



# CPED STAFF REPORT

Prepared for the City Planning Commission

CPC Agenda Item #3  
 August 25, 2014  
 BZZ-6657

## LAND USE APPLICATION SUMMARY

**Property Location:** 2529-2551 Central Avenue Northeast  
**Project Name:** Eastside Food Co-op  
**Prepared By:** [Mei-Ling Anderson](#), City Planner, (612) 673-5342  
**Applicant:** Amy Fields, Eastside Food Co-op  
**Project Contact:** Paul D. Anderson, WCL Associates, Inc.  
**Request:** To allow a 5,835 square foot addition to an existing building and parking lot expansion.

**Required Applications:**

<b>Rezoning</b>	Petition to rezone the properties located at 2529 and 2535 Central Avenue Northeast from the C1 Neighborhood Commercial District to the C2 Neighborhood Corridor Commercial District.
<b>Variance</b>	To reduce the minimum window requirement below 40 percent along 26 <sup>th</sup> Avenue Northeast in the PO Pedestrian Oriented Overlay District.
<b>Variance</b>	To increase the maximum allowed parking lot frontage along Central Avenue Northeast from 60 feet to approximately 110 feet in the PO Pedestrian Oriented Overlay District.
<b>Variance</b>	To replace an existing one-story building with a surface parking lot in the PO Pedestrian Oriented Overlay District.
<b>Variance</b>	To increase the maximum allowed area for a projecting sign in the C2 Neighborhood Corridor Commercial District from 20 square feet to 47 square feet.
<b>Variance</b>	To increase the maximum allowed height of a projecting sign from two feet above the roof line to 7 feet-2 inches above the roof line.
<b>Site Plan Review</b>	For a 5,835 square foot addition to an existing commercial building.

## SITE DATA

<b>Existing Zoning</b>	2539, 2543, and 2551 Central Ave NE: C2 Neighborhood Corridor Commercial District; 2529 and 2535 Central Ave NE: C1 Neighborhood Commercial District; PO Pedestrian Oriented Overlay District (all)
<b>Lot Area</b>	48,959 square feet / 1.12 acres
<b>Ward(s)</b>	1
<b>Neighborhood(s)</b>	Audubon Neighborhood Association; adjacent to Holland Neighborhood Improvement Association
<b>Designated Future Land Use</b>	Mixed Use
<b>Land Use Features</b>	Commercial Corridor (Central Avenue NE); Activity Center (Central/Lowry)
<b>Small Area Plan(s)</b>	Central Avenue Small Area Plan (2008), Audubon Park Small Area Plan (2008), Lowry Avenue Corridor Plan (2002)

<b>Date Application Deemed Complete</b>	July 31, 2014	<b>Date Extension Letter Sent</b>	August 19, 2014
<b>End of 60-Day Decision Period</b>	September 29, 2014	<b>End of 120-Day Decision Period</b>	November 28, 2014

## BACKGROUND

**SITE DESCRIPTION AND PRESENT USE.** The subject site is a corner lot at the southeast corner of the intersection of Central Avenue NE and 26<sup>th</sup> Avenue NE. It currently contains two commercial buildings and two parking lots across five parcels. The building that is located on the two northernmost parcels is a one-story, brick building with approximately 12,000 square feet. The applicant, the Eastside Food Co-op, has occupied approximately 4,100 square feet of the building since 2003. The co-op also uses the parking lot to the south. The building on the southern portion of the site is a two-story, stucco building that has most recently been used for office space.

**SURROUNDING PROPERTIES AND NEIGHBORHOOD.** The site is located on Central Avenue NE, which is a designated Commercial Corridor, and it is located within an Activity Center. Most of the buildings along Central Avenue NE contain commercial uses. Low and medium-density residential buildings are also prominent throughout the neighborhood, although city policies call for high-density residential housing adjacent to the Central Avenue NE corridor. The east property line abuts a public alley that is between the subject site and residential uses located in the R5 Multiple-Family District.

**PROJECT DESCRIPTION.** The applicant is proposing to expand its grocery store operations into the remainder of their building and construct an L-shaped, 5,835 square-foot addition along the south building wall, which would add approximately 80 feet of building frontage along Central Avenue NE. The applicant is proposing to two entrances on Central Avenue as well as an entrance on the parking lot side of the addition.

The project would also include the demolition of the two-story building to the south in order to add 25 vehicle parking spaces to the site, for a total of 61 spaces. The project would provide 30 bicycle parking spaces and two large loading spaces. The applicant would remove one of the three curb cuts off of Central Avenue NE and would add a curb cut in the southeast portion of the site so that there would be vehicle access between the subject site and the adjacent alley.

The applicant is proposing façade and site improvements as part of the development. The exterior material of the existing building is painted concrete block. The applicant would cover the north and west elevations of the existing structure with a thin brick veneer. The primary exterior material on the south and east elevations of the building addition would be fiber cement panels. The applicant is also proposing to add a decorative metal fence and landscaped areas to provide a buffer between the parking lot and public street and alley.

The site currently has split zoning, which necessitates a rezoning petition for the properties at 2529 and 2535 Central Avenue NE so that the entire lot would be located in the same zoning district (the C2 Neighborhood Corridor Commercial District). The applicant is requesting five variances, three of which are variances of the PO Pedestrian Oriented Overlay District standards, and two of which are related to the projecting sign that would be located above the principal entrance on Central Avenue NE. Finally, the size of the addition triggers site plan review, which applies to the entire zoning lot.

**RELATED APPROVALS.** The Eastside Food Co-op previously came before the City Planning Commission in 2003 for a site plan review. At that time, the building at 2551 Central Avenue NE also included a dollar store and bakery outlet.

Planning Case #	Application	Description	Action
BZZ-1184	Site Plan Review	Remodel of an auto parts store in part of the existing building for a 6,600 sq. ft. natural foods grocery, including site and landscaping improvements.	CPC approved in June 2003

**PUBLIC COMMENTS.** As of the printing of this report, staff has not received any comments regarding the project. Any correspondence received prior to the public meeting will be forwarded on to the Planning Commission for consideration.

## ANALYSIS

### REZONING

The Department of Community Planning and Economic Development has analyzed the application for a petition to rezone the properties located at 2529 and 2535 Central Avenue Northeast from the C1 Neighborhood Commercial District to the C2 Neighborhood Corridor Commercial District based on the following [findings](#):

I. *Whether the amendment is consistent with the applicable policies of the comprehensive plan.*

The proposed zoning would be consistent with the applicable policies of *The Minneapolis Plan for Sustainable Growth*. The property is designated as Mixed Use on the future land use map. There is no requirement that every building in a Mixed Use area be mixed use, but the designation allows for mixed use developments, such as residential uses mixed with office or retail.

The site is located along a Commercial Corridor (Central Avenue NE) and is located within an Activity Center. Commercial Corridors like Central Avenue NE have historically been prominent destinations with a mix of uses, with highest density residential uses (50 to 120 dwelling units per acre) along the corridor and medium density uses in surrounding areas. Activity centers generally have a mix of high-intensity uses and regional draw, such as employment, commercial, office, and residential uses.

The following principles and policies outlined in the plan apply to this proposal:

**Land Use Policy 1.4: Develop and maintain strong and successful commercial and mixed use areas with a wide range of character and functions to serve the needs of current and future users.**

- I.4.1 Support a variety of commercial districts and corridors of varying size, intensity of development, mix of uses, and market served.

**Land Use Policy 1.5: Promote growth and encourage overall city vitality by directing new commercial and mixed use development to designated corridors and districts.**

- I.5.1 Support an appropriate mix of uses within a district or corridor with attention to surrounding uses, community needs and preferences, and availability of public facilities.

**Land Use Policy 1.10: Support development along Commercial Corridors that enhances the street's character, fosters pedestrian movement, expands the range of goods and services available, and improves the ability to accommodate automobile traffic.**

- 1.10.1 Support a mix of uses – such as retail sales, office, institutional, high-density residential and clean low-impact light industrial – where compatible with the existing and desired character.

**Land Use Policy 1.12: Support Activity Centers by preserving the mix and intensity of land uses and by enhancing the design features that give each center its unique urban character.**

- 1.12.1 Encourage a variety of commercial and residential uses that generate activity all day long and into the evening.
- 1.12.4 Discourage uses that diminish the transit and pedestrian character of Activity Centers, such as automobile services, surface parking lots, and drive-through facilities.

The remainder of the site is currently zoned C2. The C2 district allows a mix of uses, both commercial and residential. As the PO Pedestrian Oriented Overlay District covers the entire site, automobile and drive-through uses would not be allowed to be established in this location. The extension of the commercial zoning as proposed should not significantly affect adjacent residential properties.

2. *Whether the amendment is in the public interest and is not solely for the interest of a single property owner.*

The site currently has split zoning. The rezoning will result in uniform zoning of the site and would allow for a wider range of goods and services along a Commercial Corridor and within an Activity Center, as called for in adopted City policies. The rezoning would allow for an expansion of an existing grocery store that serves the adjacent neighborhoods. The C1 district would not allow a grocery store of the same size (approximately 18,00 square feet) without a variance. The amendment is in the public interest and not solely in the interest of the property owner.

3. *Whether the existing uses of property and the zoning classification of property within the general area of the property in question are compatible with the proposed zoning classification, where the amendment is to change the zoning classification of particular property.*

The proposed zoning classification would be compatible with those of other properties in the area. The parcels to the west and northwest of the subject site are all zoned C2. Nearby properties along the Central Avenue corridor contain C1, C2, or C4 zoning. The two parcels that the applicant is requesting to rezone from C1 to C2 would be directly across from properties that are zoned C2. There is R5 zoning and low to medium density residential uses located across the alley. The PO overlay district would prevent the establishment of auto oriented uses that would otherwise be allowed in the C2 district and which would be less compatible with surrounding residential uses. The PO overlay regulation would further ensure that the commercial uses allowed would be appropriate for an activity center. The existing uses and zoning classification of adjacent and nearby properties are consistent with the C2 zoning district that is proposed for the two parcels in question.

4. *Whether there are reasonable uses of the property in question permitted under the existing zoning classification, where the amendment is to change the zoning classification of particular property.*

Because the site has split zoning, the most restrictive provisions of the base zoning districts apply. The C2 district allows four stories by-right instead of the three stories allowed in the C1 district, as

well as larger retail spaces compared to the C1 zoning district. If the entire site were zoned C1, a variance would be needed to allow a one-story retail space larger than 6,000 square feet in area. Because the site is located on a Commercial Corridor in a mixed use area, allowing a wider range of available goods and services and, potentially, more dense residential development in the future is appropriate.

The total development site is 48,959 square feet. The portion of the site that is located in the C2 district is approximately 32,600 square feet. If the rezoning petition were not granted, the northernmost parcel would be limited to a development that would fit on a 32,600 square foot parcel while providing adequate off-street parking and meeting the objectives for a property zoned C2 along a Commercial Corridor and within an Activity Center. The remaining 16,500 square feet of the subject site – the two parcels located in the C1 district – would be limited to providing no more than 4,000 square feet of commercial space for any one use, or up to 8,000 square feet depending on whether the project qualified for parking location standards or density bonuses. Those factors limit the reasonable use of the property under the current zoning ordinance. Allowing all five properties to belong to the same zoning classification would make it possible for future developments to be constructed in an efficient, coherent manner while addressing the City's goals related to establishing higher-intensity commercial uses in this location.

5. *Whether there has been a change in the character or trend of development in the general area of the property in question, which has taken place since such property was placed in its present zoning classification, where the amendment is to change the zoning classification of particular property.*

The five parcels on the subject site have been zoned C1 and C2 since 1999. Prior to that time, when a new zoning code was adopted, all five parcels belonged to the B34 Community Retail District for at least 30 years. The proposed zoning would be consistent with the historical zoning classification for this corridor as well as with the more recent zoning and development trends in the surrounding area. The trend of development on the corridor has been mostly mixed use, and several commercial storefronts have been recently rehabilitated on the opposite side of the street.

## VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance to reduce the minimum window requirement below 40 percent along 26th Avenue Northeast in the PO Pedestrian Oriented Overlay District based on the following findings:

- i. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

The PO Pedestrian Oriented Overlay District requires that all building walls that face a public street or sidewalk contain no less than 40 percent windows on the ground floor. The building walls that face Central Avenue NE and 26<sup>th</sup> Avenue NE are subject to this requirement. Fifty-seven percent of the proposed Central Avenue NE elevation would be windows and ten percent of the 26<sup>th</sup> Avenue NE elevation would be windows. Both of these building walls belong to the existing building. The 26<sup>th</sup> Avenue NE wall currently has approximately 8.5 percent windows. However the applicant is proposing to relocate and alter the windows on this elevation; they would be removing two windows that are located at or within four feet above the adjacent grade and could be counted toward the minimum window requirement on the ground floor, and replacing them with seven new windows that are located approximately seven feet above the adjacent grade and interior floors. These windows do not comply because they do not allow views into and out of the building at eye

level. A variance is needed to allow the 26<sup>th</sup> Avenue NE elevation to contain less than 40 percent window openings as a result of the modifications.

The applicant states that the variance is necessary due to the limited floor plan options for integrating the building addition with the existing building. The materials that the applicant has submitted demonstrate that the 26<sup>th</sup> Avenue NE elevation is 175 feet in length and the applicant is proposing use the rear 46 percent (81 feet) of the linear building frontage of this elevation to store meat and deli coolers. The portion of the elevation that would be nearest Central Avenue NE would be part of the main shopping area (94 feet of the 26<sup>th</sup> Avenue NE building wall). The applicant is proposing to locate the frozen food coolers along this building wall, which are seven feet tall. Since the coolers would block any windows at eye-level, the applicant is proposing to set the windows seven feet above ground level.

The applicant is attempting to balance City policies, which both direct ground floor commercial uses to provide views in and out of eye-level windows along the public street and encourage the reduction of parking lot frontages along public streets. The applicant has proposed to add 35 feet of building frontage along Central Avenue NE through the addition. This would re-establish the principal entrance and commercial storefront along Central Avenue NE. Staff finds that the location of the existing building on the site creates practical difficulties in complying with the ordinance. However, staff finds that it would be practical to require the applicant to provide no less than 20 percent compliant windows (280 square feet) on this elevation.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The request to allow a reduced window requirement along the 26<sup>th</sup> Avenue NE elevation where the existing amount of windows is less than 40 percent is reasonable and is in keeping with the spirit and intent of the ordinance and comprehensive plan. The intent of requiring a minimum percentage of windows on the first floor façade of nonresidential uses facing a public street is to facilitate pedestrian access, create visual interest, and maximize natural surveillance and visibility in pedestrian-oriented areas. The applicant is proposing to provide a fully active storefront along Central Avenue NE, with windows that comply with the minimum requirements on this façade. The proposed design of the Central Avenue elevation offsets the potential negative impacts of the lack of eye-level windows along the north elevation. However, as stated previously, staff finds that it would be practical to require the applicant to provide no less than 20 percent windows on this elevation.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

With the adoption of the staff recommendation, granting the variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. The existing building currently contains 8.5 percent windows on the north wall, and the applicant is proposing to increase this to 10 percent. The applicant is proposing to exceed the minimum window requirements on the Central Ave façade, which is the primary wall. Providing 20 percent windows on the north will increase opportunities for natural surveillance. Therefore, granting the variance would not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.

## VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance to increase the maximum allowed parking lot frontage along Central Avenue Northeast from 60 feet to approximately 110 feet in the PO Pedestrian Oriented Overlay District based on the following findings:

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

The existing parking lot exposure of the five combined lots along Central Avenue NE is approximately 123 lineal feet. The applicant is proposing to add building frontage along this side of the property, thereby reducing parking lot exposure by 13 feet, from 123 feet to 110 feet. The applicant's request is to construct a 5,835 square foot addition to the existing building and add 25 vehicle parking spaces to accommodate the expansion. It would not be practical to require the grocery store to expand the building an additional 50 feet to the south to reduce the parking lot frontage to the PO district maximum of 60 feet. One of the primary reasons the applicant has acquired the site to the south is to allow for adequate maneuvering area for the delivery trucks and vehicles that visit the site. As City policies are supportive of directing this type of traffic to public streets rather than to alleys, the site would need to maintain adequate maneuvering clearances as well as the landscaped areas required by the code on the Central Avenue NE side of the property. Practical difficulties exist in complying with the ordinance because of these circumstances, which were not created by the applicant and are not based on economic considerations alone.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The purpose of the restriction on parking lot frontage is to encourage the pedestrian character of commercial areas and promote street life and activity. The applicant would be expanding the existing building in an L-shape design in order to provide additional building frontage along Central Avenue NE. The existing building takes up the entire depth of the lot from the west to the east sides of the property. The applicant is proposing to add onto the building to the south, but would also concentrate about half of the total area of the building addition along Central Avenue NE in order to maximize length of the building wall along the public street. Further extending the building wall by 50 feet would unnecessarily increase the distances from one side of the grocery store to the other, and would not contribute to the intent of the ordinance, which is to enhance the ground floor active functions along Central Avenue NE, given that the bulk of the existing building is aligned along 26<sup>th</sup> Avenue NE. The applicant is proposing to provide a 17 foot wide and a 10 foot wide landscaped yard between the parking area and the street, which will provide a buffer. The two curb cuts will be spaced far enough apart to minimize conflicts with pedestrians. The property owner is proposing to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and comprehensive plan.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

The proposed variance to increase the maximum allowed parking lot exposure from 60 feet to 110 feet would not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. The parking lot exposure will be reduced by approximately 13 feet compared to the current parking lot exposure of 123 feet along Central Avenue NE. Therefore,

granting the variance would not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.

## VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance to replace an existing one-story building with a surface parking lot in the PO Pedestrian Oriented Overlay District based on the following findings:

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

The applicant is proposing to demolish the existing, two-story building located in the southern portion of the site in order to construct a one-story addition to the existing one-story building on the north end of the site and provide a parking area where the two-story building currently sits on the south end. The PO district requires that new construction shall not reduce the number of building stories that currently exist on a site. The applicant has stated that it would not be practical to construct a two-story addition as part of the project in order to meet the ordinance standard. The building addition would allow the grocery store to expand. The applicant is proposing to demolish the two-story building to the south without replacing it so that the grocery store would be able to provide off-street parking and a maneuvering area for large delivery trucks. The applicant has demonstrated that, without acquiring the two parcels to the south, the existing parking area and building addition would not be able to provide sufficient maneuvering area for large delivery trucks that would use the two curb cuts on Central Avenue. Staff finds that practical difficulties exist in complying with the ordinance and these unique circumstances were not created by the applicant.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The intent of the ordinance is to maintain commercial densities and storefronts in pedestrian-oriented zones, such as this one. The existing two-story building is set back 16 feet from the front property line, which is inconsistent with today's standards for site plan review. The applicant is proposing to add a net increase of approximately 35 feet of building frontage along Central Avenue NE, which would be within five feet of the front lot line and would be consistent with the zoning code guidance on building placement. The applicant's proposal enhances the near-term and long-term potential uses for the existing commercial building as well as consolidates the parking areas in order to enhance the commercial presence of the buildings along Central Avenue NE on this block. The proposed one-story building and parking area would be consistent with the existing building on the site as well as with the height and roof pitch of similar commercial buildings in the area. Given the circumstances of the site, the applicant's request is reasonable and would be in keeping with the spirit and intent of the ordinance and comprehensive plan.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

There are many one-story buildings located along the Central Avenue NE corridor in the nearby area. Granting the variance would not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.

## VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance to increase the maximum allowed area for a projecting sign in the C2 Neighborhood Corridor Commercial District from 20 square feet to 47 square feet, and to increase the maximum allowed height of a projecting sign from two feet above the roof line to 7 feet-2 inches above the roof line, based on the following [findings](#):

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

**Both variances:** The circumstances of the height and area variances are not unique to the parcel and have been created by the applicant. The applicant states the proposed projecting sign has been designed to replace and reduce the area and height of the existing, internally illuminated box signs that stand 15 feet above the roof line and have a total area of approximately 140 square feet. In the C2 district, projecting signs are limited to an area of 20 square feet per sign. All walls of the proposed project would be allowed to have signs other than the alley-facing wall. The applicant is proposing a projecting sign with an area of 47 square feet. A projecting sign may extend up to two feet per story, but no more than ten feet above the roof line. Under this requirement, the proposed sign is allowed to extend two feet above the roof line. The proposed sign extends approximately 7 feet-2 inches above the roof line. Staff does not find that a practical difficulty exists in meeting the maximum size allocation or height for a projecting sign.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

**Both variances:** The applicant is seeking variances to increase the maximum permitted area of a projecting sign from 20 to 47 square feet and to increase the maximum permitted height from two feet to 7 feet, 2 inches. The applicant states that the increased height and area of the proposed sign is a reduction in height and area of the two roof signs that are currently located on top of the building. The regulations governing on-premise signs were established to allow effective signage appropriate to the planned character of each zoning district, to promote an attractive environment by minimizing visual clutter and confusion, to minimize adverse effects on nearby properties, and to protect the public health, safety, and welfare. Staff believes that the proposed projecting sign of 7 feet-2 inches in height and 47 square feet in area will diminish the pedestrian experience in the area by increasing visual clutter. The subject property allows for a total signage allocation of 231 square feet in area along Central Avenue, and the applicant is proposing four other signs for the site. Staff finds that a projecting sign of 20 square feet and no more than two feet taller than the roof line, or the other sign options allowed by the ordinance, would to allow for effective identification.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

**Both variances:** The proposed signage may alter the essential character and be injurious to the use or enjoyment of property in the vicinity. Staff believes that the proposed monument sign, which exceeds the permitted area of a projecting sign by 27 feet and exceeds the permitted height by 5 feet, 2 inches, would diminish the pedestrian experience in the area by increasing visual clutter. Granting the sign variance would not likely be detrimental to health, safety or welfare of the general public.

In addition, the following findings must be addressed if applying for a SIGN VARIANCE:

1. *The sign adjustment will not significantly increase or lead to sign clutter in the area or result in a sign that is inconsistent with the purpose of the zoning district in which the property is located.*

**Both variances:** The proposed projecting sign is proposed along Central Avenue NE. The regulations governing on-premise signs were established to allow effective signage appropriate to the planned character of each zoning district, to promote an attractive environment by minimizing visual clutter and confusion, to minimize adverse effects on nearby property, and to protect the public health, safety, and welfare. The subject property is zoned C2 Neighborhood Corridor Commercial District. Staff finds that the applicant the proposed area and height of the projecting sign would lead to sign clutter. Further, it would have limited visibility from the north because it would be inset from the street. Signage is already allowed on all sides of the building, except the wall directly adjacent to the alley. Staff believes that the proposed sign would be in keeping with the purpose of the zoning district if it were designed to not exceed a height of two feet above the roof line or 20 square feet in area in area.

2. *The sign adjustment will allow a sign that relates in size, shape, materials, color, illumination and character to the function and architectural character of the building or property on which the sign will be located.*

**Both variances:** It is staff's opinion that the signs will relate in size, shape, material, color, illumination and character of the building on the property. The signs will be professionally installed with quality materials. The proposed sign would have an aluminum tube frame structure with red internally lit channel letters that read "CO OP." However, the sign could be redesigned to comply with the size and height requirements.

## SITE PLAN REVIEW

The Department of Community Planning and Economic Development has analyzed the application based on the required [findings](#) and [applicable standards](#) in the site plan review chapter:

### I. Conformance to all applicable standards of Chapter 530, Site Plan Review.

#### **Building Placement and Design** – *Requires alternative compliance and a variance*

- The placement of the building reinforces the street wall, facilitates pedestrian access, and maximizes natural surveillance. The first floor of the building is located adjacent to or within eight feet of the front lot line on both Central Avenue NE and 26<sup>th</sup> Avenue NE.
- The area between the building and lot line and Central would contain additional sidewalk space, tables, and seating in the areas where the building is set back approximately five feet. The area between the building and curb would contain street trees and bicycle parking spaces. The building addition would add a principal entrance which oriented toward the front lot line along Central Avenue NE.
- The walls of the addition contain walls and doors to break the building into smaller, identifiable sections.
- A 38-foot wide wall with insufficient architectural detail is proposed on the east building wall of the addition. Alternative compliance is requested.
- All sides of the building would be compatible with and similar to each other.
- The exterior materials of the building addition would be primarily composed of Nichiha fiber cement panels. The applicant is also proposing to add a layer of thin brick to the north and west elevations of the existing building over the existing painted concrete masonry units. The wall directly adjacent to the alley will remain painted concrete block. All sides of the addition would

be compatible. The brick veneer will improve the appearance of the existing building and make it compatible with the addition. Plain face concrete block is not proposed as an exterior material on the addition.

- Thirty percent of the walls on the ground floor of non-residential uses facing a public street, sidewalk, or on-site parking lot are required to be clear or lightly tinted windows as measured between two and ten feet above the adjacent grade, and located no more than four feet above the adjacent grade. As shown in **Table I**, the west and south elevations meet the minimum window requirement, but the north and east elevations do not. The applicant is proposing window modifications to the north (26<sup>th</sup> Avenue NE) building wall which would result in a total window area of 10 percent, which does not meet the 30 percent site plan review standard or the 40 percent PO overlay district standard. The east elevation facing the parking area also does not appear to meet the minimum window requirement of 30 percent. Alternative compliance is requested for the window requirement on the north and east elevations, and a variance is also required for the north elevation.
- The windows are vertical in nature and are evenly distributed along the building walls.
- The plans do not indicate if the windows are clear or tinted, the visible light transmittance ratio, or the height of the fixtures adjacent to the required windows. The windows will need to comply with these requirements and the height of the fixtures will need to be identified on the final plans.
- One-hundred percent of the building frontage along Central Avenue NE and 54 percent (94 feet) of the building frontage along 26<sup>th</sup> Avenue NE contain active functions, meaning that they do not contain parking, loading, storage, or mechanical equipment rooms. The site plan review chapter limits non-active functions to 30 percent. Since more than 30 percent of the 26<sup>th</sup> Avenue NE elevation contains non-active functions (46 percent), this item requires alternative compliance.
- The pitch of the roof line of the building addition will be flat to match the existing building. The majority of the commercial buildings in the area have flat roofs and the majority of the single-family homes in the area have pitched roofs.

**Table I. Percentage of Windows Required for Elevations Facing a Public Street, Sidewalk, Pathway, or On-Site Parking**

	Code Requirement		Proposed	
	Percentage	Area (sq. ft.)	Percentage	Area (sq. ft.)
West elevation: Central Avenue NE	40% minimum	493 sq. ft.	57%	706 sq. ft.
North elevation: 26 <sup>th</sup> Avenue NE	40% minimum	560 sq. ft.	10%	135 sq. ft.
South elevation facing parking area	30% minimum	408 sq. ft.	37%	509 sq. ft.
East elevation facing parking area	30% minimum	156 sq. ft.	25%	132 sq. ft.

**Access and Circulation – Requires alternative compliance**

- All of the principal entrances leading into and out of the building are connected to the public sidewalk either directly or via a walkway.
- No transit shelters are proposed as part of this development.
- Vehicular access and circulation has not been designed to minimize conflicts with pedestrian traffic and surrounding residences. There are currently three curb cuts serving the site and all are located along Central Avenue NE. The applicant is proposing to consolidate the number of curb cuts on Central to two and is proposing to add one additional curb cut on the east side of the site. The curb cut would provide access to the adjacent residential alley. CPED staff finds that this would increase vehicular conflicts with surrounding residential uses. Furthermore, section 530.150 states that residential alley access shall be prohibited for any non-residential use

over 4,000 square feet. The proposed building would be 17,823 square feet in area. Alternative compliance is requested.

- Service access is designed for all maneuvering to occur on-site and not conflict with pedestrian traffic.
- There is no maximum impervious surface requirement in the C2 district. The site plan would reduce the impervious surface area on the site from 45,341 square feet (92.6 percent of the site) to 44,952 square feet (91.8 percent of the site).

#### **Landscaping and Screening – Requires alternative compliance**

- The composition and location of landscaped areas complement the scale of the development and its surroundings.
- The zoning code requires that at least 20 percent of the site not occupied by buildings be landscaped. The lot area of the site is 48,959 square feet and the building footprint is 17,823 square feet. The difference is 31,136 square feet, and 20 percent of this number is 6,227 square feet. The applicant is proposing approximately 4,008 square feet of landscaping on the site, or approximately 13 percent of the site not occupied by the building. This item requires alternative compliance.
- The zoning code requires that the site contain at least one canopy tree per 500 square feet of required green space and at least 1 shrub for each 100 square feet of required green space. The tree requirement for this site is 13 and the shrub requirement is 63. The applicant is providing a total of 12 (8 new, 4 existing) canopy trees and 78 shrubs on-site, as well as a variety of perennials and grasses. The applicant is also proposing new canopy trees and other landscape materials in the right-of-way along both Central Avenue Northeast and 26<sup>th</sup> Avenue Northeast. The applicant would need to provide one additional canopy tree on-site to comply with the ordinance, so this item requires alternative compliance.
- All areas not occupied by buildings, parking, and loading areas contain landscaping.
- The site contains a surface parking area with 61 spaces. The parking lot frontages along the west (Central Avenue NE) and east (alley) property lines are required to contain a landscaped yard of at least seven feet in width. The applicant is proposing to provide a landscaped yard of approximately 17 feet and 10.5 feet along the west parking lot frontage, which exceeds the minimum of seven. On the east side of the site, the applicant is proposing to provide an on-site landscaped yard of approximately 4.5 feet and 7 feet along the alley and 22 feet wide landscaped area in the southeast corner. The portion that is 4.5 feet wide is the existing landscaped yard in this area. Alternative compliance is requested.
- The zoning code requires that a six-foot screen that is at least 95 percent opaque be provided between parking areas and adjacent residential uses, and a three foot tall screen that is 60 percent opaque be located between the parking area and an adjacent street. The applicant is providing a 3.5 foot tall steel, decorative fence along the west and south property lines that would match the existing decorative fencing along Central Avenue NE. The applicant is proposing a combination of bollards and chains along the east parking area and is not proposing a fence in this location. The landscaped materials along the east parking frontage would not reach at least six feet in height in combination with any proposed fencing, so alternative compliance is requested.
- The corners of the surface parking area contain landscaping.
- The parking area contains 61 vehicle parking spaces and is subject to the requirement that no parking space may be more than 50 feet from an on-site deciduous tree. The development meets this requirement.
- Surface parking areas are required to have no less than one tree per each 25 linear feet of parking or loading area frontage. This requirement applies to the west parking lot frontage. The

west parking lot frontage is required to have three canopy trees and there are zero canopy trees proposed. Alternative compliance is requested for the linear tree requirement.

**Table 2. Landscaping and Screening Requirements**

	<b>Code Requirement</b>	<b>Proposed</b>
<b>Lot Area</b>	--	48,959 sq. ft.
<b>Building footprint</b>	--	17,823 sq. ft.
<b>Remaining Lot Area</b>	--	31,136 sq. ft.
<b>Landscaping Required</b>	6,227 sq. ft.	4,008 sq. ft.
<b>Canopy Trees (1: 500 sq. ft.)</b>	13 trees	12 trees
<b>Shrubs (1: 100 sq. ft.)</b>	63 shrubs	78 shrubs

**Additional Standards – Meets requirements**

- Discontinuous curbing is proposed at the center landscape island adjacent to Central Avenue to allow for some on-site infiltration of stormwater. The remainder of the parking area will be defined by 6 inch by 6 inch continuous concrete curbing. The applicant is proposing to install an on-site infiltration basin on the west side of the parking area to improve stormwater management.
- The proposed building would not block views of important elements of the city, and would be located and arranged to minimize shadowing on public spaces and adjacent properties and to minimize the generation of wind currents at ground level.
- There will be exterior lights located on the street side of the building as well as wall lights attached to the north and west sides of the building. Staff is recommending that additional windows be provided on the north building elevation to allow views into and out of the building at eye level and to increase opportunities for natural surveillance.
- The existing building is not historically designated and the site is not located within a historic district.

**2. Conformance with all applicable regulations of the zoning ordinance.**

The proposed use is *permitted* in the C2 Neighborhood Corridor Commercial District.

**Off-street Parking and Loading – Meets requirements**

- The off-street vehicle and bicycle parking requirements, as well as the loading requirements for the site, are calculated based on the gross floor area of the proposed use, which is a grocery store. The gross floor area that is proposed is 17,823 square feet. The applicant’s site plan complies with the parking and loading requirements in Chapter 541.
- The applicant is proposing to provide 61 vehicle parking spaces, 30 bicycle parking spaces, and one large loading space. Of the vehicle parking spaces, 45 are standard size, 13 are compact, and 3 are accessible.

**Table 3. Vehicle Parking Requirements Per Use (Chapter 54I)**

	Minimum Parking	Applicable Reductions	Total Minimum	Maximum Allowed	Applicable Reductions	Total Maximum	Proposed
<b>Grocery store</b>	28	PO District (25%) = 7	21	90	PO District (25%) = 23	67	<b>61</b>

**Table 4. Bicycle Parking and Loading Requirements (Chapter 54I)**

	Minimum Bicycle Parking	Minimum Short-Term	Proposed	Loading Requirement	Proposed
<b>Grocery store</b>	4	Not less than 50% (2)	30	1 large loading space	1 large loading space

**Building Bulk and Height – Meets requirements**

- The proposed building would have 17,823 square feet in gross floor area and would be 16 feet-6 inches at its tallest point. The development would be well within the allowed bulk and height requirements of the C2 zoning district.
- The retail space would not be more than 20,000 square feet in area.

**Table 5. Building Bulk and Height Requirements**

	Code Requirement	Proposed
<b>Lot Area</b>	--	48,959 sq. ft. / 1.12 acres
<b>Gross Floor Area (GFA)</b>	--	17,823 sq. ft.
<b>Maximum Floor Area Ratio (GFA/Lot Area)</b>	1.7	0.4
<b>Maximum Building Height</b>	4 stories or 56 feet, whichever is less	16 ft.-6 inches

**Residential Lot Requirements – Not applicable**

**Yard Requirements – Meets requirements**

- In general, uses in commercial districts are not subject to minimum yard requirements. As the lot is adjacent to a the R5 Multiple-Family district to the east, it is subject to a 15 foot setback for the first 25 feet away from the residential district. The proposed setback is 0 feet from the front property line, but this condition is existing and no change is proposed. Therefore, the development meets all yard requirements.

**Table 7. Minimum Yard Requirements**

	<b>Zoning District</b>	<b>Proposed</b>
<b>Front</b> (West)	0 ft.	0 ft.
<b>Front</b> (North)	15 ft. for first 25 feet	0 ft. (no change proposed)
<b>Interior Side</b> (South/adjacent to C1)	0 ft.	5 ft.
<b>Rear</b> (East)	0 ft.	8 ft.

**Signs – Requires variance(s)**

- Signs are subject to Chapter [543](#) of the Zoning Code.
- In the C2 zoning district, buildings are allowed to have 1.5 square feet of signage for each linear foot of the primary building wall if there is no freestanding sign on the same zoning lot. The primary building wall along Central Avenue North is 154 feet-7 inches long, so the west (Central Avenue NE) wall is allowed 231.87 square feet of total sign area. The north wall would be allowed a total of 262.5 square feet of signage, the south wall is allowed to have a total of 255 square feet of signage, and the east wall facing the parking area would be allowed a total of 93 square feet of signage.
- A variance is required for the proposed area of the projecting sign on Central Avenue. The zoning code permits projecting signs in the C2 district to have a maximum of 20 square feet in area and the applicant is proposing a projecting sign of 47 square feet in area. This request requires a variance, which has been evaluated earlier in this report.
- All five signs would be externally lit to meet the lighting requirements in Chapter 543.
- A projecting sign may not extend outward from the building more than four feet. The proposed projecting sign extends 3.5 feet from the building, which meets the zoning code requirements.
- Per section 543.410 of the zoning code, a projecting sign may extend up to two feet per story, but no more than ten feet above the roof line. Under this requirement, the proposed sign is allowed to extend two feet above the roof line. The proposed sign extends approximately 7 feet-2 inches above the roof line and requires a variance to increase the height of the projecting sign above the roof line.

**Table 8. Signage Summary**

	<b>Number Allowed Per Zoning Lot</b>	<b>Proposed Number</b>	<b>Maximum Area Per Sign</b>	<b>Proposed Area</b>	<b>Maximum Allowed Height</b>	<b>Proposed Height</b>
Projecting (Central Ave)	No limit within size allocation	1	20 sq. ft.	47 sq. ft.	28 ft.	24'-7" ft.
Attached (Central Ave)	No limit within size allocation	1	180 sq. ft.	68 sq. ft.	28 ft.	13'-2" ft.
Attached (South Elevation)		1	180 sq. ft.	20 sq. ft.	28 ft.	13'-4" ft.
Attached (East Elevation)		1	180 sq. ft.	36 sq. ft.	28 ft.	14'-0" ft.
Attached (26 <sup>th</sup> Avenue)		1	180 sq. ft.	36 sq. ft.	28 ft.	18'-0" ft.
<b>Total</b>		<b>5</b>		<b>207 sq. ft.</b>		

**Dumpster Screening** – *Meets requirements*

- The refuse storage area would be located along the alley side of the building and would be covered and screened with an opaque fence. The specific screening materials will need to be identified on the final plans.

**Screening of Mechanical Equipment** – *Not applicable*

- No exterior mechanical equipment is identified on the plans. If equipment is proposed at a later date, it is subject to the screening requirements of Chapter [535](#) and district requirements.

**Lighting** – *Meets requirements with Conditions of Approval*

- The applicant has submitted a lighting plan showing footcandles. As proposed, the lighting plan shows that the closest property line of the residential properties to the east would receive illumination in excess of ½ footcandles in some areas. The applicant shall be required to submit a lighting plan showing compliance with the requirements of Chapter 535, Regulations of General Applicability.

**Impervious Surface Area** – *Not applicable*

**Specific Development Standards** – *Not applicable*

- Chapter 536 contains the following development standard for grocery stores. This standard does not apply to the current review of this land use application:

*The premises, all adjacent streets, sidewalks and alleys, and all sidewalks and alleys within one hundred (100) feet shall be inspected regularly for purposes of removing any litter found thereon.*

**PO Pedestrian Oriented Overlay District Standards** – *Requires variance(s)*

- The proposal requires three variances of the PO Pedestrian Oriented Overlay District standards, as described in detail in the previous sections. The proposal is otherwise in compliance with the PO district standards.

**3. Conformance with the applicable policies of The Minneapolis Plan for Sustainable Growth.**

*The Minneapolis Plan for Sustainable Growth* identifies the site as Mixed Use on the future land use map. With the adoption of the staff recommendation, the proposed development is consistent with the following principles and policies outlined in the comprehensive plan:

**Land Use Policy 1.4: Develop and maintain strong and successful commercial and mixed use areas with a wide range of character and functions to serve the needs of current and future users.**

- 1.4.2 Promote standards that help make commercial districts and corridors desirable, viable, and distinctly urban, including: diversity of activity, safety for pedestrians, access to desirable goods and amenities, attractive streetscape elements, density and variety of uses to encourage walking, and architectural elements to add interest at the pedestrian level.

- I.4.4 Continue to encourage principles of traditional urban design including site layout that screens off-street parking and loading, buildings that reinforce the street wall, principal entrances that face the public sidewalks, and windows that provide “eyes on the street.”

**Land Use Policy I.5: Promote growth and encourage overall city vitality by directing new commercial and mixed use development to designated corridors and districts.**

- I.5.2 Facilitate the redevelopment of underutilized commercial areas by evaluating possible land use changes against potential impacts on the surrounding neighborhood.
- I.5.3 Promote the preservation of traditional commercial storefronts wherever feasible.

**Land Use Policy I.10: Support development along Commercial Corridors that enhances the street’s character, fosters pedestrian movement, expands the range of goods and services available, and improves the ability to accommodate automobile traffic.**

- I.10.2 Encourage commercial development, including active uses on the ground floor, where Commercial Corridors intersect with other designated corridors.

**Land Use Policy I.12: Support Activity Centers by preserving the mix and intensity of land uses and by enhancing the design features that give each center its unique urban character.**

- I.12.1 Encourage a variety of commercial and residential uses that generate activity all day long and into the evening.
- I.12.3 Encourage active uses on the ground floor of buildings in Activity Centers.

**Urban Design Policy 10.16: Design streets and sidewalks to ensure safety, pedestrian comfort and aesthetic appeal.**

- 10.16.1 Encourage wider sidewalks in commercial nodes, activity centers, along community and commercial corridors and in growth centers such as Downtown and the University of Minnesota.
- 10.16.2 Provide streetscape amenities, including street furniture, trees, and landscaping, that buffer pedestrians from auto traffic, parking areas, and winter elements.
- 10.16.3 Integrate placement of street furniture and fixtures, including landscaping and lighting, to serve a function and not obstruct pedestrian pathways and pedestrian flows.
- 10.16.4 Employ pedestrian-friendly features along streets, including street trees and landscaped boulevards that add interest and beauty while also managing storm water, appropriate lane widths, raised intersections, and high-visibility crosswalks.

**Urban Design Policy 10.18: Reduce the visual impact of automobile parking facilities.**

- 10.18.1 Require that parking lots meet or exceed the landscaping and screening requirements of the zoning code, especially along transit corridors, adjacent to residential areas, and areas of transition between land uses.
- 10.18.2 Parking lots should maintain the existing street face in developed areas and establish them in undeveloped areas through the use of fencing, walls, landscaping or a combination thereof along property lines.

- 10.18.3 Locate parking lots to the rear or interior of the site.
- 10.18.4 Provide walkways within parking lots in order to guide pedestrians through the site.
- 10.18.17 Minimize the width of ingress and egress lanes along the public right of way in order to provide safe pedestrian access across large driveways.

The proposed development would appropriately support an active commercial presence along a Commercial Corridor and within an Activity Center, as outlined in the comprehensive plan. The applicant is proposing facade, sidewalk, and site improvements to enhance pedestrian comfort and aesthetic appeal. Staff is recommending additional parking lot improvements to ensure compatibility with the surrounding uses.

#### **4. Conformance with applicable development plans or objectives adopted by the City Council.**

The site has been included for study in the Central Avenue Small Area Plan, the Audubon Park Neighborhood Small Area Plan, and the Lowry Avenue Corridor Plan.

The Central Avenue Small Area Plan (2008) identifies the corridor between 18<sup>th</sup> Avenue NE and 31<sup>st</sup> Avenue NE as Northeast's commercial core and downtown, which includes the subject site. The plan encourages signage and façade improvements for existing businesses. It acknowledges that larger redevelopment projects would be likely to occur in the area over time that require site acquisition. The plan also identifies the Activity Center at Lowry Avenue NE as a key area for intensified land use to make the area a regional destination. The proposed improvements at the Eastside Food Co-op site would include all of these above recommendations and improvements.

The Audubon Park Neighborhood Small Area Plan (2008) encourages an increase in retail and commercial development along the Central Avenue Commercial corridor and within the Activity Center at Lowry and Central. The proposed project would comply with these recommendations.

The Lowry Avenue Corridor Plan (2002) mostly addresses transportation facility improvement, but briefly mentions the Central/Lowry node, which is a block south of the subject site. The plan identifies that redevelopment with added retail and residential uses, with accommodations for transit, are appropriate in this area to take advantage of Central's strong commercial base. The proposed project complies with the Lowry recommendation in redeveloping the site and retail space to an existing use, although no residential uses are currently proposed.

#### **5. Alternative compliance.**

The Planning Commission or zoning administrator may approve alternatives to any site plan review requirement upon finding that the project meets one of three criteria required for [alternative compliance](#). Alternative compliance is requested for the following requirements:

- **Window requirement.** Thirty percent of the walls on the ground floor of non-residential uses facing a public street, sidewalk, or on-site parking lot are required to be clear or lightly tinted windows as measured between two and ten feet above the adjacent grade, and located no more than four feet above the adjacent grade. As shown in **Table I**, the west and south elevations meet the minimum window requirement, but the north and east elevations do not. The applicant is proposing window modifications to the existing north (26<sup>th</sup> Avenue NE) building wall which would result in a total window area of 10 percent, which does not meet the 30

percent site plan review standard or the 40 percent PO overlay district standard. The east elevation facing the parking area also does not appear to meet the minimum window requirement of 30 percent. Alternative compliance is requested for the window requirement on the north and east elevations, and a variance is also required for the north elevation. Staff finds that it would be practical to require the applicant to provide no less than 20 percent windows on the north elevation and grant alternative compliance for the window requirement on the east elevation.

- **Blank walls.** A 38 foot wide wall with insufficient architectural detail is proposed on the east building wall of the addition. Although bathrooms would be located adjacent to this wall, it would not be impractical to provide architectural elements, such as clerestory windows, to prevent a wide blank wall in a highly visible location. Staff is recommending that the Planning Commission not grant alternative compliance for this standard.
- **Ground floor active functions.** One-hundred percent of the building frontage along Central Avenue NE and 54 percent (94 feet) of the building frontage along 26<sup>th</sup> Avenue NE contain active functions, meaning that they do not contain parking, loading, storage, or mechanical equipment rooms. The site plan review chapter limits non-active functions to 30 percent. Since more than 30 percent of the 26<sup>th</sup> Avenue NE elevation contains non-active functions (46 percent), this item requires alternative compliance. As an alternative, the applicant is proposing to add 35 feet of active building frontage along Central Avenue NE. Staff is recommending that the Planning Commission grant alternative compliance for this standard along the north wall.
- **Vehicular access.** Vehicular access and circulation has not been designed to minimize conflicts with pedestrian traffic and surrounding residences. There are currently three curb cuts serving the site and all are located along Central Avenue NE. The applicant is proposing to consolidate the number of curb cuts on Central to two and is proposing to add one additional curb cut on the east side of the site. The curb cut would provide access to the adjacent residential alley. CPED staff finds that this would increase vehicular conflicts with surrounding residential uses. Furthermore, section 530.150 states that residential alley access shall be prohibited for any non-residential use over 4,000 square feet in area. The proposed building would be 17,823 square feet in area. Alternative compliance is requested. Staff is recommending that the Planning Commission require closure of the curb cut adjacent to the alley in order to comply with this standard.
- **Landscaped area.** The zoning code requires that at least 20 percent of the site not occupied by buildings be landscaped. The lot area of the site is 48,959 square feet and the building footprint is 17,823 square feet. The difference is 31,136 square feet, and 20 percent of this number is 6,227 square feet. The applicant is proposing approximately 4,008 square feet of landscaping on the site, or approximately 13 percent of the site not occupied by the building. This item requires alternative compliance. The applicant is proposing to install a decorative, metal fence along the west and south property lines which would be similar to other fences that have been installed in parking lots adjacent to Central Avenue and Lowry Avenue in the nearby area. Staff is recommending that alternative compliance be granted for this provision given that the applicant is proposing the decorative metal fence along the west and south property lines that would be compatible with nearby properties.
- **Canopy trees.** The zoning code requires that the site contain at least one canopy tree per 500 square feet of required green space and at least 1 shrub for each 100 square feet of required green space. The tree requirement for this site is 13 and the shrub requirement is 63. The applicant is providing a total of 12 canopy trees and 78 shrubs on-site, as well as a variety of perennials and grasses. The applicant is also proposing new canopy trees and other landscape materials in the right-of-way along both Central Avenue Northeast and 26<sup>th</sup> Avenue Northeast. The applicant would need to provide one additional canopy tree on-site to comply with the ordinance, so this item requires alternative compliance. Staff finds that it would be practical to

require the applicant to provide at least one additional canopy tree on the site in order to comply with the minimum canopy tree requirement.

- **Landscaped yard.** The site contains a surface parking area with 61 spaces. The parking lot frontages along the west (Central Avenue NE) and east (alley) property lines are required to contain a landscaped yard of at least seven feet in width. The applicant is proposing to provide a landscaped yard of approximately 17 feet and 10.5 feet along the west parking lot frontage, which exceeds the minimum of seven. On the east side of the site, the applicant is proposing to provide an on-site landscaped yard of approximately 4.5 feet and 7 feet along the alley and 22 feet wide landscaped area in the southeast corner. Alternative compliance is requested. As the portion that is 4.5 feet wide is an existing condition, staff finds that it would be reasonable to grant alternative compliance for this standard for the existing portion of the landscaped yard.
- **Screening.** The zoning code requires that a six-foot screen that is at least 95 percent opaque be provided between parking areas and adjacent residential uses, and a three foot tall screen that is 60 percent opaque be located between the parking area and an adjacent street. The applicant is providing a 3.5 foot tall steel, decorative fence along the west and south property lines that would match the existing decorative fencing along Central Avenue NE. The applicant is proposing a combination of bollards and chains along the east parking area and is not proposing a fence in this location. The landscaped materials along the east parking frontage would not reach at least six feet in height in combination with any proposed fencing, so alternative compliance is requested. Staff finds that it would be practical to require compliance with the screening requirement by providing additional fencing, a hedge, or combination thereof along the east parking lot frontage areas to meet the screening requirements.
- **Linear tree requirement.** Surface parking areas are required to have no less than one tree per each 25 linear feet of parking or loading area frontage along a public street. This requirement applies to the west parking lot frontage. The west parking lot frontage is required to have three canopy trees and there are zero canopy trees proposed. Alternative compliance is requested for the linear tree requirement. Alternative compliance is requested for the linear tree requirement. There are currently three off-site canopy trees located in the public right-of-way next to the building wall along 26<sup>th</sup> Avenue NE. There are also two canopy trees located in the right-of-way along Central Avenue NE and the applicant is proposing to add two more. Staff finds that the trees that are proposed on or adjacent to the site meet the intent of the ordinance and recommends granting alternative compliance for these items.

## FOR REZONINGS ONLY

### ZONING PLATE NUMBER. 10

### LEGAL DESCRIPTION.

Tract 1

Lots 21 and 22, Block 10, Menage's Supplement to East Side Addition to Minneapolis, Hennepin County, Minnesota.

Abstract

[2529 Central (Love Lines Parking, lot 21) - 12-029-24-23-0129]

[2535 Central (Love Lines Building, lot 22) - 12-029-24-23-0130]

## RECOMMENDATIONS

### **Recommendation of the Department of Community Planning and Economic Development for the Rezoning:**

The Department of Community Planning and Economic Development recommends that the City Planning Commission and City Council adopt the above findings and **approve** the rezoning petition to change the zoning classification at the properties located at 2529 and 2535 Central Avenue Northeast from the C1 Neighborhood Commercial District to the C2 Neighborhood Corridor Commercial District.

### **Recommendation of the Department of Community Planning and Economic Development for the Variance:**

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the application for a variance to reduce the minimum window requirement below 40 percent along 26th Avenue Northeast in the PO Pedestrian Oriented Overlay District at the properties located at 2529-2551 Central Avenue Northeast.

### **Recommendation of the Department of Community Planning and Economic Development for the Variance:**

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the application for a variance to increase the maximum allowed parking lot frontage along Central Avenue Northeast from 60 feet to approximately 110 feet in the PO Pedestrian Oriented Overlay District at the properties located at 2529-2551 Central Avenue Northeast.

### **Recommendation of the Department of Community Planning and Economic Development for the Variance:**

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the application for a variance to replace an existing one-story building with a surface parking lot in the PO Pedestrian Oriented Overlay District at the properties located at 2529-2551 Central Avenue Northeast, subject to the following conditions:

### **Recommendation of the Department of Community Planning and Economic Development for the Variance:**

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **deny** the application for a variance to increase the maximum allowed area for a projecting sign in the C2 Neighborhood Corridor Commercial District from 20 square feet to 47 square feet at the properties located at 2529-2551 Central Avenue Northeast.

### **Recommendation of the Department of Community Planning and Economic Development for the Variance:**

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **deny** the application for a variance to increase the maximum allowed height of a projecting sign from two feet above the roof line to 7 feet-2 inches above the roof line at the properties located at 2529-2551 Central Avenue Northeast.

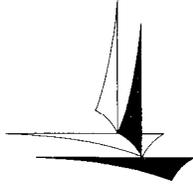
**Recommendation of the Department of Community Planning and Economic Development for the Site Plan Review:**

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt the above findings and **approve** the site plan review application to allow a 5,835 square foot addition to an existing commercial building at the properties located at 2529-2551 Central Avenue Northeast, subject to the following conditions:

1. Approval of the final site, elevation, floor, fixture, landscaping, and lighting plans by CPED.
2. All site improvements shall be completed by October 3, 2016, unless extended by the zoning administrator, or the permit may be revoked for non-compliance.
3. The applicant shall submit a revised lighting plan showing compliance with Chapter 535, General Rules of Applicability.
4. All signs shall comply with Chapter 541 of the Zoning Code. All new signage requires a separate permit from CPED.
5. The east wall of the addition facing the parking lot shall contain architectural elements to prevent a blank wall exceeding 25 feet in width as required by section 530.120 of the zoning code.
6. The 26<sup>th</sup> Avenue Northeast elevation shall contain no less than 20 percent windows that meet the height, transmittance, and other requirements contained in section 530.120 of the zoning code.
7. The curb cut to the public alley along the east property line shall be eliminated.
8. The applicant shall provide no fewer than one additional canopy tree on-site in a required landscaped yard to comply with the minimum tree and shrub requirement.
9. The applicant shall comply with the screening requirements along both the west and east parking frontage areas per section 530.160 of the zoning code.

**ATTACHMENTS**

1. PDR Report
2. Written description and findings submitted by applicant
3. Rezoning matrix
4. Zoning map
5. Survey
6. Plans
7. Building elevations
8. Renderings
9. Photos
10. Oblique aerials



Minneapolis Development Review  
 250 South 4<sup>th</sup> Street  
 Room 300  
 Minneapolis, MN 55415

## Preliminary Development Review Report

Development Coordinator Assigned: **DONALD ZART**  
**(612) 673-2726**  
**don.zart@minneapolismn.gov**

<b>Status *</b>
<b>RESUBMISSION REQUIRED</b>

<b>Tracking Number:</b>	PDR 1001204
<b>Applicant:</b>	EASTSIDE FOOD CO-OP 2551 CENTRAL AVE NE MINNEAPOLIS, MN 55418
<b>Site Address:</b>	2551 CENTRAL AVE NE 2535 CENTRAL AVE NE 2543 CENTRAL AVE NE 2539 CENTRAL AVE NE 2529 CENTRAL AVE NE
<b>Date Submitted:</b>	28-MAY-2014
<b>Date Reviewed:</b>	06-JUN-2014

### Purpose

The purpose of the Preliminary Development Review (PDR) is to provide Customers with comments about their proposed development. City personnel, who specialize in various disciplines, review site plans to identify issues and provide feedback to the Customers to assist them in developing their final site plans.

The City of Minneapolis encourages the use of green building techniques. For additional information please check out our green building web page at: [http://www.ci.minneapolis.mn.us/mdr/GreenBuildingOptions\\_home.asp](http://www.ci.minneapolis.mn.us/mdr/GreenBuildingOptions_home.asp).

**DISCLAIMER:** *The information in this review is based solely on the preliminary site plan submitted. The comments contained in this report are preliminary ONLY and are subject to modification.*

### Project Scope

Proposed 5,337 sq ft single story addition along central. Associated site improvements.

### Review Findings (by Discipline)

#### Zoning - Planning

- Based on staff's preliminary review, the following land use applications have been identified:

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\*Approved: You may continue to the next phase of developing your project.  
 \*Resubmission Required: You cannot move forward or obtain permits until your plans have been resubmitted and approved.

- Petition to rezone the properties at 2529-2535 Central Avenue NE from the C1 Neighborhood Commercial District to the C2 Neighborhood Corridor Commercial District (Section 535.210).
- Variance to reduce the minimum required windows at eye level on the 26th Avenue NE façade below 40 percent in the PO Pedestrian Oriented Overlay District (Section 551.20). The percentage of windows between 2 and 10' is being reduced compared to the existing façade.
- Variance to increase the maximum allowed parking lot exposure along the Central Ave NE street frontage from 60 feet to approximately 110 feet in the PO Pedestrian Oriented Overlay District (Section 551.140).
- Variance to reduce the number of existing stories from one to zero in the PO Pedestrian Oriented Overlay District (Section 551.170).
- Site plan review (Section 530.30).
- The applicant is requesting alternative compliance for the following Site Plan Review standards (Chapter 530). The applicant should attempt to minimize the number of alternative compliance items in their land use application and address why they are requesting each item:
  - Parking shall be located to the rear or interior to the site, within the principal building, or entirely below grade.
  - Blank, uninterrupted walls shall not exceed 25 feet in length. There is a blank wall exceeding 25' on the north elevation.
  - Vehicular access/circulation shall be designed to minimize conflicts with pedestrian traffic and with surrounding residential uses. Curb cuts for vehicles shall be consolidated wherever possible.
  - Parking and loading abutting or across an alley from a residence district shall provide a 7-foot wide landscaped yard with screening at least 95% opaque as specified in section 530.160(b). The current landscaped area is 5 feet wide in the existing area and the screening does not appear to meet Site Plan Review standards.
  - Windows - 30% of the walls on the first floor of non-residential uses shall be windows. This requirement is not met on the 26th Avenue NE façade. Please reference Section 530.120 of the Site Plan Review chapter.
  - Landscaping -6,327 square feet of the site is required to be landscaped. The applicant is proposing 3,989 square feet of landscaping.
  - If parking lot >10 spaces, no parking shall be more than 50 feet from on-site deciduous tree. The parking stalls in the northern section of the site do not appear to meet this requirement as proposed.
  - Trees - a minimum of 13 canopy trees shall be provided on-site. A canopy tree is defined as a deciduous tree that commonly grows to a mature height of 35 feet.
- Staff would like the applicant to address the following items on the plans:
  - Please indicate the material of the proposed fence and its location on the site
  - Please indicate the height of shelving on the floor plan so that staff can verify the views in and out of windows at ground level.
  - Please specify the location of mechanical equipment.
  - Please provide a materials board with your land use application. Also provide a table on your elevations indicating the approximate final percentage of each material on each façade.
  - Where is the painted block located?
  - Thin brick panels are discouraged due to the visibility of seams.
  - Please describe the dumpster screening and note that gates may not swing out into the alley.
  - Please provide a signage plan with the land use application. The sign standards can be found in Chapter 543.
- Staff would like to see the following items in the revised plans and the City Planning Commission may require them as conditions of approval in addition to other potential conditions of approval:
  - Elimination of the curb cut access to the alley on the east side of the site.
- The applicant has not yet submitted a land use application and a public hearing has not been scheduled for this project.

### ❑ Addressing

- The plan as submitted meets City of Minneapolis requirements for addressing. There will not be a change in the address for the co-op.

### ❑ Parks - Forestry

- Contact Paul Martinson (612-499-9209) regarding removal or protection of trees during construction in the city right of way.
- Due to the existing structure that is being removed, with total square footage larger than the proposed addition, this project will not trigger a Park Dedication Fee.

### ❑ Right of Way

- An encroachment permit shall be required for all streetscape elements in the Public right-of-way such as: plants & shrubs, planters, tree grates and other landscaping elements, sidewalk furniture (including bike racks and bollards), and sidewalk elements other than standard concrete walkways such as pavers, stairs, raised landings, retaining walls, access ramps, and railings (NOTE: railings may not extend into the sidewalk pedestrian area). Please contact Bob Boblett at (612) 673-2428 for further information.
- Contact Paul Cao at (612) 673-2943 for position and alignment of bike racks proposed in the Public right-of-way. If the racks are privately owned, they will require an encroachment permit.

### ❑ Street Design

- All curb & gutter in the Public right-of-way shall be designed and constructed to City standards, curb & gutter to be City standard B624 Curb and Gutter. Please refer to the following: [http://www.minneapolismn.gov/publicworks/plates/public-works\\_road](http://www.minneapolismn.gov/publicworks/plates/public-works_road). Add the appropriate details from the ROAD-1000 Series - Curbs and Gutters (ROAD-1003, and ROAD-1010) to the plans. Top of Curb profiles shall be provided for any section of curb replacement in excess of 50 feet.

### ❑ Sidewalk

- Sidewalk dimensions shall be shown on the plans; the dimension of the public sidewalk width between tree grates and frames and the property line must not be less than 6 feet. Any currently defective public sidewalk or public sidewalk damaged during construction must be removed and replaced.
- ADA compliant pedestrian ramps are required at each crosswalk at the intersection of Central Ave. N.E. and 26th Ave. N.E. Construct two (2) ADA compliant pedestrian ramps at this location. Include the appropriate details and standard plates in the site plan, refer Mn/DOT Standard Plan 5-297.250 Pedestrian Curb Ramp Details at: <http://standardplans.dot.state.mn.us/stdplan.aspx>
- Boulevards areas must be restored to match existing conditions after construction; note locations of brick pavers and other existing streetscape features. Existing brick pavers shall be carefully salvaged and re-used to match existing conditions

### ❑ Traffic and Parking

- The nature of the proposed development is such that traffic impacts will be an issue; please contact Allen Klugman at (612) 673-2743 to discuss the requirements of a Travel Demand Management Plan (TDMP). It is recommended that the existing alley access point from the parking lot be closed and that the Applicant consider a single access point from Central Ave. N.E. However, further discussions should include contact with CM Kevin Reich's office.
- Current ordinance states that all maneuvers associated with deliveries, loading, parking or sanitation pick up for a private development shall occur on private property. Please provide a narrative explaining truck deliveries and trash removal operations and show turning maneuvers for all truck type vehicles that will be using the loading dock and parking entrance areas.
- Please contact Bill Prince at (612) 673-3901 regarding existing and proposed street lighting. All street lighting (existing and proposed) shall be shown clearly on the site plan.

**❑ Water**

- The plan as submitted meets the requirements of the Public Works Water Maintenance & Distribution Division.

**❑ Fire Safety**

- Provide required fire suppression protection throughout building
- Maintain fire department apparatus access at all times

**❑ Business Licensing**

- Please contact Becky Anger (612-673-2690) regarding a Health Food Plan Review as the project moves forward.

**❑ Environmental Health**

- City records indicate that two fuel tanks have been installed on the parcels involved. At 1951 Central Ave a 1,000 gallon underground storage tank (UST) for heating fuel oil tank was installed in 1950, Permit N21533. No records have been identified if the tank is still in use, been removed, abandoned-in-place or is out-of-service. Documentation on the current tank status must be submitted to environmental services. If no documentation exists a contingency plan needs to be submitted to Tom Frame ([tom.frame@minneapolismn.gov](mailto:tom.frame@minneapolismn.gov)) on actions that will be taken regarding the UST if the tank is found during these activities. At 2535 Central Ave NE city records indicate a fuel oil burner was replaced in 1958 with an existing tank, permit N25675. Documentation on the current tank status must be submitted to environmental services. If no documentation exists a contingency plan needs to be submitted to Tom Frame ([tom.frame@minneapolismn.gov](mailto:tom.frame@minneapolismn.gov)) on actions that will be taken regarding the tank if found during these activities.
- If the project will be disturbing identified impacted soils on the site preapproval for removal, disposal and/or reuse of must occur from the MCPA and the City of Minneapolis prior to beginning excavation activities. If impacted soil is encountered during site activities call the MN State Duty officer at (615) 649-5451.
- If dewatering is required during site construction see below for city permit requirements. Subgrade structures should be designed to prevent infiltration of groundwater without the need for a permanent dewatering system being installed. If a continuously operating permanent dewatering system is needed it must be approved as part of the sanitary sewer and storm drain site plan approval prior to construction beginning.
- No construction, demolition or commercial power maintenance equipment shall be operated within the city between the hours of 6:00 p.m. and 7:00 a.m. on weekdays or during any hours on Saturdays, Sundays and state and federal holidays, except under permit. Contact Environmental Services at 612-673-3867 for permit information.
- Permits and approval are required from Environmental Services for the following activities: Temporary storage of impacted soils on site prior to disposal or reuse; Reuse of impacted soils on site; Dewatering and discharge of accumulated storm water or ground water, underground or aboveground tank installation or removal, well construction or sealing. Contact Tom Frame at 612-673-5807 for permit applications and approvals.

**❑ Historical Preservation Committee**

- There is no Preservation flag on the property but the wrecking of any existing structure requires a historic review which can be made as part of the wrecking permit submittal or this review can be done ahead of time with a historic review letter.

**❑ Sewer Design**

- Stormwater Management: Please provide a copy of any geotechnical reports for the site. In the absence of field measured infiltration rates, the design infiltration rates from the MN Stormwater Manual ([http://stormwater.pca.state.mn.us/index.php/Design\\_infiltration\\_rates](http://stormwater.pca.state.mn.us/index.php/Design_infiltration_rates)) should be used for the design of the

infiltration practice. Please also update the Groundwater Information notes on Sheet C3.0 and the Preliminary Storm Water Management Report regarding groundwater.

- Please provide the stormwater modeling demonstrating the existing and proposed discharge rates.
- Please reword the portion of the Preliminary Storm Water Management Report demonstrating how the 70% TSS removal is being achieved on the site even though the entire site is not being routed through a treatment system. The statement that infiltration basins and underground infiltration systems remove 100% of all TSS that enter the system is not accurate. Please also remove the reference that runoff from roofs is "clean".
- It appears that emergency overflow of the infiltration basin is 852.65, not 852.75 as indicated on Sheet C3.0.
- An operations and maintenance plan is required for the stormwater treatment devices. The O&M plan shall define the maintenance regimen, including type and interval of maintenance and party to conduct such maintenance. Please provide a copy of the O&M Plan.
- Please add the following note to the appropriate plan sheet: The Contractor, property owner or responsible party shall contact Minneapolis Surface Waters and Sewers 48 hours prior to any excavation or construction related to or in the location of the proposed Stormwater Management BMP (Contact Paul Chellsen, 673-2406 or [paul.chellsen@minneapolismn.gov](mailto:paul.chellsen@minneapolismn.gov)).
- Please add the following note to the appropriate plan sheet: Upon the project's completion the General Contractor, Property Owner or Responsible Party shall provide to the Department of Public Works a Final Stormwater Management Report including record drawings. This report will serve as a means of verification that the intent of the approved stormwater management design has been met. This final report shall substantiate that all aspects of the original design have been adequately provided for by the construction of the project.
- Please note it may be worthwhile to verify that the proposed SAFL Baffle can be utilized with the proposed catch basin and storm sewer layout.
- For comments or questions on Public Works Surface Water & Sewers Division related requirements please contact Jeremy Strehlo, (Professional Engineer) at (612) 673-3973, or [jeremy.strehlo@minneapolismn.gov](mailto:jeremy.strehlo@minneapolismn.gov)

#### □ Construction Code Services

- Mark Access Aisle indicating "No Parking" and provide Accessible Route with min. slope per Minnesota State Accessibility Code Section(s) 402 and 502. \*\*\*Note: Outdoor seating must not obstruct accessible route\*\*\*
- Doors into Women and Men Restrooms will be required to comply with ADA Requirement for door clearance per Minnesota State Accessibility Code Section 404.
- Tempered Glazing will be required for all doors within 24" of door arc per IBC Section 2406.3
- Submit copy of SAC Determination Letter. For more information follow this link. [http://www.minneapolismn.gov/www/groups/public/@regservices/documents/webcontent/convert\\_281675.pdf](http://www.minneapolismn.gov/www/groups/public/@regservices/documents/webcontent/convert_281675.pdf)
- Soil Testing Report is required for submission if there is any geotechnical testing done on site.
- Structural Engineer's Design floor plan with seal must be submitted if retaining walls higher than 4 feet will be installed as noted on PDR plan sheet # C3.0 - General Notes, Item #9, with final construction floor plans.
- Provide landing at every exterior doors with min. slope per ADA requirement.

END OF REPORT

# Variance - Revised

## Eastside Food Co-op Expansion and Remodeling

2551 Central Avenue NE  
Minneapolis, MN

WCL  
Associates. Inc

Architecture  
Interiors

Mei-Ling Anderson  
City Planner  
City of Minneapolis  
250 South 4<sup>th</sup> Street – Room 300  
Minneapolis, Minnesota 55415

The Co-op believes the following variances are reasonable and in order. Per the PDR:

The project requires the city to approve the following land use applications:

1. Variance to reduce the minimum required windows at eye level on the 26th Avenue NE façade below 40 percent in the PO Pedestrian Oriented Overlay District (Section 551.20).  
*Response:*  
*The existing building (along 26th Avenue) has a total wall area of 1,400 sf between 2' and 10' above the floor. Of this, there is glazing of 118.4 sf (8.5%). Our PDR proposal showed glazing of 123.5 sf (8.8%). We have increased this to 211.5 sf (15.1%) thru the addition of a large window at the corner of 26<sup>th</sup> and Central. This almost doubles the glass area of the existing wall. Previously we had added a glass door with a sidelight and windows above sales floor fixtures to offset any window area loss. The new window locations and sizes are determined by the store function / fixture plan. Our building geometry is long and relatively narrow, limiting where the various departments may go. Conventional store planning has specialty departments (deli, kitchen, dairy), coolers, freezers, tall displays around the perimeter of the store so that customers can easily orient themselves with-in the space. We have located the main entry off of Central Avenue as required by the city. The 'flow / circulation' of the store is to the right. This determines the department locations with-in the space. Our dairy and kitchen are in the rear of the space. The deli and meat department are along the north wall (26<sup>th</sup> Avenue). We have self-contained coolers / freezers along the wall and frozen food freezers on the sales floor. The frozen food equipment is 7' tall. Shelving continues along the wall to the front of the store. The store isn't large enough to pull the fixtures away from the walls to allow additional glazing.*
2. Variance to increase the maximum allowed parking lot exposure along the Central Ave NE street frontage from 60 feet to approximately 110 feet in the PO Pedestrian Oriented Overlay District (Section 551.140).  
*Response:*  
*The existing makeup of the combined sites at Central Avenue is approximately 120 lineal feet of building with 155' of parking lot. This was distributed between two smaller buildings. We are proposing one larger building which will be 155' wide with 120' of parking lot. A larger building is neither warranted nor financially feasible. With the proposed design, we will be reducing the amount of parking lot frontage at Central Avenue by approximately 35'. In addition, the proposed site plan is dictated by the maneuvering clearances required for a semi-truck to service the site for deliveries.*
3. Variance to reduce the number of existing stories from one to zero in the PO Pedestrian Oriented Overlay District (Section 551.170).

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Suite 200  
St. Louis Park, Minnesota  
55416

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F. 952.541-9554

[www.wcla.com](http://www.wcla.com)

*Response:*

*The Co-op is replacing the 46' wide non-conforming, dilapidated and overgrown Love Lines structure that is 16' from the front property line. We propose a new 80' wide addition to the existing co-op that will be 5' from the property line. The total building length along Central is increased by 35'. The setback meets city requirements and will greatly enhance the urban retail aspect of the street. This is a plus to the district.*

*The only viable solution for onsite semi-truck delivery (not off of the alley or 26<sup>th</sup> Avenue) is to remove these buildings to accommodate maneuvering thru the parking lot.*

*Finally, the Co-op requires this land for customer parking. We have very limited street parking available. The bus stop on Central Avenue eliminates almost all parking there. Parking is not allowed on the south side of 26<sup>th</sup> Avenue. It can be very difficult for customers to carry their groceries any distance. We need to keep the parking as close and convenient as possible for our customers. The parking will also be used for Community Room functions. The goal is to provide adequate onsite parking for our guests.*

4. Variance to increase the height of a projecting sign from 2' to 10'-6" above the roof line and maximum area from 20 sf to 47 sf. (Section 543.410).

*Response:*

*The Co-op is proposing to reduce the size and height of their existing projecting roof signs. The two existing roof signs are internally illuminated box signs with plastic faces. These signs state 'Eastside Food Co-op', logo, 'Your Community-Owned Natural Foods Grocery Store!', 'organic produce - health products - deli' and 'open daily'. The signs are approximately 140 +/- sf, the top of which is about 15' above the roof. They are attached to a tower / fin that is 16'-4" wide x 17'-8" tall. We propose to remove the tower / fin and replaced it with an architectural signage 'element' that is an extension of the new building canopy along Central Avenue. The horizontal metal canopy will turn up 90 degrees and project vertically 10'-6" above the roof line. This is a reduction in height from the existing sign condition by about 4'-6" +/- . If you include the tower / fin height, the total reduction is 7'-2". We are proposing to reduce the signs size to 47 sf, a reduction of 93 sf or approximately one third the size of the existing sign. The new sign would be an aluminum tube frame structure with red internally lit individual channel letters.*

*We feel that by re-envisioning the projecting sign, we are maintaining the character of the building while updating the appearance. The colors, materials and styling of the sign reflect the redesign of the building and are integral to the image we are trying to accomplish with this project.*

Thank you.

Paul D. Anderson, AIA  
WCL Associates, Inc.

# Statement of Proposed Use - Revised

## Eastside Food Co-op

2551 Central Avenue NE  
Minneapolis, MN

WCL  
Associates. Inc

Architecture  
Interiors

### Background:

Eastside Food Co-op is a member owned and operated, high quality, natural foods cooperative. The Co-op serves a growing membership plus the community at large. EFC purchased the property in March of 2003. At that time, they remodeled the building and added an entrance vestibule. The Co-op opened a 4,100 sf retail grocery for business in December of 2003. There were two additional tenants in the 12,200 +/- sf building. The Co-op has been extremely well received and continues to grow sales. We are at the point where we need to expand the store in order to continue serving our community.

### Site:

The current Co-op property is 32,652 sf on the southeast corner of Central Avenue NE and 26<sup>th</sup> Avenue NE. We have a 12,215 +/- sf single story building with 37 parking stalls and 15 bike racks. Our main building entrance is off of the middle of the parking lot. There is a small garden and patio for outdoor customer seating. We have two access drives off of Central Avenue. We have no vehicular access to 26<sup>th</sup> or the alley. Internal site circulation is somewhat spacious but confusing. It is dangerous to receive semi-truck deliveries during business hours for our customers. (The site is too small to adequately receive semi-trucks). Our trash and recyclables are picked up from the alley. All water is surface drained, mostly to Central Avenue but a portion goes into the alley. Any addition on the current site would be long and narrow with negligible impact along Central Avenue.

The Co-op has purchased the 'Love Lines' property to the south. This allows us a larger more functional addition, potential expansion capabilities, and an 'enhanced' image along Central Avenue. The site would become 48,959 +/- sf. We propose a 5,835 sf 'L' shaped addition along Central Avenue and the south of the existing building. We will construct a single story addition. It will be 2'+ taller than the original building. Functionally, a two story addition does not work for the Co-op nor is it financially feasible. The new site can accommodate 61 parking stalls (8 compact, 3 handicapped), panel and semi-trailer truck deliveries, 30 bike racks. We provide outdoor seating along Central Avenue, an enlarged patio, landscape areas and a parking island. A landscape garden is to be developed adjacent the patio and office addition. A rain garden / infiltration basin will be constructed to accommodate a portion of the on site storm water. The existing trash area (off of the alley) will be covered and a six foot tall fence / gate added for screening. Access is still via two driveways off of Central Avenue (slightly relocated further south from the corner with 26<sup>th</sup> Avenue). No access is proposed from 26<sup>th</sup>. There is an existing drive aisle onto the alley ('Love Lines' property) we strongly wish to maintain for both safety and convenience. We believe this will be fully supported by the neighborhood.

Steel fencing to replicate the existing will be located along Central Avenue to help screen the parking. It will be installed in the 7' wide landscape buffer and rain garden separating the parking from the sidewalk. An 7' wide landscape buffer is provided along the alley at the expansion site. The existing 5' wide landscape buffer will remain at the original property. The

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alley landscape buffer will have decorative bollards and a chain that match the existing to further prevent vehicular access.

### **Building:**

The Co-op will occupy the entire original building. This will be totally remodeled except for a small area of the stockroom. All departments will be enlarged – grocery, produce, meat, dairy, deli, check-outs, administration, etc. to better serve our patrons. The addition will provide a new two sided customer entrance/commons, cart storage, deli seating, coffee shop, community room, staff offices, stockroom and loading dock. The main entry is being moved from the middle of the parking lot to Central Avenue with a connection to a patio we are creating for outdoor seating / events.

### **Façade:**

The existing building façade (painted concrete block) is to be covered with a thin brick veneer along both Central and 26<sup>th</sup> Avenues. New / larger windows will be added to both sides. The addition will consist of large windows, multi-colored cement board siding or stucco, and decorative awnings/shadow boxes.

The windows at 26<sup>th</sup> are to be replaced / reconfigured to accommodate the new fixture plan. (The fixture plan is driven by relocating the entrance to Central Avenue). We currently have 118.4 sf (8.5%) of window along 26<sup>th</sup>, we propose a total of 211.5 sf (15.1%) of useable window – vision glass between 2' and 10' above the floor. We will retain 59.2 sf of window that will be against equipment and will cover the glass with translucent film for a total window area of 270.7 sf (19.3%) along 26<sup>th</sup> Avenue. The proposed facade along Central is 58.1% window - 35.3% in the original building, 78.1% in the addition.

The existing sign 'fin' will be recreated at the NW corner of the building for visibility, to add interest to the building and to create a 'presence' along 26<sup>th</sup> Avenue. The existing community murals will be reused / relocated on the building.

### **Water Management:**

Currently 25% +/- of the building roof is collected via roof drain and connected to the city storm sewer. The remainder of the roof drains via scuppers onto the city sidewalk along 26<sup>th</sup> (38%) and the Co-ops parking lot (36%). The entire parking lot drains to either Central Avenue or the alley. We propose to drain 60% of the roof directly to the storm along 26<sup>th</sup>. The remaining 40% will drain onto the site. All site water is to be collected into an underground infiltration system and slowly dispersed into the soil. An overflow will allow excess water to drain onto Central Avenue.

On site snow storage is provided in the SE corner of the property adjacent the alley. This would be over a portion of the landscape area and not affect parking.

### **Site Lighting:**

All current site lighting is from the building. With the expansion, 25' tall parking lot poles with LED fixtures will be added. Designated fixtures will remain 'on' overnight to provide security. These fixtures can reduce their lumens to 20% between the hours of 10:00 pm and 7:00 am. A motion sensor will increase the light level back to 100% for a predetermined period of time with pedestrian or vehicular movement thru the parking lot. Additionally, there will be pedestrian lighting at the patio and along Central Avenue.

## **Variances:**

The Co-op seeks the following variances to allow the:

1. Addition to be a single story in order to better complement the existing structure.
  - a. The plan functions much better on a single level. The only functions that could go on a separate level may be the administrative offices and / or the community room. Staff typically does double duty as office workers and sales associates. The goal is to keep staff as close as possible to the sales floor and customers. Moving the community room upstairs disengages the space from the store and would be difficult to monitor.
  - b. A second floor would require the addition to become larger in order to accommodate two stairs and an elevator per building and accessibility codes.
  - c. A second floor would require the existing roof to be restructured to accommodate additional snow loading.
  - d. The second story adds excessive financial strain.
2. Parking lot over 60' long along Central. The parking lot has to be at least this large in order to circulate semi-truck deliveries (14 per week) and maintain functional parking. Even as shown, the truck would drive over the majority of the parking stalls while accessing the site.
3. Reduced window area along 26<sup>th</sup> Avenue (15 % instead of 40%). The existing building has 8.5%. The proposed plan / elevation will provide 15% - almost doubling the current building percentage. In order for the grocery to function properly the back of house operations are located along the north and east walls. These include the deli, kitchen, coolers, freezers, meat and dairy departments, mechanical and stockroom. Meat coolers are located tight to the north outside wall. The Co-op is adding windows above the equipment / fixtures on the sales floor. Anything below the top of the fixtures / equipment would not provide vision. Some of the existing openings will be maintained and a translucent film added to the glass because they are against coolers/freezer walls.
4. Increase the height and area of a projecting sign along Central Avenue. The proposed vertical sign is to replace the two existing 140 +/- sf internally illuminated plastic box signs on the fin wall above the roof. The fin is 17'-8" tall above the roof and 16'-4" wide. The top of the existing signs are approximately 15' +/- above the roof. These signs state '*Eastside Food Co-op*', logo, '*Your Community-Owned Natural Foods Grocery Store!*', '*organic produce - health products - del*' and '*open daily*'. As a part of the building expansion we propose to remove the fin and accompanying signage. We feel it is imperative to maintain a street presence in this location to mark the new main entry. We have incorporated the new signage into the architecture of the building. The proposed sign would be 13'-6" tall by 3'-6" wide for a total of 47.25 sf. It is 90 +/- sf smaller than just one of the existing signs. The sign will be 10'-6" above the roof line, a 4'-6" +/- reduction from the existing height. The sign would be an aluminum tube frame structure with red internally lit individual channel letters.

## **Alternative Compliance:**

1. Landscaping for the original site is 7.4%, the proposed site has 8.1% landscape.

## **Encroachments:**

The Co-op will seek encroachment permits for:

1. Landscaping
2. Awnings
3. Façade coverings.

**Commercial Districts**  
**C1**                      **C2**  
Neighborhood      Neighborhood  
Commercial          Corridor  
District                  Commercial  
                                 District

**FAR**

---

Base FAR Maximum	<b>1.70</b>	<b>1.70</b>
20% bonus for enclosed, underground or structured parking	0.34	0.34
20% bonus for 50% ground floor commercial	0.34	0.34
20% bonus for 20% affordable units	0.34	0.34
<b>Total possible FAR</b>	<b>2.72</b>	<b>2.72</b>

Required lot area per dwelling unit (sq. ft.)                      700                      700

**Possible DU Bonuses:**

---

20% bonus for enclosed, underground or structured parking	Y	Y
20% bonus for 50% ground floor commercial	Y	Y
20% bonus for 20% affordable units	Y	Y

Base building height maximum (in stories)	2.5/3	4
Maximum size of retail store (sq. ft.)	8,000	30,000
Maximum Lot Coverage	n/a	n/a
Maximum Impervious Surface Coverage	n/a	n/a

**Yard Requirements**

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Front	0	0
Interior side or rear <sup>1</sup>	5+2X <sup>2</sup>	5+2X <sup>2</sup>
Corner Side	0	0

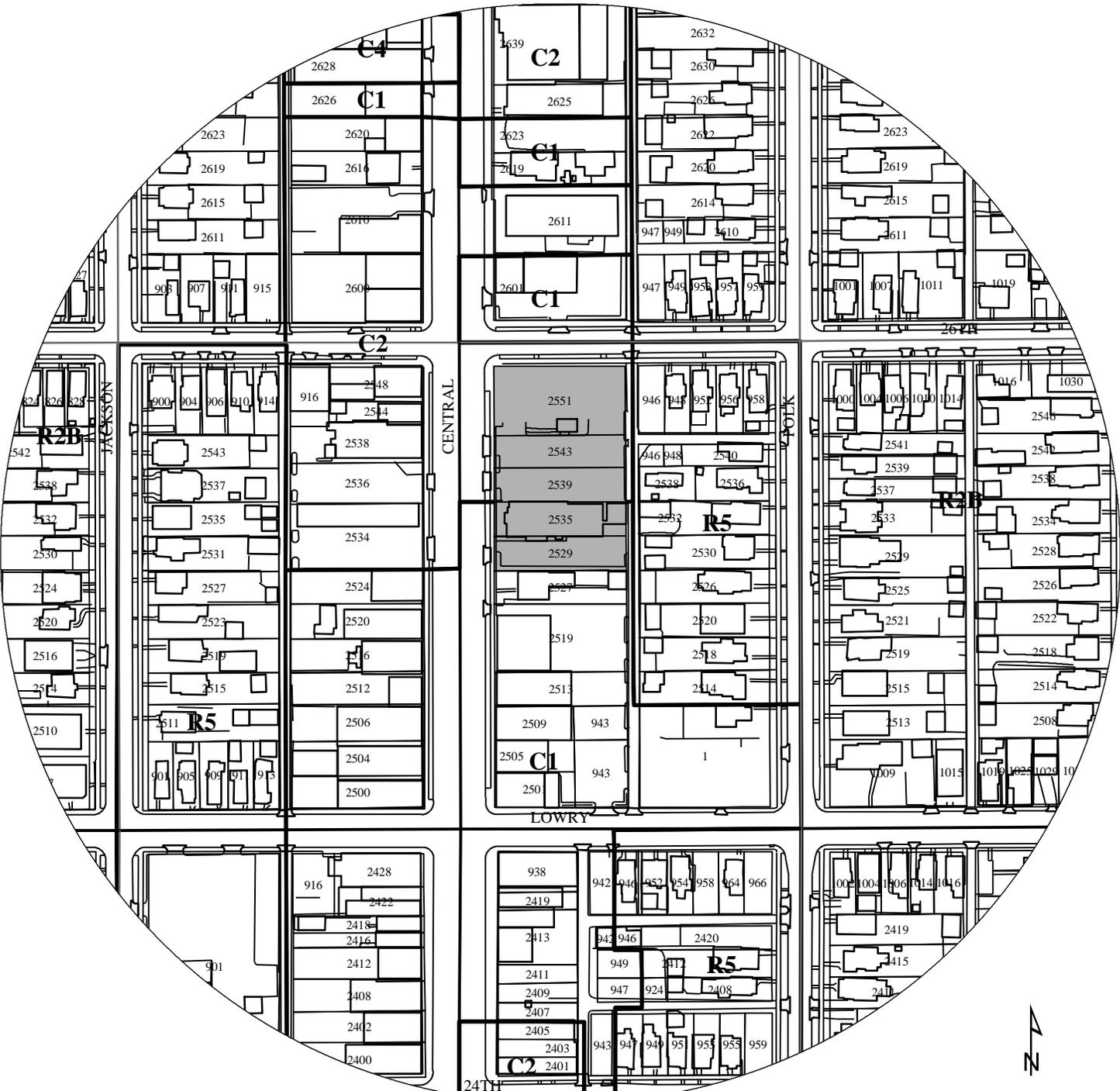
**Drive-through permitted?**    N    Y

**Notes:**

- 1 - (2X) is added for uses that are not SFDs, 2FDs, or CRFs serving 1-6 persons
- 2 - For residential uses and hotels

NAME OF APPLICANT

WARD

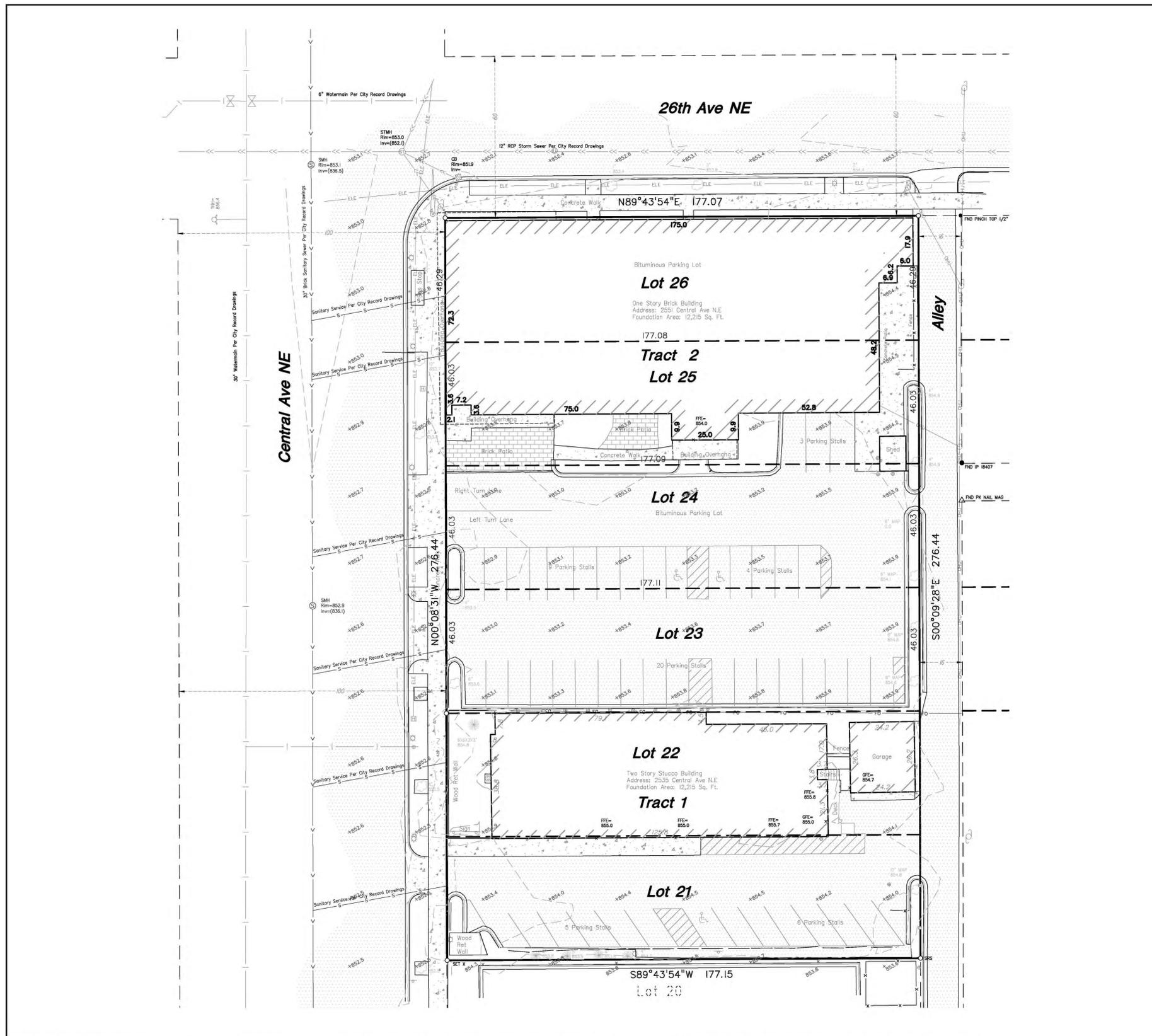


PROPERTY ADDRESS

2529-2551 Central Ave NE

FILE NUMBER

BZZ-6657



**DESCRIPTION OF PROPERTY SURVEYED**

**Tract 1**  
 Lots 21 and 22, Block 10, Menage's Supplement to East Side Addition to Minneapolis, Hennepin County, Minnesota. Abstract.

**Tract 2**  
 Lots 23 and 24, Block 10, Menage's Supplement to East Side Addition to Minneapolis, Hennepin County, Minnesota. Abstract.

Lots 25 and 26, Block 10, Menage's Supplement to East Side Addition to Minneapolis, Hennepin County, Minnesota.  
 Torrens - Certificate of Title No. 1104409.

**ALTA/ACSM OPTIONAL TABLE A NOTES**  
 (The following items reference Table A optional survey responsibilities and specifications)

- Site Address: **Tract 1** - 2535 Central Ave N.E., Minneapolis, Hennepin County, Minnesota; **Tract 2** - 2551 Central Ave, Minneapolis, Hennepin County, MN
- This property is contained in Flood Insurance Rate Map, Community Panel No. 27053C0240E, this panel is a non printed panel, which typically means that properties contained therein are not subject to flooding.
- The Gross land area is 48,959 +/- square feet or 1.123 +/- acres.
- Elevations are based on the top nut of the hydrant located in the southwest corner of Central Ave NE and 26th Ave NE, as shown hereon, having an elevation of 856.41 feet (NGVD 1929).
- We have not received the current zoning classification and building setback requirements from the insurer. Please note that the general restrictions for the subject property may have been amended through a city process. We could be unaware of such amendments if they are not in a recorded document provided to us. We recommend that a zoning letter be obtained from the Zoning Administrator for the current restrictions for this site.
- The number of parking stalls on this site are as follows: 46 Regular + 3 Handicap = 49 Total Parking Stalls.
- (b) We have shown the location of utilities to the best of our ability based on observed evidence together with evidence from the following sources: plans obtained from utility companies, plans provided by client, markings by utility companies and other appropriate sources. We have used this information to develop a view of the underground utilities for this site. However, lacking excavation, the exact location of underground features cannot be accurately, completely and reliably depicted. Where additional or more detailed information is required, the client is advised that excavation may be necessary. Also, please note that seasonal conditions may inhibit our ability to visibly observe all the utilities located on the subject property. A Gopher State One Call was submitted for this survey. Please reference Ticket No. 140570459 for a list of utility operators in this area.

**SURVEY REPORT**

- The map and report for Parcel 1 was prepared with the benefit of a Commitment for Title Insurance issued by Stewart Title Guaranty Company, File No. 01040-4802, dated March 24, 2014. We note the following with regards to Schedule B, Part II of this title commitment
  - Item no. 3 - Easements or claims of easements or other boundary or location disputes, not shown by the public records.
    - The public sidewalk for Central Ave encroaches the westerly boundary line by approximately 0.5 feet.
  - Item no. 4 - Encroachments, overlaps, boundary line disputes, or other matters which would be disclosed by an accurate survey or inspection of the Land.
    - The public sidewalk for Central Ave encroaches the westerly boundary line by approximately 0.5 feet.
  - Item no. 10 - Terms, conditions and easements of Easement Agreement and Grant of Easement, dated 9-9-1992, filed 11-18-1992, as Document No. 5996984. (As to Tracts 1 and 2).
    - This document is an easement agreement between Lots 22 and 23 to permit the encroachment of the building and retaining wall of Lot 22 onto Lot 23.

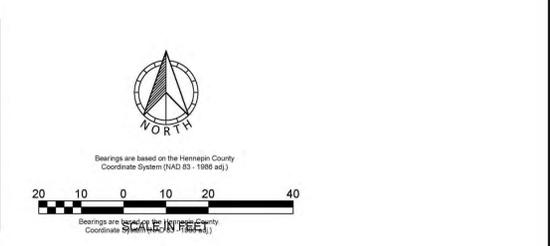
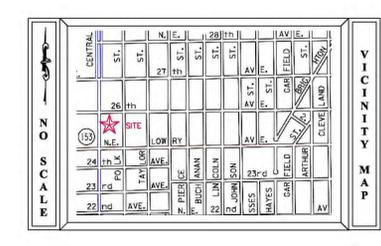
**CERTIFICATION**

To Tract 1: Love Lines, Inc., a Minnesota corporation.; Tract 2: Eastside Food Cooperative, a Minnesota cooperative, and Stewart Title Guaranty Company.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS in 2011, and includes items 1 - 4, 7a, 8, 9 and 11(b) of Table A thereof. The field work was completed on April 14, 2014.

Date of Plat or Map: May 8th, 2014.

Rory L. Synstaelen, PLS Minnesota License No. 44565  
 rory@sathre.com



SURVEY LEGEND		REVISION SUMMARY
● CAST IRON MONUMENT	☐ A/C UNIT	BITUMINOUS
☐ CATCH BASIN	☐ CABLE TV PEDESTAL	— CTV — CABLE TV
◁ FLARED END SECTION	☐ ELECTRIC TRANSFORMER	— CONCRETE CURB
☐ GATE VALVE	☐ ELECTRIC MANHOLE	— CONCRETE
< GUY WIRE	⊙ ELECTRIC METER	— CONTOUR EXISTING
☉ HYDRANT	⊙ GAS METER	— CONTOUR PROPOSED
○ IRON PIPE SET	⊙ GAS VALVE	— D1 — DRAIN TILE
● IRON PIPE FOUND	☐ GUARD RAIL	— ELC — ELECTRIC UNDERGROUND
☐ LIGHT POLE	☐ HAND HOLE	— FENCE
☐ POWER POLE	☐ SOIL BORING	— FO — FIBER OPTIC UNDERGROUND
☐ SANITARY MANHOLE	☐ TREE CONIFEROUS	— GAS — GAS UNDERGROUND
☐ SANITARY CLEANOUT	☐ TREE DECIDUOUS	— OHU — OVERHEAD UTILITY
— SIGN	☐ TELEPHONE MANHOLE	— RAILROAD TRACKS
— GROUND ELEVATION	☐ TELEPHONE PEDESTAL	— SANS — SANITARY SEWER
☐ STORM DRAIN	☐ TRAFFIC SIGNAL	— STORM SEWER
☐ STORM MANHOLE	☐ UTILITY MANHOLE	— TEL — TELEPHONE UNDERGROUND
☐ YARD LIGHT	☐ UTILITY PEDESTAL	— UTL — UTILITY UNDERGROUND
		— W — WATERMAIN
		(Info) DENOTES INFORMATION FROM RECORDS

FIELD CREW	NO.	BY	DATE	REVISIONS
CL				
DRAWN BY				
RLS				
CHECKED BY				
RLS				
DATE				
5-8-14				

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I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Dated this 8th day of May, 2014.

*Rory L. Synstaelen*  
 Rory L. Synstaelen, Professional Land Surveyor  
 Minnesota License No. 44565

**ENGINEERS SURVEYORS**  
**SATHRE-BERGQUIST, INC.**  
 150 SOUTH BROADWAY WAYZATA, MN. 55391 (952) 476-6000

TWP.029-RGE.24-SEC.12  
 HENNEPIN COUNTY  
 BOOK XXX/PAGE XXX

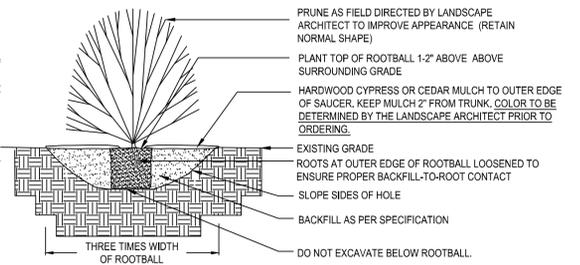
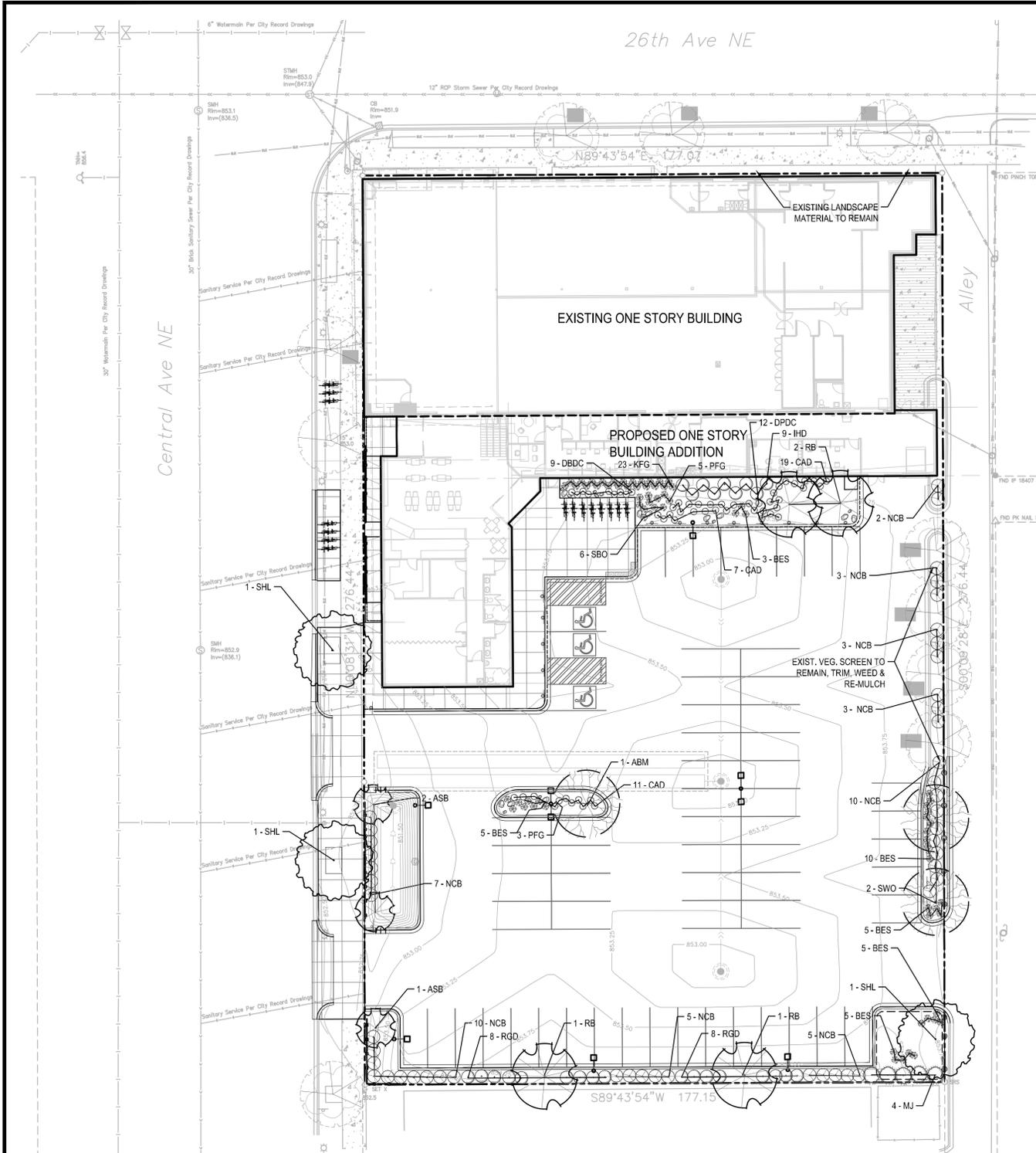
**Minneapolis, Minnesota**

**ALTA/ACSM Land Title Survey**  
 Prepared For:  
**East Side Food Cooperative**

FILE NO.  
 15355-003

1  
 1





**2 SHRUB NTS**

**LANDSCAPE NOTES:**

1. ALL SHRUB BEDS SHALL BE MULCHED WITH 4" DEPTH OF DOUBLE SHREDDED HARDWOOD MULCH OVER WEED BARRIER. OWNER'S REP SHALL APPROVE MULCH SAMPLE PRIOR TO INSTALLATION. EDGING SHALL BE METAL EDGING OR APPROVED EQUAL.
2. PLANT MATERIALS SHALL CONFORM WITH THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS AND SHALL BE OF HARDY STOCK, FREE FROM DISEASE, DAMAGE AND DISFIGURATION. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING PLUMBNESS OF PLANT MATERIAL FOR DURING OF ACCEPTANCE PERIOD.
3. UPON DISCOVERY OF A DISCREPANCY BETWEEN THE QUANTITY OF PLANTS SHOWN ON THE SCHEDULE AND THE QUANTITY SHOWN ON THE PLAN, THE PLAN SHALL GOVERN.
4. CONDITION OF VEGETATION SHALL BE MONITORED BY THE LANDSCAPE ARCHITECT THROUGHOUT THE DURATION OF THE CONTRACT. LANDSCAPE MATERIALS PART OF THE CONTRACT SHALL BE WARRANTED FOR ONE (1) FULL GROWING SEASONS FROM SUBSTANTIAL COMPLETION DATE.
5. ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES SHALL RECEIVE 4" LAYER LOAM AND SOD AS SPECIFIED UNLESS OTHERWISE NOTED ON THE DRAWINGS.
6. COORDINATE LOCATION OF VEGETATION WITH UNDERGROUND AND OVERHEAD UTILITIES, LIGHTING FIXTURES, DOORS AND WINDOWS. CONTRACTOR SHALL STAKE IN THE FIELD FINAL LOCATION OF TREES AND SHRUBS FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
7. ALL PLANT MATERIALS SHALL BE WATERED AND MAINTAINED UNTIL ACCEPTANCE.
8. REPAIR AT NO COST TO OWNER ALL DAMAGE RESULTING FROM LANDSCAPE CONTRACTOR'S ACTIVITIES.
9. SWEEP AND MAINTAIN ALL PAVED SURFACES FREE OF DEBRIS GENERATED FROM LANDSCAPE CONTRACTOR'S ACTIVITIES.
10. INSTALL PAVERS PER MANUFACTURER SPECIFICATIONS AND AS SHOWN ON THE PLAN. OWNER TO SELECT PAVER TYPE AND COLOR.

**PLANT SCHEDULE**

SYM.	QUANT.	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	COMMENTS
<b>PROP. TREES</b>						
DECIDUOUS TREE						
SHL	3	SKYLINE HONEYLOCUST	<i>Gleditsia triacanthos "Skycole"</i>	2.5' CAL.	B&B	STRAIGHT LEADER, FULL FORM
RB	4	RIVER BIRCH	<i>Betula nigra</i>	2.5' CAL.	B&B	STRAIGHT LEADER, FULL FORM
ABM	1	AUTUMN BLAZE MAPLE	<i>Acer x freemanii "Jeffersred"</i>	2.5' CAL.	B&B	STRAIGHT LEADER, FULL FORM
SWO	2	SWAMP WHITE OAK	<i>Quercus bicolor</i>	2.5' CAL.	B&B	STRAIGHT LEADER, FULL FORM
ORNAMENTAL TREE						
ABS	3	AUTUMN BRILL. SERVICEBERRY (TREE FORM)	<i>Amelanchier x grandiflora "Autumn Brilliance"</i>	2.0' CAL.	B&B	STRAIGHT LEADER, FULL FORM
<b>PROP. SHRUBS</b>						
DECIDUOUS SHRUBS						
RGD	16	RED GNOME DOGWOOD	<i>Cornus alba "Regruzam"</i>	#5	CONT.	DENSE BRANCHING
IHD	9	IVORY HALO DOGWOOD	<i>Cornus alba "Ivory Halo"</i>	#5	CONT.	DENSE BRANCHING
EVERGREEN SHRUB						
MJ	4	MEDORA JUNIPER	<i>Juniperus scopulorum "Medora"</i>	#5	CONT.	STRAIGHT LEADER, FULL FORM
NCB	49	NORTHERN CHARM BOXWOOD	<i>Buxus "Wilson"</i>	#5	CONT.	DENSE BRANCHING
PERENNIALS						
CAD	37	CHICAGO APACHE DAYLILY	<i>Hemerocallis "Chicago Apache"</i>	#1	CONT.	
BES	38	GOLDSTURM CONEFLOWER	<i>Rudbeckia fulgida "Goldsturm"</i>	#1	CONT.	
DBDC	9	DARK BRONZE DAISY CHRYSANTHEMUM	<i>Chrysanthemum "Dark Bronze Daisy"</i>	#1	CONT.	
DPDC	12	DARK PINK DAISY CHRYSANTHEMUM	<i>Chrysanthemum "Dark Pink Daisy"</i>	#1	CONT.	
GRASSES						
KFG	23	KARL FOERSTER REED GRASS	<i>Calamagrostis x acutiflora "Karl Foerster"</i>	#1	CONT.	
PFG	8	FLAME GRASS	<i>Miscanthus sinensis "Purpureusans"</i>	#1	CONT.	
SBO	6	SAPPHIRE BLUE OAT GRASS	<i>Helictotrichon sempervirens "Sapphire Blue"</i>	#1	CONT.	

**LANDSCAPE CALCULATIONS:**

**PROPOSED LANDSCAPE AREA CALCULATION:**

SITE AREA - BUILDING COVERAGE = OPEN SPACE  
 48,959.1 SF - 17,823.0 SF = 31,136.1 SF

20% OF OPEN SPACE = LANDSCAPE AREA  
 0.2 X 31,136.1 SF = 6,227.2 SF REQUIRED  
 4,007.5 SF PROVIDED

**REQUIRED LANDSCAPE MATERIAL:**

1 TREE/ 25 LF STREET FRONTAGE (ALONG PARKING)  
 123 LF FRONTAGE = 5 TREES REQUIRED

1 TREE/ 500 SF OF "LANDSCAPE AREA"  
 6,227.2 SF / 500 = 12 TREES REQUIRED

1 SHRUB/100 SF OR "LANDSCAPE AREA"  
 6,227.2 SF / 100 = 62 SHRUBS REQUIRED

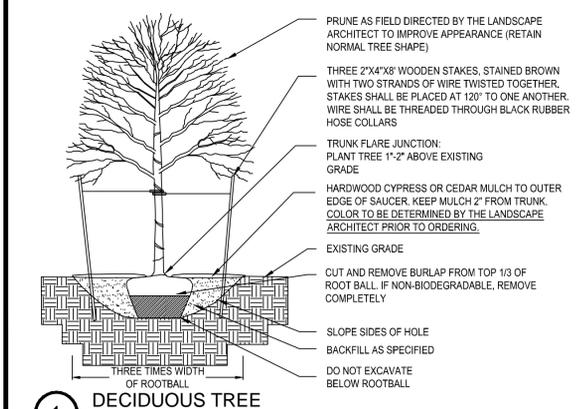
**PROPOSED LANDSCAPE MATERIAL:**

TREES

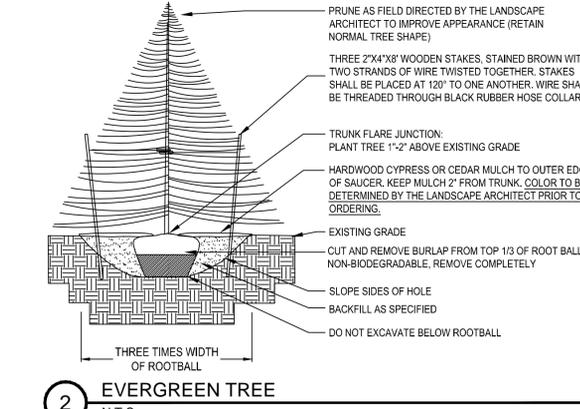
EXISTING TREES TO REMAIN (ON-SITE)	4
EXISTING TREES TO REMAIN (OFF-SITE / STREET TRE)	5
PROPOSED TREES (ON-SITE)	10
PROPOSED TREES (OFF-SITE / STREET TREES)	2
<b>TOTAL TREES (ON-SITE)</b>	<b>14</b>
<b>TOTAL TREES (OFF-SITE / STREET TREES)</b>	<b>7</b>

SHRUBS

<b>TOTAL PROPOSED SHRUBS</b>	<b>78</b>
------------------------------	-----------



**1 DECIDUOUS TREE NTS**

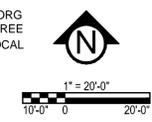


**2 EVERGREEN TREE NTS**

**LANDSCAPE LEGEND:**

- CONCRETE PAVEMENT AS SPECIFIED (PAD OR WALK)
- PROPERTY LINE
- CURB AND GUTTER-SEE NOTES (T.O.) TIP OUT GUTTER WHERE APPLICABLE-SEE PLAN

**GOPHER STATE ONE CALL**  
 WWW.GOPHERSTATEONECALL.ORG  
 (800) 252-1166 TOLL FREE  
 (651) 454-0002 LOCAL



**EASTSIDE FOOD CO-OP ADDITION**

2551 CENTRAL AVE. NE, MINNEAPOLIS MINNESOTA

**EASTSIDE FOOD CO-OP**

2551 CENTRAL AVE. NE, MINNEAPOLIS MINNESOTA

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

*Patrick J. Sarver*  
 Patrick J. Sarver  
 DATE: 06/25/14 LICENSE NO. 24904

ISSUE/SUBMITTAL SUMMARY
DATE DESCRIPTION
05/22/14 PDR SUBMITTAL
06/25/14 LAND USE APPLICATION

REVISION SUMMARY
DATE DESCRIPTION

**EASTSDIE  
FOOD  
CO-OP**  
2551 CENTRAL AVE NE  
MINNEAPOLIS, MN 55418

**FLOOR PLAN KEY NOTES**

- 1 ALIGN FINISHED FACE OF WALL/ CORNER.
- 2 PROVIDE SOLID WOOD BLOCKING (2 LAYERS 3/4" PLYWOOD) ATTACHED TO MASONRY. 48" WIDE x 30" TALL, MOUNT 54". VERIFY FINAL LOCATION
- 3 CONCRETE STOOP, DOWEL TO FOUNDATION, SEE STRUCTURAL.
- 4 LINE OF WALL / SOFFIT / BULKHEAD ABOVE. SEE REFLECTED CEILING PLAN FOR HEIGHT.
- 5 LINE OF CANOPY ABOVE.
- 6 SHIPS LADDER TO ROOF, SEE
- 7 3/4" FIRE TREATED PLYWOOD (48" WIDE) TO 8'-0".
- 8 CLOSET ROD AT 65" A.F.F. WITH 15" DEEP SHELF 4" ABOVE. SEE
- 9 CASEWORK / COUNTERTOP, SEE INTERIOR ELEVATIONS.
- 10 STAND PIPE / SPRINKLER RISER, SEE MECHANICAL.
- 11 HOSE BIBB, SEE MECHANICAL.
- 12 SIAMESE CONNECTION, SEE MECHANICAL DOCUMENTS.
- 13 ROOF LADDER
- 14 -
- 15 -

**WALL TYPES/ LEGEND**

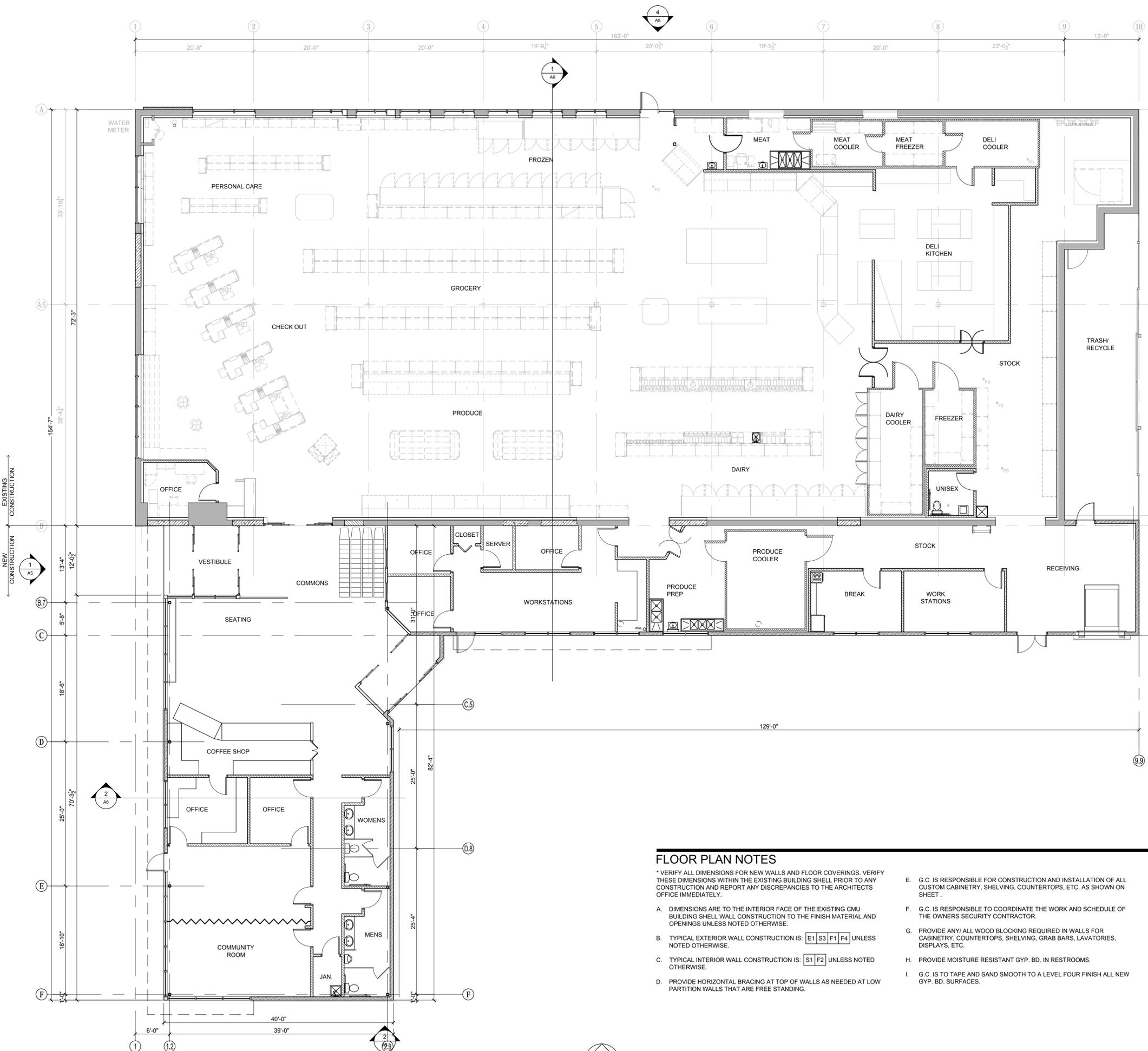
NOTE:  
CONTRACTOR IS RESPONSIBLE TO DESIGN WALL METAL STUD GAUGE AND SPACING TO MEET DEFLECTION L/240 MIN. AND LOCAL CODE REQUIREMENTS.

- |    |  |   |
|----|--|---|
| E  |  | EXISTING WALL CONSTRUCTION  |
| C1 |  | CMU: 8" / 12" CMU (MATCH EXISTING) SEE STRUCTURAL   |
| S1 |  | STEEL STUD: 6" STEEL STUD BEARING WALL, 16" O.C., GALVANIZED AT EXTERIOR LOCATIONS, SEE STRUCT.   |
| S2 |  | STEEL STUD: 6", 20 GA STEEL STUD NON-BEARING, 24" O.C., FULL HEIGHT TO UNDERSIDE OF ROOF STRUCTURE ABOVE. PROVIDE DEFLECTION TRACK AT TOP OF WALL.    |
| S3 |  | STEEL STUD: 3 5/8", STEEL STUD 24" O.C., FULL HEIGHT TO UNDERSIDE OF BEARING / FLOOR / ROOF STRUCTURE ABOVE. PROVIDE DEFLECTION TRACK AT TOP OF WALL. |
| S4 |  | STEEL STUD: 3 5/8", STEEL STUD 24" O.C., FULL HEIGHT TO UNDERSIDE OF CEILING ABOVE. ( CONTRACTORS OPTION TO EXTEND 6" ABOVE CEILING.)                 |
| S5 |  | FURRING CHANNEL: 1 1/2" FURRING CHANNEL AT 24" O.C. FULL HEIGHT TO 6" ABOVE CEILING.  |
| F1 |  | 5/8" GYP. BD. FULL HEIGHT OF WALL ONE SIDE OF WALL.   |
| F2 |  | 5/8" GYP. BD. FULL HEIGHT OF WALL BOTH SIDES, (EXTERIOR GYP. SHEATHING ON OUTSIDE OF EXTERIOR WALLS.)   |
| F3 |  | 3 1/2" OR 6" (PER STUD SIZE) SOUND BATT INSULATION FULL HEIGHT OF WALL.   |
| F4 |  | 6" BATT INSULATION FULL HEIGHT OF WALL CAVITY, 6 MIL POLY VAPOR BARRIER AT EXTERIOR WALLS, SEE 1/A7   |
| F5 |  | 2" RIGID INSULATION (JOINTS TAPED)  |
| F6 |  | CEMENT BOARD FINISH   |
| F7 |  | THIN BRICK VENEER SYSTEM ON 1" RIGID INSULATION   |

**FLOOR PLAN NOTES**

\* VERIFY ALL DIMENSIONS FOR NEW WALLS AND FLOOR COVERINGS. VERIFY THESE DIMENSIONS WITHIN THE EXISTING BUILDING SHELL PRIOR TO ANY CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ARCHITECTS OFFICE IMMEDIATELY.

- A. DIMENSIONS ARE TO THE INTERIOR FACE OF THE EXISTING CMU BUILDING SHELL WALL CONSTRUCTION TO THE FINISH MATERIAL AND OPENINGS UNLESS NOTED OTHERWISE.
- B. TYPICAL EXTERIOR WALL CONSTRUCTION IS: E1 | S3 | F1 | F4 UNLESS NOTED OTHERWISE.
- C. TYPICAL INTERIOR WALL CONSTRUCTION IS: S1 | F2 UNLESS NOTED OTHERWISE.
- D. PROVIDE HORIZONTAL BRACING AT TOP OF WALLS AS NEEDED AT LOW PARTITION WALLS THAT ARE FREE STANDING.
- E. G.C. IS RESPONSIBLE FOR CONSTRUCTION AND INSTALLATION OF ALL CUSTOM CABINETRY, SHELVING, COUNTERTOPS, ETC. AS SHOWN ON SHEET.
- F. G.C. IS RESPONSIBLE TO COORDINATE THE WORK AND SCHEDULE OF THE OWNERS SECURITY CONTRACTOR.
- G. PROVIDE ANY/ ALL WOOD BLOCKING REQUIRED IN WALLS FOR CABINETRY, COUNTERTOPS, SHELVING, GRAB BARS, LAVATORIES, DISPLAYS, ETC.
- H. PROVIDE MOISTURE RESISTANT GYP. BD. IN RESTROOMS.
- I. G.C. IS TO TAPE AND SAND SMOOTH TO A LEVEL FOUR FINISH ALL NEW GYP. BD. SURFACES.
- J. PROVIDE ACOUSTIC INSULATION F3 AT INTERIOR WALL CONSTRUCTION SURROUNDING OFFICES AND RESTROOMS.
- K. PROVIDE INSULATION F4 AT EXTERIOR WALL CONSTRUCTION.
- L. UNLESS NOTED OTHERWISE, ALL NEW MECHANICAL, PLUMBING AND LIGHT FIXTURES ARE TO BE PROVIDED AND INSTALLED BY THE GENERAL CONTRACTOR.



1 FLOOR PLAN  
1/8" = 1'-0"



Plotted: 6/23/2014 4:40 PM File: G:\2013\13\_Eastside Co-op\40\_CONSTR DOCS\A1\_0\_Floor Plan.dwg By: Ryan Schroeder

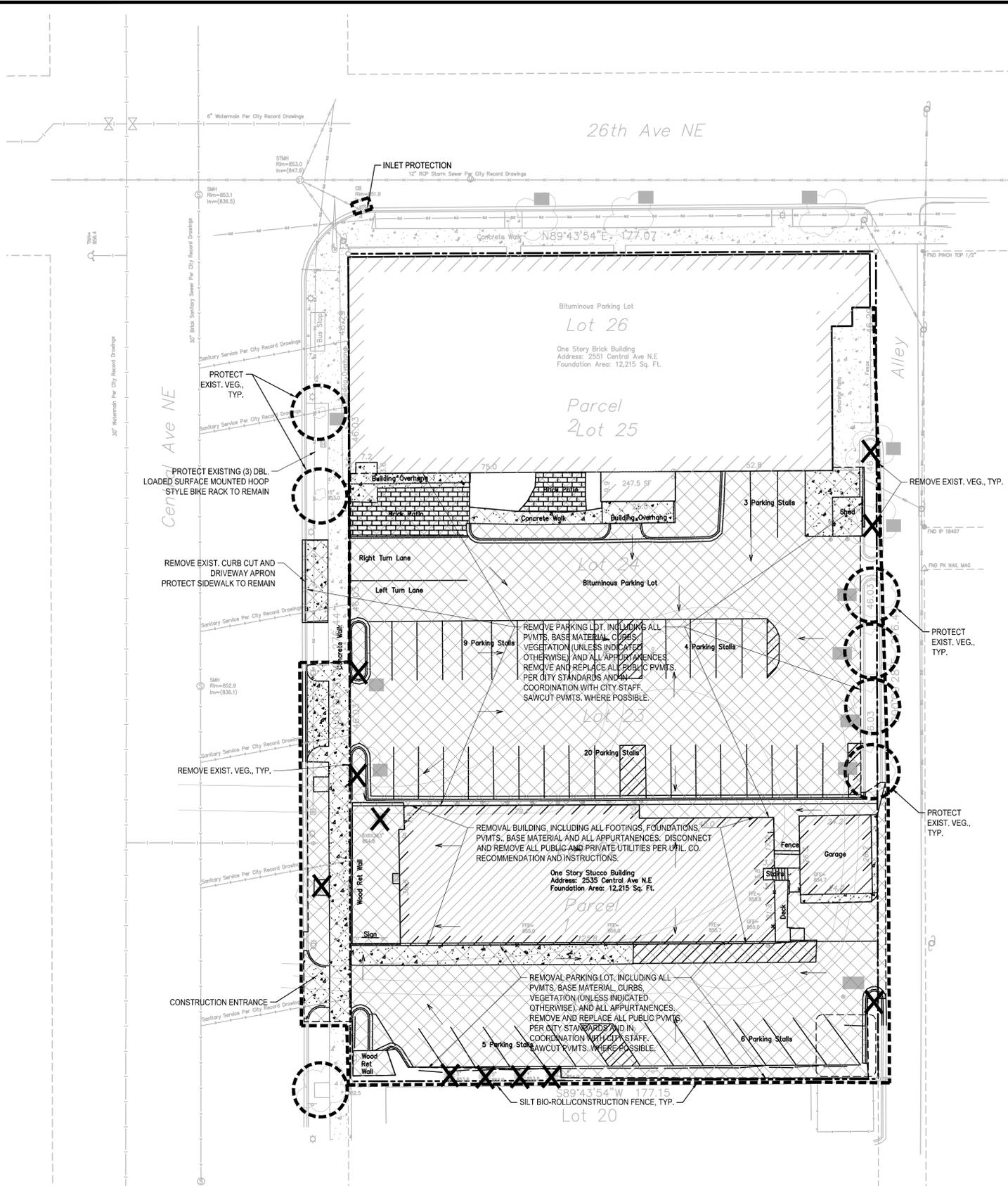
I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the State of Minnesota

Signature: \_\_\_\_\_  
Name: \_\_\_\_\_  
Registration: \_\_\_\_\_  
Project Contact: PAUL ANDERSON  
Phone Number: 952-541-9969

Print History  
PDR SUBMITTAL 05.22.2014  
PRELIMINARY PRICING 06.18.2014

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
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\_\_\_\_\_

**FLOOR PLAN**



**OWNER, DEVELOPER, CONTRACTOR SIGNED STATEMENT**

ALL CLEARING, GRADING, CONSTRUCTION OR DEVELOPMENT WILL BE DONE PURSUANT TO THE PLAN, SIGNED BY PARTIES BELOW:

OWNER: \_\_\_\_\_  
 DEVELOPER: \_\_\_\_\_  
 CONTRACTOR: \_\_\_\_\_

**SUPPLEMENTARY REMOVALS EROSION CONTROL NOTES:**

**PROJECT NARRATIVE:**  
 PROJECT IS A REDEVELOPMENT OF AN EXISTING COMMERCIAL SITE, INCLUDING A BUILDING ADDITION AND REMOVAL OF AN EXISTING BUILDING TO BE REPLACED WITH A SURFACE PARKING LOT.

CONSTRUCTION REMOVALS SEQUENCING IS PLANNED AS FOLLOWS:

1. INSTALL SILT FENCE/CONSTRUCTION FENCE AROUND SITE, & INLET PROTECTION IN AND AROUND CATCH BASINS WHERE SITE RUNOFF IS FLOWING.
2. REMOVE EXISTING BUILDING AND PAVEMENTS
3. PREP AND TRANSITION TO NEW CONSTRUCTION ACTIVITIES

REMOVALS DISTURBANCE LENGTH OF TIME:

THE REMOVALS TIMING FOR THIS PROJECT IS EXPECTED TO LAST 30 DAYS UNTIL THE START OF NEW CONSTRUCTION.

TEMPORARY AND PERMANENT STABILIZATION:

SITE WILL BE ENTIRELY HARD-SCAPED AND STABILIZED WITH THOSE ELEMENTS.

SEE GRADING & EROSION CONTROL PLAN (SHEET C3.0) FOR CONSTRUCTION STORM WATER MANAGEMENT PLAN AFTER DEMOLITION AND REMOVALS ARE COMPLETE.

**City of Minneapolis Standard Erosion Control Notes**

These notes may be used as performance standards or requirements for projects not meeting the threshold for a formal plan.

1. Contractor must call a construction start 48 hours prior to any land disturbances 612-673-3867. Failure to do so may result in fines, the revocation of permit and a stop work order being issued.
2. Install perimeter erosion control at the locations shown on the plans prior to the commencement of any land disturbance or construction activities.
3. Before beginning construction, install a temporary rock construction entrance at each point where vehicles exit the construction site. Use 2 inch or greater diameter rock in a layer at least 6 inches thick across the entire width of the entrance. Extend the rock entrance at least 50 feet into the construction zone using a geo-textile fabric beneath the aggregate to prevent migration of soil into the rock from below.
4. Remove all soils and sediments tracked or otherwise deposited onto public and private pavement areas. Removal shall be on a daily basis when tracking occurs and may be ordered by Minneapolis inspectors at any time if conditions warrant. Sweeping shall be maintained throughout the duration of the construction and done in a manner to prevent dust being blown to adjacent properties.
5. Install inlet protection at all public and private catch basin inlets, which receive runoff from the disturbed areas. Contractor shall clean, remove sediment or replace storm drain inlet protection devices on a routine basis such that the devices are fully functional for the next rain event. Sediment deposited in and/or plugging drainage systems is the responsibility of the contractor. Hay bales or filter fabric wrapped grates are not allowed for inlet protection.
6. Locate soil or dirt stockpiles no less than 25 feet from any public or private roadway or drainage channel. If remaining for more than seven days, stabilize the stockpiles by mulching, vegetative cover, tarps, or other means. Control erosion from all stockpiles by placing silt barriers around the piles. Temporary stockpiles located on paved surfaces must be no less than two feet from the drainage/gutter line and shall be covered if left more than 24 hours.
7. Maintain all temporary erosion and sediment control devices in place until the contributing drainage area has been stabilized. Inspect temporary erosion and sediment control devices on a daily basis and replace deteriorated, damaged, or rotted erosion control devices immediately.
8. Temporarily or permanently stabilize all construction areas which have undergone final grading, and all areas in which grading or site building construction operations are not actively underway against erosion due to rain, wind and running water within 7-14 days. Use seed and mulch, erosion control matting, and/or sodding and staking in green space areas. Remove all temporary synthetic, structural, non-biodegradable erosion and sediment control devices after the site has undergone final stabilization with permanent vegetation establishment. Final stabilization for purposes of this removal is 70% established cover over denuded area.
9. Ready mixed concrete and concrete batch/mix plants are prohibited within the public right of way. All concrete related production, cleaning and mixing activities shall be done in the designated concrete mixing/washout locations as shown in the erosion control plan. Under no circumstance may washout water drain onto the public right of way or into any public or private storm drain conveyance.
10. Changes to approved erosion control plan must be approved by the erosion control inspector prior to implementation. Contractor to provide installation and details for all proposed alternate type devices.
11. If dewatering or pumping of water is necessary, the contractor is responsible for obtaining any necessary permits and/or approvals prior to the discharge of any water from the site. If the discharge of any water from the receiving water. Additional erosion control measures may be required at the discharge point to prevent scour erosion. The contractor shall provide a dewatering/pumping plan to the Erosion Control Inspector prior to initiating dewatering activities.



PREPARED BY: THE CITY OF MINNEAPOLIS PUBLIC WORKS SURFACE WATER AND SEWERS. WWW.CITYOFMINNEAPOLIS.ILLUSTRATION JANUARY 7, 2011

**REMOVALS LEGEND:**

- 932 --- EX. 1' CONTOUR ELEVATION INTERVAL
- COMBINATION BIO-ROLL, CHAIN LINK CONSTRUCTION FENCE
- [Pattern] STABILIZED CONSTRUCTION ENTRANCE
- [Symbol] INLET PROTECTION - AT ALL EXIST. INLETS
- [Symbol] TREE REMOVAL - INCLUDING ROOTS AND STUMPS
- [Symbol] TREE PROTECTION
- [Pattern] REMOVE BUILDING/STRUCTURE, INCLUDING ALL FOOTINGS FOUNDATIONS AND APPURTANANCES
- [Pattern] REMOVE EXIST. PVMT., INCLUDING ALL BITUMINOUS, CONCRETE AND GRAVEL MATERIAL, ALL BASE MATERIALS, AND ALL PVMT. AND PARKING LOT APPURTANANCES (SIGNS, BOLLARDS, ETC)



**EASTSIDE FOOD CO-OP ADDITION**  
 2551 CENTRAL AVE. NE, MINNEAPOLIS MINNESOTA  
**EASTSIDE FOOD CO-OP**  
 2551 CENTRAL AVE. NE, MINNEAPOLIS MINNESOTA

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Matthew R. Pavak  
 DATE 06/25/14 LICENSE NO. 44263

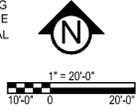
ISSUE/SUBMITTAL SUMMARY
DATE DESCRIPTION
05/22/14 PDR SUBMITTAL
06/25/14 LAND USE APPLICATION

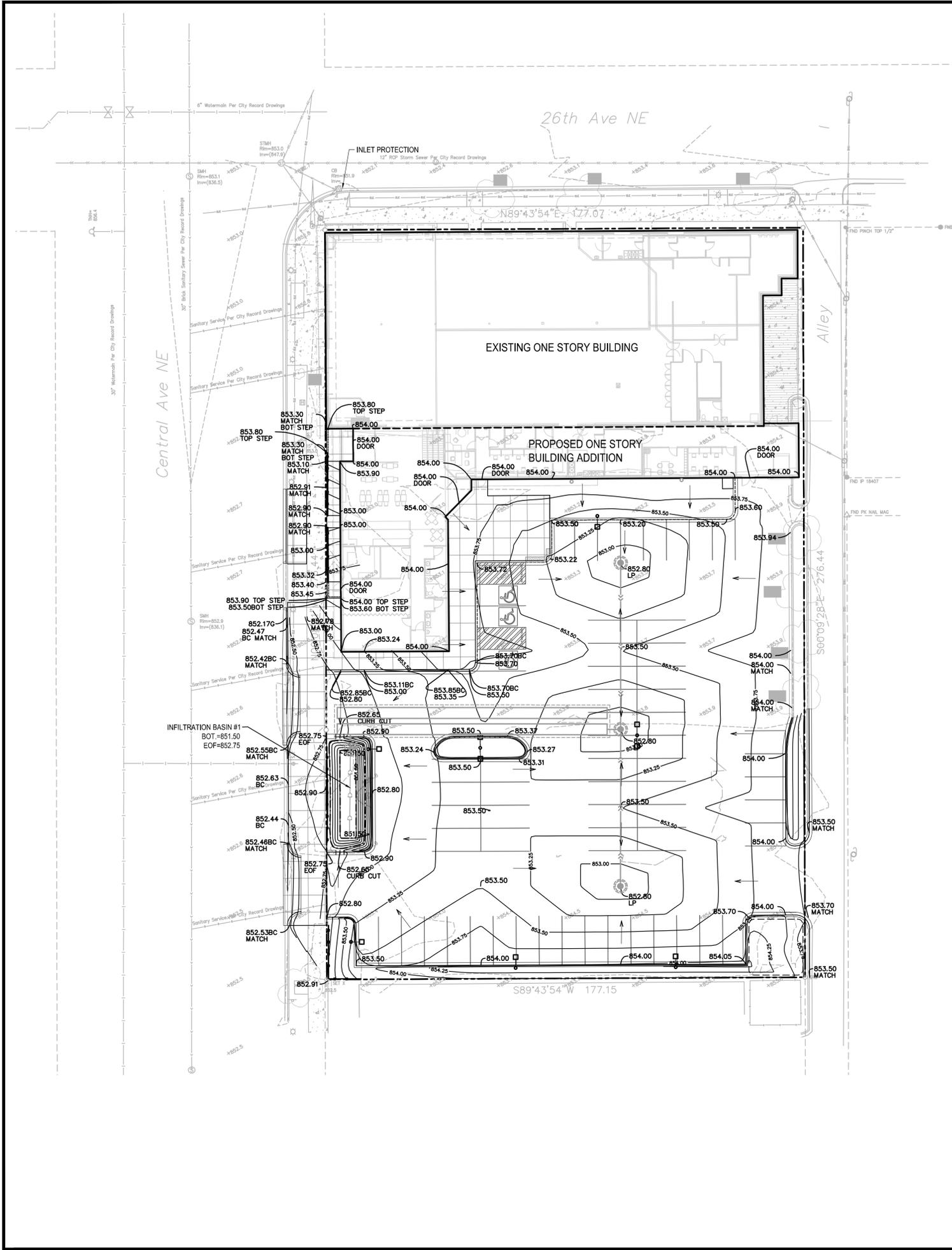
REVISION SUMMARY
DATE DESCRIPTION

**REMOVALS PLAN**

**C1.0**

**GOPHER STATE ONE CALL**  
 WWW.GOPHERSTATEONECALL.ORG  
 (800) 252-1166 TOLL FREE  
 (651) 454-0002 LOCAL





**GENERAL GRADING NOTES:**

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE.
2. CONTRACTOR SHALL VERIFY LOCATIONS AND LAYOUT OF ALL SITE ELEMENTS PRIOR TO BEGINNING CONSTRUCTION, INCLUDING BUT NOT LIMITED TO, LOCATIONS OF EXISTING AND PROPOSED PROPERTY LINES, EASEMENTS, SETBACKS, UTILITIES, BUILDINGS AND PAVEMENTS. CONTRACTOR IS RESPONSIBLE FOR FINAL LOCATIONS OF ALL ELEMENTS FOR THE SITE. ANY REVISIONS REQUIRED AFTER COMMENCEMENT OF CONSTRUCTION, DUE TO LOCAL ADJUSTMENTS SHALL BE CORRECTED AT NO ADDITIONAL COST TO OWNER. ADJUSTMENTS TO THE LAYOUT SHALL BE APPROVED BY THE ENGINEER/LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF MATERIALS. STAKE LAYOUT FOR APPROVAL.
3. SEE SITE PLAN FOR HORIZONTAL LAYOUT & GENERAL GRADING NOTES.
4. THE CONTRACTOR SHALL COMPLETE THE SITE GRADING CONSTRUCTION (INCLUDING BUT NOT LIMITED TO SITE PREPARATION, SOIL CORRECTION, EXCAVATION, EMBANKMENT, ETC.) IN ACCORDANCE WITH THE REQUIREMENTS OF THE OWNER'S SOILS ENGINEER. ALL SOIL TESTING SHALL BE COMPLETED BY THE OWNER'S SOILS ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED SOIL TESTS AND INSPECTIONS WITH THE SOILS ENGINEER.
5. GRADING AND EXCAVATION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS & PERMIT REQUIREMENTS OF THE CITY.
6. PROPOSED SPOT GRADES ARE FLOW-LINE FINISHED GRADE ELEVATIONS, UNLESS OTHERWISE NOTED.
7. GRADES OF WALKS SHALL BE INSTALLED WITH 5% MAX. LONGITUDINAL SLOPE AND 1% MIN. AND 2% MAX. CROSS SLOPE, UNLESS OTHERWISE NOTED.
8. PROPOSED SLOPES SHALL NOT EXCEED 3:1 UNLESS INDICATED OTHERWISE ON THE DRAWINGS. MAXIMUM SLOPES IN MAINTAINED AREAS IS 4:1
9. PROPOSED RETAINING WALLS, FREESTANDING WALLS, OR COMBINATION OF WALL TYPES GREATER THAN 4' IN HEIGHT SHALL BE DESIGNED AND ENGINEERED BY A REGISTERED RETAINING WALL ENGINEER. DESIGN DRAWINGS SHALL BE SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF GRADE STAKES THROUGHOUT THE DURATION OF CONSTRUCTION TO ESTABLISH PROPER GRADES. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR A FINAL FIELD CHECK OF FINISHED GRADES ACCEPTABLE TO THE ENGINEER/LANDSCAPE ARCHITECT PRIOR TO TOP-SOIL AND SODDING ACTIVITIES.
11. IF EXCESS OR SHORTAGE OF SOIL MATERIAL EXISTS, THE CONTRACTOR SHALL TRANSPORT ALL EXCESS SOIL MATERIAL OFF THE SITE TO AN AREA SELECTED BY THE CONTRACTOR, OR IMPORT SUITABLE MATERIAL TO THE SITE.
12. EXCAVATE TOPSOIL FROM AREAS TO BE FURTHER EXCAVATED OR REGRADED AND STOCKPILE IN AREAS DESIGNATED ON THE SITE. THE CONTRACTOR SHALL SALVAGE ENOUGH TOPSOIL FOR RESPREADING ON THE SITE AS SPECIFIED. EXCESS TOPSOIL SHALL BE PLACED IN EMBANKMENT AREAS, OUTSIDE OF BUILDING PADS, ROADWAYS AND PARKING AREAS. THE CONTRACTOR SHALL SUBCUT CUT AREAS, WHERE TURF IS TO BE ESTABLISHED, TO A DEPTH OF 4 INCHES. RESPREAD TOPSOIL IN AREAS WHERE TURF IS TO BE ESTABLISHED TO A MINIMUM DEPTH OF 4 INCHES.
13. FINISHED GRADING SHALL BE COMPLETED. THE CONTRACTOR SHALL UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING, INCLUDING ADJACENT TRANSITION AREAS. PROVIDE A SMOOTH FINISHED SURFACE WITHIN SPECIFIED TOLERANCES, WITH UNIFORM LEVELS OR SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE SHOWN, OR BETWEEN SUCH POINTS AND EXISTING GRADES. AREAS THAT HAVE BEEN FINISH GRADED SHALL BE PROTECTED FROM SUBSEQUENT CONSTRUCTION OPERATIONS, TRAFFIC AND EROSION. REPAIR ALL AREAS THAT HAVE BECOME RUTTED BY TRAFFIC OR ERODED BY WATER OR HAS SETTLED BELOW THE CORRECT GRADE. ALL AREAS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED TO EQUAL OR BETTER THAN ORIGINAL CONDITION OR TO THE REQUIREMENTS OF THE NEW WORK.
14. PRIOR TO PLACEMENT OF THE AGGREGATE BASE, A TEST ROLL WILL BE REQUIRED ON THE STREET AND/OR PARKING AREA SUBGRADE. THE CONTRACTOR SHALL PROVIDE A LOADED TANDEM AXLE TRUCK WITH A GROSS WEIGHT OF 25 TONS. THE TEST ROLLING SHALL BE AT THE DIRECTION OF THE SOILS ENGINEER AND SHALL BE COMPLETED IN AREAS AS DIRECTED BY THE SOILS ENGINEER. THE SOILS ENGINEER SHALL DETERMINE WHICH SECTIONS OF THE STREET OR PARKING AREA ARE UNSTABLE. CORRECTION OF THE SUBGRADE SOILS SHALL BE COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF THE SOILS ENGINEER.
15. TOLERANCES
  - 15.1. THE BUILDING SUBGRADE FINISHED SURFACE ELEVATION SHALL NOT VARY BY MORE THAN 0.30 FOOT ABOVE, OR 0.30 FOOT BELOW, THE PRESCRIBED ELEVATION AT ANY POINT WHERE MEASUREMENT IS MADE.
  - 15.2. THE STREET OR PARKING AREA SUBGRADE FINISHED SURFACE ELEVATION SHALL NOT VARY BY MORE THAN 0.05 FOOT ABOVE, OR 0.10 FOOT BELOW, THE PRESCRIBED ELEVATION OF ANY POINT WHERE MEASUREMENT IS MADE.
  - 15.3. AREAS WHICH ARE TO RECEIVE TOPSOIL SHALL BE GRADED TO WITHIN 0.30 FOOT ABOVE OR BELOW THE REQUIRED ELEVATION, UNLESS DIRECTED OTHERWISE BY THE ENGINEER.
  - 15.4. TOPSOIL SHALL BE GRADED TO PLUS OR MINUS 1/2 INCH OF THE SPECIFIED THICKNESS.
16. MAINTENANCE
  - 16.1. THE CONTRACTOR SHALL PROTECT NEWLY GRADED AREAS FROM TRAFFIC AND EROSION, AND KEEP AREA FREE OF TRASH AND DEBRIS.
  - 16.2. CONTRACTOR SHALL REPAIR AND REESTABLISH GRADES IN SETTLED, ERODED AND RUTTED AREAS TO SPECIFIED TOLERANCES, DURING THE CONSTRUCTION, IF REQUIRED, AND DURING THE WARRANTY PERIOD, ERODED AREAS WHERE TURF IS TO BE ESTABLISHED SHALL BE RESEEDING AND MULCHED.
  - 16.3. WHERE COMPLETED COMPACTED AREAS ARE DISTURBED BY SUBSEQUENT CONSTRUCTION OPERATIONS OR ADVERSE WEATHER, CONTRACTOR SHALL SCARIFY, SURFACE, RESHAPE, AND COMPACT TO REQUIRED DENSITY PRIOR TO FURTHER CONSTRUCTION.

**NON STORM WATER DISCHARGES:**

1. THERE ARE NO KNOWN NON-STORM WATER DISCHARGES ON THE EXISTING SITE AND NONE ARE PROPOSED AS PART OF THIS DEVELOPMENT.

**OWNER, DEVELOPER, CONTRACTOR SIGNED STATEMENT**

ALL CLEARING, GRADING, CONSTRUCTION OR DEVELOPMENT WILL BE DONE PURSUANT TO THE PLAN, SIGNED BY PARTIES BELOW:

OWNER: \_\_\_\_\_

DEVELOPER: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_

**City of Minneapolis Standard Erosion Control Notes**

- City of Minneapolis Standard Erosion and Sediment Control Notes for Plans  
 These notes may be used as performance standards or requirements for projects not meeting the threshold for a formal plan.
1. Contractor must call a construction start 48 hours prior to any land disturbances 612-673-3867. Failure to do so may result in fines, the revocation of permit and a stop work order being issued.
  2. Install perimeter erosion control at the locations shown on the plans prior to the commencement of any land disturbance or construction activities.
  3. Before beginning construction, install a temporary rock construction entrance at each point where vehicles exit the construction site. Use 2 inch or greater diameter rock in a layer at least 6 inches thick across the entire width of the entrance. Extend the rock entrance at least 50 feet into the construction zone using a geo-textile fabric beneath the aggregate to prevent migration of soil into the rock from below.
  4. Remove all soils and sediments tracked or otherwise deposited onto public and private pavement areas. Removal shall be on a daily basis when tracking occurs and may be ordered by Minneapolis inspectors at any time if conditions warrant. Sweeping shall be maintained throughout the duration of the construction and done in a manner to prevent dust being blown to adjacent properties.
  5. Install inlet protection at all public and private catch basin inlets, which receive runoff from the disturbed areas. Contractor shall clean, remove sediment or replace storm drain inlet protection devices on a routine basis such that the devices are fully functional for the next rain event. Sediment deposited in and/or plugging drainage systems is the responsibility of the contractor. Hay bales or filter fabric wrapped geotextiles are not allowed for inlet protection.
  6. Locate soil or dirt stockpiles no less than 25 feet from any public or private roadway or drainage channel. If remaining for more than seven days, stabilize the stockpiles by mulching, vegetative cover, tarps, or other means. Control erosion from all stockpiles by placing silt barriers around the piles. Temporary stockpiles located on paved surfaces must be no less than two feet from the drainage/gutter line and shall be covered if left more than 24 hours.
  7. Maintain all temporary erosion and sediment control devices in place until the contributing drainage area has been stabilized. Inspect temporary erosion and sediment control devices on a daily basis and replace deteriorated, damaged, or rotted erosion control devices immediately.
  8. Temporarily or permanently stabilize all construction areas which have undergone final grading, and all areas in which grading or site building construction operations are not actively underway against erosion due to rain, wind and running water within 7-14 days. Use seed and mulch, erosion control matting, and/or sodding and staking in green space areas. Remove all temporary synthetic, structural, non-biodegradable erosion and sediment control devices after the site has undergone final stabilization with permanent vegetation establishment. Final stabilization for purposes of this removal is 70% established cover over denuded area.
  9. Ready mixed concrete and concrete batch mix plants are prohibited within the public right of way. All concrete related production, cleaning and mixing activities shall be done in the designated concrete mixing/washout locations as shown in the erosion control plan. Under no circumstance may washout water drain onto the public right of way or into any public or private storm drain conveyance.
  10. Changes to approved erosion control plan must be approved by the erosion control inspector prior to implementation. Contractor to provide installation and details for all proposed alternate type devices.
  11. If dewatering or pumping of water is necessary, the contractor is responsible for obtaining any necessary permits and/or approvals prior to discharge of any water from the site. If the discharge from the dewatering or pumping process is turbid or contains sediment laden water, it must be treated through the use of sediment traps, vegetative filter strips, or other sediment reducing measures such that the discharge is not visibly different from the receiving water. Additional erosion control measures may be required at the discharge point to prevent scour erosion. The contractor shall provide a dewatering/pumping plan to the Erosion Control Inspector prior to initiating dewatering activities.



PREPARED BY THE CITY OF MINNEAPOLIS PUBLIC WORKS SURFACE WATER AND SEWERS [WWW.CITYOFMINNEAPOLIS.MN.GOV/STORMWATER](http://WWW.CITYOFMINNEAPOLIS.MN.GOV/STORMWATER) JANUARY 7, 2011

**CITY OF MINNEAPOLIS GRADING NOTES:**

1. THE CONTRACTOR, PROPERTY OWNER OR RESPONSIBLE PARTY SHALL CONTACT MINNEAPOLIS SURFACE WATER AND SEWERS 48 HOURS PRIOR TO ANY EXCAVATION OR CONSTRUCTION RELATED TO OR IN THE LOCATION OF THE PROPOSED STORMWATER MANAGEMENT BMP (CONTACT PAUL CHELLESEN, 673-2406 OR PAUL.CHELLESEN@MINNEAPOLIS.MN.GOV).
2. UPON THE PROJECTS COMPLETION THE GENERAL CONTRACTOR, PROPERTY OWNER OR RESPONSIBLE PARTY SHALL PROVIDE TO THE DEPARTMENT OF PUBLIC WORKS A FINAL STORMWATER MANAGEMENT REPORT INCLUDING RECORD DRAWINGS. THIS REPORT WILL SERVE AS A MEANS OF VERIFICATION THAT THE INTENT OF THE APPROVED STORMWATER MANAGEMENT DESIGN HAS BEEN MET. THIS FINAL REPORT SHALL SUBSTANTIATE THAT ALL ASPECTS OF THE ORIGINAL DESIGN HAVE BEEN ADEQUATELY PROVIDED FOR BY THE CONSTRUCTION OF THE PROJECT.

**EROSION & SEDIMENT CONTROL NOTES:**

1. SEE SWPPP FOR ALL EROSION CONTROL NOTES.

**GROUNDWATER INFORMATION:**

PER GEOTECHNICAL REPORT BY TBD , DATED XXX GROUNDWATER WAS OBSERVED AT ELEVATIONS RANGING FROM XXX TO XXX.

THE BORINGS & GROUNDWATER ARE AS FOLLOWS:  
 SB-1 TBD

**EROSION CONTROL LEGEND:**

- COMBINATION BIO-ROLL, CHAIN LINK CONSTRUCTION
- [ ] FENCE
- [ ] INLET PROTECTION CURB INLET FILTER

**GRADING PLAN LEGEND:**

- 891 - 891.1 EX. 1' CONTOUR ELEVATION INTERVAL
- 891.1 - 891.0 0.25' CONTOUR ELEVATION INTERVAL
- 891.0 SPOT GRADE ELEVATION (FLOW LINE UNLESS OTHERWISE NOTED)
- 891.0 G SPOT GRADE ELEVATION GUTTER
- 891.0 BC SPOT GRADE ELEVATION BACK OF CURB (TOP OF CURB)
- 891.0 BS SPOT GRADE ELEVATION BOTTOM OF STAIRS
- T.O. TIP OUT (T.O.) CURB AND GUTTER WHERE APPLICABLE-TAPER GUTTERS TO DRAIN AS SHOWN
- [ ] PROPOSED DRAINAGE ARROWS

**GOPHER STATE ONE CALL**  
 WWW.GOPHERSTATEONECALL.ORG  
 (800) 252-1166 TOLL FREE  
 (651) 454-0002 LOCAL



1" = 20'-0"  
 0 20'-0"



**EASTSIDE FOOD CO-OP ADDITION**

2551 CENTRAL AVE. NE, MINNEAPOLIS MINNESOTA

**EASTSIDE FOOD CO-OP**

2551 CENTRAL AVE. NE, MINNEAPOLIS MINNESOTA

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

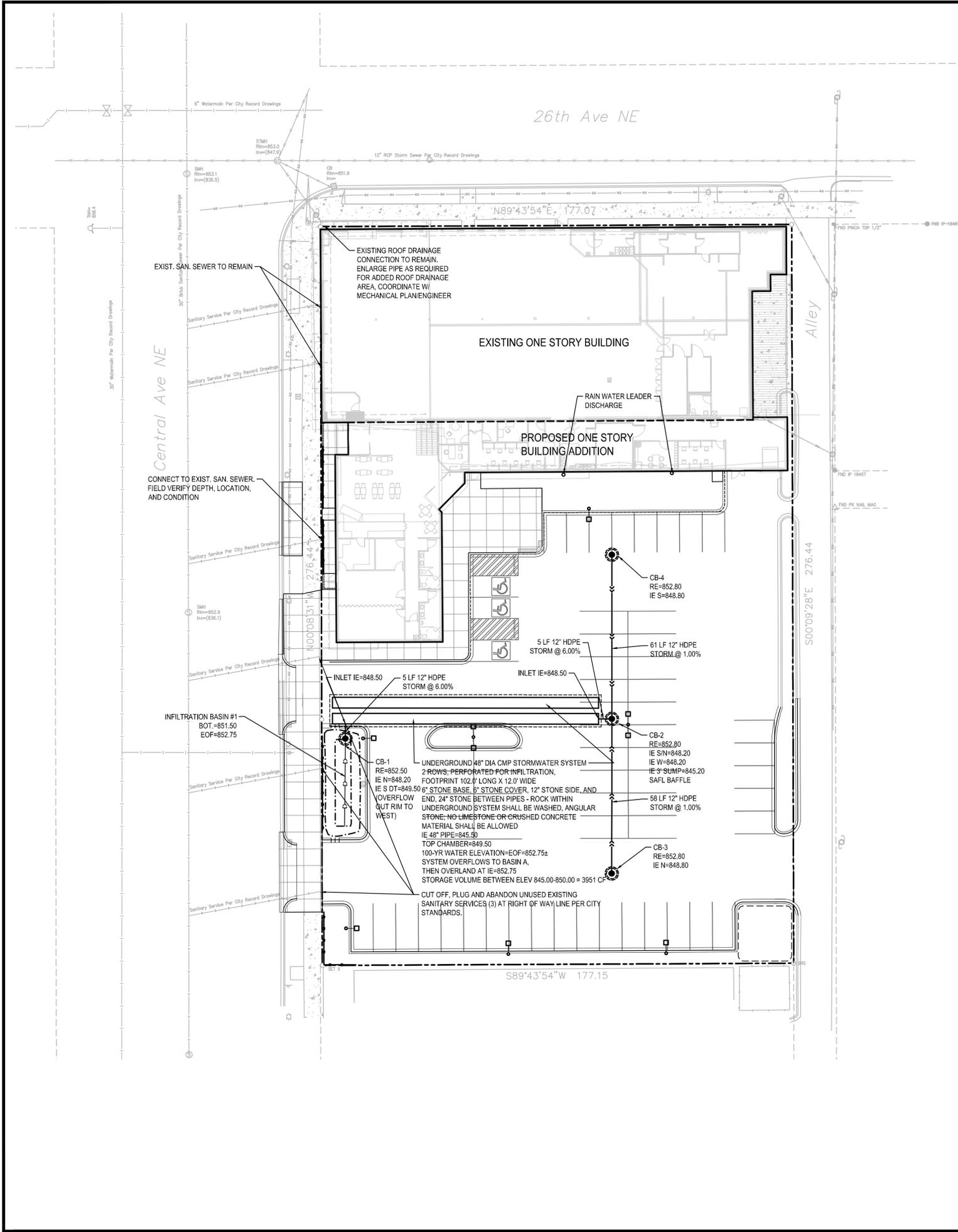
Matthew R. Pavak  
 DATE 06/25/14 LICENSE NO. 44263

ISSUE/SUBMITTAL SUMMARY
DATE DESCRIPTION
05/22/14 PDR SUBMITTAL
06/25/14 LAND USE APPLICATION

REVISION SUMMARY
DATE DESCRIPTION

**GRADING PLAN**

**C3.0**



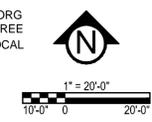
**GENERAL UTILITY NOTES:**

- SEE SITE PLAN FOR HORIZONTAL DIMENSIONS AND LAYOUT.
- CONTRACTOR SHALL FIELD VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF DISCREPANCIES OR VARIATIONS FROM THE PLANS.
- ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTACT "GOPHER STATE ONE CALL" (651-454-0002 OR 800-252-1166) FOR UTILITY LOCATIONS, 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY UTILITIES THAT ARE DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.
- UTILITY INSTALLATION SHALL CONFORM TO THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR WATER MAIN AND SERVICE LINE INSTALLATION" AND "SANITARY SEWER AND STORM SEWER INSTALLATION" AS PREPARED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA (CEAM), AND SHALL CONFORM WITH THE REQUIREMENTS OF THE CITY AND THE PROJECT SPECIFICATIONS.
- CASTINGS SHALL BE SALVAGED FROM STRUCTURE REMOVALS AND RE-USED OR PLACED AT THE DIRECTION OF THE OWNER.
- ALL WATER PIPE SHALL BE CLASS 52 DUCTILE IRON PIPE (DIP) UNLESS OTHERWISE NOTED.
- ALL SANITARY SEWER SHALL BE SDR 26 POLYVINYL CHLORIDE (PVC) UNLESS OTHERWISE NOTED.
- ALL STORM SEWER PIPE SHALL BE SDR 26 POLYVINYL CHLORIDE (PVC) UNLESS OTHERWISE NOTED.
- PIPE LENGTHS SHOWN ARE FROM CENTER TO CENTER OF STRUCTURE OR TO END OF FLARED END SECTION.
- UTILITIES ON THE PLAN ARE SHOWN TO WITHIN 5' OF THE BUILDING FOOTPRINT. THE CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR THE FINAL CONNECTION TO BUILDING LINES. COORDINATE WITH ARCHITECTURAL AND MECHANICAL PLANS.
- CATCH BASINS AND MANHOLES IN PAVED AREAS SHALL BE SUMPED 0.04 FEET. ALL CATCH BASINS IN GUTTERS SHALL BE SUMPED 0.15 FEET PER DETAILS. RIM ELEVATIONS SHOWN ON THIS PLAN DO NOT REFLECT SUMPED ELEVATIONS.
- ALL FIRE HYDRANTS SHALL BE LOCATED 5 FEET BEHIND BACK OF CURB UNLESS OTHERWISE NOTED.
- HYDRANT TYPE, VALVE, AND CONNECTION SHALL BE IN ACCORDANCE WITH CITY REQUIREMENTS. HYDRANT EXTENSIONS ARE INCIDENTAL.
- A MINIMUM OF 8 FEET OF COVER IS REQUIRED OVER ALL WATERMAIN, UNLESS OTHERWISE NOTED. EXTRA DEPTH MAY BE REQUIRED TO MAINTAIN A MINIMUM OF 18" VERTICAL SEPARATION TO SANITARY OR STORM SEWER LINES. EXTRA DEPTH WATERMAIN IS INCIDENTAL.
- A MINIMUM OF 18 INCHES OF VERTICAL SEPARATION AND 10 FEET OF HORIZONTAL SEPARATION IS REQUIRED FOR ALL UTILITIES, UNLESS OTHERWISE NOTED.
- ALL CONNECTIONS TO EXISTING UTILITIES SHALL BE IN ACCORDANCE WITH CITY STANDARDS AND COORDINATED WITH THE CITY PRIOR TO CONSTRUCTION.
- CONNECTIONS TO EXISTING STRUCTURES SHALL BE CORE-DRILLED.
- COORDINATE LOCATIONS AND SIZES OF SERVICE CONNECTIONS WITH THE MECHANICAL DRAWINGS.
- COORDINATE INSTALLATION AND SCHEDULING OF THE INSTALLATION OF UTILITIES WITH ADJACENT CONTRACTORS AND CITY STAFF.
- ALL STREET REPAIRS AND PATCHING SHALL BE PERFORMED PER THE REQUIREMENTS OF THE CITY. ALL PAVEMENT CONNECTIONS SHALL BE SAWCUT. ALL TRAFFIC CONTROLS SHALL BE PROVIDED BY THE CONTRACTOR AND SHALL BE ESTABLISHED PER THE REQUIREMENTS OF THE MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD) AND THE CITY. THIS SHALL INCLUDE BUT NOT BE LIMITED TO SIGNAGE, BARRICADES, FLASHERS, AND FLAGGERS AS NEEDED. ALL PUBLIC STREETS SHALL BE OPEN TO TRAFFIC AT ALL TIMES. NO ROAD CLOSURES SHALL BE PERMITTED WITHOUT APPROVAL BY THE CITY.
- ALL STRUCTURES, PUBLIC AND PRIVATE, SHALL BE ADJUSTED TO PROPOSED GRADES WHERE REQUIRED. THE REQUIREMENTS OF ALL OWNERS MUST BE COMPLIED WITH. STRUCTURES BEING RESET TO PAVED AREAS MUST MEET OWNERS REQUIREMENTS FOR TRAFFIC LOADING.
- CONTRACTOR SHALL COORDINATE ALL WORK WITH PRIVATE UTILITY COMPANIES.
- CONTRACTOR SHALL COORDINATE CONNECTION OF IRRIGATION SERVICE TO UTILITIES. COORDINATE THE INSTALLATION OF IRRIGATION SLEEVES NECESSARY AS TO NOT IMPACT INSTALLATION OF UTILITIES.
- CONTRACTOR SHALL MAINTAIN AS-BUILT PLANS THROUGHOUT CONSTRUCTION AND SUBMIT THESE PLANS TO ENGINEER UPON COMPLETION OF WORK.

**UTILITY LEGEND:**

- MANHOLE OR CATCH BASIN
- ⊗ GATE VALVE
- ⊕ POST INDICATOR VALVE
- SANITARY SEWER
- STORM SEWER
- WATER MAIN

**GOPHER STATE ONE CALL**  
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**EASTSIDE FOOD CO-OP ADDITION**

2551 CENTRAL AVE. NE, MINNEAPOLIS MINNESOTA

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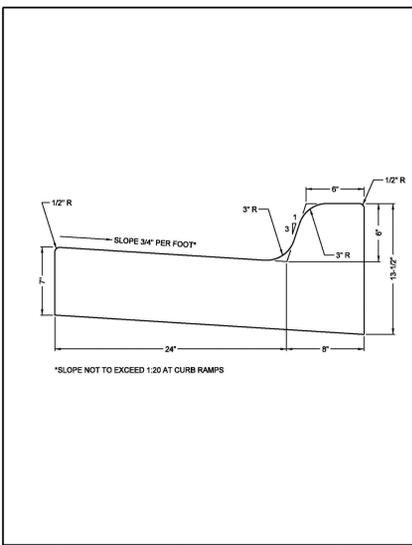
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REVISION SUMMARY
DATE DESCRIPTION

UTILITY PLAN

**C4.0**

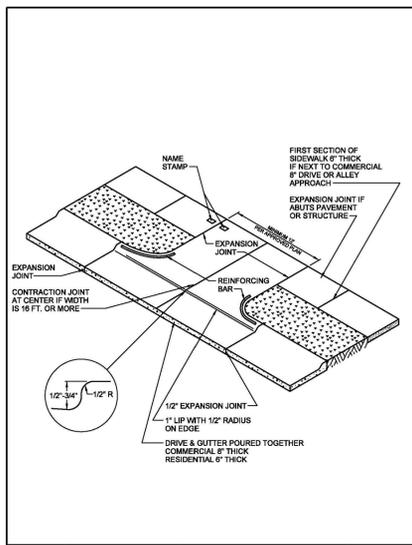


**MINNEAPOLIS**  
DEPARTMENT OF PUBLIC WORKS

DATE: 9/2007  
APPROVED: GAS DATE: 9/2009

B-624 CURB AND GUTTER

STANDARD PLATE NO. ROAD-1003

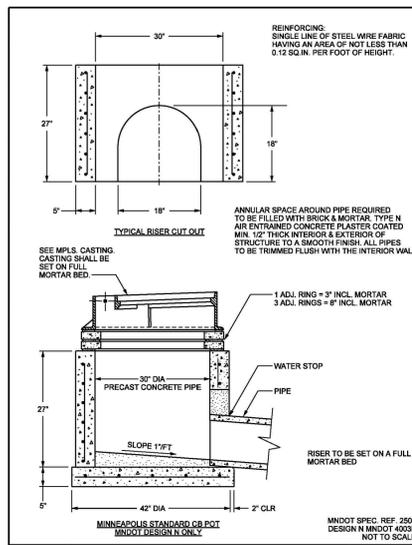


**MINNEAPOLIS**  
DEPARTMENT OF PUBLIC WORKS

DATE: 9/2007  
APPROVED: GAS DATE: 9/2009

TYPICAL DRIVEWAY

STANDARD PLATE NO. ROAD-2002

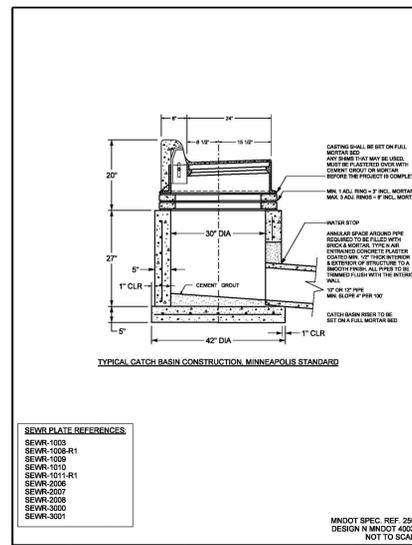


**MINNEAPOLIS**  
DEPARTMENT OF PUBLIC WORKS

DATE: 1/2006  
APPROVED: HRS DATE: 1/2006

PRECAST CATCH BASIN

STANDARD PLATE NO. SEWR-1008-R1



**MINNEAPOLIS**  
DEPARTMENT OF PUBLIC WORKS

DATE: 12/12  
APPROVED: HRS DATE: 12/13

STANDARD CATCH BASIN CONSTRUCTION

STANDARD PLATE NO. SEWR-1017

CIRCULAR CONCRETE PIPE HEIGHT OF BACKFILL IN FEET FOR CLASS C BEDDING MEASURED AT TOP OF PIPE IN FEET, 120 PCF SOIL DENSITY

PIPE DIA. (in.)	CLASS II		CLASS III		CLASS IV		CLASS V	
	N	W	N	W	N	W	N	W
12	6	9	9	9	13	21	19	
15	6	9	9	9	13	22	19	
18	7	9	9	9	14	23	20	
21	7	9	9	9	14	24	20	
24	7	9	9	9	14	24	20	
27	7	9	9	9	14	24	20	
30	7	9	9	9	14	24	20	
33	7	9	9	9	14	24	20	
36	7	9	9	9	14	24	20	
42	7	9	9	9	14	24	21	
48	8	11	10	10	14	24	21	
54	8	11	10	10	14	24	21	
60	8	11	10	10	14	24	21	
66	8	11	10	10	14	24	21	
72	8	11	10	10	14	24	21	
78	8	11	10	10	14	24	21	
84	8	11	10	10	14	24	21	
90	8	11	10	10	14	24	21	
96	8	11	10	10	14	24	21	
102	8	11	10	10	14	24	21	
108	8	11	10	10	14	24	21	

N = NARROW TRENCH; MINIMUM WIDTH  
W = WIDE TRENCH; TRANSITION WIDTH  
PIPE DIA. (in.) = INSIDE DIAMETER IN CHART

CLASS C (ORDINARY BEDDING)  
CLASS C BEDDING CONSISTS OF CAREFULLY SHAPING THE FOUNDATION SOIL TO FIT THE LOWER EXTERIOR OF THE PIPE TO A DEPTH OF AT LEAST 15% OF THE OUTSIDE DIAMETER FOR CIRCULAR PIPES AND AT LEAST EQUAL TO 1/2 OF THE HEIGHT OF ARCH PIPE. ADDITIONAL CONSIDERATION FOR BELL AND PIPE IS USED. THE BEDDING MUST BE EXCAVATED TO ACCEPT THE BELL END SO THAT THE PIPE IS SUPPORTED ALONG ITS FULL LENGTH AND NOT JUST AT THE BELL.

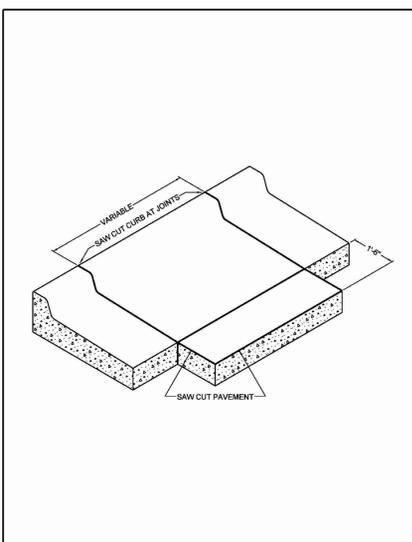
MINNEAPOLIS DESIGN REFERENCE  
MINDOT DRAINAGE MANUAL  
SECTION 2.6 AUGUST 20, 2000  
FIG. 2.3 CLASSES OF BEDDING FOR TRENCH CONDITIONS  
NOT TO SCALE

**MINNEAPOLIS**  
DEPARTMENT OF PUBLIC WORKS

DATE: 1/2008  
APPROVED: HRS DATE: 1/07

CLASS 'C' BEDDING FOR TRENCH CONDITION

STANDARD PLATE NO. SEWR-6002

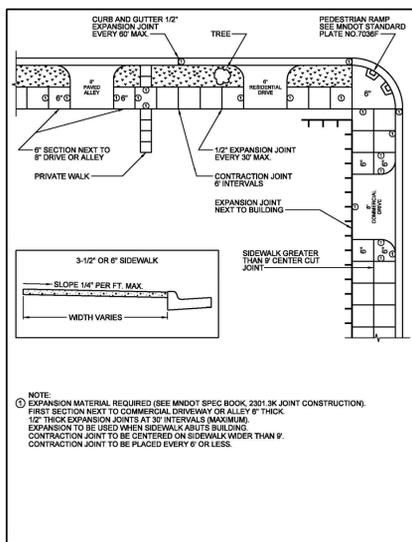


**MINNEAPOLIS**  
DEPARTMENT OF PUBLIC WORKS

DATE: 9/2007  
APPROVED: GAS DATE: 9/2009

SAW CUT AT CURB AND GUTTER REMOVAL

STANDARD PLATE NO. ROAD-1010

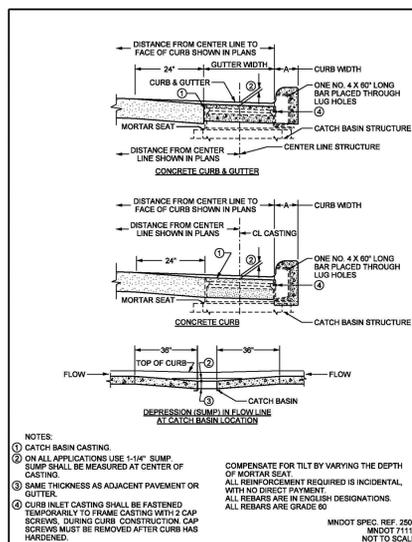


**MINNEAPOLIS**  
DEPARTMENT OF PUBLIC WORKS

DATE: 9/2007  
APPROVED: GAS DATE: 9/2009

TYPICAL SIDEWALK AND DRIVEWAY CONSTRUCTION

STANDARD PLATE NO. ROAD-2003

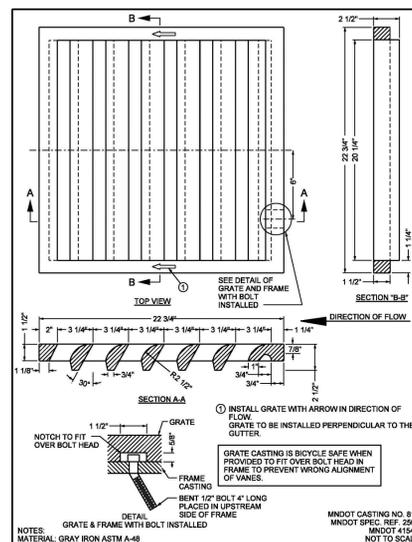


**MINNEAPOLIS**  
DEPARTMENT OF PUBLIC WORKS

DATE: 8/03  
APPROVED: HRS DATE: 1/06

CATCH BASIN INSTALLATION

STANDARD PLATE NO. SEWR-1009

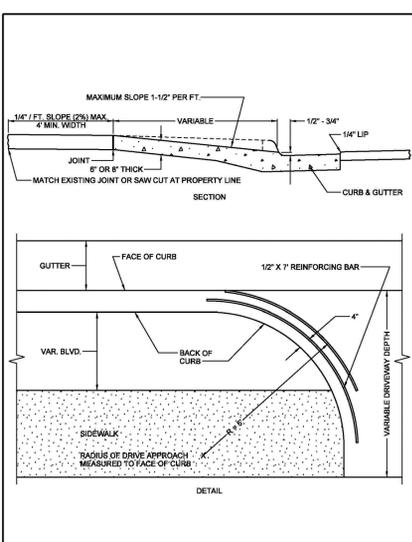


**MINNEAPOLIS**  
DEPARTMENT OF PUBLIC WORKS

DATE: 1/08  
APPROVED: HRS DATE: 1/08

CATCH BASIN GRATE TYPE 'V'

STANDARD PLATE NO. SEWR-2008



**MINNEAPOLIS**  
DEPARTMENT OF PUBLIC WORKS

DATE: 9/2007  
APPROVED: GAS DATE: 9/2009

TYPICAL DRIVEWAY CONSTRUCTION

STANDARD PLATE NO. ROAD-2001

STRUCTURE	PRECAST CONCRETE BASE			
	SIZE (in.)	OUTSIDE DIA. (in.)	MIN. REINFORCEMENT (in.)	WT. (lbs)
	30	44	6 #4	12 1680
	46	60	8 #4	12 1680
	60	78	8 #4	12 3220
	72	92	8 #4	12 4620
	84	108	8 #4	8 8130
	96	120	8 #4	8 7890
	108	132	10 #4	8 10690
	120	146	12 #4	8 17440

ALL REBARS ARE IN ENGLISH DESIGNATIONS

REINFORCING IN EACH DIRECTION; SEE TABLE FOR SPACING REQUIRED. 12# AIR ENTRAINMENT WIRE MESH MAY BE USED.

LIFTING LOOPS OR OTHER APPROVED LIFTING DEVICES, 3 AT 120" (MUST NOT INTERFERE WITH BARREL SECTION).

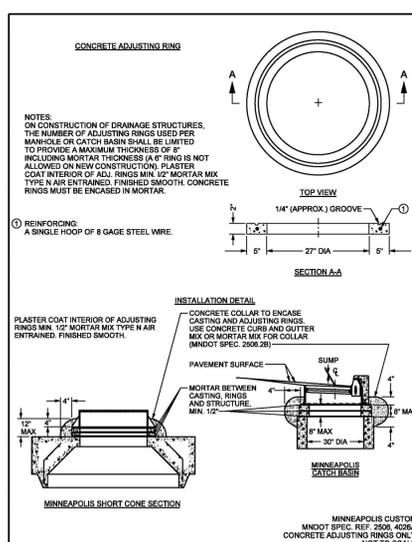
MINNEAPOLIS CUSTOM  
MINDOT SPEC. REF. 2008, 4009A  
CONCRETE ADJUSTING RINGS ONLY  
NOT TO SCALE

**MINNEAPOLIS**  
DEPARTMENT OF PUBLIC WORKS

DATE: 3/03  
APPROVED: HRS DATE: 1/06

MANHOLE BASE SLAB

STANDARD PLATE NO. SEWR-1003

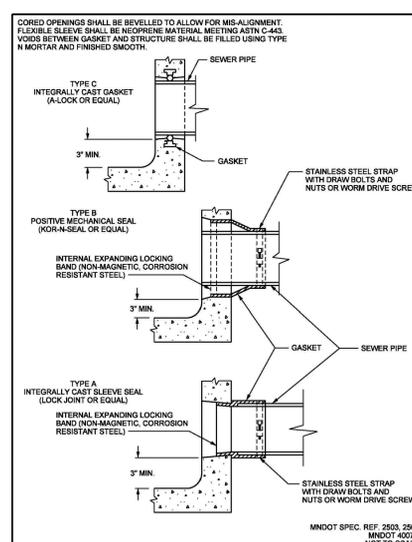


**MINNEAPOLIS**  
DEPARTMENT OF PUBLIC WORKS

DATE: 1/06  
APPROVED: HRS DATE: 1/06

CONCRETE ADJUSTING RINGS

STANDARD PLATE NO. SEWR-1011-R1



**MINNEAPOLIS**  
DEPARTMENT OF PUBLIC WORKS

DATE: 3/03  
APPROVED: HRS DATE: 1/08

WATERTIGHT PIPE CONNECTION

STANDARD PLATE NO. SEWR-3001

**CivilSite GROUP**  
4831 W. 35TH ST., SUITE 200  
ST. LOUIS PARK, MN 55416  
CivilSiteGroup.com

Matt Pavlek 763-213-3644 Pat Sarver 952-255-2003

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**EASTSIDE FOOD CO-OP**

2551 CENTRAL AVE. NE, MINNEAPOLIS MINNESOTA

PROJECT

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Matthew R. Pavlek  
DATE: 05/22/14 LICENSE NO. 44263

ISSUE/SUBMITTAL SUMMARY

DATE	DESCRIPTION
05/22/14	PDR SUBMITTAL
06/26/14	LAND USE APPLICATION

REVISION SUMMARY

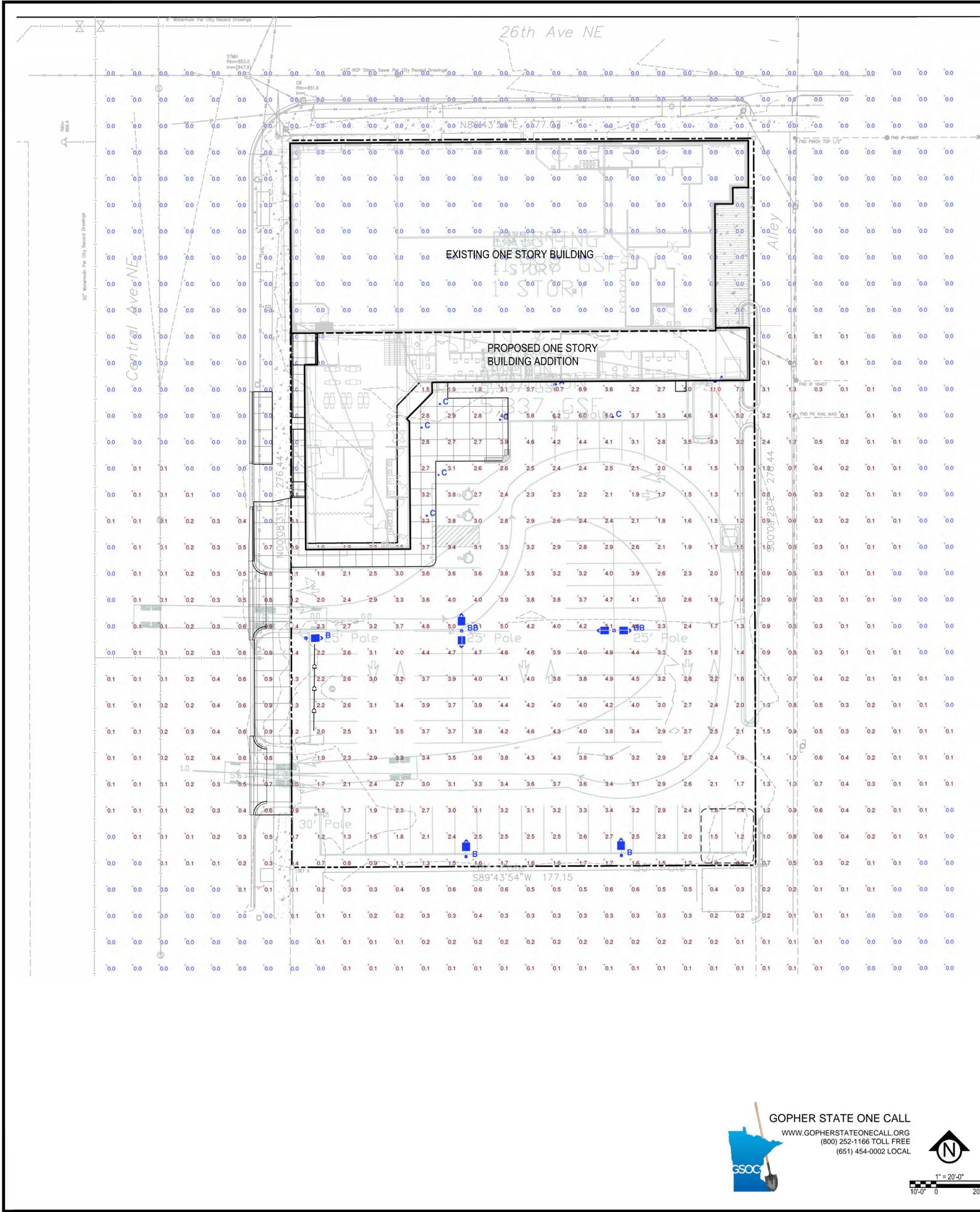
DATE	DESCRIPTION
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DETAILS

**C5.0**

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### LUMINAIRE SCHEDULE

Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
■	A	2	DSXW2 LED 30C 1000 40K T4M MVOLT	DSXW2 LED WITH 3 LIGHT ENGINES, 30 LEDs, 1000mA DRIVER, 4000K LED, TYPE 4 MEDIUM OPTIC	LED	DSXW2_LED_30C_1000_40K_T4M_MVOLT.ies	Absolute	0.85	109
■	B	3	DSX1 LED 60C 1000 30K T3M MVOLT HS	DSX1 LED WITH (2) 30 LED LIGHT ENGINES, TYPE T3M OPTIC, 3000K, @ 1000mA WITH HOUSE SIDE SHIELD	LED	DSX1_LED_60C_1000_30K_T3M_MVOLT_HS.ies	Absolute	0.85	209
■	BB	2	DSX1 LED 60C 1000 40K T3M MVOLT	DSX1 LED WITH (2) 30 LED LIGHT ENGINES, TYPE T3M OPTIC, 4000K, @ 1050mA	LED	DSX1_LED_60C_1000_40K_T3M_MVOLT.ies	Absolute	0.85	418
●	C	6	W110-L1W56 C120	LUMINIS LED COLUMN LUMINAIRE WITH WHITE TRANSLUCENT LENS	ONE WHITE LED ARRAY, LUMEN OUTPUT = 2007.7	W110-L1W56.ies	Absolute	0.85	54.47

### STATISTICS

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Total Area @ Grade		0.8 fc	11.0 fc	0.0 fc	N/A	N/A

- ### NOTES
- Davis and Associates, Inc does not assume responsibility for the interpretation of this calculation, or compliance to local or state lighting codes and ordinances.
  - Lighting layout provided is not intended for construction documents but only to illustrate the performance of the product.
  - All readings/calculations are shown @ grade.
  - Wall mounted fixtures are 15" 0" A.F.F.

#### D-Series Size 2 LED Wall Luminaire

**Specifications**  
 Luminaire: 16-1/2" x 7-1/2"  
 Depth: 1-1/2"  
 Height: 5-5/8"  
 Weight: 2.8 lbs

**Ordering Information**  
 EXAMPLE: DSXW2 LED 30C 700 40K T4M MVOLT DBDRTD

Series	Color	Temp	Beam	Optic	Mount	Notes
DSXW2	30C	700	40K	T4M	MVOLT	DBDRTD

**Accessories**  
 DSXW2-30C-1000-40K-T4M-MVOLT-DBDRTD  
 DSXW2-30C-1000-40K-T4M-MVOLT-DBDRTD-1500  
 DSXW2-30C-1000-40K-T4M-MVOLT-DBDRTD-1500-1500

#### D-Series Size 1 LED Area Luminaire

**Specifications**  
 EPA: 12.0 ft  
 Length: 32"  
 Width: 13"  
 Height: 1-1/2"  
 Weight (incl): 27 lbs

**Ordering Information**  
 EXAMPLE: DSX1 LED 60C 1000 40K T3M MVOLT SPA DBDSDX

Series	Color	Temp	Beam	Optic	Mount	Notes
DSX1	60C	1000	40K	T3M	MVOLT	SPA DBDSDX

**Accessories**  
 DSX1-60C-1000-40K-T3M-MVOLT-SPA-DBDSDX  
 DSX1-60C-1000-40K-T3M-MVOLT-SPA-DBDSDX-1500  
 DSX1-60C-1000-40K-T3M-MVOLT-SPA-DBDSDX-1500-1500

#### D-Series Size 1 LED Area Luminaire

**Specifications**  
 EPA: 12.0 ft  
 Length: 32"  
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 Weight (incl): 27 lbs

**Ordering Information**  
 EXAMPLE: DSX1 LED 60C 1000 40K T3M MVOLT SPA DBDSDX

Series	Color	Temp	Beam	Optic	Mount	Notes
DSX1	60C	1000	40K	T3M	MVOLT	SPA DBDSDX

**Accessories**  
 DSX1-60C-1000-40K-T3M-MVOLT-SPA-DBDSDX  
 DSX1-60C-1000-40K-T3M-MVOLT-SPA-DBDSDX-1500  
 DSX1-60C-1000-40K-T3M-MVOLT-SPA-DBDSDX-1500-1500

#### W110 ECLIPSE LED

**Specifications**  
 EPA: 12.0 ft  
 Length: 32"  
 Width: 13"  
 Height: 1-1/2"  
 Weight (incl): 27 lbs

**Ordering Information**  
 EXAMPLE: W110-L1W56 C120

Series	Color	Temp	Beam	Optic	Mount	Notes
W110	L1W56	C120				

**Accessories**  
 W110-L1W56-C120  
 W110-L1W56-C120-1500  
 W110-L1W56-C120-1500-1500

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 (651) 454-0002 LOCAL

1" = 20'-0"  
 10'-0" 0 20'-0"

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PROJECT

ISSUE/SUBMITTAL SUMMARY  
 DATE DESCRIPTION  
 05/22/14 FOR SUBMITTAL  
 06/26/14 LAND USE APPLICATION

REVISION SUMMARY  
 DATE DESCRIPTION

LIGHTING PLAN

**L2.0**  
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GENERAL SWPPP REQUIREMENTS AND NOTES:

THE CONTRACTOR AND ALL SUBCONTRACTORS INVOLVED WITH A CONSTRUCTION ACTIVITY THAT DISTURBS SITE SOIL OR WHO IMPLEMENT A POLLUTANT CONTROL MEASURE IDENTIFIED IN THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) MUST COMPLY WITH THE REQUIREMENTS OF THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT (DATED AUGUST 1, 2113 # MNR100001 PAGES 1-35) AND ANY LOCAL GOVERNING AGENCY HAVING JURISDICTION CONCERNING EROSION AND SEDIMENTATION CONTROL.

PART III STORMWATER DISCHARGE DESIGN REQUIREMENTS

SWPPP (PART III.A)

THE NATURE OF THIS PROJECT WILL BE CONSISTENT WITH WHAT IS REPRESENTED IN THIS SET OF CONSTRUCTION PLANS AND SPECIFICATIONS. SEE THE SWPPP PLAN SHEETS AND SWPPP NARRATIVE (ATTACHMENT A CONSTRUCTION SWPPP TEMPLATE) FOR ADDITIONAL SITE SPECIFIC SWPPP INFORMATION. THE PLANS SHOW LOCATIONS AND TYPES OF ALL TEMPORARY AND PERMANENT EROSION PREVENTION AND SEDIMENT CONTROL BMP'S. STANDARD DETAILS ARE ATTACHED TO THIS SWPPP DOCUMENT.

THE INTENDED SEQUENCING OF MAJOR CONSTRUCTION ACTIVITIES IS AS FOLLOWS:

- 1. INSTALL STABILIZED ROCK CONSTRUCTION ENTRANCE
2. INSTALLATION OF SILT FENCE AROUND SITE
3. INSTALL ORANGE CONSTRUCTION FENCING AROUND INFILTRATION AREAS.
4. CLEAR AND GRUB FOR TEMPORARY SEDIMENT BASIN / POND INSTALL
5. CONSTRUCT TEMPORARY SEDIMENT BASIN / POND (PART III.B)
6. CLEAR AND GRUB REMAINDER OF SITE
7. STRIP AND STOCKPILE TOPSOIL
8. ROUGH GRADING OF SITE
9. STABILIZE DENUDED AREAS AND STOCKPILES
10. INSTALL SANITARY SEWER, WATER MAIN STORM SEWER AND SERVICES
11. INSTALL SILT FENCE / INLET PROTECTION AROUND CBS
12. INSTALL STREET SECTION
13. INSTALL CURB AND GUTTER
14. BITUMINOUS ON STREETS
15. FINAL GRADE BOULEVARD, INSTALL SEED AND MULCH
16. REMOVE ACCUMULATED SEDIMENT FROM BASIN / POND
17. FINAL GRADE POND / INFILTRATION BASINS (DO NOT COMPACT SOILS IN INFILTRATION AREAS.) (PART III.C)
18. WHEN ALL CONSTRUCTION ACTIVITY IS COMPLETE AND THE SITE IS STABILIZED BY EITHER SEED OR SOILLANDSCAPING, REMOVE SILT FENCE AND RESEED ANY AREAS DISTURBED BY THE REMOVAL.

RECORDS RETENTION (PART III.E):

THE SWPPP (ORIGINAL OR COPIES) INCLUDING ALL CHANGES TO IT, AND INSPECTIONS AND MAINTENANCE RECORDS MUST BE KEPT AT THE SITE DURING CONSTRUCTION BY THE PERMITEE WHO HAS OPERATIONAL CONTROL OF THAT PORTION OF THE SITE. THE SWPPP CAN BE KEPT IN EITHER THE FIELD OFFICE OR IN AN ON SITE VEHICLE DURING NORMAL WORKING HOURS.

ALL OWNER(S) MUST KEEP THE SWPPP, ALONG WITH THE FOLLOWING ADDITIONAL RECORDS, ON FILE FOR THREE (3) YEARS AFTER SUBMITTAL OF THE NOT AS OUTLINED IN PART III.C. THIS DOES NOT INCLUDE ANY RECORDS AFTER SUBMITTAL OF THE NOT.

- 1. THE FINAL SWPPP;
2. ANY OTHER STORMWATER RELATED PERMITS REQUIRED FOR THE PROJECT;
3. RECORDS OF ALL INSPECTION AND MAINTENANCE CONDUCTED DURING CONSTRUCTION (SEE PART IV.E. INSPECTIONS AND MAINTENANCE);
4. ALL PERMANENT OPERATION AND MAINTENANCE AGREEMENTS THAT HAVE BEEN IMPLEMENTED, INCLUDING ALL RIGHT OF WAY, CONTRACTS, COVENANTS AND OTHER BINDING REQUIREMENTS REGARDING PERPETUAL MAINTENANCE; AND
5. ALL REQUIRED CALCULATIONS FOR DESIGN OF THE TEMPORARY AND PERMANENT STORMWATER MANAGEMENT SYSTEMS.

PART IV. CONSTRUCTION ACTIVITY REQUIREMENTS

EROSION PREVENTION (PART IV.B):

THE CONTRACTOR IS RESPONSIBLE FOR PLANING FOR AND IMPLEMENTING APPROPRIATE CONSTRUCTION PHASING, VEGETATIVE BUFFER STRIPS, HORIZONTAL SLOPE GRADING, AND OTHER CONSTRUCTION PRACTICES THAT MINIMIZE EROSION, SO THAT THE INSPECTION AND MAINTENANCE REQUIREMENTS OF PART IV.E. ARE COMPLIED WITH. THE LOCATION OF AREAS NOT TO BE DISTURBED MUST BE DELINEATED (E.G. WITH FLAGS, STAKES, SIGNS, SILT FENCE ETC.) ON THE DEVELOPMENT SITE BEFORE WORK BEGINS.

ALL EXPOSED SOIL AREAS MUST BE STABILIZED AS SOON AS POSSIBLE TO LIMIT SOIL EROSION BUT NO LATER THAN THE END OF THE NEXT WORK DAY WHEN EARTH-DISTURBING ACTIVITIES WILL CEASE FOR AT LEAST 14 DAYS. TEMPORARY STOCKPILES WITHOUT SIGNIFICANT SILT, CLAY OR ORGANIC COMPONENTS (E.G., CLEAN AGGREGATE STOCKPILES, DEMOLITION CONCRETE STOCKPILES, SAND STOCKPILES) AND THE CONSTRUCTED BASE COMPONENTS OF ROADS, PARKING LOTS AND SIMILAR SURFACES ARE EXEMPT FROM THIS REQUIREMENT BUT MUST COMPLY WITH PART IV.C.S.

SOILS WITHIN 200 FEET OF A PUBLIC WATER (AS DESIGNATED BY THE MINNESOTA DNR) MUST BE STABILIZED WITHIN 24 HOURS DURING FISH SPawning TIMES.

THE NORMAL WETTED PERIMETER OF ANY TEMPORARY OR PERMANENT DRAINAGE DITCH OR SWALE THAT DRAINS WATER FROM ANY PORTION OF THE CONSTRUCTION SITE, OR DIVERTS WATER AROUND THE SITE, MUST BE STABILIZED WITHIN 200 LINEAL FEET FROM THE PROPERTY EDGE, OR FROM THE POINT OF DISCHARGE INTO ANY SURFACE WATER, STABILIZATION OF THE LAST 200 LINEAL FEET MUST BE COMPLETED WITHIN 24 HOURS AFTER CONNECTING TO A SURFACE WATER.

STABILIZATION OF THE REMAINING PORTIONS OF ANY TEMPORARY OR PERMANENT DITCHES OR SWALES MUST BE COMPLETE WITHIN 14 DAYS AFTER CONNECTING TO A SURFACE WATER AND CONSTRUCTION IN THAT PORTION OF THE DITCH HAS TEMPORARILY OR PERMANENTLY CEASED.

TEMPORARY OR PERMANENT DITCHES OR SWALES THAT ARE BEING USED AS A SEDIMENT CONTAINMENT SYSTEM (WITH PROPERLY DESIGNED ROCK DITCH CHECKS, BIO ROLLS, SILT DIKES ETC.) DO NOT NEED TO BE STABILIZED. THESE AREAS MUST BE STABILIZED WITHIN 24 HOURS AFTER NO LONGER BEING USED AS A SEDIMENT CONTAINMENT SYSTEM.

PIPE OUTLETS MUST BE PROVIDED WITH TEMPORARY OR PERMANENT ENERGY DISSIPATION WITHIN 24 HOURS AFTER CONNECTION TO A SURFACE WATER.

SEED NOTES (PART III.A.4.A):

ALL SEED MIXES AND APPLICATION SHALL BE IN ACCORDANCE WITH THE MNDOT SEEDING MANUAL.

GENERAL RECOMMENDATIONS: IMMEDIATELY BEFORE SEEDING THE SOIL SHALL BE TILLED TO A MINIMUM DEPTH OF 3 INCHES.

TEMPORARY EROSION CONTROL SEEDING, MULCHING & BLANKET.

SEED
• TEMPORARY SEED SHALL BE MNDOT SEED MIX 21-112 (WINTER WHEAT COVER CROP) FOR WINTER AND 21-111 (OATS COVER CROP) FOR SPRING/SUMMER APPLICATIONS. BOTH SEED MIXES SHALL BE APPLIED AT A SEEDING RATE OF 100 LBS/ACRE.

MULCH
• IMMEDIATELY AFTER SEEDING, WITHIN 24 HOURS, MNDOT TYPE 1 MULCH SHOULD BE APPLIED TO PROTECT AND ENHANCE SEED GERMINATION. MULCH SHALL BE APPLIED AT 90% COVERAGE (2 TONS PER ACRE OF STRAW MULCH)

SLOPES
• 3:1 (HORIZ/VERT.) OR FLATTER MICH SHALL BE COVERED WITH MULCH
• SLOPES STEEPER THAN 3:1 OR DITCH BOTTOMS SHALL BE COVERED WITH EROSION CONTROL BLANKET.
• SEE PLAN FOR MORE DETAILED DITCH AND STEEP SLOPE EROSION CONTROL TREATMENTS.

SEDIMENT CONTROL (PART IV.C):

SEDIMENT CONTROL PRACTICES MUST MINIMIZE SEDIMENT FROM ENTERING SURFACE WATERS, INCLUDING CURB AND GUTTER SYSTEMS AND STORM SEWER INLETS.

- a. TEMPORARY OR PERMANENT DRAINAGE DITCHES AND SEDIMENT BASINS THAT ARE DESIGNED AS PART OF A SEDIMENT CONTAINMENT SYSTEM (E.G., DITCHES WITH ROCK CHECK DAMS) REQUIRE SEDIMENT CONTROL PRACTICES ONLY AS APPROPRIATE FOR SITE CONDITIONS.
b. IF THE DOWN GRADIENT TREATMENT SYSTEM IS OVERLOADED, ADDITIONAL UPGRADIENT SEDIMENT CONTROL PRACTICES OR REDUNDANT BMP'S MUST BE INSTALLED TO ELIMINATE THE OVERLOADING, AND THE SWPPP MUST BE AMENDED TO IDENTIFY THESE ADDITIONAL PRACTICES AS REQUIRED IN PART III.A.4. A. THROUGH C.
c. IN ORDER TO MAINTAIN SHEET FLOW AND MINIMIZE RILLS AND/OR GULLIES, THERE SHALL BE NO UNBROKEN SLOPE LENGTH OF GREATER THAN 75 FEET FOR SLOPES WITH A GRADE OF 3:1 OR STEEPER.

SEDIMENT CONTROL PRACTICES MUST BE ESTABLISHED ON ALL DOWN GRADIENT PERIMETERS BEFORE ANY UPGRADIENT LAND DISTURBING ACTIVITIES BEGIN. THESE PRACTICES SHALL REMAIN IN PLACE UNTIL FINAL STABILIZATION HAS BEEN ESTABLISHED IN ACCORDANCE WITH PART IV.G.

THE TIMING OF THE INSTALLATION OF SEDIMENT CONTROL PRACTICES MAY BE ADJUSTED TO ACCOMMODATE SHORT-TERM ACTIVITIES SUCH AS CLEARING OR GRUBBING, OR PASSAGE OF VEHICLES. ANY SHORT-TERM ACTIVITY MUST BE COMPLETED AS QUICKLY AS POSSIBLE AND THE SEDIMENT CONTROL PRACTICES MUST BE INSTALLED IMMEDIATELY AFTER THE ACTIVITY IS COMPLETED. HOWEVER, SEDIMENT CONTROL PRACTICES MUST BE INSTALLED BEFORE THE NEXT PRECIPITATION EVENT EVEN IF THE ACTIVITY IS NOT COMPLETE.

ALL STORM DRAIN INLETS MUST BE PROTECTED BY APPROPRIATE BMP'S DURING CONSTRUCTION UNTL ALL SOURCES WITH POTENTIAL FOR DISCHARGING TO THE INLET HAVE BEEN STABILIZED. INLET PROTECTION MAY BE REMOVED FOR A PARTICULAR INLET IF A SPECIFIC SAFETY CONCERN (STREET FLOODING/FREEZING) HAS BEEN IDENTIFIED AND THE PERMITEE(S) HAVE RECEIVED WRITTEN CORRESPONDENCE FROM THE JURISDICTIONAL AUTHORITY (E.G. CITY/COUNTY/TOWNSHIP/MNDOT ENGINEER) VERIFYING THE NEED FOR REMOVAL. THE WRITTEN CORRESPONDENCE MUST BE DOCUMENTED IN THE SWPPP OR AVAILABLE WITHIN 72 HOURS UPON REQUEST. WHEN WRITTEN CORRESPONDENCE CAN NOT BE OBTAINED IN A TIMELY MANNER, THE SPECIFIC INLET PROTECTION CAN BE REMOVED TO ALLEVIATE THE IMMEDIATE SAFETY CONCERN. HOWEVER, EFFORTS TO OBTAIN WRITTEN CORRESPONDENCE MUST BE DOCUMENTED IN THE SWPPP AND AVAILABLE WITHIN 72 HOURS UPON REQUEST. PERMISSION TO

REMOVE INLET PROTECTION BASED ON A SPECIFIC SAFETY CONCERN MUST STILL BE OBTAINED FROM THE JURISDICTIONAL AUTHORITY WITHIN 30 DAYS OF REMOVAL.

TEMPORARY SOIL STOCKPILES MUST HAVE SILT FENCE OR OTHER EFFECTIVE SEDIMENT CONTROLS, AND CANNOT BE PLACED IN SURFACE WATERS, INCLUDING STORMWATER CONVEYANCES SUCH AS CURB AND GUTTER SYSTEMS, OR CONDUITS AND DITCHES UNLESS THERE IS A BYPASS IN PLACE FOR THE STORMWATER.

VEHICLE TRACKING OF SEDIMENT FROM THE CONSTRUCTION SITE (OR ONTO STREETS WITHIN THE SITE) MUST BE MINIMIZED BY BMP'S SUCH AS STONE PADS, CONCRETE OR STEEL WASH RACKS, OR EQUIVALENT SYSTEMS. STREET SWEEPING MUST BE USED IF SUCH BMP'S ARE NOT ADEQUATE TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE STREET (SEE PART IV.E.4.D.).

THE PERMITEE MUST MINIMIZE SOIL COMPACTION AND, UNLESS INFEASIBLE, PRESERVE TOPSOIL. MINIMIZING SOIL COMPACTION IS NOT REQUIRED WHERE THE FUNCTION OF THE SPECIFIC AREA OF THE SITE DICTATES THAT IT BE COMPACTED. METHODS FOR MINIMIZING COMPACTION INCLUDE THE USE OF TRACKED EQUIPMENT, AND STAYING OFF OF AREAS TO BE LEFT UN-COMPACTED. METHODS TO PRESERVE TOPSOIL INCLUDE STRIPPING AND STOCKPILING TOPSOIL PRIOR TO GRADING OR EXCAVATION OPERATIONS.

THE PERMITEE MUST INSTALL TEMPORARY SEDIMENTATION BASINS AS REQUIRED IN PART III.B. OF THIS PERMIT. DEWATERING AND BASIN DRAINING (PART IV.D):

DEWATERING OR BASIN DRAINING (E.G., PUMPED DISCHARGES, TRENCH/DITCH CUTS FOR DRAINAGE) RELATED TO THE CONSTRUCTION ACTIVITY THAT MAY HAVE TURBID OR SEDIMENT LOADED DISCHARGE WATER MUST BE DISCHARGED TO A TEMPORARY OR PERMANENT SEDIMENTATION BASIN ON THE PROJECT SITE WHENEVER POSSIBLE. IF THE WATER CANNOT BE DISCHARGED TO A SEDIMENTATION BASIN PRIOR TO ENTERING THE SURFACE WATER, IT MUST BE TREATED WITH THE APPROPRIATE BMP'S SUCH THAT THE DISCHARGE DOES NOT ADVERSELY AFFECT THE RECEIVING WATER, DOWNSTREAM LANDOWNERS OR WETLANDS. THE CONTRACTOR MUST ENSURE THAT DISCHARGE POINTS ARE ADEQUATELY PROTECTED FROM EROSION AND SCOUR. THE DISCHARGE MUST BE DISPERSED OVER NATURAL ROCK RIPRAP, SAND BAGS, PLASTIC SHEATHING OR OTHER ACCEPTED ENERGY DISSIPATION MEASURES. ADEQUATE SEDIMENTATION CONTROL MEASURES ARE REQUIRED FOR DISCHARGE WATER THAT CONTAINS SUSPENDED SOLIDS.

FILTER BACKWASH WATERS MUST BE HAULED AWAY FOR DISPOSAL, RETURNED TO THE BEGINNING OF THE TREATMENT PROCESS, OR INCORPORATE INTO THE SITE IN A MANNER THAT DOES NOT CAUSE EROSION. DISCHARGE OF THE BACKWASH WATER TO SANITARY SEWER IS ALLOWED WITH PERMISSION OF THE SANITARY SEWER AUTHORITY.

INSPECTIONS AND MAINTENANCE (PART IV.E):

THE CONTRACTOR IS RESPONSIBLE AT ALL TIMES FOR THE MAINTENANCE AND PROPER OPERATION OF EROSION AND SEDIMENT CONTROL FACILITIES. THE CONTRACTOR SHALL AT A MINIMUM, INSPECT, MAINTAIN AND REPAIR ALL DISTURBED SURFACES AND ALL EROSION AND SEDIMENT CONTROL FACILITIES AND SOIL STABILIZATION MEASURES ONCE EVERY SEVEN (7) DAYS DURING ACTIVE CONSTRUCTION AND WITHIN 24 HOURS FOLLOWING A RAINFALL OF 0.5 INCHES OR GREATER AND WITHIN 7 DAYS AFTER THAT. CONTINUE INSPECTION ACTIVITIES UNTIL LAND-DISTURBING ACTIVITY HAS CEASED. THEREAFTER THE CONTRACTOR SHALL PERFORM THESE RESPONSIBILITIES AT LEAST WEEKLY UNTIL VEGETATIVE COVER IS ESTABLISHED. INSPECTIONS MUST INCLUDE STABILIZED AREAS, EROSION PREVENTION AND SEDIMENT CONTROL BMP'S AND INFILTRATION AREAS.

BASED ON INSPECTION RESULTS THE CONTRACTOR MAY MODIFY THE SWPPP IN ORDER TO PREVENT POLLUTANTS FROM LEAVING THE SITE VIA STORM WATER RUNOFF. THIS MODIFICATION MUST BE MADE WITHIN 7 CALENDAR DAYS OF THE INSPECTION UNLESS OTHERWISE REQUIRED BY THE TERMS OF THE PERMIT, LEGAL, REGULATORY, OR PHYSICAL ACCESS CONSTRAINTS.

INSPECTION REPORTS MUST BE RECORDED WITHIN 24 HOURS IN WRITING AND KEPT ON FILE BY THE CONTRACTOR AS AN INTEGRAL PART OF THE SWPPP ON SITE AND THEN FOR AT LEAST 3 YEARS FROM THE DATE OF COMPLETION OF THIS PROJECT.

ALL PERIMETER CONTROL DEVICES MUST BE REPAIRED, REPLACED OR SUPPLEMENTED WHEN THEY BECOME NONFUNCTIONAL OR THE SEDIMENT REACHES 1/2 OF THE HEIGHT OF THE DEVICE. THESE REPAIRS MUST BE MADE BY THE END OF THE NEXT BUSINESS DAY AFTER DISCOVERY, OR THEREAFTER AS SOON AS FIELD CONDITIONS ALLOW ACCESS.

REMOVE ALL DELTAS AND SEDIMENT DEPOSITED IN SURFACE WATERS, INCLUDING DRAINAGE WAYS, CATCH BASINS, AND OTHER DRAINAGE SYSTEMS, AND RESTABILIZE THE AREAS WHERE SEDIMENT REMOVAL RESULTS IN EXPOSED TOPSOIL. THIS REMOVAL AND STABILIZATION MUST TAKE PLACE WITHIN 7 DAYS OF DISCOVERY UNLESS PRECLUDED BY LEGAL, REGULATORY, OR PHYSICAL ACCESS CONSTRAINTS.

SEE (ATTACHMENT A CONSTRUCTION SWPPP TEMPLATE) FOR SITE SPECIFIC INSPECTIONS AND MAINTENANCE REQUIREMENTS.

POLLUTION PREVENTION MANAGEMENT (PART IV.F):

THE CONTRACTOR SHALL IMPLEMENT THE FOLLOWING POLLUTION PREVENTION MANAGEMENT MEASURES ON THE SITE:

SOLID WASTE: COLLECTED SEDIMENT, ASPHALT AND CONCRETE MILLINGS, FLOATING DEBRIS, PAPER, PLASTIC, FABRIC, CONSTRUCTION AND DEMOLITION DEBRIS AND OTHER WASTES MUST BE DISPOSED OF PROPERLY AND MUST COMPLY WITH MINNESOTA POLLUTION CONTROL AGENCY (MPCA) DISPOSAL REQUIREMENTS.

HAZARDOUS MATERIALS: OIL, GASOLINE, PAINT AND ANY HAZARDOUS SUBSTANCES MUST BE PROPERLY STORED, INCLUDING SECONDARY CONTAINMENT, TO PREVENT SPILLS, LEAKS OR OTHER DISCHARGE. RESTRICTED ACCESS TO STORAGE AREAS MUST BE PROVIDED TO PREVENT VANDALISM. STORAGE AND DISPOSAL OF HAZARDOUS WASTE MUST BE IN COMPLIANCE WITH MPCA REGULATIONS.

EXTERNAL WASHING OF TRUCKS AND OTHER CONSTRUCTION VEHICLES MUST BE LIMITED TO A DEFINED AREA OF THE SITE. RUNOFF MUST BE CONTAINED AND WASTEWATER PROPERLY DISPOSED OF. NO ENGINE DEGREASING IS ALLOWED ON SITE.

CONCRETE WASHOUT: ALL LIQUID AND SOLID WASTES GENERATED BY CONCRETE WASHOUT OPERATIONS MUST BE CONTAINED IN A LEAK PROOF CONTAINMENT FACILITY OR IMPERMEABLE LINER. A COMPACTED CLAY LINER THAT DOES NOT ALLOW WASHOUT LIQUIDS TO ENTER THE GROUND IS CONSIDERED AN IMPERMEABLE LINER. THE LIQUID AND SOLID WASTES MUST NOT CONTACT THE GROUND, AND THERE MUST NOT BE RUNOFF FROM THE CONCRETE WASHOUT OPERATIONS OR AREAS. LIQUID AND SOLID WASTES MUST BE DISPOSED OF PROPERLY AND IN COMPLIANCE WITH MPCA REGULATIONS. A SIGN MUST BE INSTALLED ADJACENT TO EACH WASHOUT FACILITY TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES. CONCRETE WASHOUT MAY ALSO OCCUR OFF SITE ACCORDING TO THE APPROPRIATE REGULATIONS.

FUELING OPERATION PLAN: ALL FUELING SHALL TAKE PLACE AT THE DESIGNATED FUELING LOCATION AND ACCORDING TO BEST PRACTICES FOR SITE FUELING OPERATIONS AS TO MINIMIZE THE POTENTIAL FOR SPILLS.

SPILL PREVENTION PLAN: ALL SPILLS SHALL BE IMMEDIATELY CLEANED UP AFTER DISCOVERY. THE SITE SUPERINTENDENT, WHO IS RESPONSIBLE FOR DAY-TO-DAY ONSITE CONSTRUCTION OPERATIONS WILL BE THE SPILL PREVENTION COORDINATOR AND WILL BE RESPONSIBLE FOR IMPLEMENTING CLEAN UP PROCEDURES, POSTING CLEAN UP RECOMMENDATIONS, AND ENSURING PROPER CLEAN UP TRAINING OF APPROPRIATE PERSONNEL.

SANITARY AND SEPTIC WASTE: SANITARY/SEPTIC FACILITIES SHALL BE PROVIDED AND MAINTAINED IN A NEAT AND SANITARY CONDITION, FOR THE USE OF THE CONTRACTOR'S EMPLOYEES. A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR AS REQUIRED BY STATE REGULATIONS WILL COLLECT SANITARY WASTE FROM PORTABLE UNITS.

FINAL STABILIZATION (PART IV.G):

THE CONTRACTOR MUST ENSURE FINAL STABILIZATION OF THE SITE ACCORDING THE DEFINITIONS IN THE NPDES GENERAL PERMIT PART IV SECTION G. THE CONTRACTOR MUST SUBMIT A NOTICE OF TERMINATION (N.O.T.) WITHIN 30 DAYS AFTER FINAL STABILIZATION IS COMPLETE OR WITHIN 7 DAYS AFTER SELLING THE SITE OR PORTION OF THE SITE (THAT HAS NOT UNDERGONE FINAL STABILIZATION) TO ANOTHER PARTY. A COPY OF THIS NOTICE OF TERMINATION / PERMIT MODIFICATION FORM MUST GO TO THE NEW OWNER. THE ORIGINAL CURRENT OWNER MUST PROVIDE A SWPPP TO THE NEW OWNER THAT SPECIFICALLY ADDRESSES THE REMAINING CONSTRUCTION ACTIVITY. SEE THE SWPPP PLAN SHEETS AND SWPPP NARRATIVE (ATTACHMENT A CONSTRUCTION SWPPP TEMPLATE) AND SWPPP PLAN SHEETS FOR FINAL STABILIZATION MEASURES

TRAINING (PART III.A.2)

DESIGN ENGINEER: MATTHEW R. PAVEK P.E.
TRAINING COURSE: DESIGN OF SWPPP
TRAINING ENTITY: UNIVERSITY OF MINNESOTA
INSTRUCTOR: JOHN CHAPMAN
DATES OF TRAINING COURSE: 5/15/2011 - 5/16/2011
TOTAL TRAINING HOURS: 12

OWNER INFORMATION

OWNER:
EASTSIDE FOOD CO-OP
2551 CENTRAL AVE. NE
MINNEAPOLIS, MN

AREAS AND QUANTITIES (PART III.A.4.B&C):

SITE AREA = 1.12 ACRES
ON SITE DISTURBED AREA = 1.12 ACRES
OFF SITE DISTURBED AREA = 0 ACRES
TOTAL DISTURBED AREA = 1.12 ACRES
EXISTING IMPERVIOUS AREA = 1.1 ACRES
PROPOSED IMPERVIOUS AREA = 1.1 ACRES
NEW IMPERVIOUS AREA = 0 ACRES
QUANTITY OF SOIL TO BE MOVED ON SITE = 4500 CY
SILT FENCE = 760LF
INLET PROTECTION DEVICES = 1 EACH
EROSION CONTROL BLANKET = 0 SF
TEMPORARY SEED & MULCH = 0 ACRES
ROCK CHECK DAMS = 0 EACH

SWPPP CONTACT PERSON

CONTRACTOR:
XXXXX
SWPPP INSPECTOR TRAINING:
ALL SWPPP INSPECTIONS MUST BE PERFORMED BY A PERSON THAT MEETS THE TRAINING REQUIREMENTS OF THE NPDES CONSTRUCTION SITE PERMIT. TRAINING CREDENTIALS SHALL BE PROVIDED BY THE CONTRACTOR AND KEPT ON SITE WITH THE SWPPP

PARTY RESPONSIBLE FOR LONG TERM OPERATION AND MAINTENANCE OF PERMANENT STORM WATER MANAGEMENT SYSTEM

OWNER:
EASTSIDE FOOD CO-OP
2551 CENTRAL AVE. NE
MINNEAPOLIS, MN

SWPPP ATTACHMENTS:

CONTRACTOR SHALL OBTAIN A COPY OF THE FOLLOWING SWPPP ATTACHMENTS WHICH ARE A PART OF THE OVERALL SWPPP PACKAGE:
ATTACHMENT A. CONSTRUCTION SWPPP TEMPLATE - SITE SPECIFIC SWPPP DOCUMENT
ATTACHMENT B. CONSTRUCTION STORMWATER INSPECTION CHECKLIST
ATTACHMENT C. MAINTENANCE PLAN FOR PERMANENT STORM WATER TREATMENT SYSTEMS
ATTACHMENT D. STORMWATER MANAGEMENT REPORT - ON FILE AT THE OFFICE OF PROJECT ENGINEER. AVAILABLE UPON REQUEST.
ATTACHMENT E: GEOTECHNICAL EVALUATION REPORT - ON FILE AT THE OFFICE OF PROJECT ENGINEER. AVAILABLE UPON REQUEST.

SUPPLEMENTARY SITE SPECIFIC EROSION CONTROL NOTES: THESE NOTES SUPERCEDE ANY GENERAL SWPPP NOTES.

SPECIAL TMDL BMP REQUIREMENTS SITE SPECIFIC (IF REQUIRED):

- 1. DURING CONSTRUCTION:
A. STABILIZATION OF ALL EXPOSED SOIL AREAS MUST BE INITIATED IMMEDIATELY TO LIMIT SOIL EROSION BUT IN NO CASE COMPLETED LATER THAN SEVEN (7) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.
B. TEMPORARY SEDIMENT BASIN REQUIREMENTS DESCRIBED IN PART III.C. MUST BE USED FOR COMMON DRAINAGE LOCATIONS THAT SERVE AN AREA WITH FIVE (5) OR MORE ACRES DISTURBED AT ONE TIME.
2. POST CONSTRUCTION-THE WATER QUALITY VOLUME THAT MUST BE RETAINED ON SITE BY THE PROJECT'S PERMANENT STORMWATER MANAGEMENT SYSTEM DESCRIBED IN PART III.D. SHALL BE ONE (1) INCH OF RUNOFF FROM THE NEW IMPERVIOUS SURFACES CREATED BY THE PROJECT. SEE PART III.D.1. FOR MORE INFORMATION ON INFILTRATION DESIGN, PROHIBITIONS AND APPROPRIATE SITE CONDITIONS.

PERMANENT STABILIZATION NOTES SITE SPECIFIC:

- PERMANENT SEED MIX
• FOR THIS PROJECT ALL AREAS THAT ARE NOT TO BE SOODED OR LANDSCAPED SHALL RECEIVE A NATIVE PERMANENT SEED MIX
• AREAS IN BUFFERS AND ADJACENT TO OR IN WET AREAS MNDOT SEED MIX 35-261 (STORMWATER SOUTH AND WEST) AT 35 LBS PER ACRE
• DRY AREAS MNDOT SEED MIX 35-221 (DRY PRAIRIE GENERAL) AT 40 LBS PER ACRE.
• MAINTENANCE SHALL BE IN ACCORDANCE TO THE MNDOT SEEDING MANUAL.



4831 W. 35TH ST., SUITE 200
ST. LOUIS PARK, MN 55416
CivilSiteGroup.com
Pat Sarver
763-213-3844 952-255-2093

EASTSIDE FOOD CO-OP



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EASTSIDE FOOD CO-OP ADDITION

2551 CENTRAL AVE. NE, MINNEAPOLIS MINNESOTA

EASTSIDE FOOD CO-OP

2551 CENTRAL AVE. NE, MINNEAPOLIS MINNESOTA

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Matthew R. Pavak

DATE 05/22/14 LICENSE NO. 44263

ISSUE/SUBMITTAL SUMMARY

Table with 2 columns: DATE, DESCRIPTION. Row 1: 5/22/14, PDR SUBMITTAL.

REVISION SUMMARY

Table with 2 columns: DATE, DESCRIPTION.

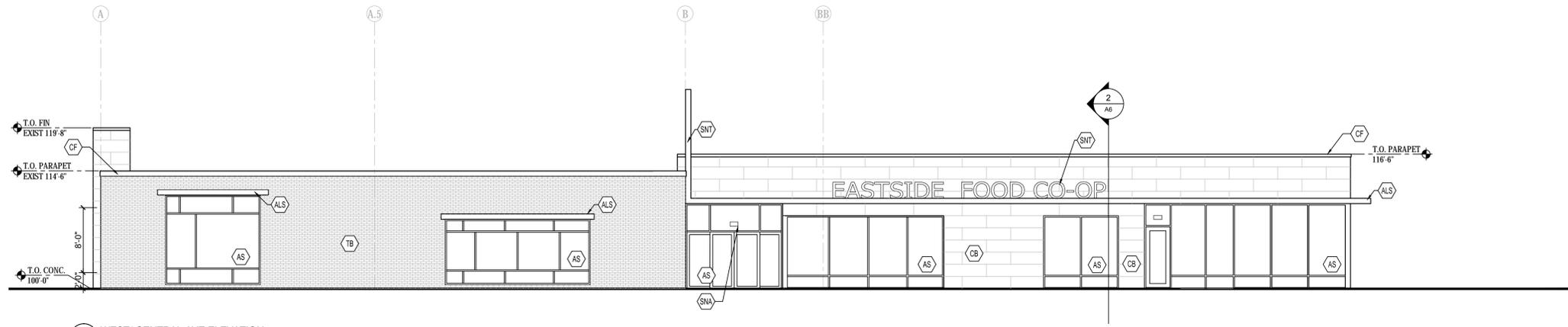


GOPHER STATE ONE CALL
WWW.GOPHERSTATEONECALL.ORG
(800) 252-1166 TOLL FREE
(651) 454-0002 LOCAL

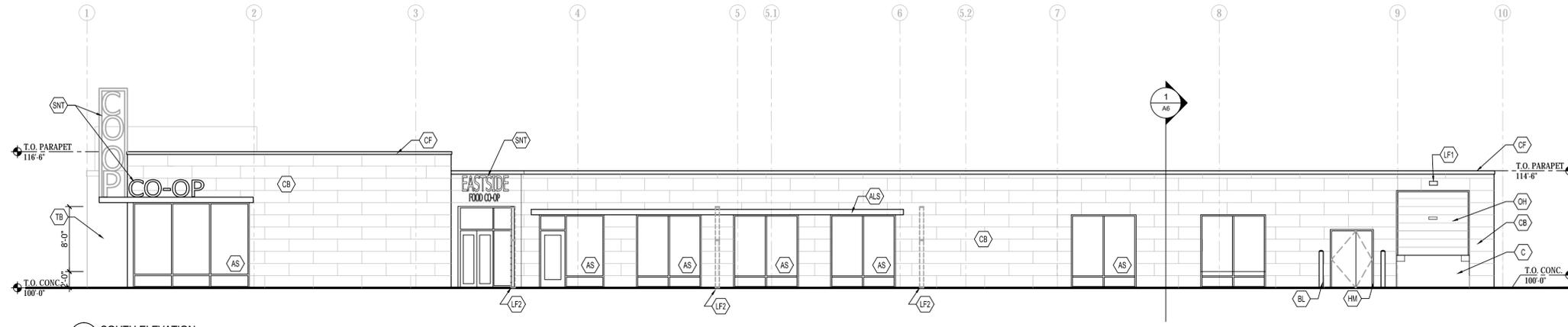
STORM WATER POLLUTION PREVENTION PLAN (SWPPP) NOTES

SW1.1

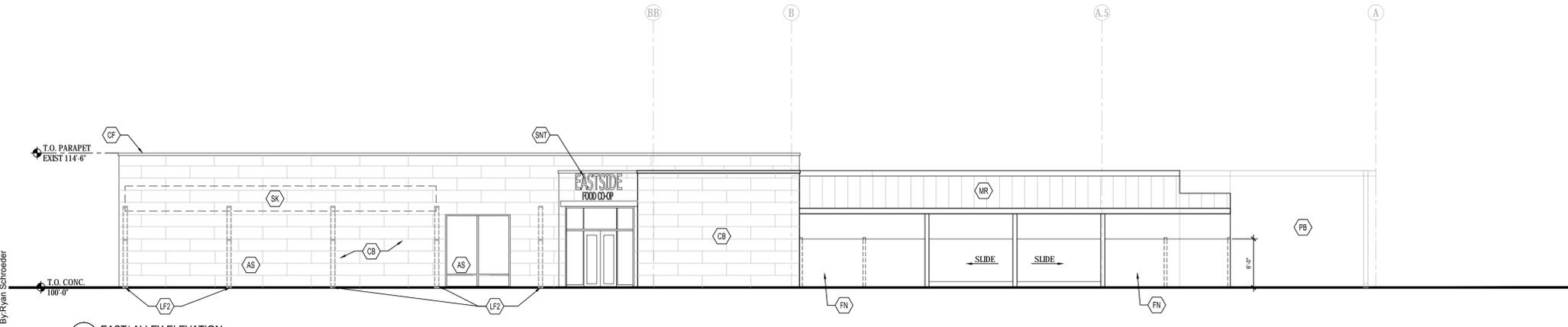




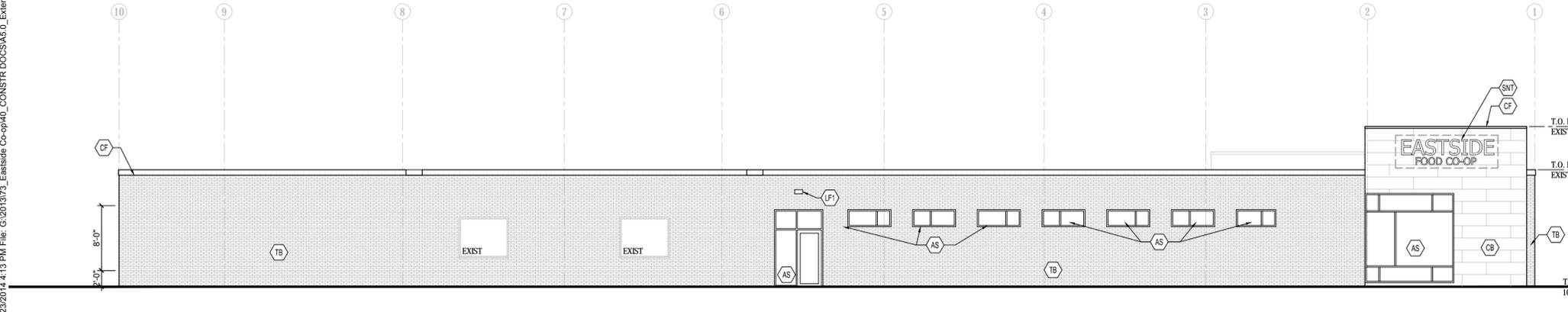
1 WEST/ CENTRAL AVE ELEVATION  
1/8" = 1'-0"



2 SOUTH ELEVATION  
1/8" = 1'-0"



3 EAST/ ALLEY ELEVATION  
1/8" = 1'-0"



4 NORTH ELEVATION  
1/8" = 1'-0"

EXTERIOR ELEVATION KEYNOTES

NO	BASE MATERIAL	FINISH	COLOR	NOTES
(AS)	ALUMINUM STOREFRONT	ANODIZED	CLEAR	
(ALS)	ALUMINUM SUNSHADE	ANODIZED		
(BL)	PIPE BOLLARD (CONCRETE FILLED)	PAINT	--	
(C)	CONCRETE			
(CB)	NICHIIA FIBER CEMENT PANELS			
(CF)	METAL CAP FLASHING	PREFINISHED	--	
EXIST	EXISTING			
(FN)	FENCE (OPAQUE)			
(HM)	HOLLOW METAL DOOR/ FRAME	PAINT	MATCH ADJACENT WALL COLOR	
(LF1)	EXTERIOR LIGHT FIXTURE	--	PREFINISHED	
(LF2)	EXTERIOR LIGHT FIXTURE	--	PREFINISHED	
(MR)	METAL ROOF			
(OB)	OVERHEAD DOOR			
(PB)	PAINTED BLOCK			
(SNA)	SIGNAGE - ADDRESS	PREFINISHED		
(SK)	SEASONAL SHADE KITE			
(SNT)	SIGNAGE - TENANT BY OTHERS			
(TB)	THIN BRICK			

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Architecture  
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EASTSDIE  
FOOD  
CO-OP

2551 CENTRAL AVE NE  
MINNEAPOLIS, MN 55418

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the State of Minnesota

Signature : \_\_\_\_\_  
Name : \_\_\_\_\_  
Registration : \_\_\_\_\_  
Project Contact : PAUL ANDERSON  
Phone Number : 952-541-9969

Print History Date  
PDR SUBMITTAL 05.22.2014  
PRELIMINARY PRICING 06.18.2014

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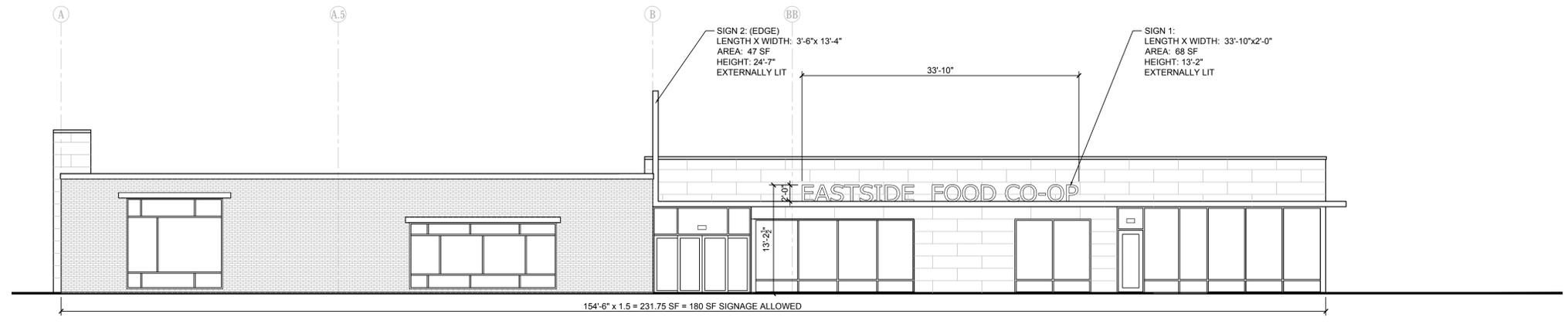
EXTERIOR ELEVATIONS

Project 2013.7601  
Drawn JCP/ JKA  
Checked PA

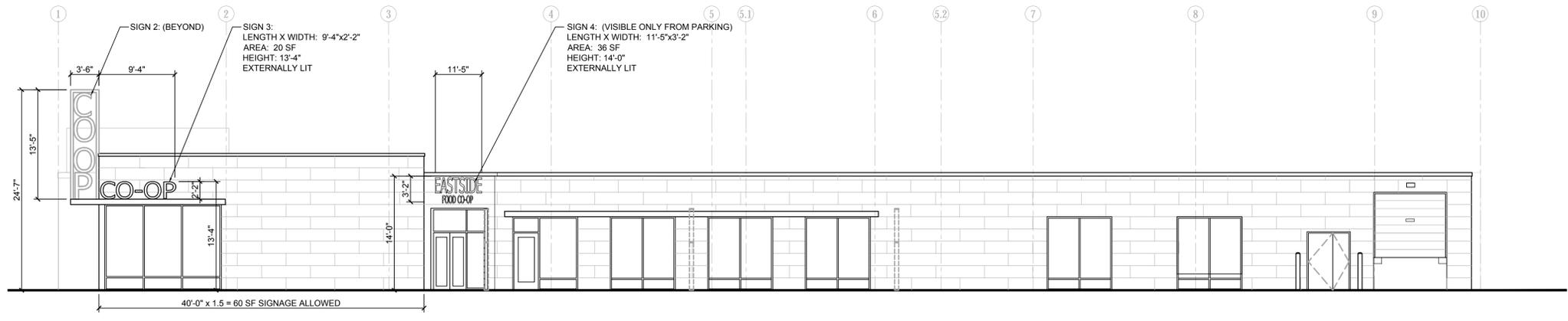
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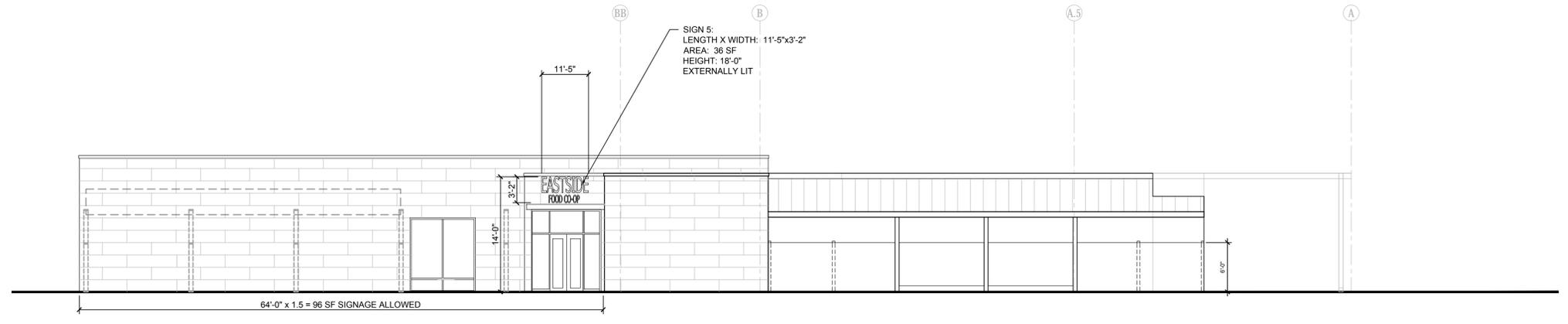
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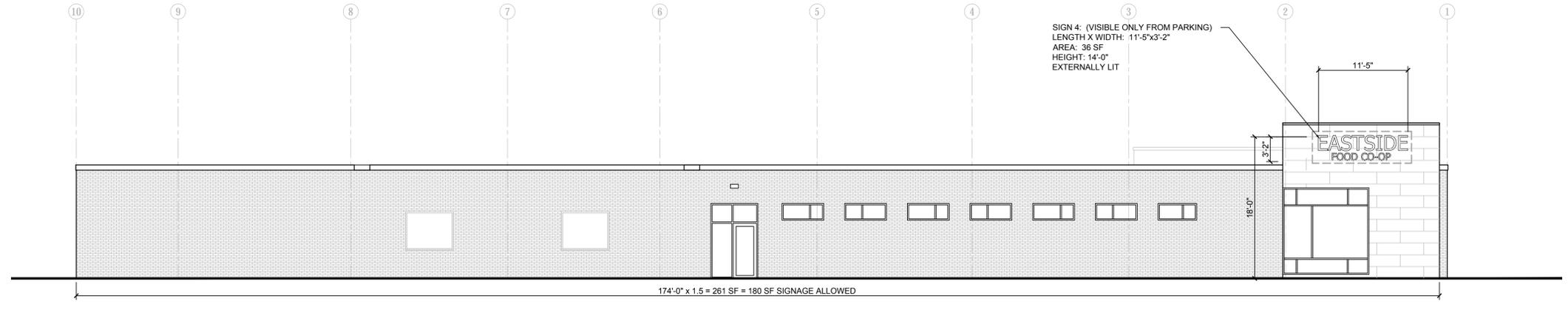
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1/8" = 1'-0"



**4 NORTH ELEVATION**  
1/8" = 1'-0"

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the State of Minnesota.

Signature: \_\_\_\_\_  
Name: \_\_\_\_\_  
Registration: \_\_\_\_\_  
Project Contact: PAUL ANDERSON  
Phone Number: 952-541-9969

Print History: \_\_\_\_\_ Date: \_\_\_\_\_  
PDR SUBMITTAL: 05.22.2014  
PRELIMINARY PRICING: 06.18.2014

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\_\_\_\_\_  
\_\_\_\_\_

**EXTERIOR ELEVATIONS:  
SIGNAGE**

Project: 2013.7601  
Drawn: JCP/JKA  
Checked: PA



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Eastside Co-Op- from Central Ave



Eastside Co-Op & Love Lines- From Central Ave

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Eastside Co-Op- From corner of 26th Ave N.E. & Central Ave



Eastside Co-Op- 26th Ave N.E.

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Love Lines From Alley

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# Ave NE 26th Ave

65  
ral Ave





NE 26th Ave

NE Central Ave

65

NE Central Ave

