



# CPED STAFF REPORT

Prepared for the Heritage Preservation Commission

HPC Agenda Item #2

December 2, 2014

BZH-28460

## HERITAGE PRESERVATION APPLICATION SUMMARY

*Property Location:* 25 West Island Avenue  
*Project Name:* DeLaSalle High School Center for Innovative Learning  
*Prepared By:* [Lisa Steiner](#), City Planner, (612) 673-3950  
*Applicant:* DeLaSalle High School, Attn: Nicholas Grue  
*Project Contact:* Michael Bjornberg, HGA  
*Ward:* 3  
*Neighborhood:* Nicollet Island – East Bank  
*Request:* To renovate a portion of an existing building, build a two-story addition, and complete related site improvements.

*Required Applications:*

<b>Certificate of Appropriateness</b>	To allow a two-story addition, renovation of an existing building, and related site improvements in the St. Anthony Falls Historic District.
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## HISTORIC PROPERTY INFORMATION

<b>Current Name</b>	DeLaSalle High School
<b>Historic Name</b>	DeLaSalle High School
<b>Historic Address</b>	25 West Island Avenue
<b>Original Construction Date</b>	“B” Building: 1922 Brothers’ Residence: 1950 “A” Building: 1958 Albers Atrium: 1999 Gymnasium: 2002
<b>Original Architect</b>	“B” Building: Damon O’Meara and Hills Architects Brothers’ Residence: Glynne Shifflet Backstrom “A” Building: E.V. Shaefer and Associates
<b>Original Builder</b>	“B” Building: J.A. McDonald Construction Co. Brothers’ Residence: C.O. Field Co. “A” Building: Lund-Martin Co.
<b>Original Engineer</b>	Unknown
<b>Historic Use</b>	School
<b>Current Use</b>	School
<b>Proposed Use</b>	No change

<b>Date Application Deemed Complete</b>	November 6, 2014	<b>Date Extension Letter Sent</b>	Not applicable
<b>End of 60-Day Decision Period</b>	January 5, 2015	<b>End of 120-Day Decision Period</b>	Not applicable

**CLASSIFICATION**

<b>Local Historic District</b>	St. Anthony Falls
<b>Period of Significance</b>	1848-1941
<b>Criteria of Significance</b>	<i>Criteria 1:</i> The property is associated with significant events or with periods that exemplify broad patterns of cultural, political, economic or social history. <i>Criteria 4:</i> The property embodies the distinctive characteristics of an architectural or engineering type or style, or method of construction.
<b>Date of Local Designation</b>	1971
<b>Date of National Register Listing</b>	1971
<b>Applicable Design Guidelines</b>	<a href="#"><i>St. Anthony Falls Historic District Design Guidelines (2012)</i></a>

**SUMMARY**

**BACKGROUND.** DeLaSalle High School has undergone many changes over time with multiple additions and renovations. The original DeLaSalle school building was constructed in 1900 at Grove Street and West Island Avenue. This original school building burned down in 1971. In 1922, the existing three-story brick building at 17 West Island Avenue was constructed; this building is now called the “B” Building. In 1950, the three-story brick Brothers Residence on Grove Street was constructed. In 1958, the large two-story “A” Building was constructed which fronts along Eastman Avenue. In 1999, Albers Atrium was constructed along Eastman Avenue, which connects the “A” and “B” Buildings. In 2002, a new gymnasium was constructed at the northeast corner of the building. The most recent alteration to the site was when a portion of Grove Street was vacated in order for the existing athletic facility to be constructed to the northeast of the school building in 2009. (See a construction history diagram and multiple historic aerial photos in the appendix.)

In 1971, the property was listed within the St. Anthony Falls Historic District on the National Register of Historic Places and was also designated within the local historic district. The only building on the DeLaSalle property that dates from the period of significance identified for the district is the “B” Building, which was constructed in 1922.

**APPLICANT’S PROPOSAL.** The applicant is proposing to construct a two-story, 14,550 square foot addition at the northern side of the existing school building where a service and loading area currently exists. This addition would connect more of the 1922 “B” Building with the 1958 “A” Building. Additionally, the applicant is proposing to renovate approximately 8,900 square feet of space in the existing “A” Building. The addition would be clad in blond brick with metal accents and burnished and stained concrete. The connection made from the new addition to the “B” Building would utilize existing openings at the first and second floors. An existing garage addition, located to the rear of the “B” Building, will be demolished. This garage addition is believed to have been constructed in 1942. The proposed addition will also incorporate new rooftop mechanical units.

Renovation of the existing building will include approximately 8,900 square feet of space in the “A” Building. On the south façade, the renovation will include new windows on the ground floor along a portion of the front of the building facing Eastman Avenue.

The applicant is also proposing alterations to the parking and loading area north of the school, which is currently accessed by Grove Street. Some of these proposed modifications are intended to resolve stormwater drainage issues. The proposal includes the reconstruction of the existing curb cut from Grove Street, the addition of seven additional parking spaces and a bus staging area, 58 new bicycle parking spaces, and new landscaping to screen some of these service functions from Grove Street. Additionally, the applicant is proposing to construct a new trash and recycling enclosure, a new transformer enclosure, and install a new pedestrian plaza with an accessible entry. The project will also be required to complete the City's Preliminary Development Review process, which will ensure that the proposed site improvements meet the City's stormwater standards and related Public Works requirements.

**PUBLIC COMMENTS.** No comments have been received as of the writing of this report. Any correspondence received prior to the public meeting will be forwarded on to the Heritage Preservation Commission for consideration.

## ANALYSIS

### CERTIFICATE OF APPROPRIATENESS

The Department of Community Planning and Economic Development has analyzed the application to allow a two-story addition, renovation of an existing building, and related site improvements based on the following [findings](#):

1. *The alteration is compatible with and continues to support the criteria of significance and period of significance for which the landmark or historic district was designated.*

The period of significance for the St. Anthony Falls Historic District has been identified as 1858 through 1941. This time frame encapsulates the role that St. Anthony Falls played in the development of Minneapolis in all its stages of growth. The only remaining building on the DeLaSalle property built during the period of significance is the "B" Building, constructed in 1922. The garage addition which is proposed to be demolished dates from 1942 and therefore was not constructed during the period of significance for the district.

The addition has been located in a way to minimize the impact on the contributing "B" Building. The proposed addition will connect to the "B" Building at its rear façade and will be one story shorter in height than the "B" Building. The addition will not be visible from West Island Avenue, which is the front façade of the "B" Building. Due to its minimal impact on the "B" Building, staff finds that the proposed alterations would be compatible with and continue to support the criteria of significance and period of significance of the St. Anthony Falls Historic District.

2. *The alteration is compatible with and supports the interior and/or exterior designation in which the property was designated.*

The falls were instrumental in the development of Minneapolis. In addition to its original natural beauty, the falls furnished direct power to the lumber and flour industries and electrical power for industrial and residential use. Centered around this influential landmark, the St. Anthony Falls Historic District reveals the origins and early history of Minneapolis. Nicollet Island was identified as a site of special significance to the district in the original nomination of the district. The addition is smaller in size and scale than the 1922 "B" Building and is compatible with the

styles of the various additions. The proposed site improvements and the renovation of the “A” Building will also be compatible with the designation. Overall, the proposed alterations are compatible with and support the designation of the property within the St. Anthony Falls Historic District.

3. *The alteration is compatible with and will ensure continued integrity of the landmark or historic district for which the district was designated.*

The City of Minneapolis and the National Register recognize a property’s integrity through seven aspects or qualities: location, design, setting, materials, workmanship, feeling, and association. Based on the following analysis, the alteration is compatible with and will ensure continued integrity of the St. Anthony Falls Historic District.

**Location:** The proposed addition will not alter the location of the property.

**Design:** Design is the composition of elements that constitute the form, plan, space, structure, and style of a property. The multiple additions over time have created an assortment of styles on the property that reflect the time period in which they were constructed. The addition proposed most closely resembles the design of the 1958 “A” Building and is clearly differentiated from the design of the 1922 “B” Building.

**Setting:** Setting is the physical environment of a historic property that illustrates the character of the place. The physical environment of the DeLaSalle property will not be negatively impacted by the proposed alterations. The site improvements proposed are intended primarily to improve stormwater issues on the property.

**Materials:** Materials are the physical elements combined in a particular pattern or configuration to form the historic property during a period in the past. The proposed addition is located to the rear of the 1922 “B” Building, minimizing the addition’s impact to the existing historic materials by utilizing existing openings and salvaging and reusing any removed historic brick. The renovation of the “A” Building and the proposed site improvements will not impact any historic materials.

**Workmanship:** Workmanship is the physical evidence of the crafts of a particular culture or people during any given period of history. The proposed alterations will not negatively impact the property’s workmanship.

**Feeling:** Feeling is the quality that a historic property has in evoking the aesthetic or historic sense of a past period of time. The proposed alterations will not negatively impact the feeling of the historic property.

**Association:** Association is the direct link between a property and the event or person for which the property is significant. The proposed alterations will not negatively impact the association between DeLaSalle High School, Nicollet Island, or St. Anthony Falls.

4. *The alteration will not materially impair the significance and integrity of the landmark, historic district or nominated property under interim protection as evidenced by the consistency of alterations with the applicable design guidelines adopted by the commission.*

The *St. Anthony Falls Historic District Design Guidelines* were adopted in 2012.<sup>1</sup> These design guidelines establish standards for determining the appropriateness of work that is planned in the

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<sup>1</sup> St. Anthony Falls Historic District Design Guidelines, Adopted October 2012.

[http://www.ci.minneapolis.mn.us/www/groups/public/@cped/documents/webcontent/convert\\_255677.pdf](http://www.ci.minneapolis.mn.us/www/groups/public/@cped/documents/webcontent/convert_255677.pdf)

district. Because the 1922 “B” Building would be considered contributing but the other buildings on the DeLaSalle property were built outside of the period of significance, both the design guidelines for contributing buildings and those for noncontributing buildings are applicable to this proposal. Overall, the guidelines recommend that new projects should reflect design styles of today while also being compatible with the district’s character.

The following guidelines are applicable to this proposal and a staff comment is provided below which directly addresses each chapter with pertinent guidelines:

## **CHAPTER 7: GENERAL GUIDELINES**

### **Building Equipment**

#### ***Intent***

Minimize the visual impacts of building equipment on the character of the district in residential and commercial contexts. Greater flexibility is appropriate in historic industrial contexts.

#### ***Requirements***

- 7.6 Minimize the visual impacts of building equipment as seen from the public way.
- a. Do not locate equipment on a primary facade. Primary wall penetrations for HVAC equipment are not permitted.
  - b. Prioritize use of low-profile or recessed mechanical units on rooftops.
  - c. Rooftop equipment on residential and commercial buildings shall be set back from the primary building facade by a minimum of one structural bay or 15’ whichever is greater.

#### **Staff Comment:**

New mechanical equipment is proposed to be located on the roof of the new addition. This equipment will not be located on a primary façade. The visual impact of this mechanical equipment is minimized as it is set back far from the façade facing Eastman Avenue and would be hidden by the third floor of the “B” Building from West Island Avenue. The rooftop mechanical equipment would not be taller than the existing gymnasium roof.

## **CHAPTER 8: BUILDING REHABILITATION GUIDELINES**

### **Additions to Buildings**

Two distinct types of additions to historic buildings will be considered. First, a ground-level addition that involves expanding the footprint of a structure. Such an addition should be to the rear or side of a building and not obscure character-defining facades.

#### ***Intent***

Design an addition to have the least impact on the character of the building and the district. It should be subordinate to and compatible with the existing building. The addition should also be clearly distinguishable from the historic building in a way that does not detract from the character of the historic building or the district.

**Requirements**

- 8.53 An addition to the front of a building or a character-defining façade is inappropriate.
- 8.54 Design an addition to appear subordinate to the historic structure.
- a. An addition should also relate to the building in mass, scale, character and form.
  - b. The roof form should be compatible as well.
- 8.55 An addition should not damage or obscure significant stylistic, functional and architectural features.
- a. Preserve significant stylistic, functional, and architectural features, including storefronts, windows, doors, cornices, moldings, porches, brackets, loading docks, canopies, and ornaments.
  - b. Greater flexibility on secondary facades will be considered.

**Staff Comment:**

The applicant is proposing a ground-level addition that will expand the footprint of the overall structure by approximately 8,100 square feet. The addition is to the rear of the building and will not obscure character-defining facades. The north façade of the addition, as viewed from Grove Street, will obscure an existing loading dock and service area that is now visible and is the result of a 1971 addition to the rear of the school. The newly proposed addition will be clearly differentiated from the historic 1922 “B” Building as it will be blond brick and a style more similar to the 1958 addition and subsequent additions. The new addition will be subordinate to the historic “B” Building structure as it will be only two stories high. The addition will relate in mass, scale, character and form, drawing from the style of the 1958 “A” Building. Due to its placement at the back of the “B” Building, the addition will not damage or obscure significant stylistic, functional, or architectural features of any of the buildings or additions on the DeLaSalle campus.

**CHAPTER 9: NEW INFILL BUILDING GUIDELINES**

This chapter provides design guidelines for improvements to noncontributing buildings and new infill construction in the historic district.

**Intent**

New construction should appear as a product of its own time while also being compatible with the historically significant resources of the area.

**Materials****Requirements**

- 9.20 Building materials shall be similar in scale, color, texture and finish to those seen historically in the context.
- a. Masonry (i.e., brick and stone) that has a modular dimension similar to those used traditionally is appropriate.

**Staff Comment:**

The new addition will appear as a product of its own time while also being compatible with both the historic 1922 “B” Building and the other non-historic additions to the school. Building materials will be similar in scale, texture, and finish to those seen historically in the district. The applicant is proposing to use a blond colored brick, similar to the brick that is currently clad on the 1958 “A” Building and other later additions on the building.

**CHAPTER 10: CHARACTER AREAS**

**G2. Nicollet Island Central Mixed-Use District**

This district is dramatically different from the Northern Residential District. It was originally home to a variety of uses. The northern edge was characterized by industrial uses along the Great Northern (Burlington Northern) railroad corridor. Adjacent to this area was a collection of large single-family homes and row homes along Grove Street and Eastman Avenue, which also included the original DeLaSalle school. To the south was the area fronting Bridge Street, now the approximate location of Hennepin Avenue. Today, the few extant buildings provides some evidence of its historic development. However, the platting of the streets, with exception of Grove Street, remains intact and there are other physical remnants of early developments.

***Intent***

Retain the underlying extant historic fabric of the street and railroad platting. Encourage infill that respects and reinforces this historic fabric.

**Site Guidelines**

***Requirement***

10.47 Buildings should reflect original orientation of lot platting.

**Building Guidelines**

***Requirement***

10.48 New infill shall be within the range of heights and widths of historic buildings that currently exist.

- a. Low-rise building heights up to three stories are most appropriate. (See page 103 for building height classifications.)
- b. Large floor plates are inappropriate.
- c. Building widths of 25 -100 feet are appropriate.

**Staff Comment:**

The proposed addition will be one story shorter than the historic 1922 “B” Building and will match the height of the 1958 “A” Building addition. It will fill in a rear portion of the building, so the building width will not be affected. The proposed addition will not impact the original platting of the property.

5. *The alteration will not materially impair the significance and integrity of the landmark, historic district or nominated property under interim protection as evidenced by the consistency of alterations with the recommendations contained in The Secretary of the Interior's Standards for the Treatment of Historic Properties.*

The following standards for rehabilitation are most applicable to this proposal:

- A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
- The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
- Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.
- New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
- New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The property will continue to be utilized as a high school. The addition, renovation, and site improvements will be located to the rear of the historic 1922 "B" Building and will not impact any of the "B" Building's defining characteristics or its view from West Island Avenue. The addition will utilize existing openings, further minimizing the impact of the addition on the historic building and will not destroy historic materials that characterize the property. The new addition will be differentiated from the old but will remain compatible with the massing, size, scale, and architectural features of the historic building and the later additions. If the addition were to be removed, only a portion of the rear façade of the "B" Building will have been impacted.

Additionally, the following specific guidelines for new additions are applicable:

### **New Additions to Historic Buildings**

#### ***Recommended***

- Constructing a new addition so that there is the least possible loss of historic materials and so that character-defining features are not obscured, damaged, or destroyed.
- Designing a new addition in a manner that makes clear what is historic and what is new.

- Considering the design for an attached exterior addition in terms of its relationship to the historic building as well as the historic district or neighborhood. Design for the new work may be contemporary or may reference design motifs from the historic building. In either case, it should always be clearly differentiated from the historic building and be compatible in terms of mass, materials, relationship of solids to voids, and color.
- Placing a new addition on a non-character-defining elevation and limiting the size and scale in relationship to the historic building.

**Not Recommended**

- Attaching a new addition so that the character-defining features of the historic building are obscured, damaged, or destroyed.
- Duplicating the exact form, material, style, and detailing of the historic building in a new addition so that the new work appears to be part of the historic building.
- Imitating a historic style or period of architecture in a new addition.
- Designing and constructing new additions that result in the diminution or loss of the historic character of the resource, including its design, materials, workmanship, location, or setting.
- Designing a new addition that obscures, damages, or destroys character-defining features of the historic building.

The new addition does not duplicate the form or style of the historic building. It is designed to be similar to the 1958 addition, with enough of a difference in materials to clarify the time period in which they were constructed. The new addition will only obscure the rear portion of the historic "B" Building which has been altered over time and no longer contains original doors or windows. The south elevation will be altered with new windows being added on the ground floor. This will only affect the 1958 "A" Building and will improve the building's interaction with the street.

6. *The certificate of appropriateness conforms to all applicable regulations of this preservation ordinance and is consistent with the applicable policies of the comprehensive plan and applicable preservation policies in small area plans adopted by the city council.*

The certificate of appropriateness is consistent with the following applicable policies of the comprehensive plan:

**Heritage Preservation Policy 8.1: Preserve, maintain, and designate districts, landmarks, and historic resources which serve as reminders of the city's architecture, history, and culture.**

- 8.1.1 Protect historic resources from modifications that are not sensitive to their historic significance.
- 8.1.2 Require new construction in historic districts to be compatible with the historic fabric.

The Nicollet Island-East Bank Neighborhood Small Area Plan<sup>2</sup> was adopted in October 2014. The plan envisions no changes to zoning or other land use controls on Nicollet Island for the next 20 years, with little possibility for material change in the pattern of development on the island. Aside from describing the St. Anthony Falls Historic District, the plan does not provide specific guidance related to preservation in the area.

7. *Destruction of any property. Before approving a certificate of appropriateness that involves the destruction, in whole or in part, of any landmark, property in an historic district or nominated property under interim protection, the commission shall make findings that the destruction is necessary to correct an unsafe or dangerous condition on the property, or that there are no reasonable alternatives to the destruction. In determining whether reasonable alternatives exist, the commission shall consider, but not be limited to, the significance of the property, the integrity of the property and the economic value or usefulness of the existing structure, including its current use, costs of renovation and feasible alternative uses. The commission may delay a final decision for a reasonable period of time to allow parties interested in preserving the property a reasonable opportunity to act to protect it.*

This proposal does not constitute destruction of property.

Before approving a Certificate of Appropriateness, and based upon the evidence presented in each application submitted, the Commission shall make findings that alterations are proposed in a manner that demonstrates that the Applicant has made adequate consideration of the following documents and regulations:

8. *The description and statement of significance in the original nomination upon which designation of the landmark or historic district was based.*

The original nomination of the St. Anthony Falls Historic District did not specifically discuss the DeLaSalle property, but rather noted that all of Nicollet Island was considered a site of special significance to the district. Based on the evidence presented in the application submitted, the proposed alterations demonstrate that the applicant has made adequate consideration of the nomination of the St. Anthony Falls Historic District.

9. *Where applicable, adequate consideration of Title 20 of the Minneapolis Code of Ordinances, Zoning Code, Chapter 530, Site Plan Review.*

This proposal triggers Site Plan Review. The applicant plans to apply for land use applications shortly after completing the Heritage Preservation Commission application process. Site plan review standards related to building design, landscaping, parking and loading, access and circulation, and screening will be analyzed in the land use application process. The applicant has indicated adequate consideration of these site plan review standards in their application materials for the Certificate of Appropriateness.

10. *The typology of treatments delineated in the Secretary of the Interior's Standards for the Treatment of Historic Properties and the associated guidelines for preserving, rehabilitating, reconstructing, and restoring historic buildings.*

Based on the evidence presented in the application submitted, the applicant has demonstrated adequate consideration of the Secretary of the Interior's Standards for Rehabilitation. The

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<sup>2</sup> Nicollet Island-East Bank Neighborhood Small Area Plan, October 2014.  
<http://www.niebna.com/docs/sap/approved/NIEBNA%20SAP%20Approved%202014-10-17.pdf>

proposal also demonstrates compatibility with the other additions from more recent time periods. Please see finding #5 for more detailed analysis.

Before approving a Certificate of Appropriateness that involves alterations to a property within an historic district, the Commission shall make findings based upon, but not limited to, the following:

11. *The alteration is compatible with and will ensure continued significance and integrity of all contributing properties in the historic district based on the period of significance for which the district was designated.*

The alterations are proposed in a manner that minimizes impact on the 1922 “B” Building, the only building on the property that dates from the period of significance. The proposed site improvements and renovation of the 1958 “A” Building are found to be compatible. The proposed alterations are compatible with and will ensure continued significance and integrity of all the contributing properties in the St. Anthony Falls Historic District based on the period of significance of 1848-1941. See findings #1-3 for more detailed analysis.

12. *Granting the certificate of appropriateness will be in keeping with the spirit and intent of the ordinance and will not negatively alter the essential character of the historic district.*

The certificate of appropriateness will be in keeping with the spirit and intent of the ordinance and will not negatively alter the essential character of the St. Anthony Falls Historic District. It improves the academic and service functions of the high school which has been located on Nicollet Island since 1900.

13. *The certificate of appropriateness will not be injurious to the significance and integrity of other resources in the historic district and will not impede the normal and orderly preservation of surrounding resources as allowed by regulations in the preservation ordinance.*

The significance and integrity of other resources in the St. Anthony Falls Historic District will not be negatively impacted by the certificate of appropriateness. The alterations proposed are designed in a way to minimize impact on resources from the period of significance. The normal and orderly preservation of surrounding resources will not be impeded by the proposed alterations.

## RECOMMENDATIONS

### **Recommendation of the Department of Community Planning and Economic Development for the Certificate of Appropriateness:**

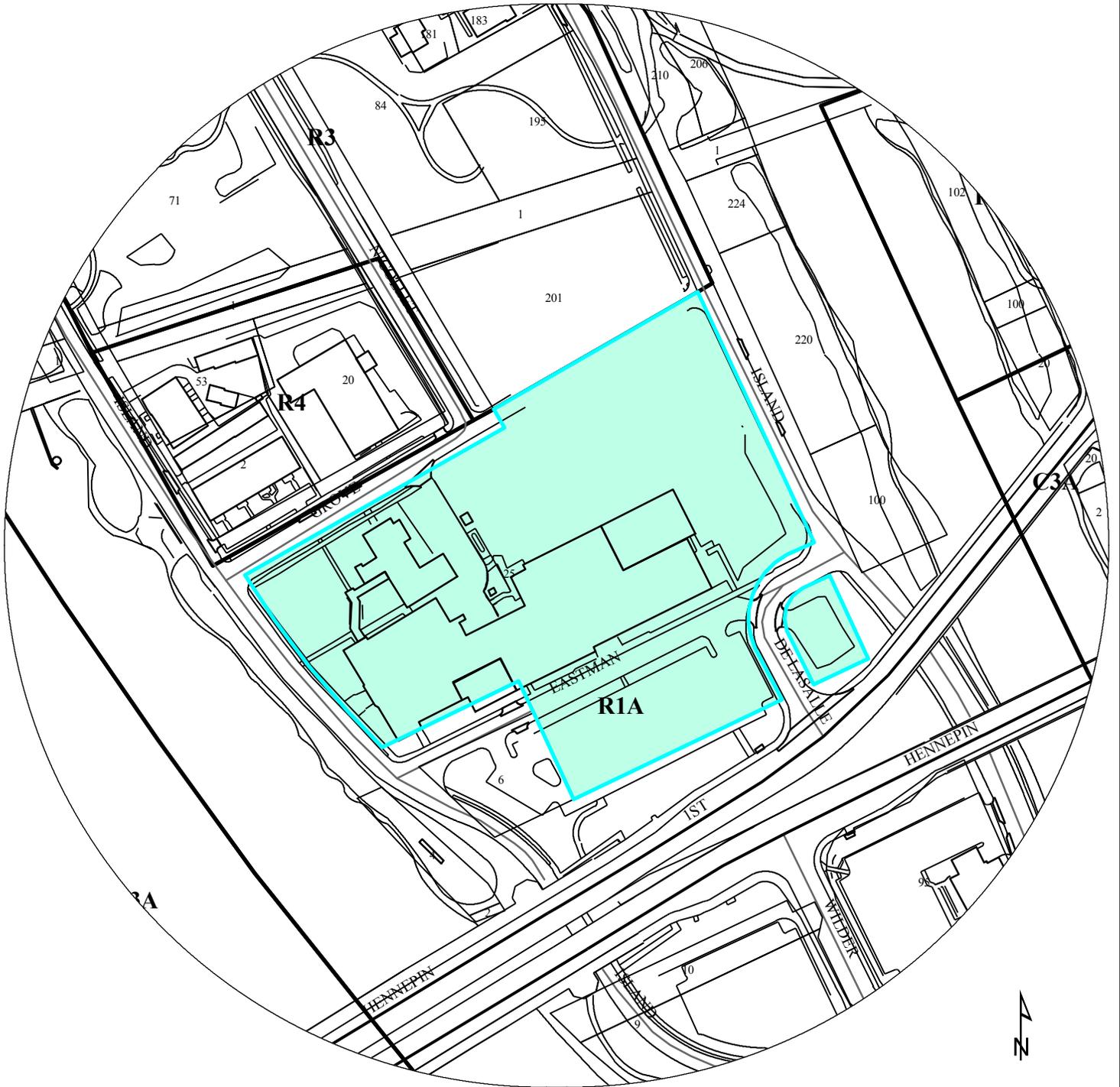
The Department of Community Planning and Economic Development recommends that the Heritage Preservation Commission adopt the above findings and **approve** the Certificate of Appropriateness to allow a two-story addition, renovation of an existing building, and related site improvements at the property of 25 West Island Avenue, subject to the following conditions:

1. By ordinance, approvals are valid for a period of two years from the date of the decision unless required permits are obtained and the action approved is substantially begun and proceeds in a continuous basis toward completion. Upon written request and for good cause, the planning director may grant up to a one year extension if the request is made in writing no later than December 2, 2016.

2. By ordinance, all approvals granted in this Certificate of Appropriateness shall remain in effect as long as all of the conditions and guarantees of such approvals are observed. Failure to comply with such conditions and guarantees shall constitute a violation of this Certificate of Appropriateness and may result in termination of the approval.
3. The Department of Community Planning and Economic Development shall review and approve the final elevations, site, and landscaping plans.

## ATTACHMENTS

1. Zoning map
2. Historic "B" Building image: 1923
3. Aerial images
4. Findings submitted by applicant
5. Narratives submitted by applicant
6. Existing conditions
7. Floor plans
8. Site plan
9. Plans
10. Building elevations
11. Renderings
12. Correspondence



PROPERTY ADDRESS  
**25 West Island Avenue**

FILE NUMBER  
**BZH-28460**

# DeLaSalle High School Construction History

Prepared by CPED staff

Based on city permits – locations approximate

1922

1942

1950

1958

1971

1999

2002



1923: "B" Building  
Courtesy Minnesota Historical Society



45413



1947



1953



1964



2014



DeLaSalle



Existing Campus From South



Existing Campus From North

## DeLaSalle High School – Center for Innovative Learning

### CERTIFICATE OF APPROPRIATENESS NARRATIVE

#### REQUIRED FINDINGS

- 1. The alteration is compatible with and continues to support the criteria of significance and period of significance for which the landmark or historic district was designated.**

The project is carefully planned to improve the academic function of the school with minimal direct impact on the "B" Building, which was constructed during the period of significance for the historic district. The addition is located at a secondary façade and planned to avoid impact to significant features of the building.

- 2. The alteration is compatible with and supports the interior and/or exterior designation in which the property was designated.**

The building is planned, scaled and oriented such that it respects design guidelines for the historic district. The addition respects setbacks established by existing buildings, preserves important views within the district, and improves the appearance of the school's service area from the district.

- 3. The alteration is compatible with and will ensure continued integrity of the landmark or historic district for which the district was designated.**

The addition is scaled deferentially to the "B" building, and compatible with other buildings on the site. The addition is structurally isolated, and connections to the "B" building are carefully planned to minimize impact to the structure. New circulation accesses existing corridors, minimizing impact to the interior.

- 4. The alteration will not materially impair the significance and integrity of the landmark, historic district or nominated property under interim protection as evidenced by the consistency of alterations with the applicable design guidelines adopted by the commission.**

N/A – Property not under interim protection.

- 5. The alteration will not materially impair the significance and integrity of the landmark, historic district or nominated property under interim protection as evidenced by the consistency of alterations with the recommendations contained in The Secretary of the Interior's Standards for the Treatment of Historic Properties.**

N/A – Property not under interim protection.

- 6. The certificate of appropriateness conforms to all applicable regulations of this preservation ordinance and is consistent with the applicable policies of the comprehensive plan and applicable preservation policies in small area plans adopted by the city council.**

The proposed project adheres to applicable guidelines established by the Saint Anthony Falls Historic District Guidelines and The Secretary of the Interior's Recommendations for Rehabilitation and New Additions. Refer to the following sections for additional information.

## APPLICABLE DOCUMENTS AND REGULATIONS

### Historic District Designation

#### **Significance of the Historic District**

The Historic Designation of the St. Anthony Falls Historic District focuses on the urbanization of the falls with a period of significance between 1858 and 1941. This time frame celebrates the role of the falls in the development of Minneapolis, Minnesota's largest city, in all its stages of growth.

#### **G2. Nicollet Island Central Mixed-Use District**

This district is dramatically different from the Northern Residential District. It was originally home to large upscale homes and stone townhouses. It evolved into a commercial corridor fronting Bridge Street, now Hennepin Avenue. Today the area bears almost no resemblance to its early development, which was removed during the urban renewal movement in the early 1960s. However, the platting of the streets remains intact and there are other physical remnants of early developments.

#### **Intent**

Retain the underlying extant historic fabric of the street and railroad platting. Encourage infill that respects and reinforces this historic fabric.

The "B" building was constructed during the period of significance and contributes to the district's historic character. The proposed addition is carefully planned to preserve this resource, and by adhering to the Historic district design guidelines, minimally and positively impact the character of the historic district.

### Title 20 of the Minneapolis Code of Ordinances, Zoning Code, Chapter 530, Site Plan Review.

#### **Building Placement**

The placement of the addition respects the setbacks established by the existing buildings, and does not change the relationship of the existing buildings to the lot line and streets.

#### **Building Design**

The addition and renovation of the South façade significantly increase the amount of glazing, improving security, and adding visual interest to both the North and South facades. Durable exterior materials, including brick, stained precast and metal, complement the existing buildings. In addition to the use of landscape and glazing, the cantilevered canopy at the North entrance emphasizes the new entry.

#### **Landscaping**

Landscaping in front of the school building (South) will be renovated with sustainable, drought tolerant, indigenous plantings to accentuate the new South facade.

Trees, shrubs and plantings will be added around the North Lot and Service Court area to screen the parking, drop-off and service functions. Newly landscaped areas will include native and indigenous plantings that mirror the rain garden north of the athletic field.

#### **Required screening**

An opaque, decorative metal fence provides screening at the trash enclosure and transformer. Plantings are provided to screen the expanded parking area fronting along the street.

## Secretary Of The Interior's Standards

### Recommendations Contained in the Secretary of the Interior's Standards

We are employing the Standard's for Rehabilitation for this project. The following are relevant to this application:

**1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.**

The 1922 "B" Building was constructed by DeLaSalle as a school building. There is no change to the building use.

**2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.**

The planned project has minimal direct impact on the "B" Building. The addition is located to the northeast, at a secondary façade, avoiding impact to significant features of the building. Connections to the "B" building are made at existing door and window openings, accessing existing corridors, minimizing the impact to the structure and interior spaces.

**3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.**

The materials and details of new building draw inspiration from the character of the 1958 "A" building, to which it most directly attaches, creating a contrast between the new addition and the historic "B" building, while preserving an overall sense of consistency.

**5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.**

The planned project has no effect on the 3 primary facades and the street views of the "B" building. Careful planning and detailing allow minimal intrusions and impacts on the historic fabric (interior and exterior) and allows reversibility. The new construction allows the existing character defining features to continue to be featured.

**9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.**

The addition is located to minimize its impact on the character of the property. The primary exterior views of the "B" building are not impacted by this work. The low scale of the addition matches the height of the 1958 addition, and defers to the historic building. Window openings and details draw on the 1958 addition, and are clearly distinguished from the "B" building.

**10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.**

The addition has been planned and detailed in such a way to allow for reversibility and to minimize visual impact. The forms are distinct from the original and of a simple nature so as not detract from the original, but draw from the palette of existing materials on site.

Removal of the addition would leave the historic facility intact. The addition is structured independently of the "B" building, minimizing impact on the existing structure and facade. Windows and doors to be removed are not original to the building. Brick and stone removed for the connections will be salvaged and stored, and could be reinstalled as originally designed.

**4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.**

The DeLaSalle campus has evolved significantly over time. Numerous buildings and additions have been added to the property, and attached to the historic building. The 1958 "A" building, while not considered part of the period of significance for the historic district, and deferential to the historic building in scale and architectural detail, is a critical part of the function of the school. The repurposing of strategic spaces in this building, improves the overall function of the school, and prioritizes central space for academic uses. The new portion of the south façade is designed to be compatible with the structure, while creating a more open presence for the school. The addition to the north addresses visual and functional issues within the north service court with minimal impact. A small, single story garage, added to the Northeast corner of the "B" building, will be demolished to allow the new building services addition to be positioned between the "B" building and the Brothers Residence, out of view from the public way.

## Secretary Of The Interior's Recommendations For New Additions

We are also practicing the Secretary of the Interior's Recommendations for New Additions. The following are relevant to this application:

**Constructing a new addition so that there is the least possible loss of historic materials and so that character-defining features are not obscured, damaged, or destroyed.**

The addition has been sited in such a way as to minimally impact the historic character of the site and building. The addition is located along a secondary façade, with few defining features.

**Locating the attached exterior addition at the rear or on an inconspicuous side of a historic building; and limiting its size and scale in relationship to the historic building.**

The addition has been located in an area typically not directly viewed by the public and in such a way as to minimize impact on the building interior layout and historical fabric. The scale of the addition defers to the historic building, and is compatible with adjacent additions.

**Designing new additions in a manner that makes clear what is historic and what is new.**

The addition is distinguished from the historic building, while preserving a consistent palette of materials across the site. The addition is clearly new, but draws on the 1958 building in terms of scale, material and detail.

**Considering the attached exterior addition both in terms of the new use and the appearance of other buildings in the historic district or neighborhood. Design for the new work may be contemporary or may reference design motifs from the historic building.**

The planned addition is appropriate in scale and massing for the area. The design intent is not to draw attention to the new addition itself, but to improve the function and appearance of the school with strategic interventions. The additions are modern in character, referencing the design of the mid-century "A" building, in contrast with the historic "B" building.

**In either case, it should always be clearly differentiated from the historic building and be compatible in terms of mass, materials, relationship of solids to voids, and color.**

The new addition is differentiated from the historic building while taking cues from the materials and massing of the overall campus. The window pattern and proportion draw on the rhythm of the south façade of the "A" building. The new entrance creates a more welcoming presence to the north, but is modestly scaled and simply detailed, so as not to detract from the primary facades of the historic building.

## ALTERATIONS TO A PROPERTY WITHIN AN HISTORIC DISTRICT

### Saint Anthony Falls Historic District Guidelines

The Historic Designation of the St. Anthony Falls Historic District focuses on the urbanization of the falls with a period of significance between 1858 and 1941. The "B" building was constructed during this period and contributes to the district's historic character.

The following design guidelines are applicable to the proposed project:

#### Nicollet Island Central Mixed-Use District

**Buildings should reflect original orientation of lot platting.**

The building is planned and oriented such that it respects the orientation of existing buildings, and is positioned to minimally impact open space on the site, maintaining the existing building relationships on the property.

**New infill shall be within the range of heights and widths that currently exist. Low-rise building heights up to four stories are most appropriate.**

The addition is planned to match the height of the two story "A" building, deferring in scale to the taller historic building.

**Large floor plates are inappropriate. Building widths of 40-100 feet are appropriate.**

The building is planned and positioned to minimally impact the view from the public way. By adding to the north of the campus, positioned behind existing structures, the addition does not change the overall width of the existing buildings.

**Key views from the public way should be maintained.**

By respecting existing building relationships, the location of the addition has no impact on significant views within the area. The expansion and related site work at the north service court will better organize and screen building service functions, improving views from Grove Street and the neighborhood to the north.

**Design an addition to appear subordinate to the historic structure. An addition should also relate to the building in mass, scale, character and form. The roof form should be compatible as well.**

The addition is distinguished from the historic building, while preserving a consistent palette of materials across the site. The addition is clearly new, but draws on the 1958 building in terms of scale, material and detail. The expansion is deferentially scaled to the existing building, and the 2 story, flat roof line is consistent with other buildings on site.

**An addition should not damage or obscure significant stylistic, functional and architectural features. Preserve significant stylistic, functional, and architectural features, including storefronts, windows, doors, cornices, moldings, porches, brackets, loading docks, canopies, and ornaments, for example. Greater flexibility on secondary facades will be considered.**

The planned project has minimal direct impact on the "B" Building. The addition is located to the northeast, at a secondary façade, avoiding impact to significant features of the building. Connections to the "B" building are made at existing door and window openings, accessing existing corridors, and minimizing the impact to the structure and interior spaces.



## Vision

DeLaSalle High School, the only Catholic high school in the city of Minneapolis, has for more than a century sustained and advanced the educational vision defined more than three centuries ago by St. John Baptist de La Salle, founder of the Brothers of the Christian Schools (informally known as the Christian Brothers).

As demonstrated by the unwavering and enthusiastic commitment to attract students from various economic levels, academic abilities, racial communities, and ethnic backgrounds, DeLaSalle High School extends beyond the facilitation of academic success to the preparation of students to be of service to the local, national, and global community both during and after their formal education.

DeLaSalle High School seeks to create an environment in which the youth of our urban area are empowered and enabled to create for themselves and others a functional, literate, and safe community.

## Introduction

Thanks in large part to partnership with our friends and community DeLaSalle has reached our 115th year on Nicollet Island. Since 1975, DeLaSalle has upgraded and modernized enough of its facilities and programs to remain vital in a highly competitive school-choice market. Due in large part to administrative stability and vision, DeLaSalle has balanced its operating budget 18 of the past 19 years and eliminated debt, all the while expanding both the school's endowment and commitment to financial assistance. In part because of this fiscal foundation, DeLaSalle has been able to enhance academic and co-curricular programming for students. As surely as today's students and families see DeLaSalle as a gateway to their futures, so too should the entire school community envision and create a campus that welcomes students from every neighborhood and provides that gateway into the global society. DeLaSalle must seize this moment and look into the future, to renovate and create modern, on-campus facilities for current students and generations of Islanders to come.

In Spring 2014, DeLaSalle, working with HGA and McGough, completed a masterplan for the campus. This process identified opportunities within the current facility for a new academic "hub" at the heart of the campus, accommodating enhanced learning opportunities with improved access to technology, and providing a much needed, flexible commons space. The masterplan also identified opportunities on-site for co-curricular requirements, campus mechanical and electrical infrastructure needs, and enhancements to building traffic flow and the safety and appearance of the North entrance and service court.

## Needs and Opportunities

We know that we have reached an optimum enrollment range relative to expansion of academic and co-curricular programs for students. We do not expect to grow our enrollment beyond the current range, because our core Lasallian philosophy mandates that each student receive a maximum of individual attention and opportunity to connect to the community. We now must sustain the strength of our enrollment, programs, and philosophies with facilities to adequately support our growth.

DeLaSalle is challenged to provide adequate space for these expanded programs and to continue providing adequate technology for its teachers and students. Our average class size remains manageable but it has climbed slightly above our optimum goal of 25 students per section. Because of our commitment to the student-teacher relationship, we retain a model of teachers having a home-base classroom in which to work. Students easily find their teachers to be accessible for extra help as needed.

Our cloud-technology initiatives have changed the education paradigm, and students and teachers have enthusiastically embraced a new model of teaching and learning. Only a portion of our classrooms, however, fully support the opportunities afforded by the new educational model. To fully maximize the potential of this technology – and to prepare students for college and career environments – we must address classroom space and technological infrastructure.

The Center for Innovative Learning (C.I.L.) is the centerpiece of this campus renovation and will provide spaces directly suited for student learning, instructional support, and collaboration. The highest priorities are the learning center, media & technology center, and flexible educational space.

This project presents an opportunity to redesign the campus and do something that is long overdue: replace outdated cocurricular space in the middle of the campus with modern and multi-dimensional instructional space. By constructing the CIL, we will put new and innovative learning spaces – academic spaces – in both the first and second floor of the school, between our main entries:

- With 8,000 square feet available, the CIL would appropriately recapture learning space along both sides of the corridors, positioned on the front side of the building, between the two primary entries to the school.
- Rather than add traditional classroom boxes, DeLaSalle seeks to construct learning spaces that will enhance its current 1:1 technology program and college preparatory curriculum.
  - We envision flexible laboratories for creative, activity- and project-based learning, spaces for multi-media production and inter-departmental instruction, and more.
  - Students will take the lead in discovering solutions with relevance to college and career goals.
  - We are committed to partner with students as they broaden their learning, to delve deeper into hands-on discovery and development of collaborative and analytical skills.
  - By creating multi-dimensional learning spaces, teachers will be better equipped to lead students in areas of investigation, problem-solving and critical analysis.
- Studies indicate that use of hands-on and project-based learning experiences increase science reasoning scores for students of all backgrounds.
- Other studies indicate employers are seeking employees who think more creatively and can work in both individual and collaborative environments.

- Adding 8,000 square feet at the campus core for instructional use helps keep average class sizes between 23-27 students and expands opportunities for innovative and necessary pedagogical approaches.
  - Repositioning academics at the core of the campus allows for multi-departmental projects (such as robotics or multi-media production) in larger and less confined rooms.
  - Our commitment to rigorous scholarship will be centered on our campus: DeLaSalle will replace storage, locker room and laundry facilities with modern and innovative classroom spaces at the heart of the school.

The addition of 15,000 square feet in the center of our campus on the North side allows for the prioritization of prominent space within the existing facility for academic needs, will provide equal facilities supporting co-curricular activities for male and female students, and will improve internal circulation throughout the campus. Site improvements are desired to address safety and traffic issues and improve the appearance from Grove Street and the neighborhood. By constructing the CIL, we will put updated co-curricular spaces – that support academics – in a central location away from the main entrances in a position that:

- Provides additional academic space at the heart of the campus improve circulation within the school.
- Enhances connection between buildings, alleviating congestion within the school, and addressing safety issues.
- Provides co-curricular bus loading, on site, at the north entrance, decreasing traffic congestion and related spill-over at main entrances on the South.

The entire project is part of a much larger strategic vision of the DeLaSalle Board of Trustees and school administrators. Between March and November, 2013, the DeLaSalle Board authorized and coordinated a comprehensive, long-range facilities plan for DeLaSalle, priorities for additional and innovative educational space and upgrades or replacement of campus infrastructure. The CIL project addresses the finding of our masterplan, and addresses ongoing maintenance issues; particularly the mechanical and electrical campus infrastructure. This renovation project allows for our heating and electrical systems to be replaced; doing this work as part of the larger CIL project is far more cost effective than done separately. This type of project also presents an opportunity to link all three buildings on campus more effectively.

- We're better positioned to align our facility operations efficiently, connecting the various parts with a more logical flow of building use and hallway traffic.
- We're better positioned to relocate storage and co-curricular space on the North end of the campus that better connects those spaces to existing co-curricular space.
- We're better positioned to link all three buildings on campus more effectively and with greater security for our students.



## 1900-1920: 'DeLaSalle Institute', a Commercial School

It took only a few months after groundbreaking to prepare the "DeLaSalle Institute" building for occupancy. Fifty boys in grades nine and ten joined three teaching Christian Brothers in the new school in October 1900. The number of pupils rapidly expanded, and by spring, a fourth Brother had arrived to handle the "overcrowding." By 1907, an addition had been added to the original building, and in 1914, Archbishop Ireland purchased the adjoining King property to provide space for eventual expansion. Enrollment stood at 352 boys, the school having grown seven times over in 14 years.

In those days, DeLaSalle was a commercial school, preparing young men to work in the trades and growing industries of Minneapolis. Owing to this history and its classroom structures, the original building was eventually called the "commercial building," shortened to "C Building" eventually. Through the work of Brother Heraclian, the first graduating class, 13 members strong in 1903, all received positions with the leading business firms of Minneapolis before graduating

## 1920s and 1930s: A Calling for 'College Prep' and Expansion

By 1920, parents were calling for a high school that was primarily college preparatory. So Archbishop Dowling, Ireland's successor, went to all Minneapolis Catholic parishes to raise the \$200,000 needed to build a new wing to meet the academic needs of a growing enrollment. This wing, designed by Damon O'meara and Hills Architects, was built on the former King property, adjacent to the existing commercial building. Construction began in May 1922, and within a year, the new DeLaSalle High School building (today known as the "B Building") had opened, with a new main address of 25 West Island Avenue that stood for more than 70 years.



"B Building"

Within six years, the college preparatory DeLaSalle was accredited by both the University of Minnesota and the North Central Association of Colleges and Secondary Schools. (North Central eventually became AdvancEd, the agency still accrediting DeLaSalle after nearly 90 years.) By the 1930s, the school had earned a statewide reputation for superior education of young men. During this time, the Islanders also earned athletic renown, under legendary coach George Roberts. In 1931, De captured the National Catholic High School Basketball Championship.

## Through the 1940s: Adherence to the Lasallian Mission

Throughout the Great Depression and war years, DeLaSalle and the Christian Brothers remained true to the Lasallian mission of educating young people, regardless of socio-economic or personal background. A true story is told of a young man whose father lost his plumbing business in the Depression. His mother came to see Brother Cassian, the director,



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to withdraw her son, because the family could not afford the \$80.00 tuition charged in 1933-34. "How much can you afford?" asked Brother Cassian. "If we sacrifice, we could possibly come up with half of that," replied the mother. "Then that is what you will pay," replied the Brother Director.

This type of story more and more became the norm in these lean years. To make this type of "budgeting" work, the Brothers at DeLaSalle – who made up more than 90 percent of the teaching staff and lived in community on campus – often went without pay, depending upon the kindness of neighbors and parishes for enough food to get through each week. The credo came from St. John Baptist de La Salle himself, who told the earliest Brothers in 17th century France: "Pass the basket. If you have more than enough food, put some in. If you don't, take some out."

### Post-War Years: DeLaSalle Flourishes

By the summer of 1950, the Christian Brothers moved into a new residence facing Grove Street, designed by Glynne Backstrom and Associates. To this day, the Brothers live in the community on the top two floors of the building; the first floor houses the school's Development, Alumni, and Admissions offices. After World War II, enrollment doubled to over 800 by 1952. Because the buildings could no longer adequately support the growing enrollment, De acquired a public school building in south Minneapolis – the Wentworth building – and taught all ninth graders there until 1959. Only students in grades 10-11-12 were educated on Nicollet Island.

DeLaSalle dominated Minnesota high school athletics in the 1950s. State championships in all sports were common. No opponent could even score a point against the undefeated 1953 football champs. The 1959 baseball team won a state championship, then reformed as a summer American Legion team and won a national championship. A new legend, Dick Reinhart, coached six state championship teams in basketball.



Brother's Residence

Post-war baby boomers were filling Catholic elementary schools beyond capacity, and De was regularly forced to turn away hundreds of applicants. In response, the Brothers were asked to open Benilde High School for boys in St. Louis Park, soon to become an arch-rival through most of the 1960s and 1970s. DeLaSalle parents expressed a desire to bring all four grades together on Nicollet Island, as well as provide more modern classrooms and the first stand-alone gymnasium in school history. A new addition, designed by E.V. Shaefer and Associates, opened in September 1959 (today still known as the "A Building"). With three classroom buildings in use, all students were together at one location.

### 1960s and 1970s: Enrollment Peaks - and Then Drops - and Co-Education Begins

Peak enrollment was 1651 boys in 1964; DeLaSalle was regularly receiving twice as many applications as they had spaces in ninth grade. As they had in the 1950s, the Archdiocese asked the Christian Brothers to open Grace High School in Fridley, soon to become an arch-rival

throughout much of the 1970s and 1980s. Because of many reasons – multiple options for Catholic high schools, a rather sudden decline of post-baby-boom students in Minneapolis elementary schools, suburban sprawl among others — DeLaSalle's enrollment dipped below 1000 by the end of the 1960s. In February 1971, the original commercial building burned to the ground, and there was no need to replace the structure. The area of the original building, on Grove and West Island, is now called Founder's Park, and a statue of St. John Baptist de La Salle stands in this park.

Also in 1971, the archdiocese closed the all-girl St. Anthony of Padua High School in Northeast Minneapolis. Several months later, and with DeLaSalle's enrollment in a bit of a free-fall (losing 12-16 percent a year), The diocese recommended that DeLaSalle open its enrollment to girls in order to sustain enrollment and to help accommodate the needs of St. Anthony of Padua families. Many Catholic grade schools either closed or merged during this time, as well. By 1975, enrollment at the now co-educational DeLaSalle had dipped to 475 students, a decline of nearly 1200 students in 12 years.



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## Difficult Financial Times Offset by Development Efforts

Many believed during the 1970s that DeLaSalle would also close. Programs were cut, deficits were building, and families were either moving or sending their children out of the city. Though the challenges were plentiful, the Brothers reaffirmed their commitment to DeLaSalle and the historic mission, even as more and more of the faculty were drawn from lay men and women. No longer could the financial assistance program merely come from "Brothers going without" and the school started a new approach to sustain its mission.

Due to the fortitude and leadership of successive chief administrators, Brother Cyril Litecky and Brother Basil Rothweiler, the school launched a comprehensive Development Office to build relationships and raise funds for the school. The centerpiece was the Annual Giving Campaign, working with a loyal base of alumni and friends to help offset operating costs and provide financial assistance to students in need. One of the first donors was the very same alumnus from the 1930s whose family couldn't afford \$80.00 yearly tuition. From the mid-1970s forward, he made up the difference – and then some – with his support of DeLaSalle. Stabilized somewhat by new Development income through the 1980s, De began adding back programs that had been cut through the years. A new Dean of Students, Barry Lieske, was hired in 1982 to help bridge the return from modular scheduling to a more traditional schedule for the students, with a renewed focus on regular prayer and service. Finances were somewhat better, but enrollment rose and then fell with demographic shifts, reaching a 70-year low of 306 students in 1990-91.

## 1990s: Improvements and Momentum

A 1955 alumnus of De, Brother Michael Collins, returned in 1991-92 as school president (or Chief Executive Officer). Under his leadership, the school successfully completed two separate capital campaigns on either end of the decade, raising \$9.5 million for facilities and endowed financial assistance programs. First, the school restored the architecture

of its 1922 auditorium/cafeteria (now called the Florance Center) and renovated the first floor of the "B Building." Two major building projects were to follow: De built the Albers Atrium, nestled between the "A Building" and "B Building" and centralized office areas, created a new main entry to the school, added classroom space where once there were offices, and enhanced traffic flow. In 2002, DeLaSalle added the L.L. Gray Gymnasium, while renovating "A Building" infrastructure and classrooms.

Among the more noteworthy additions of Brother Michael's tenure was promoting Barry Lieske to principal, granting him authority as Chief Operating Officer. For 19 years, the two worked side-by-side as CEO and COO for the school. Nary a decision was made without at least one (and usually both) involved. Other area administrators in ministry, admissions, finance, activities and development stayed as colleagues in the longest (and perhaps most stable) era of administrative leadership in DeLaSalle's history.

The school again prospered. Enrollment climbed steadily each year. By 2007-08, DeLaSalle had 665 students; had balanced the operating budget for each of ten years; and raised over \$20 million through annual and capital giving. Though the 2008 recession affected many families (and had a hand in reduced enrollment back to 595 students by 2011), the school planned appropriately and budgets remained balanced. De even opened its first-ever on-campus athletic field in 2009, thanks to a \$3 million major gift from alumnus Skip Maas '58, the largest single gift in school history. As the economy improved, enrollment began to build again. Even when Brother Michael suddenly became ill and died in January, 2012, the stable administrative team continued moving the fortunes of the school forward.

## A New President and Momentum Continues

The DeLaSalle Board of Trustees hired Barry Lieske as president in May, 2012. During his tenure as president, enrollment has surged forward once more, rebounding from the recession and reaching a 43-year high

of 750 students in 2014-15. Students from all parts of the Twin Cities (over 115 grade schools) are again coming to De. Over 400 applications are submitted for 200 places in the ninth grade. The operating budget is still balanced, and the school manages a nearly three million dollar yearly financial assistance program that serves slightly more than half of its students with reduced tuition.

Barry Lieske and principal, Jim Benson, oversee a college preparatory curriculum and academic program. Over 97 percent of De's graduates are matriculating to colleges across the country each year, including the "most selective" schools. DeLaSalle was among the first in Minnesota to implement a 1:1 technology initiative, distributing iPads to every student, and implementing innovative programs in cloud technology and communication.

The school has tripled its Advanced Placement course offerings, and AP and ACT composite scores are at their highest levels ever. The latest innovation, the Global Advantage Program, introduces students to academic and service travel opportunities around the world. In athletics and fine arts competition, the school has won eleven state team and 15 state individual championships since 2000.

It's a remarkable story, consistent with a remarkable history. What a wonderful time to be an Islander! In fact, there may not be a better time – even among the many wonderful eras – in DeLaSalle's history. The school thrives as it continues at the heart of the most important city in the Upper Midwest. It's amazing what a little faith, vision, and determination (not to mention generous and gratifying support from the community) can accomplish!

## Significance within the SAF Historic District

The Historic Designation of the St Anthony Falls Historic District focuses on the urbanization of the falls with a period of significance between 1858 and 1941. As noted above, DeLaSalle High School began its development at the current site with the 1900 original school building at West Island Ave and Grove Street, which was destroyed by fire in 1971. The subsequent "B Building" in particular exhibits the defining qualities of the district, and falls within the period of significance. The building is reflective of it's time, with simple forms that are true to their function. The remaining buildings and expansion projects were constructed post 1941. Each addition to the campus generally reflects it's respective time period, while maintaining a consistent material palette of red brick and limestone or light ,limestone colored brick.

### Summary of Significant Development:

- "B Building": Damon O'meara and Hills Architects, 1922
- Brother's Residence: Glynne Backstrom and Associates, 1950
- "A Building": E.V. Shaefer and Associates, 1958
- Alber's Atrium: Perkin's and Will, 1999
- L.L. Gray Gymnasium: KKE, 2002

## Existing Site Conditions

### Service

Service vehicles currently enter the North Lot/ Service Court off Grove Street to access the loading dock on the north-side of the school. Regular service access is required to the DeLaSalle Maintenance Garage as well as to public and private utilities.

### Drainage and Utilities

Drainage around the DeLaSalle site generally flows toward West Island Avenue or East Island Avenue except for the area directly north of the school building and North Lot/ Service Court area. In this area, stormwater drainage has become problematic. During normal and heavy rainfall events, runoff from Grove Street flows over the North Lot concrete apron southward toward the DeLaSalle loading dock trench drain and other smaller stoop drains. Existing site conditions are not sufficient to handle the volume of stormwater, allowing water to flow into the existing loading area and boiler room below.

Sanitary and water services exist east, south and west of the school and will remain untouched with the proposed building and site improvements.

## Site Design Objectives

Our consideration of these items led us through a series of studies to determine the appropriate ways to:

- Manage campus activities on-site to increase safety while improving efficiency and minimizing disruption to the neighborhood.
- Build upon previous improvements to enhance learning and co-curricular opportunities and improve the function of the campus as a whole.
- Enhance access from North of campus and improve the function and appearance of the service area
- Resolve stormwater drainage issues in order to protect the existing and new facilities and infrastructure

- Utilize sustainable landscape practices, including use of native tree and plant species, to minimize water use and provide wildlife habitat

Stormwater drainage in the North Lot and Service Court areas will be improved with the reconstruction of the Grove Street concrete entrance drive apron and gutter. The North Lot drainage will generally maintain its current slope directing water to the northwest toward Grove Street. The service court will be regraded to direct runoff to the existing storm sewer system. Existing storm piping will be maintained and extended to serve the reconfigured Service Court area.

As part of the building and site improvement work, DeLaSalle will provide conveniently located bicycle racks to encourage sustainable modes of transportation.

Landscaping in front of the school building (South) will be renovated with sustainable, drought tolerant, indigenous plantings to accentuate the new South facade and addition, to improve views and daylight, and create a natural buffer between the learning spaces and parking lot.

Trees, shrubs and plantings will be added around the North Lot and Service Court area to screen the parking, drop-off and service functions. Newly landscaped areas will include native and indigenous plantings that mirror the rain garden north of the athletic field, and provide habitat and a food source for bees, birds, and other local wildlife.



## Introduction

Through the early process of facilities and site assessment, as well as the analysis of space needs and opportunities, the design team, in conjunction with DeLaSalle, began to identify opportunities to improve the academic function and accessibility of the existing facility and enhance the school's relationship to the surrounding neighborhood. The masterplan of DeLaSalle's campus provides us with significant opportunities for consideration:

- Activate the heart of campus by creating a new academic "hub"
- Create a more open and vibrant street presence
- Maximize access to daylight and views within the facility
- Improve accessibility, circulation, and wayfinding by creating connections between individual buildings and floor levels
- Improve appearance and function of the North service area from Grove Street
- Improve access between locker rooms, gym and athletic field
- Preserve views within the Historic District

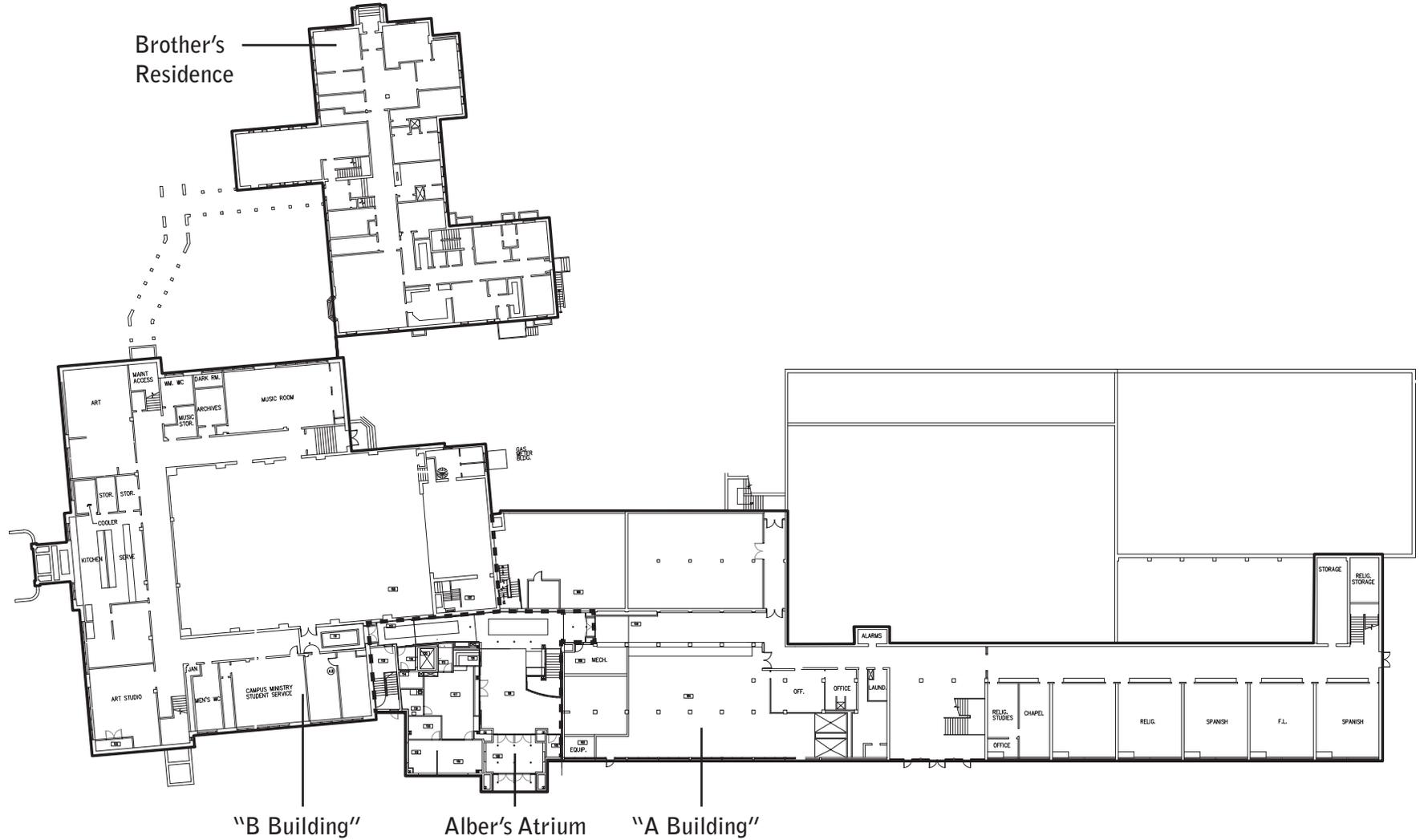
## Design Objectives

The architectural design intent is to improve the function and presence of the school through strategic interventions. As discussed in the historic narrative, the campus facilities have evolved over time through a number of renovations and expansions responding to the academic needs of the school. The evolution of the school has, over time, created challenging circulation and wayfinding, as well as incongruous adjacencies.

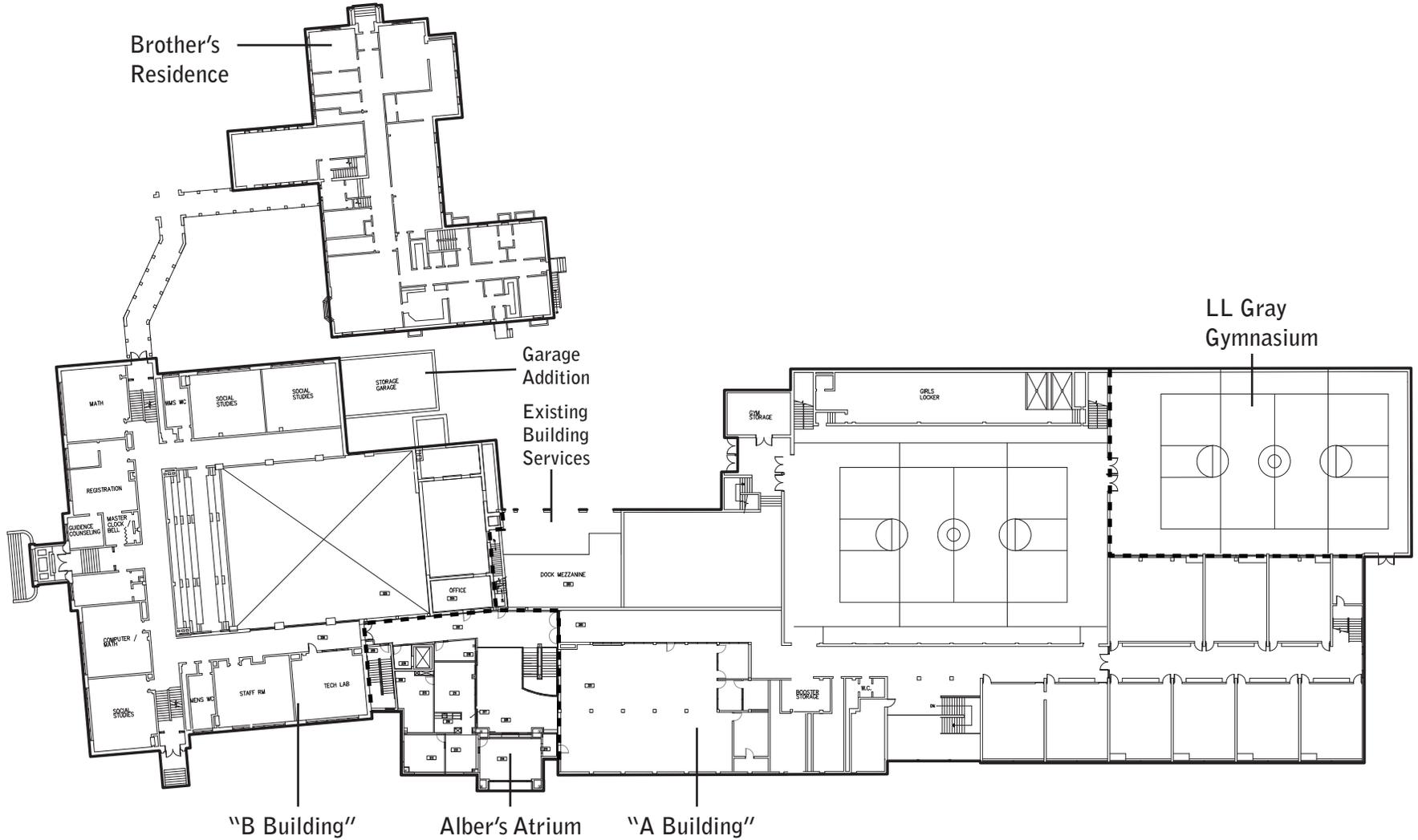
By focusing the renovation and addition at the center of the facility, the project maximizes its impact on the function of the entire campus, while preserving green space, enhancing the overall appearance of

the facilities, and preserving views within the district. Located partially in place of the existing loading dock and garage addition, the expansion creates new circulation patterns within the school that alleviate congestion between the "A" and "B Buildings," and locates co-curricular activities in proximity to the gym and athletic field.

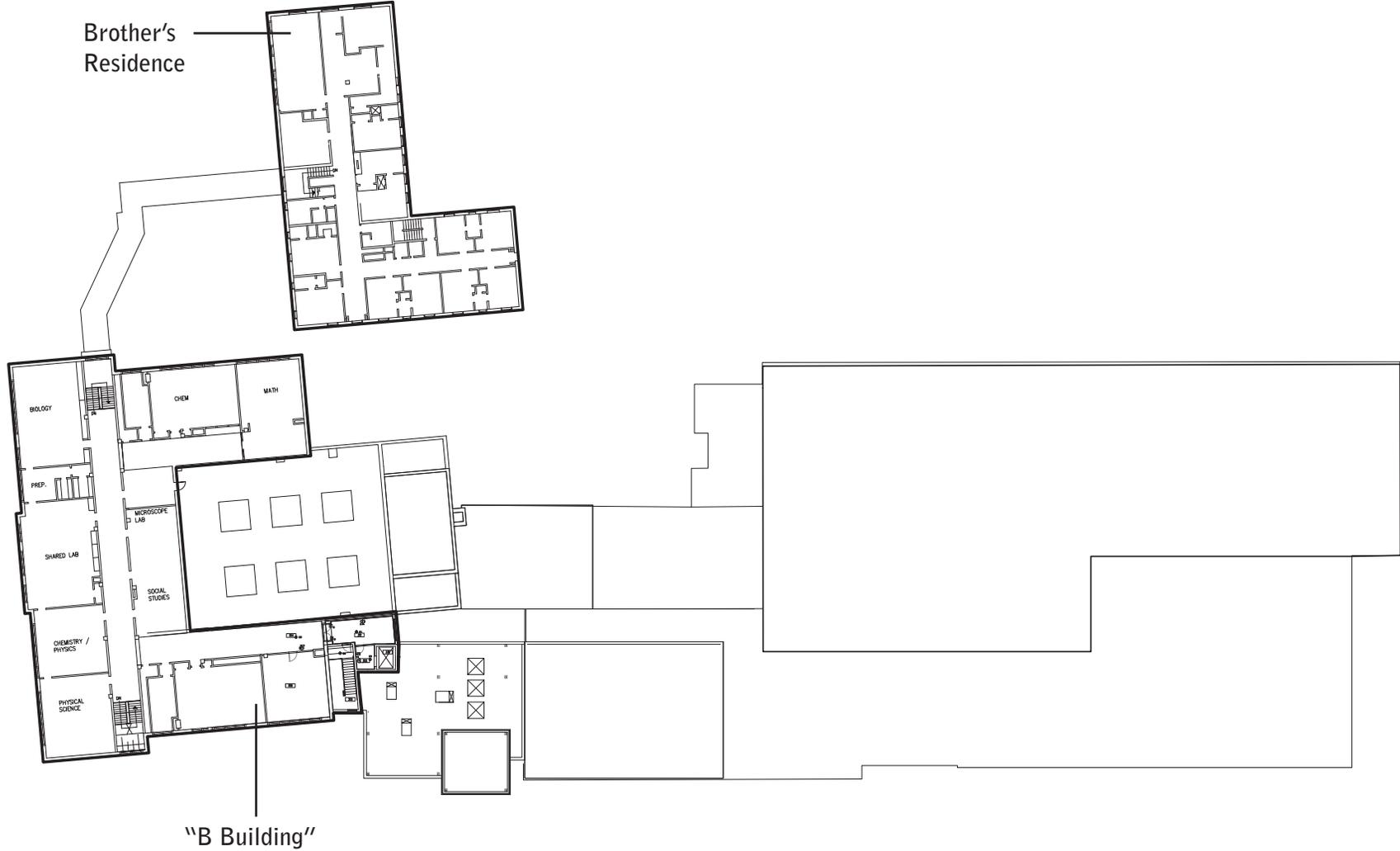
As the campus evolved, each addition has been reflective of its respective time period, while maintaining a consistent material palette of red brick and limestone or light, limestone colored brick. The co-curricular addition and facade alterations, small in scale relative to the overall campus, are intended to harmonize with the character of the limestone colored brick additions, particularly the 1958 "A Building" which is being renovated. Modifications to the South facade as well as the addition to the North, create a more open and active relationship with the surrounding neighborhood while maximizing daylight and views to the exterior.



Existing First Floor Plan



Existing Second Floor Plan



Existing Third Floor Plan



“A Building”



Existing "A Building", Outside of Locker Room



Existing Locker Room



Brother's Residence, North Parking Lot, and Service Court Beyond



Existing Service Court  
"B Building" (left), Garage Addition (Center), Brother's Residence (right)

October 27, 2014

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"B Building" and Garage Addition from Service Court

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"B Building" at proposed connection



Brother's Residence (left), "B Building" (right) from West

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Brother's Residence from east



"A Building" from Service Court

Legend

- Renovation
- Co-curricular Expansion

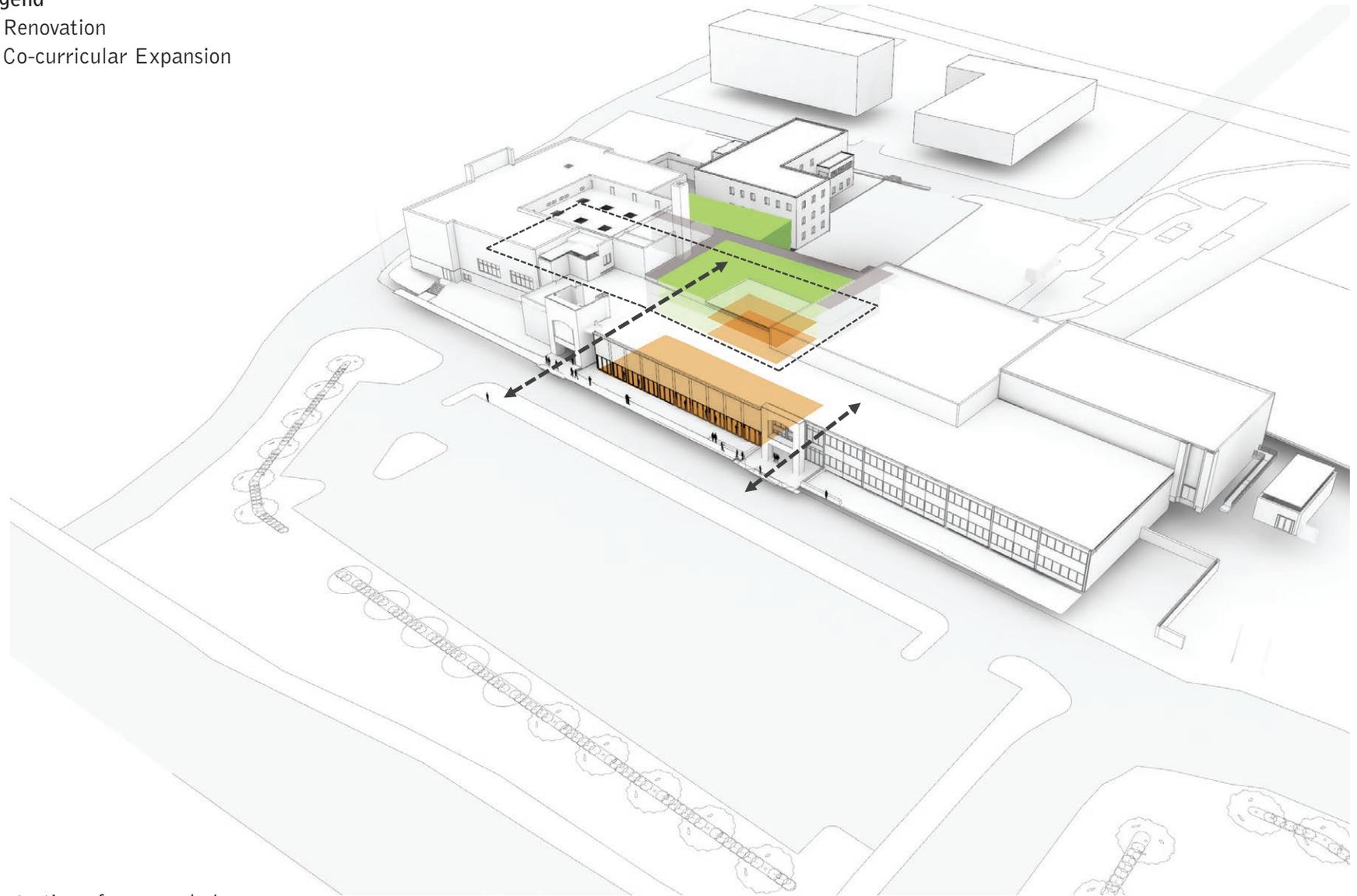
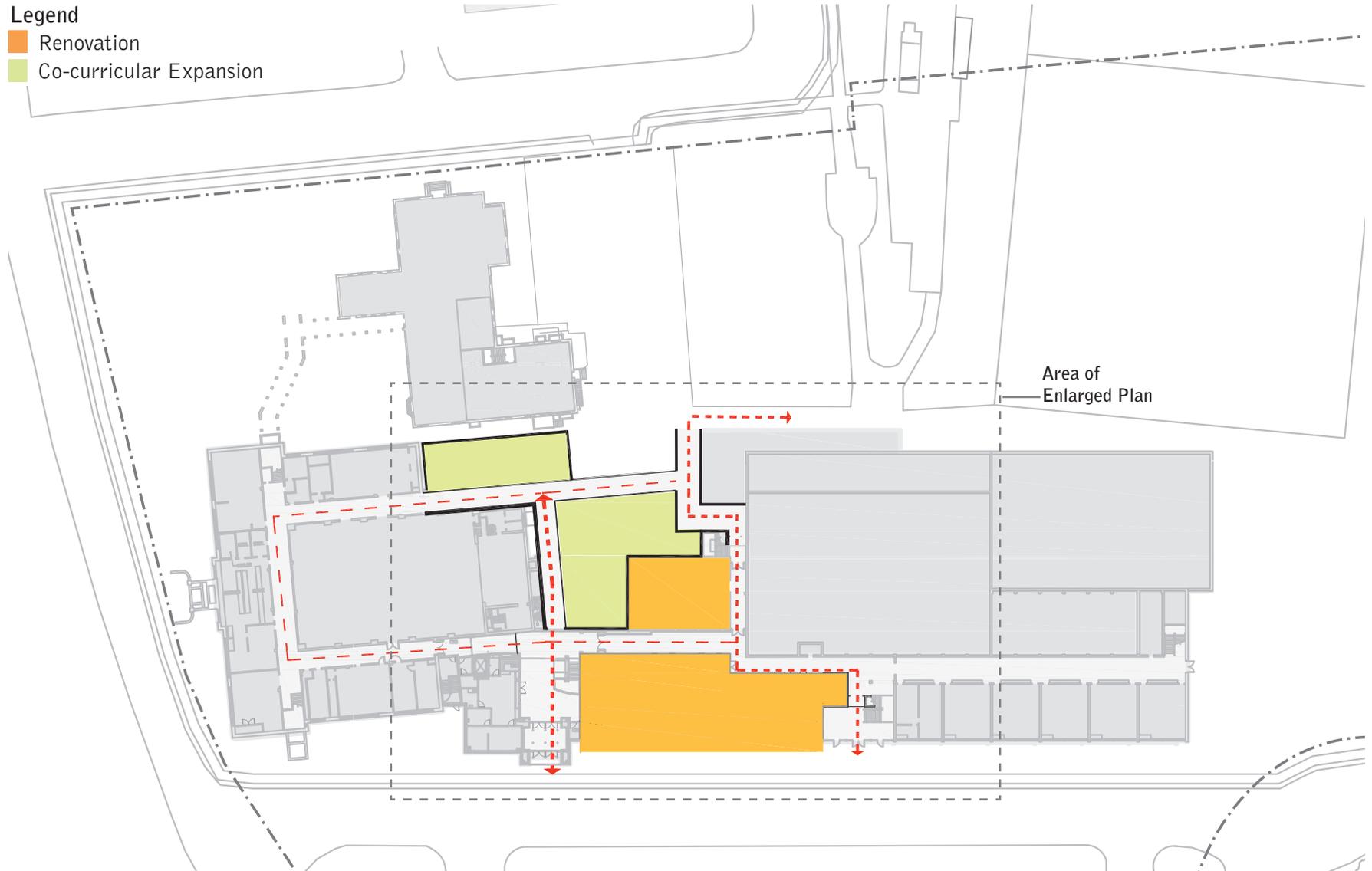


Illustration of proposed plan,  
highlighting new circulation loop

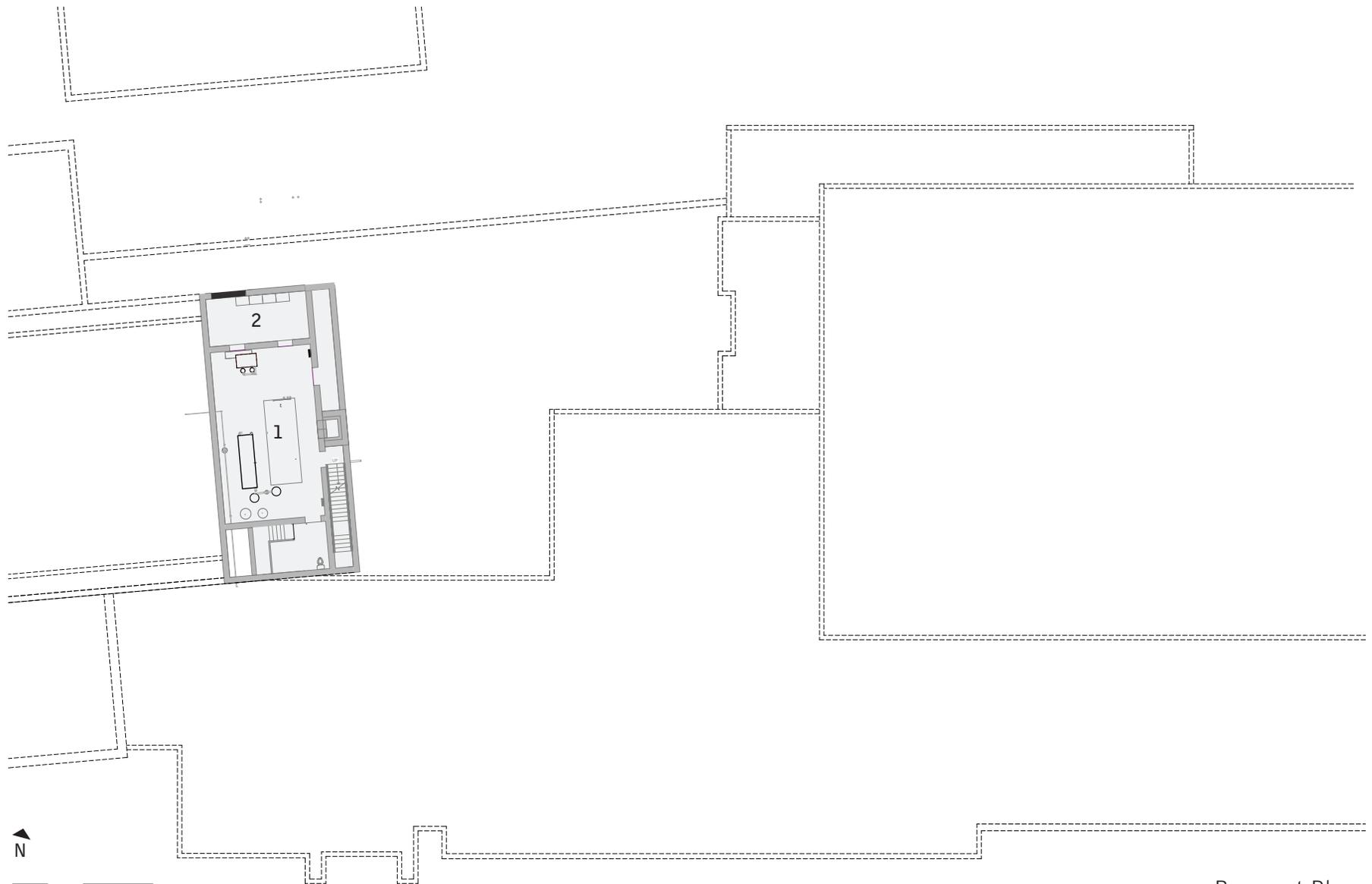
Legend

- Renovation
- Co-curricular Expansion



Overall plan

- 1 Boiler Room
- 2 Electrical Room



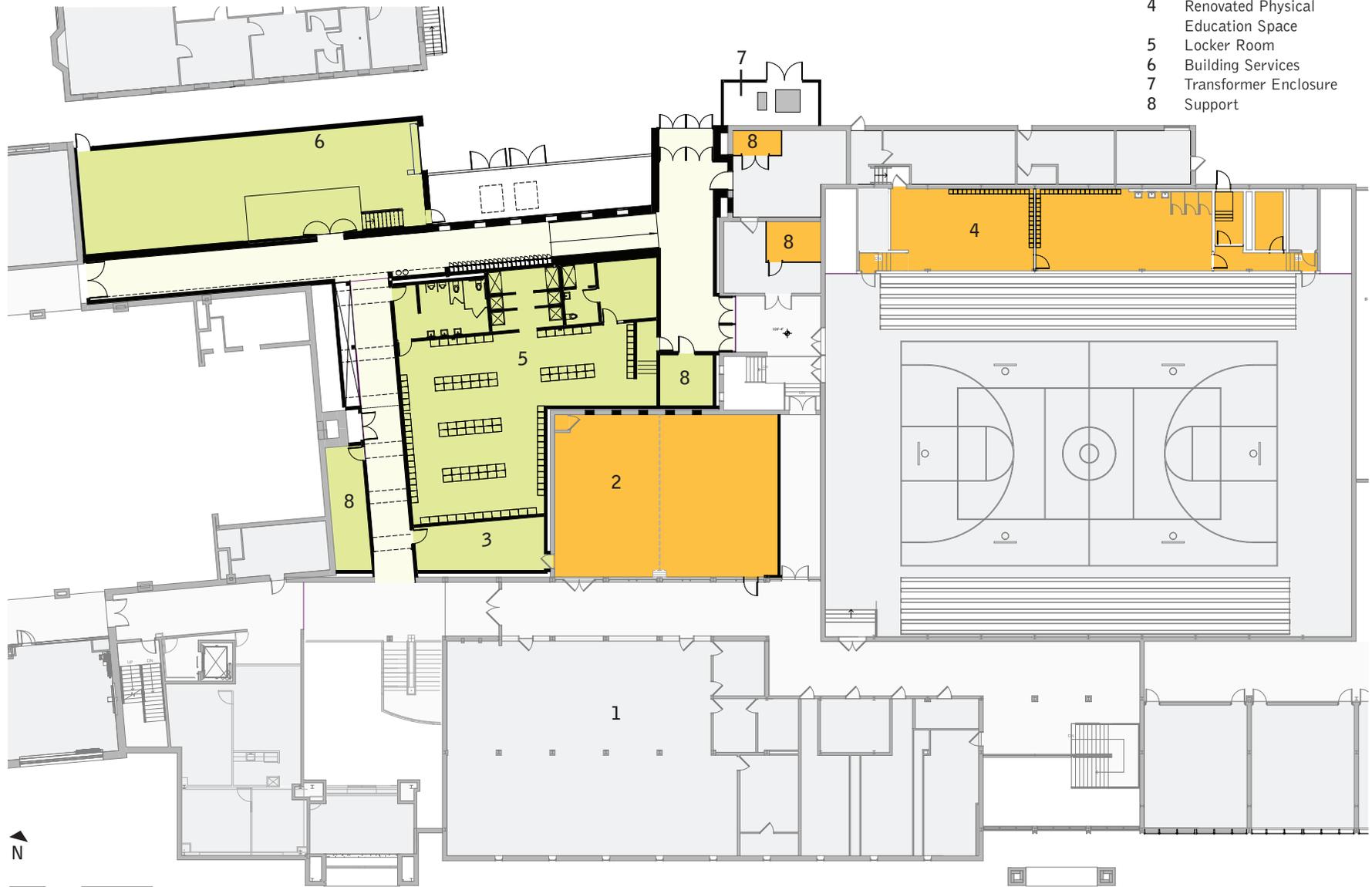
Basement Plan

- 1 Alber's Atrium
- 2 Learning Center
- 3 Academic Improvement
- 4 Locker Room
- 5 Cross-curricular Space
- 6 Support



1st Floor Plan

- 1 Existing Media Center
- 2 Technology Center
- 3 Multi-media Production
- 4 Renovated Physical Education Space
- 5 Locker Room
- 6 Building Services
- 7 Transformer Enclosure
- 8 Support

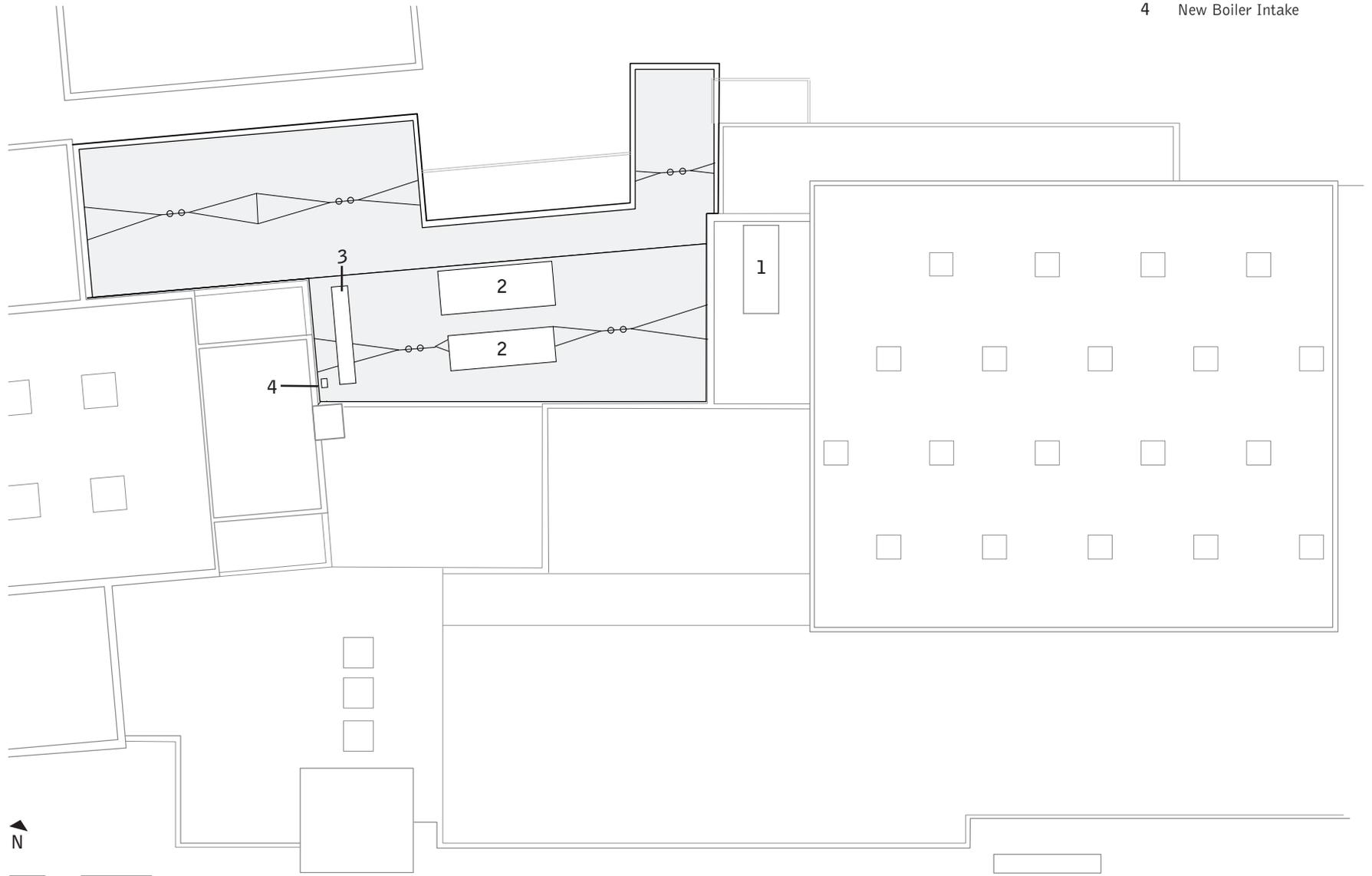


2nd Floor Plan

October 27, 2014

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- 1 Existing Mechanical Unit
- 2 New Mechanical Unit
- 3 New Skylight
- 4 New Boiler Intake

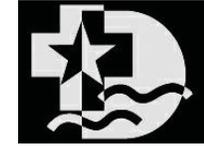


Roof Plan

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# DELASALLE HIGH SCHOOL

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DELASALLE HIGH SCHOOL

---



Architecture | Engineering | Planning  
Hammel, Green and Abrahamson, Inc.  
420 5th Street North, Suite 100  
Minneapolis, Minnesota USA 55401  
Telephone 612.758.4000 Facsimile 612.758.4199

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hga commission number: 3411-001-00

OCTOBER 27, 2014

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## HPC

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### CIVIL

- C0.01 EXISTING AND PROPOSED DRAINAGE PLANS
- C1.11 REMOVALS AND SITE PLANS
- C1.21 GRADING, UTILITY, SEDIMENT AND EROSION CONTROL
- C1.31 LANDSCAPING PLAN
- C2.11 SITE DETAILS

### ARCHITECTURAL

- A011.1 MATERIAL IDENTIFICATION CODES
- A100 BASEMENT LEVEL DEMOLITION PLAN
- A102 FIRST LEVEL DEMOLITION PLAN
- A110 ENLARGED DEMO EXTERIOR ELEVATIONS
- A200 LOWER LEVEL PLAN
- A201 FIRST LEVEL FLOOR PLAN
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- A420.1 WALL SECTIONS
- A421.1 WALL SECTIONS
- A425 WALL SECTIONS





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Responsible for the design and construction of the building and site work shown on this drawing shall be the contractor. The contractor shall be responsible for obtaining all necessary permits and approvals from the City of Minneapolis and the State of Minnesota.

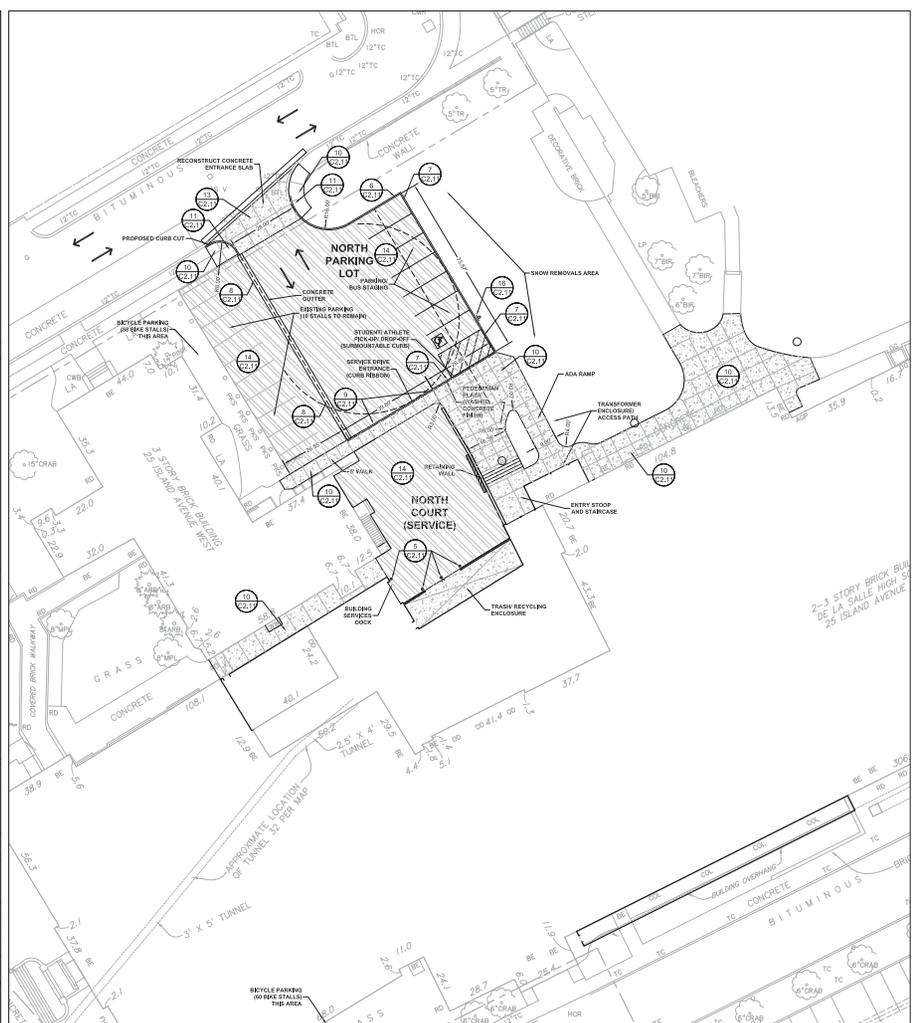
DATE DESCRIPTION

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**REMOVALS AND SITE PLANS**

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**C1.11**



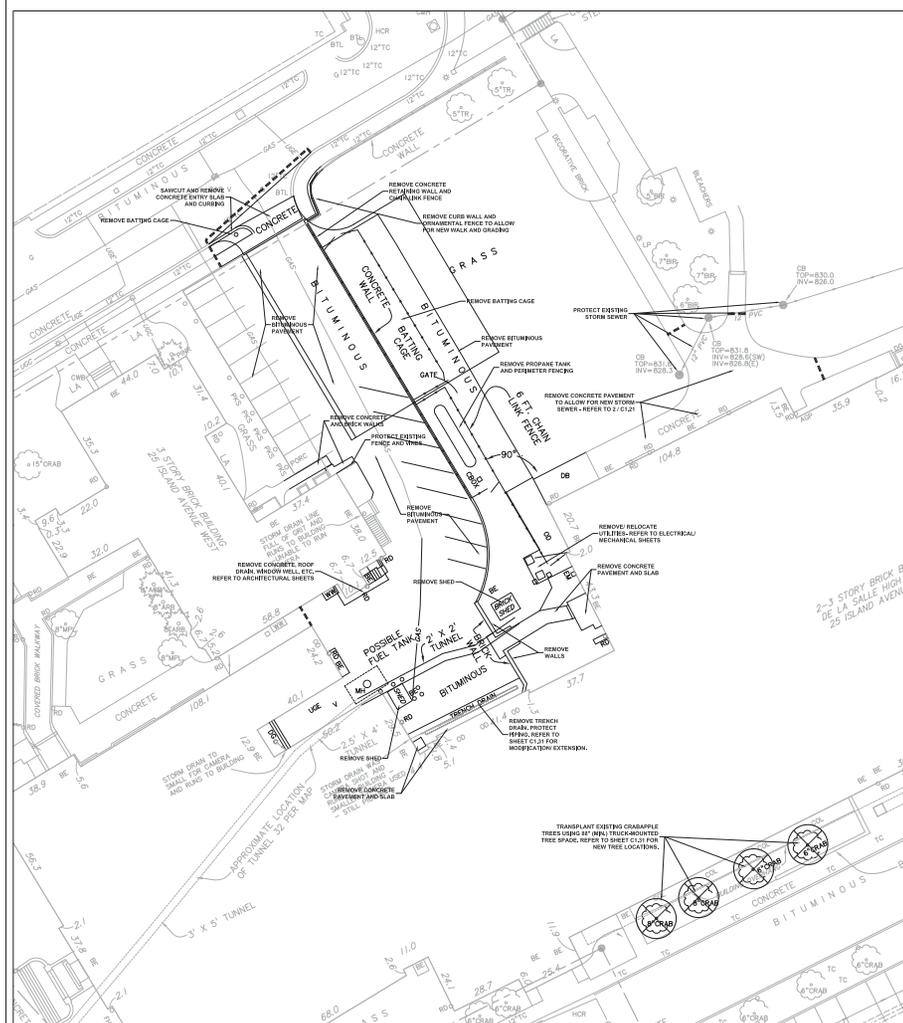
**2**  
**C1.11** **SITE PLAN**  
SCALE: 1" = 20'

**LEGEND**

- REFERENCE KEY TO SITE DETAILS  
DETAIL ID NUMBER (TOP)  
DETAIL SHEET NUMBER (BOTTOM)
- PROPOSED CONCRETE WALK
- PROPOSED HEAVY DUTY BITUMINOUS PAVEMENT
- PROPOSED CONCRETE POROUS PAVERS
- PROPOSED RETAINING WALL
- PROPOSED TRAFFIC CONTROL SIGN
- PROPOSED BOLLARD
- PAINTED ACCESSIBLE SYMBOL
- PROPOSED MANHOLE (MH)
- PROPERTY LINE

**NOTES:**

1. ALL APPLICABLE DIMENSIONS ARE TO FACE OF CURB, EDGE OF PAVEMENT, CENTERLINE OF FENCE, OR PROPERTY LINE UNLESS OTHERWISE NOTED.
2. CHECK ALL PLAN AND DETAIL DIMENSIONS AND VERIFY SAME BEFORE FIELD LAYOUT.
3. SIGNAGE SHALL BE INSTALLED 18" BEHIND THE BACK OF CURB OR EDGE OF PAVEMENT.
4. ALL DISTURBED AREAS OUTSIDE THE BUILDING PAD WHICH ARE NOT DESIGNATED TO BE PAVED SHALL RECEIVE AT LEAST 6" OF TOPSOIL AND SHALL BE SOILED.
5. WHERE NEW SOD MEETS EXISTING TURF, EXISTING TURF EDGE SHALL BE CUT TO ALLOW FOR A CONSISTENT, UNIFORM STRAIGHT EDGE. JAGGED OR UNEVEN EDGES WILL NOT BE ACCEPTABLE. REMOVE TOPSOIL AT JOINT BETWEEN EXISTING AND NEW AS REQUIRED TO ALLOW NEW SOD SURFACE TO BE FLUSH WITH EXISTING.
6. FAILURE OF TURF DEVELOPMENT: IN THE EVENT THE CONTRACTOR FAILS TO PROVIDE AN ACCEPTABLE TURF, THE CONTRACTOR SHALL RE-SOD OR RE-SEED ALL APPLICABLE AREAS, AT NO ADDITIONAL COST TO THE OWNER, TO THE SATISFACTION OF THE ENGINEER.



**1**  
**C1.11** **REMOVALS PLAN**  
SCALE: 1" = 20'

**REMOVALS NOTES:**

1. REFER TO SHEET C1.21 FOR GENERAL NOTES.
2. MINIMIZE DISTURBANCE TO SITE AND PROTECT EXISTING VEGETATION AND SITE FEATURES (CURBS, WALKS, PAVEMENTS, OVERHEAD AND UNDERGROUND UTILITIES, SIGNAGE, FENCING, ROADWAYS, ETC.) WHICH ARE TO REMAIN.
3. REPAIR OR REPLACE EXISTING PROPERTY AND SITE FEATURES, INCLUDING GRASS AND VEGETATION, WHICH IS TO REMAIN THAT IS DAMAGED BY THE WORK, TO OWNERS SATISFACTION AND AT NO ADDITIONAL COST TO THE OWNER.
4. VISIT THE SITE PRIOR TO BEGINNING BE FAMILIAR WITH ACTUAL CONDITIONS IN THE FIELD. EXTRA COMPENSATION WILL NOT BE ALLOWED FOR CONDITIONS WHICH COULD HAVE BEEN DETERMINED OR ANTICIPATED BY EXAMINATION OF THE SITE, THE CONTRACT DRAWINGS AND THE INFORMATION AVAILABLE PERTAINING TO EXISTING SOILS, UTILITIES AND OTHER SITE CHARACTERISTICS.
5. THE CONTRACTOR SHALL HIRE THE SERVICES OF A UTILITY LOCATOR COMPANY TO LOCATE ALL PRIVATELY OWNED UTILITIES THAT MAY BE DISTURBED BY CONSTRUCTION OPERATIONS.











420 5th Street North, Suite 100  
Minneapolis, Minnesota 55412  
Telephone 612.758.4000



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SCHOOL OF ARCHITECTURE  
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MINNEAPOLIS, MN 55455  
554.257.3100

**NOT FOR  
CONSTRUCTION**

HGA NO: 3411-001-00

**BASEMENT  
LEVEL  
DEMOLITION  
PLAN**

OCTOBER 27, 2014  
HPC SUBMITTAL

**A100**

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DEMOLITION PLAN KEYNOTES	
#	DESCRIPTION
1	DEMO EXISTING DOOR AND FRAME. REFER TO FLOOR PLANS FOR ADDITIONAL INFORMATION
2	DEMO EXISTING WALL AS REQUIRED FOR NEW CONSTRUCTION. SEE FLOOR PLANS FOR ADDITIONAL INFORMATION
3	DEMO EXISTING WALL AS REQUIRED FOR INSTALLATION OF NEW DOOR. SEE FLOOR PLANS FOR ADDITIONAL INFORMATION
4	SALVAGE PLUMBING FIXTURES AND ALL WALL MOUNTED ACCESSORIES
5	SALVAGE EXISTING FURNITURE AND EQUIPMENT. COORDINATE WITH OWNER. DEMO CURBS AS REQ'D FOR NEW CONST.
6	REMOVE EXISTING FLOORING AND PREPARE SUB FLOOR FOR NEW FINISH
7	REMOVE, PROTECT AND STORE EXISTING WINDOW FRAME

DEMOLITION PLAN KEYNOTES	
#	DESCRIPTION
8	REMOVE PROTECT AND STORE EXISTING BRICKSTONE FOR NEW OPENING
9	DEMO EXISTING SITE WALL AS REQUIRED FOR NEW CONSTRUCTION. REFER TO CIVIL/LANDSCAPE FOR ADDITIONAL INFORMATION
10	DEMO EXISTING TILE BASE AT COLUMN. PREPARE EXISTING SURFACE TO RECEIVE HSP-35 DIRECT APPLIED
11	DEMO EXISTING CEILING FOR NEW FINISH. REFER TO CEILING PLAN FOR ADDITIONAL INFORMATION
12	DEMO EXISTING PLASTER SOFFIT
13	DEMO EXISTING STAIR, HANDRAIL, AND GUARDRAIL
14	REMOVE EXISTING MEZZANINE FOR REUSE IN NEW CONSTRUCTION
15	DEMO EXISTING WINDOW AND CURB AS REQUIRED FOR NEW CONSTRUCTION. REFER TO FLOOR PLANS FOR ADDITIONAL INFORMATION
16	DEMO EXISTING WINDOW PATCH TO MATCH ADJACENT WALL FINISH AND MAINTAIN FIRE RATING
17	REMOVE/RELOCATE EQUIPMENT. SEE MECHANICAL.

DEMOLITION PLAN GENERAL NOTES	
#	DESCRIPTION
A	VERIFY EXISTING CONDITIONS AND DIMENSIONS. COORDINATE THE EXTENT OF DEMOLITION WORK AND EXISTING WORK TO REBAM WITH NEW FLOOR PLAN AND PROJECT SITE PRIOR TO PRICING, FABRICATION AND INSTALLATION. NOTIFY ARCHITECT OF ALL CONFLICTS IMMEDIATELY.
B	WHERE WALLS OR PARTITIONS ARE INDICATED TO BE REMOVED, REMOVE ENTIRE WALL OR PARTITIONS AS WELL AS DUCTS, PIPING, CONDUITS AND OTHER ELEMENTS IN OR ON THEM WHICH MAY OR MAY NOT BE SPECIFICALLY IDENTIFIED, UNLESS OTHERWISE NOTED. COORDINATE WITH OWNER ALL EQUIPMENT TO BE SALVAGED.
C	REFER TO MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION NOTES.
D	REPAIR/PATCH OPENINGS IN WALLS, PARTITIONS, FLOORS AND CEILINGS THAT ARE EXISTING OR WHERE DEMOLITION OCCURS TO MATCH EXISTING ADJACENT FINISH SURFACE. MAINTAIN CODE AND FIRE RATING REQUIREMENTS.
E	EXISTING FINISHES TO BE REMOVED SHALL HAVE THE ORIGINAL SUBSTRATE PREPARED TO RECEIVE NEW FINISHES.
F	PROVIDE SAFE MEANS OF EGRESS THROUGH AND/OR AROUND THE BUILDING AND/OR SITE AT ALL TIMES.

DEMOLITION PLAN GENERAL NOTES	
#	DESCRIPTION
G	AVOID DISRUPTION TO ADJACENT FLOORS (AREAS AS MUCH AS POSSIBLE). KEEP NOISE TO A LEVEL ACCEPTABLE TO THE OWNER BY SCHEDULING EXCESSIVE NOISE TASKS WITH OWNER. ALL SAW CUTTING AND NOISE VIBRATION PRODUCING CONSTRUCTION TO BE SCHEDULED WITH OWNER AS TO NOT INTERFERE WITH MEDICAL PROCEDURES/PATIENT CARE. THIS MAY REQUIRE AFTER HOURS WORK.
H	PROVIDE DUST CONTROL BETWEEN CONSTRUCTION AREAS AND OCCUPIED AREAS AT ALL TIMES. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
J	ALL SHUTTINGS OF MECHANICAL, SPRINKLER, FIRE ALARM AND/OR ELECTRICAL SYSTEMS SHALL BE COORDINATED WITH OWNER AND MAY OCCUR DURING NON-BUSINESS HOURS.
K	ALL ITEMS INDICATED TO BE REMOVED FROM EXISTING WALLS (TACK BOARDS, MARKER BOARDS, BUMPER PAILS, CORNER GUARDS, MIRRORS, ETC.) SHALL BE RETURNED TO OWNER, UNLESS DIRECTED OTHERWISE. PATCH WALLS AS REQUIRED FOR NEW FINISHES.
L	PROVIDE FIRE EXTINGUISHER PER CODE AT ALL TIMES THROUGH CONSTRUCTION AREA.



**1 BASEMENT LEVEL DEMOLITION PLAN**



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CONSTRUCTION

HGA NO: 3411-001-00

FIRST LEVEL  
DEMOLITION  
PLAN

OCTOBER 27, 2014  
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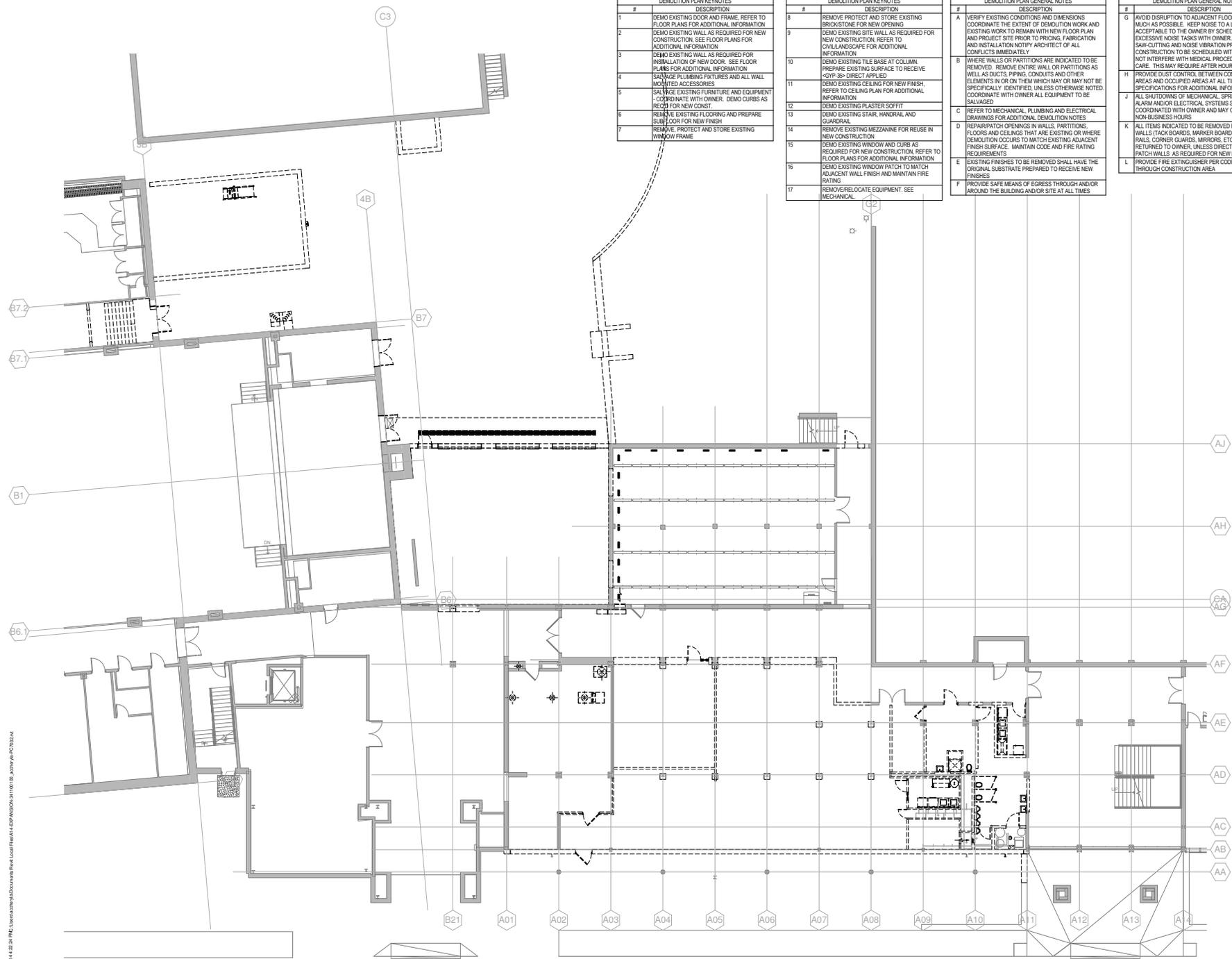
A102

#	DESCRIPTION
1	DEMO EXISTING DOOR AND FRAME. REFER TO FLOOR PLANS FOR ADDITIONAL INFORMATION
2	DEMO EXISTING WALL AS REQUIRED FOR NEW CONSTRUCTION. SEE FLOOR PLANS FOR ADDITIONAL INFORMATION
3	DEMO EXISTING WALL AS REQUIRED FOR INSTALLATION OF NEW DOOR. SEE FLOOR PLANS FOR ADDITIONAL INFORMATION
4	SALVAGE PLUMBING FIXTURES AND ALL WALL MOUNTED ACCESSORIES
5	SALVAGE EXISTING FURNITURE AND EQUIPMENT. COORDINATE WITH OWNER. DEMO CURBS AS REQUIRED FOR NEW CONST.
6	REMOVE EXISTING FLOORING AND PREPARE SUBFLOOR FOR NEW FINISH
7	REMOVE, PROTECT AND STORE EXISTING WINDOW FRAME

#	DESCRIPTION
8	REMOVE PROTECT AND STORE EXISTING BRICKSTONE FOR NEW OPENING
9	DEMO EXISTING SITE WALL AS REQUIRED FOR NEW CONSTRUCTION. REFER TO CIVIL/LANDSCAPE FOR ADDITIONAL INFORMATION
10	DEMO EXISTING TILE BASE AT COLUMN. PREPARE EXISTING SURFACE TO RECEIVE <M>'S</M> DIRECT APPLIED
11	DEMO EXISTING CEILING FOR NEW FINISH. REFER TO CEILING PLAN FOR ADDITIONAL INFORMATION
12	DEMO EXISTING PLASTER SOFFIT
13	DEMO EXISTING STAIR, HANDRAIL AND GUARDRAIL
14	REMOVE EXISTING MEZZANINE FOR REUSE IN NEW CONSTRUCTION
15	DEMO EXISTING WINDOW AND CURB AS REQUIRED FOR NEW CONSTRUCTION. REFER TO FLOOR PLANS FOR ADDITIONAL INFORMATION
16	DEMO EXISTING WINDOW PATCH TO MATCH ADJACENT WALL FINISH AND MAINTAIN FIRE RATING
17	REMOVE/RELOCATE EQUIPMENT. SEE MECHANICAL.

#	DESCRIPTION
A	VERIFY EXISTING CONDITIONS AND DIMENSIONS. COORDINATE THE EXTENT OF DEMOLITION WORK AND EXISTING WORK TO REBAR WITH NEW FLOOR PLAN AND PROJECT SITE PRIOR TO PRICING, FABRICATION AND INSTALLATION. NOTIFY ARCHITECT OF ALL CONFLICTS IMMEDIATELY.
B	WHERE WALLS OR PARTITIONS ARE INDICATED TO BE REMOVED, REMOVE ENTIRE WALL OR PARTITIONS AS WELL AS DUCTS, PIPING, CONSULTS AND OTHER ELEMENTS IN OR ON THEM WHICH MAY OR MAY NOT BE SPECIFICALLY IDENTIFIED UNLESS OTHERWISE NOTED. COORDINATE WITH OWNER ALL EQUIPMENT TO BE SALVAGED.
C	REFER TO MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION NOTES.
D	REPAIR/PATCH OPENINGS IN WALLS, PARTITIONS, FLOORS AND CEILINGS THAT ARE EXISTING OR WHERE DEMOLITION OCCURS TO MATCH EXISTING ADJACENT FINISH SURFACE. MAINTAIN CODE AND FIRE RATING REQUIREMENTS.
E	EXISTING FINISHES TO BE REMOVED SHALL HAVE THE ORIGINAL SUBSTRATE PREPARED TO RECEIVE NEW FINISHES.
F	PROVIDE SAFE MEANS OF EGRESS THROUGH AND/OR AROUND THE BUILDING AND/OR SITE AT ALL TIMES.

#	DESCRIPTION
G	AVOID DISRUPTION TO ADJACENT FLOORS AREAS AS MUCH AS POSSIBLE. KEEP NOISE TO A LEVEL ACCEPTABLE TO THE OWNER BY SCHEDULING EXCESSIVE NOISE TASKS WITH OWNER. ALL SAW-CUTTING AND NOISE VIBRATION PRODUCING CONSTRUCTION TO BE SCHEDULED WITH OWNER AS TO NOT INTERFERE WITH MEDICAL PROCEDURES/PATIENT CARE. THIS MAY REQUIRE AFTER-HOURS WORK.
H	PROVIDE DUST CONTROL BETWEEN CONSTRUCTION AREAS AND OCCUPIED AREAS AT ALL TIMES. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
J	ALL SHUTDOWNS OF MECHANICAL, SPRINKLER, FIRE ALARM AND/OR ELECTRICAL SYSTEMS SHALL BE COORDINATED WITH OWNER AND MAY OCCUR DURING NON-BUSINESS HOURS.
K	ALL ITEMS INDICATED TO BE REMOVED FROM EXISTING WALLS (TACK BOARDS, MARKER BOARDS, BUMPER PAINTS, CORNER GUARDS, MIRRORS, ETC.) SHALL BE RETURNED TO OWNER, UNLESS DIRECTED OTHERWISE. PATCH WALLS AS REQUIRED FOR NEW FINISHES.
L	PROVIDE FIRE EXTINGUISHER PER CODE AT ALL TIMES THROUGH CONSTRUCTION AREA.



1 FIRST LEVEL DEMOLITION PLAN  
1/8" = 1'-0"







420 5th Street North, Suite 100  
Minneapolis, Minnesota 55412  
Telephone 612.758.4000



Architectural & Technical Associates, Inc.  
1000 Hennepin Avenue, Suite 200  
Minneapolis, MN 55402  
Telephone 612.338.4444

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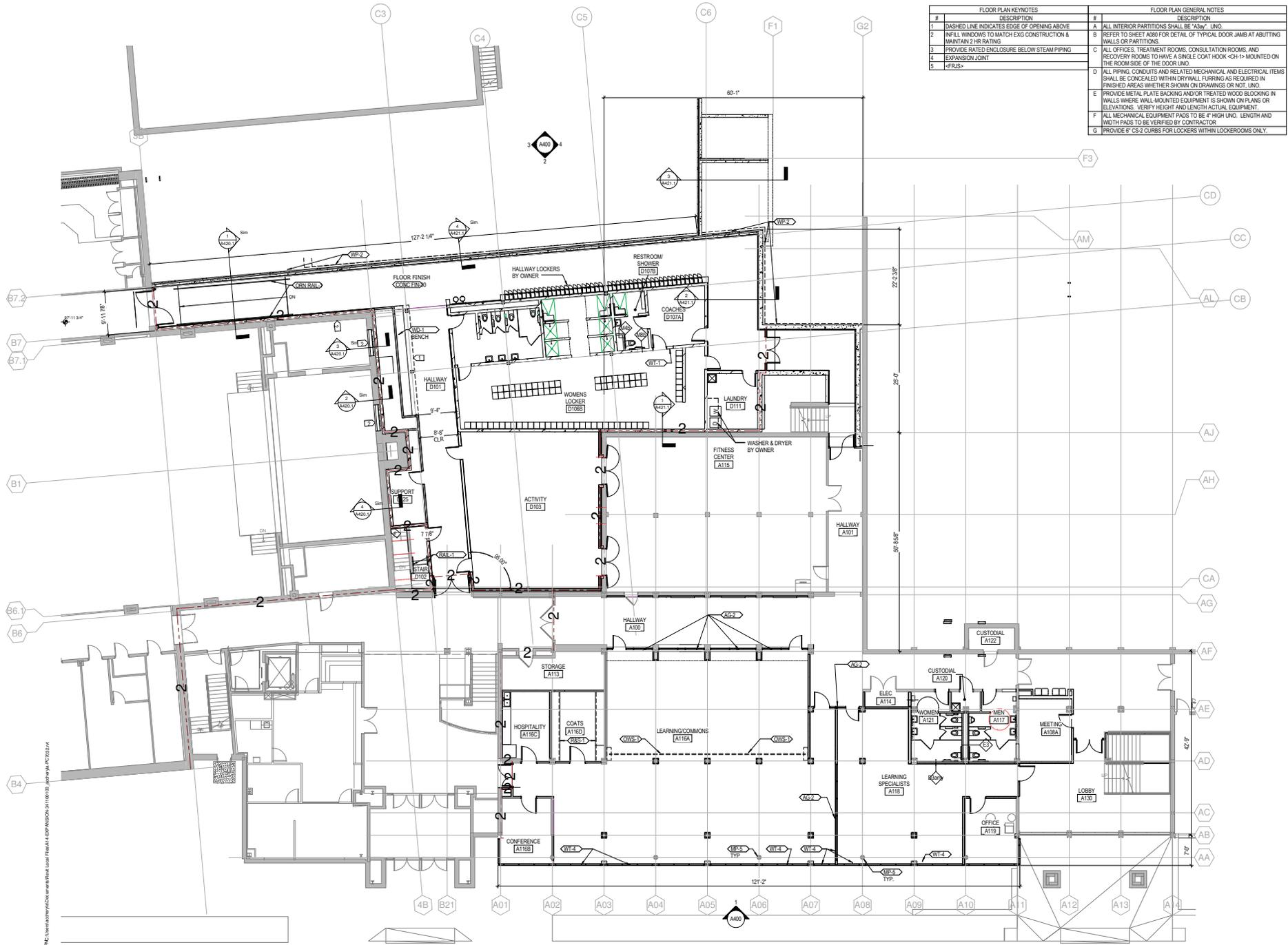
**FIRST LEVEL  
FLOOR PLAN  
AREA A**

OCTOBER 27, 2014  
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**A201**

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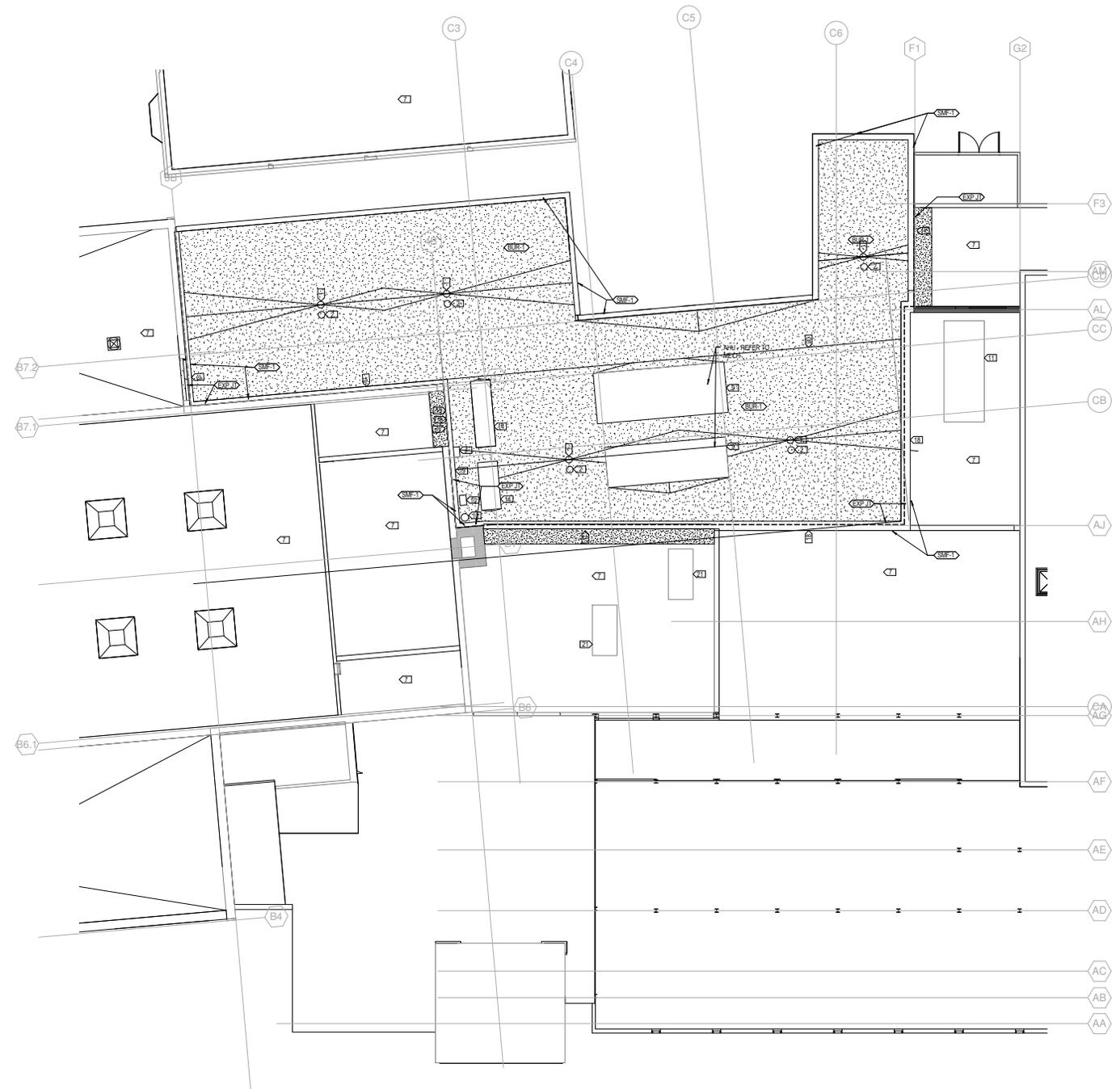
FLOOR PLAN KEYNOTES		FLOOR PLAN GENERAL NOTES	
#	DESCRIPTION	#	DESCRIPTION
1	DASHED LINE INDICATES EDGE OF OPENING ABOVE	A	ALL INTERIOR PARTITIONS SHALL BE "AS-BY" UNO.
2	INFILL WINDOWS TO MATCH EXG CONSTRUCTION & MAINTAIN 2 HR RATING	B	REFER TO SHEET A480 FOR DETAIL OF TYPICAL DOOR JAMB AT ABUTTING WALLS OR PARTITIONS.
3	PROVIDE RATED ENCLOSURE BELOW STEAM PIPING	C	ALL OFFICES, TREATMENT ROOMS, CONSULTATION ROOMS, AND RECOVERY ROOMS TO HAVE A SINGLE COAT HOOK (C24-1) MOUNTED ON THE ROOM SIDE OF THE DOOR UNO.
4	EXPANSION JOINT	D	ALL PIPING, CONDUITS AND RELATED MECHANICAL AND ELECTRICAL ITEMS SHALL BE CONCEALED WITHIN DRYWALL. FURRING AS REQUIRED IN FINISHED AREAS WHETHER SHOWN ON DRAWINGS OR NOT UNO.
5	<FRUS>	E	PROVIDE METAL PLATE BACKING AND/OR TREATED WOOD BLOCKING IN WALLS WHERE WALL MOUNTED EQUIPMENT IS SHOWN ON PLANS OR ELEVATIONS. VERIFY HEIGHT AND LENGTH ACTUAL EQUIPMENT.
		F	ALL MECHANICAL EQUIPMENT PADS TO BE 4" HIGH UNO. LENGTH AND WIDTH PADS TO BE VERIFIED BY CONTRACTOR.
		G	PROVIDE 6" CS-2 CURBS FOR LOCKERS WITHIN LOCKERROOMS ONLY.



1 FIRST LEVEL FLOOR PLAN - AREA A  
1/8" = 1'-0"



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ROOF PLAN GENERAL NOTES	
#	DESCRIPTION
A	UNIFORMLY SLOPE TAPERED INSULATION MINIMUM 1/4" IN HEIGHT PER 1'-0" HORIZONTALLY (OR AS REQUIRED BY CODE) AT LEVEL ROOF AREAS, UNLESS NOTED OTHERWISE.
B	MINIMUM ROOF INSULATION THICKNESS AT ROOF DRAINS (LOW POINT) 1'-2" SLOPE. CRICKET INSULATION TO DRAIN AROUND PENETRATIONS (VENTS, STACK, ETC) AND AT VALLEYS BETWEEN ROOF DRAINS.
C	ALL ROOF DRAINS SHALL HAVE AN OVERFLOW DRAIN OR SCUPPER SET AT AN ELEVATION 2" HIGHER THAN ROOF DRAIN, UNLESS NOTED OTHERWISE.
D	VERIFY ALL OPENING LOCATIONS AND SIZES THROUGH ROOF. PROVIDE APPROPRIATE FLASHING AS REQUIRED TO MAKE WATERTIGHT. REFER TO STRUCTURAL DRAWINGS FOR METAL DECK ELEVATIONS.
E	

ROOF PLAN KEYNOTES	
#	DESCRIPTION
1	ROOF DRAIN
2	OVERFLOW ROOF DRAIN
3	SCUPPER WITH SPLASH BLOCK
4	EXISTING DOWNSPOUT, PROVIDE SPLASH BLOCK
5	OVERFLOW SCUPPER
6	CONTROL JOINT - COORDINATE WITH STRUCTURAL
7	EXISTING ROOF TO REMAIN
8	LIGHT POLE - COORDINATE WITH ELECTRICAL AND STRUCTURAL
9	ROOF CURB - COORDINATE WITH MECHANICAL AND PLUMBING
10	SLAB OPENING - COORDINATE EXACT LOCATION AND DIMENSIONS WITH MECHANICAL AND STRUCTURAL
11	EXISTING EQUIPMENT TO REMAIN
12	CRICKET, TYPICAL
13	EXHAUST FAN - COORDINATE WITH MECHANICAL
14	ADD ALTERNATE - ROOF MONITOR, AFS-2, STL FRAMING, MP-1 CLADDING
15	WALL MOUNTED ROOF DRAIN
16	WALL MOUNTED OVERFLOW DRAIN
17	NEW ROOFING/EXPANSION JOINT TO INTEGRATE WITH EXISTING ROOFING
18	NEW SMF-2 CORING TO COVER NEW PARAPET, EXISTING PARAPET AND EXPANSION JOINT
19	NEW SMF-2 CORING/EXPANSION JOINT TO INTEGRATE WITH EXISTING WALL
20	RIDGE LINE
21	REMOVE EXISTING ROOF TOP MECHANICAL UNIT, PATCH AND REPAIR ROOF.

**HGA**  
420 5th Street North, Suite 100  
Minneapolis, Minnesota 55412  
Telephone 612.758.4000



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**ROOF PLAN**

OCTOBER 27, 2014  
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**A204**

1 HPC - ROOF PLAN - AREA A  
1/8" = 1'-0"

OCTOBER 27, 2014

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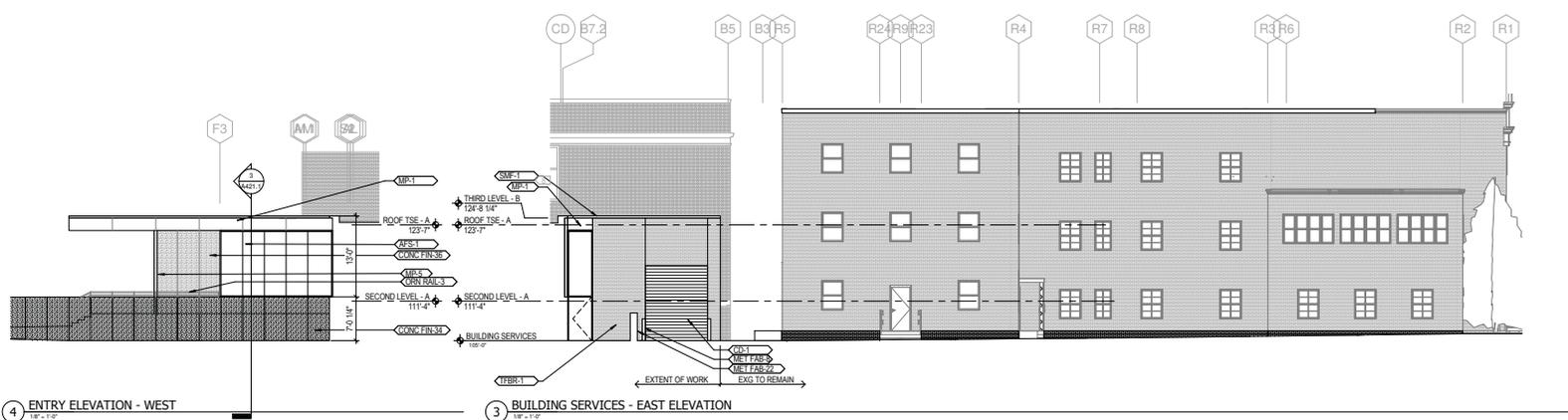
HGA NO: 3411-001-00

**EXTERIOR ELEVATIONS**

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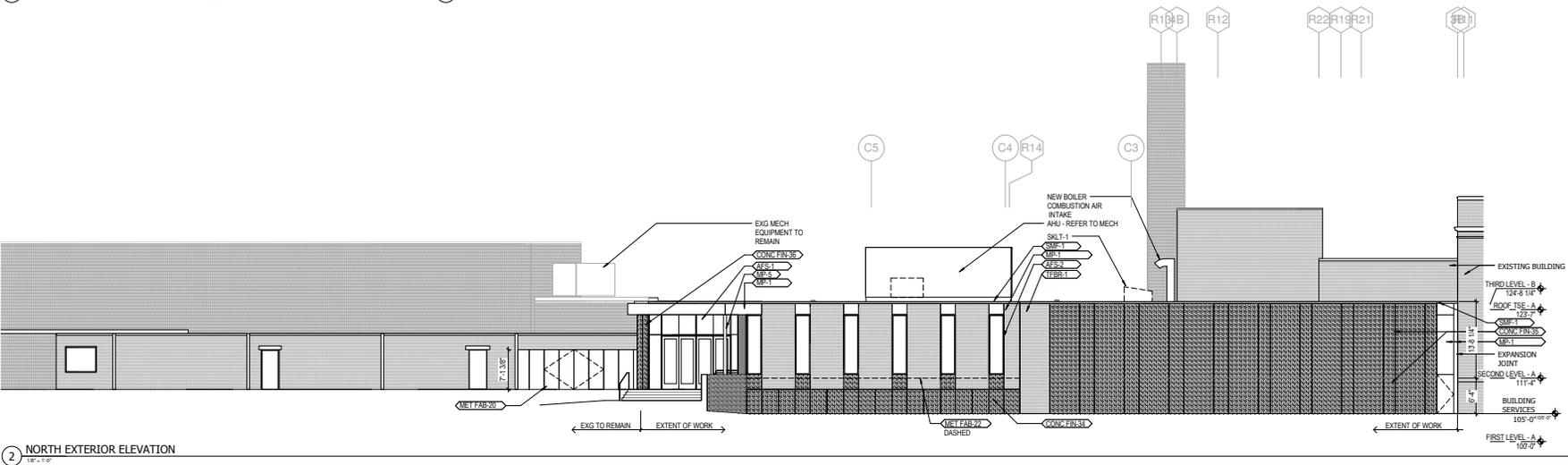
**A400**

EXTERIOR ELEVATION GENERAL NOTES	
#	DESCRIPTION
1	ELEVATIONS OF EXISTING FLOORS ARE BASED ON SURVEY INFORMATION AND/OR AS-BUILT DRAWINGS PROVIDED BY THE OWNER. THE SURVEY DATA MAY NOT BE COMPLETE AND THE ACTUAL EXISTING ELEVATIONS MAY VARY IN DIFFERENT PORTIONS OF THE EXISTING BUILDING. ALL INFORMATION MUST BE FIELD VERIFIED AND COORDINATED BETWEEN NEW AND EXISTING CONSTRUCTION TO PROVIDE MATCHING FLOOR ELEVATIONS WHERE REQUIRED.

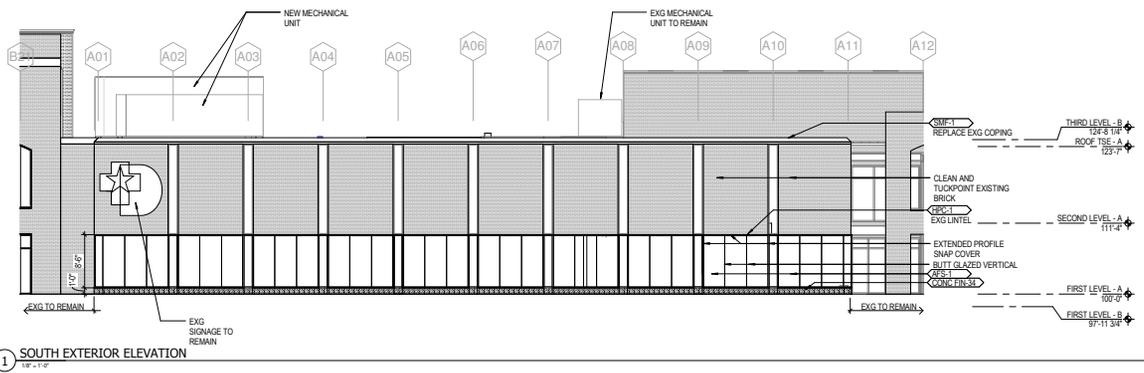


4 ENTRY ELEVATION - WEST  
1/8" = 1'-0"

3 BUILDING SERVICES - EAST ELEVATION  
1/8" = 1'-0"



2 NORTH EXTERIOR ELEVATION  
1/8" = 1'-0"



1 SOUTH EXTERIOR ELEVATION  
1/8" = 1'-0"

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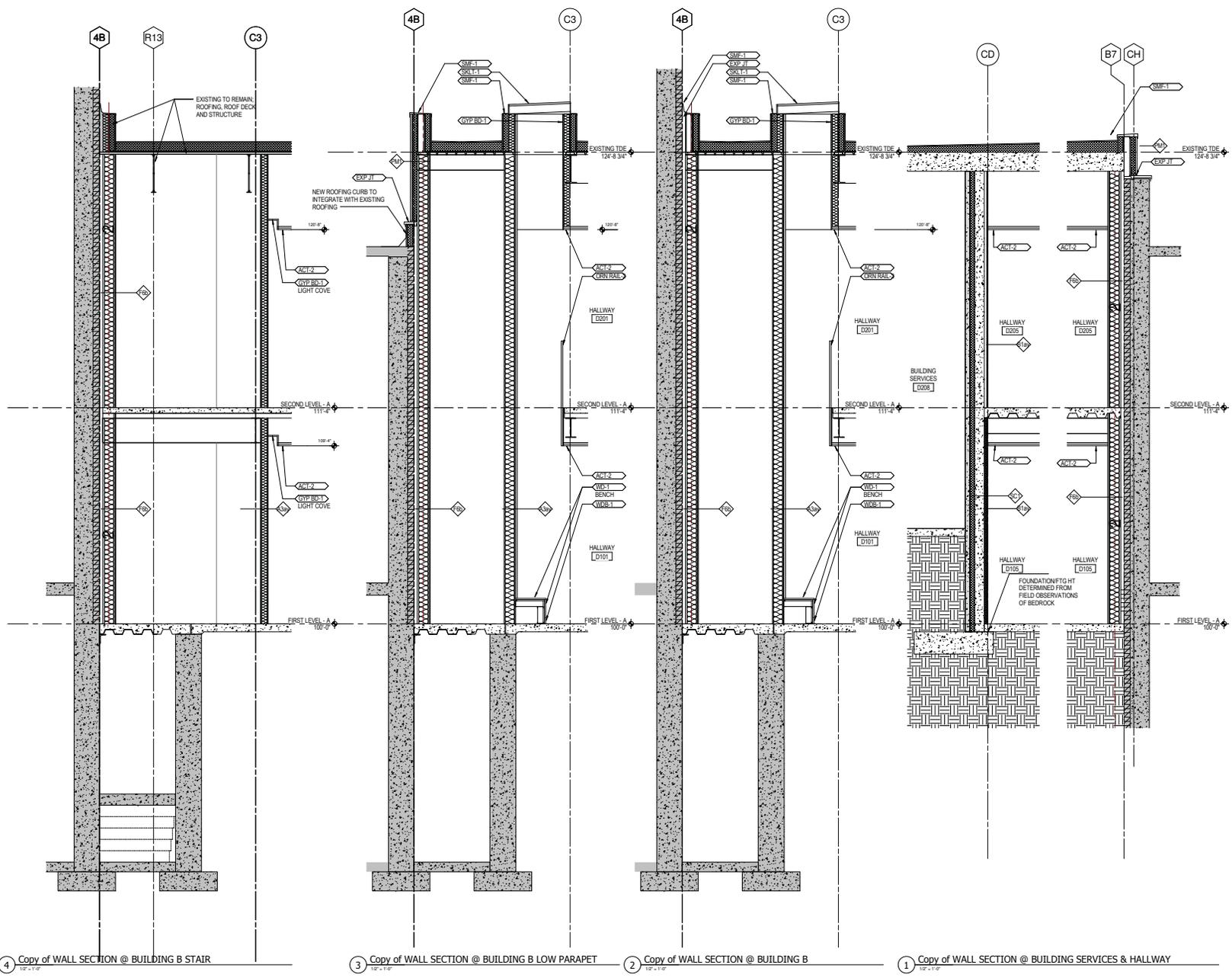
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**WALL  
 SECTIONS**

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**A420.1**

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4 Copy of WALL SECTION @ BUILDING B STAIR

3 Copy of WALL SECTION @ BUILDING B LOW PARAPET

2 Copy of WALL SECTION @ BUILDING B

1 Copy of WALL SECTION @ BUILDING SERVICES & HALLWAY

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**DELASALLE  
 HIGH SCHOOL**  
 ONE DELASALLE DR  
 MINNEAPOLIS, MN

**CENTER FOR  
 INNOVATIVE  
 LEARNING**



FOUNDATION HEIGHT DETERMINED FROM FIELD OBSERVATIONS OF BEDROCK.

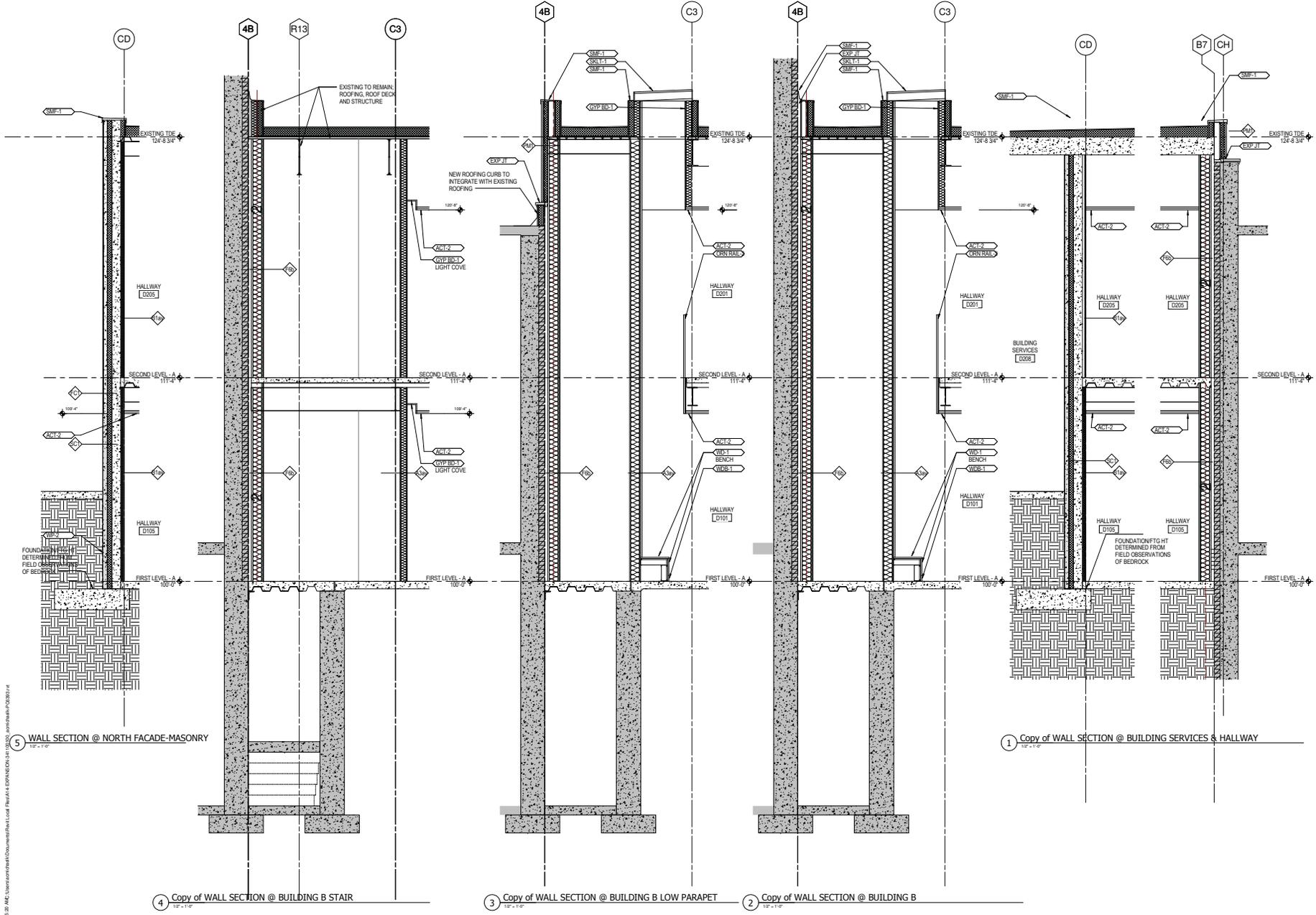
**NOT FOR  
 CONSTRUCTION**

HGA NO: 3411-001-00

**WALL  
 SECTIONS**

OCTOBER 27, 2014  
 HPC SUBMITTAL

**A425**



5 WALL SECTION @ NORTH FACADE-MASONRY  
 102'-11/2"

4 Copy of WALL SECTION @ BUILDING B STAIR  
 102'-11/2"

3 Copy of WALL SECTION @ BUILDING B LOW PARAPET  
 102'-11/2"

2 Copy of WALL SECTION @ BUILDING B  
 102'-11/2"

1 Copy of WALL SECTION @ BUILDING SERVICES & HALLWAY  
 102'-11/2"

10/28/2014 08:35 AM C:\Users\mhammond\Documents\Plan\A425\Delasalle\HPC\A425\_HPC\_Submittal\A425\_HPC\_Submittal.dwg



Rendering of South Facade



Rendering of Commons



Rendering of Technology Center



Rendering of North Entrance

DeLaSalle High School  
Notification of Neighborhood & Council Member



DeLaSalle  
One DeLaSalle Drive  
Minneapolis, MN 55401-1500  
612-676-7600  
FAX: 612-362-9641

October 24, 2014

Minneapolis City Council  
Council Member Jacob Frey, Ward 3  
350 S. 5th St., Room 307  
Minneapolis, MN 55415

Dear Mr. Frey,

I am writing to provide you an update on the renovation and addition to DeLaSalle High School which I spoke to you about earlier and which was introduced to the Committee of the Whole on September 18. Given the historic designation of the St. Anthony Falls Historic District, DeLaSalle will be applying for a Certificate of Appropriateness. This letter to you and the Council at large is part of the Certificate of Appropriateness application; that application will be submitted to the City of Minneapolis CPED offices.

I felt in any case that you would appreciate continuing to be informed and updated regarding this exciting project for DeLaSalle and our community. Further, I extend an invitation for you to join me in the coming months so I can provide an update on the project and keep the communication channels open. Some details of the project are:

Property address: 25 West Island Avenue, Minneapolis, MN 55401

Applicant's name: Michael Bjornberg, FAIA (Project Architect)  
Hammel Green and Abrahamson  
420 5th Street North, Suite 100, Minneapolis, MN 55401

Project details: Approximately 14,500ft<sup>2</sup> of building will be added at the center of campus allowing for an 8,900ft<sup>2</sup> renovation and prioritization of prominent space within the existing building for academics. The renovated space creates a new academic "hub" at the heart of the campus, accommodating enhanced learning opportunities with improved access to technology, and providing a much needed, flexible commons space. The addition satisfies co-curricular requirements and infrastructure needs. Site enhancements and reconfiguration of the building service area improves traffic flow as well as the safety and appearance of the North service court and entrance.

I would enjoy sharing more about what this project means to De and the City of Minneapolis. Call if you have any questions or would like to schedule time to talk (612.676.7606). Michael Bjornberg, our lead architect, can be reached at mbjornberg@hga.com, 612.758.4000 if you or others have technical questions.

Thank you again for the great work you do on behalf of our community and for your continued support of De. I look forward to continuing to work with the city and the community on the Center for Innovative Learning building project over the coming several months and to continue our best efforts to keep our neighbors informed.

Sincerely,

Barry C. Lieske, ASFC  
President  
DeLaSalle High School



DeLaSalle  
One DeLaSalle Drive  
Minneapolis, MN 55401-1500  
612-676-7600  
FAX: 612-362-9641

October 24, 2014

Nicollet Island-East Bank Neighborhood Association  
Mr. P. Victor Grambsch, President  
132 Bank St SE  
Minneapolis, MN 55414-1033

Dear Mr. Grambsch,

I am writing to provide you an update on the renovation and addition to DeLaSalle High School which was introduced to NIEBNA in July of 2014. Given the historic designation of the St. Anthony Falls Historic District, DeLaSalle will be applying for a Certificate of Appropriateness. This letter to you is part of the Certificate of Appropriateness application which will be submitted to the City of Minneapolis Community Planning and Economic Development offices on October 27th.

I felt in any case that you would appreciate continuing to be informed and updated regarding this exciting project. Further, I offer myself and/or other representatives of DeLaSalle to return to a NIEBNA meeting in the coming months to provide an update on the project and keep the communication channels open, if you wish to have us. Some details of the project are:

Property address: 25 West Island Avenue, Minneapolis, MN 55401

Applicant's name: Michael Bjornberg, FAIA (Project Architect)  
Hammel Green and Abrahamson  
420 5th Street North, Suite 100, Minneapolis, MN 55401

Project details: Approximately 14,500ft<sup>2</sup> of building will be added at the center of campus allowing for an 8,900ft<sup>2</sup> renovation and prioritization of prominent space within the existing building for academics. The renovated space creates a new academic "hub" at the heart of the campus, accommodating enhanced learning opportunities with improved access to technology, and providing a much needed, flexible commons space. The addition satisfies co-curricular requirements and infrastructure needs. Site enhancements and reconfiguration of the building service area improves traffic flow as well as the safety and appearance of the North service court and entrance.

If you have any questions, please do not hesitate to direct them either to Michael Bjornberg at mbjornberg@hga.com, 612.758.4000, or you can direct any questions of DeLaSalle to Nicholas Grue at nicholas.grue@delasalle.com, 612.676.7603.

Thank you again for the opportunity to present at the July NIEBNA meeting and for your support. I look forward to continuing to work with the city and the community on the Center for Innovative Learning building project over the coming several months and to continue our best efforts to keep our neighbors informed.

Sincerely,

Barry C. Lieske, ASFC  
President  
DeLaSalle High School