



CPED STAFF REPORT
 Prepared for the Board of Adjustment

BOA Agenda Item #6
 December 11, 2014
 BZZ-6924

LAND USE APPLICATION SUMMARY

Property Location: 1100 & 1118 University Avenue Northeast
Prepared By: [Andrew Liska](#), City Planner, 612.673.2264
Applicant: McDonald’s USA, LLC
Project Contact: Ray Croaston Jr.
Required Applications:

Appeals of Zoning Administrator	<ul style="list-style-type: none"> • Appeal the determination of the Zoning Administrator regarding the height of the two menu board signs at 1100 & 1118 University Avenue Northeast. • Appeal the determination of the Zoning Administrator regarding the height of the two “Order Here” signs at 1100 & 1118 University Avenue Northeast. • Appeal the determination of the Zoning Administrator regarding the height of the “Drive Thru” gateway sign at 1100 & 1118 University Avenue Northeast.
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SITE DATA

Existing Zoning	C2 Neighborhood Corridor Commercial District
Lot Area	42,314 square feet
Ward(s)	3
Neighborhood(s)	Sheridan
Designated Future Land Use	Community Corridor
Land Use Features	NA
Small Area Plan(s)	NA

APPEAL OF THE ZONING ADMINISTRATOR

REASON FOR APPEAL. The appellant, Ray Croaston Jr. on behalf of McDonald’s USA, LLC, has appealed the determination of the Zoning Administrator regarding the height of: 1. Two menu board signs; 2. Two “Order Here” signs; and 3. The “Drive Thru” sign located at 1100 & 1118 University Avenue Northeast. The appellant disagrees with the determination of the Zoning Administrator that the signs are measured from natural grade as opposed to a finished grade five (5) feet from the building.

Due to the measurement from natural grade, the appellant disagrees with the decision of the Zoning Administrator to stop work on site due to sign heights being non-compliant.

Date Application Deemed Complete	November 12, 2014	Date Extension Letter Sent	NA
End of 60-Day Decision Period	January 11, 2015	End of 120-Day Decision Period	NA

BACKGROUND. The Board of Adjustment heard a public hearing request on February 20, 2014, for four sign variances at 1100 & 1118 University Avenue Northeast. The Board granted three of the four variances. Below are the actions for Variance C and Variance D as they relate to the violations that resulted in the stop work order being issued (the complete actions of all variances of this application is included in the attachments):

C. Variance: Tracey Kinney of Landform, on behalf of McDonald's USA, LLC, has applied for a variance to increase the maximum height of a menu board from 6 feet to approximately 6 feet 9 inches at the property located 1100 and 1118 University Ave NE in the C2 Neighborhood Corridor Commercial District.

Action: Notwithstanding staff recommendation, the Board of Adjustment **denied** the variance to increase the maximum height of a menu board from 6 feet to approximately 6 feet 9 inches for the properties located at 1100 and 1118 University Ave NE in the C2 Neighborhood Corridor Commercial District, based on the following finding:

Finding #1: The increased height of the menu board to maintain consistency with the existing signage is not a unique circumstance of the property that creates practical difficulties in complying with the ordinance.

Absent: A. Thompson

Aye: S. Cahill, M. Ditzler, J. Finlayson, E. Johannessen, D. Ogiba, D. Sandberg, J. Saufley

Motion passed

D. Variance: Tracey Kinney of Landform, on behalf of McDonald's USA, LLC, has applied for a variance to increase the maximum height of a freestanding sign from 8 feet to approximately 10 feet 9 inches at the property located 1100 and 1118 University Ave NE in the C2 Neighborhood Corridor Commercial District.

Action: The Board of Adjustment adopted staff findings and **approved** the variance to increase the maximum height of a freestanding signs from 8 feet to approximately 10 feet 3 inches and 10 feet 9 inches, for the properties located at 1100 and 1118 University Ave NE in the C2 Neighborhood Corridor Commercial District, subject to the following condition of approval:

- I. Approval of the master sign plan by the Department of Community Planning and Economic Development.

Absent: A. Thompson

Aye: S. Cahill, M. Ditzler, J. Finlayson, E. Johannessen, D. Ogiba, D. Sandberg, J. Saufley

Motion passed

SUMMARY OF ACTIONS. Variance C to increase the height of the menu boards was denied thus, the maximum height is 6' per Chapter 543.370. Variance D to increase height of freestanding signs was approved thus allowing the "Order Here" signs to increase from 8' to 10' 3" and the "Drive Thru" sign to increase from 8' to 10'9".

INSPECTION. Inspections by a zoning enforcement official on October 24th & 27th, 2014, revealed violations of the overall height of multiple signs. Below is a table that illustrates the signage, the permitted height, and the measured height based on natural grade:

ON-PREMESIS SIGNS

SIGN	PERMITTED	MEASURED
MENU BOARD I	72"	84.5"
MENU BOARD II	72"	85"
"ORDER HERE" (COD) I	10' 3"	10'8"

“ORDER HERE” (COD) II	10’3”	10’8”
DRIVE THRU (GATEWAY)	10’9”	11’7”

GRADE DETERMINITION. While some of the signage is slightly different in size than as approved; the nature of this appeal is regarding where the signage is being measured from. Chapter 520.160 defines *Grade, Natural* as, “*The grade of a site before it is modified by moving earth, adding or removing fill, or installing a berm, retaining wall or other earthwork feature. Natural grade is determined by reference to a survey, or other information as determined by the Zoning Administrator.*” The Zoning Administrator determined natural grade on this site to be the elevation of the drive aisle and parking lot before the most recent construction and addition of new drive thru aisles, curbing, and concrete footings.

Chapter 546.80 Computation of Sign Height states, “*Sign height shall be calculated as the vertical distance from natural grade measured at a point either at curb level or ten (10) feet away from the middle of the sign.*” The Zoning Administrator determined the referenced curb level is that of the curb at the public right-of-way and not interior curbing associated with the drive thru aisles. Using Chapter 546.80 to determine grade, a point ten (10) feet in from the exterior curb of the site is considered natural grade. Natural grade is the elevation of the former driveway and parking lot. Much of this remain unchanged and thus it was determined to measure the signs from the drive thru aisles and not the new curbing and concrete footings recently installed. All of the sign heights are measured from the drive aisles as this is the elevation that the Zoning Administrator determined to be natural grade and all are found to be in violation of the permitted sign heights.

Using natural grade in regulating sign height is critical. Relying on grade alone to measure sign height incentivizes the adding of fill and increasing grade to achieve higher signage. Natural grade is the necessary check that counters artificially adding fill to increase elevation and thus, signage that does not match the character of the area.

The appellant argues that the sign heights should be measured from Chapter 520.160’s definition of *Grade*, “*the lowest point of elevation of the surface of the ground, paving, or sidewalk within the area between the building and the property line or, when the property line is more than five feet from the building, between the building and a line five (5) feet from the building.*” Based on the measurement assuming grade at the point five (5) feet from the building, the signage may be close to the permitted height.

Nonetheless, staff finds that the Zoning Administrator has correctly determined height and that the signs exceed the maximum allowed height.

STAFF RECOMMENDATION

Recommendation of the Department of Community Planning and Economic Development for the Variance:

The Department of Community Planning and Economic Development recommends that the Board of Adjustment **deny** of the application to appeal the decision of the Zoning Administrator regarding the height of the two menu board signs at 1100 & 1118 University Avenue Northeast.

Recommendation of the Department of Community Planning and Economic Development for the Variance:

The Department of Community Planning and Economic Development recommends that the Board of Adjustment **deny** of the application to appeal the decision of the Zoning Administrator regarding the height of the “Order Here” sign at 1100 & 1118 University Avenue Northeast.

Recommendation of the Department of Community Planning and Economic Development for the Variance:

The Department of Community Planning and Economic Development recommends that the Board of Adjustment **deny** of the application to appeal the decision of the Zoning Administrator regarding the height of the “Drive Thru” gateway sign at 1100 & 1118 University Avenue Northeast.

ATTACHMENTS

1. Zoning map
2. Statement of Appeal from Applicant with Approved Building Plans
3. Diagram from Appellant demonstrating on-site elevations
4. Actions from BZZ-6420 (February 20, 2014)
5. Zoning Inspection Photos (October 24 and 27 and November 21, 2014)
6. Correspondence

McDonalds USA, LLC



Minneapolis, MN

**APPLICATION FOR
ZONING ADMINISTRATOR APPEAL**

November 12, 2014

L A N D F O R M
From Site to Finish

INTRODUCTION

On behalf of McDonald's USA LLC ("McDonald's"), Landform respectfully submits this application for an appeal of the Zoning Administrator's decision to stop work due to the building inspector's determination that sign heights were not in compliance with the city approvals for the McDonald's Restaurant at 1100 University Avenue NE.

HISTORY

On February 20, 2014 the Zoning Board of Adjustment concurred with the recommendation of CPED staff to approve three of four requested variances, subject to approval of the master sign plan by the Department of Community Planning and Economic Development.

The variance approval summary is as follows:

1. The Board of Adjustment adopted staff findings and **approved** the variance to increase the number of freestanding signs from one to four for the properties located at 1100 and 1118 University Ave NE in the C2 Neighborhood Corridor Commercial District.
2. The Board of Adjustment adopted staff findings and **approved** the variance to increase the maximum area of freestanding signs from 80 square feet to 330 square feet for the properties located at 1100 and 1118 University Ave NE in the C2 Neighborhood Corridor Commercial District.
3. Notwithstanding staff recommendation, the Board of Adjustment **denied** the variance to increase the maximum height of a menu board from 6 feet to **approximately** 6 feet 9 inches for the properties located at 1100 and 1118 University Ave NE in the C2 Neighborhood Corridor Commercial District, based on the following finding:

Finding #1: The increased height of the menu board to maintain consistency with the existing signage is not a unique circumstance of the property that creates practical difficulties in complying with the ordinance.
4. The Board of Adjustment adopted staff findings and **approved** the variance to increase the maximum height of a freestanding signs from 8 feet to **approximately** 10 feet 3 inches and 10 feet 9 inches, for the properties located at 1100 and 1118 University Ave NE in the C2 Neighborhood Corridor Commercial District.

The Department of Community Planning and Economic Development approved the Master Sign Plan as submitted with Building Permit documents on March 20, 2014.

In October 2014 McDonalds USA LLC received a permit to install the signs per the approved master sign plan and approved variances.

In October 2014, signs were installed per the approved plans.

On October 27, 2014, Zoning Enforcement sent a stop work order to McDonalds for noncompliant heights on two menu boards, the drive-through gateway sign, and the customer order display canopies. According to the letter, all of the signs violated the height requirements of the approved variance.

In an email dated November 5, 2014, Stuart Robertson revised findings from the October 27, 2014 stop work order. The revised findings concluded that the height of the menu boards were a minimal violation and required no further action, but that the canopy order signs and the drive-thru gateway signs exceed height requirements and required McDonalds to lower the sign, submit an appeal or submit a variance application.

APPEAL OF ZONING REQUEST

Section 525.170 of the Minneapolis City Code allows applicants to appeal decisions of the zoning administrator to the Board of Adjustment. McDonalds USA LLC believes that the installed signs meet the standards of the Minneapolis City Code, the approved master sign plan and the approved variances.

The applicant has presented all plans in detail to the Planning Commission, City Council, Board of Zoning Adjustment and City Planning Staff. The heights of the installed signs are exactly the same as the plans that were submitted and approved. The signs have been constructed according to the dimensions and drawings that were submitted and approved. When signs are installed, there can be slight variations of the actual conditions of the site. In our case, the variations have little to do with the actual heights of the signs, rather the slight variations that come with grading, leveling the sign in concrete, and the manner in which the foundation was poured. The variance request specified "approximate" measurements to account for the slight variations that occur as a result of on-site conditions. The "approximate" measurement language was approved by Planning Commission and the Board of Zoning Appeals.

How the height of the sign is calculated is not clearly defined by the code. First, sign copy area of the customer order display is being interpreted inconsistently and second, the city is measuring sign height from a variety of places.

The Zoning Code provides the following definitions for sign height and grade:

Sign height shall be calculated as the vertical distance from the natural grade measured at a point either at the curb level or ten (10) feet away from the front center of the sign, whichever is closer, to the upper-most point used in measuring the area of a sign. (Sec. 543.80)

Grade, natural. The grade of a site before it is modified by moving earth, adding or removing fill, or installing a berm, retaining wall or other earthwork feature. Natural grade is determined by reference to a survey, or other information as determined by the zoning administrator. (Sec. 520.160)

Grade. The lowest point of elevation of the surface of the ground, paving or sidewalk within the area between the building and the property line or, when the property line is more than five (5) feet from the building, between the building and a line five (5) feet from the building. (Sec. 520.160)

According to the Zoning Code, the sign copy area refers to the enclosed frame or cabinet. In conversations with City Planner Shanna Sether, it was agreed that the awning over the "Order Here" sign was not part of the cabinet of the sign, and is in fact, an architectural element. Based on the recommendation of City Planning staff, the sign height was based on a measurement to the top of the "Order Here" sign, not on the top of the awning. Based on this interpretation, the signs meet the height as approved in the variance. Since the October 27, 2014 letter, the applicant has removed the "Order Here" sign, rendering the awnings and ordering kiosk as architectural elements of the site not signs, however, we request as a part of this appeal that the text be allowed to be replaced as shown on the approved master sign plan.

There continues to be some confusion about the location from which the sign height is measured. In the original notification, Zoning Enforcement verbally stated that sign heights were measured from the driveway surface. On the subsequent email dated November 5th, staff did not provide a point from which the sign heights were measured and did not provide the height of the sign. According to the City Code definitions and staff interpretation of grade, there is nearly three feet of grade variation from which the sign height can be measured.

The approved variances specify that the signs are to be measured from grade. According to the City Code's definition of grade, a line five feet from the building should be drawn and the height should be measured from this point.

A summary of the sign heights as built on site is as follows:

Sign type	Variance Approval	Applicant measurement**	Measured from
Primary COD*	10' 3"	10' 5"	5 foot from the building at lowest point (elevation 840).
Secondary COD*	10' 3"	10' 5"	5 foot from the building at lowest point (elevation 840).
Gateway	10' 7"	10' 4"	5 foot from the building at lowest point (elevation 840).

*Without text this changes from a sign to an architectural element.

**Measured to top of sign copy area as defined by the code and confirmed by City Planning Staff.

We believe that the drive thru signs installed at 1100 University Avenue NE comply with the standards of the zoning code, the approved variances, and the building code.

Signs were installed as shown on the Master Sign Plan, approved PDR documents, and sign permits that were approved and issued by City Planning Staff.

The base point of measurement should be five feet from the building per the definition of grade as supplied by staff.

Any slight variations in height are a result of typical industry variations accounting for proper drainage, leveling of the sign, and slight field adjustments, and were accounted for in the "approximate" language of the variance.

SUMMARY

We respectfully request that signs be approved as currently installed at 1100 University Avenue NE and that the "Order Here" language be allowed to re-installed on the Customer Order Displays.

CONTACT INFORMATION

This document is respectfully submitted by:

Mary Matze

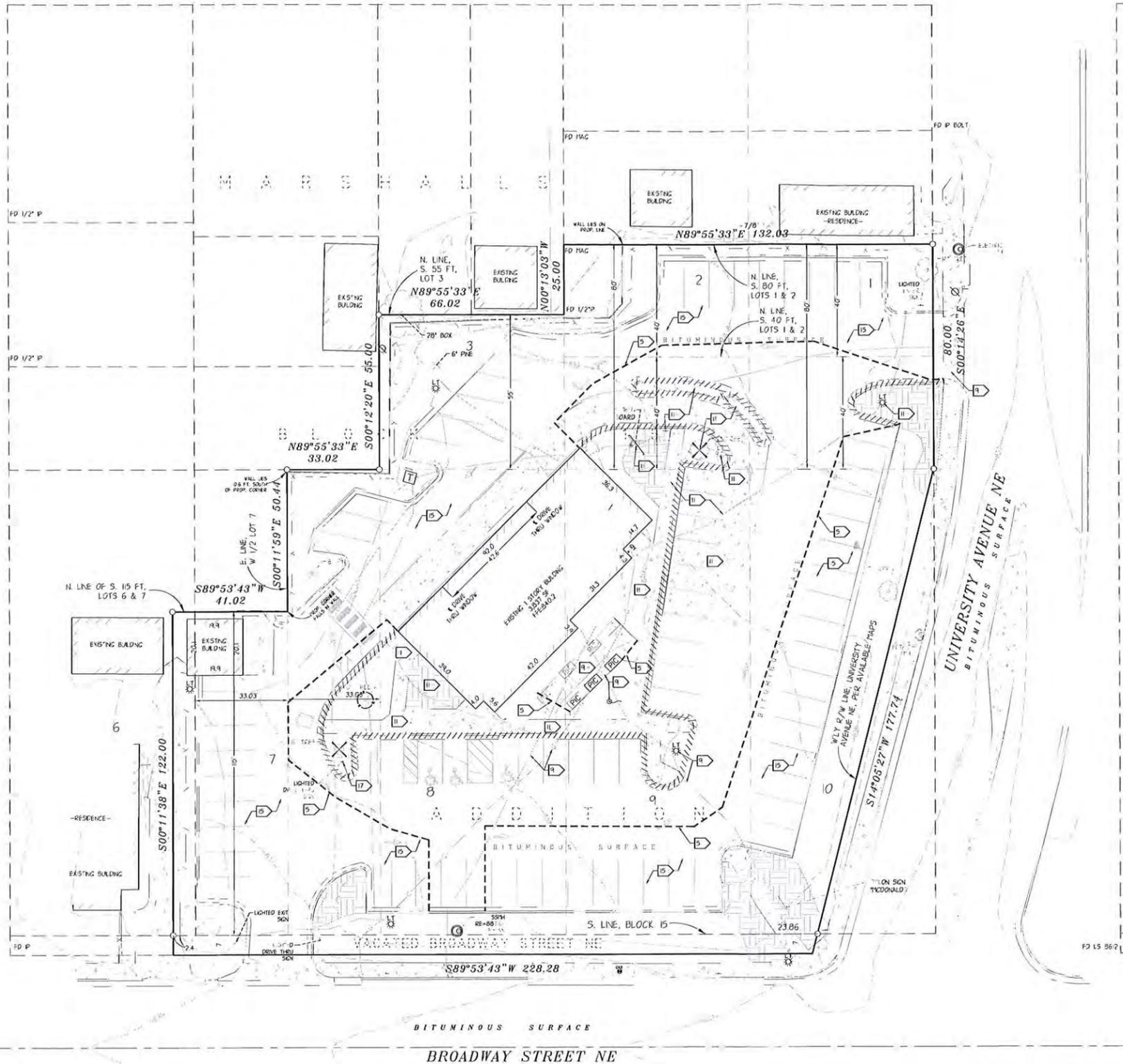
Landform

105 South Fifth Street, Suite 513

Minneapolis, MN 55330

Any additional questions regarding this application can be directed to Darren Lazan at dlazan@landform.net or 612.252.0250.

3RD STREET NE



EXISTING CONDITIONS

BACKGROUND INFORMATION SHOWN IS FROM SURVEY BY TERA, PLYMOUTH, MINNESOTA ON AUGUST 18, 2010, EXPRESSLY FOR THIS PROJECT. TERA'S MINNESOTA RECORD DRAWINGS AND UTILITY SERVICE PROVIDERS. LANDFORM OFFERS NO WARRANTY, EXPRESSED OR WRITTEN, FOR INFORMATION PROVIDED BY OTHERS. EXISTING PROJECT CONDITIONS SHALL BE VERIFIED PRIOR TO BEGINNING CONSTRUCTION. ERRORS, OMISSIONS, OR CONDITIONS DISCOVERED SHALL BE REPORTED TO THE ENGINEER.

DEMOLITION AND CLEARING NOTES

1. OBTAIN PERMITS FOR DEMOLITION, CLEARING, AND DISPOSAL PRIOR TO BEGINNING.
2. CONTACT UTILITY SERVICE PROVIDERS FOR FIELD LOCATION OF SERVICES 72 HOURS PRIOR TO BEGINNING DEMOLITION AND CLEARING.
3. BUILDING DEMOLITION VERIFY WITH OWNER THAT BUILDING HAS BEEN CLEARED OF REGULATED MATERIALS REQUIRING SPECIAL HANDLING OR DISPOSAL AND EXAMINED BY CORRESPONDENT PERSON REMOVE STRUCTURE, COLUMNS, CANOPIES, AND ANY ASSOCIATED CONSTRUCTION IN ITS ENTIRETY. REFER TO ARCHITECTURE.
4. DIMENSIONS SHOWN FOR REMOVAL ARE APPROXIMATE. COORDINATE WITH NEW CONSTRUCTION TO ENSURE APPROPRIATE REMOVAL OF EXISTING FACILITIES.
5. SAWCUT EXISTING PAVEMENT. REMOVE CONCRETE WALKS AND CURBS TO THE NEAREST EXISTING JOINT BEYOND CONSTRUCTION LIMITS.
6. SEE SHEET C31 FOR EROSION PREVENTION AND SEDIMENT CONTROL MEASURES THAT MUST BE IN PLACE PRIOR TO DISTURBANCES TO SITE.
7. COMPLETE DEMOLITION WITH MINIMAL DISRUPTION OF TRAFFIC. COORDINATE LANE CLOSURES WITH THE REGULATORY AUTHORITY AND PROVIDE ADVANCE NOTIFICATION TO AFFECTED EMERGENCY RESPONSE PROVIDERS.
8. PROVIDE BARRICADES, LIGHTS, SIGNS, TRAFFIC CONTROL, AND OTHER MEASURES NECESSARY FOR PROTECTION AND SAFETY OF THE PUBLIC AND MAINTAIN THROUGHOUT CONSTRUCTION. THE CITY REQUIRES TRAFFIC CONTROL MEASURES TO BE IN PLACE DURING UTILITY INSTALLATION, EXISTING BUILDING DEMOLITION, DRIVEWAY INSTALLATION, SIDEWALK INSTALLATION AND FINAL RESTORATION WITHIN THE RIGHT-OF-WAY.
9. PROTECT STRUCTURES, UTILITIES, TREES, PLANT MATERIAL, SOIL, AND ADJACENT PROPERTY FROM DAMAGE DURING CONSTRUCTION UNLESS NOTED FOR REMOVAL. DAMAGE SHALL BE REPAIRED TO EQUAL OR BETTER CONDITION AT NO ADDITIONAL COST.
10. REMOVE TREES NOTED, INCLUDING ROOT STRUCTURES, FROM THE SITE. COORDINATE WITH OWNER TO MARK TREES TO BE SAVED OR TRANSPLANTED PRIOR TO CLEARING.
11. REMOVE EXISTING SITE FEATURES INCLUDING, BUT NOT LIMITED TO, UNDERGROUND UTILITIES, PAVING, CURBS, WALKWAYS, FENCING, RETAINING WALLS, SCREEN WALLS, APRONS, LIGHTING, RELATED FOUNDATIONS, SOURCE, BOLLARDS, LANDSCAPING, AND STAIRWAYS WITHIN THE CONSTRUCTION LIMITS UNLESS NOTED OTHERWISE.
12. COORDINATE REMOVAL, RELOCATION, TERMINATION AND RE-USE OF EXISTING PRIVATE UTILITY SERVICES AND APPLIANCES WITH THE UTILITY COMPANIES. RESTORE ELECTRIC HANDHOLES, PULLBOXES, POWERPOLES, GUYWires, AND STRUCTURES DISTURBED BY CONSTRUCTION IN ACCORDANCE WITH UTILITY OWNER REQUIREMENTS.
13. EXISTING PIPING AND CONDUITS MAY BE ABANDONED IN-PLACE IF FILLED WITH SAND AND IF NOT IN LOCATION OF PROPOSED BUILDING OR IN CONFLICT WITH PROPOSED UTILITIES OR STRUCTURES. TERMINATE EXISTING SERVICES AT THE SUPPLY SIDE IN CONFORMANCE WITH PROVIDER'S STANDARDS.
14. HAUL DEMOLITION DEBRIS OFF-SITE TO A FACILITY APPROVED BY REGULATORY AUTHORITIES FOR THE HANDLING OF DEMOLITION DEBRIS.
15. MILL AND OVERLAY ALL REMAINING BITUMINOUS PAVEMENT OUTSIDE THE SAWCUT LINE. REFER TO SHEET C31 FOR SPECIFICATIONS.
16. REMOVE AND SALVAGE LIGHT POLE. REFER TO SHEET C41 FOR NEW LOCATION.
17. REMOVE AND SALVAGE SIGN. REFER TO SHEET C21 FOR NEW LOCATION.

DEMOLITION LEGEND



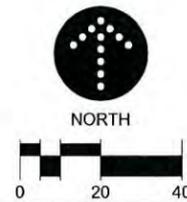
REV	DATE	REVISION HISTORY
1	11-18-2015	REVISED PERMIT ISSUE
2	11-18-2015	NOZZED PERMIT SUBMITTAL
3	11-18-2015	SOIL VARIANCE SUBMITTAL
4	11-18-2015	FOR #100000 (DEMO) APPROVED SITE PLAN (A102)

CERTIFICATION
 I hereby certify that the engineering document was prepared by me or under my direct personal supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
 Christopher M. Call
 License number: 46724
 Date: 07 FEB 2016

McDONALD'S USA, LLC.
 THESE DRAWINGS AND SPECIFICATIONS ARE THE CONFIDENTIAL AND PROPRIETARY PROPERTY OF McDONALD'S USA, LLC. NO PART OF THESE DRAWINGS OR SPECIFICATIONS SHALL BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF McDONALD'S USA, LLC. THESE DRAWINGS FOR THE PROJECT ARE NOT TO BE USED FOR ANY OTHER PROJECT OR AT A LATER DATE WITHOUT THE WRITTEN PERMISSION OF McDONALD'S USA, LLC. REPRODUCTION OF THE CONTRACT DOCUMENTS FOR REUSE ON ANOTHER PROJECT IS NOT AUTHORIZED.
 OFFICE ADDRESS: 650 W. 52ND STREET #400 BLOOMINGTON, MINNESOTA 55431-8888 (952)-884-4395

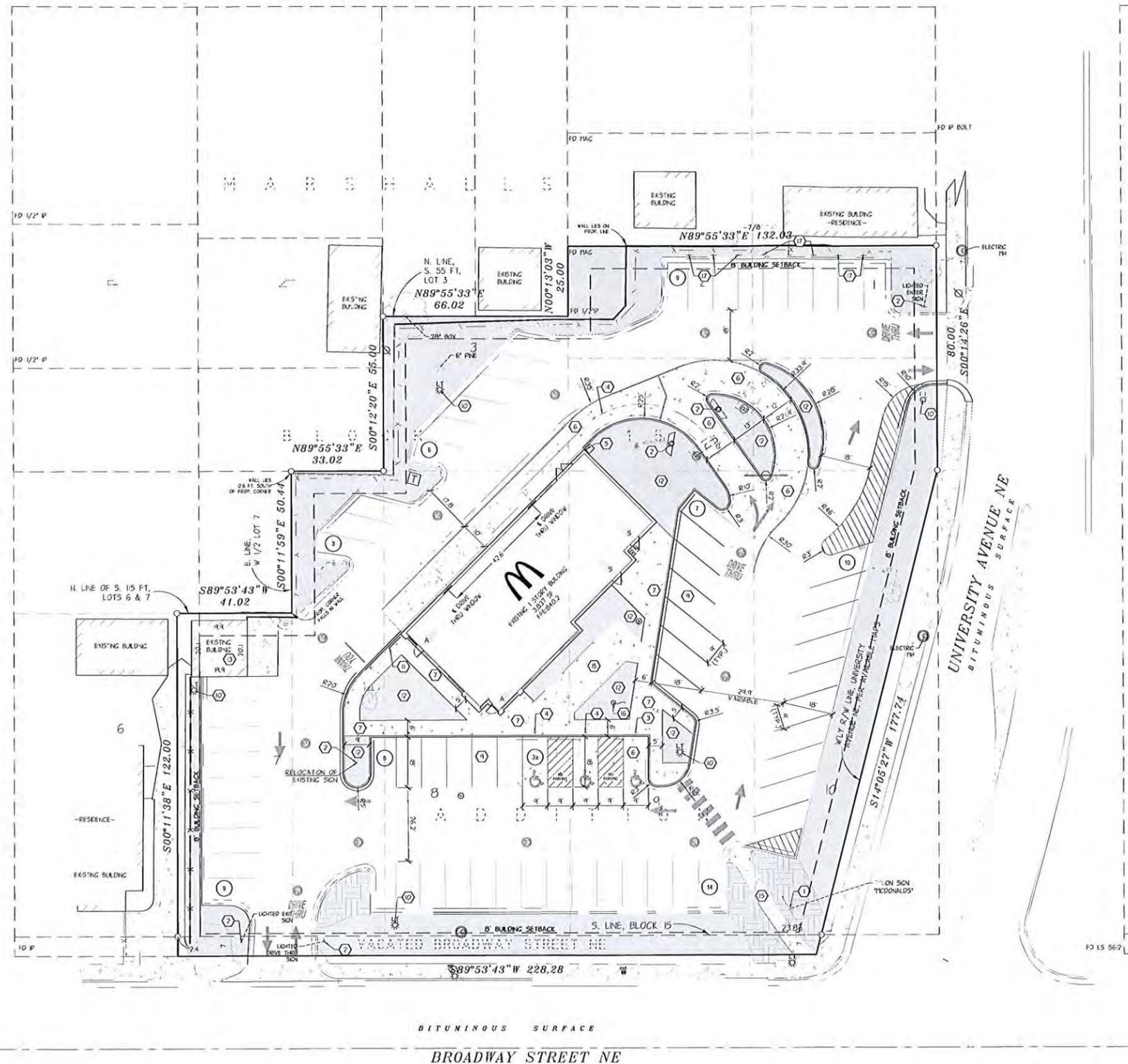
STATE	MN	DRAWN BY	BKC
COUNTY	HENNEPIN	PROTO. ISSUED	
STREET ADDRESS	1100 UNIVERSITY AVENUE NE	REVIEWED BY	CNC
SHEET NAME	EXISTING CONDITIONS & DEMOLITION	DATE REVIEWED	11-12-2015
NATIONAL NUMBER		DATE ISSUED	11-18-2015

SHEET NO. **C1.1**
 FILE NAME: C101MCD247.DWG
 PROJECT NO. MCD13247



LANDFORM
 From Site to Finish
 105 South Fifth Avenue
 Suite 513
 Minneapolis, MN 55401
 Tel: 612-252-9070
 Fax: 612-252-9077
 Web: landform.net

3RD STREET NE



SITE CONSTRUCTION NOTES

- ① EXISTING MCDONALD'S Pylon SIGN.
- ② DRIVE-THRU SIGNAGE. SEE MCDONALD'S AREA CONSTRUCTION MANAGER.
- ③ STATE AND ADA APPROVED ACCESSIBLE SIGN AND BOLLARDS PER DETAIL C7.1/5.
- ④ STATE AND ADA APPROVED ACCESSIBLE SIGN AND BOLLARDS WITH "VAN ACCESSIBLE" SIGN PER DETAIL C7.1/5.
- ⑤ 6' x 36" BOLLARD. REFER TO DETAIL C7.1/2.
- ⑥ CONCRETE DRIVE APRONS AND SLABS. REFER TO SHEET C3.1 FOR SPECIFICATIONS.
- ⑦ CONCRETE SIDEWALK. MEET AND MATCH EXISTING SIDEWALK. REFER TO SHEET C3.1.
- ⑧ CONCRETE PATIO.
- ⑨ BITUMINOUS PAVEMENT. REFER TO SHEET C3.1 FOR SPECIFICATIONS.
- ⑩ EXISTING PARKING LOT LIGHT.
- ⑪ 6' x 42" RAILING. REFER TO ARCHITECTURAL.
- ⑫ PLANTING AREA. SEE MCDONALD'S AREA CONSTRUCTION MANAGER.
- ⑬ EXISTING TRASH ENCLOSURE.
- ⑭ STACKING DISTANCE IS 85
- ⑮ EXISTING CONNECTION TO PUBLIC SIDEWALK.
- ⑯ FLAG POLE.
- ⑰ "EMPLOYEE PARKING ONLY" SIGN REFER TO "MCD R7-1 FOR SIGN TYPE.

SITE PLAN NOTES

1. OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION WITHIN OR USE OF, PUBLIC RIGHT-OF-WAY.
2. THE DIGITAL FILE, WHICH CAN BE OBTAINED FROM THE ENGINEER, SHALL BE USED FOR STAKING. DISCREPANCIES BETWEEN THE DRAWINGS AND THE DIGITAL FILE SHALL BE REPORTED TO THE ENGINEER. THE BUILDING FOOTPRINT, AS SHOWN ON THESE DRAWINGS, AND THE DIGITAL FILE, SHALL BE COMPARED TO THE STRUCTURAL DRAWINGS PRIOR TO STAKING.
3. DIMENSIONS SHOWN ARE TO FACE OF CURB AND EXTERIOR FACE OF BUILDING UNLESS NOTED OTHERWISE.

□ GREEN SPACE

ZONING AND SETBACK SUMMARY

THE PROPERTY IS ZONED C2-NEIGHBORHOOD CORRIDOR COMMERCIAL DISTRICT
 BUILDING SETBACK INFORMATION IS AS FOLLOWS:
 FRONT YARD = 0 FT.
 REAR = 0 FT.
 SIDE = 0 FT.

PARKING SUMMARY

REQUIRED PARKING:
 ONE STALL PER 500 SF OF GFA UP TO 2,000 SF
 ONE STALL PER 300 SF OF GFA AFTER 2,000 SF
 4,039 SF TOTAL
 2,000 SF / 500 = 4 STALLS
 2,039 SF / 300 = 7 STALLS
 TOTAL PARKING STALLS REQUIRED 11 EA.

PROVIDED PARKING:
 STANDARD STALLS (9x8) 64 EA.
 ACCESSIBLE STALLS (9x8) 3 EA.
 TOTAL PARKING STALLS PROVIDED 67 EA.

AREA SUMMARY

EXISTING:
 PERVIOUS 3,675 SF. 24.7%
 IMPERVIOUS 4,586 SF. 75.3%
 TOTAL (1.27 AC) 55,261 SF. 100.0%

PROPOSED:
 PERVIOUS 4,248 SF. 25.8%
 IMPERVIOUS 4,012 SF. 74.2%
 TOTAL (1.27 AC) 55,261 SF. 100.0%

REVISION HISTORY

REV	DATE	DESCRIPTION
1	11-08-2013	REVISED PLANTING
2	11-25-2014	TOPPED OFF SIGN VARIANCE SUBMITTAL
3	12-12-2014	TOPPED OFF SIGN VARIANCE SUBMITTAL
4	12-12-2014	TOPPED OFF SIGN VARIANCE SUBMITTAL

CERTIFICATION

I hereby certify that the engineering documents were prepared by me or under my direct personal supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Christopher M. Call
 CHRISTOPHER M. CALL

License number: 46274

Date: 07 FEB. 2014

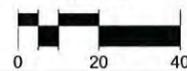
McDONALD'S USA, LLC.
 THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE CONTRACTOR AND PROPERTY OF McDONALD'S USA, LLC. THESE DRAWINGS AND SPECIFICATIONS ARE NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF McDONALD'S USA, LLC. THESE DRAWINGS AND SPECIFICATIONS ARE NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF McDONALD'S USA, LLC. THESE DRAWINGS AND SPECIFICATIONS ARE NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF McDONALD'S USA, LLC.

McDONALD'S USA, LLC.
 OFFICE ADDRESS
 1650 W. 63RD STREET #1000 BLOOMINGTON, MINNESOTA 55431-0668 (952) 584-4395

McDONALD'S USA, LLC.
 DRAWN BY: BKC
 PROTO. ISSUED: 11-18-2013
 REVIEWED BY: CNC
 DATE REVIEWED: 11-18-2013
 DATE ISSUED: 11-18-2013

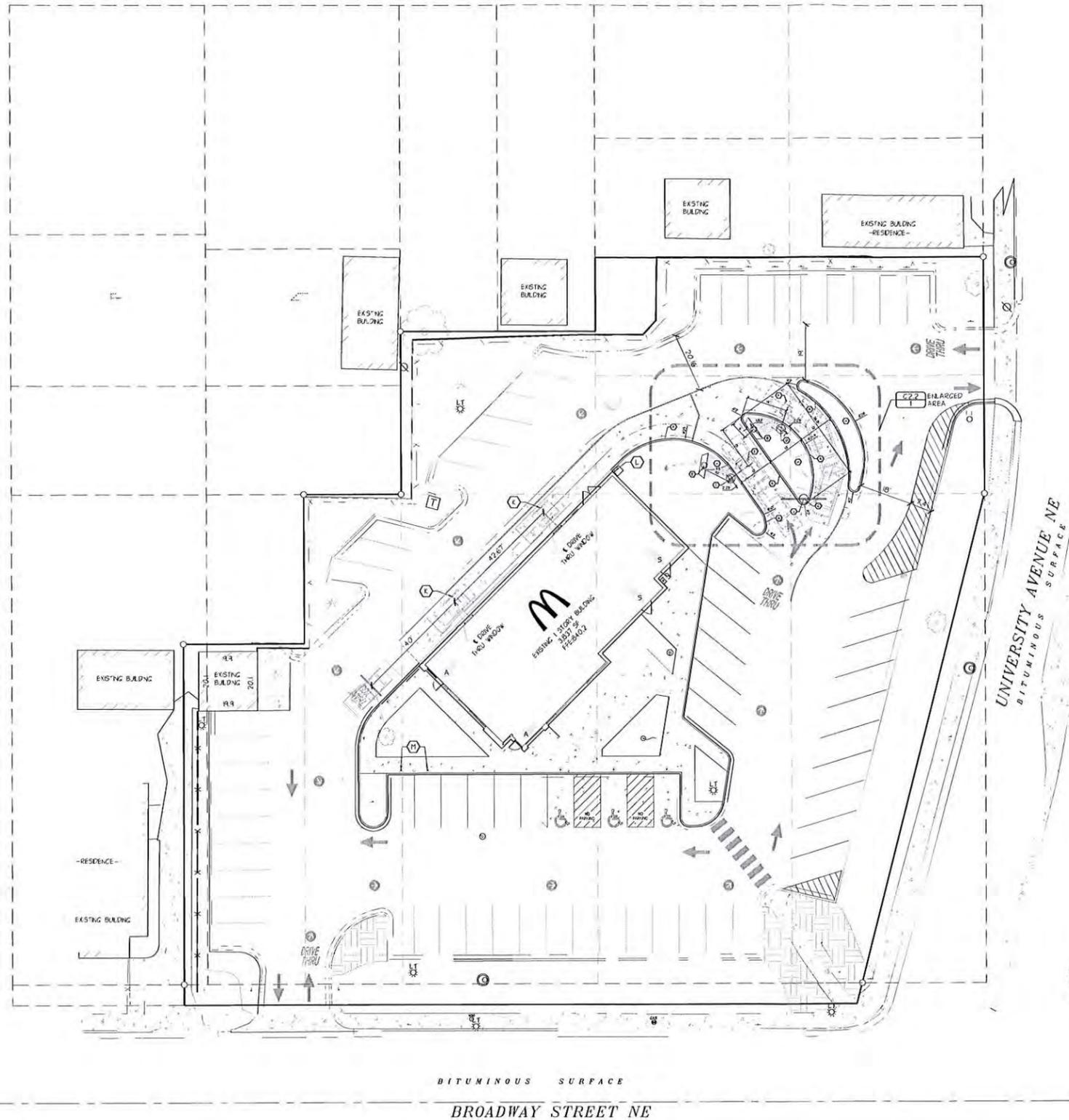
McDONALD'S USA, LLC.
 STATE: MN
 COUNTY: HENNEPIN
 STREET ADDRESS: 100 UNIVERSITY AVENUE NE
 SHEET NAME: SITE PLAN
 NATIONAL NUMBER: STATE NUMBER

McDONALD'S USA, LLC.
 SHEET NO: C2.1
 FILE NAME: C201MCD247.DWG
 PROJECT NO: MCD13247



105 South Fifth Avenue Tel: 612-252-9070
 Suite 513 Fax: 612-252-9077
 Minneapolis, MN 55401 Web: landform.net

3RD STREET NE



BITUMINOUS SURFACE
BROADWAY STREET NE

COD CONSTRUCTION NOTES

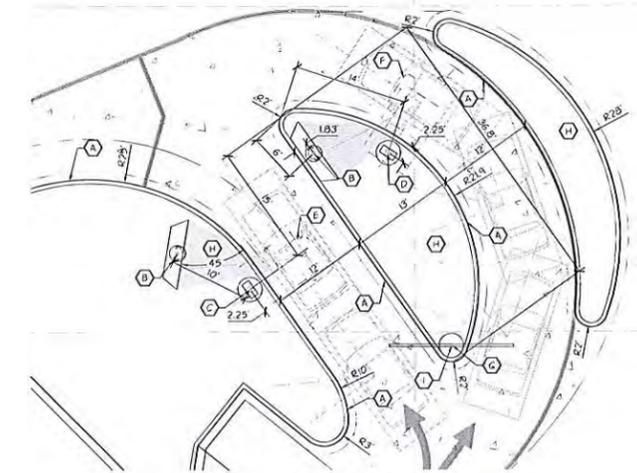
- (A) NEW CONCRETE CURB AND GUTTER.
- (B) INSTALL NEW MENU BOARD. SEE SHEET C23 FOR FOUNDATION DETAIL, SHEET C25 FOR SCHEMATIC DETAIL AND SEE MANUFACTURER FOR INSTALLATION INSTRUCTIONS.
- (C) PRIMARY LANE HIGH IMPACT COD AND CANOPY. LOCATE 85' FROM CL. OF COD TO CL. OF CASH WINDOW MEASURED ALONG CL. OF TRAVEL PATH. SEE SHEET C23 FOR FOUNDATION DETAIL, SHEET C25 FOR SCHEMATIC DETAIL AND MANUFACTURER FOR INSTALLATION INSTRUCTIONS.
- (D) SECONDARY LANE HIGH IMPACT COD AND CANOPY. LOCATE 14'-0" FROM NOSE OF CONCRETE SLAB. SEE SHEET C23 FOR FOUNDATION DETAIL, SHEET C25 FOR SCHEMATIC DETAIL AND MANUFACTURER FOR INSTALLATION INSTRUCTIONS.
- (E) INSTALL PRIMARY LANE DETECTOR LOOP. FLIP LOOP FORWARD.
- (F) INSTALL SECONDARY LANE DETECTOR LOOP 2'-0" FORWARD OF CL. OF COD. FLIP LOOP FORWARD.
- (G) DOUBLE ARM GATEWAY SIGN. CENTER OF THE FOOTING OF THE GATEWAY SIGN SHALL BE 18" FROM THE BACK OF CURB. SEE SHEET C23 FOR FOUNDATION DETAIL, SHEET C25 FOR SCHEMATIC DETAIL AND MANUFACTURER FOR INSTALLATION INSTRUCTIONS.
- (H) LANDSCAPED AREA.
- (I) ANY LANE ANY TREE SIGN. ATTACH SIGN TO GATEWAY 6' FROM BOTTOM OF POST. SEE SHEET C25 FOR SCHEMATIC DETAIL AND MANUFACTURER FOR INSTALLATION INSTRUCTIONS.
- (J) OPTIONAL PRE-SELL BOARD. BOARD SHALL BE LOCATED 30' FROM THE CL. OF THE PRIMARY COD TO THE CL. OF THE PRE-SELL BOARD AND 10' FROM THE BACK OF CURB. SEE SHEET C23 FOR FOUNDATION DETAIL, C25 FOR SCHEMATIC DETAIL, AND MANUFACTURER FOR INSTALLATION INSTRUCTIONS. -NOT USED.
- (K) INSTALL DETECTOR LOOPS AT CASH AND PRESENT WINDOWS.
- (L) INSTALL BOLLARD AT THE CORNER OF THE BUILDING ON THE DRIVE THRU SIDE. BOLLARD SHALL BE FLUSH AGAINST THE BUILDING AND THE FACE OF THE BOLLARD SHALL BE TIGHT AGAINST THE BACK OF CURB. SEE DETAIL 2 SHEET C7.1.
- (M) INSTALL PULL FORWARD SIGN & BOLLARD. SEE DETAIL 2 SHEET C25.

GENERAL NOTES

1. SIGNAGE & DRIVE-THRU ELEMENTS: COD, DRIVE-THRU Pylon/CLEARANCE POLE, BOLLARD SIGN, AND FREESTANDING PERCHANDER SHALL BE CONSISTENT WITH THE 2013 STANDARD BUILDING DESIGN DRIVE-THRU ELEMENTS. OTHER DESIGNS MAY NOT BE USED.
2. GENERAL CONTRACTOR SHALL COORDINATE WITH CIVIL PLANS, McDONALD'S PROJECT MANAGER, AND SIGNAGE SUPPLIER TO DETERMINE THE EXACT LOCATION, ORIENTATION, MOUNTING HEIGHTS, AND NUMBER OF SIGNS AND OTHER DRIVE-THRU ELEMENTS TO BE INSTALLED AT THIS SITE. ALL WORK SHALL BE COORDINATED WITH OTHER TRADES.
3. CONTACT McDONALD'S PROJECT MANAGER FOR SIGNAGE & DRIVE-THRU ELEMENT FOOTING AND WIRING REQUIREMENTS. SIGNAGE MANUFACTURER TO PROVIDE FOOTING ANCHORS & TEMPLATES TO G.C. PRIOR TO FOUNDATION POURING.
4. SEE SHEET C25 AND ELECTRICAL SHEETS FOR DRIVE-THRU WIRING INFORMATION.
5. GENERAL CONTRACTOR TO COORDINATE THE RESPONSIBILITIES OF THE ELECTRICAL CONTRACTOR AND THE SIGN SUPPLIER.
6. GENERAL CONTRACTOR TO INSTALL PRE-FORMED, PRE-WIRED VEHICLE DETECTOR LOOP.
7. GENERAL CONTRACTOR SHALL VERIFY CONDUIT SIZES REQUIRED BY VEHICLE LOOP DETECTOR SUPPLIER.

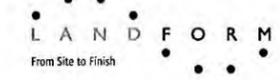
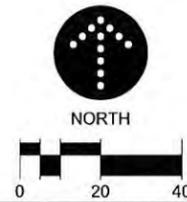
COD LAYOUT NOTES

1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS NOTED OTHERWISE ON PLAN.
2. FIELD VERIFY AND CONFIRM EXISTING CONDITIONS AND DIMENSIONS PRIOR TO COMMENCING CONSTRUCTION. NOTIFY McDONALD'S PROJECT MANAGER OF ANY DISCREPANCIES PRIOR TO COMMENCING CONSTRUCTION.
3. SEE SHEET C21 FOR ALL OTHER CONSTRUCTION SITE DIMENSIONS.
4. SEE SHEET C26 FOR STRIPING.

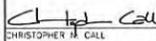


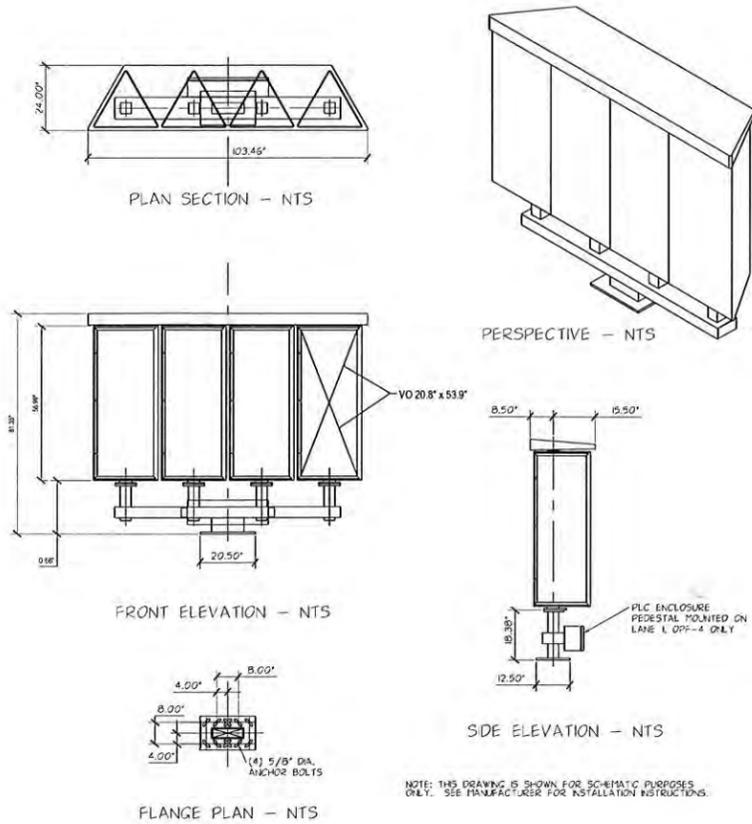
ENLARGED AREA 1

SCALE: 1"=10'

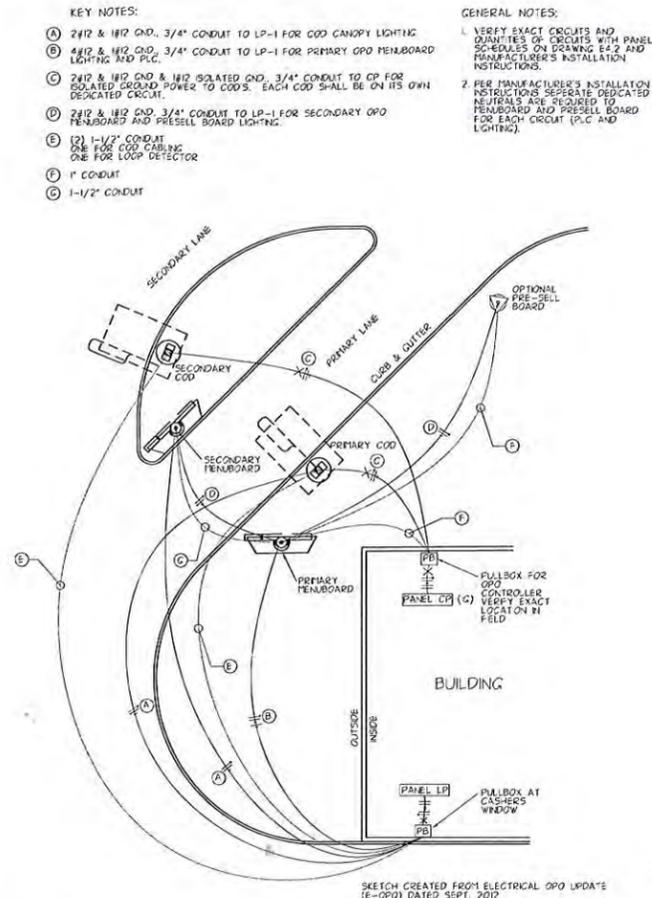


REV	DATE	DESCRIPTION
1	11-18-2014	REVISED PERMIT ISSUE
2	11-27-2014	NOTIFIED FOR 000709 AMENDMENT
3	12-24-2014	SIGN VARIANCE SUBMITTAL
4	2-7-2014	FOR #100026 (OPEN APPROVED SITE PLAN #8702)

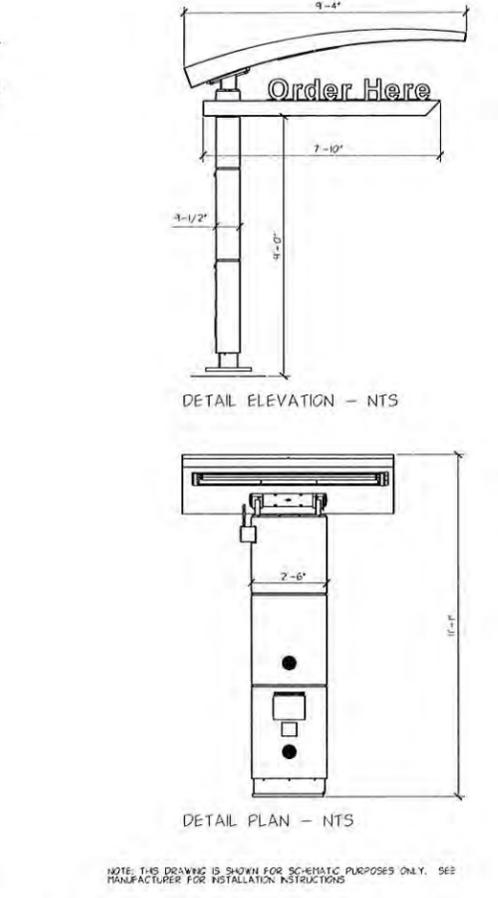
CERTIFICATION I hereby certify that the engineering document was prepared by me or under my direct personal supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.  CHRISTOPHER H. CALL License number: 46224 Date: 07 FEB 2014	
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CITY: MINNEAPOLIS STATE: MN COUNTY: HENNEPIN STREET ADDRESS: 1100 UNIVERSITY AVENUE NE SHEET NAME: COD LAYOUT NATIONAL NUMBER: _____ STATE NUMBER: _____	OFFICE ADDRESS: 1650 W. 82ND STREET #600 BLOOMINGTON, MINNISCOTA 55431-8888 (952)-884-4355 DRAWN BY: BKC PROTO. ISSUED: _____ REVIEWED BY: CMC DATE REVIEWED: 11-12-2014 DATE ISSUED: 11-18-2014
SHEET NO. C2.2 FILE NAME: C202MCC0247.DWG PROJECT NO. MCD13247	



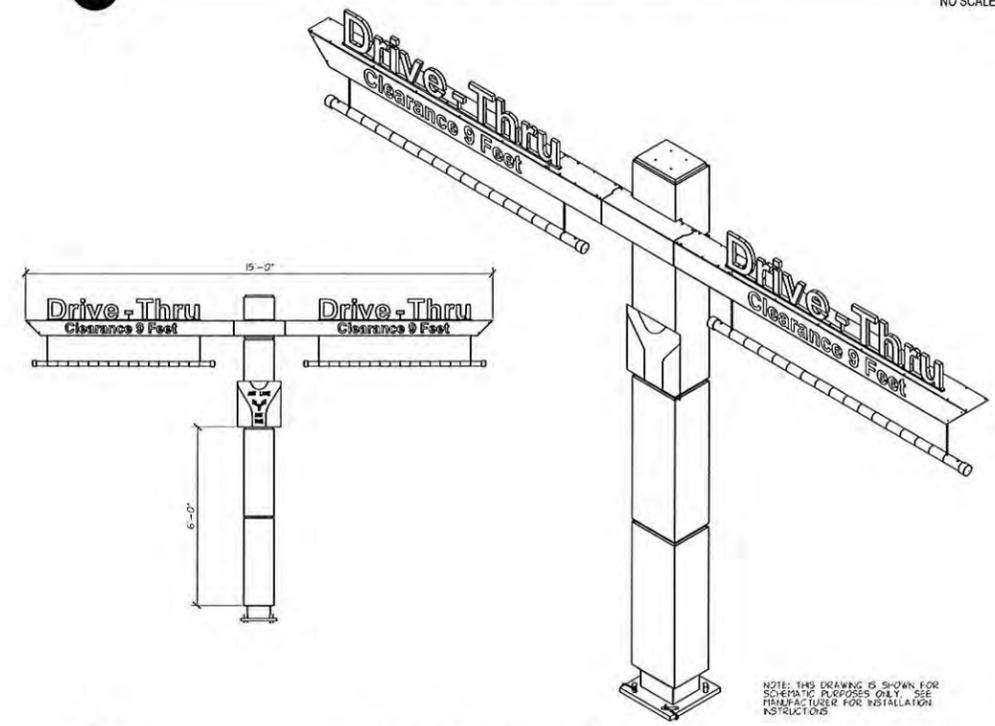
5 OPO-4 MENU BOARD SCHEMATIC DETAIL NO SCALE



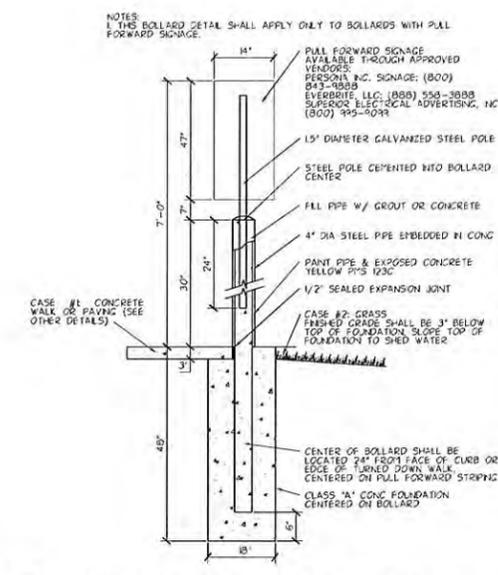
3 DRIVE-THRU WIRING DETAIL NO SCALE



1 COD SCHEMATIC DETAIL NO SCALE



6 DOUBLE GATEWAY SCHEMATIC DETAIL NO SCALE



2 PULL FORWARD SIGN & BOLLARD DETAIL NO SCALE

REV	DATE	REVISION HISTORY
1	11-05-2013	ISSUED FOR PERMIT
2	11-21-2014	REVISED PER PERMIT
3	12-22-2014	SOON VARIANCE SUBMITTAL
4	2-7-2014	FOR #1000791 (PERM APPROVED SITE PLAN #8172)

CERTIFICATION

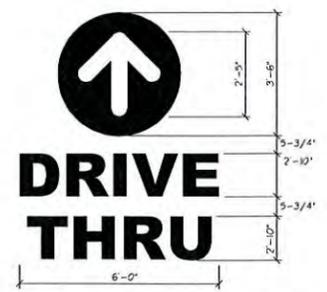
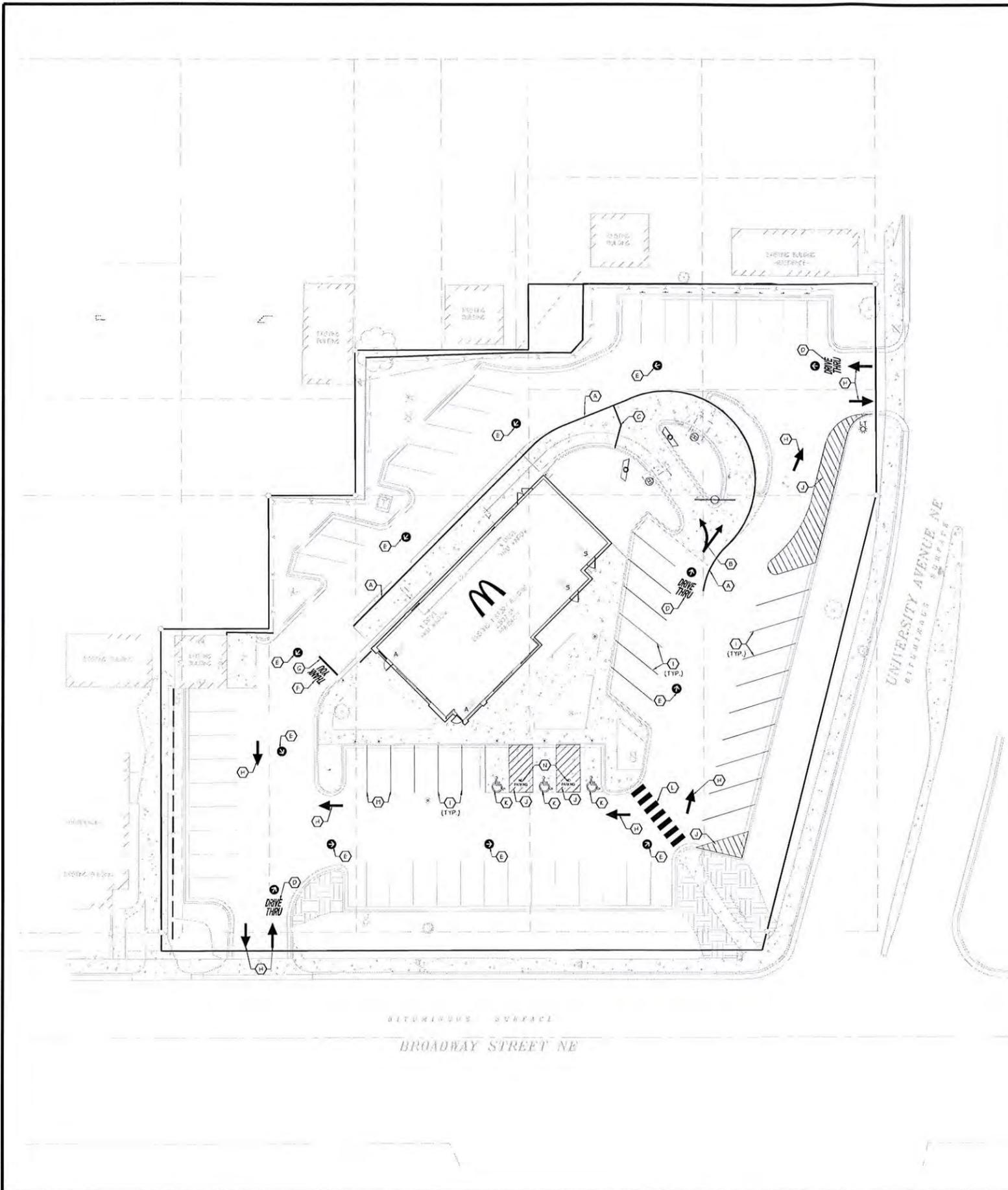
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CITY	STATE	DRAWN BY	DATE ISSUED
MINNEAPOLIS	MN	BRC	11-18-2013
STREET ADDRESS	COUNTY	PROTO. ISSUED BY	DATE REVIEWED
1100 UNIVERSITY AVENUE NE	HENNEPIN	CNC	11-12-2013
SHEET NAME	NATIONAL NUMBER	STATE NUMBER	
DRIVE-THRU DETAILS			

SHEET NO. C2.5
 FILE NAME: C205MCD247.DWG
 PROJECT NO. MCD13241



NOTE: ALL TEXT AND ARROW SHALL BE PAINTED YELLOW (P15 123)

1 PAINTED 'DRIVE THRU' WITH ARROW
NO SCALE



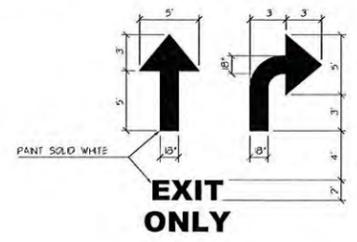
NOTE: ARROW SHALL BE PAINTED YELLOW (P15 123)

2 PAINTED ARROW
NO SCALE



NOTE: ALL TEXT SHALL BE PAINTED YELLOW (P15 123)

3 PAINTED 'THANK YOU'
NO SCALE



NOTE: ARROWS AND WORDS CAN BE ARRANGED IN OTHER COMBINATIONS (L-484, L-425) ILLUSTRATED HERE TO ACHIEVE DESIRED RESULT.

4 TYPICAL PAVEMENT MARKING
NO SCALE



NOTE: TEXT SHALL BE PAINTED WHITE

5 PAINTED 'NO PARKING'
NO SCALE

- STRIPING NOTES**
- (A) 6" WIDE PAINTED STRIPE, P15 123, YELLOW.
 - (B) 1'-0" WIDE PAINTED DIRECTIONAL ARROW, P15 123 YELLOW. SEE GENERAL NOTE 4.
 - (C) 6" WIDE PAINTED MERGE POINT, P15 123 YELLOW. SEE GENERAL NOTE 4.
 - (D) PAINTED DRIVE THRU GRAPHIC, SEE DETAIL 1. SEE GENERAL NOTE 4.
 - (E) PAINTED DRIVE THRU GRAPHIC, SEE DETAIL 2. SEE GENERAL NOTE 4.
 - (F) PAINTED DRIVE THRU GRAPHIC, SEE DETAIL 3. SEE GENERAL NOTE 4.
 - (G) 8" WIDE, 10' LONG PAINTED PULL FORWARD STRIPE, P15 123 YELLOW.
 - (H) PAINTED SITE CIRCULATION ARROW, SEE DETAIL 4. SEE GENERAL NOTE 4.
 - (I) 4" WIDE CUSTOMER PARKING STRIPING, WHITE.
 - (J) STRIPED AREA TO BE PAINTED WITH 4" LINES AT 18" O.C., AT 45 DEGREES TO PATH OF TRAVEL, WHITE.
 - (K) PAINTED HANDICAP SYMBOL, TYP. WHITE. SEE DETAIL 4 ON SHEET C7.1.
 - (L) 2' x 6' PAINTED CROSSWALK STRIPING AT 4" O.C. WHITE.
 - (M) 4" WIDE RESERVED DRIVE-THRU PARKING STALL STRIPING, P15 123 YELLOW.
 - (N) PAINTED DRIVE THRU GRAPHIC, SEE DETAIL 5. SEE GENERAL NOTE 4.

- GENERAL NOTES**
1. FIELD VERIFY AND CONFIRM EXISTING CONDITIONS AND DIMENSIONS PRIOR TO COMMENCING CONSTRUCTION. NOTIFY PROJECT MANAGER OF ANY DISCREPANCIES PRIOR TO COMMENCING CONSTRUCTION.
 2. SEE SHEET C21 FOR ALL RADIUS DIMENSIONS.
 3. SEE SHEET C22 FOR C&G CONSTRUCTION.
 4. ALL PAVEMENT STENCILS MUST BE PURCHASED FROM THE FOLLOWING AUTHORIZED PROVIDER:
PAVEMENT STENCIL COMPANY
P.O. BOX 18034
ROANOKE, VA 24014
PH 800-250-5547 FAX 540-427-1376
PAVEMENTSTENCIL.NET

REV	DATE	REVISION HISTORY
1	11-02-2013	ISSUED PERMIT CONDITIONS
2	11-22-2014	CONTRACT ADMINISTRATION
3	12-22-2014	CONTRACT ADMINISTRATION
4	2-12-2014	FOR #0010294 (REVISED APPROVED SITE PLAN #B712)

CERTIFICATION

I hereby certify that the engineering documents were prepared by me or under my direct personal supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Christopher M. Call
CHRISTOPHER M. CALL
License number: 46224
Date: 07 FEB. 2014

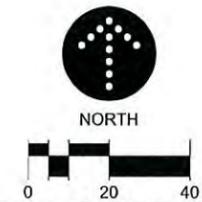
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DRAWN BY BRC	STATE MN	CITY MINNEAPOLIS
PROTO. ISSUED	COUNTY HENNEPIN	STREET ADDRESS 1100 UNIVERSITY AVENUE NE
REVIEWED BY CNC		SHEET NAME STRIPING
DATE REVIEWED 11-12-2013	NATIONAL NUMBER	STATE NUMBER
DATE ISSUED 11-18-2013		

FILE NAME: C:\206MCD247.DWG
PROJECT NO: MCD13247



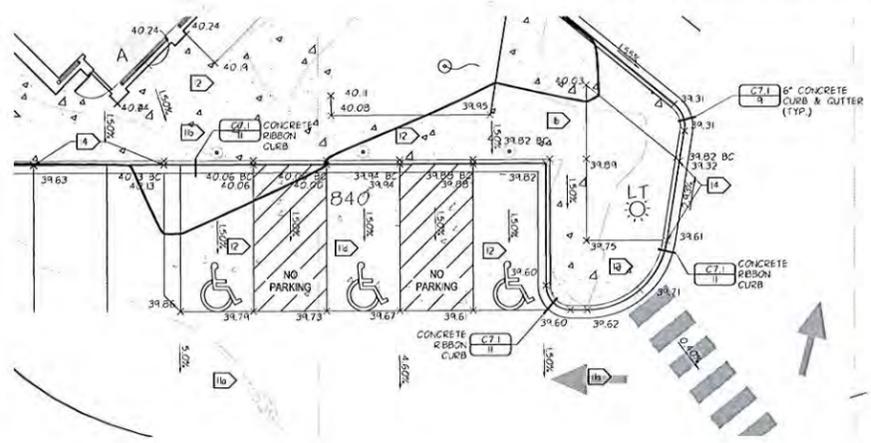
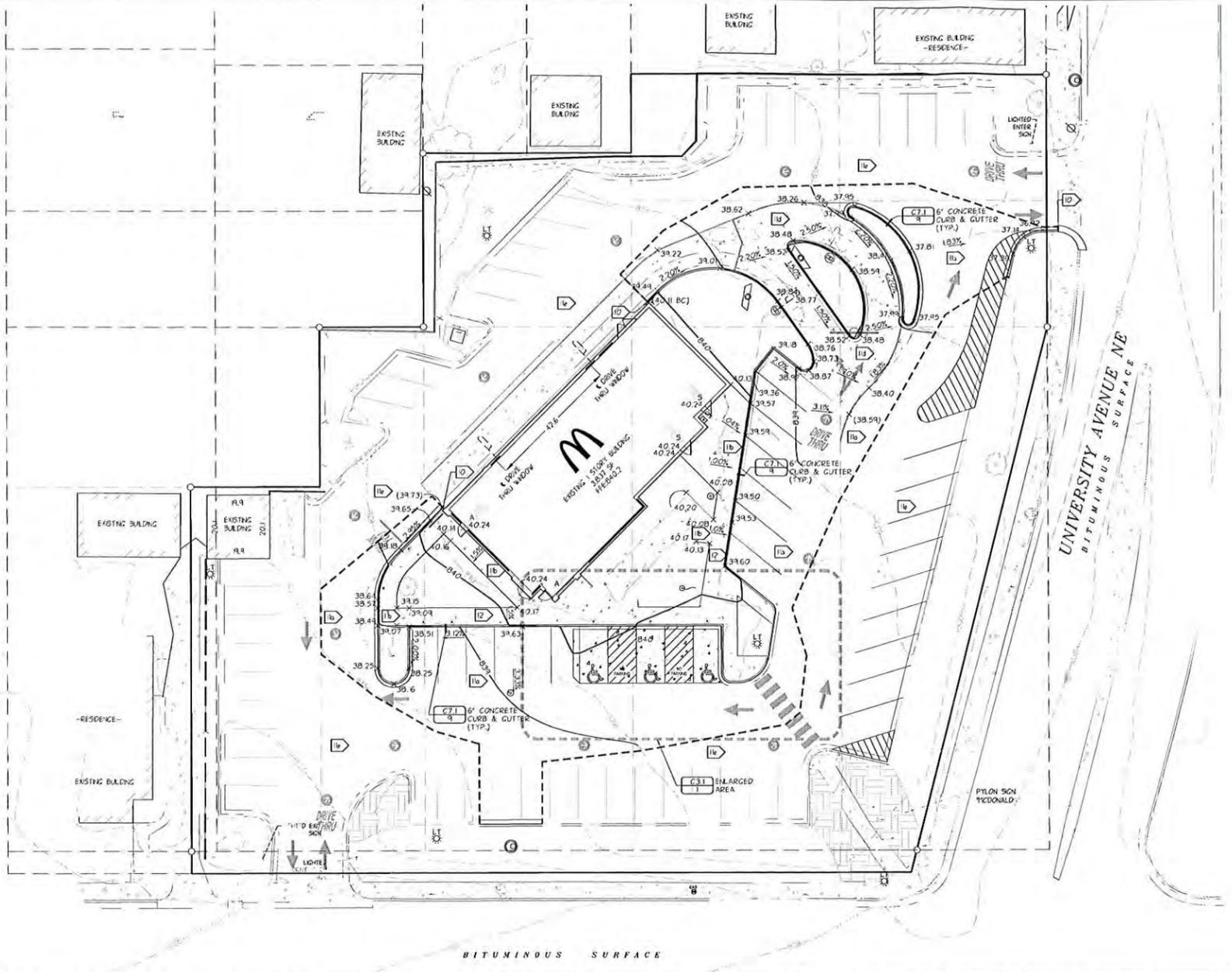
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ENLARGED AREA

10 SCALE

GRADING NOTES

- CONTACT UTILITY SERVICE PROVIDERS FOR FIELD LOCATION OF SERVICES 72 HOURS PRIOR TO BEGINNING GRADING.
- REMOVE TOPSOIL FROM GRADING AREAS AND STOCKPILE SUFFICIENT QUANTITY FOR REUSE. MATERIALS MAY BE FINED FROM LANDSCAPE AREAS FOR USE ON SITE AND REPLACED WITH EXCESS ORGANIC MATERIAL WITH PRIOR OWNER APPROVAL.
- REMOVE SURFACE AND GROUND WATER FROM EXCAVATIONS. PROVIDE INITIAL LIFTS OF STABLE FOUNDATION MATERIAL IF EXPOSED SOILS ARE WET AND UNSTABLE.
- REFER TO STRUCTURAL SPECIFICATIONS FOR EARTHWORK REQUIREMENTS FOR BUILDING PADS.
- AN INDEPENDENT TESTING FIRM SHALL VERIFY THE REMOVAL OF ORGANIC AND UNSUITABLE SOILS, SOIL CORRECTION, AND COMPACTION AND PROVIDE PERIODIC REPORTS TO THE OWNER.
- PLACE AND COMPACT FILL USING LIFT THICKNESSES MATCHED TO SOIL TYPE AND COMPACTION EQUIPMENT TO OBTAIN SPECIFIED COMPACTION THROUGHOUT THE LIFT.
- COMPACT MATERIAL IN PAVED AREAS TO 95% OF MAXIMUM DRY DENSITY, STANDARD PROCTOR (ASTM D698) EXCEPT THE TOP 3 FEET WHICH SHALL BE COMPACTED TO 100%. COMPACT TO 98% DENSITY WHERE FILL DEPTH EXCEEDS 10 FEET.
- AVOID SOIL COMPACTION OF INFILTRATION PRACTICES. ANY EQUIPMENT USED IN INFILTRATION AREAS SHOULD BE SMALL SCALED AND TRACKED.

PAVING NOTES

- SPOT ELEVATIONS AT CURB LINES INDICATE FLOWLINES UNLESS NOTED OTHERWISE. SEE SHEET C4.1 FOR RM ELEVATIONS OF CATCH BASINS.
- MEET AND MATCH EXISTING CURB. PROVIDE 10 FOOT TRANSITION.
- PAVING SECTIONS
 - BITUMINOUS PAVING
 - 2-INCH BITUMINOUS WEAR (PNDOT 2360 SPWEA24CB)
 - TACK COAT (PNDOT 2357)
 - 3-INCH BITUMINOUS BASE (PNDOT 2360 SPWB230B)
 - 6-INCH AGGREGATE BASE (PNDOT 3108, CLASS 5)
 - CONCRETE WALKWAYS
 - 4-INCH CONCRETE WALK, 4,000 PSI, 5% - 8% AIR ENTRAINED, MAX. 4" SLUMP
 - 4-INCH AGGREGATE BASE (PNDOT 3108, CLASS 5)
 - COMPACTED SUBSOIL
 - CONCRETE PATIOS
 - 5-INCH CONCRETE WALK, 4,000 PSI, 5% - 8% AIR ENTRAINED, MAX. 4" SLUMP
 - 4-INCH AGGREGATE BASE (PNDOT 3108, CLASS 5)
 - CONCRETE DRIVES, APRONS, AND EXTERIOR SLABS
 - 8-INCH CONCRETE, 4,000 PSI, 5% - 8% AIR ENTRAINED, MAX. 4" SLUMP
 - 8-INCH AGGREGATE BASE (PNDOT 3108, CLASS 5)
 - COMPACTED SUBSOIL
- MILL AND OVERLAY REMAINING BITUMINOUS PAVEMENT OUTSIDE OF SAWCUT LINE
 - 1.5-INCH BITUMINOUS WEAR (PNDOT 2360 SPWEA24CB)
 - TACK COAT (PNDOT 2357)
- ACCESSIBLE PARKING STALLS AND ADJACENT ACCESS AISLES SHALL HAVE A MAXIMUM GRADE IN ANY GIVEN DIRECTION OF 2.0%. ACCESSIBLE ROUTES SHALL HAVE A MAXIMUM CROSS SLOPE OF 2.0% AND A MAXIMUM LONGITUDINAL SLOPE OF 5.0%.
- NO TRANSITION FROM 3" HIGH CURB TO 6" CONCRETE CURB. -NOT USED.
- TRANSITION FROM CONCRETE RIBBON CURB TO 6" CONCRETE CURB
- CONCRETE JOINTS
 - JOINTING TO BE DESIGNED AND INSTALLED BY CONTRACTOR.
 - INSTALL JOINTS ACROSS SIDEWALKS, CURBS AND PAVEMENTS, PAYING ATTENTION TO SPACING OF EXPANSION JOINTS. JOINT SPACING SHALL BE AS FOLLOWS:
 - TWOLED JOINTS: PAVEMENT PANELS INTO NORMALLY EQUAL AREAS.
 - EXPANSION JOINTS: SIDEWALKS - 40 FEET MAX.; CURBS - 60 FEET MAX.; PAVEMENT: 80 FEET MAX.
 - CONTRACTION JOINTS: SIDEWALKS - 8 TO 10 FEET; CURBS AND APRONS - 12 TO 15 FEET.

EROSION PREVENTION AND SEDIMENT CONTROL NOTES

- PERMITTER SEDIMENT CONTROLS SHALL BE INSTALLED AND INSPECTED PRIOR TO BEGINNING WORK. MAINTAIN FOR DURATION OF CONSTRUCTION. REMOVE CONTROLS AFTER AREAS CONTRIBUTING RUN OFF ARE PERMANENTLY STABILIZED AND DISPOSED OF OFF-SITE.
- LEFT SOIL DISTURBANCE TO THE GRADING LIFTS SHOWN. SCHEDULE OPERATIONS TO MINIMIZE LENGTH OF EXPOSURE OF DISTURBED AREAS.
- MANAGEMENT PRACTICES SHOWN ARE THE MINIMUM REQUIREMENT. INSTALL AND MAINTAIN ADDITIONAL CONTROLS AS WORK PROCEEDS TO PREVENT EROSION AND CONTROL SEDIMENT CARRIED BY WIND OR WATER.
- RESTORE DISTURBED OPEN AREAS WITH TEMPORARY SEED OR SOO WITHIN 72 HOURS OF COMPLETING GRADING IN EACH AREA. IF WITHIN 1 FIFE OF IMPAIRED WATER USE THE FOLLOWING NOTE INSTEAD) ALL EXPOSED SOILS AREAS SHALL BE STABILIZED IMMEDIATELY TO LIMIT SOIL EROSION IN THAT PORTION OF THE SITE WHERE CONSTRUCTION HAS TEMPORARILY OR PERMANENTLY CEASED.
- SEED, SOO, MULCH AND FERTILIZER SHALL MEET THE FOLLOWING SPECIFICATIONS, AS MODIFIED.

ITEM	SPECIFICATION NUMBER
SOO	PNDOT 3876
SEED	PNDOT 3876
	PN TYPE 22-II @ 30.5 LB/AC - TEMPORARY
	PN TYPE 25-III @ 120 LB/AC - PERMANENT
MULCH (PNDOT TYPE I @ 2 TON/AC, DISC ANCHORED)	PNDOT 3891
FERTILIZER	PNDOT 2575
GENERAL PLACEMENT	PNDOT 2575
- SEE LANDSCAPING SHEETS FOR PERMANENT TURF ESTABLISHMENT. (-OR-) ALL DISTURBED LANDSCAPE AREAS SHALL BE RESTORED WITH SOO. COORDINATE WITH McDONALD'S AREA CONSTRUCTION MANAGER.
- SCRAPE ADJACENT STREETS CLEAN DAILY AND SWEEP CLEAN WEEKLY.

NPDES AREA SUMMARY

	EXISTING	PROPOSED	ULTIMATE
PERVIOUS	0.31 ACRES	0.33 ACRES	0.33 ACRES
IMPERVIOUS	0.96 ACRES	0.34 ACRES	0.94 ACRES
TOTAL	1.27 ACRES	1.27 ACRES	1.27 ACRES

LEGEND

- - - - - 10' OUT CURB
- - - - - PAVEMENT SAWCUT



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REVISION HISTORY

REV	DATE	DESCRIPTION
1	11-02-2011	REVISED PERMIT ISSUE
2	11-02-2011	REVISED PERMIT ISSUE
3	11-02-2011	REVISED PERMIT ISSUE
4	11-02-2011	REVISED PERMIT ISSUE
5	11-02-2011	REVISED PERMIT ISSUE
6	11-02-2011	REVISED PERMIT ISSUE
7	11-02-2011	REVISED PERMIT ISSUE
8	11-02-2011	REVISED PERMIT ISSUE
9	11-02-2011	REVISED PERMIT ISSUE
10	11-02-2011	REVISED PERMIT ISSUE

CERTIFICATION

I hereby certify that the engineering document was prepared by me or under my direct personal supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Christopher M. Call
Christopher M. Call
License number: 46224
Date: 07 FEB 2014

DRAWN BY: BRC
PROJ. ISSUED:
REVIEWED BY: CMC
DATE REVIEWED: 11-02-2013
DATE ISSUED: 11-02-2013

CITY: MINNEAPOLIS
STATE: MN
COUNTY: HENNEPIN
STREET ADDRESS: 1100 UNIVERSITY AVENUE NE
SHEET NAME: GRADING, DRAINAGE, PAVING, & EROSION CONTROL
NATIONAL NUMBER: STATE NUMBER

SHEET NO.: C3.1
FILE NAME: C301MCD247.DWG
PROJECT NO.: MCD13241

UTILITY NOTES

1. PIPE MATERIALS
SANITARY SEWER PVC SCHEDULE 40 (ASTM STANDARDS: D3034, D2665, & F89)
2. CONTACT UTILITY SERVICE PROVIDERS FOR FIELD LOCATION OF SERVICES 72 HOURS PRIOR TO BEGINNING.
3. COORDINATE WITH PRIVATE UTILITIES TO PROVIDE ELECTRIC, NATURAL GAS, AND COMMUNICATIONS SERVICES TO BUILDING.
4. PROVIDE MEANS AND MEASURES TO PROTECT ADJACENT PROPERTY FROM DAMAGE DURING UTILITY INSTALLATION.
5. PIPE LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE OR END OF END SECTION.
6. ADJUST STRUCTURES TO FINAL GRADE WHERE DISTURBED. COMPLY WITH REQUIREMENTS OF UTILITY "BEST PRACTICES" FOR TRAFFIC LOADING IN PAVED AREAS.
7. INSTALL TRACER WIRE WITH ALL NON-CONDUCTIVE UTILITIES.
8. CONTACT CITY OF MINNEAPOLIS PUBLIC WORKS DEPARTMENT FOR INSPECTION OF ALL UTILITY WORK AND STANDARDS.
9. DEFLECT WATER TO MAINTAIN 18-INCH MINIMUM OUTSIDE SEPARATION AT SEWER CROSSINGS AS NECESSARY. CENTER PIPE LENGTHS TO PROVIDE GREATEST SEPARATION BETWEEN JOINTS.
10. CONTACT CITY OF MINNEAPOLIS PUBLIC WORKS DEPARTMENT FOR FLUSHING AND PRESSURE TEST INSPECTIONS.
11. BRING SEWER SERVICE INTO BUILDING PER MECHANICAL DRAWINGS.
12. CENTERPOINT ENERGY WILL FURNISH AND INSTALL GAS SERVICE PPVC FROM THE MAINLINE TO THE METER. GAS SERVICE FROM THE METER SHALL BE INSTALLED BY THE MECHANICAL CONTRACTOR.
13. COORDINATE WITH MECHANICAL AND ELECTRICAL DRAWINGS FOR LOCATIONS OF SERVICE CONNECTIONS AND CONTINUATION OF SERVICES WITHIN BUILDING.
14. REINSTALL SALVAGED LIGHT POLE.

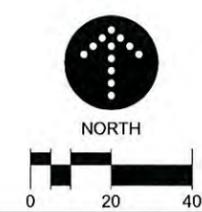
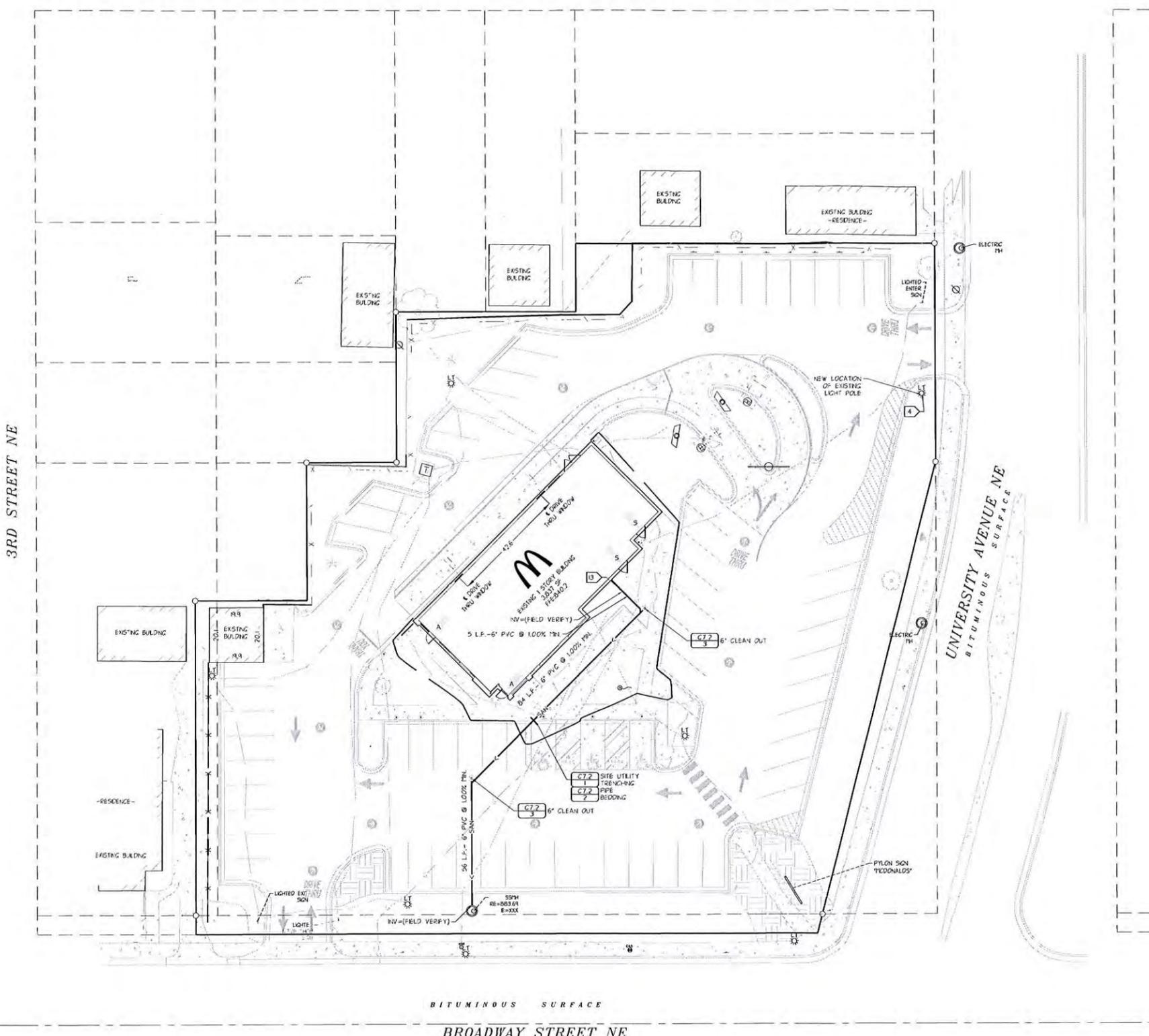
REV	DATE	REVISION HISTORY
1	11-18-2013	ISSUED PERMIT ISSUE
2	11-27-2013	REVISED FOR 2013 PERMIT
3	12-17-2013	REVISED FOR 2013 PERMIT
4	12-17-2013	REVISED FOR 2013 PERMIT

CERTIFICATION
 I hereby certify that the engineering document was prepared by me or under my direct personal supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
 CHRISTOPHER M. CALL
 License number: 46224
 Date: 07 FEB 2014

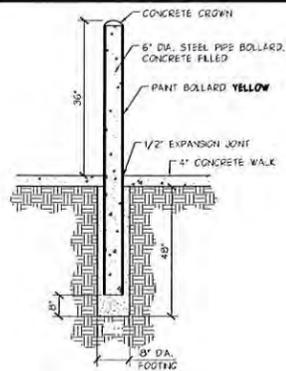
McDONALD'S USA, LLC.
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 OFFICE ADDRESS: 8500 W. 52ND STREET #800 BLOOMINGTON, MINNESOTA 55431-8888 (952)-884-4355

STATE	MN	DRAWN BY	ABC
COUNTY	HENNEPIN	PROJECT ISSUED	11-18-2013
STREET ADDRESS	1100 UNIVERSITY AVENUE NE	REVIEWED BY	CMC
SHEET NAME	UTILITIES	DATE REVIEWED	11-22-2013
NATIONAL NUMBER		DATE ISSUED	11-18-2013
STATE NUMBER			

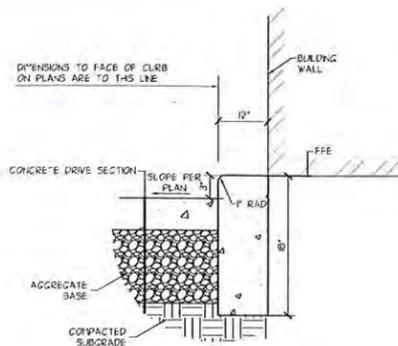
C4.1
 FILE NAME: C401MCD247.DWG
 PROJECT NO: MCD13247



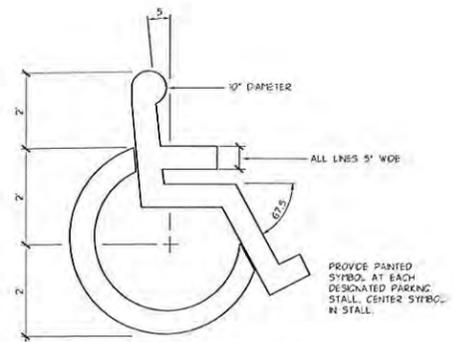
LANDFORM
 From Site to Finish
 105 South Fifth Avenue, Suite 513, Minneapolis, MN 55401
 Tel: 612-252-9070, Fax: 612-252-9077, Web: landform.net



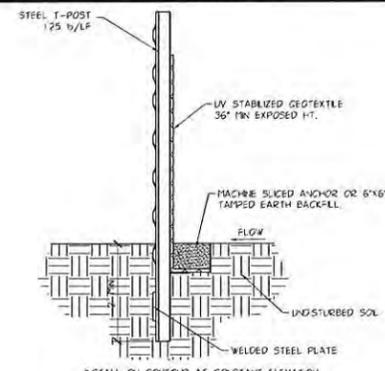
12 **ROUND PIPE BOLLARD AND COVER** NO SCALE



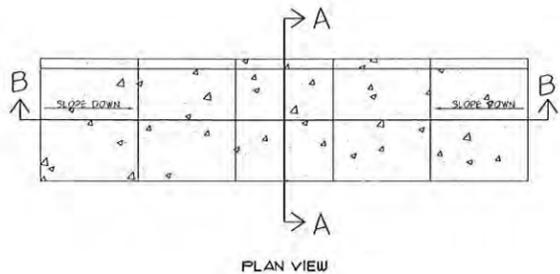
8 **3" HIGH CURB AT DRIVE-THRU** NO SCALE



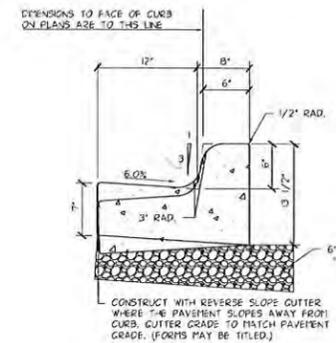
4 **UNIVERSAL SYMBOL OF ACCESSIBILITY** NO SCALE



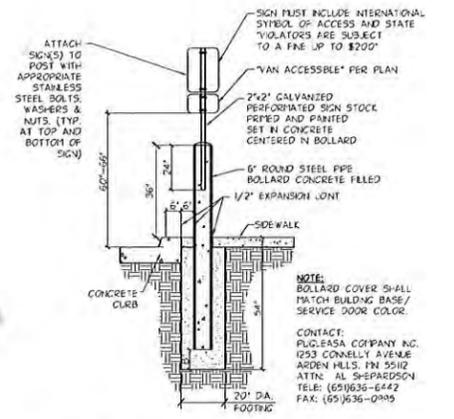
1 **SILT FENCE** NO SCALE



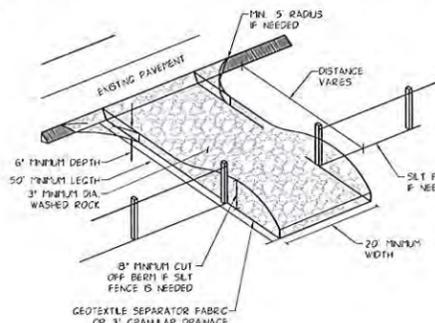
13 **ACCESSIBLE AISLE** NO SCALE



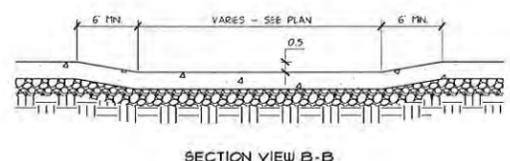
9 **6" CONCRETE CURB SECTION** NO SCALE



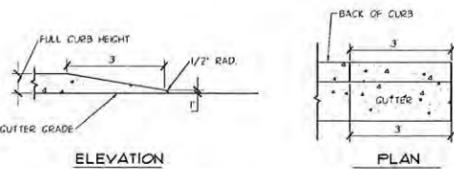
5 **ROUND BOLLARD W/ ACCESSIBLE SIGNAGE (MINNESOTA)** NO SCALE



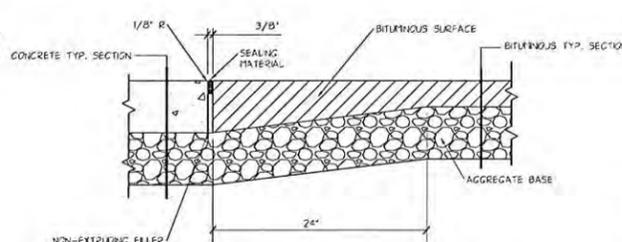
2 **VEHICLE TRACKING PAD** NO SCALE



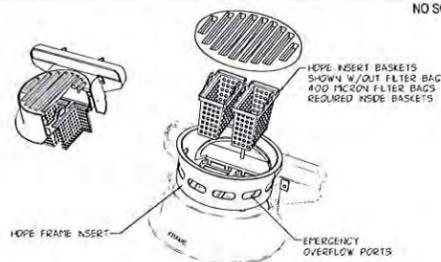
SECTION VIEW B-B



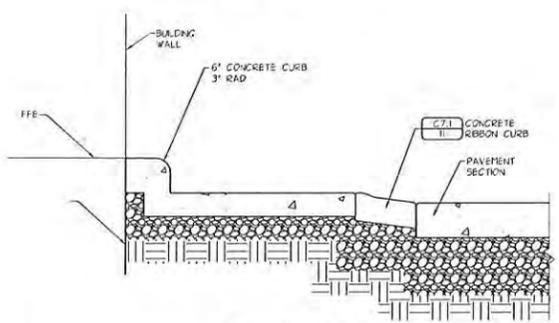
10 **NOSE DOWN CURB** NO SCALE



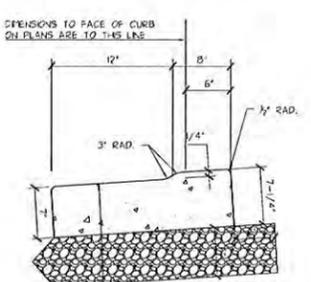
6 **THICKENED BITUMINOUS EDGE AND CONCRETE SURFACE** NO SCALE



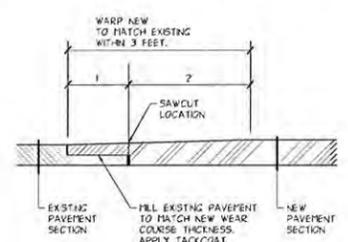
3 **INLET PROTECTION** NO SCALE



SECTION VIEW A-A



11 **12" CONCRETE RIBBON CURB SECTION** NO SCALE



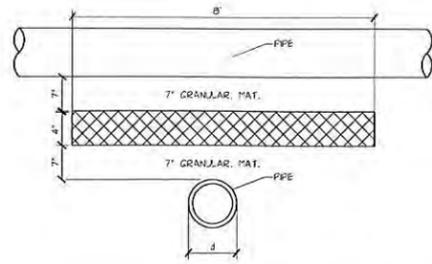
7 **ASPHALT PAVEMENT TRANSITION** NO SCALE

REV	DATE	REVISION HISTORY
1	11-18-2013	ISSUED FOR PERMIT
2	11-18-2013	ISSUED FOR PERMIT
3	11-18-2013	ISSUED FOR PERMIT
4	11-18-2013	ISSUED FOR PERMIT
5	11-18-2013	ISSUED FOR PERMIT
6	11-18-2013	ISSUED FOR PERMIT
7	11-18-2013	ISSUED FOR PERMIT
8	11-18-2013	ISSUED FOR PERMIT
9	11-18-2013	ISSUED FOR PERMIT
10	11-18-2013	ISSUED FOR PERMIT
11	11-18-2013	ISSUED FOR PERMIT
12	11-18-2013	ISSUED FOR PERMIT
13	11-18-2013	ISSUED FOR PERMIT

CERTIFICATION
 I hereby certify that the engineering documents were prepared by me or under my direct personal supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
 Christopher J. Call
 License number 46224
 Date 07 FEB 2014

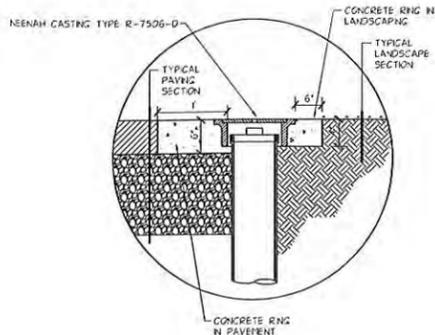
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 OFFICE ADDRESS: 1650 W. BOND STREET #900 BLOOMINGTON, MINNESOTA 55431-9888 (952) 884-4355

SHEET NO	CITY	STATE	COUNTY
C7.1	MINNEAPOLIS	MN	HENNEPIN
FILE NAME: C701MCD247.DWG	STREET ADDRESS	1100 UNIVERSITY AVENUE NE	
PROJECT NO: MCD13247	SHEET NAME	CIVIL CONSTRUCTION DETAILS	
	NATIONAL NUMBER	STATE NUMBER	
	DRAWN BY	DATE ISSUED	
	PROJ. ISSUED	11-18-2013	
	REVIEWED BY		
	DATE REVIEWED		



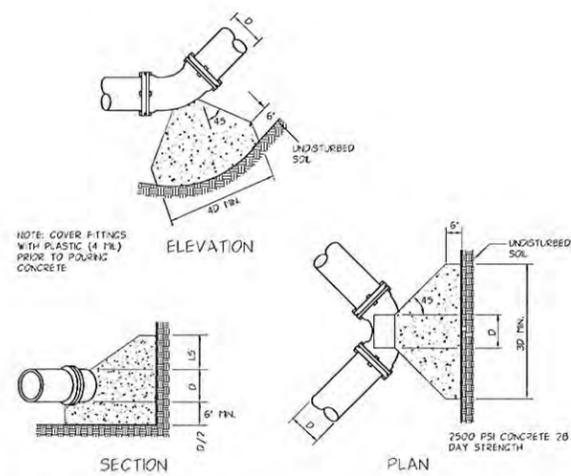
1. 4" GRANULAR MATERIAL SHALL BE WELL COMPACTED AND LEVELED TO PERMIT PROPER BEARING FOR INSULATION BOARD.
2. INSULATION SHALL BE OF 1" OR 2" THICK BOARDS OF EXTRUDED OR EXPANDING POLYSTYRENE PLASTIC FOAM SPECIFICALLY DESIGNED FOR USE IN UNDERGROUND CONSTRUCTION AND HAVING A MINIMUM COMPRESSIVE STRENGTH OF 35 PSI. SPECIAL NOTE 5 TO BE TAKEN THAT THIS TYPE IS DIFFERENT THAN THE TYPE USED IN ORDINARY BUILDING CONSTRUCTION. THE INSULATION BOARD SHALL COMPLY WITH ASTM-D 6524.

5 PIPE INSULATION NO SCALE

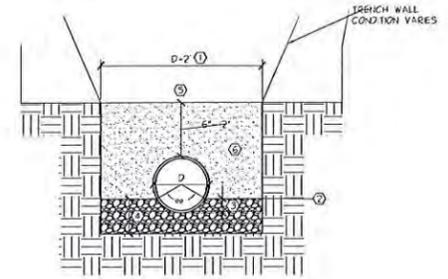


- NOTES:
 RISER PIPE SHALL BE EXTENDED ABOVE GROUND LEVEL INITIALLY & THEN IT MAY BE CUT BACK TO MATCH FINAL GRADE (BY OTHERS)
 POSITION CLEAN-OUTS UPSTREAM OF BENDS, WHEN FEASIBLE.

3 CLEAN-OUT STRUCTURE NO SCALE

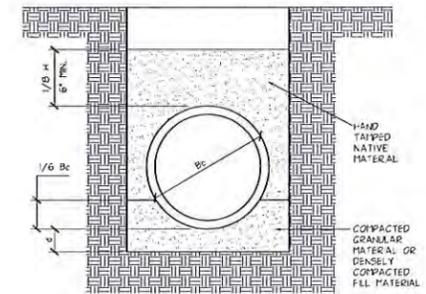


4 CONCRETE THRUST BLOCKING NO SCALE



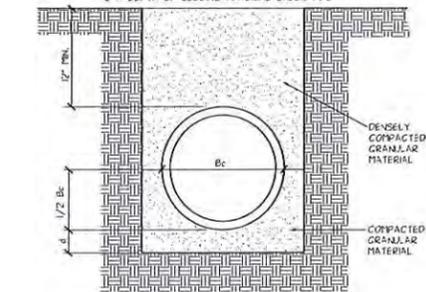
1. 2" FOR PIPE 4" OR LESS.
2. MACHINE EXCAVATION LEFT FOR RIGID PIPE.
3. HAND SHAPE BOTTOM FOR SUPPORT OF RIGID PIPE.
4. MACHINE EXCAVATION LEFT FOR FLEXIBLE PIPE, GRANULAR FOUNDATION (IF REQUIRED), OR BEDDING REQUIRED FOR LOCAL CONDITIONS, DEPTH VARIES.
5. PROVIDE LOCATING/MARKING TAPS MEETING LOCAL REQUIREMENTS.
6. SEE SPECIFICATIONS FOR BEDDING AND ENCASUREMENT.

1 SITE UTILITY TRENCHING NO SCALE



CLASS C BEDDING: THE PIPE IS BEDDED IN COMPACTED GRANULAR MATERIAL, OR DENSELY COMPACTED FILL MATERIAL UP TO A HEIGHT EQUAL TO ONE-SIXTH THE OUTSIDE DIAMETER OF THE PIPE. THE DEPTH OF THE BEDDING MATERIAL BELOW THE PIPE IS A MINIMUM OF 3" FOR 27" AND SMALLER PIPE, 6" FOR 66" DIAMETER AND LARGER PIPE, AND 4" FOR INTERMEDIATE SIZES. THE REMAINING SOE/FLL AND BACKFILL MATERIAL IS COMPACTED NATIVE SOILS.

Bc = OUTSIDE DIAMETER
 H = BACKFILL COVER ABOVE PIPE
 d = DEPTH OF BEDDING MATERIAL UNDER PIPE



CLASS B BEDDING: THE PIPE IS BEDDED IN COMPACTED GRANULAR MATERIAL PLACED UP TO A HEIGHT EQUAL TO ONE-HALF THE OUTSIDE DIAMETER OF THE PIPE. THE DEPTH OF THE GRANULAR BEDDING BELOW THE PIPE IS A MINIMUM OF 3" FOR 27" DIAMETER AND SMALLER PIPE, 6" FOR 66" DIAMETER AND LARGER PIPE, AND 4" FOR INTERMEDIATE SIZES. THE INITIAL FILL MATERIAL SHALL BE DENSELY COMPACTED GRANULAR UP TO A HEIGHT OF 12" OVER THE TOP OF THE PIPE.

2 PIPE BEDDING NO SCALE

REV	DATE	REVISION HISTORY
1	11-18-2014	REVISED PLUMB ISSUE
2	1-21-2014	REVISED FOR 10007293 AMENDMENT
3	1-21-2014	CON VARIANCE SUBMITTAL
4	2-17-2014	FOR FURTHER DESIGN DEVELOPMENT SITE PLAN (B1212)

CERTIFICATION	
I hereby certify that the engineering document was prepared by me or under my direct personal supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.	
Signature	
Name	CHRISTOPHER M. CALL
License number	66274
Date	07 FEB 2014

McDONALD'S USA, LLC.	OFFICE ADDRESS: 1650 W. 67RD STREET #1000 BLOOMINGTON, MINNESOTA 55431-9888 (952)-884-4395
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DRAWN BY: BKJ	STATE: MN
PROJ. ISSUED:	COUNTY: HENNEPIN
REVIEWED BY: CNG	CITY: MINNEAPOLIS
DATE REVIEWED: 11-18-2014	STREET ADDRESS: 1000 UNIVERSITY AVENUE NE
DATE ISSUED: 11-18-2014	SHEET NAME: CIVIL CONSTRUCTION DETAILS
	NATIONAL NUMBER: STATE NUMBER:
C7.2	
FILE NAME: C702MCD247.DWG	
PROJECT NO: MCD13241	

Public Hearing

1. 1100 and 1118 University Ave NE (BZZ# 6420, Ward 3) ([Shanna Sether](#))

A. Variance: Tracey Kinney of Landform, on behalf of McDonald's USA, LLC, has applied for a variance to increase the number of freestanding signs from one to four at the property located 1100 and 1118 University Ave NE in the C2 Neighborhood Corridor Commercial District.

Action: The Board of Adjustment adopted staff findings and **approved** the variance to increase the number of freestanding signs from one to four for the properties located at 1100 and 1118 University Ave NE in the C2 Neighborhood Corridor Commercial District, subject to the following condition of approval:

1. Approval of the master sign plan by the Department of Community Planning and Economic Development.

Absent: A. Thompson

Aye: S. Cahill, M. Ditzler, J. Finlayson, E. Johannessen, D. Ogiba, D. Sandberg, J. Saufley

Motion passed

B. Variance: Tracey Kinney of Landform, on behalf of McDonald's USA, LLC, has applied for a variance to increase the maximum area of freestanding signs from 80 square feet to 330 square feet at the property located 1100 and 1118 University Ave NE in the C2 Neighborhood Corridor Commercial District.

Action: The Board of Adjustment adopted staff findings and **approved** the variance to increase the maximum area of freestanding signs from 80 square feet to 330 square feet for the properties located at 1100 and 1118 University Ave NE in the C2 Neighborhood Corridor Commercial District, subject to the following condition of approval:

1. Approval of the master sign plan by the Department of Community Planning and Economic Development.

Absent: A. Thompson

Aye: S. Cahill, M. Ditzler, J. Finlayson, E. Johannessen, D. Ogiba, D. Sandberg, J. Saufley

Motion passed

C. Variance: Tracey Kinney of Landform, on behalf of McDonald's USA, LLC, has applied for a variance to increase the maximum height of a menu board from 6 feet to approximately 6 feet 9 inches at the property located 1100 and 1118 University Ave NE in the C2 Neighborhood Corridor Commercial District.

Action: Notwithstanding staff recommendation, the Board of Adjustment **denied** the variance to increase the maximum height of a menu board from 6 feet to approximately 6 feet 9 inches for the properties located at 1100 and 1118 University Ave NE in the C2 Neighborhood Corridor Commercial District, based on the following finding:

Finding #1: The increased height of the menu board to maintain consistency with the existing signage is not a unique circumstance of the property that creates practical difficulties in complying with the ordinance.

Absent: A. Thompson

Aye: S. Cahill, M. Ditzler, J. Finlayson, E. Johannessen, D. Ogiba, D. Sandberg, J. Saufley

Motion passed

D. Variance: Tracey Kinney of Landform, on behalf of McDonald's USA, LLC, has applied for a variance to increase the maximum height of a freestanding sign from 8 feet to approximately 10 feet 9 inches at the property located 1100 and 1118 University Ave NE in the C2 Neighborhood Corridor Commercial District.

Action: The Board of Adjustment adopted staff findings and **approved** the variance to increase the maximum height of a freestanding signs from 8 feet to approximately 10 feet 3 inches and 10 feet 9 inches, for the properties located at 1100 and 1118 University Ave NE in the C2 Neighborhood Corridor Commercial District, subject to the following condition of approval:

1. Approval of the master sign plan by the Department of Community Planning and Economic Development.

Absent: A. Thompson

Aye: S. Cahill, M. Ditzler, J. Finlayson, E. Johannessen, D. Ogiba, D. Sandberg, J. Saufley

Motion passed



Order Here 3'

(10'3")

Clearance 9 Feet

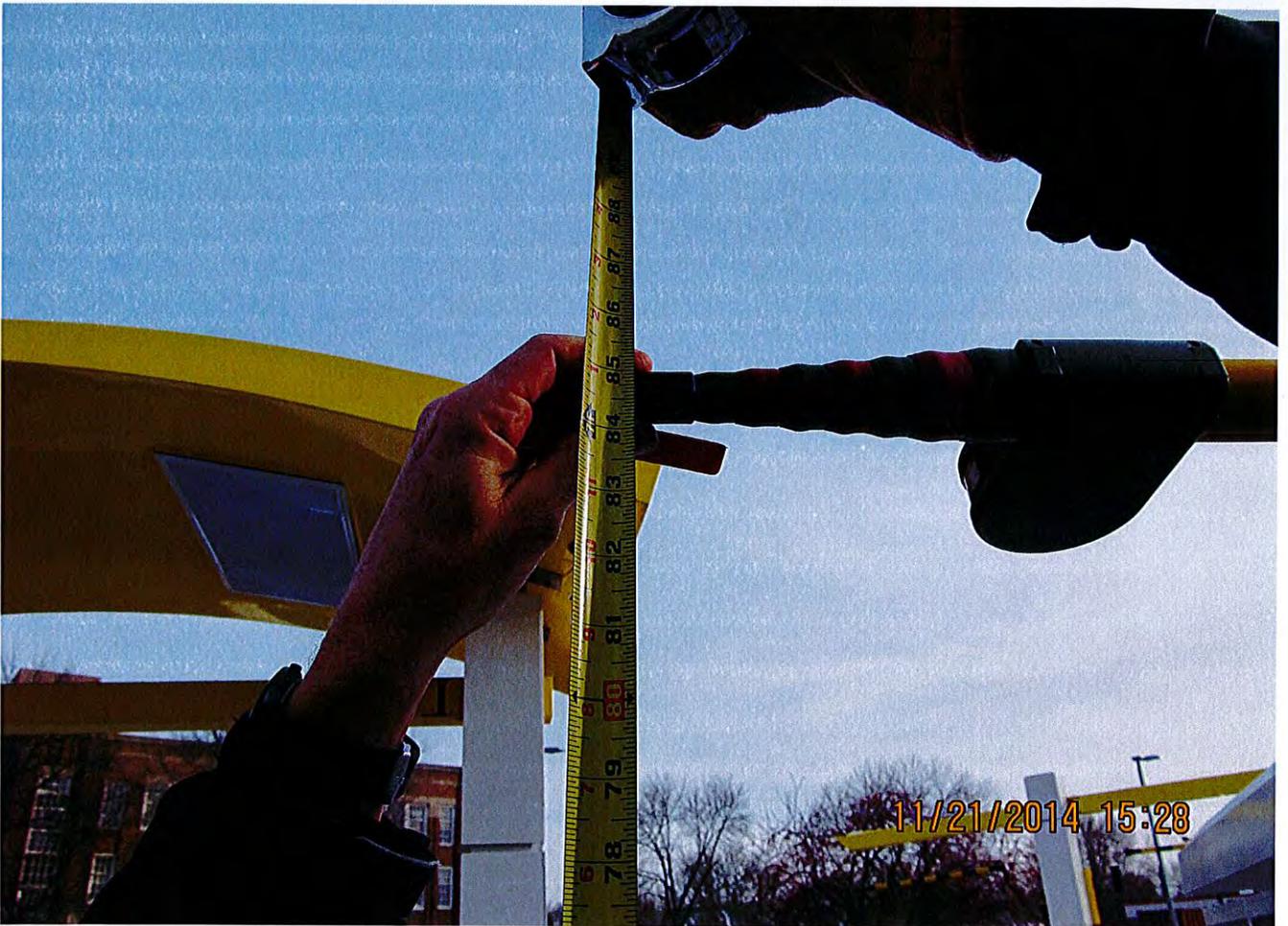
Clearance 9 Feet

Any Lane
Any Time

11/21/2014 15:24



Sign #1



Sign #2



11/21/2014 15:27

Liska, Andrew

From: Kusz, Lisa M.
Sent: Tuesday, November 25, 2014 8:20 AM
To: Liska, Andrew
Subject: FW: For McDonald's Appeal of Signage at 100 University Ave. NE
Attachments: McDonalds Microsoft Word - LANDFORM -- MEMORANDUM OF UNDERSTANDING - 4-8-14.docx

Follow Up Flag: Follow up
Flag Status: Flagged

For you...

From: Robert Riskin [<mailto:rriskin@outlook.com>]
Sent: Monday, November 24, 2014 6:49 PM
To: Kusz, Lisa M.
Cc: Frey, Jacob; Joy Smallfield; Shelly Bertand and Tim Kennedy; Allison Kerner; Allison Kerner; Mr Lorren Stafford; John whalen; Pamela Lehan; beth forkenbrock; brenda nyholm
Subject: For McDonald's Appeal of Signage at 100 University Ave. NE

Lisa,
Please include this Memorandum of Understanding into the Public Record and provide copies to the Planning and Zoning folks who will be hearing their appeal. Also please include recent 311 reports and complaints, (lesser quality fence boards than was agreed to, excessive lighting and excessive noise) from the neighborhood about unfulfilled promises made to the community. The committee should know the whole picture while they are deciding whether they should allow McDonalds to exceed signage limitations set by the city.
Thank you,
Concerned citizen who lives behind McDonalds.
Robert Riskin
1117 3rd St. NE
612-747-2852

MEMORANDUM OF UNDERSTANDING

This Memorandum of Understanding (“Memorandum”), is entered into this ____ day of April, 2014, by and between the Sheridan Neighborhood Association (“Association”), the residents of the Sheridan Neighborhood collectively (“Residents”), and McDonald’s USA, LLC (“McDonald’s”) for the purpose of reaching an understanding as to certain improvements proposed, and land use approvals obtained for the project at 1100 University Avenue in the City of Minneapolis, Minnesota (“the City”).

WHEREAS, McDonalds wishes to make a substantial investment in the remodel and improvements to the facility at 1100 University as part of it’s 2014 Major Remodel Program; and

WHEREAS, McDonalds has obtained certain City land use approvals and variances necessary to proceed with those improvements; and

WHEREAS, certain additional City land use approvals may be necessary to begin construction on the site; and

WHEREAS, the Residents have filed an appeal of the variances granted by the Minneapolis Board of Adjustments on February 20, 2014, and said appeal has received a recommendation for approval by the Planning and Zoning Committee of the City Council on March 20, 2014; and

WHEREAS, The full City Council has tabled final action on the appeal while the parties meet to discuss possible terms under which the residents would be accepting of the project.

THEREFORE, Be It Resolved, that the parties have met on at least three occasions to discuss the neighborhood concerns and review the proposed project and wish to memorialize certain mutual understandings with regard to the project. The understanding of the parties is as follows:

Section 1: McDonalds will:

1. Complete the Major Remodel Program (MRP) as currently proposed and permitted with the following plan revisions:
 - a. Remove all existing site lighting and construct new LED system with 0.5 footcandle cutoff at property lines, a max of 8.0 foot-candle, and utilizing 25’ pole heights.
 - b. Upgrade Customer Order Display (COD) system with newest digital sound system and Automatic Volume Control (AVC)
 - c. There will be no architectural lighting of the yellow canopy at COD, but the down light under the canopy will remain to light the area below.
 - d. Additional curb will be installed in lieu of striping to discourage “u-turn” movement at drive thru.

- e. Deficient portions of the existing fenceline will be repaired and upgraded to match the center portions of the fence with 2x6 vertical members tightly spaced

Page 1

on the McDonalds side, and reset 1x6 vertical members infilled where missing on the Resident's side.

- f. Additional planting will be proposed along the fenceline including up to five (5) 6' Colorado Blue Spruce in larger open areas, and fifteen (15) 3' Techny Arborvitae along base of fence in narrow green areas.
 - g. Irrigation will be reviewed to ensure viability of plantings.
 - h. The bottom of the fence at the trash corral will be modified to extend to grade.
 - i. The gap in the south fenceline at the trash enclosure will be filled.
 - j. An additional walkway segment will be added from the East corner of the building to the public walk on University Avenue perpendicular to vehicle traffic.
 - k. Signs will be posted at the drive thru and along the back fenceline to advise customers of Minneapolis Noise Ordinances.
 - l. Agree to incorporate the above conditions into the current and future approvals for the project.
2. Make the southernmost section of fencing available to the Association to work with local artists in developing a potential mural or other neighborhood art, subject to content review and approval by McDonalds. Due to current budget impacts of additional items, McDonalds cannot contribute funding to this effort beyond the landscaping proposed in this area.
 3. Utilize 911 system to report suspicious or non-compliant activity, noting license numbers where appropriate.
 4. Coordinate an on-site meeting with residents and current on-site management to review the components of this agreement.

Section 2: The Association and Residents will:

1. Withdraw their appeal of the three variances granted on February 20, 2014.
2. Support PDR/Building Permit process for final building review.
3. Support CUP process for a minor cooler addition (if necessary).
4. Provide access to McDonald's contractors necessary to make fenceline repairs. Failure to allow access will indicate Resident's consent to the existing condition on that exterior portion.
5. Provide conceptual proposals for McDonald's review and approval for any proposed public art on the south fenceline.
6. Going forward, inform McDonalds on-site management in writing of any issues/concerns.

7. Use the existing 311 process to report any violation of current code not addressed by onsite management.

Section 3: Scope.

This Memorandum is a non-binding expression of the intent of the parties with the respect to the obligations set forth in Sections 1 and 2.

Section 4: Expenses.

All legal and other costs and expenses incurred by a party in connection with the transactions and negotiations contemplated herein, other than those specifically stated to be borne by McDonalds, shall be paid by the party incurring such expenses.

Section 5: Entire Agreement.

This Memorandum constitutes the entire agreement between the parties with regard to the subject matter set forth herein and supersedes and replaces any prior oral or written agreements or representations of the parties with regard to the subject matter set forth herein. This Memorandum may not be modified or amended except in a writing executed by the parties.

Section 6: Governing Law.

This Memorandum shall be governed by and interpreted under the substantive laws of the State of Minnesota without regard to that state's conflict of laws provisions.

Section 7: Commitment of participants

The parties have a mutual understanding of and are in agreement with the conditions and responsibilities outlined in this Memorandum, and have reviewed the proposed project as permitted, and including the conditions outlined above.

McDonald's USA, LLC

By: _____

Its:

Date:

Sheridan Neighborhood Association

By: _____

Its:

Date:

RESIDENTS

By: _____ Address: _____

By: _____ Address: _____