATION 2531.

3 B612 CONCRETE CURB AND GUTTER
C501 NOT TO SCALE



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BKBM Project # 14237.00

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Date Description

DATE 05/12/2014
PROJECT # 14237
PHASE PDR SUBMITTAL

DRAWN BY REM
CHECKED BY KAM

WATERSHED PLAN

C600

CONSTRUCTION ACTIVITY EROSION PREVENTION PRACTICES
PROVIDE TEMPORARY PROTECTION OR PERMANENT COVER FOR EXPOSED SOIL AREAS WITH A CONTINUOUS POSITIVE SLOPE WITHIN 200 FEET OF A SURFACE WATER, CURB AND GUTTER, CATCH BASIN, OR ANY STORM WATER CONVEYANCE SYSTEM CONNECTED TO ANY OF THE ABOVE WITHIN THE FOLLOWING TIME FRAME:
THE TIME AN AREA CAN REMAIN OPEN WHEN NOT ACTIVELY BEING WORKED ON:
SLOPES STEEPER THAN 3:1 - 7 DAYS
SLOPES 10:1 TO 3:1 - 14 DAYS
SLOPES FLATTER THAN 10:1 - 14 DAYS
DITCHES THAT CONNECT TO A SURFACE WATER MUST BE STABILIZED WITHIN 200- FEET FROM THE EDGE OF PROPERTY OR WITHIN 200- FEET TO ANY SURFACE WATER WITHIN 24- HOURS.
PIPE OUTLETS MUST BE PROVIDED WITH TEMPORARY OR PERMANENT ENERGY DISSIPATION WITHIN 24- HOURS AFTER CONNECTION TO A SURFACE WATER.
SEDIMENT CONTROL MEASURES MUST BE INSTALLED ON ALL DOWN GRADIENT PERIMETERS BEFORE ANY UPGRADIENT LAND DISTURBING ACTIVITIES BEGIN.

ABBREVIATIONS

BLDG	Building
BMP	Best Management Practice
BW	Bottom of Wall
CB	Catch Basin
CONC	Concrete
ELEV	Elevation
EX	Existing
FFE	Finished Floor Elevation
HWL	High Water Level
INV	Invert
MAX	Maximum
MH	Manhole
MIN	Minimum
MPCA	Minnesota Pollution Control Agency
NPDES	National Pollutant Discharge Elimination System
NWL	Normal Water Level
PVC	Polyvinyl Chloride
RCP	Reinforced Concrete Pipe
TW	Top of Wall
W.O.	Washout

INSPECTIONS
EXPOSED SOIL AREAS: ONCE EVERY 7 DAYS AND WITHIN 24 HOURS FOLLOWING A 1/2 INCH OVER 24 HOURS RAIN EVENT.
STABILIZED AREAS: ONCE EVERY 30 DAYS.
FROZEN GROUND: AS SOON AS RUNOFF OCCURS OR PRIOR TO RESUMING CONSTRUCTION.
RECORDS: A COPY OF THE GRADING, DRAINAGE EROSION CONTROL PLAN AND WATERSHED DATA & SWPPP PLANS AS WELL AS THE INSPECTIONS/MAINTENANCE LOGS ARE TO BE KEPT EITHER IN THE FIELD OFFICE, INSPECTOR'S VEHICLE OR CONTRACTOR'S VEHICLE.

NOTE:
THE CONTRACTOR MUST COMPLETE, SIGN, OBTAIN OWNERS SIGNATURE, PAY FEE, AND SEND IN THE NPDES PERMIT APPLICATION.

SEDIMENT AND EROSION CONTROL MAINTENANCE
PERIMETER SEDIMENT CONTROL PRACTICES: WHEN SEDIMENT REACHES 1/3 THE HEIGHT OF THE BMP, THE SEDIMENT MUST BE REMOVED WITHIN 24 HOURS. IF PERIMETER SEDIMENT CONTROL HAS BEEN DAMAGED OR IS NOT FUNCTIONING PROPERLY, IT MUST BE REPAIRED AND/OR REPLACED WITHIN 24 HOURS. PERIMETER BMP MEASURES MAY INCLUDE SILT FENCING.
CONSTRUCTION SITE VEHICLE EXIT LOCATIONS: ALL TRACKED SEDIMENT ONTO PAVED SURFACES MUST BE REMOVED WITHIN 24 HOURS OF DISCOVERY OR MORE FREQUENTLY IF REQUIRED BY CITY OR WATERSHED.
CONSTRUCTION SITE DEWATERING: SITE WATER DISCHARGE DUE TO CONSTRUCTION DEWATERING OPERATIONS SHALL BE MONITORED FOR SEDIMENTATION AND TREATED PRIOR TO DISCHARGE TO PUBLIC STORM SEWERS. TREATMENT OF DEWATERING DISCHARGE MAY BE ACCOMPLISHED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE BMP'S.

AGENCY CONTACTS
CITY OF MINNEAPOLIS
PUBLIC WORKS
309 2ND AVENUE S.,
RM 300 CITY HALL
MINNEAPOLIS, MN 55401
PHONE: (612) 673-2157

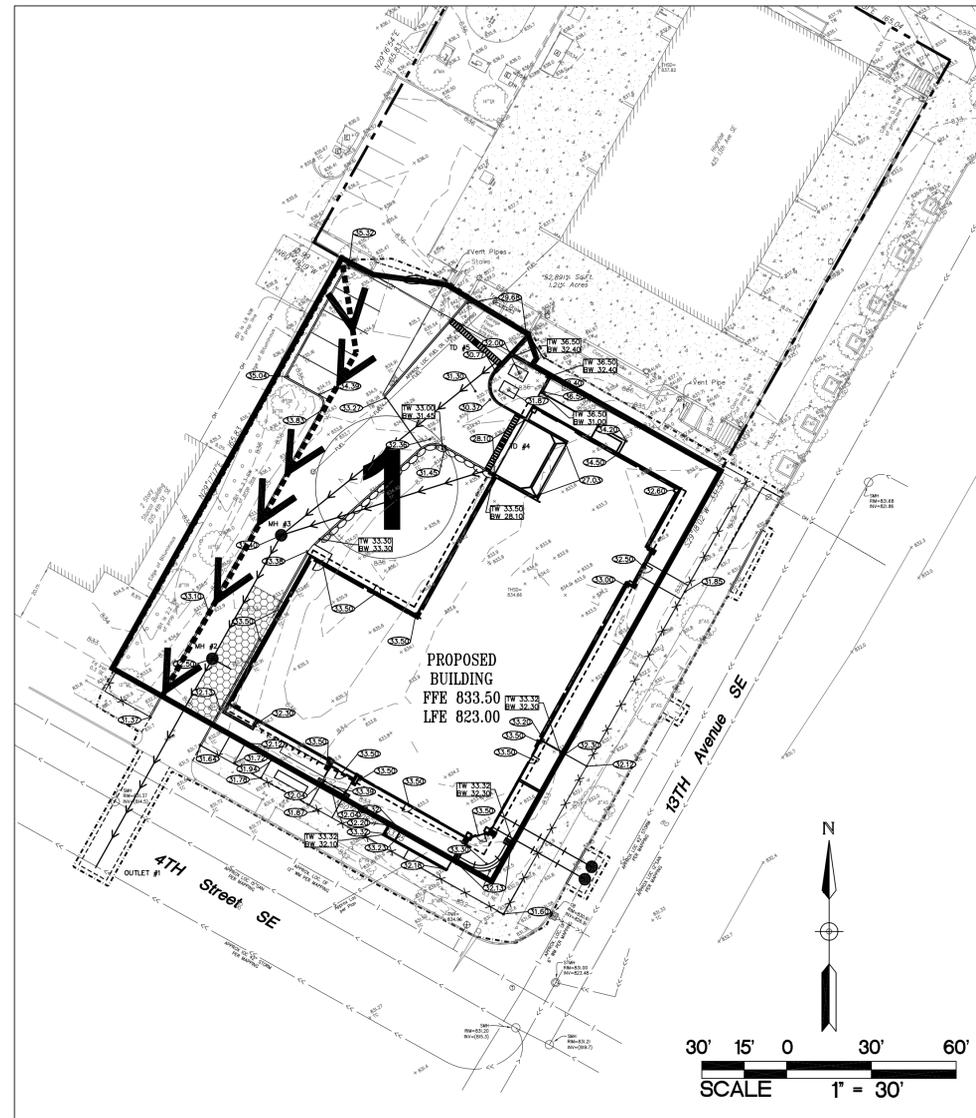
MINNESOTA POLLUTION CONTROL AGENCY
520 LAFAYETTE ROAD
SAINT PAUL, MN 55155
PHONE: (651) 296-6300

FINAL STABILIZATION
STABILIZATION BY UNIFORM PERENNIAL VEGETATIVE COVER (70% DENSITY)
DRAINAGE DITCHES STABILIZED.
ALL TEMPORARY SYNTHETIC AND STRUCTURAL BMP'S REMOVED.
CLEAN OUT SEDIMENT FROM CONVEYANCES AND SEDIMENTATION BASINS (RETURN TO DESIGN CAPACITY).

MECHANICAL AND NON-STORMWATER DISCHARGES, EXISTING AND PROPOSED
1. WATER LINE FLUSHING
2. LANDSCAPE IRRIGATION
3. DISCHARGE FROM POTABLE WATER SOURCES
4. AIR-CONDITIONING CONDENSATION
5. LAWN WATERING
6. INDIVIDUAL RESIDENT CAR WASHING
7. STREET WASH WATERS

OTHER NOTES:
1. LONG TERM MAINTENANCE OF THE SITE WILL BE PERFORMED BY THE OWNER. INCLUDED MAINTENANCE FOR STORMWATER DEVICES SHALL BE:
1.1. CLEAN PARKING LOT OF ACCUMULATED SEDIMENT AND TRASH.
2. THIS SWPPP DOCUMENT HAS BEEN PREPARED BY BKBM ENGINEERS. A COPY OF THEIR EROSION AND SEDIMENT CONTROL PROGRAM CERTIFICATION IS AVAILABLE UPON REQUEST.
3. THIS SWPPP DOCUMENT MUST BE AMENDED AS NECESSARY DURING CONSTRUCTION IN ORDER TO KEEP IT CURRENT WITH THE POLLUTANT CONTROL MEASURES UTILIZED AS THE SITE. THE SITE MAP SHOWING LOCATIONS OF ALL STORM WATER CONTROLS MUST BE POSTED ON THE SITE AND UPDATED TO REFLECT THE PROGRESS OF CONSTRUCTION.

NOTE:
THE STORM WATER POLLUTION PREVENTION PLAN FOR THIS PROJECT INCLUDES THE CIVIL ENGINEERING PLANS AND THE PROJECT MANUAL. CONTRACTOR TO SUPPLY CONSTRUCTION PHASING NARRATIVE, ESTIMATED PRELIMINARY QUANTITIES OF ALL EROSION PREVENTION AND SEDIMENT CONTROL BMP'S ANTICIPATED AT THE START OF THE PROJECT AND FOR THE LIFE OF THE PROJECT, AND LOCATION OF AREAS WHERE CONSTRUCTION WILL BE PHASED TO MINIMIZE DURATION OF EXPOSED SOIL AREAS. CONTRACTOR IS TO REVIEW MINNESOTA POLLUTION CONTROL AGENCY'S INSTRUCTIONS FOR THE APPLICATION FOR MINNESOTA'S NPDES/SDS GENERAL STORMWATER PERMIT FOR CONSTRUCTION ACTIVITY PRIOR TO SUBMITTING APPLICATION.



2 PROPOSED CONDITIONS
1"=30'

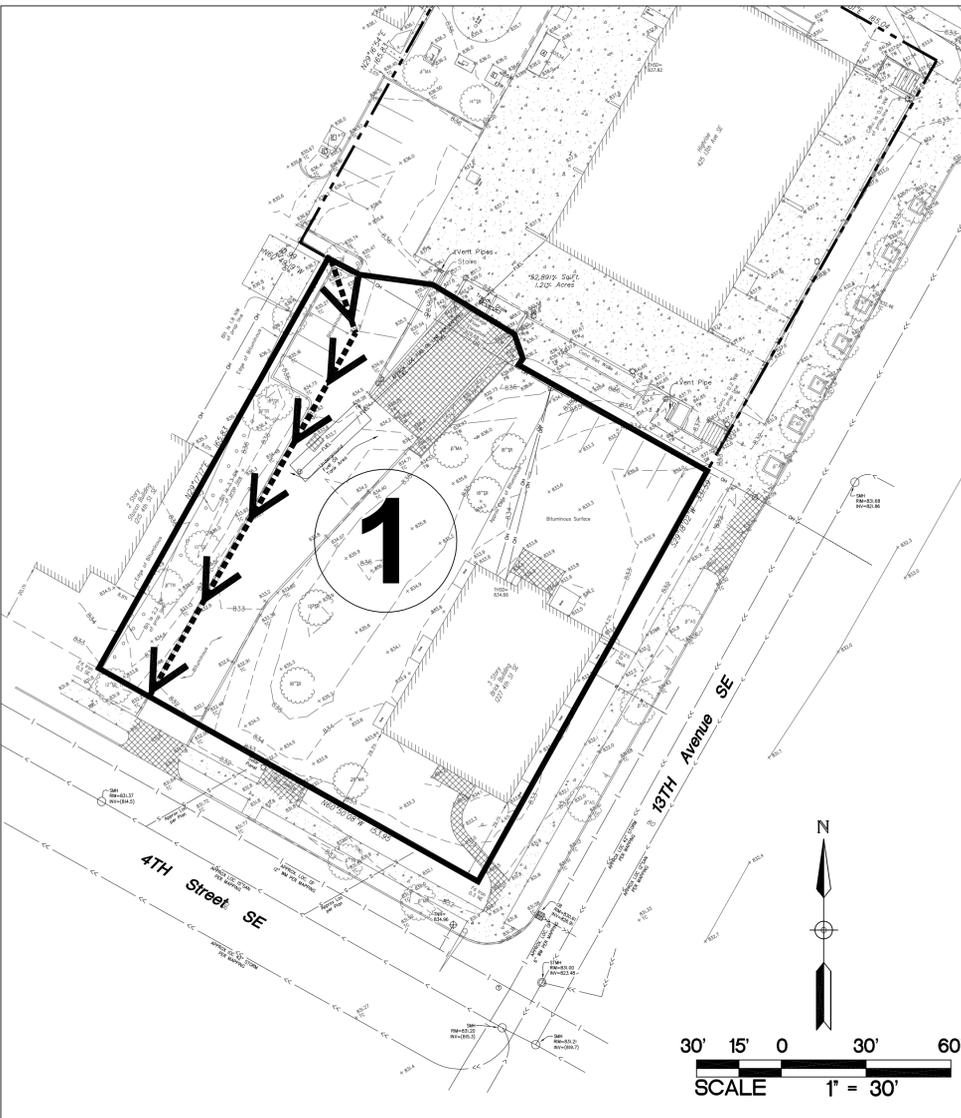
PROPOSED DRAINAGE AREAS

DRAINAGE AREA	IMPERVIOUS AREA (ACRES)	PERVIOUS AREA (ACRES)	TOTAL AREA (ACRES)	O OUT (CFS) STORM EVENT			ROUTING
				2-YEAR (2.75")	10-YEAR (4.15")	100-YEAR (5.90")	
1	0.45	0.15	0.60	2.05	3.32	4.88	OFFSITE
TOTAL	0.45	0.15	0.60	2.05	3.32	4.88	

STORMWATER RUNOFF SUMMARY

	2-YR STORM (2.75") RUNOFF (CFS)	10-YR STORM (4.15") RUNOFF (CFS)	100-YR STORM (5.90") RUNOFF (CFS)
EXISTING SITE	1.77	3.04	4.62
PROPOSED SITE	2.05	3.32	4.88

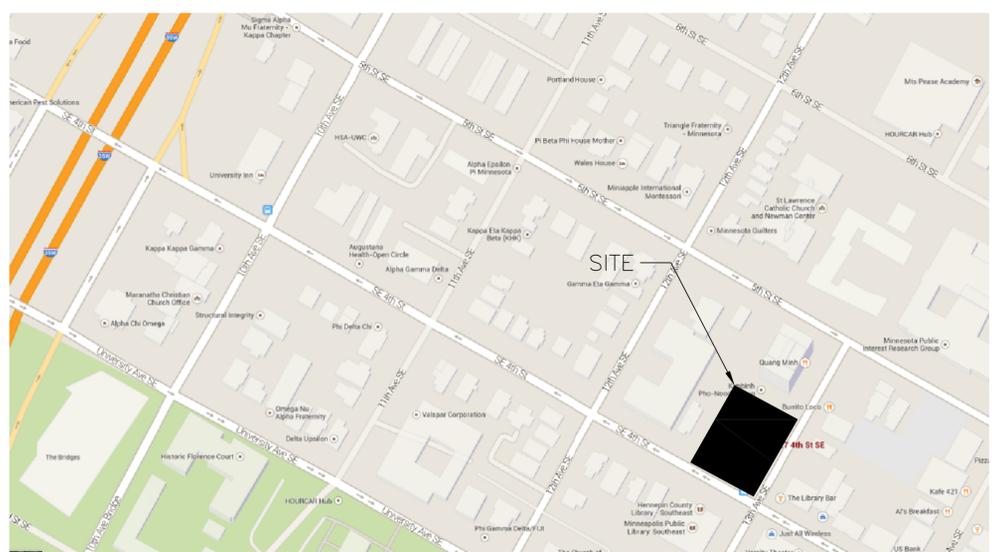
POLLUTION PREVENTION MANAGEMENT MEASURES
SOLID WASTE DISPOSED PROPERLY; COMPLY WITH MPCA REQUIREMENTS.
HAZARDOUS WASTE STORED (SECONDARY CONTAINMENT, RESTRICTED ACCESS) AND DISPOSED IN COMPLIANCE WITH MPCA REQUIREMENTS.
EXTERNAL WASHING OF TRUCKS AND OTHER CONSTRUCTION VEHICLES MUST BE LIMITED TO A DEFINED AREA OF THE SITE. RUNOFF MUST BE CONTAINED AND WASTE PROPERLY DISPOSED.
NO ENGINE DEGREASING ALLOWED ON-SITE.
CONCRETE WASHOUT ON-SITE: ALL LIQUID AND SOLID WASTES GENERATED BY CONCRETE WASHOUT OPERATIONS MUST BE CONTAINED IN A LEAK-PROOF CONTAINMENT FACILITY OR IMPERMEABLE LINER. A COMPACTED CLAY LINER THAT DOES NOT ALLOW LIQUIDS TO ENTER GROUND WATER IS CONSIDERED AN IMPERMEABLE LINER. THE LIQUID AND SOLID WASTES MUST NOT CONTACT THE GROUND, AND THERE MUST NOT BE RUNOFF FROM THE CONCRETE WASHOUT OPERATIONS OR AREAS.
LIQUID AND SOLID WASTES MUST BE DISPOSED OF PROPERLY AND IN COMPLIANCE WITH MPCA REGULATIONS. A SIGN MUST BE INSTALLED ADJACENT TO EACH WASHOUT FACILITY TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES. THE CONCRETE WASHOUT AREA INDICATED ON THE PLANS IS SHOWN IN AN APPROXIMATE LOCATION. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION IN ACCORDANCE WITH MPCA REQUIREMENTS.



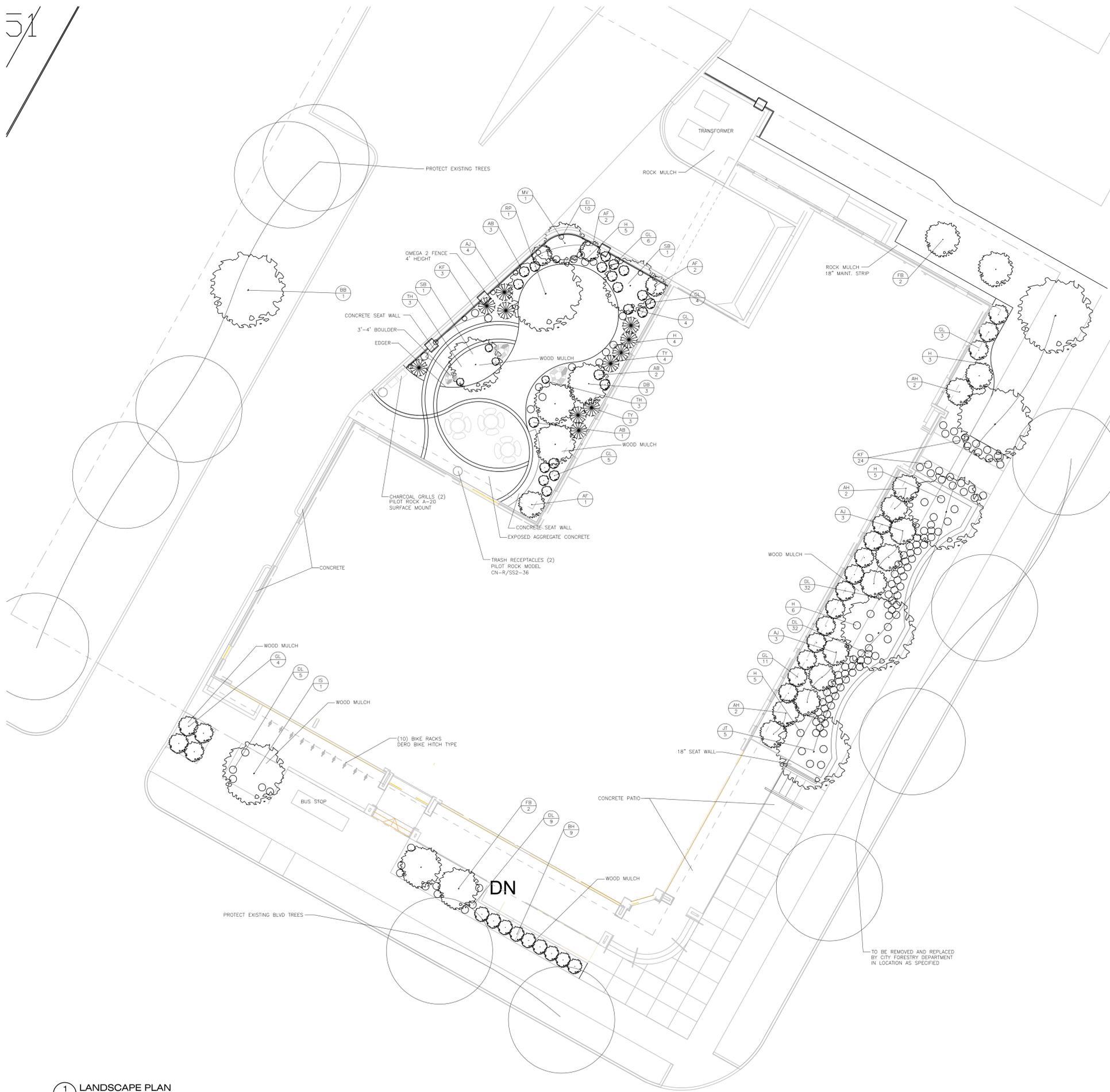
1 EXISTING CONDITIONS
1"=30'

EXISTING DRAINAGE AREAS

DRAINAGE AREA	IMPERVIOUS AREA (ACRES)	PERVIOUS AREA (ACRES)	TOTAL AREA (ACRES)	O OUT (CFS) STORM EVENT			ROUTING
				2-YEAR (2.75")	10-YEAR (4.15")	100-YEAR (5.90")	
1	0.33	0.27	0.60	1.77	3.04	4.62	OFFSITE
TOTAL	0.33	0.27	0.60	1.77	3.04	4.62	



PLACE VICINITY MAP



L-300 PLANTING SCHEDULE:

CODE	QTY	PLANT	SIZE	REMARKS	W/VN PROP
DECIDUOUS SHADE TREES					
BB	1	BLUE BEECH	2'0" BB		Y
RP	1	REGAL PRINCE OAK	2'5" BB		Y
ORNAMENTAL TREES					
SB	2	AUTUMN BRILLIANCE SENEGAMBERRY	7" BB	CLUMP FORM	Y
DB	3	FOX VALLEY CLUMP BIRCH	8" BB	CLUMP FORM	Y
JT	5	JAP TREE LIAC	2" BB		N
IS	1	IVORY SILK JAP TREE LIAC			N
SHRUBS AND PERENNIALS					
KF	27	KARL FOERSTER GRASS	#1 CNT		50%
FB	4	FIRE BALL EUDORMIS	#5 CNT		50%
GL	20	GROW LOW SUNAG	#2 CNT		80%
TY	7	TAUNTON YEW	24" BB		Y
AH	6	ANNABELLE HYDRANGIA	#5 CNT		Y
EI	10	ENGLISHMAN IVY	#5 CNT		Y
MV	1	MOHICAN VIBURNUM	#5 CNT		Y
TH	6	TOM THUMB COTONCASTER	#2 CNT		Y
AJ	10	ANDORRA COMPACT JUNIFER	#5 CNT		Y
AB	6	ADMIRATION BARBERTY	#2 CNT		Y
BH	9	BIRCHER TRUNKING "EMBRASSON"	#5 CNT		N
AF	3	ARCTIC FIRE DOGWOOD	#5 CNT		Y
DL	64	DAILEY MIX	#1 CNT		N
H	30	HOSTA MIX	#1 CNT		50%
MULTI BUTTERCUPS					
BARBERS END					
ALAKAZAM					

GENERAL NOTES:

STAKE ALL (OR SET POTTED) PLANTINGS PRIOR TO PLANTING FOR REVIEW BY LANDSCAPE ARCHITECT

ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE SOD OR ROCK/WOOD MULCH AS INDICATED ON DRAWINGS W/ COMMERCIAL WEED BARRIER

ALL TREES IN GRASS TO RECEIVE 4" WOOD MULCH OUT TO DRIPLINE

PULL MULCH AWAY FROM TRUNK TO AVOID MOLD ISSUES

WOOD MULCH TO BE DOUBLE SHREDDED HARDWOOD NATURAL COLOR

PLANT SCHEDULE SUPERCEEDS PLAN FOR ALL PLANT QUANTITIES

ALL TREES NEAR PEDESTRIAN AREAS OR SIDEWALKS TO HAVE CROWN LIMBED UP TO 6'-0" ABOVE GROUND AND HAVE APPROPRIATELY SHAPED CROWN

SEE SPECIFICATION FOR PLANTING AND TOP SOIL REQUIREMENTS

DRAINAGE AND PERCOLATION TEST TO BE DONE PRIOR TO PLANTING

CONTRACTOR TO PROVIDE SPLASH BLOCKS AT EACH HOSEBIB AND AT EACH DAYLIT DOWNSPOUT THAT DOES NOT OPEN ON TO PAVED SURFACE. DISPERSE WATER TO TO MITIGATE EROSION

PRIOR TO PLANTING, OWNER AND CONTRACTOR TO DEFINE IN WRITING TRANSFER DATE OF CARETAKING OF EACH PLANTING TO MAINTAIN CONSISTANT CARE OF PLANTINGS AND SOD DURING PLANT ESTABLISHMENT.

IRRIGATION SYSTEM TO BE INSTALLED ON ALL SIDES OF BLDG.

DRIP IRRIGATION TO BE USED ON SHRUB BEDS, SPRAY HEADS TO BE USED ON LAWN AREAS.

ROCK MULCH IN MAINTENANCE STRIP TO BE 1 1/2" RIVER ROCK @ 3" MIN DEPTH OVER COMMERCIAL WEED CONTROL FABRIC, COMMERCIAL VINYL EDGER TYP.

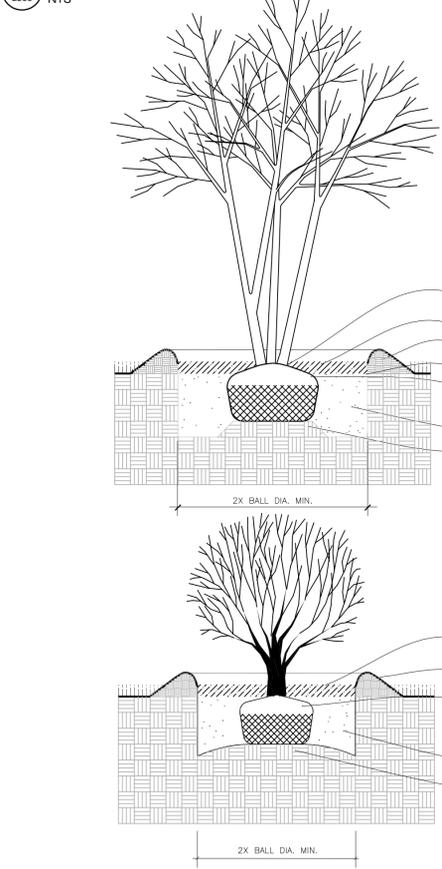
FOLLOW PLANTING DETAILS FOR ALL PLANTINGS

CONTRACTOR TO PROTECT EXISTING TREES FROM DAMAGE DURING CONSTRUCTION.

CONTRACTOR TO ERECT SNOW FENCE AT DRIP LINE, NO STORAGE OF MATERIALS IN BOULEVARD DURING CONSTRUCTION

IF THE LANDSCAPE CONTRACTOR IS CONCERNED OR PERCEIVES ANY DEFICIENCIES IN THE PLANT SELECTIONS, SOIL CONDITIONS OR ANY OTHER SITE SITE CONDITION WHICH MIGHT NEGATIVELY AFFECT PLANT ESTABLISHMENT, SURVIVAL OR GUARANTEE, HE MUST BRING THESE DEFICIENCIES TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO PROCUREMENT AND/OR INSTALLATION

2 PLANTING NOTES AND SCHEDULE



SET TREE OR SHRUB AT ORIGINAL GRADE

ROOT FLARE TO BE AT OR SLIGHTLY ABOVE GRADE

3" BELOW TREE GRADE BOTTOM (WHEN USED)

MULCH: DOUBLE SHREDDED HARDWOOD 4"

PULL AWAY FROM TRUNK

SOIL SAUCER: USE PREPARED TOPSOIL 6" MIN.

SCARIFY HOLE EDGES

ROPE AT TOP OF BALL SHALL BE CUT.

REMOVE TOP 1/3 OF BURLAP.

NON-BIODEGRADABLE MATERIAL SHALL BE TOTALLY REMOVED.

PREPARED ADMIXTURE BACKFILL

UNDISTURBED SUBGRADE OR SOIL COMPACTED TO 95%

PERFORM DRAINAGE TEST PER SPEC PRIOR TO PLANTING

MULCH: 4" DOUBLE SHREDDED HARDWOOD

PULL AWAY FROM TRUNK

CREATE SAUCER WITH TOPSOIL 6" MIN.

ROPE AT TOP OF BALL SHALL BE CUT.

REMOVE TOP 1/3 OF BURLAP. ALL NON-BIODEGRADABLE MATERIAL SHALL BE TOTALLY REMOVED.

GENTLY COMPACTED TOPSOIL MIXTURE.

UNDISTURBED SUBGRADE OR SOIL COMPACTED TO 95%

1 LANDSCAPE PLAN

L300 1" = 20'-0"

3 PLANTING DETAILS

L300 NTS



901 NORTH THIRD STREET, SUITE 145
MINNEAPOLIS, MN 55401
612.455.3100

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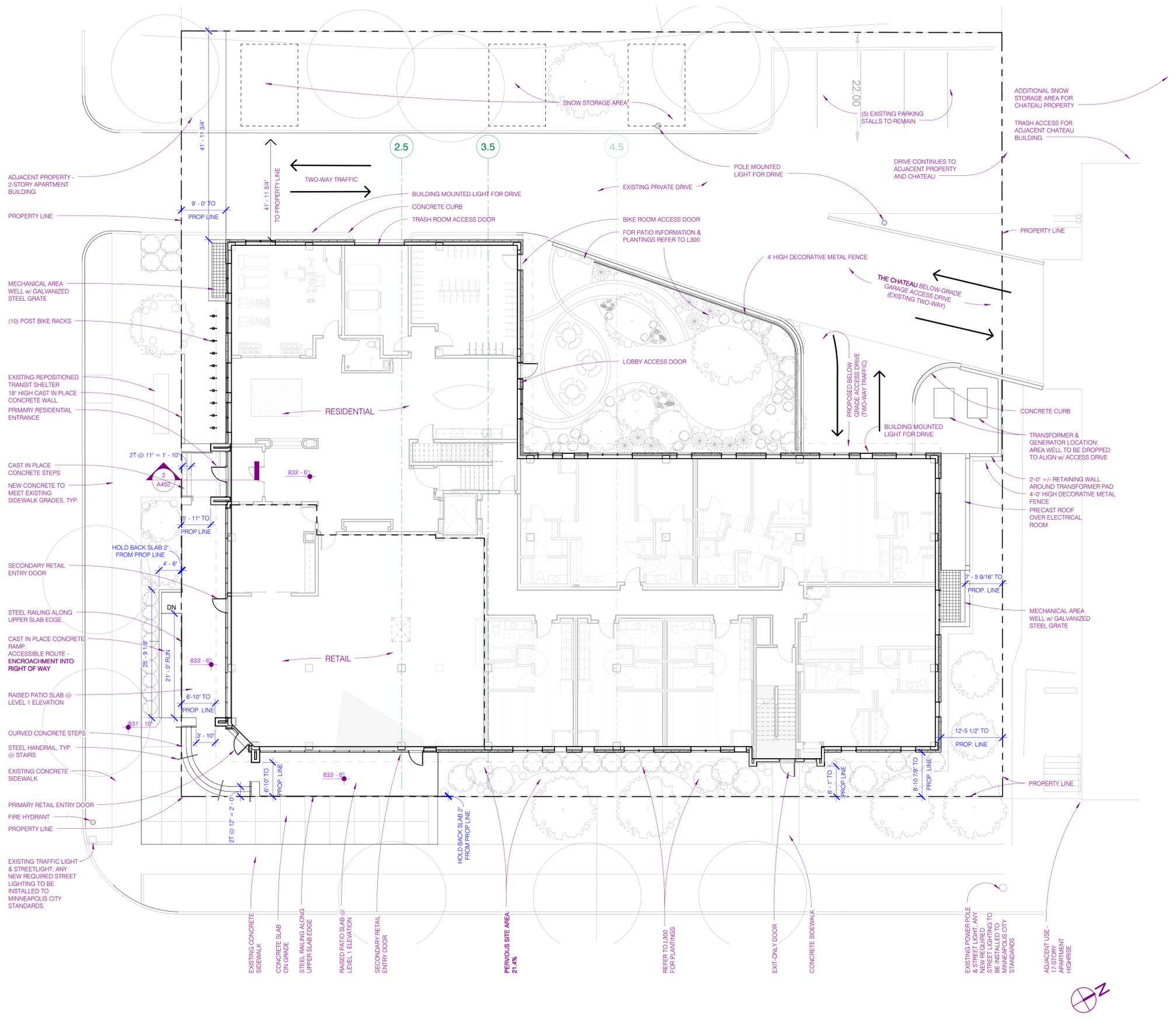
REVISIONS
Date Description

DATE 5/30/14
PROJECT # 14-0008
PHASE PDR

DRAWN BY DP5L
CHECKED BY DPEH

ARCHITECTURAL
SITE PLAN

LA100

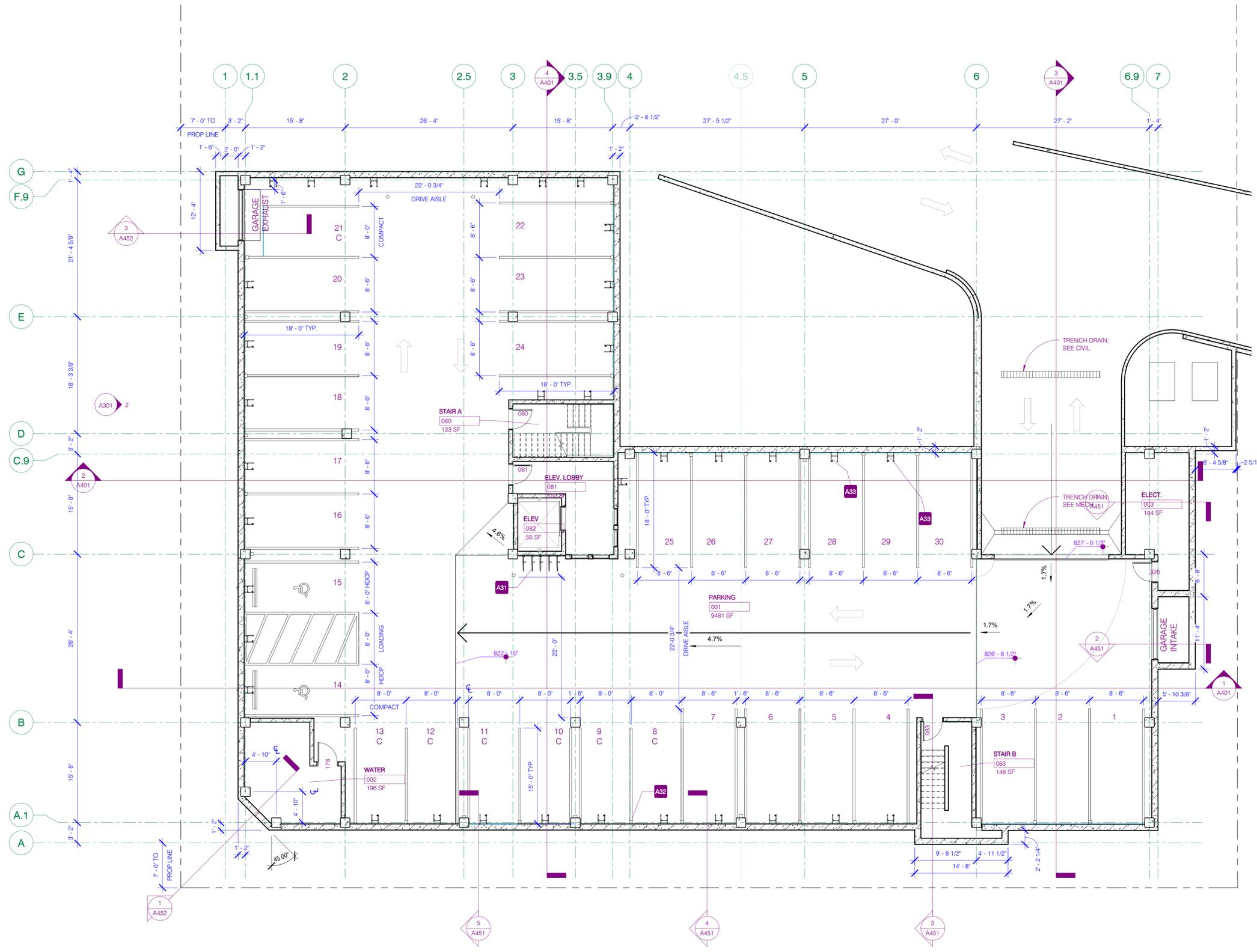


1 ARCHITECTURAL SITE PLAN
LA100 1" = 10'-0"



GENERAL NOTES:

1. DIMENSIONS AT EXTERIOR WALLS ARE TO OUTSIDE FACE OF SHEATHING
2. DIMENSIONS AT INTERIOR WALLS ARE TO CENTERLINE OF WALL
3. DIMENSIONS AT UNIT DEMISING WALLS ARE TO CENTERLINE OF WALLS
4. EXTEND ALL SHAFTS TO UNDERSIDE OF ROOF SHEATHING OR TOP OF ROOF PENETRATIONS WHERE APPLICABLE
5. ALL RESIDENTIAL DEMISING WALLS ARE TYPE V3, V3A, AND V6 1HR FIRE RATING, WITH ACOUSTIC RATING
6. ALL RESIDENTIAL CORRIDOR WALLS ARE TYPE W6 1 HR FIRE RATING, WITH ACOUSTIC RATING - UNLESS OTHERWISE NOTED
7. ALL UNITS ARE TYPE B ACCESSIBLE UNLESS OTHERWISE NOTED
8. MAINTAIN 8'-2" MIN. AND 8'-6" MIN. CLEAR HEIGHT AT PARKING AREAS INDICATED ON PLANS. ALL OTHER PARKING AREAS SHALL PROVIDE 7'-2" MIN. CLEAR HEIGHT
9. DIMENSIONS @ CMU ARE TO FACE OF CMU



Keynote Legend	
Key Value	Keynote Text
A31	WALL MOUNTED BIKE RACK - SIM TO DERO ULTRA SPACE SAVER
A33	WALL MOUNTED BIKE RACK - SIM. TO DERO WALL RACK



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MINNEAPOLIS, MN 55401
612.455.3100

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DRAWN BY DP5L
CHECKED BY DPEH

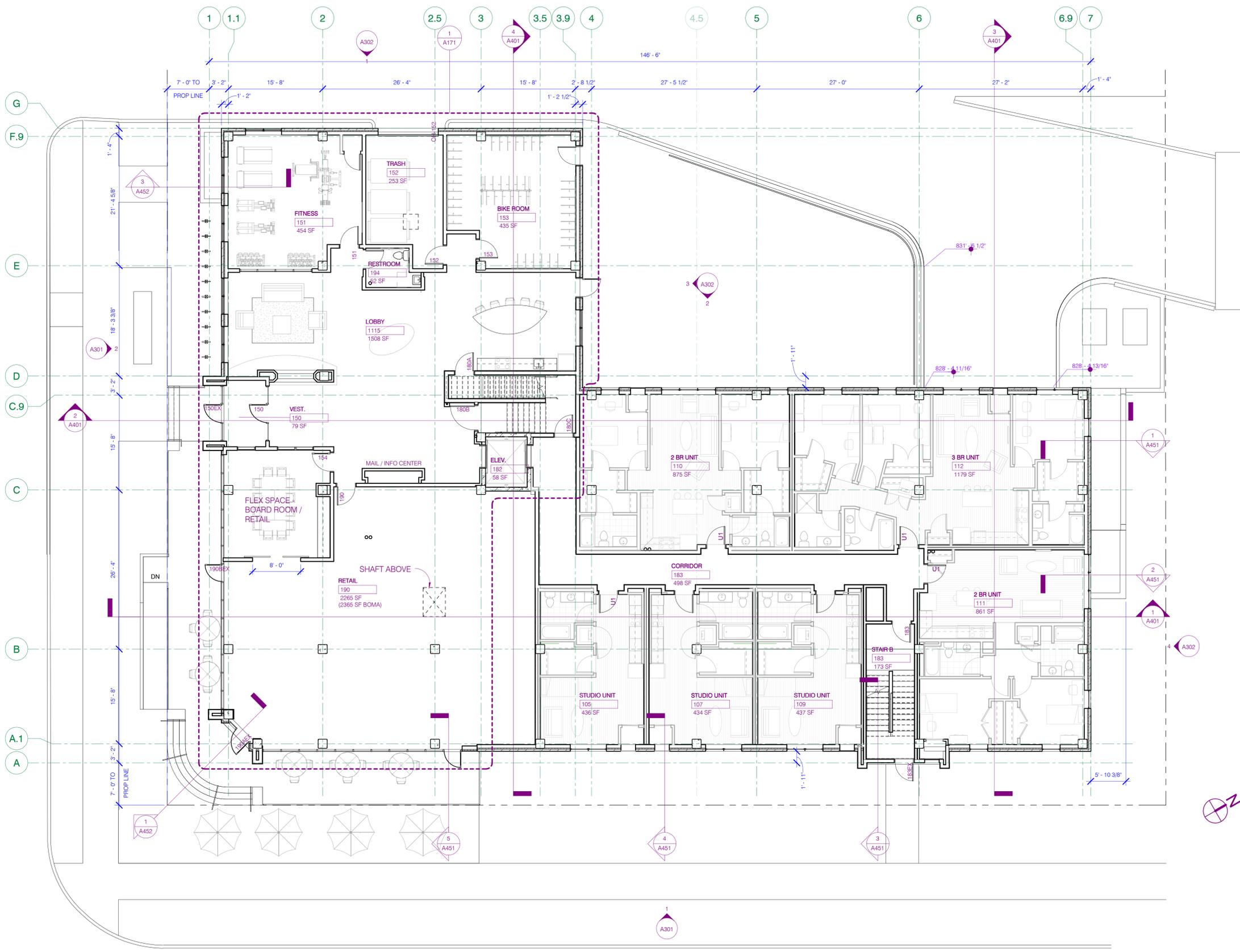
SUBLEVEL
PLAN

A001

1 SUBLEVEL PLAN
A001 1/8" = 1'-0"

GENERAL NOTES:

1. DIMENSIONS AT EXTERIOR WALLS ARE TO OUTSIDE FACE OF SHEATHING.
2. DIMENSIONS AT INTERIOR WALLS ARE TO CENTERLINE OF WALL.
3. DIMENSIONS AT UNIT DEMISING ARE TO CENTERLINE OF WALLS.
4. EXTEND ALL SHAFTS TO UNDERSIDE OF ROOF SHEATHING OR TOP OF ROOF PENETRATIONS WHERE APPLICABLE.
5. ALL RESIDENTIAL DEMISING WALLS ARE TYPE V3, V3A, AND V6 1HR FIRE RATING, WITH ACOUSTIC RATING.
6. ALL RESIDENTIAL CORRIDOR WALLS ARE TYPE W6, 1 HR FIRE RATING, WITH ACOUSTIC RATING - UNLESS OTHERWISE NOTED.
7. ALL UNITS ARE TYPE B ACCESSIBLE UNLESS OTHERWISE NOTED.
8. MAINTAIN 8'-2" MIN. AND 8'-6" MIN. CLEAR HEIGHT AT PARKING AREAS INDICATED ON PLANS. ALL OTHER PARKING AREAS SHALL PROVIDE 7'-2" MIN. CLEAR HEIGHT.
9. DIMENSIONS @ CMU ARE TO FACE OF CMU.



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PROJECT # 14-0008
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LEVEL 1 PLAN

A101

1 LEVEL 1 PLAN
A101 1/8" = 1'-0"



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LEVEL 2 PLAN

A102

GENERAL NOTES:

1. DIMENSIONS AT EXTERIOR WALLS ARE TO OUTSIDE FACE OF SHEATHING
2. DIMENSIONS AT INTERIOR WALLS ARE TO CENTERLINE OF WALL
3. DIMENSIONS AT UNIT DEMISING ARE TO CENTERLINE OF WALLS
4. EXTEND ALL SHAFTS TO UNDERSIDE OF ROOF SHEATHING OR TOP OF ROOF PENETRATIONS WHERE APPLICABLE
5. ALL RESIDENTIAL DEMISING WALLS ARE TYPE V3, V3A, AND V6 1HR FIRE RATING, WITH ACOUSTIC RATING
6. ALL RESIDENTIAL CORRIDOR WALLS ARE TYPE W6, 1 HR FIRE RATING, WITH ACOUSTIC RATING - UNLESS OTHERWISE NOTED
7. ALL UNITS ARE TYPE B ACCESSIBLE UNLESS OTHERWISE NOTED
8. MAINTAIN 8'-2" MIN. AND 8'-6" MIN. CLEAR HEIGHT AT PARKING AREAS INDICATED ON PLANS, ALL OTHER PARKING AREAS SHALL PROVIDE 7'-2" MIN. CLEAR HEIGHT
9. DIMENSIONS @ CMU ARE TO FACE OF CMU



1 A102- LEVEL 2 PLAN
A102 1/8" = 1'-0"



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LEVEL 3-5
PLAN

A103

GENERAL NOTES:

1. DIMENSIONS AT EXTERIOR WALLS ARE TO OUTSIDE FACE OF SHEATHING
2. DIMENSIONS AT INTERIOR WALLS ARE TO CENTERLINE OF WALL
3. DIMENSIONS AT UNIT DEMISING ARE TO CENTERLINE OF WALLS
4. EXTEND ALL SHAFTS TO UNDERSIDE OF ROOF SHEATHING OR TOP OF ROOF PENETRATIONS WHERE APPLICABLE
5. ALL RESIDENTIAL DEMISING WALLS ARE TYPE V3, V3A, AND V6 1HR FIRE RATING, WITH ACOUSTIC RATING
6. ALL RESIDENTIAL CORRIDOR WALLS ARE TYPE W6 1 HR FIRE RATING, WITH ACOUSTIC RATING - UNLESS OTHERWISE NOTED
7. ALL UNITS ARE TYPE B ACCESSIBLE UNLESS OTHERWISE NOTED
8. MAINTAIN 8'-2" MIN. AND 8'-6" MIN. CLEAR HEIGHT AT PARKING AREAS INDICATED ON PLANS, ALL OTHER PARKING AREAS SHALL PROVIDE 7'-2" MIN. CLEAR HEIGHT
9. DIMENSIONS @ CMU ARE TO FACE OF CMU



2 LEVEL 3-5 PLAN
A103 1/8" = 1'-0"



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LEVEL 6 PLAN

A106

GENERAL NOTES:

1. DIMENSIONS AT EXTERIOR WALLS ARE TO OUTSIDE FACE OF SHEATHING
2. DIMENSIONS AT INTERIOR WALLS ARE TO CENTERLINE OF WALL
3. DIMENSIONS AT UNIT DEMISING ARE TO CENTERLINE OF WALLS
4. EXTEND ALL SHAFTS TO UNDERSIDE OF ROOF SHEATHING OR TOP OF ROOF PENETRATIONS WHERE APPLICABLE
5. ALL RESIDENTIAL DEMISING WALLS ARE TYPE V3, V3A, AND V6 1HR FIRE RATING, WITH ACOUSTIC RATING
6. ALL RESIDENTIAL CORRIDOR WALLS ARE TYPE W6 1 HR FIRE RATING, WITH ACOUSTIC RATING - UNLESS OTHERWISE NOTED
7. ALL UNITS ARE TYPE B ACCESSIBLE UNLESS OTHERWISE NOTED
8. MAINTAIN 8'-2" MIN. AND 8'-6" MIN. CLEAR HEIGHT AT PARKING AREAS INDICATED ON PLANS, ALL OTHER PARKING AREAS SHALL PROVIDE 7'-2" MIN. CLEAR HEIGHT
9. DIMENSIONS @ CMU ARE TO FACE OF CMU



1 LEVEL 6 PLAN

A106 1/8" = 1'-0"



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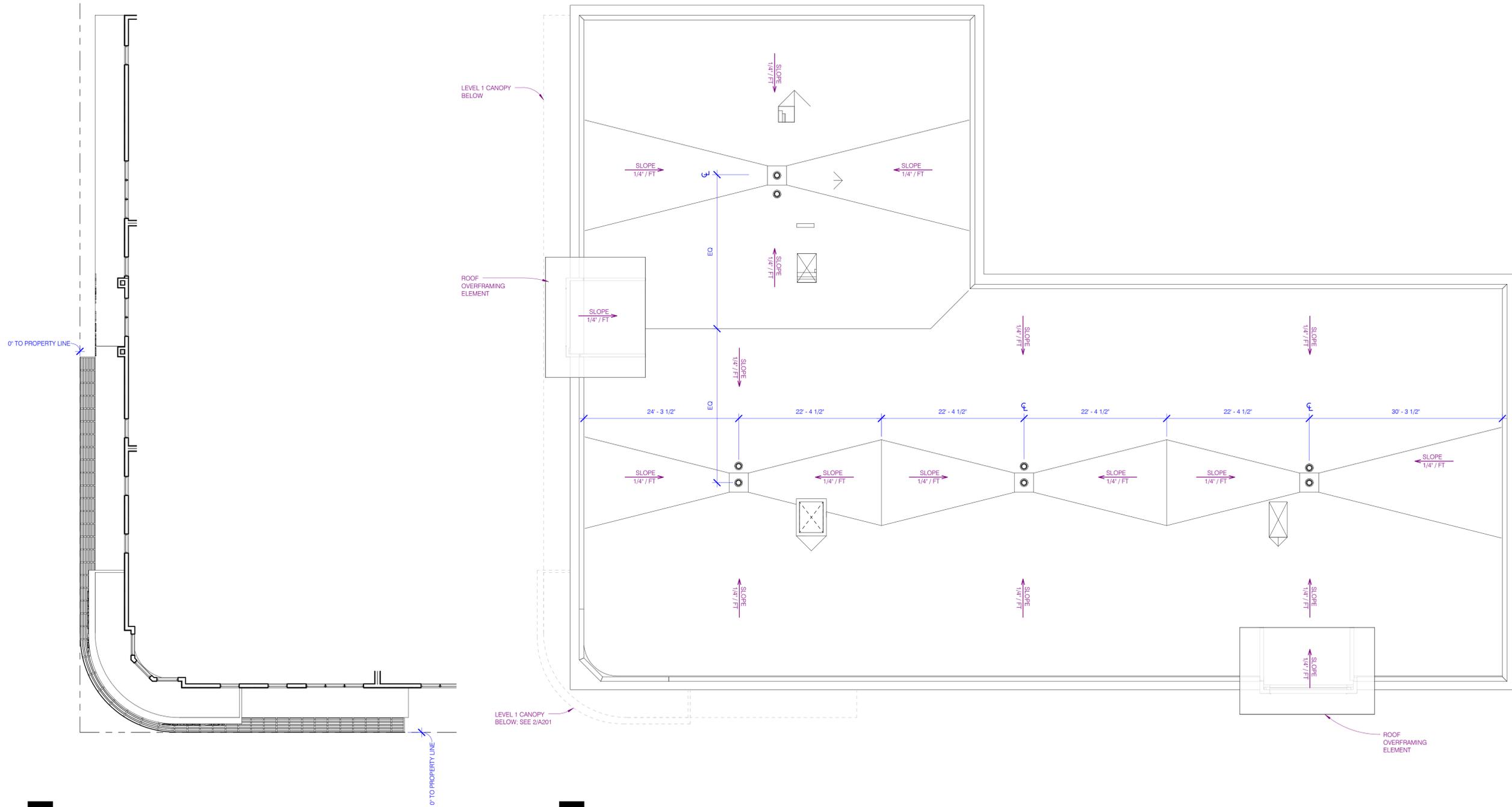
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PROJECT #	14-0008
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ROOF PLAN



2 A201 - CANOPY ROOF PLAN
A201 1/8" = 1'-0"

1 A201 - ROOF PLAN
A201 1/8" = 1'-0"



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BUILDING
ELEVATIONS

A301

GENERAL NOTES:

- REFER TO SPEC EXTERIOR FINISH SCHEDULE FOR MATERIAL DETAILS

ELEVATION KEYNOTES:

- Prefinished metal - color 1
- Prefinished metal - color 2
- Vinyl window - single hung cottage style - color 1
- Flat panel fiber cement with aluminum reveals - color 1
- Nichiha fiber cement panel - 3 custom colors
- Flat panel fiber cement with aluminum reveals - color 2
- Prefinished aluminum Magic Pak louver - custom color
- Prefinished metal - color 3
- Face brick - norman - color 1
- Aluminum storefront - dark bronze
- Exposed cmu - burnished or colored
- Solid canopy with metal roof; locate downlights at perimeter
- Solid canopy with metal roof
- Wide stile aluminum storefront entry door - dark bronze
- Exposed concrete cast in place patio and steps
- Prefinished aluminum railing system; surface mounted
- Prefinished metal signage band; provide power (40sq. ft. around curve)
- Radiused metal panel - color 1
- Radiused metal panel - color 2
- Prefinished aluminum cut letters, 24"
- Exterior steel door, painted
- LIGHT FIXTURE - DECORATIVE UP / DOWN
- LIGHT FIXTURE - WALL MOUNT
- 2" WIDE PREFINISHED REVEAL
- Metal-Clad Overhead Door
- DECORATIVE METAL FENCE



2 SOUTH ELEVATION (4TH ST.)

A301 1/8" = 1'-0"



1 EAST ELEVATION - 13TH AVE.

A301 1/8" = 1'-0"



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BUILDING ELEVATIONS

A302

GENERAL NOTES:

- REFER TO SPEC EXTERIOR FINISH SCHEDULE FOR MATERIAL DETAILS

ELEVATION KEYNOTES:

- Prefinished metal - color 1
- Prefinished metal - color 2
- Vinyl window - single hung cottage style - color 1
- Flat panel fiber cement with aluminum reveals - color 1
- Nichiha fiber cement panel - 3 custom colors
- Flat panel fiber cement with aluminum reveals - color 2
- Prefinished aluminum Magic Pak louver - custom color
- Prefinished metal - color 3
- Face brick - norman - color 1
- Aluminum storefront - dark bronze
- Exposed cmu - burnished or colored
- Solid canopy with metal roof; locate downlights at perimeter
- Solid canopy with metal roof
- Wide stile luminum storefront entry door - dark bronze
- Exposed concrete cast in place patio and steps
- Prefinished aluminum railing system; surface mounted
- Prefinished metal signage band; provide power (40sq. ft. around curve)
- Radiused metal panel - color 1
- Radiused metal panel - color 2
- Prefinished aluminum cut letters, 24"
- Exterior steel door, painted
- LIGHT FIXTURE - DECORATIVE UP / DOWN
- LIGHT FIXTURE - WALL MOUNT
- 2" WIDE PREFINISHED REVEAL
- Metal-Clad Overhead Door
- DECORATIVE METAL FENCE



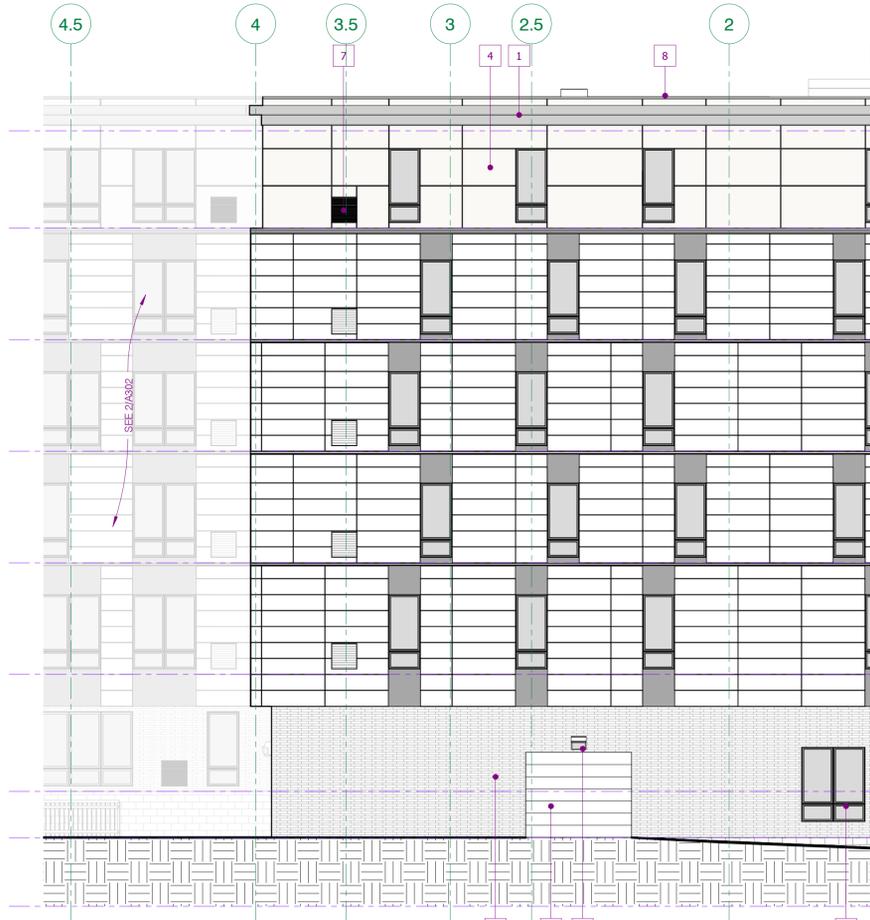
4 North
A302 1/8" = 1'-0"



3 North - Courtyard
A302 1/8" = 1'-0"



2 West - Courtyard
A302 1/8" = 1'-0"



1 West
A302 1/8" = 1'-0"



- ROOF 802 - 11.00'
- LEVEL 6 800 - 9.10'
- LEVEL 5 800 - 8.30'
- LEVEL 4 800 - 7.50'
- LEVEL 3 800 - 6.70'
- LEVEL 2 800 - 5.90'
- LEVEL 1 - UPPER 800 - 5.10'
- LEVEL 1 800 - 4.30'

MATERIAL PERCENTAGE - SOUTH ELEVATION

27%	1642 SF	PERISH CEMENT (UNIT)
37%	2700 SF	PERISH CEMENT (NO-HA-RUN)
10%	1024 SF	GLASS
4%	242 SF	METAL PANEL/CANOPY
4%	222 SF	CLAY BRICK
TOTAL		7142 SF

GENERAL NOTES:

1. REFER TO SPECIFICATIONS FOR SCHEDULE FOR MATERIAL DETAILS.

ELEVATION KEYNOTES:

1. Prefinished metal - color 1
2. Prefinished metal - color 2
3. Vinyl window - single hung cottage style - color 1
4. Flat panel floor cement with aluminum reveals - color 1
5. Noha fiber cement panel - 3 custom colors
6. Flat panel floor cement with aluminum reveals - color 2
7. Prefinished aluminum Magic Pak Insver - custom color
8. Prefinished metal - color 3
9. Face brick - roman - color 1
10. Aluminum storefront - dark bronze
11. Exposed cms - burnished
13. Solid canopy with metal roof, locate downlights at perimeter
14. Solid canopy with metal roof
15. Wide slit luminous storefront entry door - dark bronze
16. Exposed concrete cast in place patio and steps
17. Prefinished aluminum ceiling system; surface mounted
18. Prefinished metal signage band; provide power (4x6, ft. around curve)
19. Railused metal panel - color 1
20. Railused metal panel - color 2
21. Prefinished aluminum cut letters, 24"
22. Exterior steel door, painted
23. LIGHT FEATURE - EXHIBITIVE UP / DOWN
24. LIGHT FEATURE - WALL MOUNT
25. 2" WIDE PREFINISHED REVEAL
26. Metal-Clad Overhead Door
27. DECORATIVE METAL FENCE



- ROOF 800 - 11.00'
- LEVEL 6 800 - 9.10'
- LEVEL 5 800 - 8.30'
- LEVEL 4 800 - 7.50'
- LEVEL 3 800 - 6.70'
- LEVEL 2 800 - 5.90'
- LEVEL 1 - UPPER 800 - 5.10'
- LEVEL 1 800 - 4.30'

MATERIAL PERCENTAGE - EAST ELEVATION

30%	3063 SF	BRICK
30%	3062 SF	NO-HA-RUN
27%	2700 SF	GLASS
6%	566 SF	BRICK
5%	483 SF	REFINISHED BLOCK
2%	179 SF	METAL PANEL
TOTAL		10163 SF

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1777 4th St. SE, Minneapolis



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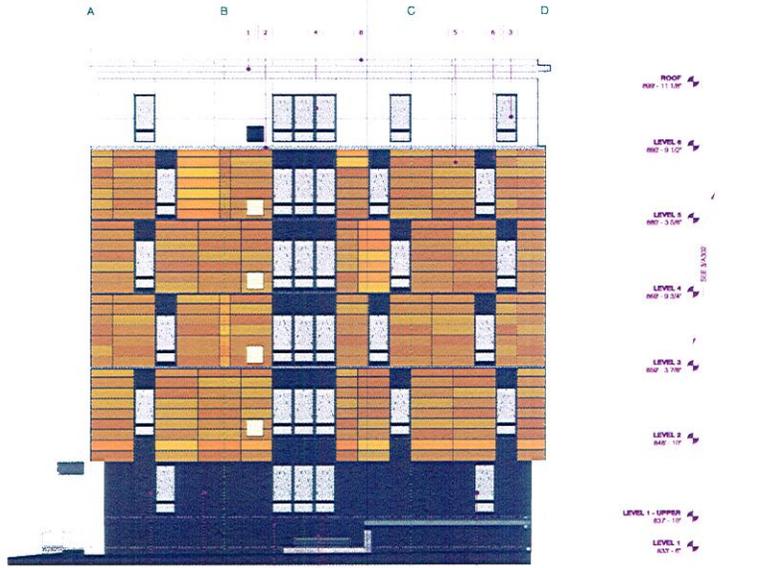
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PHASE PCB
DRAWN BY: DRH
CHECKED BY: DRH

BUILDING ELEVATIONS - COLOR

A301-C



4 North - Color
ASD-C 1/8" = 1'-0"



3 North - Courtyard Color
ASD-C 1/8" = 1'-0"

GENERAL NOTES:

1 REFER TO SPEC EXTERIOR FINISH SCHEDULE FOR MATERIAL DETAILS

MATERIAL PERCENTAGE - NORTH ELEVATION

44%	3206 SF	NO-BVA
22%	1681 SF	HARDI
18%	1296 SF	GLAZING
13%	870 SF	BRICK
2%	186 SF	CONCRETE
1%	47 SF	OTHER
TOTAL	7286 SF	

ELEVATION KEYNOTES:

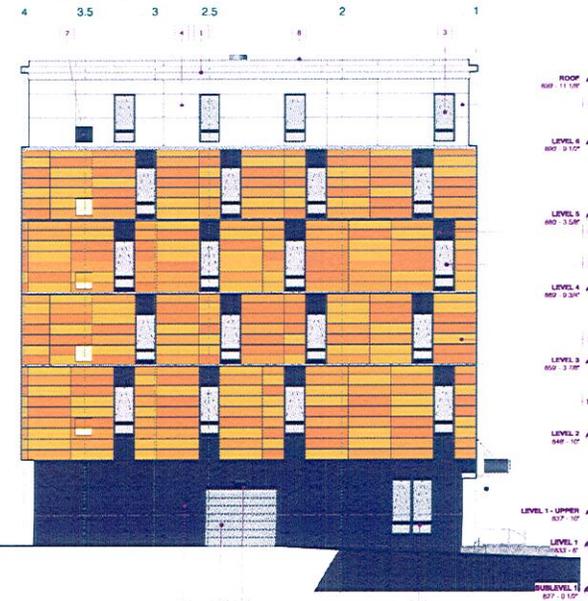
- 1 Prefinished metal - color 1
- 2 Prefinished metal - color 2
- 3 Vinyl window - single hung cottage style - color 1
- 4 Flat panel fiber cement with aluminum reveals - color 1
- 5 No-Chip fiber cement panel - 3 custom colors
- 6 Flat panel fiber cement with aluminum reveals - color 2
- 7 Prefinished aluminum Magic Pak louver - custom color
- 8 Prefinished metal - color 3
- 9 Face brick - norman - color 1
- 10 Aluminum stanchion - dark bronze
- 11 Exposed brick - burnished
- 12 Solid canopy with metal roof, locate downlights at perimeter
- 14 Solid canopy with metal roof
- 15 Wide slat aluminum storefront entry door - dark bronze
- 16 Exposed concrete cast in place patio and steps
- 17 Prefinished aluminum railing system, surface mounted
- 18 Prefinished metal signage band; provide power (40g, ft. around corner)
- 19 Radiused metal panel - color 1
- 20 Radiused metal panel - color 2
- 21 Prefinished aluminum col letters, 24"
- 22 Exterior steel door, painted
- 23 LIGHT FIXTURE - DECORATIVE UP / DOWN
- 24 LIGHT FIXTURE - WALL MOUNT
- 25 2" WIDE PREFINISHED REVEAL
- 26 Metal-Clad Overhead Door
- 27 DECORATIVE METAL FENCE

MATERIAL PERCENTAGE - WEST ELEVATION

4%	470 SF	NO-BVA
2%	216 SF	HARDI
17%	1742 SF	GLAZING
11%	1154 SF	BRICK
2%	202 SF	BURNISHED BRICK
1%	113 SF	OTHER
TOTAL	10066 SF	



2 West - Courtyard Color
ASD-C 1/8" = 1'-0"



1 West Color
ASD-C 1/8" = 1'-0"

Riverton Community Housing
1227 4th St. SE, Minneapolis



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BUILDING ELEVATIONS - COLOR

A302-C



Riverton Community Housing

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CONCEPTUAL IMAGE





Riverton Community Housing

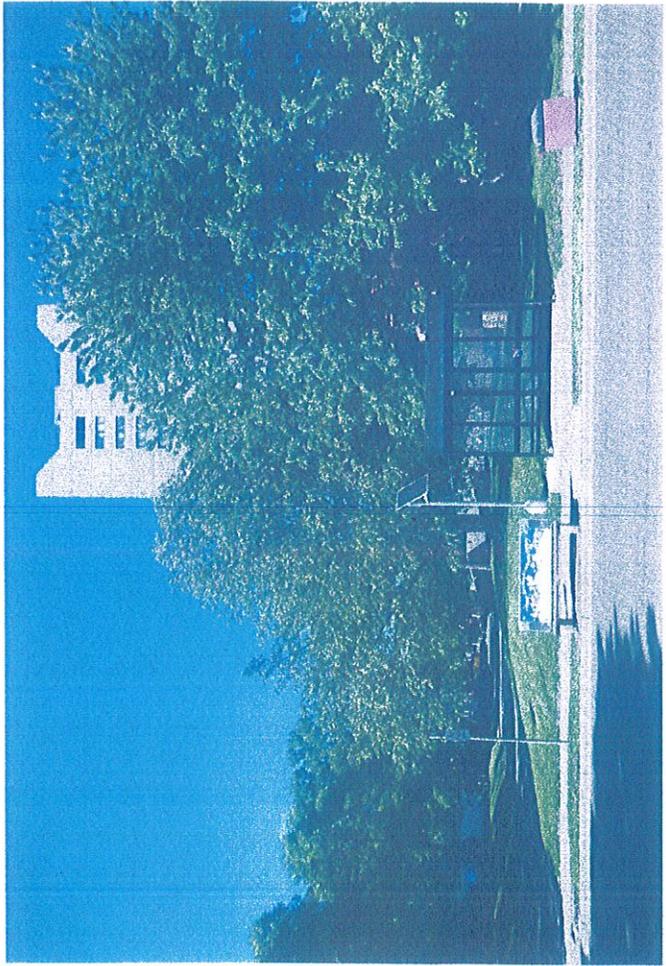
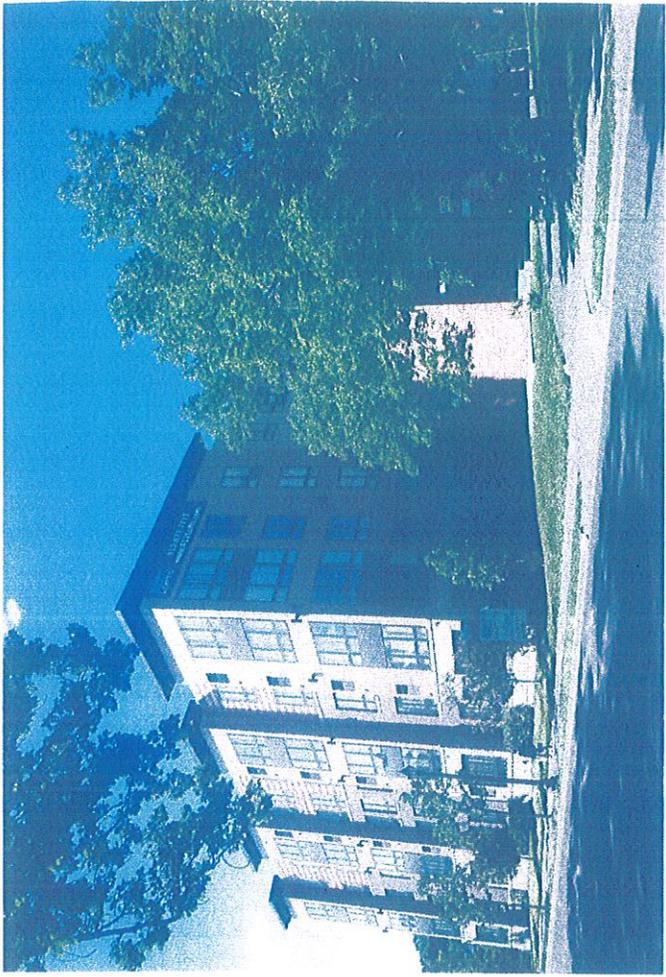
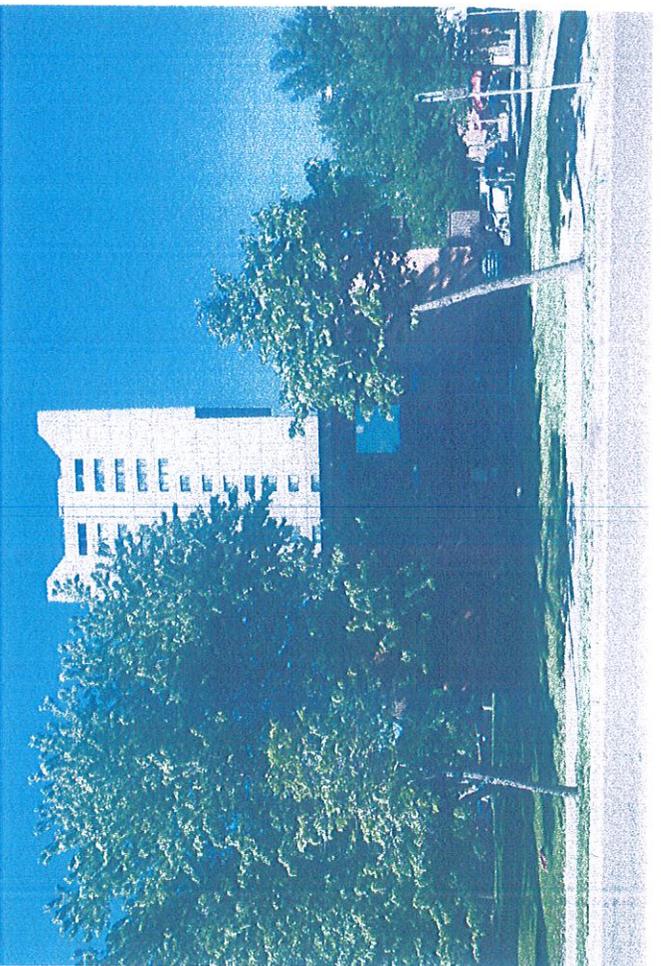
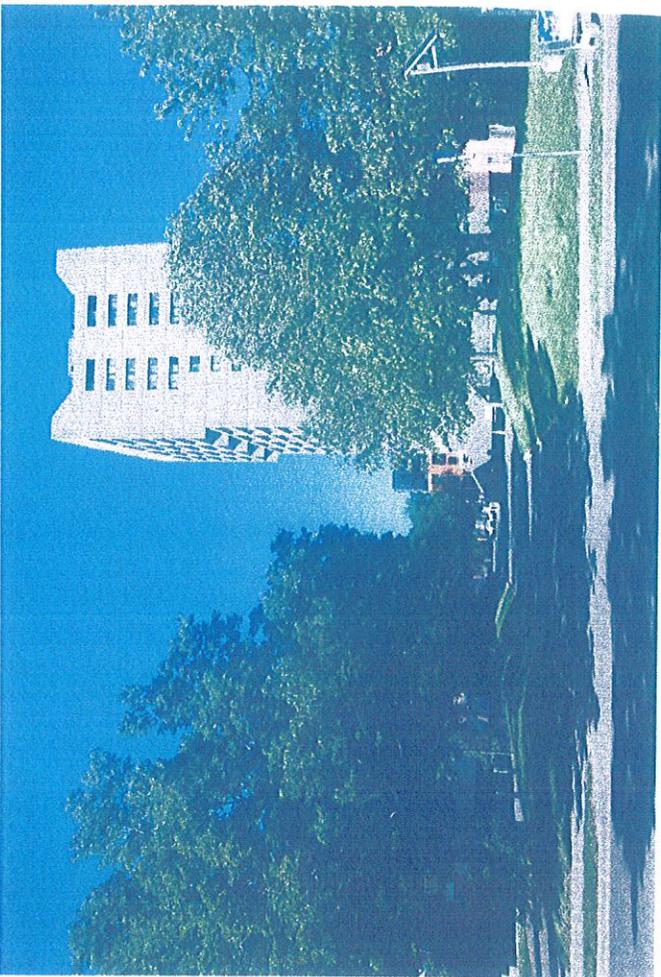
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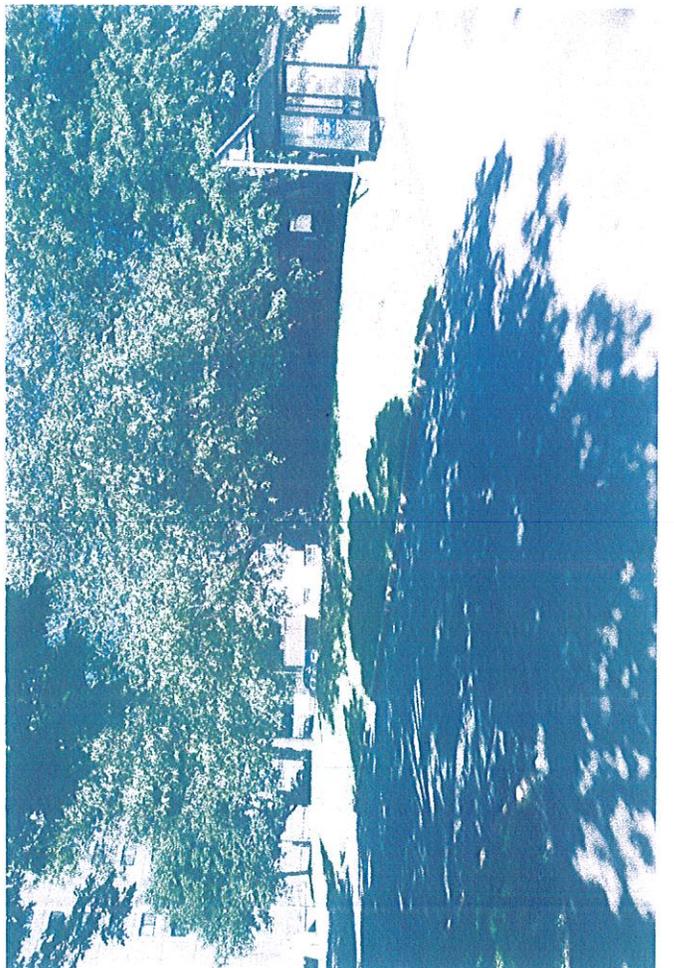
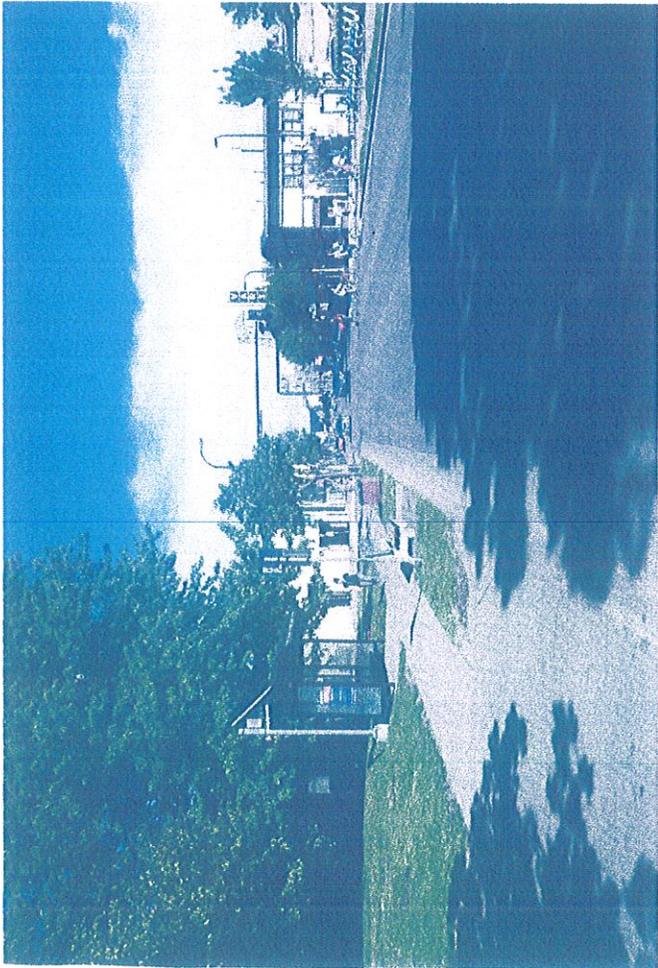


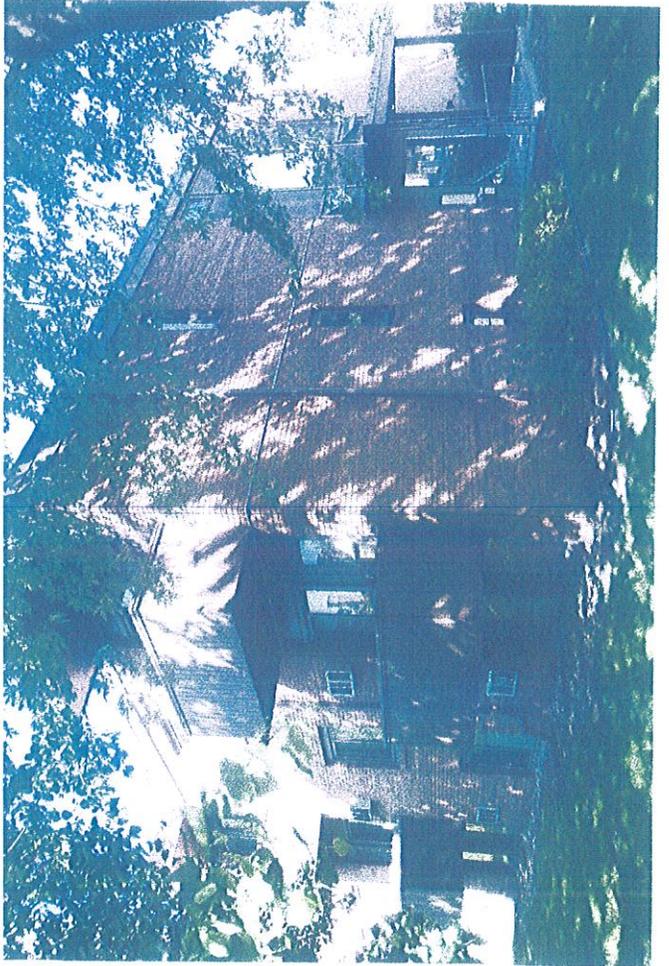
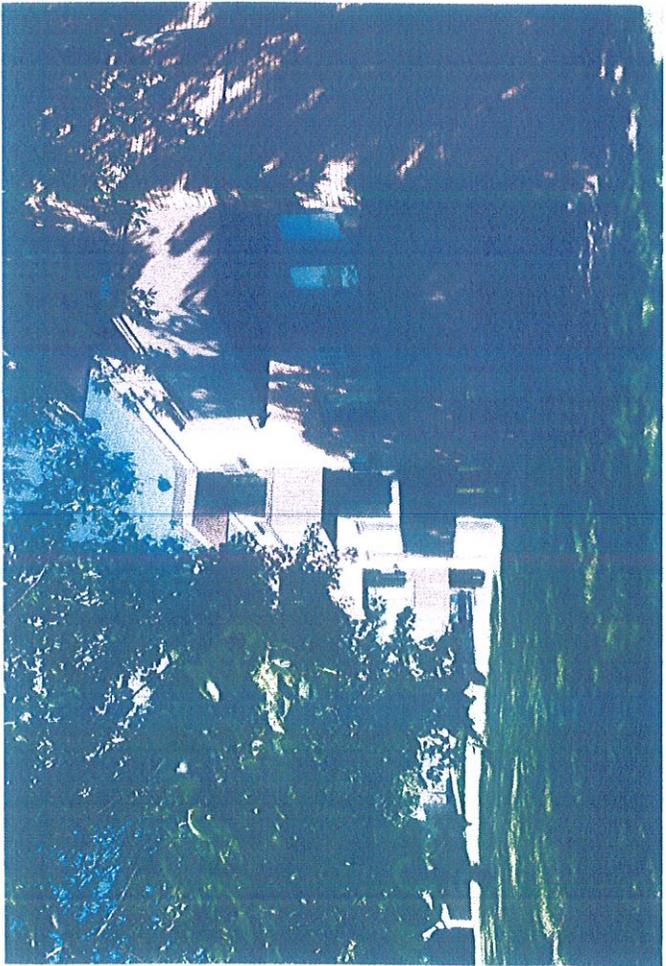
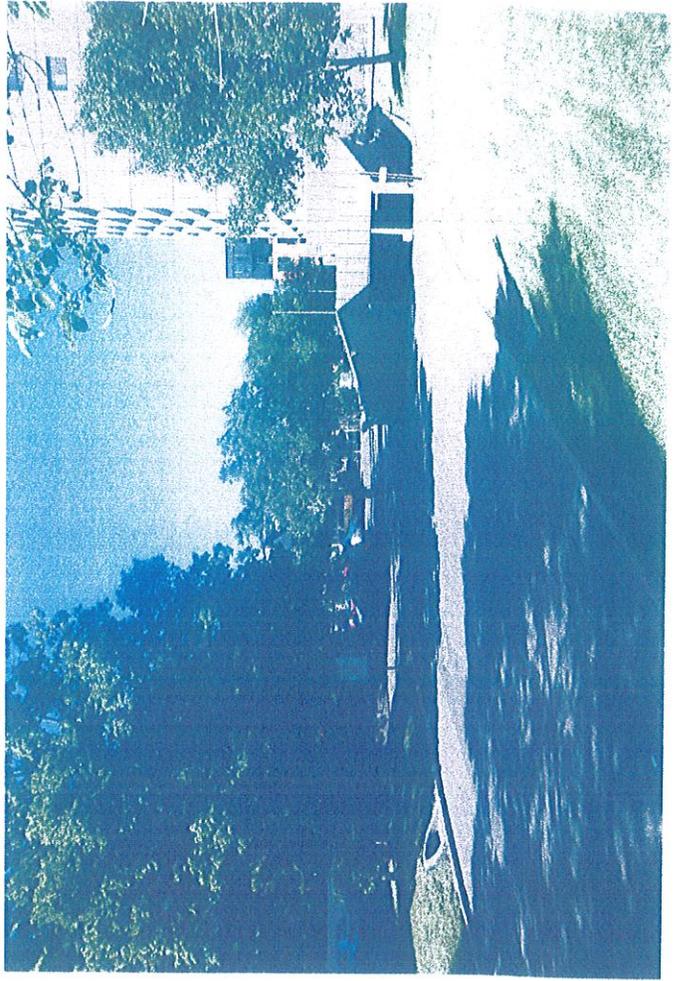
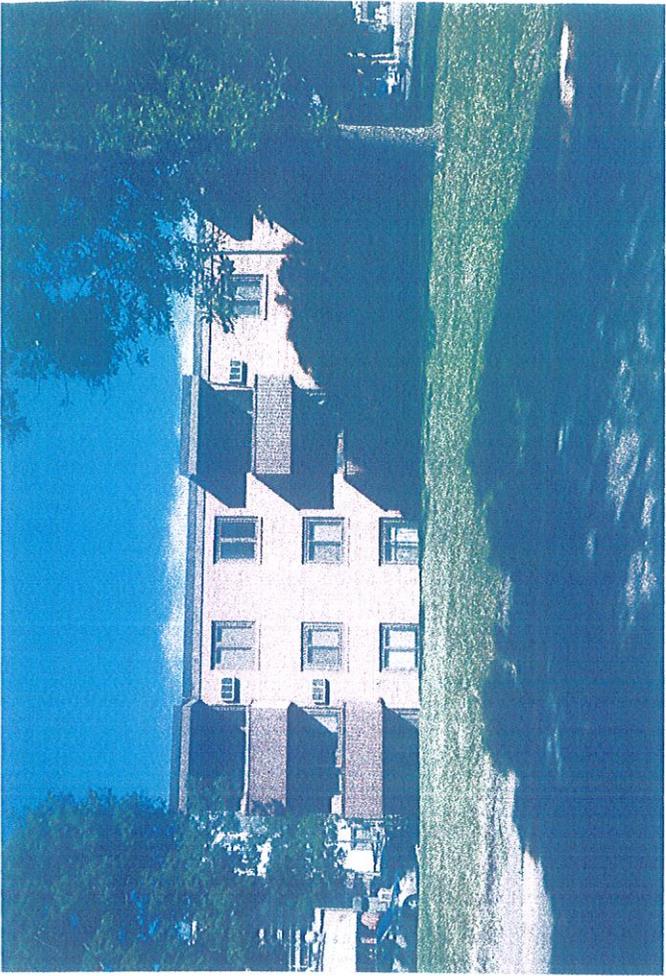


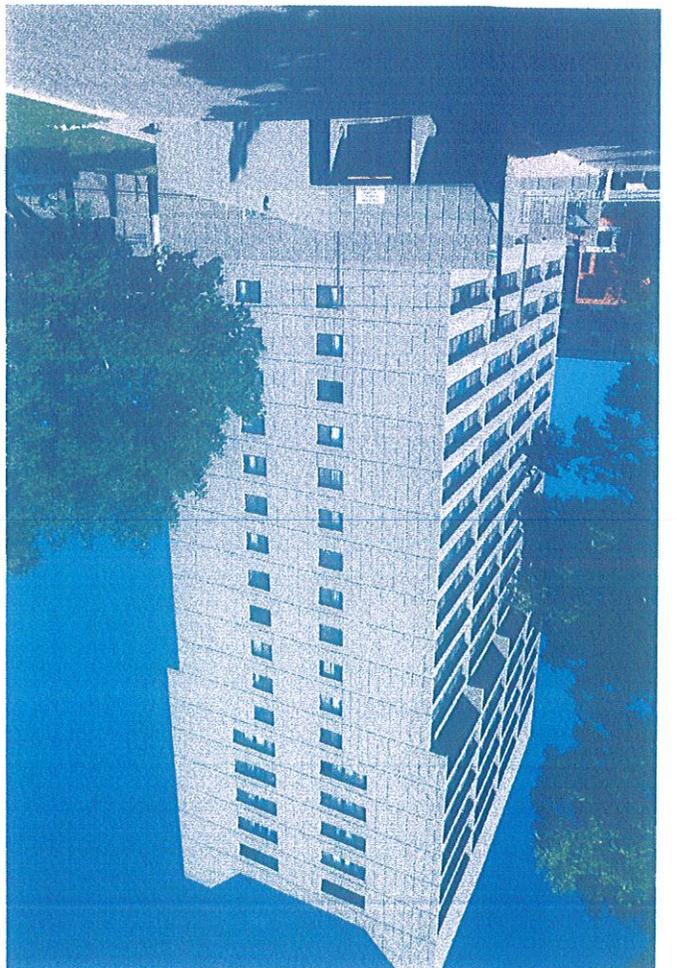
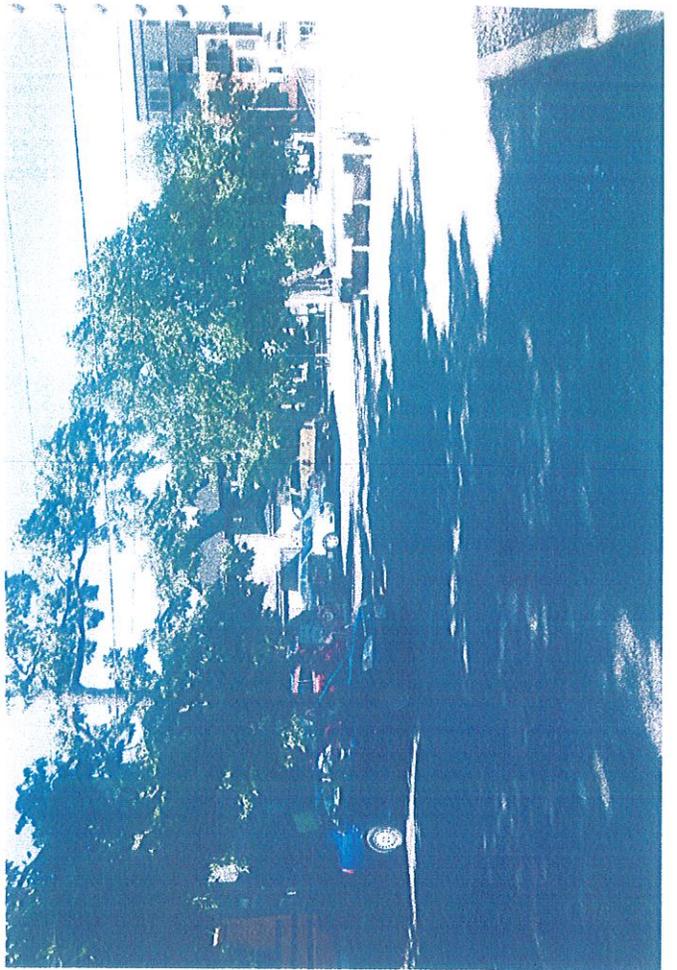
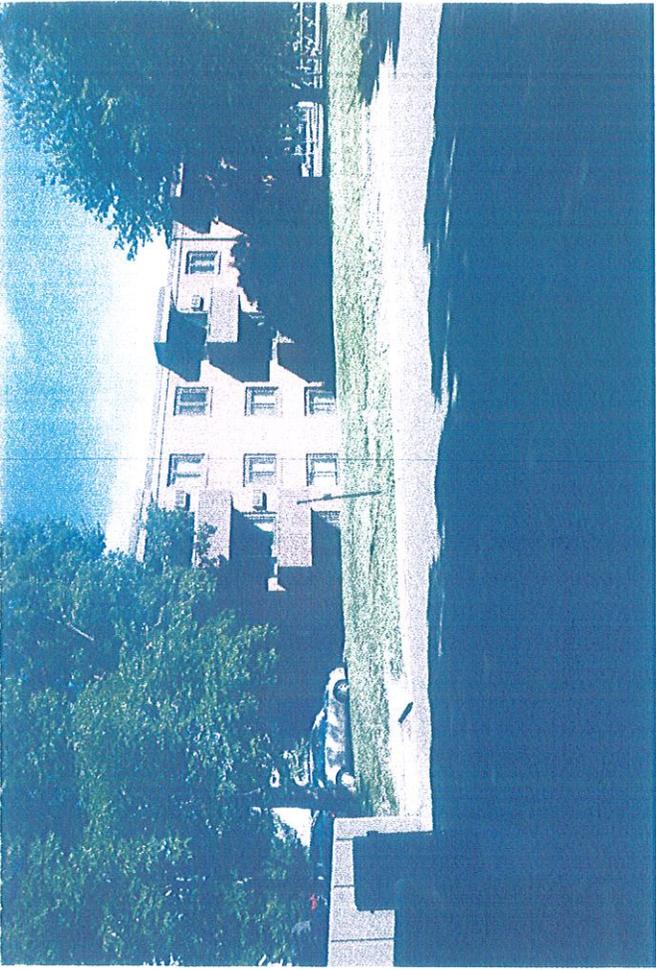


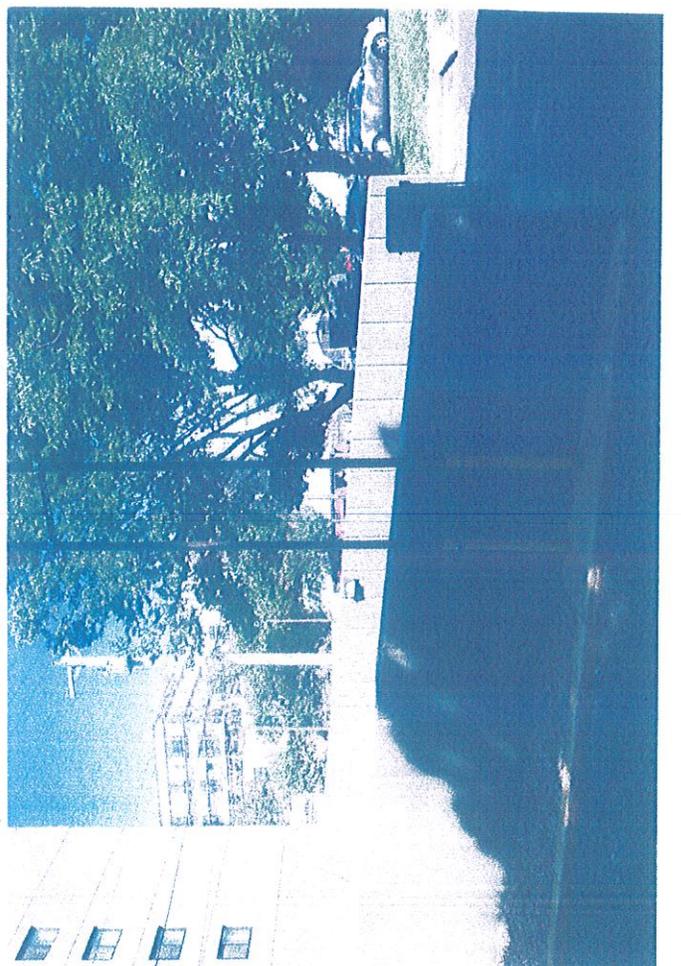
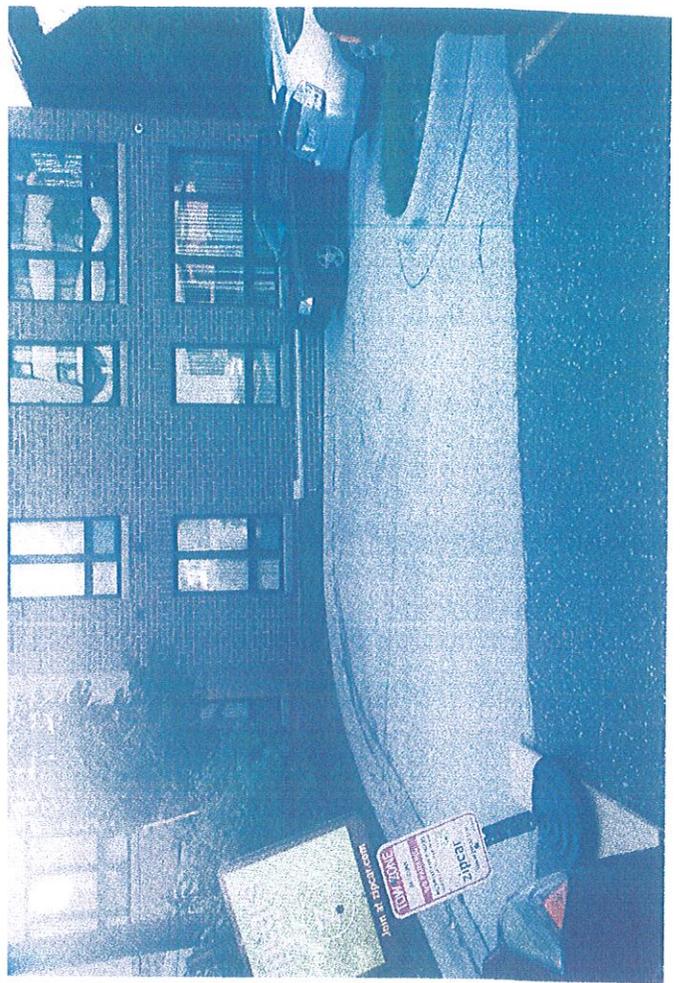
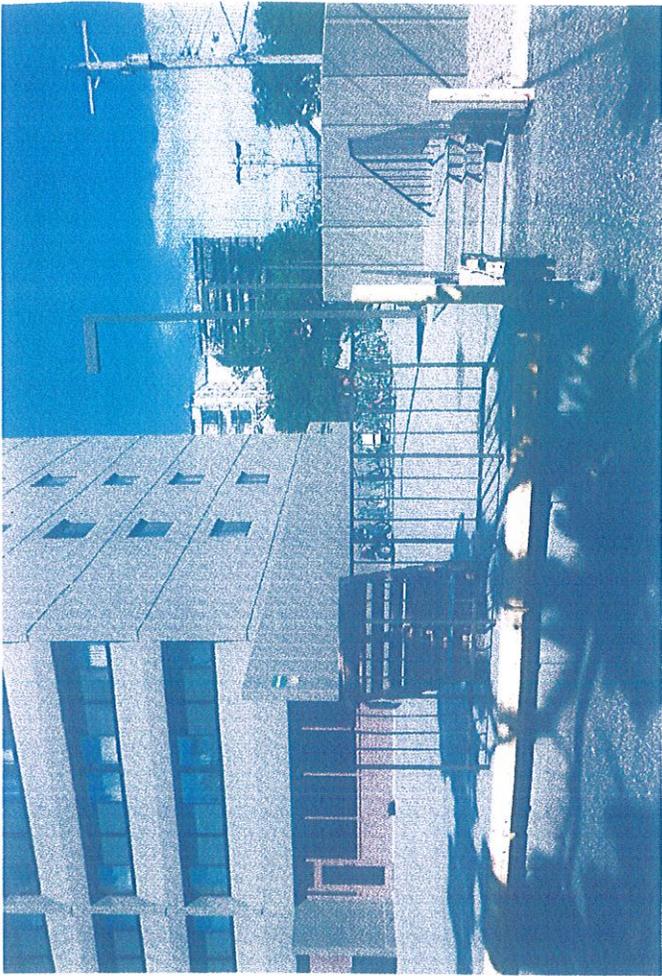


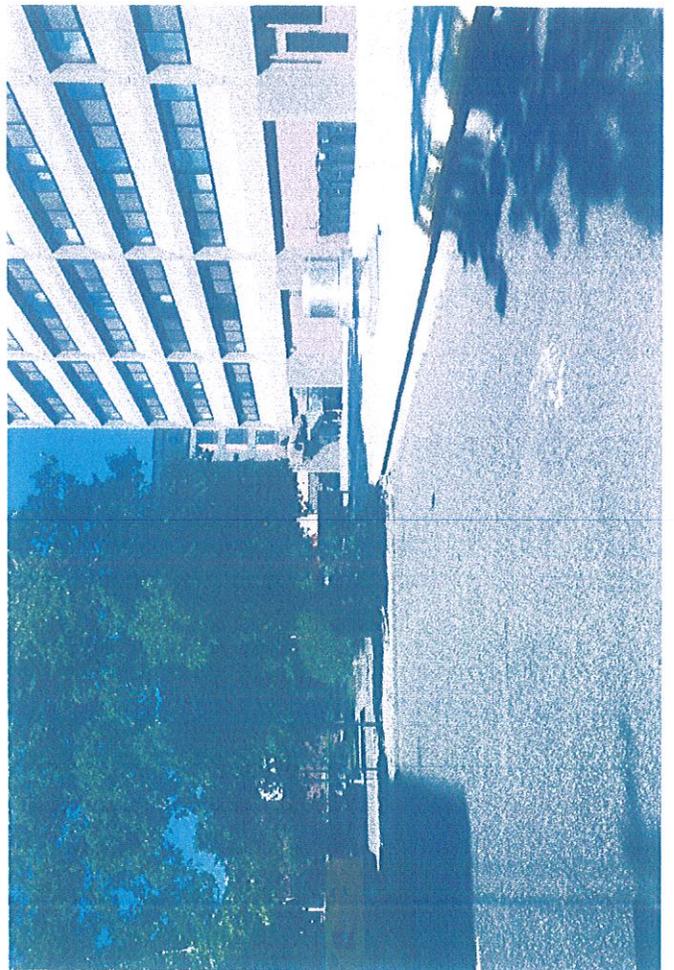
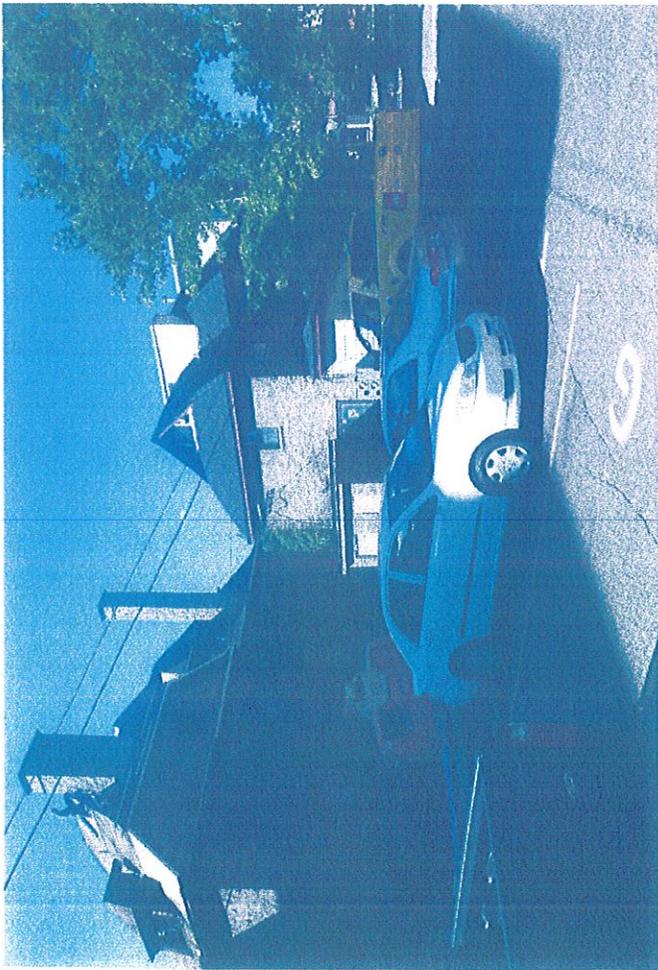
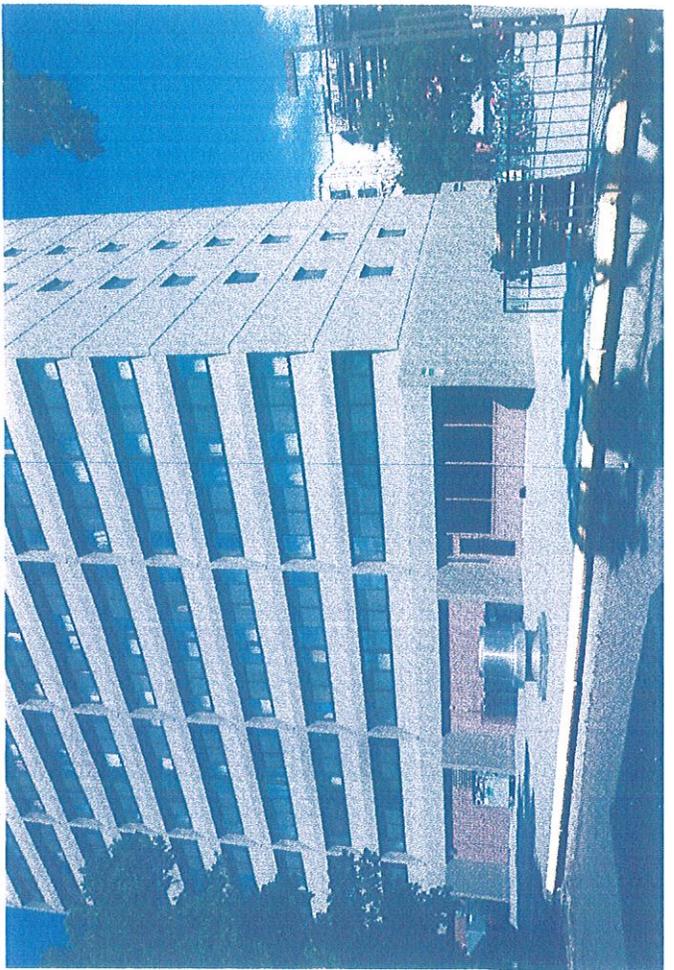
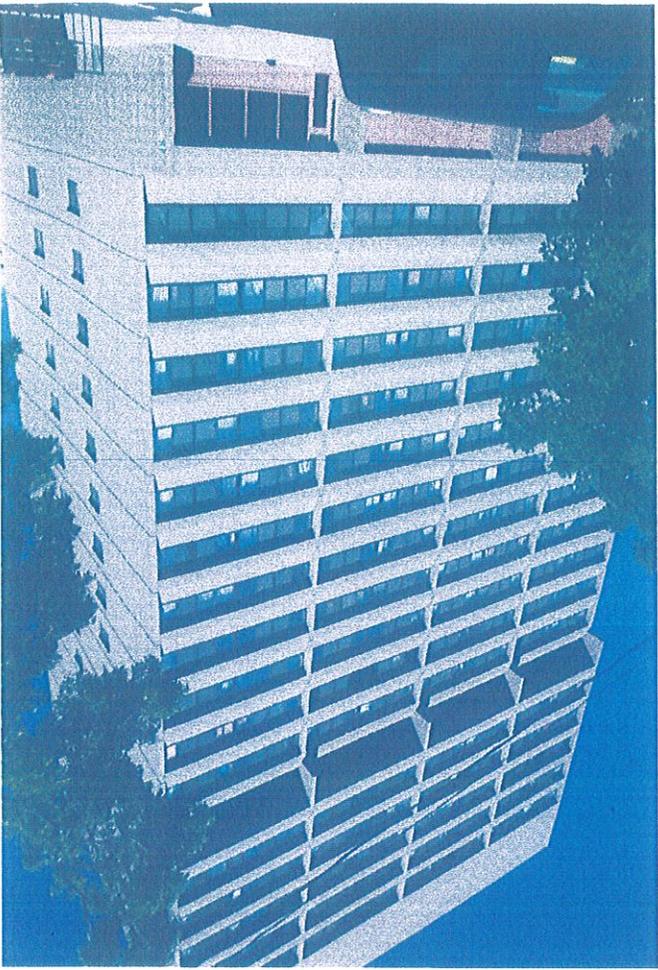


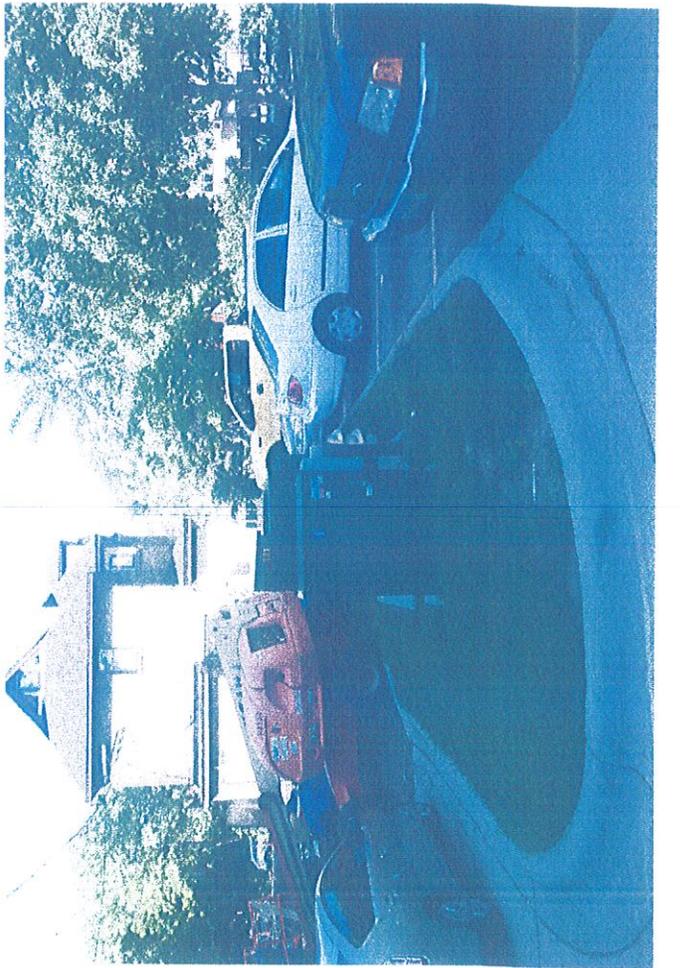
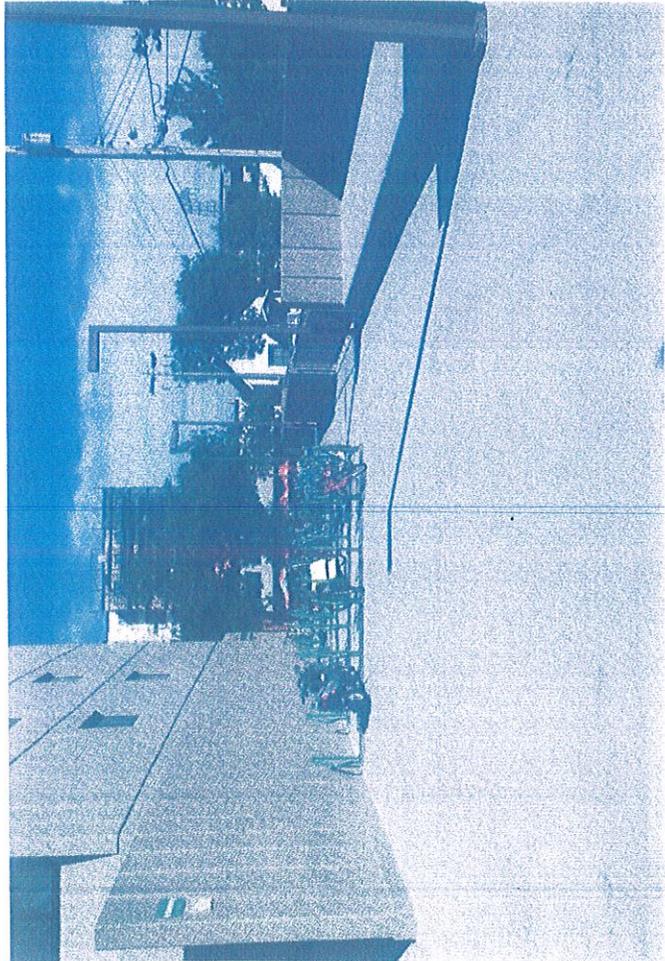
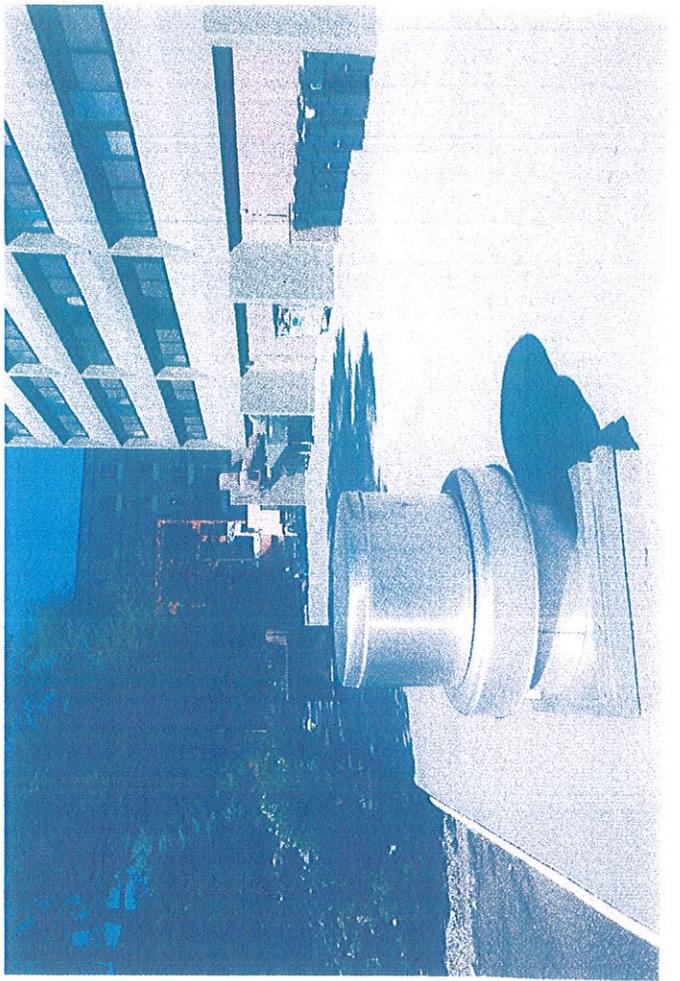
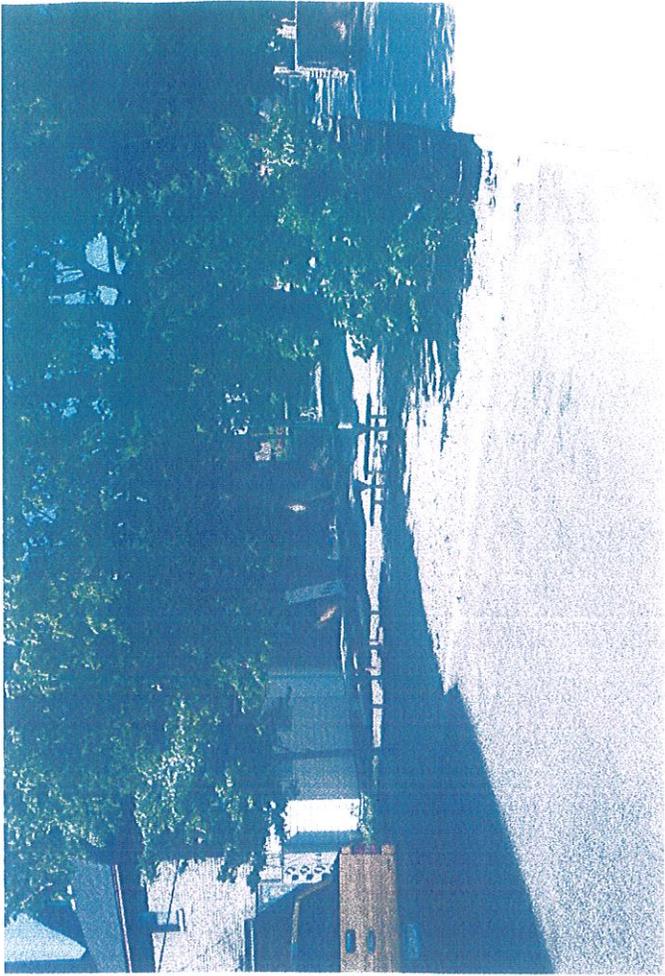


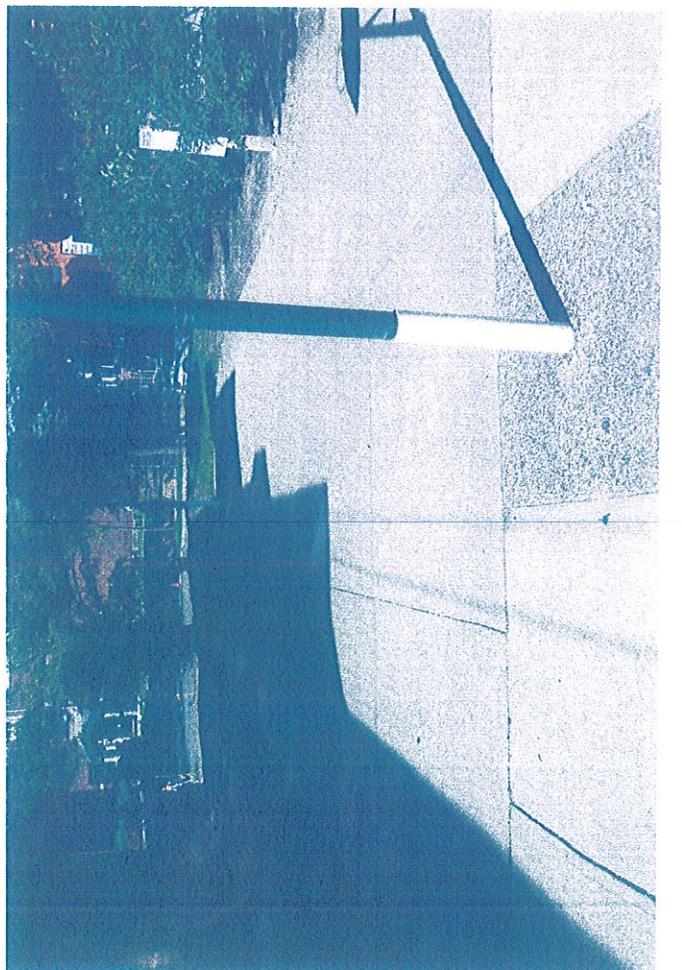
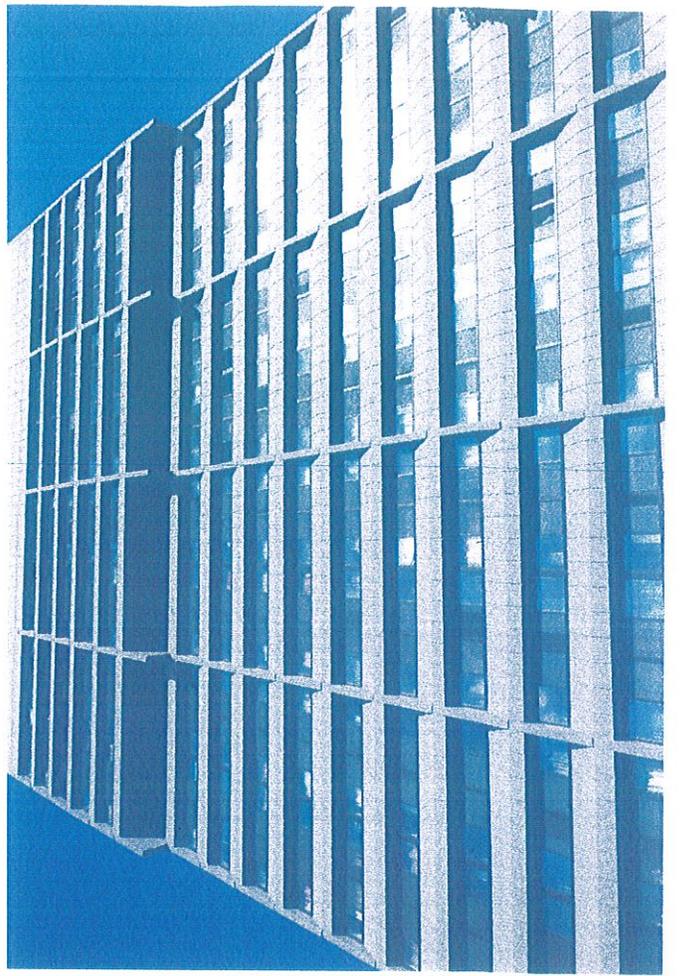


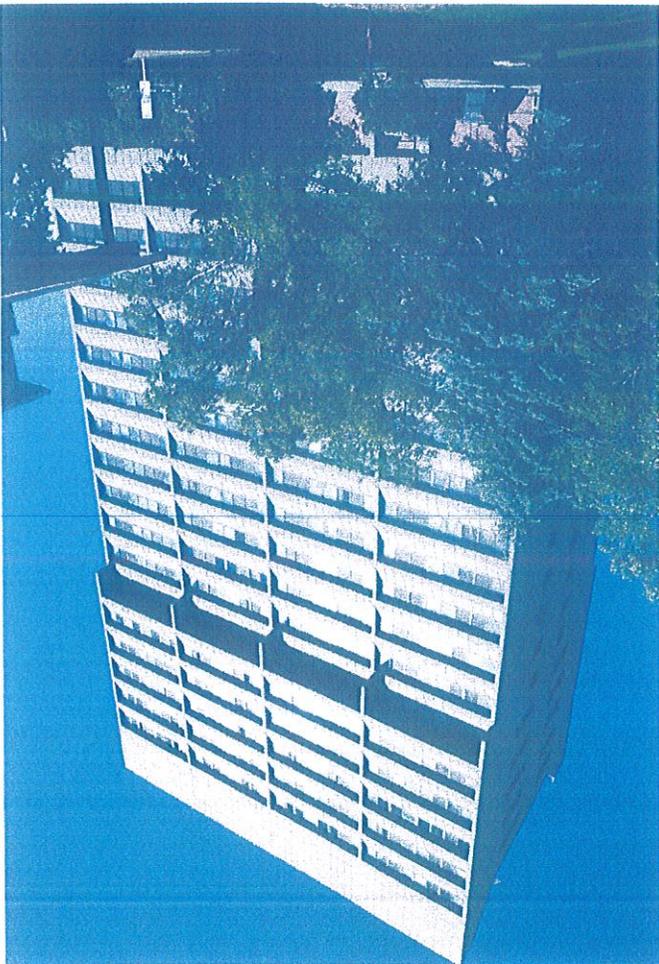
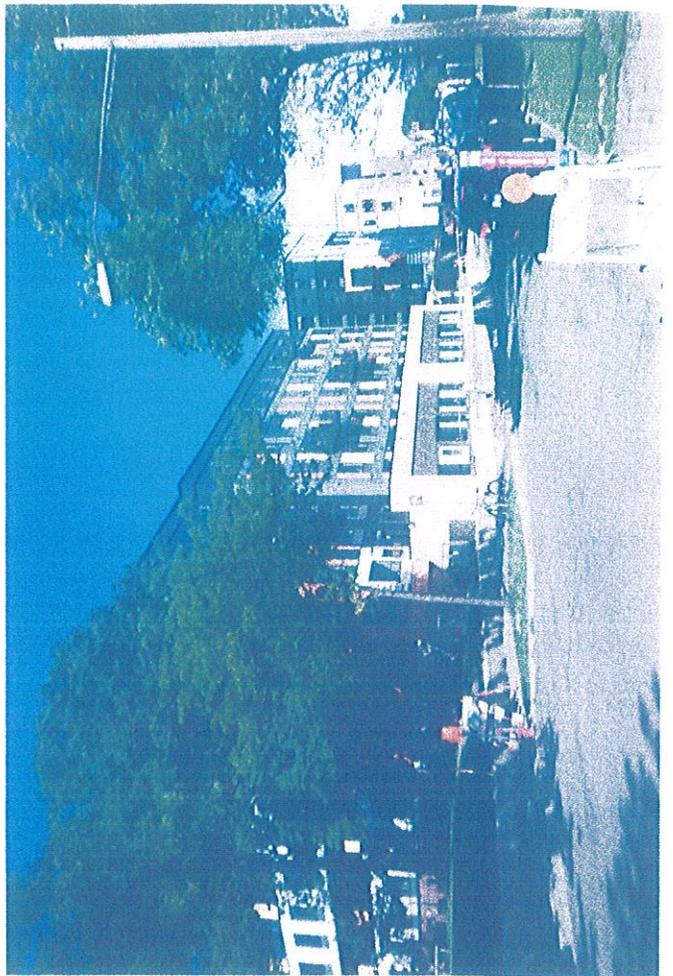


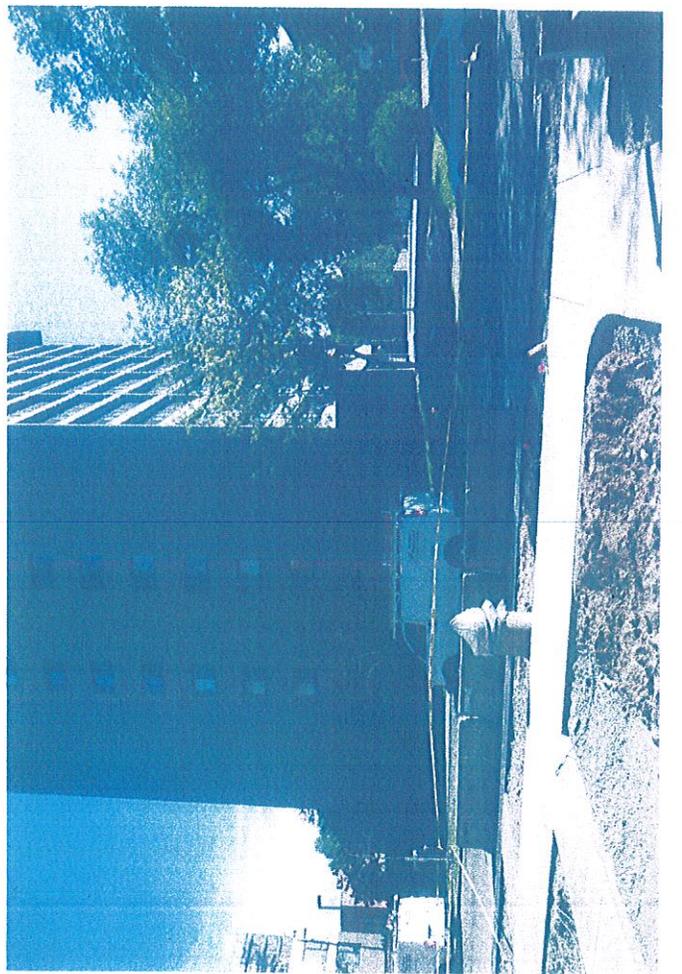
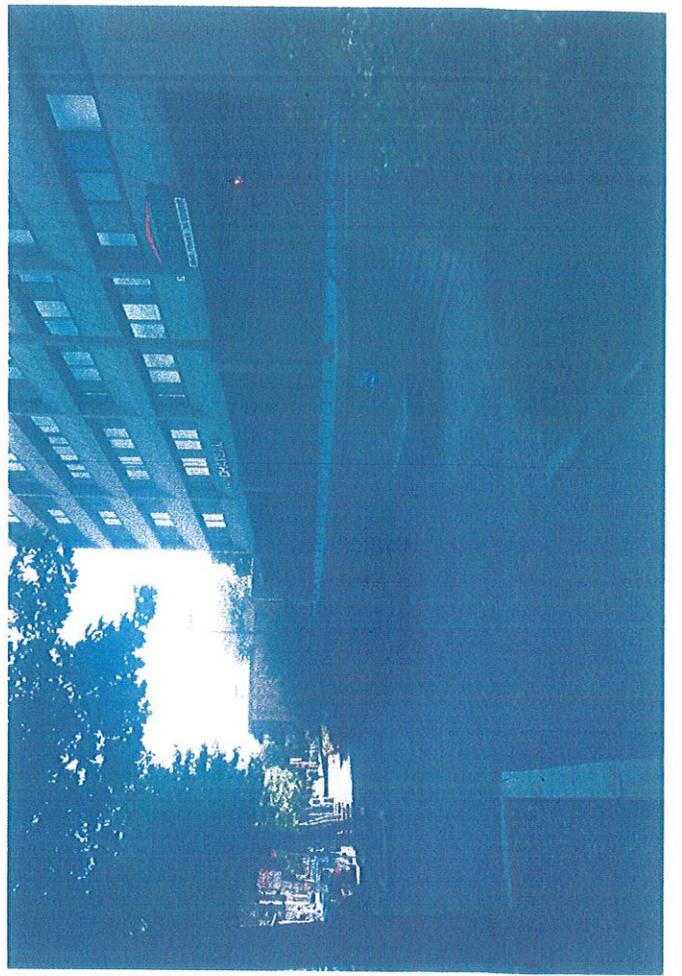


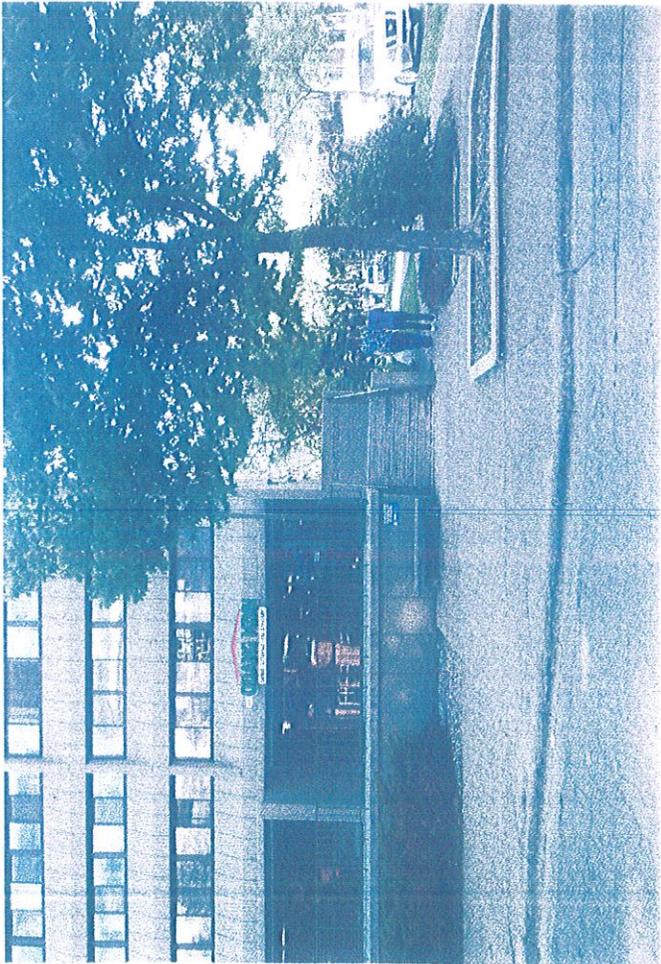


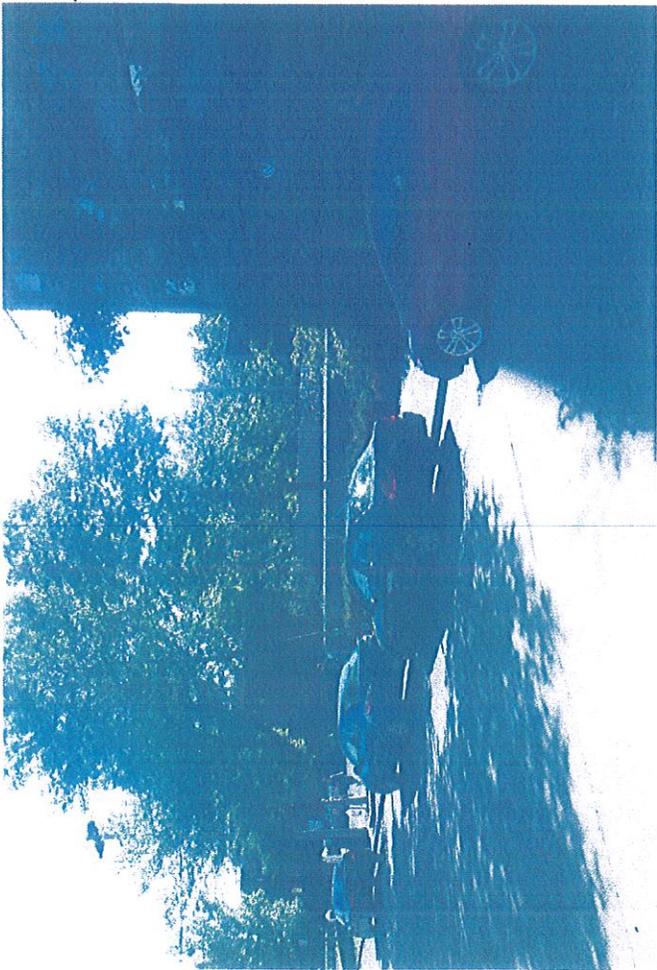
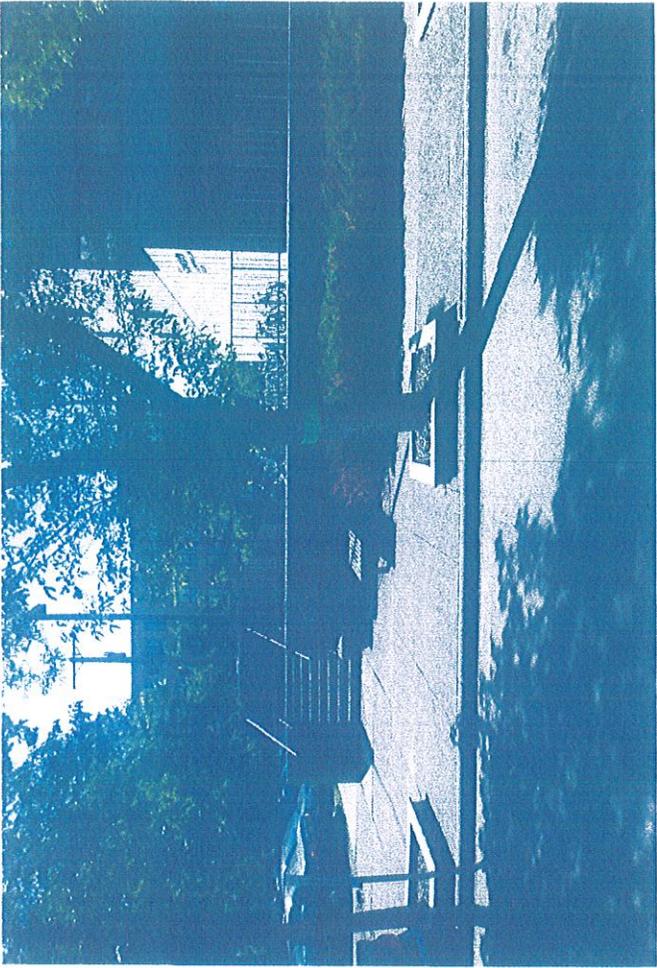


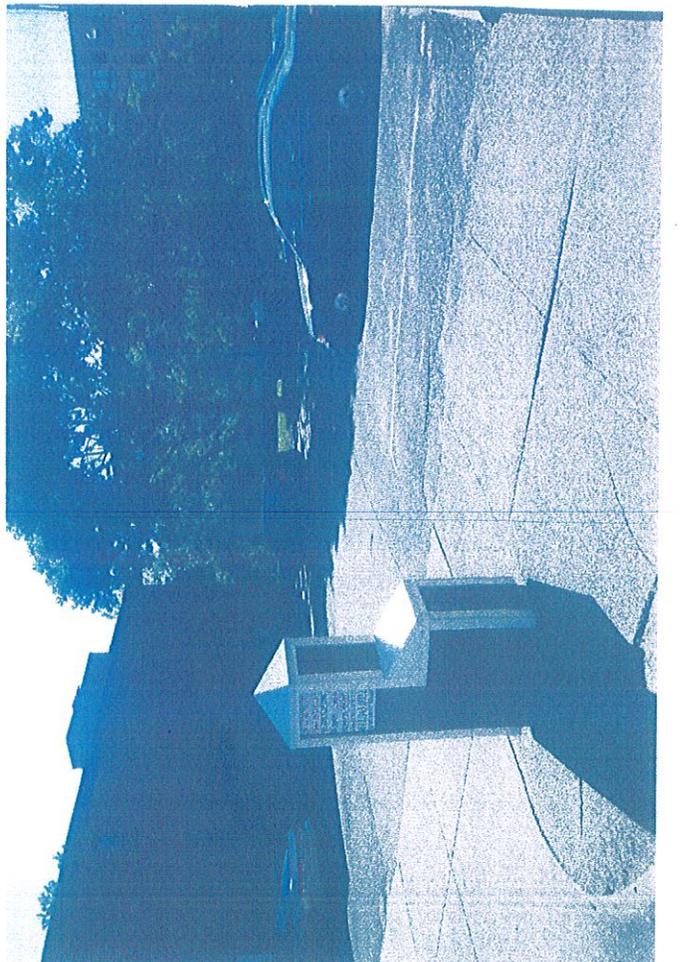
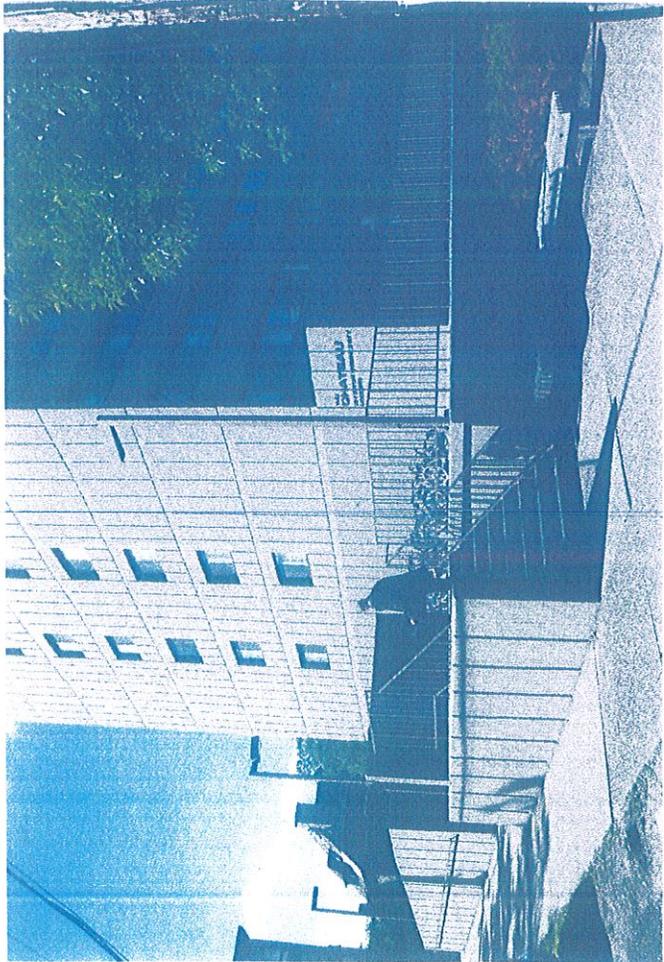
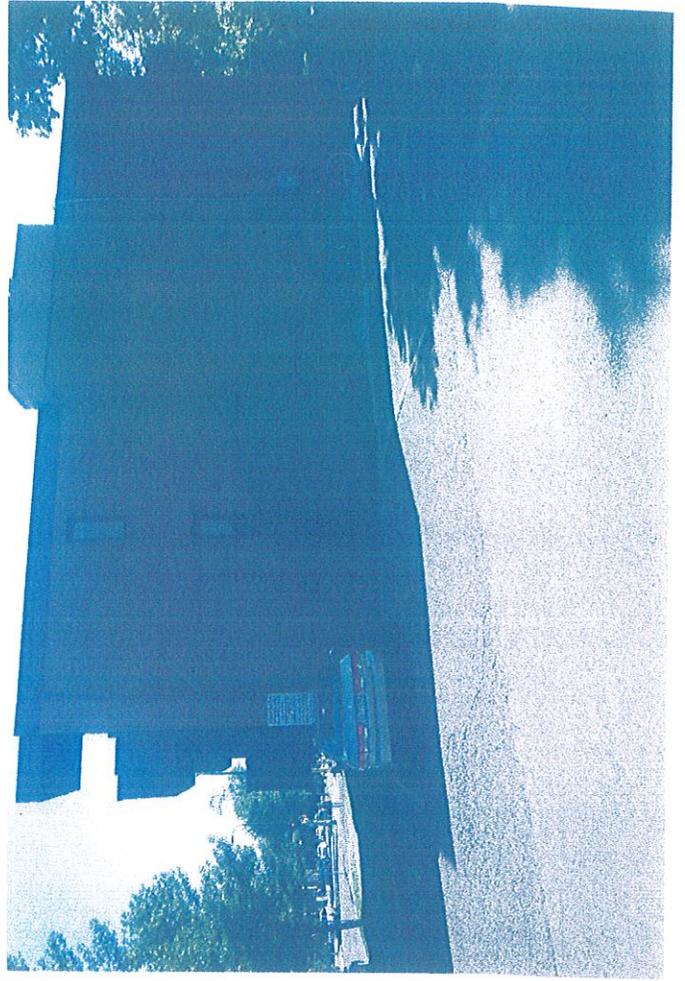
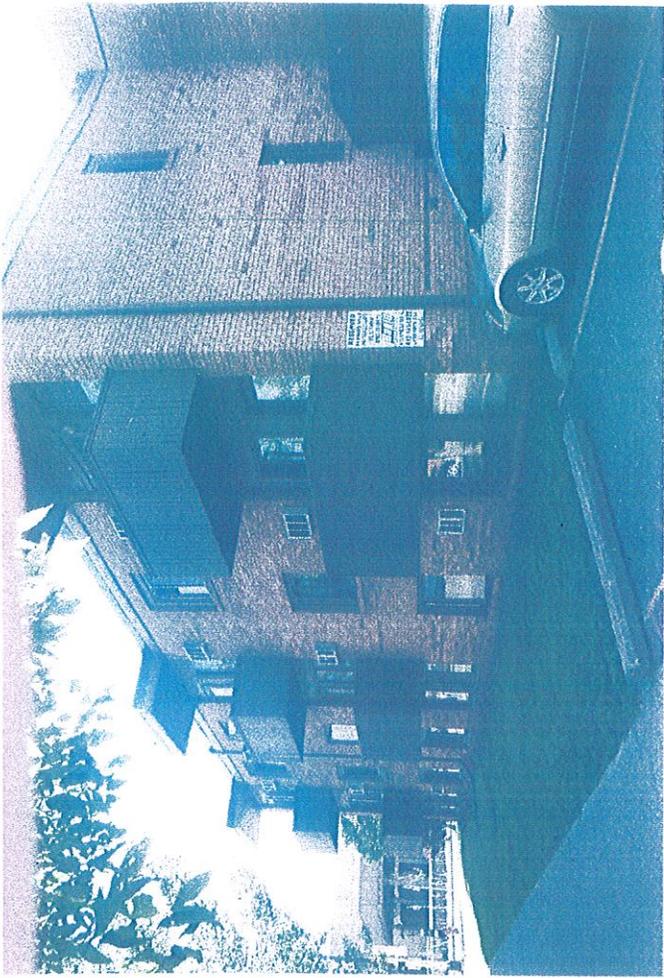


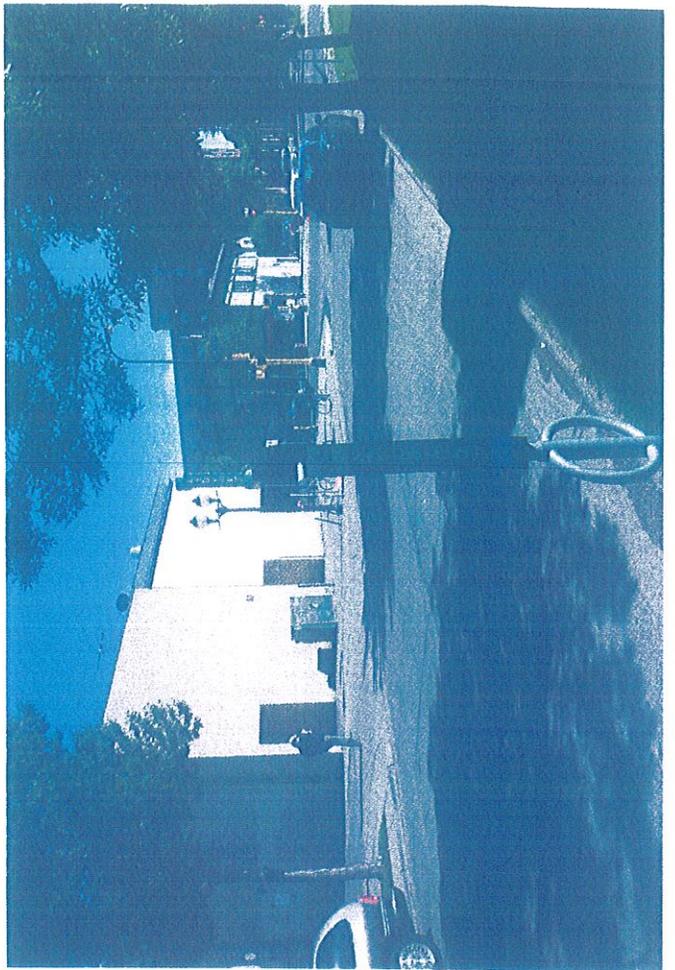


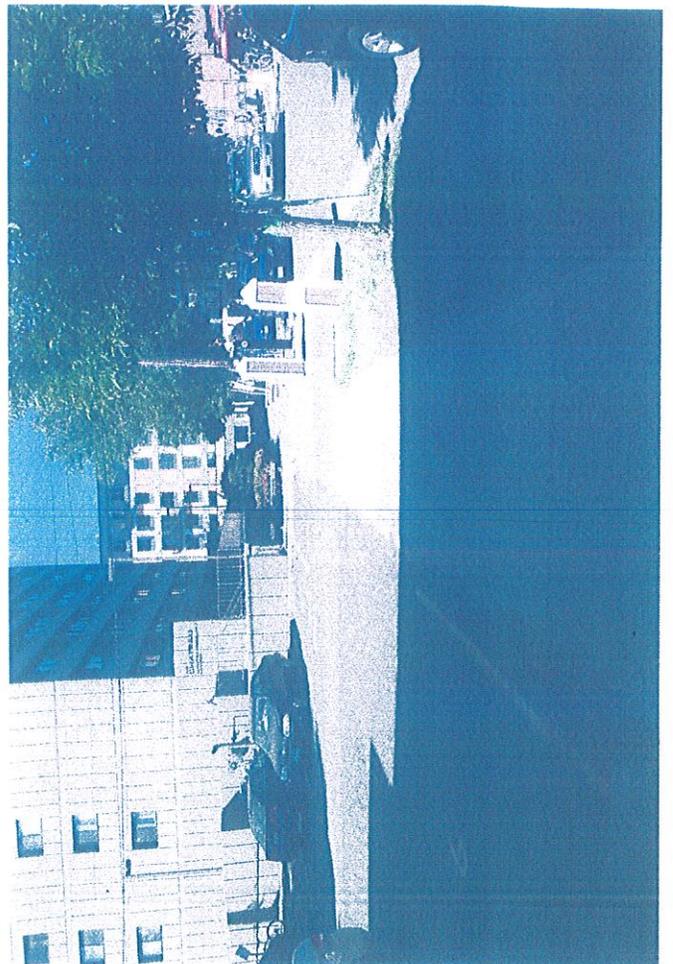
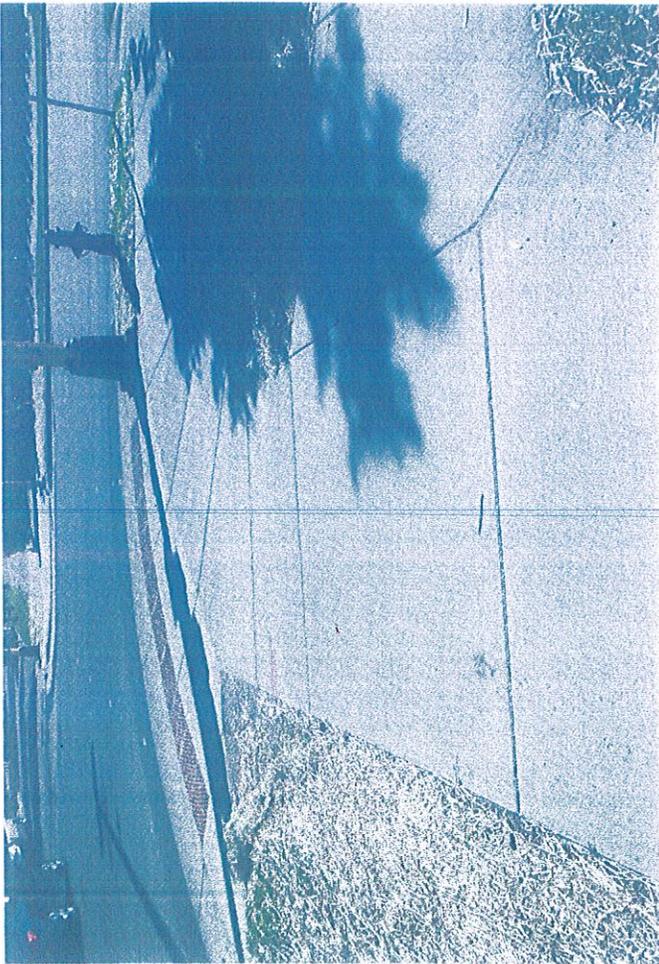
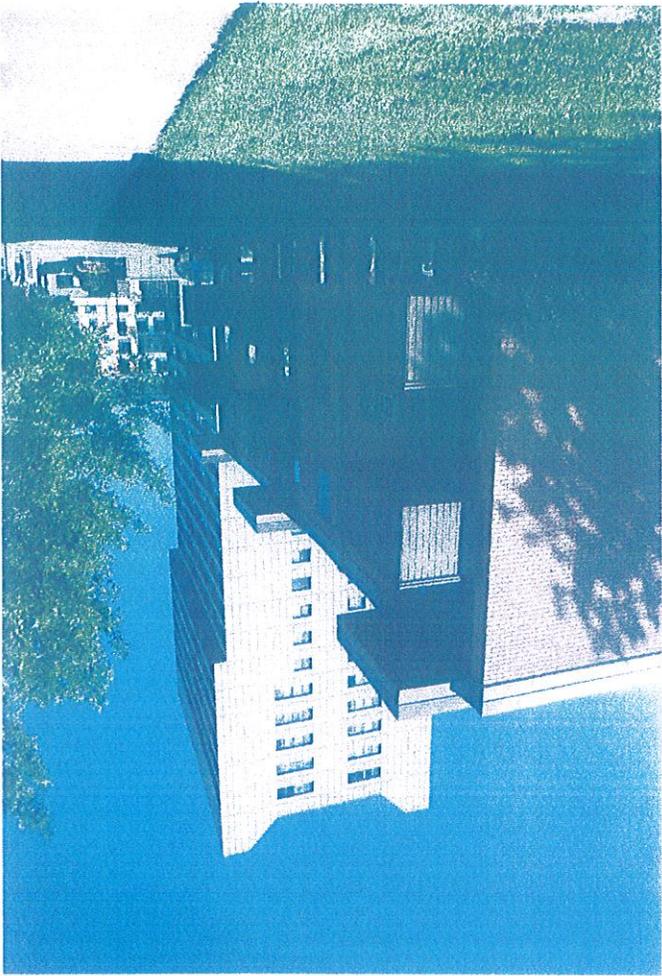


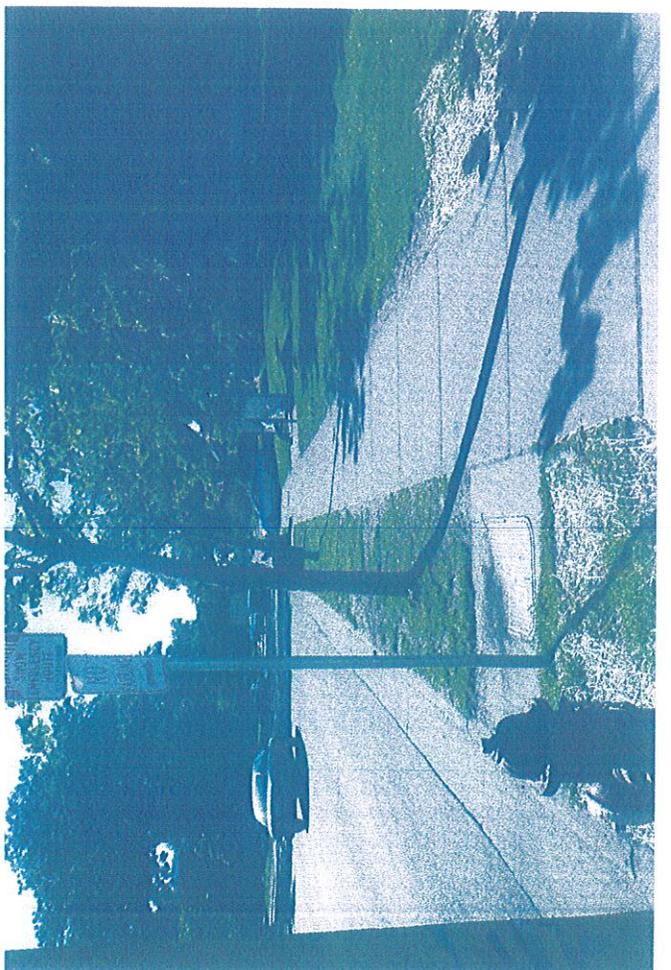












David Haaland

From: Mary Novak [mary.novak@ppl-inc.org]
Sent: Tuesday, June 17, 2014 4:01 PM
To: 'Frey, Jacob'
Cc: gellis@riverton.org; Chris Wilson; David Haaland
Subject: RE: Riverton Community Housing
Attachments: Letter to MHNA listing all Land Use Changes.pdf

Dear Council Member Frey:

We wanted to give you a quick update on this project. On June 10 we went back to the Land Use Committee to show them the changes we had made which included an increase in the size of our retail space (per their request) from 1,300+ square feet to 2,365 square feet. At that meeting we also wanted to reiterate the requests in our Land Use Application since the increased retail space required two new variances. One variance was to increase the height of our signage which seemed appropriate due to the increased size of the retail space. The other variance is to allow for an increase in retail space allowed in an OR3 classification. OR3 allows for a maximum of 2,000 square feet of retail and we now have 2,365 square feet. The Land Use Committee seemed generally supportive of the Land Use Application but did not take an official stance on the project.

We wanted to send you the letter that we delivered to them in person on June 10. If you have any questions on this information please contact at your convenience.

Thank you for your time.

Mary Novak
Senior Project Manager

Project for Pride in Living
1035 E. Franklin Avenue
Minneapolis, MN 55404
Direct: 612-455-5199
Fax: 612-455-5101
www.ppl-inc.org

From: Frey, Jacob [mailto:Jacob.Frey@minneapolismn.gov]
Sent: Friday, May 23, 2014 12:57 PM
To: Chris Wilson
Cc: gellis@riverton.org; Mary Novak; 'Cordelia Pierson'; Ritchie, Heidi
Subject: RE: Riverton Community Housing

Thanks, Chris. I would like to meet with you to go over the project. Heidi, would you mind setting up a time with Chris?

Thanks!

Jacob Frey
City Council Member, Ward 3

612-673-2203

<https://www.facebook.com/jacob.frey>

From: Chris Wilson [<mailto:chris.wilson@ppl-inc.org>]
Sent: Friday, May 23, 2014 10:11 AM
To: Frey, Jacob
Cc: gellis@riverton.org; Mary Novak; 'Cordelia Pierson'
Subject: RE: Riverton Community Housing

Dear Council Member Frey:

As our submission to Planning for the July 14th Planning Commission meeting will be happening next Friday, I wanted to take a moment to catch you up on our project. Please find attached our submission to the neighborhood association earlier this month. We met with the Land Use Committee late last year to discuss the project in its early stages and had originally planned to get on the agenda in March to update the group. However, the Committee had a full agenda that month, so we ended up presenting in April. At that meeting, the Committee voted "not to support the project without some retail." At our request, the Board did not act on that recommendation. We added a 1300+ square foot retail space on the first floor (drawings attached) and re-presented the project to the Land Use Committee in May. At that meeting, no recommendation was made and the project was discussed at the Board meeting, which you attended, earlier this week. No action was taken by the Board, so we are planning to present to the Land Use Committee again on June 10th. We are working right now to schedule a meeting with Cordelia Pierson, Hung Russell (a Land Use Committee and new Board member), and Pierre Willette (University of Minnesota Foundation) prior to our submission and the June 10th Land Use Committee meeting.

We have also met twice with Hilary Dvorak from Planning and discussed the project with her on the phone as well. On her advice, we have made several adjustments to the project. As the project will be in front of the Council fairly soon, we would very much appreciate the opportunity to meet with you and discuss the project in more detail. Thanks very much.

Chris

-----Original Message-----

From: Frey, Jacob [<mailto:Jacob.Frey@minneapolismn.gov>]
Sent: Thursday, March 27, 2014 3:10 PM
To: Chris Wilson
Cc: gellis@riverton.org; Mary Novak
Subject: RE: Riverton Community Housing

Thank you for providing the information, Chris. Much appreciated. I will review and will be in touch shortly.

Jacob Frey
City Council Member, Ward 3
612-673-2203
<https://www.facebook.com/jacob.frey>

-----Original Message-----

From: Chris Wilson [<mailto:chris.wilson@ppl-inc.org>]
Sent: Thursday, March 27, 2014 10:27 AM

To: Frey, Jacob
Cc: gellis@riverton.org; Mary Novak
Subject: Riverton Community Housing

Dear Council Member Frey:

Please allow me to "e-introduce" myself. My name is Chris Wilson. I work in real estate development for Project for Pride in Living, a local non-profit agency. A colleague of mine, Mary Novak, and I are working with Gary Ellis at Riverton Community Housing on the development of a new student co-op. It is to be located at the corner of 13th Avenue and 4th Street SE, adjacent to the Chateau, which is one of their other properties, and across the street from the library and the "Library." The proposed project is to have 67 units, most of which are smaller (1- and 2-bedroom). Many of Riverton's tenants are either foreign students or graduate students and we feel that mix will be found in the new building as well.

We met with the Marcy Holmes Housing Committee last year to get feedback as we began the design and a number of their suggestions were incorporated. Gary and I are meeting with Cordelia Pierson later today and we are planning to meet with the Housing Committee in a couple of weeks. We have been going through the City's process as well. We met with Haila Maze from Planning and our project has been assigned to Hilary Dvorak. We've met with her and continue to be in contact via e-mail and phone. Our intention is to submit drawings to the Committee of the Whole next month and meet with that group in early May followed by the Planning Commission. Ultimately, we'd like to begin construction in August.

I spoke with Heidi from your office on Monday and she recommended that we send drawings of the development. They are attached. They are somewhat preliminary, but we don't anticipate varying from them dramatically. We would like to meet, even if briefly, to discuss the project with you, but understand that there's a lot happening in the ward and that it may be difficult to get on your calendar for a while. At any rate, we wanted to let you know what we were up to, so that it won't come as a surprise. Please feel free to contact me if you would like additional information or have questions or comments. Thanks.

Chris

Chris Wilson
Project for Pride in Living
1035 East Franklin Avenue
Minneapolis, MN 55404
612-455-5216
chris.wilson@ppl-inc.org<<mailto:chris.wilson@ppl-inc.org>>

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For more information please visit <http://www.mimecast.com>

David Haaland

From: Bart Nelson
Sent: Tuesday, May 06, 2014 1:57 PM
To: office@marcy-holmes.org; Cordelia Pierson
Cc: Chris Wilson; Rick Wessling; David Haaland; Mary Novak
Subject: Neighborhood Land Use meeting submittal
Attachments: Marcy Holmes Developers_Checklist - Riverton Community Housing update 14....pdf; 140506 Neighborhood Land Use Submission Drawings reduced file size.pdf

To all:

See attached materials for the upcoming May 13 Land Use committee meeting. The proposed project is the Riverton Community Housing project at the corner of 13th Ave. and 4th St. SE. Chris Wilson of PPL and I will be presenting for the group. Please contact us with any questions or comments regarding the presentation prior to next week.

Regards,

Bart

Bart Nelson, AIA, LEED AP

UrbanWorks Architecture LLC

901 N 3rd Street, Suite 145 | Mpls, MN 55401

D: 612.455.3107 | F: 612.455.3199

www.urban-works.com | bnelson@urban-works.com

Marcy-Holmes Neighborhood Association Land Use Committee

Developer's Checklist

Updated: 2/13/12

Welcome to Marcy-Holmes, the city's oldest neighborhood. Thank you for considering a project in our neighborhood. Our Land Use Committee hopes this checklist will make your presentation more efficient and productive for each of us.

Please fill out and return this form to MHNA or a Land Use Committee representative at least 5 business days prior to your scheduled appearance. Simply type your responses to items 1 through 6 into this document and email it to MHNA Land Use at: office@marcy-holmes.org. Please submit as much of the requested information as you can electronically; bring any other materials to the meeting with copies for 10 people.

The following information will help us review your project before making a recommendation to the City of Minneapolis.

Property ADDRESS: 1227 4th St. SE and 425 13th Ave. SE

Present PROPERTY ZONING: OR3 (13th Ave. parcel) and R5 (4th St. parcel)

1. Information about PRESENTER(S):

- a) Individual name(s), title(s), company name(s), complete contact information (NOTE: this may be different from the owners of the proposed project if presenter is a contractor for owners).

Chris Wilson, Project for Pride in Living (PPL)
1035 E. Franklin Ave.
Minneapolis, MN 55404
612-455-5100
chris.wilson@ppl-inc.org

Bart Nelson, Urbanworks Architecture LLC (UW)
901 N. 3rd St. Suite 145
Minneapolis, MN 55401
612-455-3100
bnelson@urban-works.com

- b) Addresses and brief description of other properties PRESENTERS own, operate, developed, worked on, or are affiliated with in MHNA or the Twin Cities area.

Brook Commons
941 12th Ave. SE
Minneapolis

Charlotte Commons
1201 Brook Ave. SE
Minneapolis

2. Information about project PRINCIPAL(S):

- a) Individual name(s), company name(s), contact information for PRINCIPALS of the proposed project

Property owner:
Riverton Community Housing
Gary Ellis, Executive Director
425 13th Ave. SE
Minneapolis, MN 55414
612-331-3911
gellis@riverton.org

Developer (on behalf of Riverton):
Project for Pride in Living (PPL)
Chris Wilson and Mary Novak
1035 E. Franklin Ave.
Minneapolis, MN 55404

- b) Addresses and descriptions of other properties the PRINCIPALS of the proposed project have owned and/or operated in Twin Cities area during the last 5 years.

Chateau Student Housing Cooperative
425 13th Ave. SE
Minneapolis, MN 55414

4th Street Co-Op.
1227 4th St. SE
Minneapolis, MN 55414

Franklin Student Housing Cooperative
2300 E. Franklin Ave.
Minneapolis, MN 55406

Marcy Park Student Housing Co-Op.
1000 8th St. SE & 700 10th Ave. SE
Minneapolis, MN 55414

Marshall Student Housing Co-Op.
1405 5th St. SE
Minneapolis, MN 55414

Cole Townhomes
2425 – 2647 Cole Ave. SE
Minneapolis, MN 55414

3. Information about the project:

- a. A general description of the project including the uses, target market, construction type, and architecture. List the number of dwelling units, commercial square feet and parking provided (both enclosed and surface).
- b. An aerial photo showing the site or sites in the context of the surrounding streets (available free on the web from Google Earth or from Hennepin County).
- c. Site plan that includes adjoining buildings.
- d. Preliminary building drawings – (bring 10 half size or 11x17 to the meeting).
- e. Any other information you can provide to help us understand your project including renderings or photos of similar projects.

The proposed project will replace the current 2.5 story building at 1227 4th St. SE. It is proposed as a 6 story student housing co-op of approximately 66 dwelling units and 30 below-grade enclosed parking stalls. The construction type is 5 stories of wood frame construction

over one level of precast concrete above grade. There is no commercial space proposed for the project.

4. List all actions you are requesting from us, i.e. support for government approvals required for the project. For public approvals, please list each request such as rezoning, conditional uses, variances, etc.

We are looking for neighborhood support on the project, and are requesting a re-zoning of the R5 parcel to OR3, variances on density and height for the existing Chateau building, and setback and parking ratio variances for the proposed project and existing Chateau building.

5. Discuss how your project complies with the Marcy-Holmes Neighborhood Master Plan. How? (You can review the Plan at: <http://www.marcy-holmes.org/>)

The project is located in the area designated as multi-family, and serves as a transition from the commercial Dinkytown district and the Chateau and 412 Lofts building on the other portions of the block.

6. How will this project benefit our neighborhood? The City?

The project, with its co-op structure, provides a well managed, invested student housing community that contributes to the vibrancy of the Dinkytown and University area while being good neighbors. The additional residents can support Dinkytown without disrupting the current configuration and character. By locating more housing here, the project will help reinforce the walkable, sustainable community that allows more students to live adjacent to campus rather than commute. The building is designed to be friendly to walking and biking, resulting in fewer autos and associated traffic, and the reduction of one curb cut on 13th Ave. The project also will reinforce the urban fabric of the 4th and 13th corner, and enhance the pedestrian experience with the common spaces fronting 4th st.

7. What negative impacts might this project have for our community?

None noted.

8. Please provide contact name and info for city planner assigned to your project.

Hilary Dvorak
612-673-2639
Hilary.dvorak@minneapolismn.gov

9. Have you personally discussed this project with your immediate neighbors?

The project was discussed in a previous neighborhood group meeting, and also reviewed with the 412 Lofts owner.

Please be ready to discuss the project in its context – surroundings, etc. Depict the project in relationship within the entire block.

Another helpful resource to developers working in the University District: the Maxfield Housing Market Research on the University District. See www.umn.edu/alliance. Below see the University District Development Guidelines.

University District Development Principles

The Alliance is a partnership of communities, learning institutions, and the City of Minneapolis that works to make the area surrounding the University of Minnesota campus in Minneapolis one that:

- capitalizes on its exceptional resources;
- is vibrant, safe, healthy, and sustainable;
- is a preferred place for people of all ages to live, work, learn, do business, and visit.

These principles were adopted by the University District Alliance and the Marcy-Holmes Neighborhood Association to provide a tool for neighbors and developers to build a better District.

Mixed-use and urban density to accommodate all the people who want to work and live in the District

Describe how the project helps the District achieve the following objectives. Use narrative, charts and maps.

- +++ 0 --- Provide a mix of uses for the diversity of people who live, work, learn, do business and visit in the district.
- +++ 0 --- Provide the density to support a walkable, transit-oriented urban place, with access to services and amenities.
- +++ 0 --- Contribute to the variety of unit types and rents to accommodate those who want to live in the District

Connections to create a pedestrian friendly, transit-oriented community

Describe how the project helps the District achieve the following objectives. Use narrative, maps and site plan.

- +++ 0 --- Create a walkable, bikeable district, with connectivity within the District and to the rest of the city and region.
- +++ 0 --- Support a high quality pedestrian network and public realm and a network of public transit.
- +++ 0 --- Reinforce neighborhood connectivity through the site plan, the architecture and the landscape design.

Public realm enhanced and enlivened by the adjacent buildings

Describe how the project helps the District achieve the following objectives. Use site plan, elevations, sections and sketches.

- +++ 0 --- Enhance the safety and friendliness of the street through the street-level design of the building.
- +++ 0 --- Enliven the street with active spaces and entry ways.
- +++ 0 --- Incorporate landscaping, appropriate to local conditions, that contributes to a healthy urban ecology

Urban context where each building and public space contributes, in a neighborly way, to a sense of place

Describe how the project helps the District achieve the following objectives. Use site plan, elevation, sections and sketches.

- +++ 0 --- Respect and reinforce the intrinsic character, scale, and architectural fabric of the individual neighborhoods.
- +++ 0 --- Reinforce the diversity of the district with infill that is bold, imaginative and uniquely appropriate to its context.

+++0 --- Contribute to a sense of place by enhancing good qualities of adjacent properties and the broader neighborhood.

Architecture and landscape design that respects adjacent conditions and strengthens neighborhood identity

Describe how the project helps the District achieve the following objectives. Use elevations, sections, sketches and samples.

+++0 --- Fit in with existing buildings and urban landscapes.

+++0 --- Contribute to the visual vitality, richness and distinctiveness of the street and neighborhood.

+++0 --- Use materials and methods that assure the building will be an enduring part of the public realm.

Sustainability with durable, energy-efficient buildings designed for future reuse

Describe how the project helps the District achieve the following objectives. Use LEEDS or other measure of sustainability

+++0 --- Conserve energy and resources through orientation, massing, c choice of materials and operating systems.

+++0 --- Promote easy evolution, maintenance and repair over time.

+++0 --- Protect existing ecosystems and habitat.



6/10/14

RE: 66 units of New Construction Apartments and 2,365 sq. ft of Retail Space at 1227 4th St. SE

Dear Members of Marcy Holmes Neighborhood Land Use Committee:

As you know Project for Pride in Living, Inc. (PPL) is the Owner's Representative for Riverton Community Housing and they are moving forward with a 66-unit apartment building with 2,365 sq. ft. of retail space on the corner of 1227 4th St. SE. The proposed six-story project will replace an existing 2.5 story building (16 units) with a 6-story student housing cooperative, including 115 bedrooms, ground floor commercial and outdoor seating, a resident courtyard, bike storage, fitness center, study lounges, common rooms and 30 below-ground vehicle parking stalls.

The project seeks the following approvals from the planning commission for the development:

- Rezoning the 1227 4th St. property from a R5 parcel to OR3; the site will be replatted, and a new boundary line will be drawn in between the Chateau and the property.
- The setback variances include reducing setbacks from 20' to 6'-1" along 4th Street, 24' to 5'-11" on 4th Street, and 15' to 12'-5" (7'-5" at basement level) at the interior property line. Note, the setbacks are based on existing adjacent properties.
- Variance of the minimum parking requirement from 0.5 spaces per bedroom or 1 space per unit to 0.25 spaces per bedroom and 0.5 spaces per unit. This calculation assumes 6 stalls would be required for a restaurant use.
- Variance to increase the retail space allowed in an OR3 classification. OR3 allows a maximum of 2,000 square feet of retail and the proposed building shows 2,365 square feet.
- Variance to increase the height of our property signage. The City Code currently allows for the top of sign at 14 feet, and the building proposal indicates the top of signage at 16 feet above the adjacent grade.
- As a result of the Chateau parcel being re-sized, a floor area variance is requested to go from a 3.5 to a 5.0 on the existing building and new lot. No work is proposed to the Chateau as part of this project.

We recently found out about the variance for the increased retail space and site sign from our City Planner. We wanted to inform you of the entire list of variances and zoning changes to keep you up to date on this development. Please contact me at 612-455-5100 with any questions.

Sincerely,



Chris Wilson

PPL Director of Housing Development