



CPED STAFF REPORT

Prepared for the City Planning Commission

CPC Agenda Item #1
 August 11, 2014
 RLS-73

LAND USE APPLICATION SUMMARY

Property Location: 2900-2910 Lyndale Avenue South and 2901-2919 Aldrich Avenue South
Project Name: Lime Apartments and VFW Parking
Prepared By: [Janelle Widmeier](#), Senior City Planner, (612) 673-3156
Applicant: Lyndale Development Partners LLC
Project Contact: Brent Rogers, Lyndale Development Partners LLC
Request: To create separate ownership tracts through a registered land survey.
Required Applications:

Preliminary and Final Registered Land Survey	To create separate ownership tracts.
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SITE DATA

Existing Zoning	C3A Community Activity Center District PO Pedestrian Oriented Overlay District
Lot Area	51,130 square feet
Ward(s)	10
Neighborhood(s)	Lowry Hill East Neighborhood Association; adjacent to Whittier Alliance
Designated Future Land Use	Mixed use
Land Use Features	Commercial Corridor (Lyndale Avenue) Activity Center (LynLake)
Small Area Plan(s)	Lyn-Lake Small Area Plan Midtown Greenway Land Use and Development Plan

Date Application Deemed Complete	July 17, 2014	Date Extension Letter Sent	Not applicable
End of 60-Day Decision Period	Not applicable	End of 120-Day Decision Period	November 14, 2014

BACKGROUND

SITE DESCRIPTION AND PRESENT USE. A 6-floor, mixed use building called Lime Apartments is located on the subject site. Incorporated on the ground level of the building is parking for the VFW located at 2916 Lyndale Avenue South. There are 2-levels of below-grade parking for the apartments and retail uses in the development below the VFW parking and 5-levels of apartments above the parking.

SURROUNDING PROPERTIES AND NEIGHBORHOOD. The site is located in a mixed use area.

PROJECT DESCRIPTION. The applicant is proposing to create a separate ownership tract for the VFW parking by means of a registered land survey. There will be two resulting tracts: Tract B for the VFW parking and tract A for the remainder of the building and site. No physical changes are proposed to the property.

RELATED APPROVALS. In 2012, land use approvals were obtained for the development (BZZ-5447). There was an [appeal](#) of the [City Planning Commission actions](#). However, the proposed RLS is not directly impacted by these actions. In [2008](#), the City Council approved a request to vacate the air and subterranean rights of the northern part of the alley on this block. In [2013](#) and [2014](#), corrections were made to that resolution. CPED and Public Works staff has reviewed the RLS for consistency with the City Council actions. The City Attorney also reviewed the RLS and had no comment.

PUBLIC COMMENTS. As of the writing of this report, no correspondence has been received from the neighborhood group. Any correspondence received prior to the public meeting will be forwarded on to the Planning Commission for consideration.

ANALYSIS

PRELIMINARY/FINAL REGISTERED LAND SURVEY

The Department of Community Planning and Economic Development has analyzed the application [for a Preliminary and Final Registered Land Survey](#) based on the following [findings](#):

1. *The subdivision is in conformance with these land subdivision regulations, the applicable regulations of the zoning ordinance and policies of the comprehensive plan.*

The configuration of the RLS tracts, as proposed by the applicant, does not meet the lot area and width requirements for a part of Tract A, the lot width requirement for Tract B, and the prohibition against lots with more than five sides for both tracts on the ground level. Tracts on the ground level are subject to the same requirements as platted lots. The solution to this technical problem is to record the conditions of approval that indicate that approval of the RLS does not constitute approval of the separate redevelopment of any tract if such tract does not comply with applicable zoning and subdivision ordinances. With the recommended conditions of approval, the RLS is in conformance with the subdivision regulations, zoning code, and comprehensive plan.

2. *The subdivision will not be injurious to the use and enjoyment of other property in the immediate vicinity, nor be detrimental to present and potential surrounding land uses, nor add substantially to congestion in the public streets.*

The purpose of the RLS is to delineate a separate parcel to be conveyed back to the VFW for its parking lot. This would have no impact on surrounding properties.

3. *All land intended for building sites can be used safely without endangering the residents or users of the subdivision or the surrounding area because of flooding, erosion, high water table, soil conditions, improper drainage, steep slopes, rock formations, utility easements or other hazard.*

The site does not pose the above hazards.

4. *The lot arrangement is such that there will be no foreseeable difficulties, for reasons of topography or other conditions, in securing building permits and in providing driveway access to buildings on such lots from an approved street. Each lot created through subdivision is suitable in its natural state for the proposed use with minimal alteration.*

The building exists and the site is fully developed. Access is existing and adequate for both parcels.

5. *The subdivision makes adequate provision for stormwater runoff, and temporary and permanent erosion control in accordance with the rules, regulations and standards of the city engineer and the requirements of these land subdivision regulations. To the extent practicable, the amount of stormwater runoff from the site after development will not exceed the amount occurring prior to development.*

The applicable erosion and stormwater management plans were approved with the final site plan and building permits for the project. The creation of different tracts will not affect erosion or stormwater management.

RECOMMENDATIONS

Recommendation of the Department of Community Planning and Economic Development for the Registered Land Survey:

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the Registered Land Survey application for the properties located at 2900-2910 Lyndale Ave S and 2901-2919 Aldrich Ave S, subject to the following conditions:

1. This RLS creates tracts that, if separately redeveloped, would not meet the requirements of the zoning and subdivision ordinances for lot area and width and the prohibition against lots with more than five sides at ground level. Approval of this RLS does not constitute approval for the separate redevelopment of any tract if such tract does not comply with applicable zoning and subdivision ordinances.
2. This action of the Planning Commission shall be recorded with Hennepin County at or prior to such time as the signed RLS is presented for recording with Hennepin County.

ATTACHMENTS

1. Written description and findings submitted by applicant
2. Zoning map
3. Registered Land Survey
4. Site, floor and building elevation plans



July 3, 2014

LHENA Office
Jefferson School Room #107
1200 W. 26th St
Minneapolis, MN

607 WASHINGTON AVENUE NORTH
SUITE 100
MINNEAPOLIS, MN 55401

(612)630.2450
(612)630.2453 FAX
WWW.GRECOLLC.COM

RE: 2904 Lyndale Ave S Registered Land Survey

Dear Caroline,

We are writing to inform you about an application for a registered land survey ("RLS") that is being filed by Lyndale Development Partners, LLC ("LDP") relating to the Lime Apartments project. The project is a 171 unit mixed-use apartment building located at 2904 Lyndale Avenue South, Minneapolis, MN. The project was previously approved by the City of Minneapolis in 2012 and has been completed.

The reason for the application for the RLS relates to a designated ground floor parking area within the project that will eventually be owned by the James Ballentine VFW Post 246 ("the VFW"). When the project was being developed, the VFW sold a parcel of land that was being used as its parking lot to LDP with the understanding that within the project plans there would be a ground floor parking area that would eventually be conveyed back to the VFW for it to own. Initially, the plan was to file a CIC plat and create a Condominium unit for the VFW parking area. Later, when the property had to be registered to resolve some title issues, it was decided that a three dimensional RLS would be a better plan.

The RLS will consist of two parcels. Parcel I will be the Blue II project. Parcel II will be the VFW parking space. Once the RLS is approved, Parcel II will be conveyed back to the VFW.

The RLS does not involve any new development or construction work. It is merely finalizing the legal designation of the VFW parcel, so that it can be conveyed over to the VFW.

If you have any questions, please contact us at 612-630-2451.

Regards,

Josh Brandsted
Project Manager

Cc: Brent Rogers
Janelle Widmeier
Mark Salo
Greg Collins

Background: This Registered Land Survey (RLS) is for a mixed use apartment building with 171 dwelling units and ground floor commercial uses located at 2904 Lyndale Avenue South, Minneapolis, MN, known as the Lime Apartments (“Lime Project”), developed by Lyndale Development Partners, LLC (“LDP”). The project was previously approved by the City of Minneapolis in 2012 and has been completed.

The reason for the application for the RLS relates to a designated ground floor parking area within the Lime Project that will eventually be owned by the James Ballentine VFW Post 246 (“the VFW”). When the project was being developed, the VFW sold some land that was being used as its parking lot to LDP with the understanding that within the project plans there would be a ground floor parking area that would eventually be conveyed back to the VFW for it to own. The RLS will consist of two parcels. Tract A will be the Lime Project. Tract B will be the VFW parking space. Once the RLS is approved, Tract B will be conveyed back to the VFW.

The RLS does not involve any new development or construction work. It is merely finalizing the legal designation of the VFW parcel, so that it can be conveyed over to the VFW.

Findings as required by the Minneapolis Subdivision Ordinance:

1. The subdivision is in conformance with the land subdivision regulations including the requirements applicable regulations of the zoning ordinance, and policies of the comprehensive plan.

The configuration of the RLS tracts, as proposed by the applicant, does not meet the prohibition against lots with more than five sides for Tracts A and B on the ground level. The proposed tract shapes are based on the as-built parking layout. As the purpose of the RLS is to create a separate ownership tract for the parking, this will not have a negative impact on surrounding properties.

2. The subdivision will not be injurious to the use and enjoyment of other property in the immediate vicinity, nor be detrimental to present and potential surrounding land uses, nor add substantially to congestion in the public streets.

The purpose of the RLS is to delineate a separate parcel to be conveyed back to the VFW for its parking lot. This would have no impact on surrounding properties and would reduce congestion on the surrounding public streets by providing off-street parking.

3. All land intended for building sites can be used safely without endangering the residents or users of the subdivision or the surrounding area because of flooding, erosion, high water table, soil conditions, improper drainage, steep slopes, rock formations, utility easements, or other hazard.

The site does not pose any of the above hazards.

4. The lot arrangement is such that there will be no foreseeable difficulties, for reasons of topography or other conditions, in securing building permits and in providing driveway

access to buildings on such lots from an approved street. Each lot created through subdivision is suitable in its natural state for the proposed use with minimal alteration.

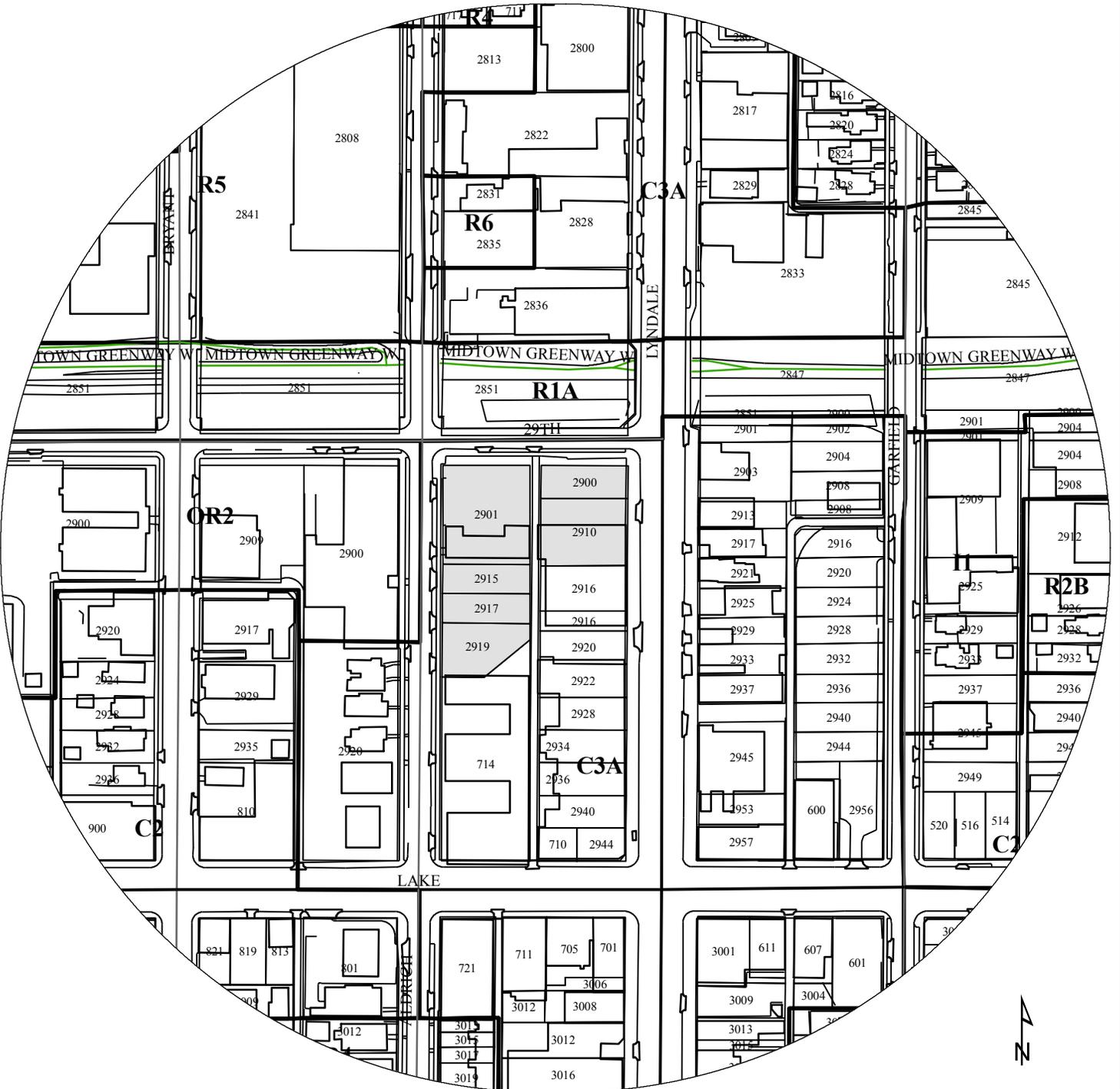
The building exists and the site is fully developed, as previously approved by the City. Access is existing and adequate.

5. The subdivision makes adequate provision for stormwater runoff, and temporary and permanent erosion control in accordance with the rules, regulations and standards of the city engineer and the requirements of these land subdivision regulations. To the extent practicable, the amount of stormwater runoff from the site after development will not exceed the amount occurring prior to development.

The applicable erosion and stormwater management plans were approved with the final site plan and building permits for the project. The creation of different tracts will not affect erosion or stormwater management.

NAME OF APPLICANT

WARD



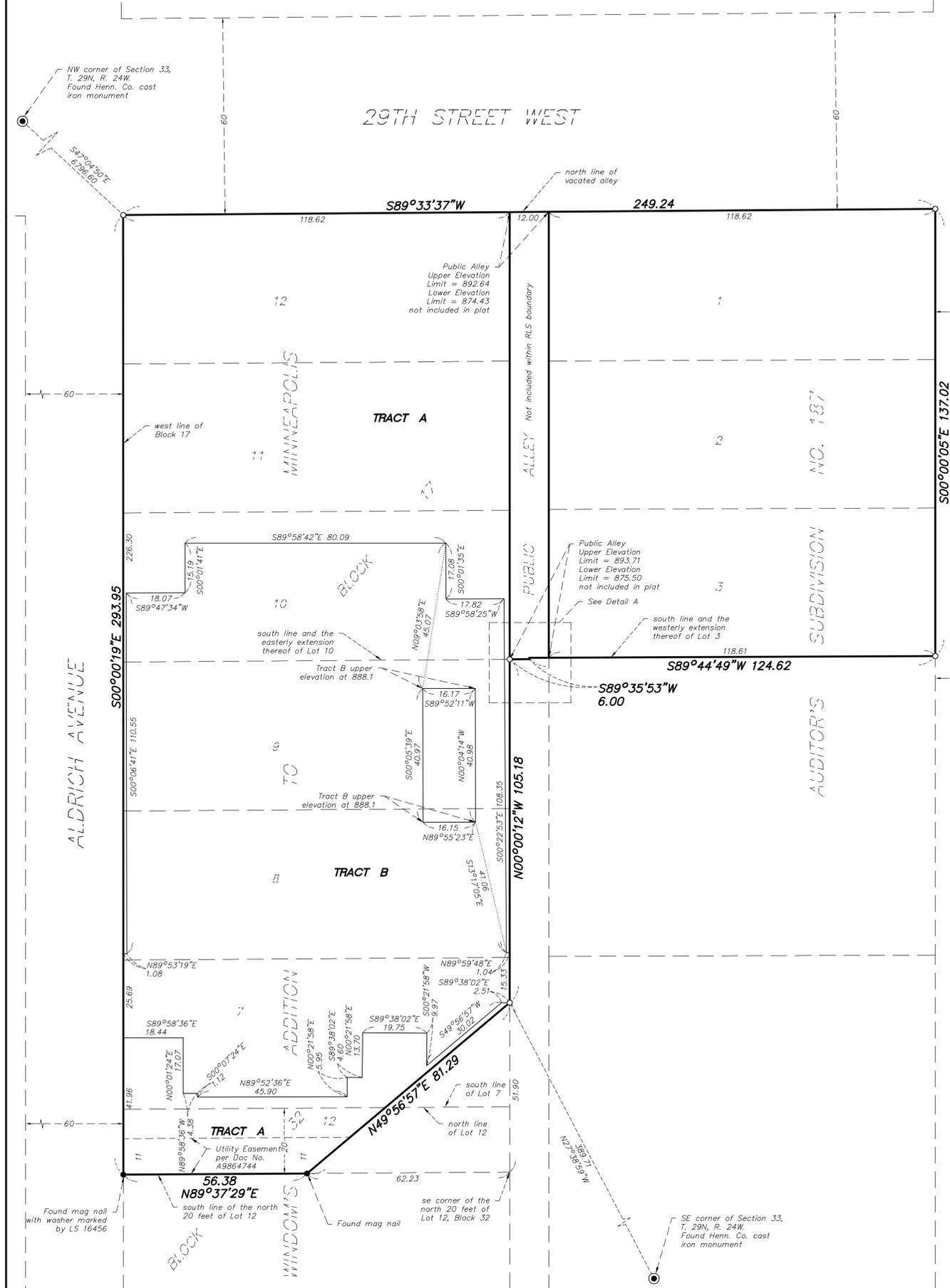
PROPERTY ADDRESS

2900-2910 Lyndale Ave S & 2901-2919 Aldrich Ave S

FILE NUMBER

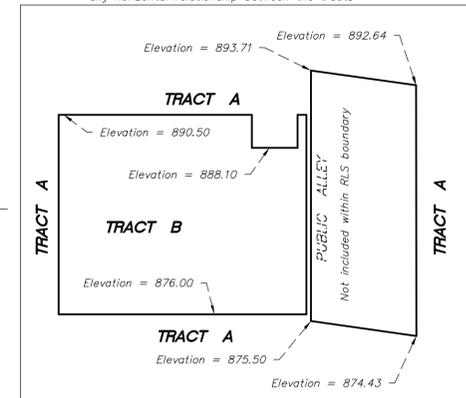
RLS-73

REGISTERED LAND SURVEY NO.



ELEVATION DETAIL

NOTE: This elevation detail does not reflect any horizontal relationship between the tracts



TRACT A: There are no upper or lower elevation limits for TRACT A, except as depicted herein.

TRACT B: Tract B lies at and above an elevation of 876.00 ft. and has multiple upper elevation limits being at and below an elevation of 888.10 and at and below an elevation of 890.50 ft. See graphics for the horizontal limits of the 888.10 upper elevation limit.

Note: The interior tract boundaries lie within the physical structure of the building. Therefore, no monuments have been set at the interior tract corners.

BENCH MARK:
Top Nut Hydrant 100± ft. south of 4th Street SE on the west side of 15th Avenue SE
Elevation = 840.68 ft. (N.G.V.D. 29)

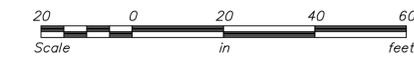
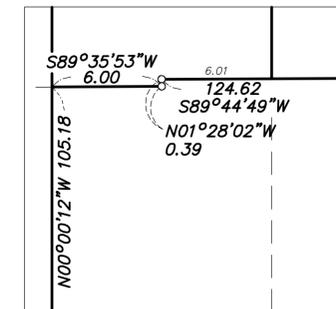
● Denotes found PK nail in concrete surface, unless otherwise indicated

○ Denotes Scribed X in concrete or 1/2 inch by 14 inch iron monument set and marked by License No. 43933 as denoted on graphical portion of this survey

The west line of Block 17, WINDOM'S ADDITION TO MINNEAPOLIS is assumed to bear S00°00' 19"E.

DETAIL A

Not to Scale



I, Mark R. Salo, hereby certify that, in accordance with the provisions of Minnesota Statutes, Section 508.47, I have surveyed the following described property situated in the County of Hennepin, State of Minnesota:

Lots 1 and 3, AUDITOR'S SUBDIVISION NO. 187, Hennepin County, Minnesota.
and
Lots 10, 11 and 12, Block 17, WINDOM'S ADDITION TO MINNEAPOLIS
and
That part of the east half of the vacated alley in Block 17, WINDOM'S ADDITION TO MINNEAPOLIS, lying north of the westerly extension of the south line of Lot 3, AUDITOR'S SUBDIVISION NO. 187, lying below the following described Line 1 and above the following described line 2:
Line 1: Beginning at an elevation of 874.43 feet at the north line of said vacated alley; thence South at a vertical grade of 0.78% for 136.61 feet to the intersection with the westerly extension of said south line of Lot 3, said point being at an elevation of 875.50 feet and said line there terminating.
Line 2: Beginning at an elevation of 892.64 feet at the north line of said vacated alley; thence South, at a vertical grade of 0.78% for 136.61 feet to the intersection with the westerly extension of said south line of Lot 3, said point being at an elevation of 893.71 feet and said line there terminating.
All based on NGVD29
and
That part of the west half of the vacated alley in Block 17, WINDOM'S ADDITION TO MINNEAPOLIS, lying north of the easterly extension of the south line of Lot 10, said Block 17, lying below the following described Line 1 and above the following described line 2:
Line 1: Beginning at an elevation of 873.43 feet at the north line of said vacated alley; thence South, at a vertical grade of 0.78% for 137.00 feet to the intersection with the easterly extension of said south line of Lot 10, said point being at an elevation of 875.50 feet and said line there terminating.
Line 2: Beginning at an elevation of 892.64 feet at the north line of said vacated alley; thence South, at a vertical grade of 0.78% for 137.00 feet to the intersection with the easterly extension of said south line of Lot 10, said point being at an elevation of 893.71 feet and said line there terminating.
all based on NGVD29
and
Lots 8 and 9, Block 17, WINDOM'S ADDITION TO MINNEAPOLIS
and
That part of Lot 7, Block 17 and of the north 20 feet of Lot 12, Block 32, WINDOM'S ADDITION TO MINNEAPOLIS, lying northwesterly of a line drawn from a point on the south line of said north 20 feet of Lot 12 distant 62.23 feet west from the southeast corner of said north 20 feet of Lot 12 to a point on the east line of said Lot 7 distance 51.90 feet north from said southeast corner.
and
Lot 2, AUDITOR'S SUBDIVISION NO. 187, Hennepin County, Minnesota.

I hereby certify that this Registered Land Survey was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota and that this Registered Land Survey is a correct representation of said parcel of land.

Dated this _____ day of _____, 2014.

Mark R. Salo, Licensed Land Surveyor
Minnesota License No. 43933

STATE OF MINNESOTA
COUNTY OF _____
The foregoing Surveyor's Certificate was acknowledged before me this _____ day of _____, 2014, by
Mark R. Salo, Land Surveyor, Minnesota License No. 43933.

(Signature) _____
(Name Printed)

Notary Public, _____ County, Minnesota
My Commission Expires _____

MINNEAPOLIS, MINNESOTA
I, The Secretary of the Planning Commission of the City of Minneapolis, Minnesota, do hereby certify that on this _____ day of _____, 2014, the City of Minneapolis acting by and through its City Planning Commission duly approved this Registered Land Survey and duly authorized such action of the Commission by its Secretary. The prescribed ten-day period for appeal has elapsed without receipt of an appeal, as provided by Title 22, Section 598.320 of the Minneapolis Code of Ordinances.

Secretary of the Planning Commission

MINNEAPOLIS, MINNESOTA
I hereby certify that this Registered Land Survey was approved by the City Planning Commission of the City of Minneapolis at a meeting held this _____ day of _____, 2014.

CITY CLERK OF MINNEAPOLIS, MINNESOTA

City Clerk

TAXPAYER SERVICES DEPARTMENT, Hennepin County, Minnesota
I hereby certify that taxes payable in 2014 and prior years have been paid for land described on this Registered Land Survey.
Dated this _____ day of _____, 2014.

Mark V. Chapin, Hennepin County Auditor By: _____ Deputy

SURVEY DIVISION, Hennepin County, Minnesota
Pursuant to MINN. STAT. Sec. 383B.565 (1969) this Registered Land Survey has been approved this _____ day of _____, 2014.

Chris F. Mavis, Hennepin County Surveyor By: _____

REGISTRAR OF TITLES, Hennepin County, Minnesota
I hereby certify this REGISTERED LAND SURVEY NO. _____ was filed in this office this _____ day of _____, 2014, at _____ o'clock _____M.

Martin McCormick, Registrar of Titles By: _____ Deputy

Initials: *JAV* Date: *5/18/12*
Zoning Section: *CPED - Planning*

ISSUANCE

**PDR FORMAL
ROUTING**

PROJECT TITLE

**29th & Lyndale
Redevelopment**

CERTIFICATION

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Landscape Architect under the laws of the State of Minnesota.

D. J. [Signature] 05-18-12
Date

4729
License Number

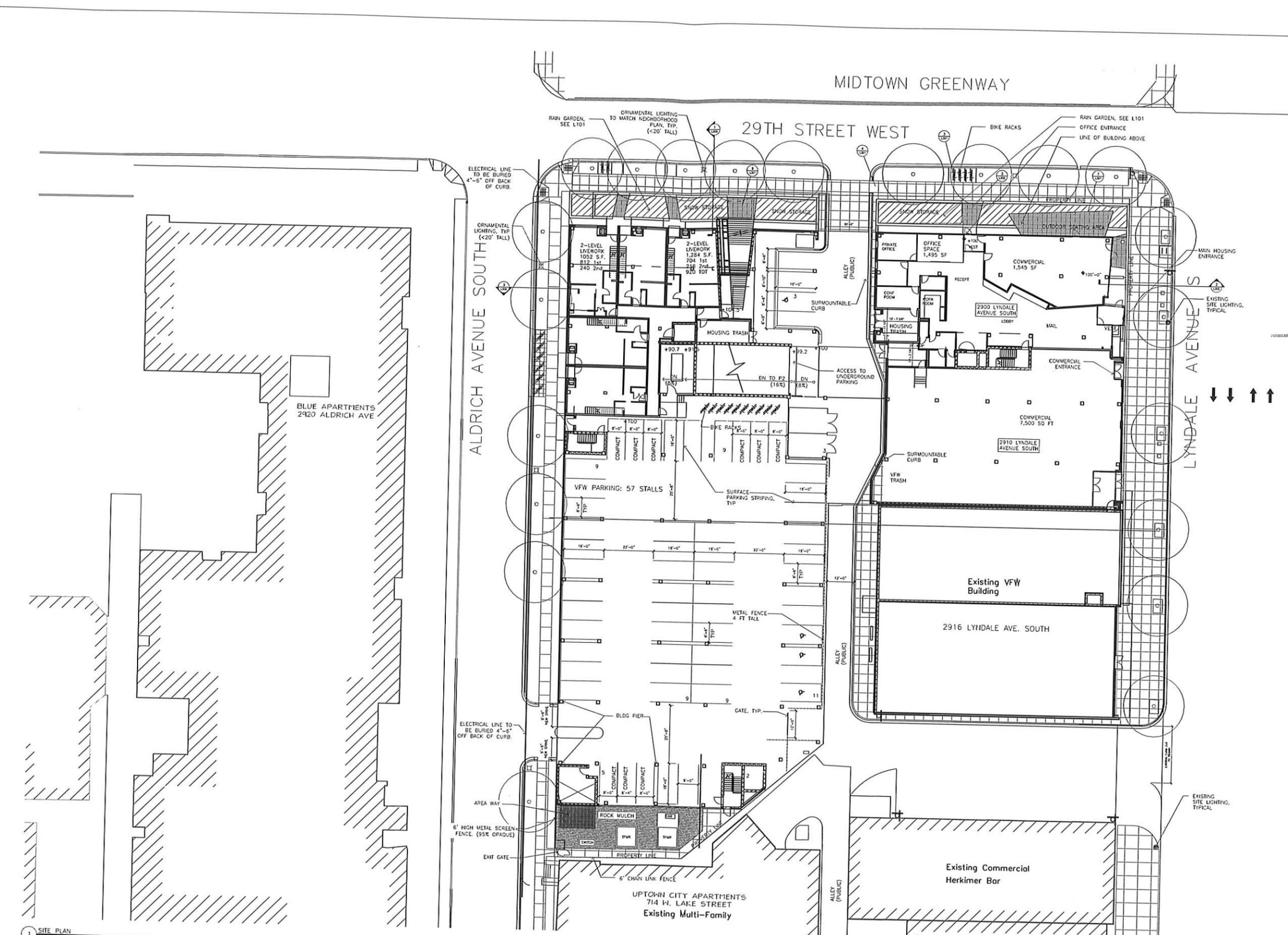
REVISIONS	No.	DATE

DATE: 05-18-2012
DRAWN BY: DMW/LAP
CHECKED BY: DMW
COMMISSION NO.: 162905
SHEET TITLE

SITE PLAN

SHEET NUMBER

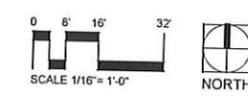
L100

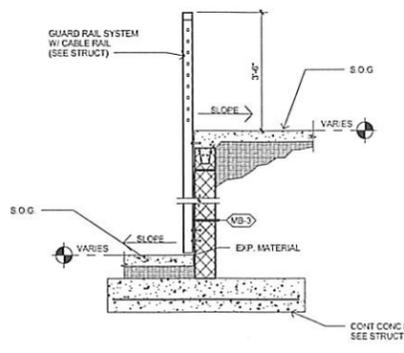
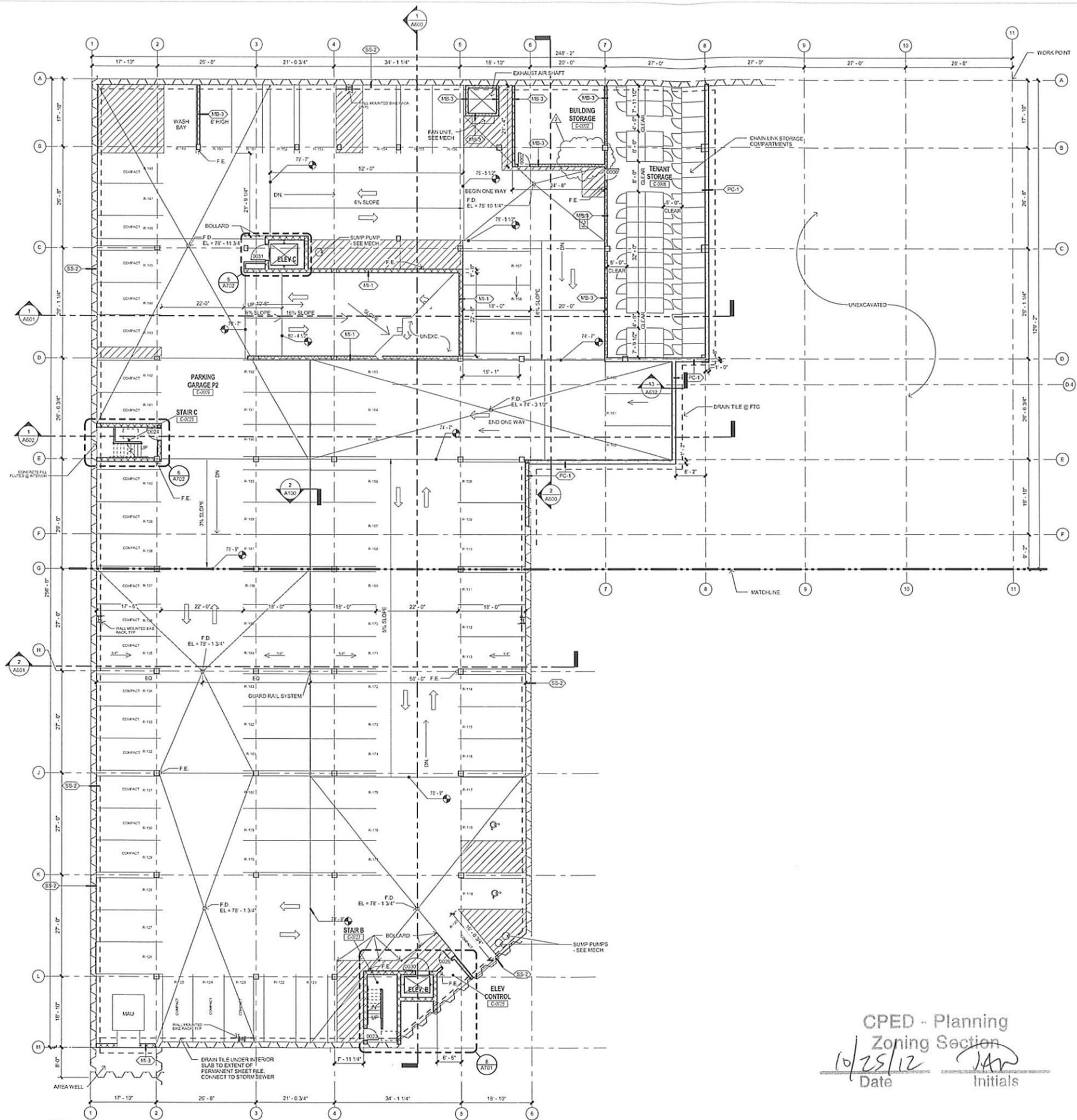


1 SITE PLAN
1/16" = 1'-0"

- SITE PAVING NOTES:**
- REFER TO THE ARCHITECTURAL FLOOR PLANS FOR ACTUAL BUILDING DIMENSIONS, STOOP, STAIR AND RAMP LOCATIONS.
 - WHEN CONSTRUCTING BITUMINOUS PAVEMENT WITH AN UNSUPPORTED FREE EDGE, PROVIDE FORM-BOARD OR SAWCUT TO PROVIDE A STRAIGHT VERTICAL EDGE.
 - CONTINUE ALL JOINTS THROUGH THE CURB.
 - SAW ALL CONCRETE CONSTRUCTION JOINTS, CLEAN THEM OF DEBRIS, BLOW THEM DRY AND IMMEDIATELY SEAL WITH JOINT SEALANT PER THE SPECIFICATIONS.
 - REINFORCE ODD SHAPED PAVING PANELS WITH #3 BARS AT 24" EACH WAY. AN ODD SHAPED PANEL IS CONSIDERED TO BE ONE IN WHICH THE SLAB TAPERS TO A SHARP ANGLE, WHEN THE LENGTH TO WIDTH RATIO EXCEEDS 3 TO 1 OR WHEN A SLAB IS NEITHER SQUARE NOR RECTANGULAR.

- SITE PLAN NOTES:**
- SNOW REMOVAL PLAN:** SIDEWALKS AND BUILDING ENTRANCES WILL BE CLEARED. SNOW STORAGE SPACE WILL BE AVAILABLE WITHIN THE BOULEVARD AROUND THE SITE AS WELL AS IN DESIGNATED AREAS ALONG 29TH STREET. FOR THESE AREAS - SEE SHEET L101. THE SURFACE PARKING LOT ALONG ALDRICH AVENUE IS UNDER THE BUILDING AND WILL REQUIRE MINIMAL SNOW REMOVAL. THE GARAGE ENTRANCE RAMP IS LOCATED BELOW THE HOUSING ABOVE AND WILL NOT REQUIRE SNOW REMOVAL.
 - SIGNS ARE PROPOSED FOR THE RESTAURANT, RETAIL AND HOUSING USES. SEE BUILDING ELEVATIONS FOR SIGNAGE LOCATIONS. ADDITIONALLY, ARTISTIC BUILDING MOUNTED LETTERS DENOTING "LYN LAKE" ARE PROPOSED TO BE MOUNTED TO THE LYNDALE ELEVATION.
 - TRASH ROOMS ARE LOCATED WITHIN THE BUILDING AND ADJACENT TO THE ALLEY. VENDORS WILL PICK UP TRASH FROM THE ALLEY VIA THE PROPOSED LOADING ZONE.
 - SEE SHEET L101 FOR LANDSCAPE PLANNINGS.





2
A100
1/2" = 1'-0"

ISSUANCE
CONSTRUCTION SET
6/28/12
ASI-01, ASI-02
PROJECT TITLE

29th & Lyndale

PARKING DISTRIBUTION, ALL LEVELS
VFVW
54 TOTAL STALLS (ALL ON LEVEL 1)
- 11 COMPACT
- 3 ADA

COMMERCIAL:
11 TOTAL STALLS (ALL ON LEVEL P1)
- 0 COMPACT
- 1 ADA

RESIDENTIAL:
195 TOTAL STALLS (3 ON LEVEL 1, 107 ON LEVEL P1, 85 ON LEVEL P2)
- 48 COMPACT
- 6 ADA

CERTIFICATION
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Architect under the laws of the state of Minnesota.
Jack Boarman 06-28-12
JACK BOARMAN Date
11682
License Number

FLOOR PLAN - GENERAL NOTES

- A. DO NOT SCALE DRAWINGS
- B. PAINT FRAMEWORK OF ALL ELECTRIC PANEL BOXES TO MATCH ADJACENT WALL
- C. SEE CODE PLAN FOR FE CAB LOCATIONS
- D. SITE ELEVATION 795.4 CORRESPONDS TO FIRST FLOOR FINISHED FLOOR LEVEL - ELEVATION OF 100'-0"
- E. DIMENSIONS ARE TAKEN TO (UNO)
 - THE CENTER LINE OF STUD AT INTERIOR WALLS
 - THE FACE OF STUD AT CORRIDOR WALLS (GRID @ CORRIDOR SIDE)
 - THE CENTERLINE OF UNIT SEPARATION WALLS (GRID @ CENTERLINE)
 - THE OUTSIDE FACE OF SHEATHING OR FACE OF MASONRY AT EXTERIOR WALLS (GRID)
- F. VERIFY ALL GRADES WITH CIVIL DRAWINGS
- G. ALL WALLS AT TRASH ROOMS TO RECEIVE PLYWOOD PROTECTION ED. UP TO 8'-0" AFF
- H. REFER A500 SERIES (DOORS AND WINDOWS) FOR DOOR INFORMATION
- I. SEE SHEET A103 FOR EXTERIOR WALL DIMENSIONS NOT SHOWN ON THIS SHEET

WALL TYPE NOTES

- WALL TYPES ARE DESIGNATED WITH:
- K. REFER TO A200 SERIES (CONSTRUCTION ASSEMBLIES) FOR WALL TYPES
 - L. REFER TO A200 SERIES (UNIT PLANS) FOR UNIT WALL TYPES
 - M. TYPICAL WALL TYPES ARE AS FOLLOWS:
 - FOR UNIT SEPARATION WALLS WALL TYPE WP-1 UNO
 - FOR CORRIDOR WALLS WALL TYPE WC-1 UNO
 - FOR ELEVATOR/STAIR WALLS WALL TYPE WE-1 UNO
 - FOR NON-BEARING INT. WALL TYPE WI-1 UNO

#	REVISION	DATE
1	ASI-01	08/28/12
2	ASI-02	08/28/12

DATE	6/28/12
DRAWN BY	JCH
CHECKED BY	JGH
COMMISSION NO.	1629 05

P2 PLAN
SHEET NUMBER

A100

CPED - Planning
Zoning Section
10/25/12 Date
JAW Initials



ISSUANCE
CONSTRUCTION SET
6/28/12
ASI-01, ASI-02
PROJECT TITLE

29th & Lyndale

CERTIFICATION
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Architect under the laws of the state of Minnesota.

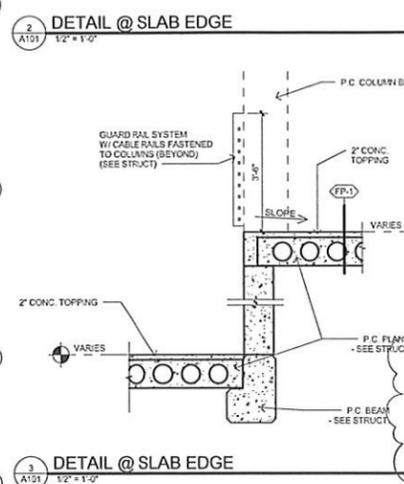
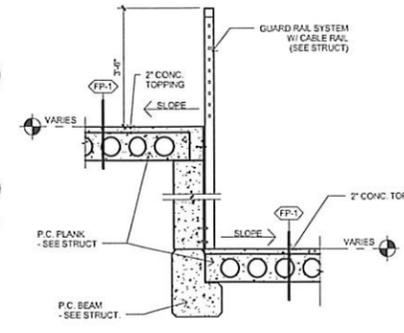
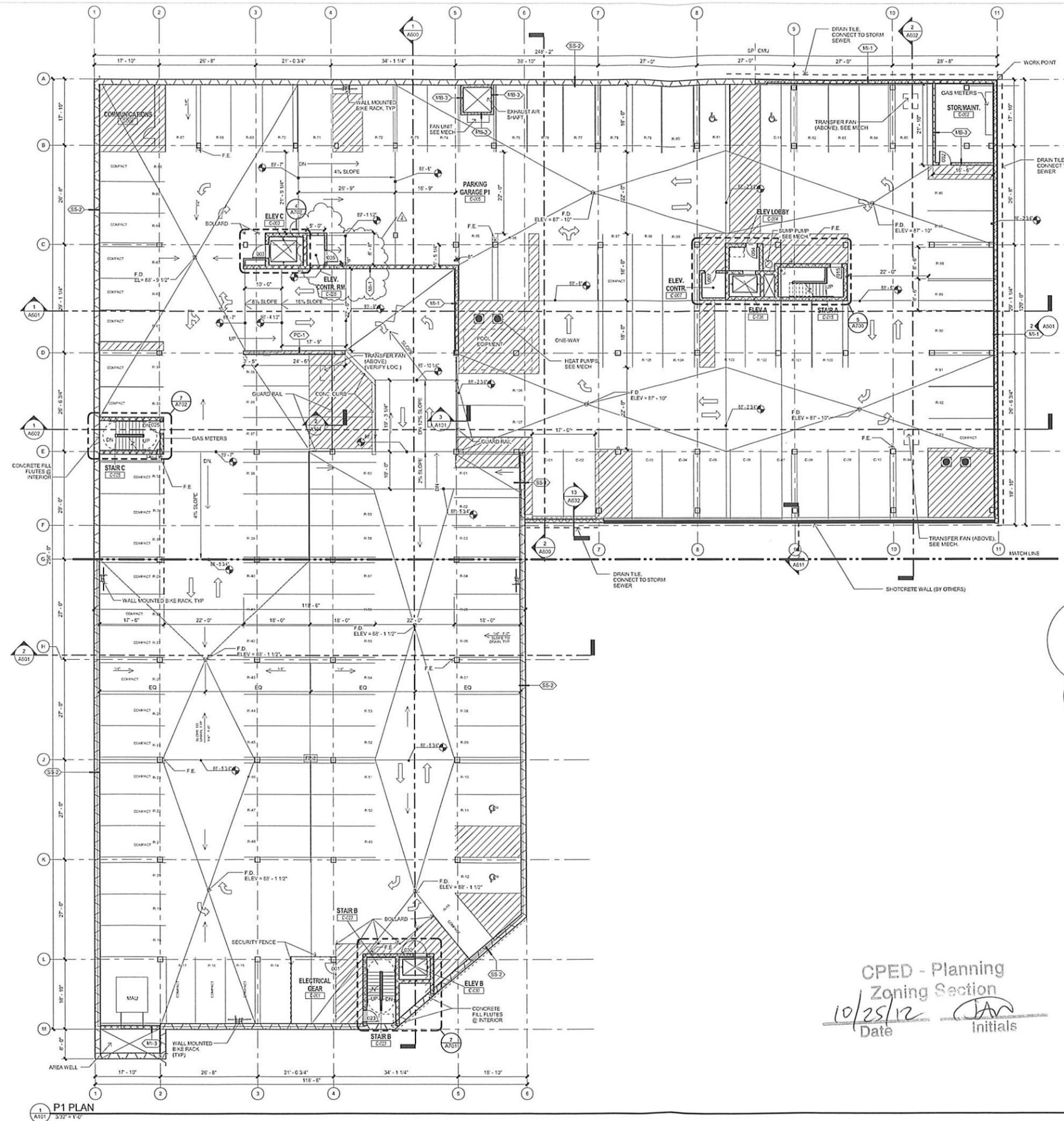
Jack Boorman 06-28-12
Date
11682
License Number

#	REVISION	DATE
1	ASI-01	08/28/12
2	ASI-02	08/28/12

DATE	6/29/12
DRAWN BY	JC
CHECKED BY	JH
COMMISSION NO.	1629 05
SHEET TITLE	

P1 PLAN

A101



PARKING DISTRIBUTION, ALL LEVELS
VFW:
54 TOTAL STALLS (ALL ON LEVEL 1)
- 11 COMPACT
- 3 ADA

COMMERCIAL:
11 TOTAL STALLS (ALL ON LEVEL P1)
- 0 COMPACT
- 1 ADA

RESIDENTIAL:
195 TOTAL STALLS (3 ON LEVEL 1, 107 ON LEVEL P1, 65 ON LEVEL P2)
- 48 COMPACT
- 6 ADA

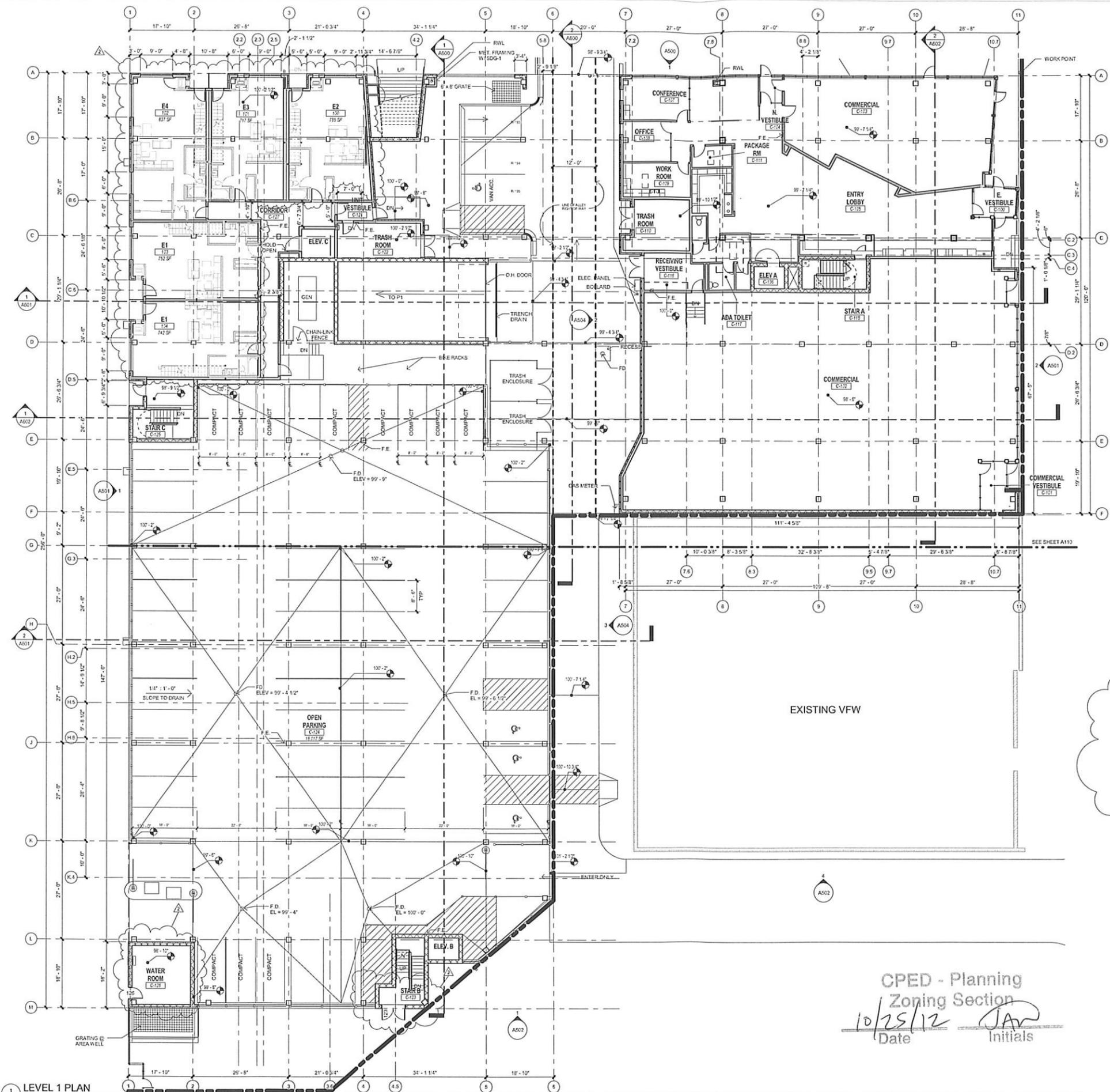
BIKE RACKS (ALL LEVELS)
GROUND LEVEL:
14
P1:
122
P2:
91

FLOOR PLAN - GENERAL NOTES

- A. DO NOT SCALE DRAWINGS.
 - B. PAINT FRAME/DOOR OF ALL ELECTRIC PANEL BOXES TO MATCH ADJACENT WALL.
 - C. SEE CODE PLAN FOR FE CAB LOCATIONS.
- DIMENSIONING/LAYOUT NOTES**
- D. SITE ELEVATION 765.4 CORRESPONDS TO FIRST FLOOR FINISHED FLOOR LEVEL. ELEVATION OF 100.0'
 - E. DIMENSIONS ARE TAKEN TO: (UNO)
 - THE CENTERLINE OF STUD AT INTERIOR WALLS
 - THE FACE OF STUD AT CORRIDOR WALLS (GRID @ CORRIDOR SIDE)
 - THE CENTERLINE OF UNIT SEPARATION WALLS (GRID @ CENTERLINE)
 - THE OUTSIDE FACE OF SHEATHING OR FACE OF MASONRY AT EXTERIOR WALLS (GRID)
 - F. VERIFY ALL GRADES WITH CIVIL DRAWINGS
 - G. ALL WALLS AT TRASH ROOMS TO RECEIVE PLYWOOD PROTECTION ED. UP TO 8'-0" AFF
 - H. REFER A500 SERIES (DOORS AND WINDOWS) FOR DOOR INFORMATION
 - I. SEE SHEET A103 FOR EXTERIOR WALL DIMENSIONS NOT SHOWN ON THIS SHEET
- WALL TYPE NOTES**
- WALL TYPES ARE DESIGNATED WITH
- K. REFER TO A200 SERIES (CONSTRUCTION ASSEMBLIES) FOR WALL TYPES
 - L. REFER TO A300 SERIES (UNIT PLANS) FOR UNIT WALL TYPES
 - M. TYPICAL WALL TYPES ARE AS FOLLOWS:
 - FOR UNIT SEPARATION WALLS WALL TYPE W-P1 UNO
 - FOR CORRIDOR WALLS WALL TYPE W-C1 UNO
 - FOR ELEVATOR STAIR WALLS WALL TYPE W-E1 UNO
 - FOR NON-SERVING INT UNIT WALL TYPE W-I1 UNO

CPED - Planning
Zoning Section
10/25/12 Date
JAV Initials





ISSUANCE
CONSTRUCTION SET
6/28/12
ASI-01, ASI-02
PROJECT TITLE

29th & Lyndale

PARKING DISTRIBUTION ALL LEVELS
VFV:
54 TOTAL STALLS (ALL ON LEVEL 1)
- 11 COMPACT
- 3 ADA

COMMERCIAL:
11 TOTAL STALLS (ALL ON LEVEL P1)
- 0 COMPACT
- 1 ADA

RESIDENTIAL:
195 TOTAL STALLS (3 ON LEVEL 1, 107 ON LEVEL P1, 85 ON LEVEL P2)
- 48 COMPACT
- 6 ADA

CERTIFICATION
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Architect under the laws of the state of Minnesota.
Jack Boorman 06-28-12
JACK BOORMAN Date
11682
License Number

#	REVISION	DATE
1	ASI-01	08/28/12
2	ASI-02	08/28/12

FLOOR PLAN - GENERAL NOTES

- A. DO NOT SCALE DRAWINGS
- B. PAINT FRAME DOOR OF ALL ELECTRIC PANEL BOXES TO MATCH ADJACENT WALL
- C. SEE CODE PLAN FOR FE CAB LOCATIONS
- D. DIMENSIONING/LAYOUT NOTES
- D. SITE ELEVATION 756.4 CORRESPONDS TO FIRST FLOOR FINISHED FLOOR LEVEL - ELEVATION OF 100'-0"
- E. DIMENSIONS ARE TAKEN TO: (UNO)
 - THE CENTERLINE OF STAIR AT INTERIOR WALLS
 - THE FACE OF STAIR AT CORRIDOR WALLS (GRID @ CORRIDOR SIDE)
 - THE CENTERLINE OF UNIT SEPARATION WALLS (GRID @ CENTERLINE)
 - THE OUTSIDE FACE OF SHEATHING OR FACE OF VASPORY AT EXTERIOR WALLS (GRID)
- F. VERIFY ALL GRADES WITH CIVIL DRAWINGS
- G. ALL WALLS AT TRASH ROOMS TO RECEIVE PLYWOOD PROTECTION ED. UP TO 8'-0" AFF
- H. REFER A500 SERIES (DOORS AND WINDOWS) FOR DOOR INFORMATION
- I. SEE SHEET A103 FOR EXTERIOR WALL DIMENSIONS NOT SHOWN ON THIS SHEET
- J. WALL TYPES NOTES
- K. WALL TYPES ARE DESIGNATED WITH:
 - K. REFER TO A500 SERIES (CONSTRUCTION ASSEMBLIES) FOR WALL TYPES
 - L. REFER TO A250 SERIES (UNIT PLANS) FOR UNIT WALL TYPES
 - M. TYPICAL WALL TYPES ARE AS FOLLOWS:
 - FOR UNIT SEPARATION WALLS WALL TYPE WP-1 UNO
 - FOR CORRIDOR WALLS WALL TYPE WC-1 UNO
 - FOR ELEVATOR STAIR WALLS WALL TYPE WE-1 UNO
 - FOR NON-BEARING INT UNIT WALL TYPE WI-1 UNO

CPED - Planning
Zoning Section
10/25/12 Date
JAV Initials

DATE	6/28/12
DRAWN BY	JC
CHECKED BY	JGH
COMMISSION NO.	162905
SHEET TITLE	

**LEVEL 1
REFERENCE PLAN**

SHEET NUMBER

A102



ISSUANCE
CONSTRUCTION SET
6/28/12
ASI-01, ASI-02
PROJECT TITLE

29th & Lyndale

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Jack Boorman 06-28-12
JACK BOORMAN Date
11692
License Number

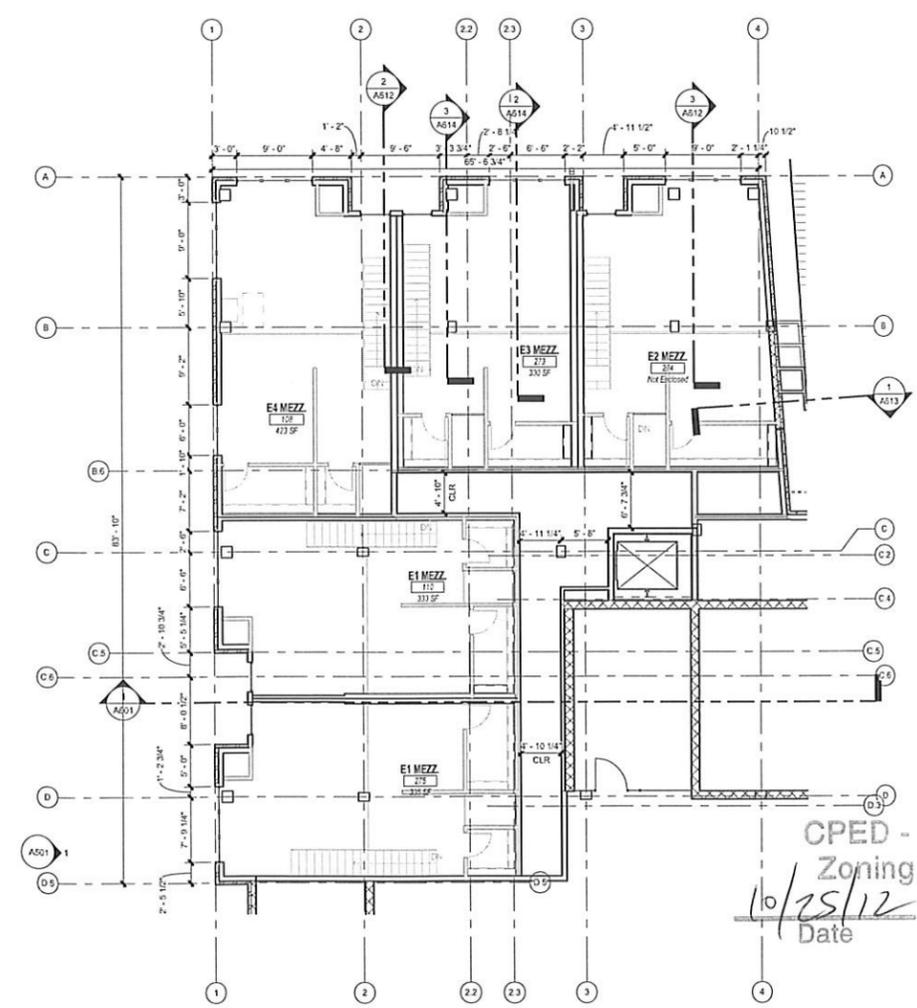
#	REVISION	DATE
1	ASI-01	08/28/12
2	ASI-02	08/28/12

DATE	6/28/12
DRAWN BY	JC
CHECKED BY	JSH
COMMISSION NO.	1629 05

LEVEL 1
MEZZANINE

SHEET NUMBER

A102M

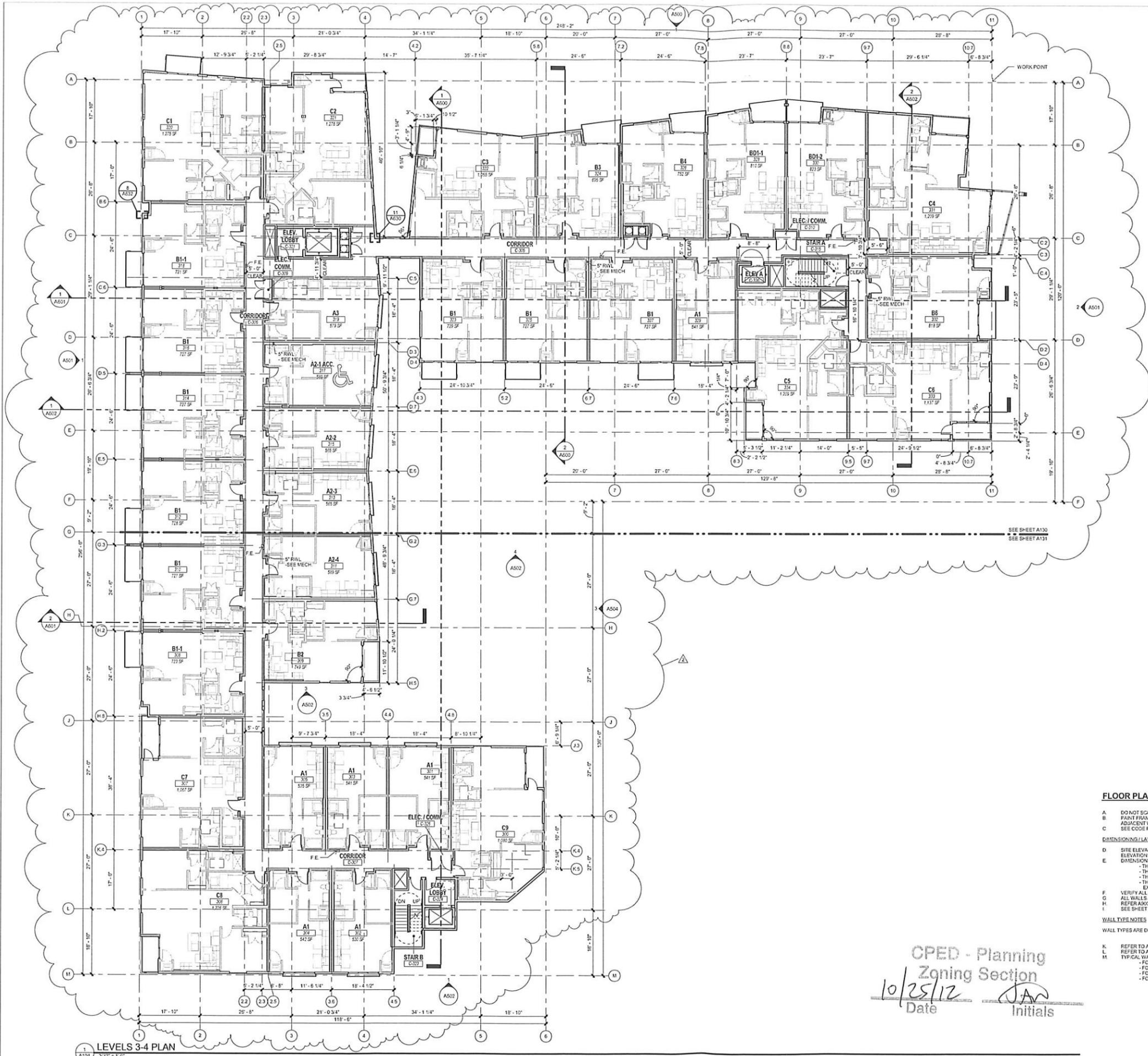


CPED - Planning
Zoning Section

10/25/12
Date
JAN
Initials

1 LEVEL 1 MEZZ.
1/8" = 1'-0"





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6/28/12
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PROJECT TITLE

29th & Lyndale

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2	ASI-02	08/28/12

DATE	6/29/12
DRAWN BY	JC
CHECKED BY	JGH
COMMISSION NO.	1629/05

LEVELS 3-4
REFERENCE PLAN

SHEET NUMBER

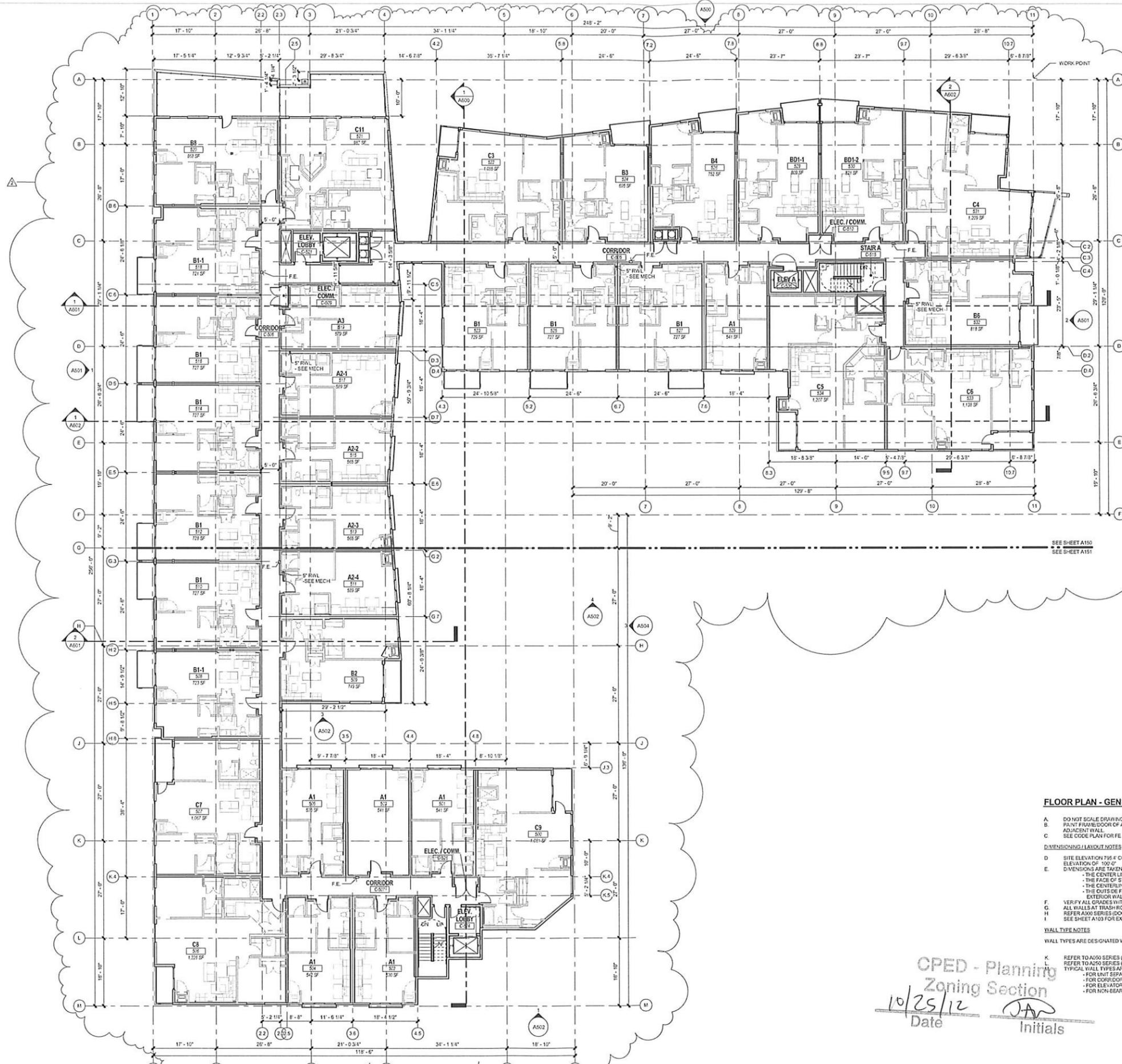
A104

FLOOR PLAN - GENERAL NOTES

- A DO NOT SCALE DRAWINGS
- B PAINT FRAME/DOOR OF ALL ELECTRIC PANEL BOXES TO MATCH ADJACENT WALL
- C SEE CODE PLAN FOR FE CAS LOCATIONS
- DIMENSIONING/LAYOUT NOTES
- D SITE ELEVATION 755.4' CORRESPONDS TO FIRST FLOOR FINISHED FLOOR LEVEL - ELEVATION OF 150.0'
- E DIMENSIONS ARE TAKEN TO (UNO)
 - THE CENTER LINE OF STUDO AT INTERIOR WALLS
 - THE FACE OF STUDO AT CORRIDOR WALLS (GRID @ CORRIDOR SIDE)
 - THE CENTERLINE OF UNIT SEPARATION WALLS (GRID @ CENTERLINE)
 - THE OUTSIDE FACE OF SHEATHING OR FACE OF MASONRY AT EXTERIOR WALLS (GRID)
- F VERIFY ALL GRADES WITH CIVIL DRAWINGS
- G ALL WALLS AT TRASH ROOMS TO RECEIVE FLYWOOD PROTECTION BD. UP TO 8'-0" AFF
- H REFER A200 SERIES (DOORS AND WINDOWS) FOR DOOR INFORMATION
- I SEE SHEET A103 FOR EXTERIOR WALL DIMENSIONS NOT SHOWN ON THIS SHEET
- WALL TYPE NOTES
- WALL TYPES ARE DESIGNATED WITH
 - K REFER TO A200 SERIES (CONSTRUCTION ASSEMBLIES) FOR WALL TYPES
 - L REFER TO A200 SERIES (UNIT PLANS) FOR UNIT WALL TYPES
 - M TYPICAL WALL TYPES ARE AS FOLLOWS
 - FOR UNIT SEPARATION WALLS WALL TYPE W-1 UNO
 - FOR CORRIDOR WALLS WALL TYPE W-C UNO
 - FOR ELEVATOR/STAIR WALLS WALL TYPE W-E UNO
 - FOR NON-BEARING AT UNIT WALL TYPE W-N UNO

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Zoning Section
10/25/12
Date
JAV
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CONSTRUCTION SET
6/28/12
ASI-01, ASI-02
PROJECT TITLE

29th & Lyndale

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Jack Boardman 06/28/12
JACK BOARDMAN (Date)
11692
License Number

#	REVISION	DATE
1	ASH-01	08/28/12
2	ASH-02	08/28/12

DATE	6/25/12
DRAWN BY	JC
CHECKED BY	JGH
COMMISSION NO.	1629/05

LEVEL 5
REFERENCE PLAN

SHEET NUMBER
A105

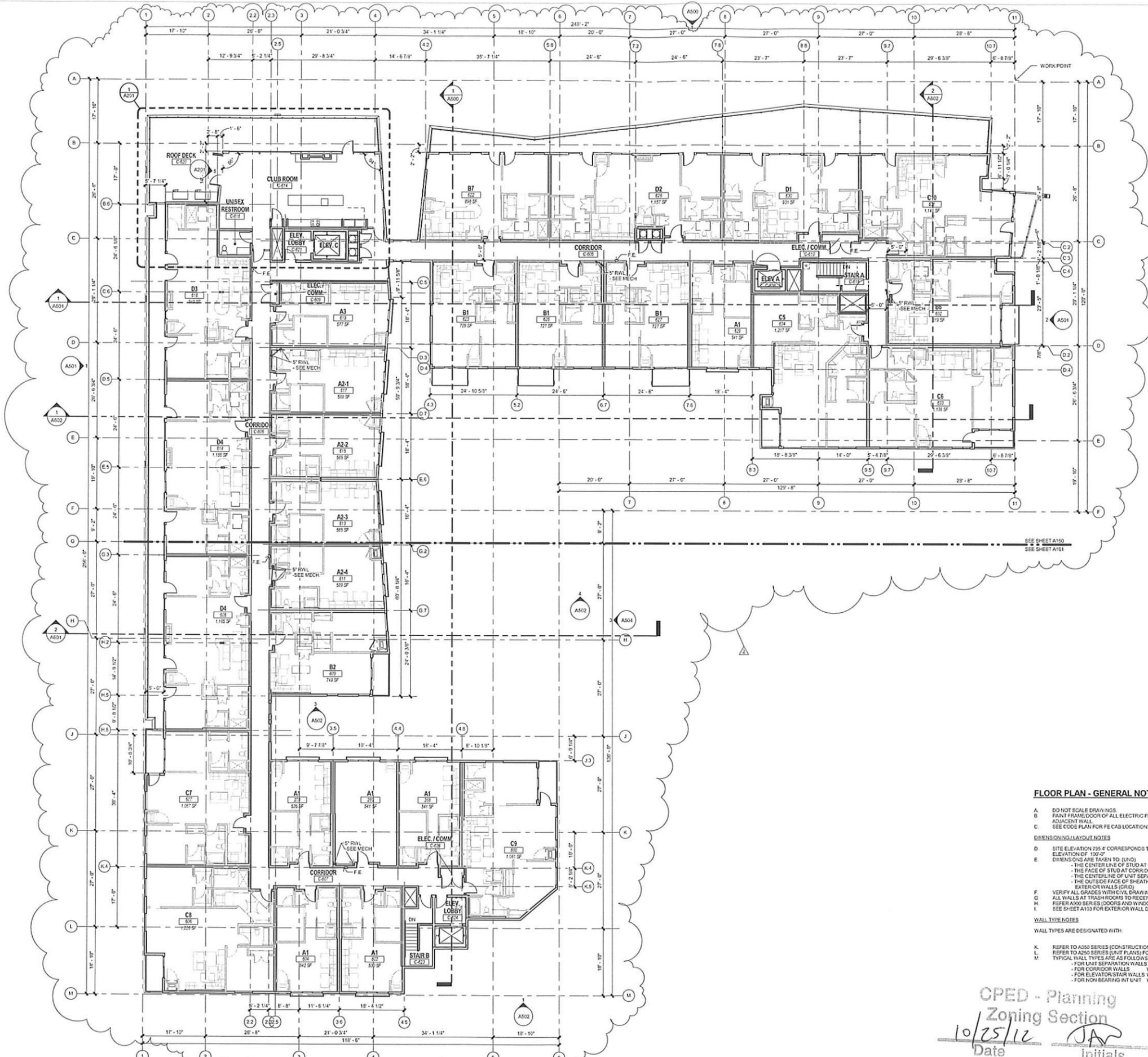
FLOOR PLAN - GENERAL NOTES

- A. DO NOT SCALE DRAWINGS.
 - B. PAINT FRAME/DOOR OF ALL ELECTRIC PANEL BOXES TO MATCH ADJACENT WALL.
 - C. SEE CODE PLAN FOR FE CAB LOCATIONS.
- DIMENSIONING / LAYOUT NOTES**
- D. SITE ELEVATION 795.4' CORRESPONDS TO FIRST FLOOR FINISHED FLOOR LEVEL - ELEVATION OF 100'-0".
 - E. DIMENSIONS ARE TAKEN TO: (UNO)
 - THE CENTER LINE OF STUD AT INTERIOR WALLS
 - THE FACE OF STUD AT CORRIDOR WALLS (GRID @ CORRIDOR SIDE)
 - THE CENTERLINE OF UNIT SEPARATION WALLS (GRID @ CENTERLINE)
 - THE OUTSIDE FACE OF SHEATHING OR FACE OF MASONRY AT EXTERIOR WALLS (GRID)
 - F. VERIFY ALL GRADES WITH CIVIL DRAWINGS.
 - G. ALL WALLS AT TRASH ROOMS TO RECEIVE PLYWOOD PROTECTION ED. UP TO 8'-0" AFF.
 - H. REFER A500 SERIES (DOORS AND WINDOWS) FOR DOOR INFORMATION.
 - I. SEE SHEET A103 FOR EXTERIOR WALL DIMENSIONS NOT SHOWN ON THIS SHEET.

- WALL TYPE NOTES**
- WALL TYPES ARE DESIGNATED WITH:
- K. REFER TO A500 SERIES (CONSTRUCTION ASSEMBLIES) FOR WALL TYPES
 - REFER TO A200 SERIES (UNIT PLANS) FOR UNIT WALL TYPES
 - TYPICAL WALL TYPES ARE AS FOLLOWS:
 - FOR UNIT SEPARATION WALLS WALL TYPE WP-1 UNO
 - FOR CORRIDOR WALLS WALL TYPE WC-1 UNO
 - FOR ELEVATOR SHAFT WALLS WALL TYPE WE-1 UNO
 - FOR NON-BEARING INT UNIT WALL TYPE WN-1 UNO

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10/25/12
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6/28/12
ASI-01, ASI-02

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29th & Lyndale

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Jack Boarman 06-28-12
JACK BOARMAN Date

11682
License Number

- FLOOR PLAN - GENERAL NOTES**
- A. DO NOT SCALE DRAWINGS
 - B. PAINT FRAME/DOOR OF ALL ELECTRIC PANEL BOXES TO MATCH ADJACENT WALL
 - C. SEE CODE PLAN FOR FE CAB LOCATIONS
- DIMENSIONING / LAYOUT NOTES**
- D. SITE ELEVATION 799.4' CORRESPONDS TO FIRST FLOOR FINISHED FLOOR LEVEL - ELEVATION OF 100'-0"
 - E. DIMENSIONS ARE TAKEN TO (UNO)
 - THE CENTERLINE OF STUD AT INTERIOR WALLS
 - THE FACE OF STUD AT CORR/DOR WALLS (GRID @ CORRIDOR SIDE)
 - THE CENTERLINE OF UNIT SEPARATION WALLS (GRID @ CENTERLINE)
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 - I. SEE SHEET A103 FOR EXTERIOR WALL DIMENSIONS NOT SHOWN ON THIS SHEET
- WALL TYPE NOTES**
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 - L. REFER TO A250 SERIES (UNIT PLANS) FOR UNIT WALL TYPES
 - M. TYPICAL WALL TYPES ARE AS FOLLOWS
 - FOR UNIT SEPARATION WALLS WALL TYPE WP-1 UNO
 - FOR CORRIDOR WALLS WALL TYPE WC-1 UNO
 - FOR ELEVATOR STAIR WALLS WALL TYPE WE-1 UNO
 - FOR NON BEARING INT UNIT WALL TYPE WN-1 UNO

#	REVISION	DATE
1	ASI-01	08/28/12
2	ASI-02	08/28/12

DATE	6/28/12
DRAWN BY	JC
CHECKED BY	JGH
COMMISSION NO.	1529 05

**LEVEL 6
REFERENCE PLAN**

SHEET NUMBER

A106

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Zoning Section
10/25/12
Date
JA
Initials



ISSUANCE
CONSTRUCTION SET
6/28/12
ASI-01, ASI-02
PROJECT TITLE

29th & Lyndale

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Jack Boorman
JACK BOORMAN Date
11682 License Number

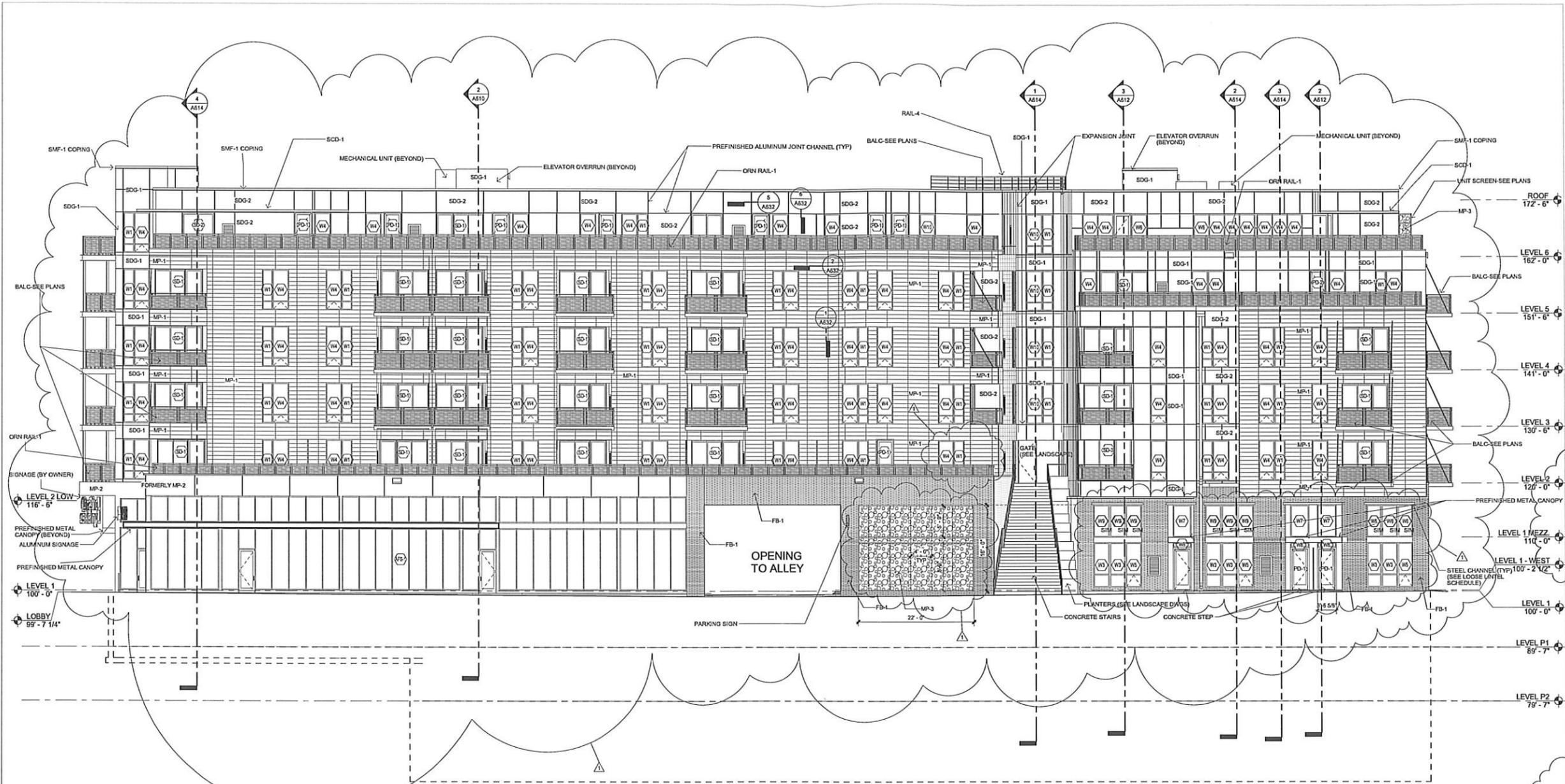
#	REVISION	DATE
1	ASI-01	08/28/12
2	ASI-02	08/28/12

DATE	6/28/12
DRAWN BY	JCM
CHECKED BY	JGH
COMMISSION NO.	1829.05
SHEET TITLE	

**BUILDING
ELEVATIONS**

SHEET NUMBER

A500



1 North (W. 29th Street)
A500 1/8" = 1'-0"

MATERIAL LEGEND

FB-1	NORMAN DARK IRONSPOT
MP-1	DR-DESIGN PAINTED METAL PANEL
MP-3	PERFORATED METAL: 60% OPEN
SDG-1	CEMENTITIOUS FIBER BOARD: OFF-WHITE
CMJ-12	CMJ - ROCK FACE

- ELEVATION NOTES**
- FOR HEATING/VENTILATING UNIT LOWERS, FIELD PAINT TO MATCH ADJACENT MATERIAL COLOR.
 - SEE FLOOR PLANS FOR BALCONY TYPES.

CPED - Planning
Zoning Section
10/25/12 Date
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ISSUANCE
CONSTRUCTION SET
6/28/12
ASI-01, ASI-02
PROJECT TITLE

29th & Lyndale

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10/25/12
Date

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Jack Boorman 06-28-12
JACK BOORMAN Date

11682
License Number

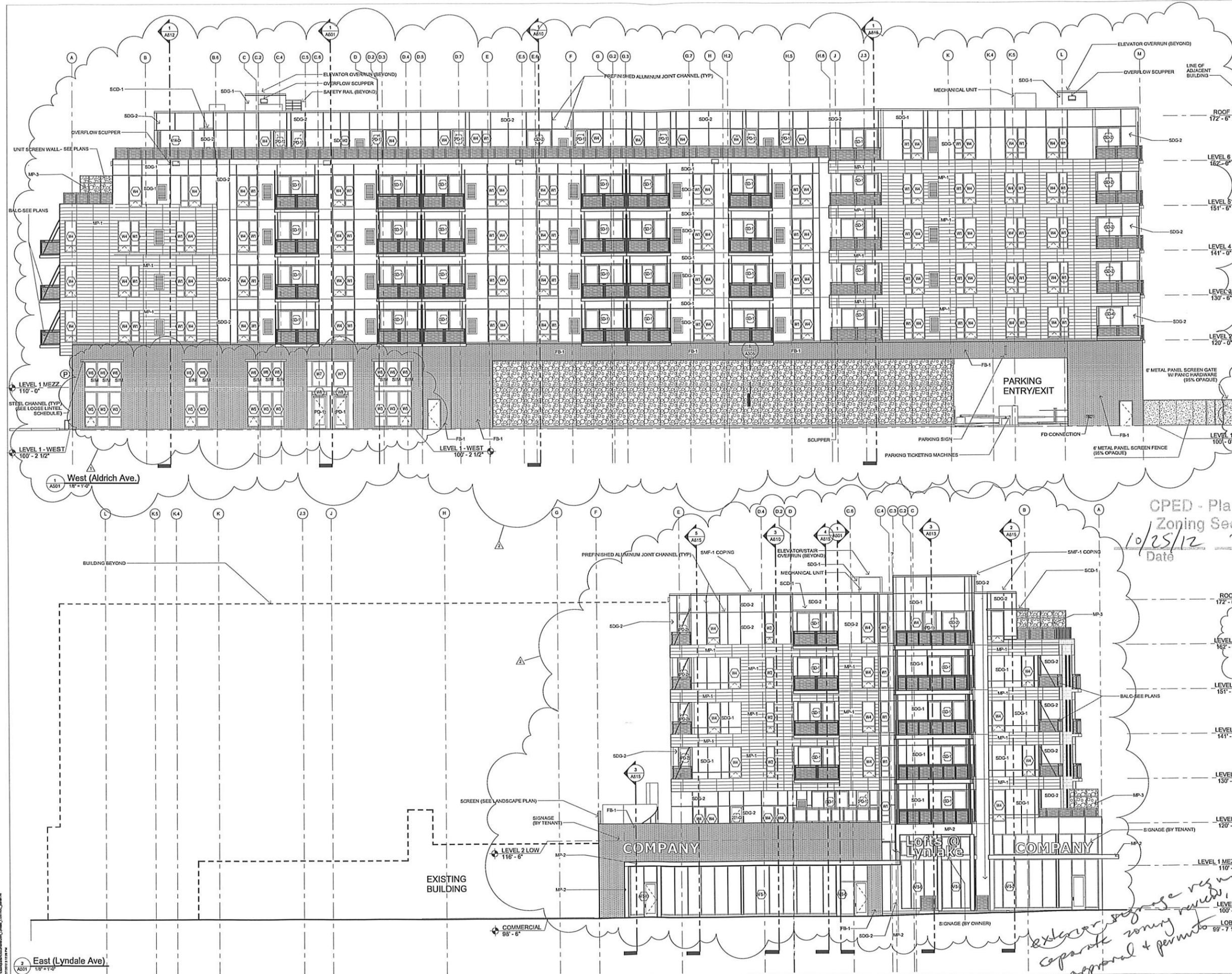
#	REVISION	DATE
1	ASI-01	08/28/12
2	ASI-02	08/28/12

DATE	6/28/12
DRAWN BY	JOM
CHECKED BY	JGH
COMMISSION NO.	1623.05
SHEET TITLE	

BUILDING ELEVATIONS

SHEET NUMBER

A501



*exterior signage reviewed
separate zoning review
approval + permits*

ISSUANCE
CONSTRUCTION SET
6/28/12
ASI-01, ASI-02
PROJECT TITLE

29th & Lyndale

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Jack Boarman 06-28-12
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License Number

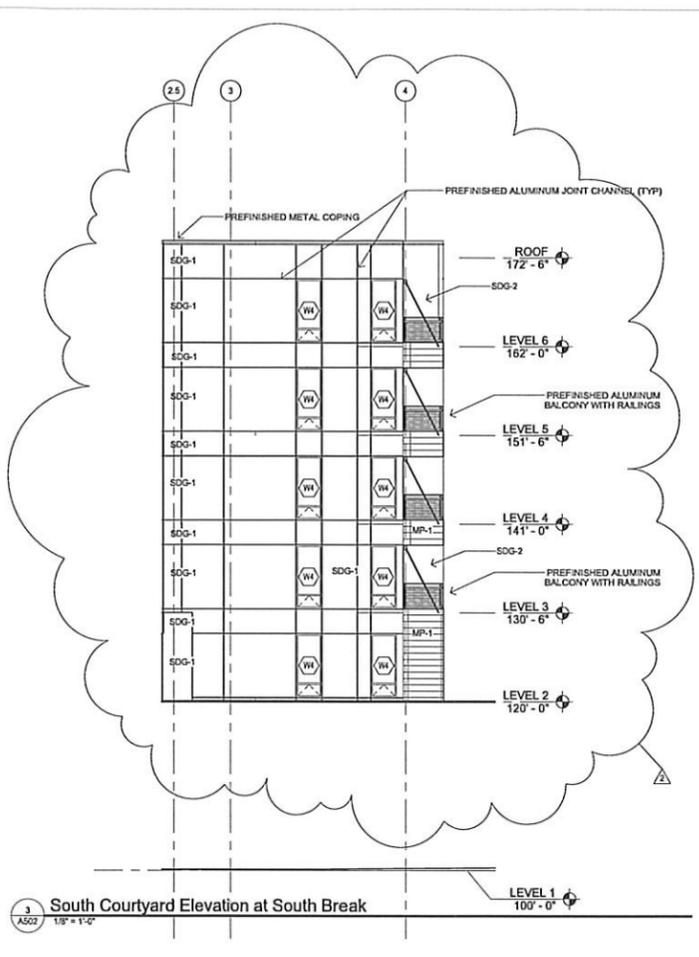
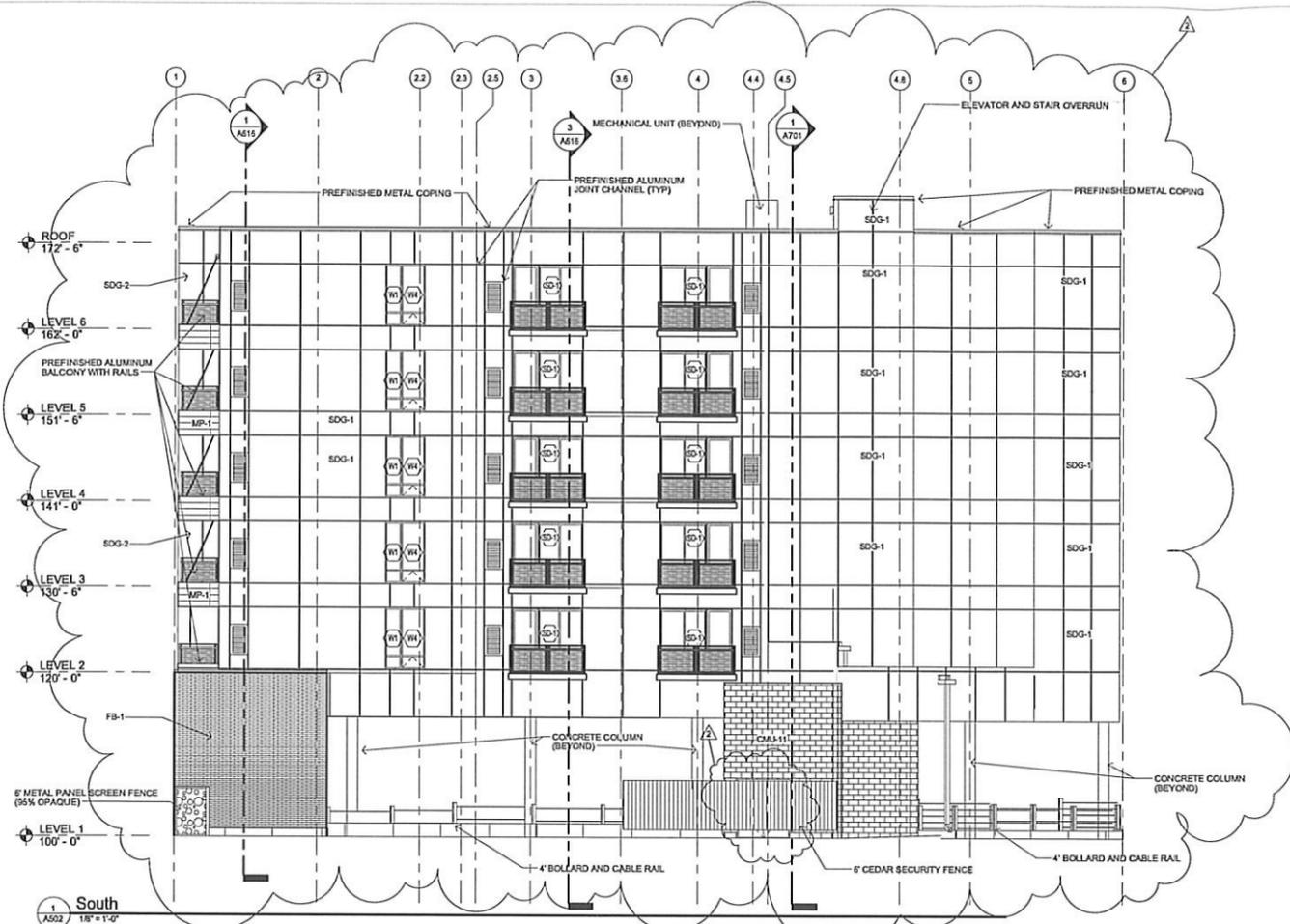
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1	ASI-01	08/28/12
2	ASI-02	08/28/12

DATE	6/28/12
DRAWN BY	JOM
CHECKED BY	JGH
COMMISSION NO.	122905
SHEET TITLE	

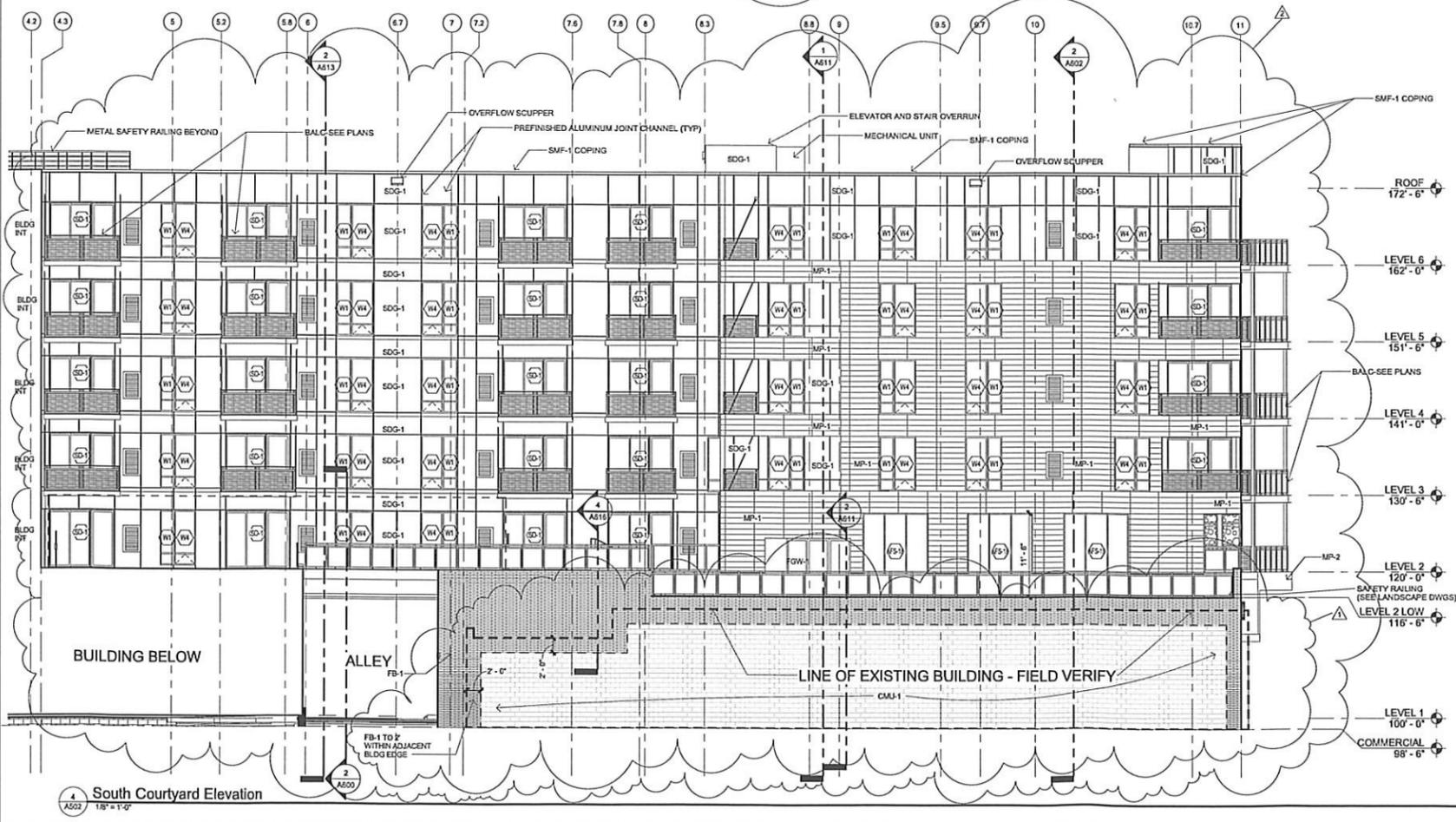
BUILDING ELEVATIONS

SHEET NUMBER

A502



3 A502 South Courtyard Elevation at South Break 1/8" = 1'-0"



4 A502 South Courtyard Elevation 1/8" = 1'-0"

CPED - Planning
Zoning Section
10/25/12 Date J.A. Initials

ISSUANCE
CONSTRUCTION SET
6/28/12
ASI-01, ASI-02
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29th & Lyndale
CPED - Planning
Zoning Section
10/25/12
Date
JAN
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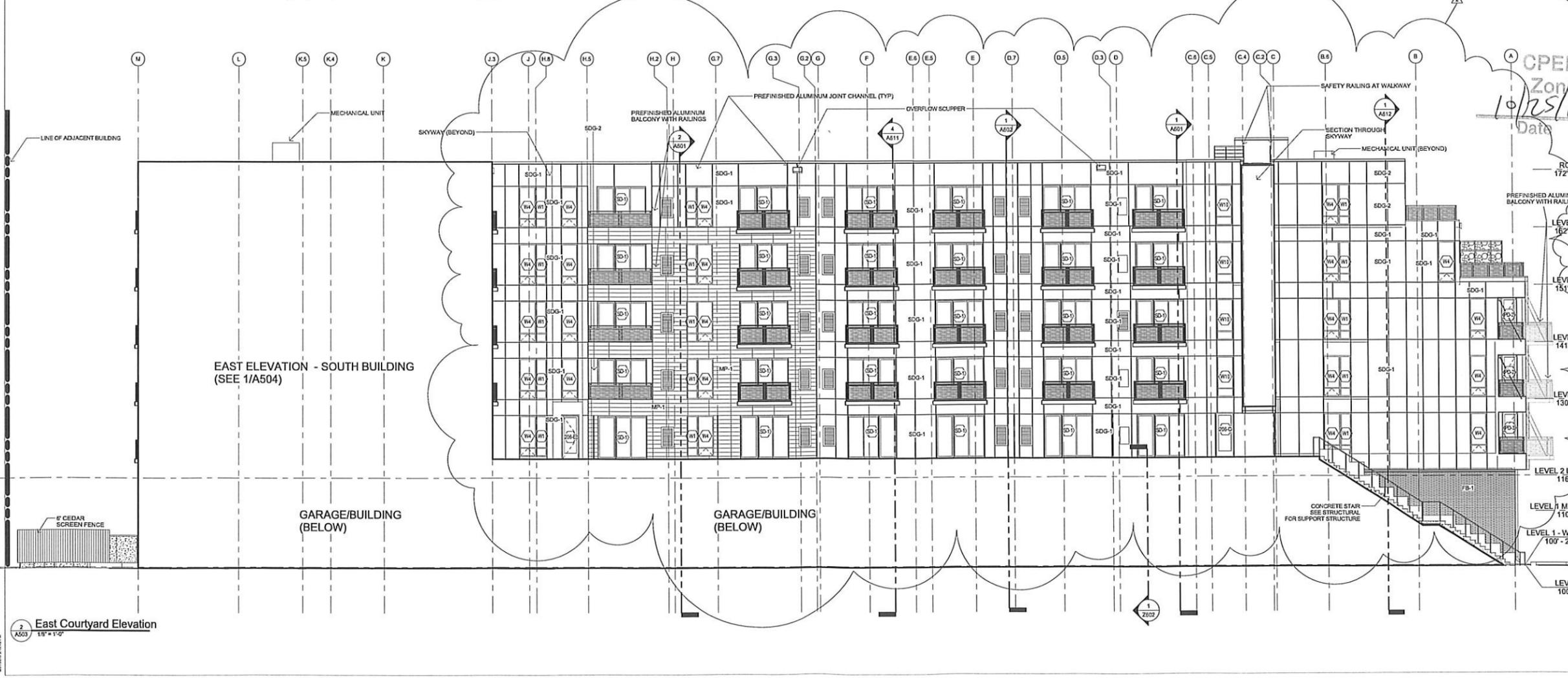
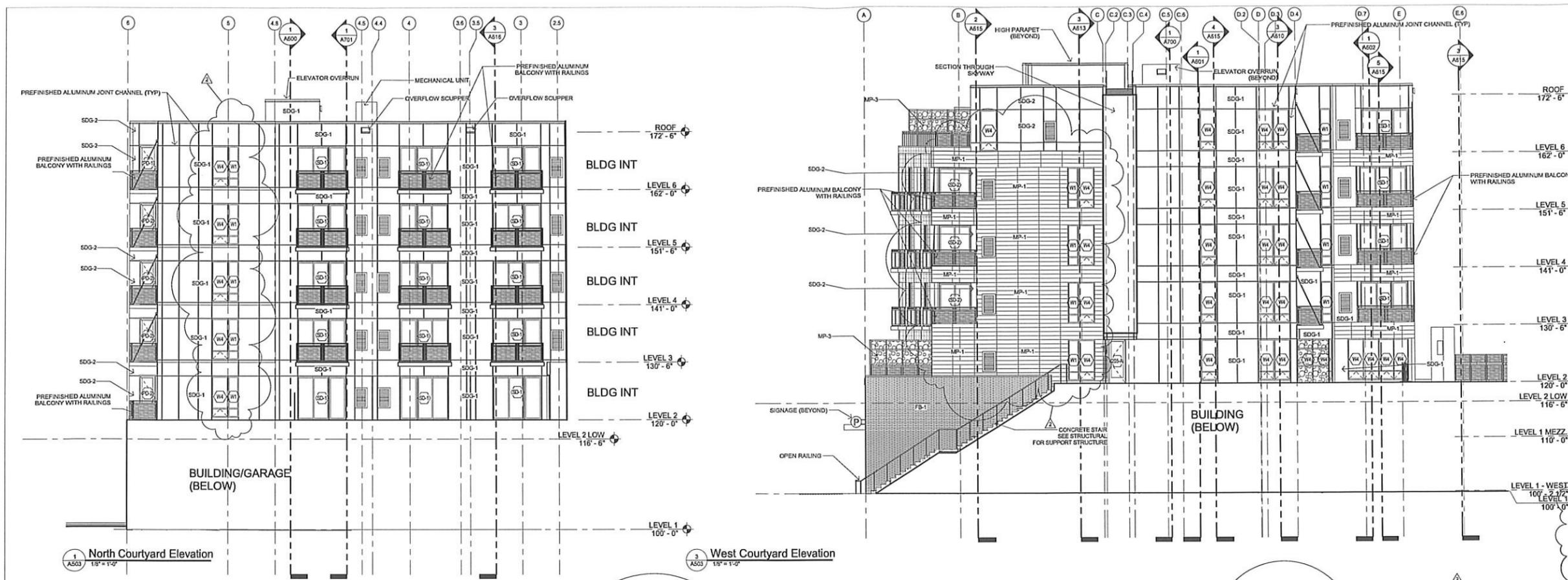
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DRAWN BY	JOM
CHECKED BY	JOM
COMMISSION NO.	1629.05
SHEET TITLE	

BUILDING ELEVATIONS

SHEET NUMBER

A503



2/A504 East Courtyard Elevation
1/8" = 1'-0"

