



CPED STAFF REPORT

Prepared for the City Planning Commission

CPC Agenda Item #7
 March 16, 2015
 BZZ-7022

LAND USE APPLICATION SUMMARY

Property Location: 4353 Upton Avenue South and 2720 44th Street West
Project Name: South Upton Building
Prepared By: [Janelle Widmeier](#), Senior City Planner, (612) 673-3156
Applicant: South Upton Properties Partnership
Project Contact: Brian Gadiant, Momentum Design Group
Request: To allow a new mixed use building.
Required Applications:

| | |
|-------------------------------|--|
| Conditional Use Permit | To increase the maximum height from 2.5 to 3 stories and from 35 feet to 39 feet, 8 inches for the building including a 3 foot tall parapet, rising an additional 13 feet, 8 inches for mechanicals and elevator and staircase overruns. |
| Variance | To reduce the minimum interior side yard requirement adjacent to the east lot line to allow the parking area, retaining walls not retaining natural grade, and a walkway/ramp. |
| Variance | To reduce the minimum parking requirement from 8 spaces to 6 spaces. |
| Site Plan Review | To allow a new mixed use building. |

SITE DATA

| | |
|-----------------------------------|--|
| Existing Zoning | CI Neighborhood Commercial District LH Linden Hills Overlay District SH Shoreland Overlay District |
| Lot Area | 10,282 square feet / 0.24 acres |
| Ward(s) | 13 |
| Neighborhood(s) | Linden Hills Neighborhood Council |
| Designated Future Land Use | Mixed Use |
| Land Use Features | Commercial Node (Linden Hills) |
| Small Area Plan(s) | Linden Hills Small Area Plan |

| | | | |
|---|------------------|---------------------------------------|----------------|
| Date Application Deemed Complete | February 2, 2015 | Date Extension Letter Sent | Not applicable |
| End of 60-Day Decision Period | April 3, 2015 | End of 120-Day Decision Period | Not applicable |

BACKGROUND

SITE DESCRIPTION AND PRESENT USE. A surface parking lot for Sebastian Joe's (4321 Upton Avenue South) is located at the property of 4353 Upton Avenue South, which is at the northeast corner of the Upton Avenue and 44th Street intersection. A duplex is located at the property of 2720 44th Street West.

SURROUNDING PROPERTIES AND NEIGHBORHOOD. The subject site is located in a mixed use area, including low- to high-density residential, commercial, and institutional uses. Sebastian Joe's is located directly to the north. A multiple-family dwelling is located directly to the east.

PROJECT DESCRIPTION. A new approximately 12,100 square foot mixed use building is proposed. Proposed uses include offices and ground floor retail. A surface parking lot with 12 spaces is also proposed. The parking lot, along with a refuse storage area, will be shared by the new building occupants and Sebastian Joe's.

The maximum height in the CI district and the SH overlay district is 2.5 stories or 35 feet, whichever is less. The proposed height is 3 stories and 39 feet, 8 inches for the building, including a 3 foot tall parapet, and an additional 13 feet, 8 inches above the third floor roof for mechanicals and elevator and staircase overruns. The height is measured from the front lot line, which is adjacent to 44th Street. A conditional use permit is required to increase the maximum allowed height. Although mechanicals and elevator and staircase overruns less than 14 feet in height are not subject to the height restrictions in the CI district provided they are recessed from the building walls, they are subject to the height restrictions in the SH overlay district.

The minimum parking requirement for the proposed uses in the new building is 8 spaces. The parking requirement for Sebastian Joe's is also 8 spaces. With only 12 parking spaces proposed, the applicant is requesting variances to reduce both minimum parking requirements. For the new building, a variance to reduce the requirement from 8 to 6 spaces is requested. For Sebastian Joe's, the requested variance is to reduce the requirement from 8 to 6 spaces (BZZ-7023).

An interior side yard is required along the east lot line. Only fences and retaining walls retaining natural grade are permitted obstructions in the required yard. Other obstructions are required to be set back at least 5 feet, with the exception of the building which is subject to a greater yard requirement. The parking area, a retaining wall that only partly retains natural grade, and a walkway/ramp would extend into the required yard. A variance is required to allow these obstructions.

Site plan review is required for any new mixed use building.

PUBLIC COMMENTS. A letter from the Linden Hills Neighborhood Council was received and is attached to this report. Any additional correspondence received prior to the public meeting will be forwarded on to the Planning Commission for consideration.

ANALYSIS

CONDITIONAL USE PERMIT

The Department of Community Planning and Economic Development has analyzed the application to increase the maximum height from 2.5 to 3 stories and from 35 feet to 39 feet, 8 inches for the building,

including a 3 foot tall parapet, and an additional 13 feet, 8 inches above the third floor roof for mechanicals and elevator and staircase overruns based on the following findings:

1. *The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, comfort or general welfare.*

Construction of a 3 story and 39 foot, 8 inch tall building, including the 3 foot tall parapet, with an additional 13 feet, 8 inches above the third floor roof for mechanicals and elevator and staircase overruns would not prove detrimental to public health, safety, comfort or general welfare provided the development complies with all applicable building codes and life safety ordinances as well as Public Works Department standards.

2. *The conditional use will not be injurious to the use and enjoyment of other property in the vicinity and will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.*

There is a mix of uses in the immediate area. The height of surrounding buildings ranges from one-story to 6-stories. The proposed building would be shorter than the Lake Harriet Methodist Episcopal Church located at the property of 4401 Upton Avenue South (also located in the SH overlay district). It would be well below the height of the 6-story condominium located to the west of the subject site across Upton Avenue. The proposed building would be separated from the adjacent 2-story residential building located to the east by the proposed parking lot. Sebastian Joe's is located directly north in a 2-story building. The proposed 3-story height of the main building slightly exceeds the allowed height. The mechanicals and elevator and stair overruns are proposed to allow access to a rooftop patio, but will add minimally to the bulk of the building. Therefore the increase in height will not significantly increase shadowing on surrounding properties. Although the proposed building may impede private views, allowing the requested height increase will not impede the normal use and development of surrounding properties.

3. *Adequate utilities, access roads, drainage, necessary facilities or other measures, have been or will be provided.*

The site is served by existing infrastructure. The Public Works Department will review the project for appropriate drainage and stormwater management as well as to ensure the safety of the position and design of improvements in or over the public right-of-way.

4. *Adequate measures have been or will be taken to minimize traffic congestion in the public streets.*

Increasing the allowed height would have no impact on traffic congestion in the public streets. The proposed floor area is well below what is allowed in the C1 district.

5. *The conditional use is consistent with the applicable policies of the comprehensive plan.*

The proposed height would be consistent with the applicable policies of the comprehensive plan. The future land use designation of the site is mixed use and it is located in the Linden Hills Commercial Node. The proposed development would be consistent with the following policies of *The Minneapolis Plan for Sustainable Growth*:

Land Use Policy 1.2: Ensure appropriate transitions between uses with different size, scale, and intensity.

- 1.2.1 Promote quality design in new development, as well as building orientation, scale, massing, buffering, and setbacks that are appropriate with the context of the surrounding area.

Land Use Policy 1.11: Preserve and enhance a system of Neighborhood Commercial Nodes that includes a mix of housing, neighborhood-serving retail, and community uses.

1.11.4 Encourage a height of at least two stories for new buildings in Neighborhood Commercial Nodes, in keeping with neighborhood character.

The proposed height is also consistent with the *Linden Hills Neighborhood Small Area Plan*. For mixed use buildings located in a neighborhood commercial node, a height of 3 or 4 stories is supported. However, the plan encourages minimizing the height of each story to better reflect the surrounding context i.e. not building to the maximums (42 feet for a 3 story building and 56 feet for a 4 story building). In the zoning code, the height allowed for 3 and 4-story buildings is exclusive of parapets up to 3 feet in height. As measured from the first floor level, the roof of the third story is 38 feet, 4 inches tall and the height of the elevator overrun (the tallest part of the structure) is 52 feet tall. The plan also encourages stepping a fourth floor back at least 10 feet from street facing facades to lessen massing. The proposed roof top mechanicals and elevator and stair overruns would be inset from the street facing facades and limited in size to minimize their visibility, which is consistent with the intent of the policy.

6. *The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.*

The development will conform to the applicable regulations of the districts in which it is located, upon approval of the conditional use permit, variances and site plan review.

ADDITIONAL STANDARDS TO INCREASE MAXIMUM HEIGHT:

1. *Access to light and air of surrounding properties.*

The proposed location of the building will allow sufficient separation from surrounding properties by means of public streets, the proposed parking lot and the proposed shared patio. The building would have minimal effect on surrounding properties access to air and light.

2. *Shadowing of residential properties, significant public spaces, or existing solar energy systems.*

The 4 foot, 8 inch height increase requested for the third story including the 3 foot tall parapet, and the additional 13 feet, 8 inches requested for mechanicals and elevator and staircase overruns above the third floor will not significantly shadow any surrounding residential properties or the surrounding public spaces. CPED staff is not aware of any existing solar energy systems in the immediate area.

3. *The scale and character of surrounding uses.*

There is a mix of uses in the immediate area. The height of surrounding buildings ranges from one-story to 6-stories. The building would be shorter than the Lake Harriet Spiritual Community building located at 4401 Upton Avenue South, which is also located in the SH overlay district. It would be well below the height of the 6-story condominium located to the west of the subject site across Upton Avenue. The proposed height is compatible with the scale and character of surrounding uses.

4. *Preservation of views of landmark buildings, significant open spaces or water bodies.*

The proposal would not block views of landmark buildings, significant open spaces, or bodies of water. The Lake Harriet Methodist Episcopal Church at 4401 Upton Avenue South was recently added to the National Register of Historic Places. The proposed building would not significantly alter views of the church from public spaces. The site is located in the Lake Harriet SH overlay district. However, the site is 900 feet from the lake.

In addition to the conditional use standards contained in Chapter 525, Administration and Enforcement, the city planning commission shall consider the following evaluation criteria for conditional uses located within the SH Shoreland Overlay District:

1. *The prevention of soil erosion or other possible pollution of public waters, both during and after construction.*

The Public Works Department will review the project for appropriate drainage and stormwater management both during and after construction. Once construction is complete, the areas not occupied by the building or paving will be landscaped with trees, perennials and grasses.

2. *Limiting the visibility of structures and other development from protected waters.*

Lake Harriet is located approximately 900 feet east of the site. The visibility of the building would be minimal, if at all visible. Existing development and the tree canopy will obscure its visibility.

3. *The suitability of the protected water to safely accommodate the types, uses and numbers of watercraft that the development may generate.*

This standard is not applicable for the proposed development.

VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance to reduce the minimum interior side yard requirement adjacent to the east lot line to allow the parking area, retaining walls not retaining natural grade, and a walkway/ramp based on the following [findings](#):

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

Practical difficulties exist in complying with the ordinance. The site is odd-shaped with a substantial grade change. The site narrows from south to north. This results in the parking area being over 6 feet from the east side lot line adjacent to 44th Street, but only 3 feet from the side lot line at the north end of the property. The highest point of the site is located at the southwest corner. The difference in the change of grade between the southwest corner of the site and the northeast corner of the site is 15 feet. A 2 to 3 foot high retaining wall is currently located along the east lot line. This will be replaced with a retaining wall that is 3 to 5.5 feet in height to accommodate some fill to the site to allow the new parking area and allow stormwater to be directed to a catch basin and underground storage tank. The change in grade also impacts Sebastian Joe's access to the refuse storage and loading from the parking area. The ramp that will extend into the required yard is proposed to address the grade separation between the two sites.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

In general, yard controls are established to provide for the orderly development and use of land and to minimize conflicts among land uses by regulating the dimension and use of yards in order to provide adequate light, air, open space and separation of uses. The parking spaces are located on the west side of the parking area so that the only part of the parking area that will extend into the required yard is the curbing and drive aisle. This orientation, along with trees and a hedge, will lessen any adverse impacts on the adjacent residence. The retaining wall would not be taller than a solid fence allowed in the required yard. The ramp will provide Sebastian Joe's with access to the screened refuse storage area and loading. Locating it closer to the east lot line allows the refuse storage area to be located further from the adjacent residence. The request is reasonable and in keeping with the spirit and intent of the ordinance and the comprehensive plan.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

Granting the variance would not adversely alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity, nor would it be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties. The parking spaces are located on the west side of the parking area so that the only part of the parking area that will extend into the required yard is the curbing and drive aisle. This orientation, along with trees and a hedge, will lessen any adverse impacts on the adjacent residence. Stormwater runoff will be directed to a catch basin and underground storage tank. The retaining wall would not be taller than a solid fence allowed in the required yard. The ramp will provide Sebastian Joe's with access to the screened refuse storage area and loading. Locating it partially in the required yard allows the refuse storage area to be located further from the adjacent residence.

FINDINGS REQUIRED BY THE MINNEAPOLIS CODE FOR DEVELOPMENT IN THE SHORELAND OVERLAY DISTRICT

1. *The prevention of soil erosion or other possible pollution of public waters, both during and after construction.*

The Public Works Department will review the project for appropriate drainage and stormwater management both during and after construction. Once construction is complete, the areas not occupied by the building or paving will be landscaped with trees, perennials and grasses.

2. *Limiting the visibility of structures and other development from protected waters.*

Lake Harriet is located to the east of the site, 900 feet away. The proposed yard obstructions would not be visible from the lake due to existing development and trees between the two.

3. *The suitability of the protected water to safely accommodate the types, uses and numbers of watercraft that the development may generate.*

This standard is not applicable for the proposed development.

VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance to reduce the minimum parking requirement from 8 spaces to 6 spaces based on the following findings:

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

Practical difficulties exist in complying with the ordinance. The general parking requirement for the proposed uses is 10 spaces. The proposal qualifies for the bicycle parking incentive which reduces the requirement to 8 spaces. Because Sebastian Joe's will be sharing the parking lot with the proposed development, the required spaces for the restaurant also need to be provided. In the LH Linden Hill's Overlay District, 9 spaces are required for the restaurant use based on one space for every 3 seats. Eight parking spaces exist for Sebastian Joe's, resulting in one grandfathered space. The total number of spaces that must be provided is 16. Outside of the LH overlay district, the 1,500 square foot restaurant would only be required to provide a minimum of 4 parking spaces, or a total combined requirement of 12 spaces. To allow the parking lot to be shared between the two buildings, the parking requirements are requested to be reduced equally.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The purpose of parking regulations is to provide for the parking needs of uses and structures and to enhance the compatibility between parking areas and their surroundings. Comprehensive plan policies call for providing an adequate amount of parking without creating an oversupply. It also promotes an environment that encourages bicycle, pedestrian, and transit travel. In recent years, the minimum parking requirements have been reduced across the City to be more consistent with this policy, but with one exception. The LH overlay district requirements, which include higher parking requirements for restaurants, have not been changed since the adoption of the zoning code in 1999. Outside of the LH overlay district, the 1,500 square foot restaurant would only be required to provide a minimum of 4 parking spaces, or a total combined requirement of 12 spaces. The recently adopted small area plan indicates that exploring reductions to the minimum parking requirements could be considered. Conditions of the surrounding area and the proposed development lessen the need for more on-site parking. The parking will be shared between two properties, the development qualifies for the bicycle parking incentive by providing bicycle parking in excess of the minimum requirements, and the site is located on a bus route with frequent service. The applicant has indicated that the highest parking demand is expected to occur during the week day, while the highest parking demand for the restaurant will be nights and weekends. The request is reasonable and in keeping with the spirit and intent of the ordinance and the comprehensive plan.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

Granting of the variance should not increase congestion in the area or effect surrounding properties nor would it be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties. The site is located in a walkable, mixed use area. The parking lot will be shared between two properties, the development qualifies for the bicycle parking incentive by providing bicycle parking in excess of the minimum requirements, and the site is located on a bus route with frequent service. The applicant has indicated that the highest parking demand is

expected to occur during the week day, while the highest parking demand for the restaurant will be nights and weekends. With the convenience of alternate modes of transportation, the proposed amount of parking should be sufficient to meet average demand.

FINDINGS REQUIRED BY THE MINNEAPOLIS CODE FOR DEVELOPMENT IN THE SHORELAND OVERLAY DISTRICT

1. *The prevention of soil erosion or other possible pollution of public waters, both during and after construction.*

The Public Works Department will review the project for appropriate drainage and stormwater management both during and after construction. Once construction is complete, the areas not occupied by the building or paving will be landscaped with trees, perennials and grasses.

2. *Limiting the visibility of structures and other development from protected waters.*

Lake Harriet is located to the east of the site, 900 feet away. The visibility of the building would be minimal, if at all visible.

3. *The suitability of the protected water to safely accommodate the types, uses and numbers of watercraft that the development may generate.*

This standard is not applicable for the proposed development.

SITE PLAN REVIEW

The Department of Community Planning and Economic Development has analyzed the application based on the required [findings](#) and [applicable standards](#) in the site plan review chapter:

I. Conformance to all applicable standards of Chapter 530, Site Plan Review.

Building Placement and Design – Requires alternative compliance

- Placement of building would reinforce the street wall adjacent to 44th Street and Upton Avenue. An abundant amount of windows are proposed on the street facing elevations. Pedestrian access is from Upton Avenue.
- The building would be built up to the lot line next to each street. The proposed parking lot will be located at the interior of the site.
- Although not on-site, the applicant is proposing landscaping and patio areas between the building and the adjacent sidewalks.
- Principal entrances for the retail tenants will face Upton Avenue.
- The proposed addition walls will provide architectural details and contain windows to create visual interest and increase security of adjacent outdoor spaces by maximizing natural surveillance and visibility.
- Recesses, projections, windows and other architectural elements are proposed to divide the building addition into smaller identifiable sections.
- Blank, uninterrupted walls that do not include architectural elements will not exceed 25 feet in length.

- The primary exterior materials will be brick, metal, stone and glass, which are durable. The stone is used on the base of the building, brick on the first and second levels, and metal on the third level along with the roof access structures.
- All sides of the building would be similar and compatible.
- Plain face concrete block is not proposed as an exterior material.
- The proposed principal entrances contain a significant amount of glazing and are sheltered by cornices or an awning to emphasize their importance.
- Windows are required on the east, west and south elevations. See **Table I**. The ground floor walls facing Upton Avenue and 44th Street contain windows covering 40 percent or more of the walls as required by the LH Linden Hills Overlay District. All ground floor windows included in the calculations in the table below will have a light transmittance ratio of 0.6 or greater and the bottom of each window is located within 4 feet of the adjacent grade. Alternative compliance is requested for the amount of ground floor windows facing the parking lot.
- The active uses on the ground floor of the addition would occupy 100 percent of the frontage facing both streets.
- The proposed roof of the addition is flat. There is a mix of flat and pitched roofs in the surrounding area. A flat roof minimizes the impact of the massing of the building.

Table I. Percentage of Windows Required for Elevations Facing a Public Street, Sidewalk, Pathway, or On-Site Parking

| | | Code Requirement | | Proposed per floor | |
|--------------------------------|--|------------------|-------------------|--------------------|-------------|
| West (Upton) | 1 st Floor | 30% minimum | 168 sq. ft. | 58% | 324 sq. ft. |
| | 2 nd /3 rd Floor | 10% minimum | 77 sq. ft. each | 34% | 261 sq. ft. |
| South (44 th St) | 1 st Floor | 30% minimum | 125 sq. ft. | 40% | 166 sq. ft. |
| | 2 nd /3 rd Floor | 10% minimum | 57.2 sq. ft. each | 27% | 155 sq. ft. |
| East (parking) | 1 st Floor | 30% minimum | 168 sq. ft. | 17.5% | 98 sq. ft. |
| | 2 nd /3 rd Floor | 10% minimum | 77 sq. ft. each | 17% | 134 sq. ft. |

Access and Circulation – Meets requirements

- Walkways will connect the building entrances to the Upton Avenue public sidewalk and parking area. However, there is not a connection between the back entrances and the 44th Street sidewalk. An accessible parking space is the closest space to 44th Street. To provide a walkway, it would need to overlap the access aisle for the accessible space. There is also a transformer pad proposed 3 feet from the building. However, providing a 4 foot wide walkway connection appears feasible. Therefore CPED staff is recommending that a walkway connecting to 44th Street is provided.
- There are no transit shelters adjacent to the site and none are proposed.
- Vehicle access and circulation is designed to minimize conflicts with pedestrians and adjacent residential uses. Three existing curb cuts will be consolidated into one 20 foot wide curb cut for the proposed parking area. All maneuvering is designed to occur on-site.
- The site is not adjacent to a public alley.
- The site plan has been designed to minimize the use of impervious surfaces for the parking area.

Landscaping and Screening – Requires alternative compliance

- Landscaping is primarily proposed around the perimeter of the site. Overall, 13.6 percent of the site not occupied by the building will be landscaped. Alternative compliance is requested to provide less than 20 percent landscaping. The proposed trees and shrubs will comply with the

minimum requirements. See **Table 2**. The remainder of the site will be landscaped with ornamental trees, perennials, ground covers and grasses.

- A 7-foot wide landscaped yard with one canopy tree will be provided along with screening shrubs to meet the landscaping and screening requirements between the parking area and 44th Street.
- The east lot line is adjacent to a residential property. A landscaped yard, 3 to 6 feet in width, is proposed. The proposed yard would contain trees and shrubs to provide the required screening. Alternative compliance is requested to allow the yard to be less than 7 feet in width.
- All corners of the parking lot not available for parking or maneuvering will be landscaped.
- All parking spaces would be located within 50 feet of an on-site tree.
- All areas not occupied by building, patio or parking will be landscaped.
- The landscape plan indicates that the installation and maintenance of all landscape materials will comply with sections 530.200 and 530.210 of the zoning code.

Table 2. Landscaping and Screening Requirements

| | Code Requirement | Proposed |
|--------------------------------------|-------------------------|-----------------|
| Lot Area | -- | 10,282 sq. ft. |
| Building footprint | -- | 3,277 sq. ft. |
| Remaining Lot Area | -- | 7005 sq. ft. |
| Landscaping Required | 1,401 sq. ft. | 954 sq. ft. |
| Canopy Trees (1: 500 sq. ft.) | 3 trees | 3 trees |
| Shrubs (1: 100 sq. ft.) | 14 shrubs | 40 shrubs |

Additional Standards – Meets requirements

- Continuous 6-inch by 6-inch concrete curbing is proposed to direct stormwater to the underground storage system. Stormwater flows to the north and east. On-site retention of stormwater is not practical due to the significant grade change on those sides of the property.
- The proposed building will not impede views of important elements of the city, and would be located and arranged to minimize shadowing on public spaces and adjacent properties and to minimize the generation of wind currents at the ground level.
- The site includes crime prevention through environmental design elements. The entrances are clearly visible. There are windows through which people can see in and out on all sides of the building. Lighting will need to comply with section 535.590 of the zoning code. A low fence will separate the patio area from the public sidewalk.
- The existing building is not historically designated and the site is not located with a historic district.

2. Conformance with all applicable regulations of the zoning ordinance.

Offices and general retail sales and services are *permitted* uses in the CI District.

Off-street Parking and Loading – Requires a variance

- The proposed parking lot will provide parking for the new building and the nonresidential building located at 4321 Upton Avenue South because the proposed building is being constructed where an 8 space parking lot used by the existing nonresidential building is located. The proposed building will have two retail spaces (one 1,200 square feet in area and one less than 1,000 square feet) and offices occupying a total of 7,000 square feet of floor area. A

restaurant, Sebastian Joe’s, and an office are located at 4321 Upton Avenue South. There are 28 seats in the Sebastian Joe’s restaurant and the office space is less than 1,000 square feet in area. Requirements for both buildings are provided in the table below. Because there are fewer spaces proposed than required, the applicant is requesting variances to reduce some of the on-site parking requirement as well as the Sebastian Joe’s parking requirement.

Table 3. Vehicle Parking Requirements Per Use (Chapter 541)

| | Minimum Parking Requirement | Applicable Reductions | Total Minimum Requirement | Maximum Parking Allowed | Proposed |
|-------------------------------------|---|---------------------------------|----------------------------------|---|-----------------|
| Office | 1 space per 500 sq. ft. in excess of 4,000 sq. ft. of GFA | (1) bicycle incentive | 5 | 35 (1 space per 200 sq. ft. of GFA) | 4 |
| Retail 1 | 1 space per 500 sq. ft. in excess of 4,000 sq. ft. of GFA, but not less than 4 spaces | (1) bicycle incentive | 3 | 6 (1 space per 200 sq. ft. of GFA) | 2 |
| Retail 2 | None for nonresidential uses less than 1,000 sq. ft. in area | -- | 0 | 5 (1 space per 200 sq. ft. of GFA) | 0 |
| Restaurant (Sebastian Joe’s) | 1 space per 3 seats | (1) grandfathered parking space | 8 | 13 (150% of the minimum parking requirement) | 6 |
| Office (4321 Upton Ave S) | None for nonresidential uses less than 1,000 sq. ft. in area | -- | 0 | 5 (1 space per 200 sq. ft. of GFA) | 0 |
| Total | 19 | (3) | 16 | 64 | 12 |

Table 4. Bicycle Parking and Loading Requirements (Chapter 54I)

| | Minimum Bicycle Parking | Minimum Short-Term | Minimum Long-Term | Proposed | Loading Requirement | Proposed |
|---------------|--------------------------------|---------------------------|--------------------------|-----------------------------------|---|--|
| Office | 3 | N/A | 2 | 14 (8 short-term and 6 long-term) | Adequate shipping and receiving facilities, accessible by motor vehicles off any service drive or open space on the same zoning lot | Access from drive aisle in parking lot |
| Retail | 3 | 2 | N/A | | | |

Building Bulk and Height – Requires a conditional use permit

- The maximum height in the CI district and the SH overlay district is 2.5 stories or 35 feet, whichever is less. The proposed height is 3 stories and 39 feet, 8 inches, including a 3 foot tall parapet, for the building, with an additional 13 feet, 8 inches above the third floor roof for mechanicals and elevator and staircase overruns. The height is measured from the front lot line, which is adjacent to 44th Street. A conditional use permit is required to increase the maximum allowed height. Although mechanicals and elevator and staircase overruns less than 14 feet in height are not subject to the height restrictions in the CI district, they are subject to the height limitations in the SH overlay district.

Table 5. Building Bulk and Height Requirements

| | Code Requirement | Proposed |
|--|---|---|
| Lot Area | -- | 10,282 sq. ft. / 0.24 acres |
| Gross Floor Area (GFA) | -- | 12,138 sq. ft. |
| Maximum Floor Area Ratio (GFA/Lot Area) | 1.7 | 1.18 |
| Maximum GFA of Commercial Uses | 8,000 sq. ft. | Offices, at a total of 7,000 sq. ft. of floor area, would occupy the most space in the building |
| Maximum Building Height | 2.5 stories or 35 feet, whichever is less | 3 stories, 50 ft. 2 in. to the tallets part of the structure as measured from the front of the property (44 th St) |

Lot Requirements – Not applicable

Applicable Yard Requirements – Requires a variance

- The parking area, retaining wall not retaining natural grade, and the walkway/ramp are not permitted obstruction in the east interior side yard. A variance is required to allow them.

Table 6. Minimum Yard Requirements

| | Zoning District | Overriding Regulations | Total Requirement | Proposed |
|---------------------------------------|---|---|--|--|
| Front (44 th St) | 6 ft. for 25 ft. from the adjacent residential property | Established setback-- Driveways are permitted obstructions | 6 ft. | 6 ft. |
| Interior Side (East) | 5+2x ft. | -- | 9 ft. for the building/ 5 ft. for other obstructions | >9 ft. for the building/ variances requested for other obstructions |

Signs – Not applicable

- Signs are subject to Chapters [531](#) and [543](#) of the Zoning Code.
- No new signage is proposed as part of the project at this time. Any proposed signage will require Zoning Office review, approval, and permits.

Refuse Storage Screening – Meets requirements

- Refuse storage containers are required to be enclosed on all four sides by screening compatible with the principal structure not less than two feet higher than the refuse container or shall be otherwise effectively screened from the street, adjacent residential uses located in a residence or office residence district and adjacent permitted or conditional residential uses. The refuse storage containers will be located at the north end of the parking and screened on all sides with a brick enclosure.

Screening of Mechanical Equipment – Meets requirements

- All mechanical equipment is required to be arranged so as to minimize visual impact by using screening and must comply with Chapter [535](#) and district requirements. Mechanical equipment will be located on the roof. Although the 3 foot tall parapet would screen the equipment from the ground level, the height of the rooftop equipment is not identified to verify it is sufficiently screened from surrounding uses. A condition of approval is included in the recommendation to ensure that sufficient screening will be provided. A ground level transformer is also proposed that will be sufficiently screened by landscaping.

Lighting – Lighting plan required

- Lighting must comply with Chapter [535](#) and Chapter [541](#) of the zoning code. A lighting plan was not provided as part of the application. One will need to be provided with the final plans.

Lot Coverage – Not applicable

Impervious Surface Area – Not applicable

Specific Development Standards – Not applicable

LH Linden Hills Overlay District Standards – Requires alternative compliance

- The site would not contain any uses or signs prohibited by the district or other uses with special requirements in the district.
- The building would be located with 8 feet of the lot lines next to each adjacent street. The retail entrances would face Upton Avenue.
- The ground floor walls facing Upton Avenue and 44th Street would contain 40 percent or more windows. The windows would allow views into and out of the building and would be distributed more or less evenly.
- The parking lot would be located at the interior of the site with a driveway and curb cut not exceeding 20 feet of street frontage.
- The proposed amount of parking does not exceed 150 percent of the minimum requirement.
- The proposed development will comply with all of the LH overlay district site plan review requirements, except the landscaped yard width requirement adjacent to the east lot line. The Planning Commission is authorized to make exceptions to these standards upon finding that the use or development includes site amenities that address any adverse effects of the exception or where the planning commission finds that strict adherence to the requirements is impractical because of site location or conditions. This request for an exception is discussed in the alternative compliance section below.

SH Shoreland Overlay District Standards – Meets requirements

- The site is not located on a steep slope or within 40 feet of the top of a steep slope.
- With the exception of the height of the building, the proposal would comply with all other SH overlay district requirements.

3. Conformance with the applicable policies of The Minneapolis Plan for Sustainable Growth.

With the adoption of the staff recommendation, the site plan will be consistent with the applicable policies of the comprehensive plan. In addition to the principals and policies identified in the conditional use permit section of this report, the following also apply to this development:

Land Use Policy 1.3: Ensure that development plans incorporate appropriate transportation access and facilities, particularly for bicycle, pedestrian, and transit.

1.3.1 Require safe, convenient, and direct pedestrian connections between principal building entrances and the public right-of-way in all new development and, where practical, in conjunction with renovation and expansion of existing buildings.

1.3.2 Ensure the provision of high quality transit, bicycle, and pedestrian access to and within designated land use features.

Land Use Policy 1.4: Develop and maintain strong and successful commercial and mixed use areas with a wide range of character and functions to serve the needs of current and future users.

1.4.1 Support a variety of commercial districts and corridors of varying size, intensity of development, mix of uses, and market served.

1.4.2 Promote standards that help make commercial districts and corridors desirable, viable, and distinctly urban, including: diversity of activity, safety for pedestrians, access to desirable goods and amenities, attractive streetscape elements, density and variety of uses to encourage walking, and architectural elements to add interest at the pedestrian level.

1.4.3 Continue to implement land use controls applicable to all uses and structures located in commercial districts and corridors, including but not limited to maximum occupancy standards, hours open to the public, truck parking, provisions for increasing the maximum height of structures, lot dimension requirements, density bonuses, yard requirements, and enclosed building requirements.

1.4.4 Continue to encourage principles of traditional urban design including site layout that screens off-street parking and loading, buildings that reinforce the street wall, principal entrances that face the public sidewalks, and windows that provide “eyes on the street”.

Land Use Policy 1.5: Promote growth and encourage overall city vitality by directing new commercial and mixed use development to designated corridors and districts.

1.5.1 Support an appropriate mix of uses within a district or corridor with attention to surrounding uses, community needs and preferences, and availability of public facilities.

Urban Design Policy 10.11: Seek new commercial development that is attractive, functional and adds value to the physical environment.

10.11.1 Require the location of new commercial development (office, research and development, and related light manufacturing) to take advantage of locational amenities and coexist with neighbors in mixed-use environments.

10.11.2 Ensure that new commercial developments maximize compatibility with surrounding neighborhoods.

10.11.4 Maximize the year round potential for public transit, biking, and walking in new developments.

Urban Design Policy 10.18: Reduce the visual impact of automobile parking facilities.

10.18.1 Require that parking lots meet or exceed the landscaping and screening requirements of the zoning code, especially along transit corridors, adjacent to residential areas, and areas of transition between land uses.

10.18.2 Parking lots should maintain the existing street face in developed areas and establish them in undeveloped areas through the use of fencing, walls, landscaping or a combination thereof along property lines.

10.18.3 Locate parking lots to the rear or interior of the site.

10.18.4 Provide walkways within parking lots in order to guide pedestrians through the site.

10.18.17 Minimize the width of ingress and egress lanes along the public right of way in order to provide safe pedestrian access across large driveways.

10.18.18 Encourage appropriate land uses to share parking lots to reduce the size and visual impact of parking facilities.

Urban Design Policy 10.19: Landscaping is encouraged in order to complement the scale of the site and its surroundings, enhance the built environment, create and define public and private spaces, buffer and screen, incorporate crime prevention principles, and provide shade, aesthetic appeal, and environmental benefits.

4. Conformance with applicable development plans or objectives adopted by the City Council.

With the adoption of the staff recommendation, the site plan will be consistent with the applicable policies of the small area plan. In addition to the small area plan policies identified in the conditional use permit section of this report, the following also apply to this development:

- New development should reflect the character of the area through articulation, such as massing intervals and varied setbacks. This should be achieved through more than just a change in building materials.
- Encourage building designs that articulate or enliven the rear façade.
- Encourage site designs that use vegetative buffers to reduce the visual impacts of higher density development on adjacent lower density development.
- Ensure that parking facilities maintain and enhance the character of Linden Hills through their location, design and the types of facilities.

5. Alternative compliance.

The Planning Commission or zoning administrator may approve alternatives to any site plan review requirement upon finding that the project meets one of three criteria required for [alternative compliance](#). Alternative compliance is requested for the following requirements:

- **Ground Floor Windows.** On the first floor wall facing the parking lot, at least 30 percent, or 168 square feet, of the wall is required to be windows. The proposed amount of windows is equal to 98 square feet or 17.5 percent. The wall is adjacent to 2 stairwells, 2 bathrooms, 2 entrance vestibules and a mechanical room. Windows have been provided where feasible. Also, windows in excess of the minimum requirements are proposed on the second and third floors that will provide additional natural surveillance of the parking lot. Brick and stone are proposed on the first floor elevation to provide additional architectural features. For these reasons, CPED staff is recommending that the Planning Commission grant alternative compliance.
- **Landscaped Area.** At least 20 percent of the site not covered by the building is required to be landscaped, or 1,401 square feet. The proposed amount of on-site landscaped area is equal to 954 square feet, or 13.6 percent. Because parking spaces or the patio would need to be eliminated to provide additional landscaped area, an enhanced landscape plan that includes a variety of plant types with seasonal interest is proposed as an alternative. In addition to providing the 3 required canopy trees, 3 ornamental trees are proposed. The proposed amount of shrubs greatly exceeds the minimum requirement as well. The remaining landscaped areas

will be planted with perennials, grasses and ground covers. For these reasons, CPED staff is recommending that the Planning Commission grant alternative compliance.

- **Landscaped Yard.** A residential use is located adjacent to the east lot line. A 7-foot wide landscaped yard with screening that is 95 percent opaque and 6 feet tall is required between a parking area and a residential use. A 5-foot landscaped yard is required as part of the LH Linden Hills Overlay District site plan review standards. The proposed landscaped yard would be 3 to 6.5 feet in width, but would fully comply with the screening requirements. The applicant is also requesting a variance to reduce the minimum interior side yard requirement adjacent to the east lot line from 5 feet up to 3 feet to allow the parking area. CPED staff is recommending that the Planning Commission approve the variance. The width of the site narrows from south to north, which is why the landscaped yard is not consistent in width. Allowing the landscaped yard to be narrower should have a minimal impact on the adjacent residential property. The parking spaces are located on the west side of the parking area so that the only part of the parking area that will extend into the required yard is the curbing and drive aisle. This orientation, along with trees and a hedge, will lessen any adverse impacts on the adjacent residence. Stormwater runoff will be directed to a catch basin and underground storage tank. For these reasons, CPED staff is recommending that the Planning Commission grant alternative compliance.

RECOMMENDATIONS

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt staff findings for the application(s) by South Upton Properties Partnership for the properties located at 4353 Upton Avenue South and 2720 44th Street West:

A. Conditional Use Permit to increase the maximum height in the CI Neighborhood Commercial District and the SH Shoreland Overlay District.

Recommended motion: Approve the conditional use permit to increase the maximum height from 2.5 to 3 stories and from 35 feet to 39 feet, 8 inches for the building, including a 3 foot tall parapet, rising an additional 13 feet, 8 inches above the third floor roof for mechanicals and elevator and staircase overruns, subject to the following condition:

- I. The conditional use permit shall be recorded with Hennepin County as required by Minn. Stat. 462.3595, subd. 4 before building permits may be issued or before the use or activity requiring a conditional use permit may commence. Unless extended by the zoning administrator, the conditional use permit shall expire if it is not recorded within two years of approval.

B. Variance to reduce the minimum interior side yard requirement.

Recommended motion: Approve the variance to reduce the minimum interior side yard requirement adjacent to the east lot line to allow the parking area, retaining walls not retaining natural grade, and a walkway/ramp.

C. Variance to reduce the minimum parking requirement.

Recommended motion: Approve the variance to reduce the minimum parking requirement from 8 spaces to 6 spaces, subject to the following condition:

- I. At least 14 bicycle spaces shall be provided.

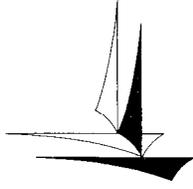
D. Site Plan Review.

Recommended motion: Approve the site plan review to allow a new mixed use building, subject to the following conditions:

1. A walkway, at least 4 feet in width, shall provide a connection between 44th Street and the entrances facing the parking lot as required by section 530.130 of the zoning code.
2. All mechanical equipment shall be screened as required by section 535.70 of the zoning code.
3. Department of Community Planning and Economic Development staff review and approval of the final building elevations, floor, site, lighting and landscape plans.
4. Site improvements required by Chapter 530 or by the City Planning Commission shall be completed by March 16, 2017, unless extended by the Zoning Administrator, or the permit may be revoked for non-compliance.

ATTACHMENTS

1. Preliminary Development Review report
2. Written description and findings submitted by applicant
3. Zoning map
4. Photos
5. Site survey
6. Civil drawings
7. Site plan
8. Landscaping plan
9. Floor plans
10. Building elevations
11. Context study
12. Renderings
13. Correspondence



Minneapolis Development Review
250 South 4th Street
Room 300
Minneapolis, MN 55415

Preliminary Development Review Report

Development Coordinator Assigned: **PATRICIA MURZYN**
(612) 673-5827
patricia.murzyn@minneapolismn.gov

| |
|----------------------------------|
| Status * |
| RESUBMISSION REQUIRED |

| | |
|-------------------------|---|
| Tracking Number: | PDR 1001275 |
| Applicant: | PELLIZZER MICHAEL & TIM 4301 NICOLLET AVE S MINNEAPOLIS, MN 55409 |
| Site Address: | 4321 UPTON AVE S 2720 44TH ST W 4353 UPTON AVE S |
| Date Submitted: | 13-JAN-2015 |
| Date Reviewed: | 21-JAN-2015 |

Purpose

The purpose of the Preliminary Development Review (PDR) is to provide Customers with comments about their proposed development. City personnel, who specialize in various disciplines, review site plans to identify issues and provide feedback to the Customers to assist them in developing their final site plans.

The City of Minneapolis encourages the use of green building techniques. For additional information please check out our green building web page at: http://www.ci.minneapolis.mn.us/mdr/GreenBuildingOptions_home.asp.

DISCLAIMER: *The information in this review is based solely on the preliminary site plan submitted. The comments contained in this report are preliminary ONLY and are subject to modification.*

Project Scope

Construct new 3 story commercial office/retail space.

Review Findings (by Discipline)

□ Addressing

- Per City of Minneapolis Street Naming and Address Standard V1.22, the City of Minneapolis holds authority for assignment of all addresses, verification, change, and/or additions. Each assigned address number uses the street that provides the best/direct access for life safety equipment and best/direct access to the occupants.
- The structure address for the proposed office building will be 4353 Upton Avenue South.
 - Retail space #2 will also be addressed as 4353 Upton Avenue South.
 - Retail space #1 will be addressed 4357 Upton Avenue South.
 - The office vestibule with access to the upper floors office space will be addressed 2728 44th Street West.
- These addresses meets the City of Minneapolis Street Naming and Address Standard requirements.

*Approved: You may continue to the next phase of developing your project.

*Resubmission Required: You cannot move forward or obtain permits until your plans have been resubmitted and approved.

□ Business Licensing

- Continue to work with Patty Murzyn (612-673-5827) concerning a Food Plan Review, SAC determination, and any business license application submittal that would be required should a food related business occupy any of the of the future retail space.

□ Zoning - Planning

The following land use applications are required:

1. conditional use permit to increase the height of the building;
 2. Variance to reduce the interior side yard requirement adjacent to the east lot line to allow the parking area, trash enclosure and walkway;
 3. Variance to reduce the front yard requirement adjacent to 44th St to allow the parking area;
 4. Variance of the Linden Hills Overlay District standards to allow a driveway more than 20 feet wide;
 5. Variance of the Linden Hills Overlay District standards to allow less than 40% windows on the south elevation;
 6. Site plan review, including alternative compliance for the landscaped yard requirements of Chapter 530 and the Linden Hills Overlay District standards and the window requirements on the east first floor building elevation.
- Show the transformer on the landscaping plan. Transformers need to be screened as required by section 535.70 of the zoning code.
 - A lighting plan will need to be provided that shows how the site will comply with section 535.590 of the zoning code.
 - On the building elevations, identify if the ground floor windows will be tinted or clear and the visible light transmittance ratio. Compliance with section 530.120 will need to be indicated or alternative compliance will need to be requested.
 - Provide elevations of the trash enclosure.
 - Once a land use application is submitted, additional applications or materials may be required.
 - The Planning Commission may require additional changes.

□ Parks - Forestry

- Contact Craig Pinkalla (612-499-9233 cpinkalla@minneapolisparks.org) regarding any questions related to planting, removal or the process for protection of trees during construction in the city right of way.
- Indicate the boulevard widths on the plan.
- Add narrative on how the boulevard tree on W 44th St will be handled.
- Effective January 1, 2014, the City of Minneapolis and the Minneapolis Park and Recreation Board adopted an update to the existing Parkland Dedication Ordinance. The adopted City of Minneapolis Parkland Dedication ordinance is located in Section 598.340 of the City's Land Subdivision ordinance:
 - <http://library.municode.com/index.aspx?clientId=11490>.
- As adopted, the fee in lieu of dedication for new residential units is \$1,500 per unit (affordable units excluded per ordinance) and for commercial and industrial development it is \$200 per development employee (as defined in ordinance). Any dedication fee (if required) must be paid at the time of building permit issuance.
- There is also an administration fee that is 5% of the calculated park dedication fee.
- As proposed, for your PROJECT, the calculated dedication fee is as follows:
- Park Dedication Fee Calculation =

| | |
|---|-----------|
| • Non-Residential Commercial Space | = \$3,000 |
| • 5% of \$XX (Administration Fee) | = \$ 150 |
| • Total Park Dedication Administrative Fee: | \$3,150 |
- This is a preliminary calculation based on your current proposal; a final calculation will be made at the time of building permit submittal.
- For further information, please contact Patty Murzyn 612-673-5827.

❑ Construction Code Services

- The accessible route should be clarified on the final submittal. The entry routes and access path details will be needed. It is unclear if landings, slopes and required 60% entry provisions will be met.

❑ Fire Safety

- Provide required fire suppression system throughout building.
- Fire department connection must be located on the address side of building and within 150 feet of a fire hydrant.
- Provide and maintain fire apparatus access at all times.
- Any questions regarding Fire Safety comments contact Mike Raeker (612-673-2646 or Mike.Raeker@minneapolismn.gov).

❑ Street Design

- The plan as submitted meets the requirements of the Public Works Street Design Division.

❑ Right of Way

- An encroachment permit shall be required for all streetscape elements in the Public right-of-way such as: plants & shrubs, planters, tree grates and other landscaping elements, sidewalk furniture (including bike racks and bollards), and sidewalk elements other than standard concrete walkways such as pavers, stairs, raised landings, retaining walls, access ramps, and railings (NOTE: railings may not extend into the sidewalk pedestrian area). Please contact Bob Boblett at (612) 673-2428 for further information.
- Contact Paul Cao at (612) 673-2943 for position and alignment of bike racks proposed in the Public right-of-way. If the racks are privately owned, they will require an encroachment permit.
- The Applicant shall provide complete details of the segmented retaining wall and piers as proposed along Upton Ave. S.
- Note to the Applicant: Any elements of an earth retention system and related operations (such as construction crane boom swings) that fall within the Public right-of-way will require an encroachment permit application. If there are to be any earth retention systems which will extend outside the property line of the development then a plan must be submitted showing details of the system. All such elements shall be removed from the Public right-of-way following construction with the exception of tie-backs which may remain but must be uncoupled and de-tensioned. Please contact Bob Boblett at (612) 673-2428 for further information.
- In addition, any elements of an earth retention system and related excavations that fall within the Public right-of-way will require a "Right-of-Way Excavation Permit". This permit is typically issued to the General Contractor just prior to the start of construction. However, it is the Applicant's responsibility to insure that all required permits have been acquired by its consultants, contractors, sub-contractor's prior to the start of work.

❑ Sidewalk

- Note to the Applicant: Any sidewalk or other concrete infrastructure in the public right of way that is currently defective, or that is damaged during site development shall be removed and replaced by a contractor who has obtained a Sidewalk Construction Permit. Call 612-673-2420 to obtain a Sidewalk Construction Permit.
- The public sidewalk width along Upton Ave. S. as shown is not wide enough to allow for signage and for pedestrian use. The public sidewalk should have at least a 6 foot wide clear public sidewalk area for pedestrian use.

❑ Water

- The plan as submitted meets the requirements of the Public Works Water Maintenance & Distribution Division.

□ Traffic and Parking

- Please contact Bill Prince at (612) 673-3901 regarding existing and proposed street lighting. All street lighting (existing and proposed) shall be shown clearly on the site plan.
- The Applicant shall note the location of any existing Metro Transit "bus stops" on the site plan.
- Current ordinance states that all maneuvers associated with loading, parking or sanitation pick up for a private development shall occur on private property. Please provide a narrative explaining the trash removal operations and show turning maneuvers for all truck type vehicles that will be using the site and loading/parking entrance areas. A Solid Waste Collection Point (SWCP) shall be identified on the site plans; per City Ordinance (Section 2, Ch. 225, Article V - 225.750. Solid waste collection point (SWCP):
 - (a) Every lot containing a building regularly used for human habitation shall provide a solid waste collection point (SWCP), to facilitate the temporary storage and collection of solid waste, recyclable materials and yard waste if there is a yard. Any solid waste, recyclables, yard waste and other materials being put out for collection shall be stored in appropriate containers as required by this Code and placed in the location established as the SWCP.
 - (b) The SWCP shall be established at or near the alley line, or at or near the rear entrance or rear wall of the building for commercial, industrial and institutional properties, or as otherwise determined by the Director of Public Works.
- Note to the Applicant: Please add the following notes to the site plan:
 - Street lighting installed as part of the Project shall be inspected by the City. Contractors shall arrange for inspections with the Traffic Department, please contact Dave Prehall at (612) 673-5759 for further information. Any lighting installations not meeting City specifications will be required to be reinstalled at Owner expense.
 - An obstruction permit is required anytime construction work is performed in the Public right-of-way. Please contact Scott Kramer at (612) 673-2383 regarding details of sidewalk and lane closures. Log on to <http://minneapolis.mn.roway.net/> for a permit.
 - Contact Allan Klugman at (612) 673-2743 prior to construction for the temporary removal/temporary relocation of any City of Minneapolis signal system that may be in the way of construction.
 - All costs for relocation and/or repair of City Traffic facilities shall be borne by the Contractor and/or Property Owner.
 - Contact Doug Maday at (612) 673-5755 prior to construction for the removal of any City of Minneapolis right of way signs that may be in the way of construction.

□ Sewer Design

- Stormwater Management: The 6" storm pipe discharging from the underground treatment system may be problematic with the adjacent property. At a minimum the discharge location should be directed to a green space and allowed to flow along a swale for a distance prior to discharging onto the adjacent property. It is recommended that you allow the adjacent property owner to review and approve the plan.
- The City will evaluate if sufficient capacity is available in the storm sewer in 44th St W to allow the outlet from the underground infiltration system to be connected to the storm sewer there instead of discharging at grade to the rear of the property. Please evaluate if this is feasible for the site. If so, further direction will be given as to the appropriate discharge location.
- It is recommended that an operations and maintenance plan be developed for the proposed infiltration feature. This will help ensure the future property owner understands the maintenance needs of the system. If a stormwater utility fee credit is requested for the site, an O&M plan will be required.
- The proposed project is located within the Minnehaha Creek Watershed District, which has a separate review process from that of the City. Please note it may be necessary to obtain approvals or permits from Minnehaha Creek Watershed District.
- For comments or questions on Public Works Surface Water & Sewers Division related requirements please contact Jeremy Strehlo, (Professional Engineer) at (612) 673-3973, or jeremy.strehlo@minneapolismn.gov.

□ Environmental Health

- City records indicate that 4325-29 Upton Ave S property was a former gas station that opened in 1924 and operated through approximately 1954 when Minneapolis Fire Department (MFD) reported the station as closed but the tanks were still present. Fire Department records indicated that there was 2 - 1,000 gallon and 1 - 550 underground storage tanks on site. MFD records indicated the tanks were removed in 1957. There is no report on the condition of the tanks when they were removed.
- It is recommended to advance soil borings in the area of the former tank basin to verify that no petroleum contamination is present. If the tests return positive for detectable levels it is recommended the project enter the Petroleum Brownfields program at the Minnesota Pollution Control Agency and obtain a letter of no association for the site contamination. Part of the approval will involve development of a plan on addressing impacted soils when they are encountered. Additional permits and approvals are required for specific activities from Minneapolis Environmental Services as identified below. If impacted soil is encountered during site activities call the MN State Duty officer at (615) 649-5451.
- The project should advance piezometers on the site to determine the current water table and monitor for fluctuations in the static water level. If dewatering is required during site construction see below for city permit requirements. Final grade if subgrade structures should be designed located above the local water and designed to prevent infiltration of groundwater if levels fluctuate to eliminate the need for a permanent dewatering system being installed. If a continuously operating permanent dewatering system is needed it must be approved as part of the sanitary sewer and storm drain site plan approval prior to construction beginning.
- No construction, demolition or commercial power maintenance equipment shall be operated within the city between the hours of 6:00 p.m. and 7:00 a.m. on weekdays or during any hours on Saturdays, Sundays and state and federal holidays, except under permit. Contact Environmental Services at 612-673-3867 for permit information.
- Permits and approval are required from Environmental Services for the following activities: Temporary storage of impacted soils on site prior to disposal or reuse; Reuse of impacted soils on site; Dewatering and discharge of accumulated storm water or ground water, underground or aboveground tank installation or removal, well construction or sealing. Contact Tom Frame at 612-673-5807 for permit applications and approvals.

□ Historical Preservation Committee

- There is no HPC flag on this property. HPC review is not required at this time. HPC review is required for any wrecking permits pertaining to the removal of any existing structures.

END OF REPORT

**South Upton Development
Application for Land Use Approvals
Revised February 10, 2015**

Statement of Proposed Use and Project Description

The South Upton Building project site is located on the northeast corner of the intersection of Upton Avenue South and 44th Street West in the Linden Hills Neighborhood Commercial Node. The project site is comprised of two lots: 4353 Upton, which is a surface parking lot on the corner, and 2720 44th Street West, which contains a 2.5-story duplex. Both properties are zoned C1 Neighborhood Commercial District and are located within the Shoreland Overlay District and the Linden Hills Overlay District.

The South Upton Building will be a 3-story, 12,000 sf retail and office building constructed on the corner in place of the surface parking lot. There will be two, small retail spaces on the ground floor and approximately 7,000 sf of office space on the second and third floors and including a walk-out, multi-purpose gathering space in the basement level. A rooftop patio will be accessed via the elevator and stair penthouses. The height to the top of the building parapet is 39'-4" and to the top of the elevator penthouse is 50'-10". The facades will be clad in limestone, brick, and metal panels and incorporate large, storefront windows. A 12-stall parking lot will be constructed behind the building, to be accessed from 44th Street.

The South Upton project site is south of and adjacent to 4321 Upton, on which the Sebastian Joe's Ice Cream restaurant is located and which is also owned by the developer/owners of the South Upton project site. Although the Sebastian Joe's lot will continue to be a separate zoning and tax lot, the two properties will share use of the relocated parking lot and trash enclosures.

**Conditional Use Permit for Additional Height
Required Findings**

A conditional use permit is being applied for to allow a building height of 3 stories/50'-10", which exceeds the 2.5 story, 35-foot limit of the Shoreland Overlay District. The request for increased height for the project meets the required findings for the issuance of a conditional use permit under § 525.340 and the additional considerations for increased height and Shoreland development.

1) *That the establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, comfort or general welfare.*

A new, 3-story building will not be detrimental to or endanger the public health, safety, comfort or general welfare. The height to the top of the third story parapet is 39.25 feet, only a few feet above the 35-foot Shoreland standard. The project site is at the edge of the 1000-foot Shoreland Overlay District and is not within view from Lake Harriet because of the topography between the lake and project site. The development will comply with all applicable building codes, life safety ordinances, stormwater management and other Public Works requirements.

2) *The conditional use will not be injurious to the use and enjoyment of other property in the vicinity and will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district or substantially diminish property value.*

The proposed 3-story building will not be injurious to the use and enjoyment of other property, nor impede the normal and orderly development of the area. Redevelopment of a corner surface parking lot

and duplex building with a retail and office building will be an enhancement to the Linden Hills commercial node. The proposed redevelopment is consistent with land use guidance for the site and will be a significant aesthetic improvement that will improve the character and value of the property.

3) *Adequate utilities, access roads, drainage, necessary facilities and other measures have been or will be provided.*

Adequate utilities, access, drainage, and other necessary facilities will be provided for the project and the development team will continue to work closely with Public Works, Plan Review and Planning staff to comply with City and other applicable requirements.

4) *Adequate measures have been or will be taken to minimize traffic congestion in the public streets.*

The additional height of the building will have no impact on traffic congestion in the public streets.

5) *The conditional use is consistent with the applicable policies of the comprehensive plan.*

The City's comprehensive plan, the *Minneapolis Plan for Sustainable Growth*, guides the project site as Mixed Use. Mixed use may include either a mix of retail, office or residential uses within a building or within a district. The South Upton Building will have a mix of retail and office uses. The site is also within the Linden Hills Neighborhood Commercial Node. Land Use Policy 1.11 of the comprehensive plan seeks to "preserve and enhance a system of Neighborhood Commercial Nodes that includes a mix of housing, neighborhood-serving retail, and community uses." The following implementation steps for this policy are applicable to the project:

1.11.2 Support the continued presence of small-scale, neighborhood serving retail and commercial services in Neighborhood Commercial Nodes.

1.11.4 Encourage a height of at least two stories for new buildings in Neighborhood Commercial Nodes, in keeping with neighborhood character.

The South Upton Building will provide new opportunities for neighborhood serving retail uses on the ground floor and for other commercial services in the upper office floors. The proposed 3-story height is consistent with guidance for Neighborhood Commercial Nodes.

The project site is within the study area of the recently adopted Linden Hills Neighborhood Small Area Plan (the "LH Plan"). LH Plan goals and policies for land use development and intensity include the following that apply to the proposed project:

Goal 1. Keep and enhance what makes Linden Hills' commercial districts special.

Policies:

1.2 Facilitate the cooperation between the Linden Hills Neighborhood Council and the Linden Hills Business Association, and collaboration with the City, on strategies and programs to strengthen and retain existing businesses, as well as to recruit complementary new businesses.

Goal 2. Ensure appropriately-scaled redevelopment.

Policies:

2.1 Encourage development that reinforces the 43rd & Upton, 44 & Beard, and 44th & France Neighborhood Commercial nodes and appropriately connects them along 44th Street.

2.2 Promote measures to facilitate new investment that embrace economic, environmental, and social sustainability.

Redevelopment of the site will enhance and promote the economic sustainability of the Linden Hills' 43rd & Upton commercial node, consistent with the above goals and policies.

With respect to building and site design, the LH Plan includes the following goal, policy and implementation recommendations:

Goal 2. Ensure appropriately-scaled redevelopment.

Policies:

2.3 Promote contextual infill redevelopment through policies and regulations that address the width, length, massing and height of new development, building expansions, and renovations.

Specific Implementation Recommendations:

Building Height & Length

- A maximum height of three or four stories is allowed for multifamily residential & mixed use buildings within the three neighborhood commercial nodes and along the community corridors of 44th Street West (from Upton to France Avenues) and France Avenue (Glendale to 46th Street W) where the future land use is identified as medium or high density.
- Encourage overall building heights and floor-to-floor heights that reflect the adjacent architectural context and encourage buildings that are shorter than the current Zoning Code maximums for 3 and 4 story buildings (42 feet and 56 feet respectively).

The 3-story, 39'-4" height of the new building, plus height to the top of elevator penthouse of 50'-10", complies with this guidance.

6) The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.

With approval of the other zoning applications for the project, it will conform to the applicable regulations of the C1 District and the Shoreland and Linden Hills Overlay Districts.

Additional factors to be considered when determining an increase in height per §548.110.

(1) Access to light and air of surrounding properties.

The proposed 3-story building will not impede access to light and air for surrounding properties. Public right-of-way separates the proposed development from other properties to the south and west. The accessory parking lot lies between the building and the property to the east. The South Upton Building will be 23 feet from the existing Sebastian Joe's building at the walk-out basement level and more than that at floors 1 – 3.

(2) Shadowing of residential properties, significant public spaces, or existing solar energy systems.

The building will not shadow significant public spaces or known solar energy systems. Because it is only 3 stories and is separated from the 6-story condominium building to the west by Upton Avenue and from the 2-story apartment building to the east by the parking lot, it will cast minimal shadows on residential properties.

(3) The scale and character of surrounding uses.

The South Upton Building is complimentary to the scale and character of surrounding uses which include 2, 4 and 6-story structures. The traditional urban architectural design and facade materials will fit in

nicely with the eclectic character of the commercial node.

(4) *Preservation of views of landmark buildings, significant open spaces or water bodies.*

The project will not block views of landmark buildings, significant open spaces or water bodies.

Additional factors to be considered for conditional use permits in the Shoreland Overlay District:

(1) *The prevention of soil erosion or other possible pollution of public waters, both during and after construction.*

The project will comply with all City requirements for grading and erosion control during demolition and construction. The project will utilize best management practices to manage storm water runoff into landscaped area or the City's storm sewer.

(2) *Limiting the visibility of structures and other development from protected waters.*

Due to the distance, topography and existing development between the project site and the lake, the new building will not be visible from Lake Harriet.

(3) *The suitability of the protected water to safely accommodate the types, uses and numbers of watercraft that the development may generate.*

The development is not likely to generate watercraft activity on the Chain of Lakes.

Variance for Yard Setbacks
Required Findings

Variances are being requested to allow a reduction of the east interior side yard for the parking area and trash enclosure and for the front yard adjacent to 44th Street for the parking area. Uses in the Commercial zoning districts are not generally subject to yard requirements; however, this project is subject to an interior side yard setback and a front yard setback for the first 25 feet from the east lot line because it is adjacent to residentially zoned and used property. The Project meets the required findings for a variance under § 525.500 of the Zoning Code.

1) *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

Many City land use policies encourage redevelopment of the existing corner parking lot with a multi-story commercial building constructed to the street edge, but practical difficulties exist in achieving those goals and meeting the setback requirements due to the relatively small lot area, the flag shape of the lot, and the need to provide parking and trash collection access for both the new building and the Sebastian Joe's building (which currently makes use of the corner parking lot). The only reason there are setback requirements is because the adjacent lot to the east is zoned residential. These are unique circumstances not created by the applicant.

2) *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The proposed setbacks are reasonable and consistent with the intent of the ordinances, the

comprehensive plan policies applicable to the site, and the purpose of the zoning districts. Parking areas and trash enclosures are not generally permitted in required yards in order to minimize the impact of those activities on adjacent residential uses. The parking area will be screened from the adjacent residential property by a mix of ornamental trees and evergreen shrubs atop of a retaining wall between the project site and the lower property to the east. The parking stalls are located outside of and facing away from the east lot line, which will reduce the impact on the neighboring property. The parking lot will serve uses with primarily daytime activity. The trash containers will be fully screened.

3) *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

The granting of the variances will not alter the essential character of the area, be injurious to the use or enjoyment of other properties, or be detrimental to the public welfare. The existing surface parking lot abuts a residential use. The character of the area will be enhanced by relocating parking off the corner and replacing it with a new commercial building and uses. The parking drive aisle and the location of the trash enclosures will not be injurious to the adjacent use because of the screening to be provided.

Variance for Parking Required Findings

The parking requirement for the South Upton Building is 4 spaces for the retail uses and 6 spaces for the office. The parking requirement for each of those uses is reduced by 1 space because additional bike parking will be provided, reducing the total parking requirement for the South Upton Building to 8 spaces. The existing parking lot provides parking for the adjacent Sebastian Joe's restaurant. The restaurant has 28 seats and, under the Linden Hills Overlay District regulations, must have 1 off-street parking space for every 3 seats for a parking requirement of 9 spaces. The existing lot has 8 spaces and the restaurant has grandfather rights for 1 space. The relocated shared parking lot will provide 12 spaces to serve both zoning lots. A variance to reduce the parking requirement for the South Upton Building from 8 to 6 spaces is being requested. By separate application, a variance to reduce the parking requirement for Sebastian Joe's from 9 to 6 spaces is also being requested. The Project meets the required findings for a variance under § 525.500 of the Zoning Code.

1) *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

The proposed redevelopment, which will replace a corner surface parking lot with new commercial spaces in the Linden Hills commercial node, relocate the parking area behind the building, improve stormwater management, and reduce curb cuts on both Upton and 44th Street is highly desirable and consistent with City land use goals. However, due to the relatively small area of the South Upton project site and its unusual shape, practical difficulties exist in achieving those goals and providing replacement parking for Sebastian Joe's plus all the off-street parking required under the Zoning Code for the new development, particularly under the higher restaurant parking requirements of the Linden Hills Overlay. These are unique circumstances not created by the applicant.

2) *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The proposed parking is reasonable and consistent with the intent of the ordinances, the comprehensive

plan policies applicable to the site, and the purpose of the zoning districts. The following is the applicable guidance from the City's comprehensive plan related to parking:

Land Use Policy 10.18: Reduce the visual impact of automobile parking facilities.

Implementation Steps.

10.18.1 Require that parking lots meet or exceed the landscaping and screening requirements of the zoning code, especially along transit corridors, adjacent to residential areas, and areas of transition between land uses.

10.18.2 Parking lots should maintain the existing street face in developed areas and establish them in undeveloped areas through the use of fencing, walls, landscaping or a combination thereof along property lines.

10.18.3 Locate parking lots to the rear or interior of the site.

10.18.17 Minimize the width of ingress and egress lanes along the public right of way in order to provide safe pedestrian access across large driveways.

10.18.18 Encourage appropriate land uses to share parking lots to reduce the size and visual impact of parking facilities.

The proposal is consistent with this guidance because it will result in a shared-use parking lot that is relocated from a very visible location on a corner of a commercial node to a much less visible location that will be screened by the new building and landscaping. The existing lot has curb cut access from both Upton Avenue and 44th Street. The new parking lot will be accessed by one, 20-foot wide driveway from 44th Street.

It should be noted that, under the general parking requirements of Chapter 541, the requirement for the approximately 1,500 sf restaurant would only be 4 spaces, and no parking variance would be required for any of the uses in the shared lot. Further, if the Linden Hills Overlay followed the standards of other pedestrian-oriented overlay districts, the parking requirement for all the uses would be reduced to 75% of the Chapter 541 standard and as few as 7 parking spaces would be required with utilization of the bike incentive. The proposed amount of parking is consistent with City policies and regulations that apply in other pedestrian-oriented commercial nodes.

The Linden Hills Small Area Plan includes the following goals and policies related to parking:

Goal 2. Ensure appropriately-scaled redevelopment.

Policies

2.4 Ensure that parking facilities maintain and enhance the character of Linden Hills through their location, design and the types of facilities.

Goal 3. Encourage complementary uses, activity, and public realm enhancements.

Policies

3.1 Facilitate the expansion of alternative transportation choices and infrastructure including walking, cycling, and transit to support active living, public health, and environmental quality.

3.2 Promote a pedestrian-friendly, attractive public realm.

3.3 Calm vehicle traffic to better accommodate walking and cycling while making them safer.

3.4 Manage and reconfigure existing overall supply of parking resources to their maximum potential while also seeking opportunities for expanding car share, bike rental and neighborhood transit circulator service.

The Linden Hills plan also states that "consideration could also be given to refining the zoning regulations to allow for reductions in minimum parking requirements." The proposal is consistent with the Linden

Hills plan guidance because the relocated, shared parking lot and reduction in curb cuts will enhance the pedestrian character of Linden Hills and facilitate walking and cycling modes of travel. The project will provide ample bike parking, further encouraging bicycle use. The reduction in curb cuts will increase the on-street parking supply by at least 2 spaces.

3) The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.

The granting of the variance will not alter the essential character of the area, be injurious to the use or enjoyment of other properties, or be detrimental to the public welfare. As discussed above, the proposal will enhance the pedestrian and bicycle-oriented character of the commercial node. The mix of uses is well-suited for a shared parking arrangement because office use will tend to weekdays and restaurant and retail use to weeknights and weekends. The parking provided is in line with typical parking requirements in the City and will be supplemented by additional on-street spaces.

South Upton Building

13

NAME OF APPLICANT

WARD



PROPERTY ADDRESS

4353 Upton Ave S & 2720 44th St W

FILE NUMBER

BZZ-7022



Figure 1 Corner of 44th and Upton



Figure 2 Corner of 44th and Upton



Figure 3 Corner of 44th and Upton (looking northeast)



Figure 4 Corner of 44th and Upton (looking north)



Figure 5 Corner of 44th and Upton (looking east)



Figure 6 Corner of 44th and Upton (looking east)



Figure 7 South on 44th (looking north)



Figure 8 South on 44th (looking northwest)



Figure 9 Alley (looking north)



Figure 10 Alley (looking southwest)

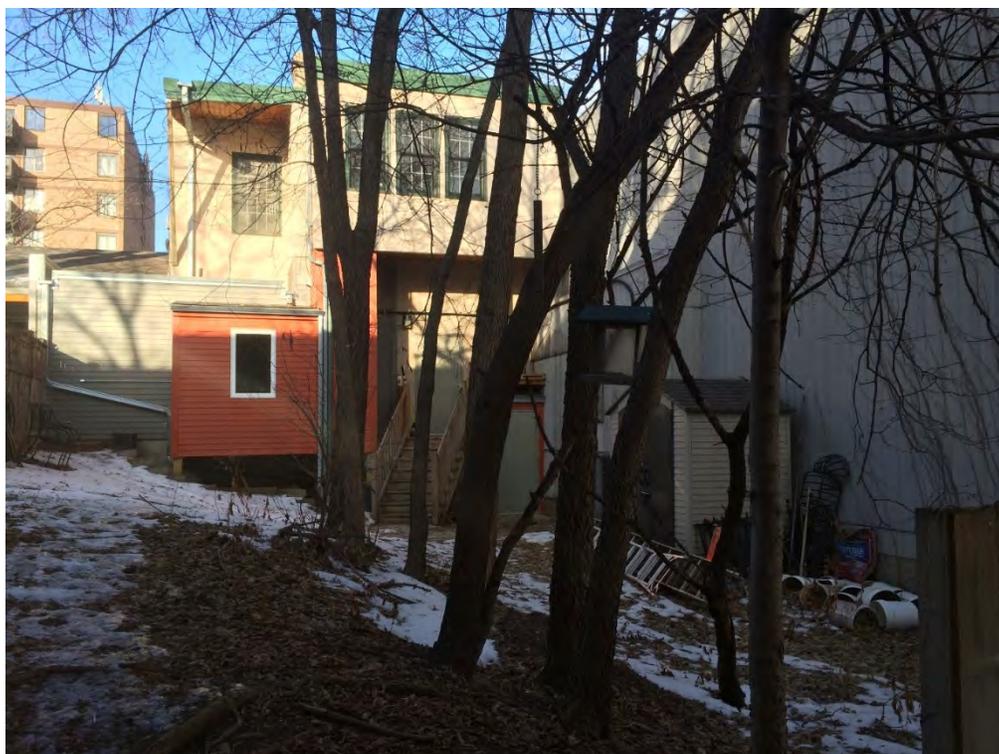


Figure 11 Alley (looking west)



Figure 12 Alley (looking west)



Figure 13 Parking (looking north)



Figure 14 Parking (Looking northwest)



Figure 15 House backyard (looking northeast)



Figure 16 House backyard (looking north)



Figure 17 Sebastian Joe's Patio (looking east)



Figure 18 Upton Avenue (looking south)



Figure 19 Upton Avenue (looking south)



Figure 20 Sebastian Joe's Patio (looking south)



Figure 21 Sebastian Joe's Patio (looking southwest)



Figure 22 Sebastian Joe's Patio (looking northeast)

SOUTH UPTON BUILDING LAND USE APPLICATION SUBMITTAL 01/30/2015



| SHEET INDEX | | |
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| C1.0 | REMOVALS PLAN | 01/30/15 |
| C2.0 | SITE PLAN | 01/30/15 |
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| A200 | ELEVATIONS | 01/30/15 |



SOUTH UPTON BUILDING
 4353 UPTON AVENUE SOUTH MINNEAPOLIS, MINNESOTA

DEVELOPER:

SOUTH UPTON PROPERTIES, LLC

TIM PELLIZZER
MICHAEL PELLIZZER
4301 NICOLLET AVENUE SOUTH
MINNEAPOLIS, MINNESOTA 55409

ARCHITECT:

MOMENTUM DESIGN GROUP, LLC

JEFF WREDE 952-583-9788
BRIAN GADIENT
2395 UNIVERSITY AVENUE WEST
SUITE 206
ST. PAUL, MINNESOTA 55114

STRUCTURAL ENGINEER:

VOIGT & ASSOCIATES, INC

PAUL VOIGT, PE 612-686-7727
4635 NICOLS ROAD, SUITE 204
EAGAN, MINNESOTA 55122

CONSTRUCTION CONSULTANT:

BUILDING CONSTRUCTION MANAGEMENT, INC

JON GUMBRILL 612-672-9183
P.O. BOX 3609
MINNEAPOLIS, MINNESOTA 55403

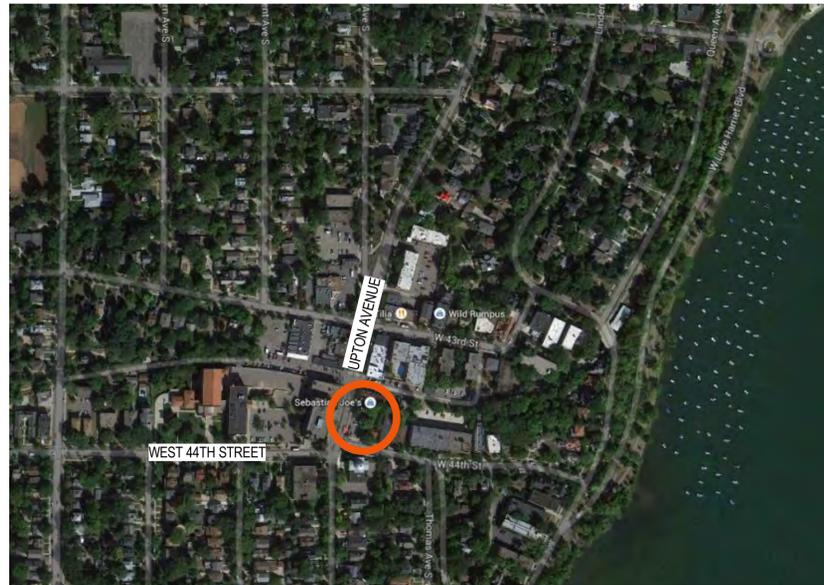
LANDSCAPE ARCHITECT & CIVIL ENGINEER: CIVIL SITE GROUP, INC

PATRICK SARVER, RLA 952-250-2003
MATT PAVEK, PE 763-213-3944
4931 WEST 35TH STREET
SUITE 200
ST. LOUIS PARK, MINNESOTA 55428

MECHANICAL ENGINEER & ELECTRICAL ENGINEER: LINDELL ENGINEERING

TIM JOHNSON 763-542-9163
JEFF TISCHLEDER
3411 KILMER LANE NORTH
PLYMOUTH, MINNESOTA 55441

PROJECT SITE LOCATION:



ABBREVIATIONS:

| | | | | | | | | | | | | | |
|--------|------------------------|----------|---------------------------|-------|---|------|-------------------|-------|-------------------------|--------|------------------|------|-------------------------|
| ABV | -ABOVE | CJ | -CONTROL JOINT | FD | -FLOOR DRAIN | JST | -JOIST | OHD | -OVERHEAD DOOR | RM | -ROOM | UR | -URINAL |
| ACC | -ACCESSIBLE | DTL | -DETAIL | FTG | -FOOTING | LAM | -LAMINATE | PAR | -PARALLEL | RO | -ROUGH OPENING | UNO | -UNLESS NOTED OTHERWISE |
| AFF | -ABOVE FINISHED FLOOR | DIA | -DIAMETER | FND | -FOUNDATION | LAV | -LAVATORY | PART | -PARTITION | R&S | -ROD AND SHELF | VERT | -VERTICAL |
| ARCH | -ARCHITECT | DIM | -DIMENSION | FH | -FIRE HYDRANT | LH | -LEFT HAND | PVMT | -PAVEMENT | SHTG | -SHEATHING | VTR | -VENT THRU ROOF |
| ALUM | -ALUMINUM | DR | -DOOR | GA | -GAGE, GAUGE | LT | -LIGHT | P LAM | -PLASTIC LAMINATE | SHR | -SHOWER | WD | -WOOD |
| APPROX | -APPROXIMATE | DS | -DOWNSPOUT | GALV | -GALVANIZED | MAT | -MATERIAL | PL | -PLATE | SIM | -SIMILAR | WC | -WATER CLOSET |
| BPL | -BEARING PLATE | DWG | -DRAWING | GC | -GENERAL CONTRACTOR | MH | -MANHOLE | PT | -PRESSURE TREATED | SC | -SOLID CORE | WH | -WATER HEATER |
| BM | -BENCH MARK | DF | -DRINKING FOUNTAIN | GB | -GRAB BAR | MFR | -MANUFACTURE | PVC | -POLYVINYL CHLORIDE | SPEC | -SPECIFICATIONS | WP | -WATERPROOFING |
| BLKG | -BLOCKING | ELECT | -ELECTRIC (AL) | HDW | -HARDWARE | MAS | -MASONRY | PSF | -POUNDS PER SQUARE FOOT | SQ | -SQUARE | WR | -WATER RESISTANT |
| BOT | -BOTTOM | EL | -ELEVATION | HVAC | -HEATING/VENTILATION/ AIR CONDITIONING | MO | -MASONRY OPENING | PSI | -POUNDS PER SQUARE INCH | S STL | -STAINLESS STEEL | WWF | -WELDED WIRE FABRIC |
| BOW | -BOTTOM OF WALL | EQ | -EQUAL | HT | -HEIGHT | MTL | -METAL | PC | -PRECAST | SD | -STORM DRAIN | W | -WIDTH, WIDE |
| CIP | -CAST-IN-PLACE | EXH | -EXHAUST | HC | -HANDICAP | MISC | -MISCELLANEOUS | PL | -PROPERTY LINE | STRUCT | -STRUCTURAL | YH | -YARD HYDRANT |
| CB | -CATCH BASIN | EXIST | -EXISTING | HM | -HOLLOW METAL | NIC | -NOT IN CONTRACT | PP | -POWER POLE | SYM | -SYMMETRY (ICAL) | YD | -YARD DRAIN |
| CLG | -CEILING | EJ | -EXPANSION JOINT | HOR | -HORIZONTAL | NTS | -NOT TO SCALE | QT | -QUARRY TILE | THK | -THICKNESS | YI | -YARD INLET |
| CT | -CERAMIC TILE | EXP | -EXPANSION | HB | -HOSE BIBB | NO | -NUMBER | R | -RADIUS | TOC | -TOP OF CONCRETE | | |
| CLR | -CLEAR (ANCE) | EF | -EXHAUST FAN | INCL | -INCLUDE | OC | -ON CENTER | RA | -RETURN AIR | TOS | -TOP OF SLAB | | |
| CONC | -CONCRETE | ELEC PNL | -ELECTRICAL PANEL | ID | -INSIDE DIAMETER | OPNG | -OPENING | RD | -ROOF DRAIN | TOW | -TOP OF WALL | | |
| CMU | -CONCRETE MASONRY UNIT | EWC | -ELECTRIC WATER COOLER | INSUL | -INSULATION | OPP | -OPPOSITE | REF | -REFERENCE | T | -TREAD | | |
| CONST | -CONSTRUCTION | EXT | -EXTERIOR | INT | -INTERIOR | OPH | -OPPOSITE HAND | RF | -ROCK FACE | TYP | -TYPICAL | | |
| CONT | -CONTINUE (OUS) | FPE | -FINISHED FLOOR ELEVATION | INT | -INTERIOR | OD | -OUTSIDE DIAMETER | RH | -RIGHT HAND | TOF | -TOP OF FOOTING | | |
| CRS | -COURSE | FPL | -FIREPLACE | INV | -INVERT | OH | -OVERHEAD | ROW | -RIGHT OF WAY | UNF | -UNFINISHED | | |

| GROSS BUILDING AREA BY FLOOR | | GROSS BUILDING AREA BY USE | |
|------------------------------|-------|----------------------------|----------|
| LOWER LEVEL | 3326 | LOWER LEVEL | |
| FIRST LEVEL | 2924 | Building Common Area | 2325 SF |
| SECOND LEVEL | 2999 | Major Vertical Penetration | 562 SF |
| THIRD LEVEL | 2887 | Office Area | 439 SF |
| Grand total | 12135 | FIRST LEVEL | |
| | | Office Area | 785 SF |
| | | Store Area | 2139 SF |
| | | SECOND LEVEL | |
| | | Office Area | 2999 SF |
| | | THIRD LEVEL | |
| | | Office Area | 2887 SF |
| | | Grand total | 12135 SF |

| | | | |
|--|--|-------------------------|-----------|
| SITE AREA: 10,282 SF = 24 ACRES | | PARKING ANALYSIS | |
| MAX F.A.R. = 1.7 | RETAIL: 1 SPACE = 1000 SF | THUS | 0 STALLS |
| MAX AREA ALLOWED = 1.7 x 10,282 SF = 17,480 SF | OFFICE: 6998 SF - 4000 SF = 2998/500 = 5.9 < 6 | THUS | 4 STALLS |
| (Above Grade Not Including Basement) | (INCLUDES LOWER LEVEL GATHERING SPACE) | | 6 STALLS |
| FAR SF = 8,809 (New Building above grade) | SECURED BIKE RACKS FOR 14 BIKES | | -2 STALLS |
| PROPOSED F.A.R. = 0.5 | TOTAL REQUIRED FOR NEW BUILDING | | 8 STALLS |
| | PARKING PROVIDED | | 12 STALLS |

| | |
|--------------------|----------|
| Date | 01/30/15 |
| Project Architect | N/A |
| Permit Submit Date | |
| Project Number | 12029 |

COVER SHEET

CS

BOUNDARY & TOPOGRAPHIC SURVEY ~for~ CIVIL SITE

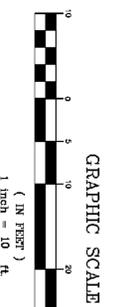
PID# 08.028.24.42.0016
 PID# 08.028.24.42.0014
 PID# 08.028.24.42.0017

| REVISION SUMMARY | |
|------------------|-------------|
| DATE | DESCRIPTION |
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SITE SURVEY

C0.1

BENCHMARK
 BASIS FOR ELEVATIONS: NAVD83 (VIA REAL TIME GPS MEASUREMENTS)
 DEPARTMENT OF TRANSPORTATION (VTS NETWORK)
 BASIS FOR BEARINGS: NAD83 (1983) (VIA REAL TIME GPS MEASUREMENTS UTILIZING MINNESOTA DEPARTMENT OF TRANSPORTATION (VTS NETWORK))



NORTH



LEGAL DESCRIPTION

Per Title Commitment No. 60867, provided by Old Republic National Title Insurance Company.

Parcel 1:
 That part of the North 45 feet of Lot 18, Block 8, First Division of Remington Park, lying southerly of a line drawn from a point on the east line of said Lot 19, distant 31 feet south of the northeast corner thereof to a point on the west line of said Lot 20, distant 27.7 feet south of the northeast corner of said Lot 20 to a point on the west line of said Lot 20 distant 27.7 feet south of the northeast corner of said Lot 20 to a point on the east line of Lot 19 in said Block 8 distant 31.1 feet south of the northeast corner of said Lot 19, and lying north of a line drawn from a point on the western line of said Lot 20 distant 85.2 feet north of the southwest corner thereof to a point on the eastern line of said Lot 20 distant 83.2 feet north of the northeast corner thereof, according to the recorded plat thereof, and situate in Hennepin County, Minnesota.

Parcel 2:
 That part of Lot 20, Block 8, First Division of Remington Park, according to the plat thereof on file and of record in the Hennepin County Register of Deeds, which is a part of the title commitment referred to above, and the eastern line of said Lot 20 distant 85.2 feet north of the southwest corner thereof to a point on the eastern line of said Lot 20 distant 83.2 feet north of the southeast corner thereof.

Parcel 3:
 The front or southerly 125 feet of Lot 19, Block 8, First Division of Remington Park, also more particularly described as follows: Commencing at the southwest corner of said Lot 19, thence in a northeasterly direction dividing line between said Lot 19 and 20 in said Addition 125 feet, thence at right angles in a southeasterly direction and on a line parallel with front line of said Lot 19 to southeasterly line of said Lot, which lies between said Lot 19 and Lot 18, said Addition; thence along said lot northward dividing line 125 feet to southeasterly corner of said Lot 19, thence in a southeasterly direction along front line of said Lot 19 to place of beginning, according to the recorded plat thereof, Hennepin County, Minnesota.

LEGEND

- DENOTES IRON MONUMENT FOUND
- DENOTES SANITARY SEWER MANHOLE
- ⊙ DENOTES STORM SEWER MANHOLE
- DENOTES CATCH BASIN
- ⊠ DENOTES FIRE HYDRANT
- DENOTES OVERHEAD WIRE
- DENOTES UTILITY BOX
- DENOTES RETAINING WALL
- DENOTES FENCE
- DENOTES UTILITY POLE
- DENOTES EXISTING CONTOUR

GENERAL NOTES

Utilities shown hereon are observed. Excavations were not made during the process of this survey to locate underground utilities and/or structures. The location of underground utilities and/or structures may vary from locations shown hereon and underground utilities and/or structures may be encountered. Contact Cooper State One Call Notification Center at (651) 464-0002 for verification of utility type and field location prior to excavation. Cooper State One Call can be contacted for annual utility location per ticket #s 142513031, 142513034 & 142513061.

This survey was prepared without the benefit of titlework. Eminent domain proceedings and encroachments may exist in addition to those shown hereon. This survey is subject to review upon receipt of a title insurance commitment or otherwise title opinion.

ERIC R. WICKARVOUS
 Date: Oct. 29th, 2014 Reg. No. 44125

JOB #1455408





NON STORM WATER DISCHARGES:

THERE ARE NO KNOWN NON-STORM WATER DISCHARGES ON THE EXISTING SITE AND NONE ARE PROPOSED AS PART OF THIS DEVELOPMENT.

GROUNDWATER STATEMENT:

THIS PROJECT DOES NOT PROPOSE ANY PERMANENT GROUNDWATER DISCHARGE TO THE STORM WATER SYSTEM.

OWNER, DEVELOPER, CONTRACTOR SIGNED STATEMENT

ALL CLEARING, GRADING, CONSTRUCTION OR DEVELOPMENT WILL BE DONE PURSUANT TO THE PLAN, SIGNED BY PARTIES BELOW:

OWNER: _____
DEVELOPER: _____
CONTRACTOR: _____

CITY OF MINNEAPOLIS GRADING NOTES:

1. RESERVED FOR CITY SPECIFIC GRADING NOTES.

EROSION CONTROL NOTES:

SEE SWPPP ON SHEETS SW1.0-SW1.5

GROUNDWATER INFORMATION:

PER GEOTECHNICAL REPORT BY XXXX, INC., DATED XX-XX-XX GROUNDWATER WAS OBSERVED AT ELEVATIONS RANGING FROM XXX.XX TO XXX.XX

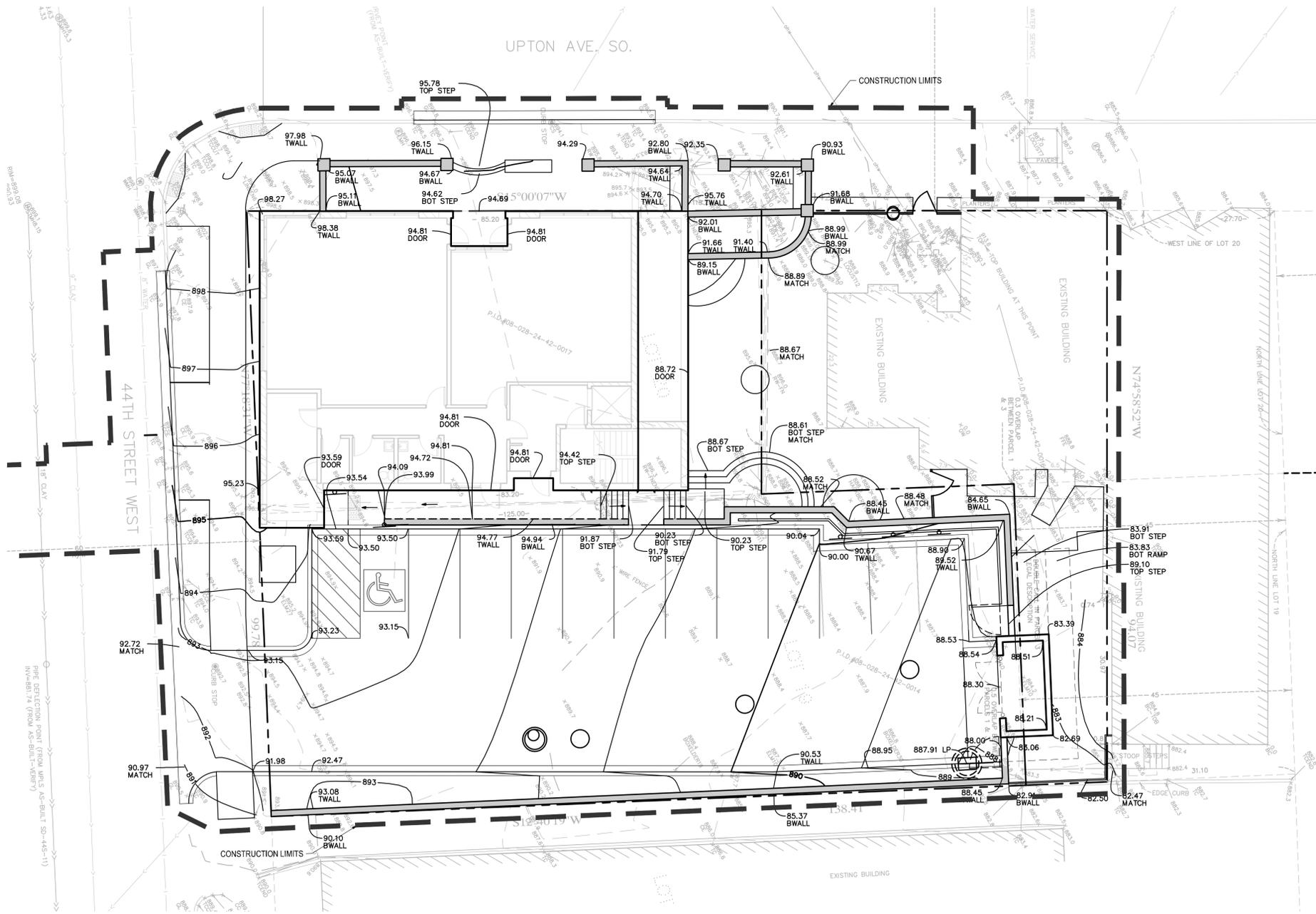
THE BORINGS & GROUNDWATER ARE AS FOLLOWS:

- B-1 XXX.XX
- B-2 XXX.XX
- B-3 XXX.XX
- B-4 XXX.XX

PROPOSED FOOTING DRAIN TILE INVERT ELEVATION = XXX.XX

GRADING PLAN LEGEND:

- 891 --- EX. 1' CONTOUR ELEVATION INTERVAL
- 819 --- 1.0' CONTOUR ELEVATION INTERVAL
- 891.0 --- SPOT GRADE ELEVATION (FLOW LINE UNLESS OTHERWISE NOTED)
- 891.0 G SPOT GRADE ELEVATION GUTTER
- 891.0 BC SPOT GRADE ELEVATION BACK OF CURB (TOP OF CURB)
- 891.0 BS/TS SPOT GRADE ELEVATION BOTTOM OF STAIRS/TOP OF STAIRS
- T.O. TIP OUT (T.O.) CURB AND GUTTER WHERE APPLICABLE - TAPER GUTTERS TO DRAIN AS SHOWN
- > EXISTING AND PROPOSED DRAINAGE ARROWS



GENERAL GRADING NOTES:

1. SEE SITE PLAN FOR HORIZONTAL LAYOUT & GENERAL GRADING NOTES.
2. THE CONTRACTOR SHALL COMPLETE THE SITE GRADING CONSTRUCTION (INCLUDING BUT NOT LIMITED TO SITE PREPARATION, SOIL CORRECTION, EXCAVATION, EMBANKMENT, ETC.) IN ACCORDANCE WITH THE REQUIREMENTS OF THE OWNER'S SOILS ENGINEER. ALL SOIL TESTING SHALL BE COMPLETED BY THE OWNER'S SOILS ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED SOIL TESTS AND INSPECTIONS WITH THE SOILS ENGINEER.
3. GRADING AND EXCAVATION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS & PERMIT REQUIREMENTS OF THE CITY.
4. PROPOSED SPOT GRADES ARE FLOW-LINE FINISHED GRADE ELEVATIONS, UNLESS OTHERWISE NOTED.
5. GRADES OF WALKS SHALL BE INSTALLED WITH 5% MAX. LONGITUDINAL SLOPE AND 1% MIN. AND 2% MAX. CROSS SLOPE, UNLESS OTHERWISE NOTED.
6. PROPOSED SLOPES SHALL NOT EXCEED 3:1 UNLESS INDICATED OTHERWISE ON THE DRAWINGS. MAXIMUM SLOPES IN MAINTAINED AREAS IS 4:1
7. PROPOSED RETAINING WALLS, FREESTANDING WALLS, OR COMBINATION OF WALL TYPES GREATER THAN 4' IN HEIGHT SHALL BE DESIGNED AND ENGINEERED BY A REGISTERED RETAINING WALL ENGINEER. DESIGN DRAWINGS SHALL BE SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF GRADE STAKES THROUGHOUT THE DURATION OF CONSTRUCTION TO ESTABLISH PROPER GRADES. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR A FINAL FIELD CHECK OF FINISHED GRADES ACCEPTABLE TO THE ENGINEER/LANDSCAPE ARCHITECT PRIOR TO TOPSOIL AND SODDING ACTIVITIES.
9. IF EXCESS OR SHORTAGE OF SOIL MATERIAL EXISTS, THE CONTRACTOR SHALL TRANSPORT ALL EXCESS SOIL MATERIAL OFF THE SITE TO AN AREA SELECTED BY THE CONTRACTOR, OR IMPORT SUITABLE MATERIAL TO THE SITE.
10. EXCAVATE TOPSOIL FROM AREAS TO BE FURTHER EXCAVATED OR REGRADED AND STOCKPILE IN AREAS DESIGNATED ON THE SITE. THE CONTRACTOR SHALL SALVAGE ENOUGH TOPSOIL FOR RESPREADING ON THE SITE AS SPECIFIED. EXCESS TOPSOIL SHALL BE PLACED IN EMBANKMENT AREAS, OUTSIDE OF BUILDING PADS, ROADWAYS AND PARKING AREAS. THE CONTRACTOR SHALL SUBCUT CUT AREAS, WHERE TURF IS TO BE ESTABLISHED, TO A DEPTH OF 6 INCHES. RESPREAD TOPSOIL IN AREAS WHERE TURF IS TO BE ESTABLISHED TO A MINIMUM DEPTH OF 6 INCHES.
11. FINISHED GRADING SHALL BE COMPLETED. THE CONTRACTOR SHALL UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING, INCLUDING ADJACENT TRANSITION AREAS. PROVIDE A SMOOTH FINISHED SURFACE WITHIN SPECIFIED TOLERANCES, WITH UNIFORM LEVELS OR SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE SHOWN, OR BETWEEN SUCH POINTS AND EXISTING GRADES. AREAS THAT HAVE BEEN FINISH GRADED SHALL BE PROTECTED FROM SUBSEQUENT CONSTRUCTION OPERATIONS, TRAFFIC AND EROSION. REPAIR ALL AREAS THAT HAVE BECOME RUTTED BY TRAFFIC OR ERODED BY WATER OR HAS SETTLED BELOW THE CORRECT GRADE. ALL AREAS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED TO EQUAL OR BETTER THAN ORIGINAL CONDITION OR TO THE REQUIREMENTS OF THE NEW WORK.
12. PRIOR TO PLACEMENT OF THE AGGREGATE BASE, A TEST ROLL WILL BE REQUIRED ON THE STREET AND/OR PARKING AREA SUBGRADE. THE CONTRACTOR SHALL PROVIDE A LOADED TANDEM AXLE TRUCK WITH A GROSS WEIGHT OF 25 TONS. THE TEST ROLLING SHALL BE AT THE DIRECTION OF THE SOILS ENGINEER AND SHALL BE COMPLETED IN AREAS AS DIRECTED BY THE SOILS ENGINEER. THE SOILS ENGINEER SHALL DETERMINE WHICH SECTIONS OF THE STREET OR PARKING AREA ARE UNSTABLE. CORRECTION OF THE SUBGRADE SOILS SHALL BE COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF THE SOILS ENGINEER.
13. TOLERANCES
 - 13.1. THE BUILDING SUBGRADE FINISHED SURFACE ELEVATION SHALL NOT VARY BY MORE THAN 0.30 FOOT ABOVE, OR 0.30 FOOT BELOW, THE PRESCRIBED ELEVATION AT ANY POINT WHERE MEASUREMENT IS MADE.
 - 13.2. THE STREET OR PARKING AREA SUBGRADE FINISHED SURFACE ELEVATION SHALL NOT VARY BY MORE THAN 0.05 FOOT ABOVE, OR 0.10 FOOT BELOW, THE PRESCRIBED ELEVATION OF ANY POINT WHERE MEASUREMENT IS MADE.
 - 13.3. AREAS WHICH ARE TO RECEIVE TOPSOIL SHALL BE GRADED TO WITHIN 0.30 FOOT ABOVE OR BELOW THE REQUIRED ELEVATION, UNLESS DIRECTED OTHERWISE BY THE ENGINEER.
 - 13.4. TOPSOIL SHALL BE GRADED TO PLUS OR MINUS 1/2 INCH OF THE SPECIFIED THICKNESS.
14. MAINTENANCE
 - 14.1. THE CONTRACTOR SHALL PROTECT NEWLY GRADED AREAS FROM TRAFFIC AND EROSION, AND KEEP AREA FREE OF TRASH AND DEBRIS.
 - 14.2. CONTRACTOR SHALL REPAIR AND REESTABLISH GRADES IN SETTLED, ERODED AND RUTTED AREAS TO SPECIFIED TOLERANCES. DURING THE CONSTRUCTION, IF REQUIRED, AND DURING THE WARRANTY PERIOD, ERODED AREAS WHERE TURF IS TO BE ESTABLISHED SHALL BE RESEDED AND MULCHED.
 - 14.3. WHERE COMPLETED COMPACTED AREAS ARE DISTURBED BY SUBSEQUENT CONSTRUCTION OPERATIONS OR ADVERSE WEATHER, CONTRACTOR SHALL SCARIFY, SURFACE, RESHAPE, AND COMPACT TO REQUIRED DENSITY PRIOR TO FURTHER CONSTRUCTION.

SOUTH UPTON
 4321 AND 4353 UPTON AVENUE SOUTH, MINNEAPOLIS, MN
SOUTH UPTON PROPERTIES
 4301 NICOLLET AVENUE SOUTH, MINNEAPOLIS, MN

PROJECT

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Matthew R. Pavlek
Matthew R. Pavlek
DATE: 1/30/15 LICENSE NO. 44263

ISSUE/SUBMITTAL SUMMARY

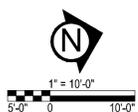
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| 1/9/15 | FOR SUBMITTAL |
| 1/30/15 | LAND USE APP. SUBMITTAL |

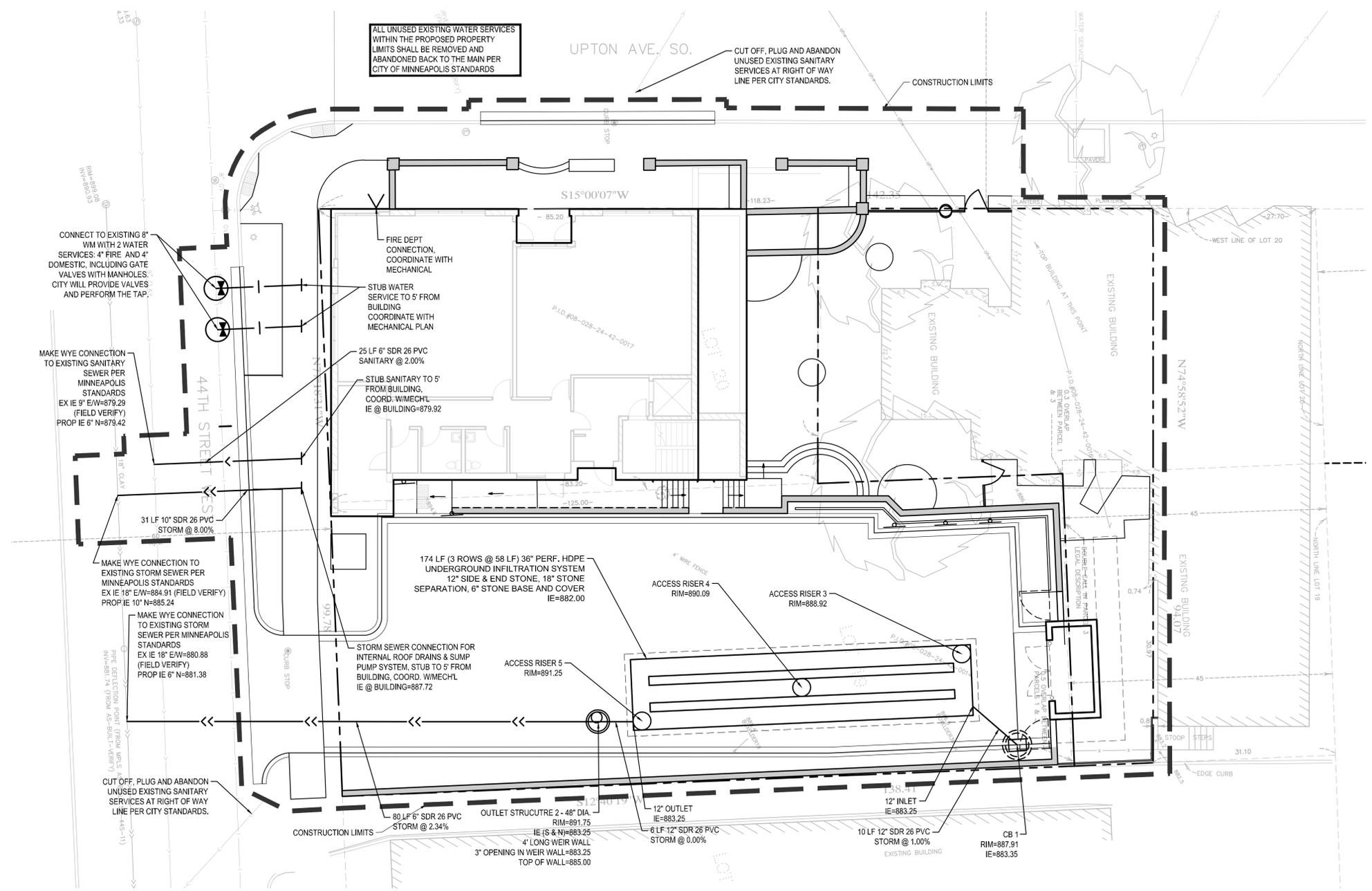
REVISION SUMMARY

| DATE | DESCRIPTION |
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GRADING PLAN

C3.0





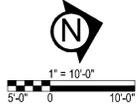
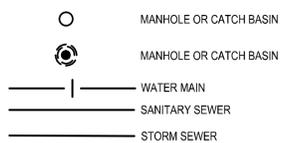
GENERAL UTILITY NOTES:

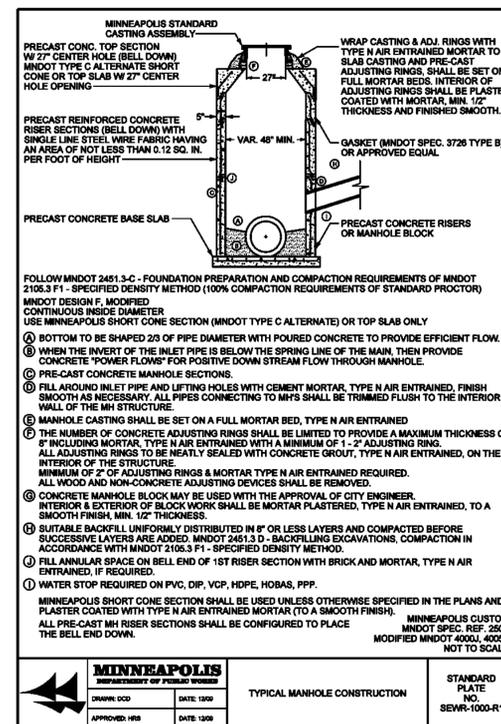
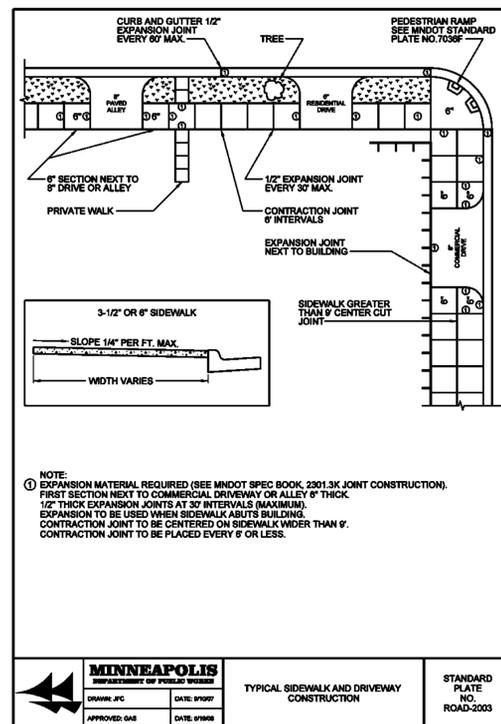
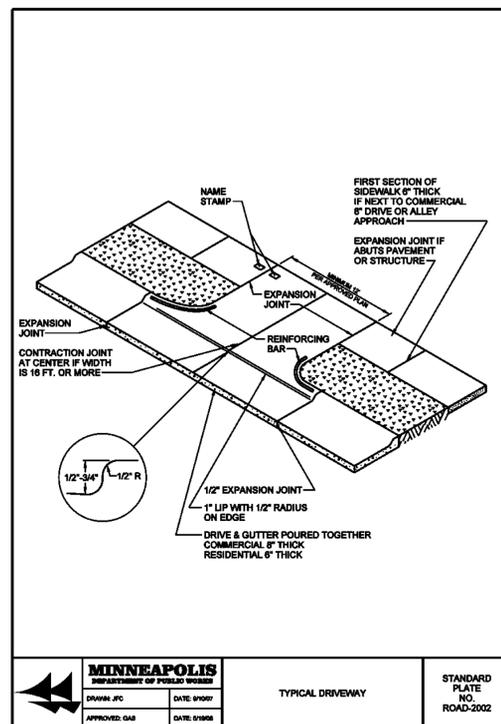
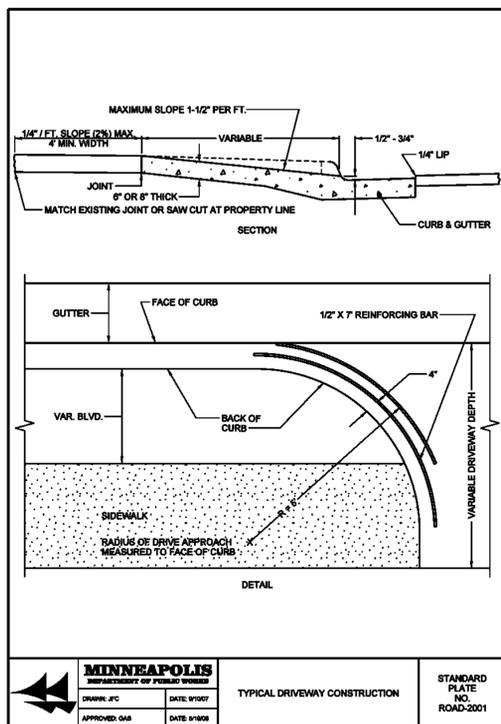
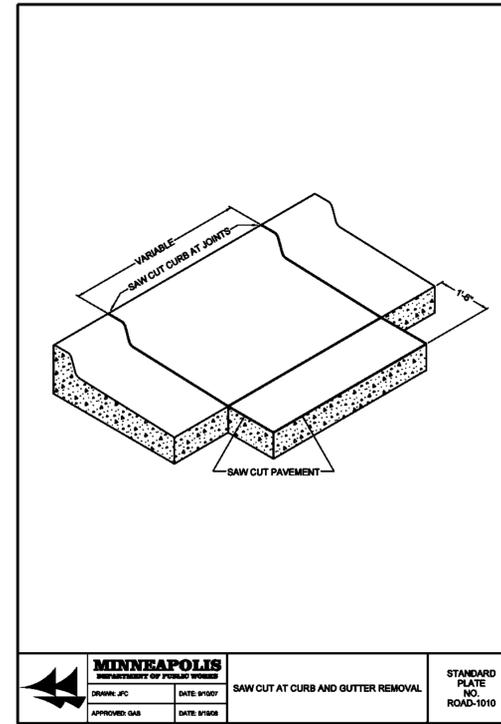
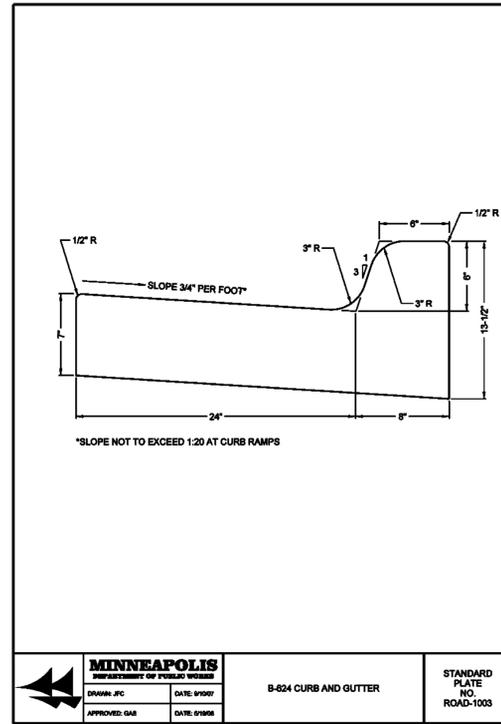
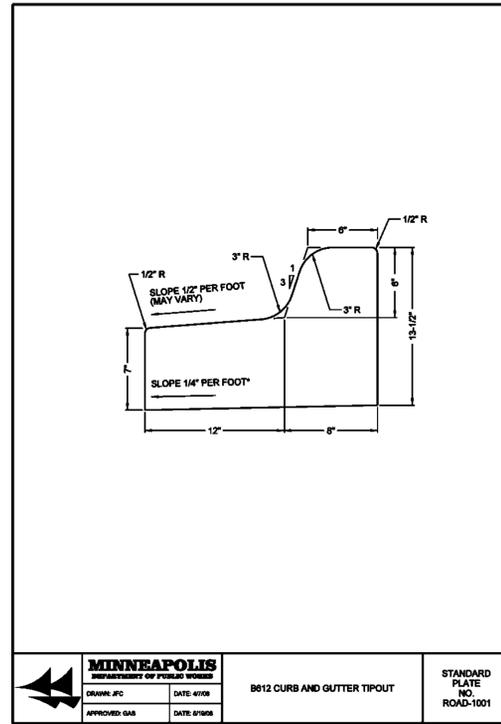
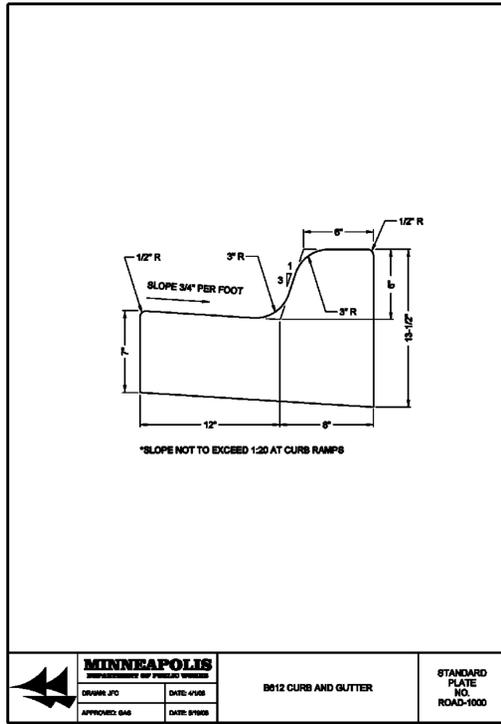
- SEE SITE PLAN FOR HORIZONTAL DIMENSIONS AND LAYOUT.
- CONTRACTOR SHALL FIELD VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF DISCREPANCIES OR VARIATIONS FROM THE PLANS.
- ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTACT "GOPHER STATE ONE CALL" (651-454-0002 OR 800-252-1166) FOR UTILITY LOCATIONS, 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY UTILITIES THAT ARE DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.
- UTILITY INSTALLATION SHALL CONFORM TO THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR WATER MAIN AND SERVICE LINE INSTALLATION" AND "SANITARY SEWER AND STORM SEWER INSTALLATION" AS PREPARED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA (CEAM), AND SHALL CONFORM WITH THE REQUIREMENTS OF THE CITY AND THE PROJECT SPECIFICATIONS.
- CASTINGS SHALL BE SALVAGED FROM STRUCTURE REMOVALS AND RE-USED OR PLACED AT THE DIRECTION OF THE OWNER.
- ALL WATER PIPE SHALL BE CLASS 52 DUCTILE IRON PIPE (DIP) UNLESS OTHERWISE NOTED.
- ALL SANITARY SEWER SHALL BE SDR 26 POLYVINYL CHLORIDE (PVC) UNLESS OTHERWISE NOTED.
- ALL STORM SEWER PIPE SHALL BE HDPE UNLESS OTHERWISE NOTED.
- PIPE LENGTHS SHOWN ARE FROM CENTER TO CENTER OF STRUCTURE OR TO END OF FLARED END SECTION.
- UTILITIES ON THE PLAN ARE SHOWN TO WITHIN 5' OF THE BUILDING FOOTPRINT. THE CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR THE FINAL CONNECTION TO BUILDING LINES. COORDINATE WITH ARCHITECTURAL AND MECHANICAL PLANS.
- CATCH BASINS AND MANHOLES IN PAVED AREAS SHALL BE SUMPED 0.04 FEET. ALL CATCH BASINS IN GUTTERS SHALL BE SUMPED 0.15 FEET PER DETAILS. RIM ELEVATIONS SHOWN ON THIS PLAN DO NOT REFLECT SUMPED ELEVATIONS.
- ALL FIRE HYDRANTS SHALL BE LOCATED 5 FEET BEHIND BACK OF CURB UNLESS OTHERWISE NOTED.
- HYDRANT TYPE, VALVE, AND CONNECTION SHALL BE IN ACCORDANCE WITH CITY REQUIREMENTS. HYDRANT EXTENSIONS ARE INCIDENTAL.
- A MINIMUM OF 8 FEET OF COVER IS REQUIRED OVER ALL WATERMAIN, UNLESS OTHERWISE NOTED. EXTRA DEPTH MAY BE REQUIRED TO MAINTAIN A MINIMUM OF 18" VERTICAL SEPARATION TO SANITARY OR STORM SEWER LINES. EXTRA DEPTH WATERMAIN IS INCIDENTAL.
- A MINIMUM OF 18 INCHES OF VERTICAL SEPARATION AND 10 FEET OF HORIZONTAL SEPARATION IS REQUIRED FOR ALL UTILITIES, UNLESS OTHERWISE NOTED.
- ALL CONNECTIONS TO EXISTING UTILITIES SHALL BE IN ACCORDANCE WITH CITY STANDARDS AND COORDINATED WITH THE CITY PRIOR TO CONSTRUCTION.
- CONNECTIONS TO EXISTING STRUCTURES SHALL BE CORE-DRILLED.
- COORDINATE LOCATIONS AND SIZES OF SERVICE CONNECTIONS WITH THE MECHANICAL DRAWINGS.
- COORDINATE INSTALLATION AND SCHEDULING OF THE INSTALLATION OF UTILITIES WITH ADJACENT CONTRACTORS AND CITY STAFF.
- ALL STREET REPAIRS AND PATCHING SHALL BE PERFORMED PER THE REQUIREMENTS OF THE CITY. ALL PAVEMENT CONNECTIONS SHALL BE SAWCUT. ALL TRAFFIC CONTROLS SHALL BE PROVIDED BY THE CONTRACTOR AND SHALL BE ESTABLISHED PER THE REQUIREMENTS OF THE MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD) AND THE CITY. THIS SHALL INCLUDE BUT NOT BE LIMITED TO SIGNAGE, BARRICADES, FLASHERS, AND FLAGGERS AS NEEDED. ALL PUBLIC STREETS SHALL BE OPEN TO TRAFFIC AT ALL TIMES. NO ROAD CLOSURES SHALL BE PERMITTED WITHOUT APPROVAL BY THE CITY.
- ALL STRUCTURES, PUBLIC AND PRIVATE, SHALL BE ADJUSTED TO PROPOSED GRADES WHERE REQUIRED. THE REQUIREMENTS OF ALL OWNERS MUST BE COMPLIED WITH. STRUCTURES BEING RESET TO PAVED AREAS MUST MEET OWNERS REQUIREMENTS FOR TRAFFIC LOADING.
- CONTRACTOR SHALL COORDINATE ALL WORK WITH PRIVATE UTILITY COMPANIES.
- CONTRACTOR SHALL COORDINATE CONNECTION OF IRRIGATION SERVICE TO UTILITIES. COORDINATE THE INSTALLATION OF IRRIGATION SLEEVES NECESSARY AS TO NOT IMPACT INSTALLATION OF UTILITIES.
- CONTRACTOR SHALL MAINTAIN AS-BUILT PLANS THROUGHOUT CONSTRUCTION AND SUBMIT THESE PLANS TO ENGINEER UPON COMPLETION OF WORK.
- ALL JOINTS AND CONNECTIONS IN STORM SEWER SYSTEM SHALL BE GASTIGHT OR WATERTIGHT. APPROVED RESILIENT RUBBER JOINTS MUST BE USED TO MAKE WATERTIGHT CONNECTIONS TO MANHOLES, CATCHBASINS, OR OTHER STRUCTURES.

CITY OF MINNEAPOLIS UTILITY NOTES:

- RESERVED FOR CITY SPECIFIC UTILITY NOTES.

UTILITY LEGEND:





PROJECT

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Matthew R. Pavak
Matthew R. Pavak
DATE: 1/30/15 LICENSE NO. 44263

ISSUE/SUBMITTAL SUMMARY

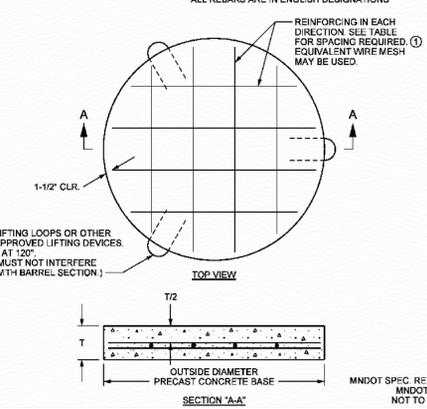
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| 1/30/15 | LAND USE APP. SUBMITTAL |

REVISION SUMMARY

| DATE | DESCRIPTION |
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CIVIL DETAILS

| STRUCTURE | PRECAST CONCRETE BASE | | | | |
|-----------|-----------------------|--------------------|-----------|-------------------------|------------|
| | SIZE (in.) | OUTSIDE DIA. (in.) | "T" (in.) | MIN. REINFORCEMENT (n.) | WT. (Lbs.) |
| | 30 | 44 | 8 | #4 12 | 1680 |
| | 48 | 66 | 8 | #4 12 | 1680 |
| | 60 | 78 | 8 | #4 12 | 3320 |
| | 72 | 92 | 8 | #4 12 | 4820 |
| | 84 | 106 | 8 | #4 8 | 6130 |
| | 96 | 120 | 8 | #4 8 | 7850 |
| | 108 | 132 | 10 | #4 8 | 10690 |
| | 120 | 148 | 12 | #4 8 | 17440 |

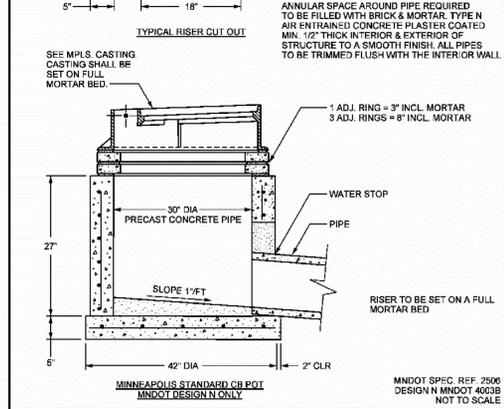
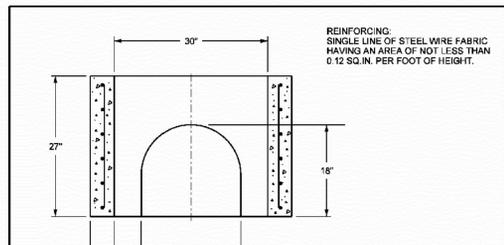


MINNEAPOLIS
DEPARTMENT OF PUBLIC WORKS

MANHOLE BASE SLAB

STANDARD PLATE NO. SEWR-1003

DATE: 12/09

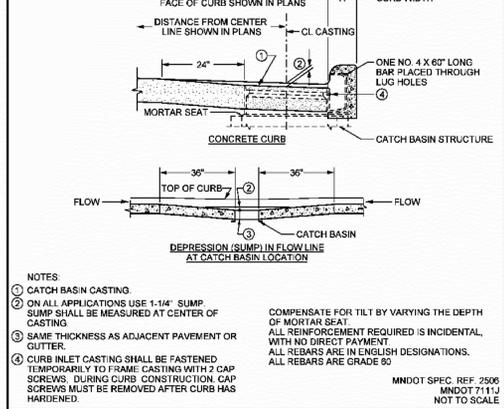
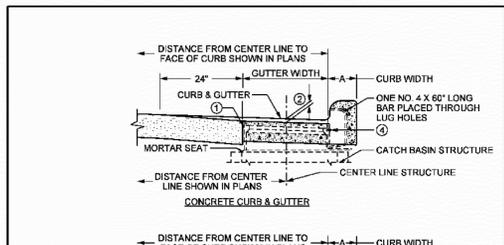


MINNEAPOLIS
DEPARTMENT OF PUBLIC WORKS

PRECAST CATCH BASIN POT

STANDARD PLATE NO. SEWR-1008-R1

DATE: 12/09

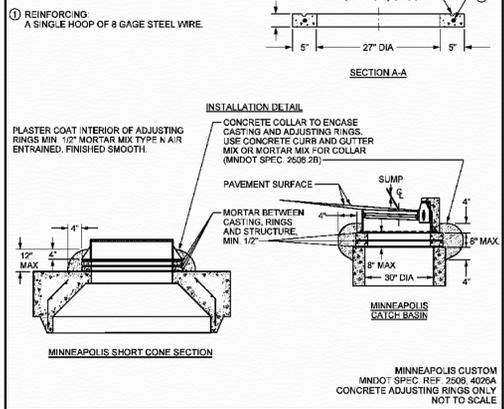
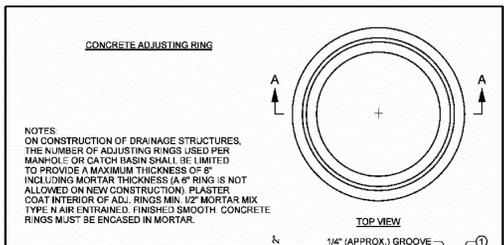


MINNEAPOLIS
DEPARTMENT OF PUBLIC WORKS

CATCH BASIN INSTALLATION

STANDARD PLATE NO. SEWR-1009

DATE: 12/09

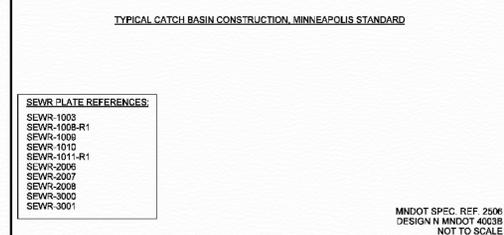
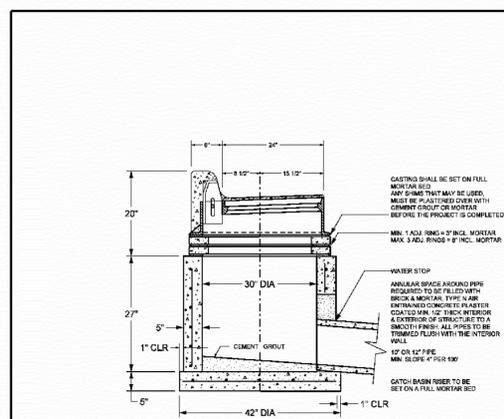


MINNEAPOLIS
DEPARTMENT OF PUBLIC WORKS

CONCRETE ADJUSTING RINGS

STANDARD PLATE NO. SEWR-1011-R1

DATE: 12/09

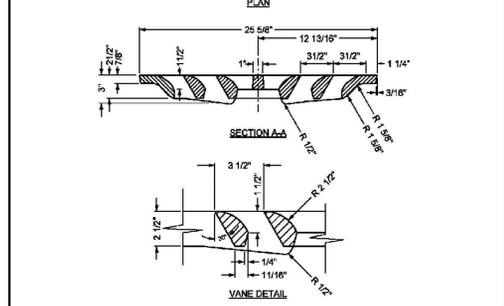
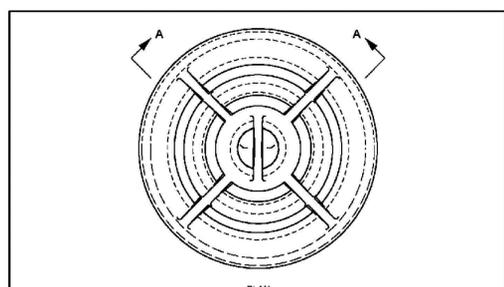


MINNEAPOLIS
DEPARTMENT OF PUBLIC WORKS

STANDARD CATCH BASIN CONSTRUCTION

STANDARD PLATE NO. SEWR-1017

DATE: 12/12

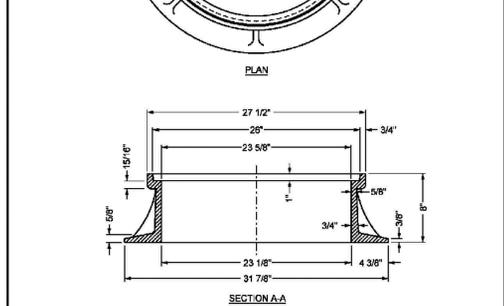
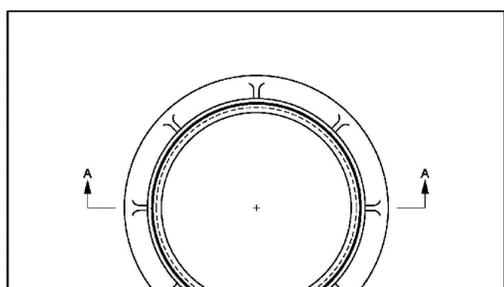


MINNEAPOLIS
DEPARTMENT OF PUBLIC WORKS

CIRCULAR VANE GRATE

STANDARD PLATE NO. SEWR-2003

DATE: 12/09

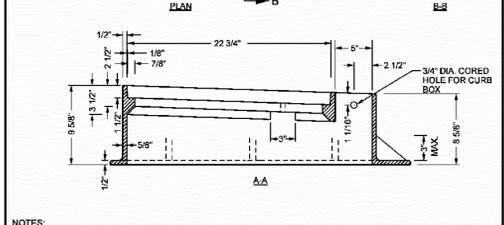
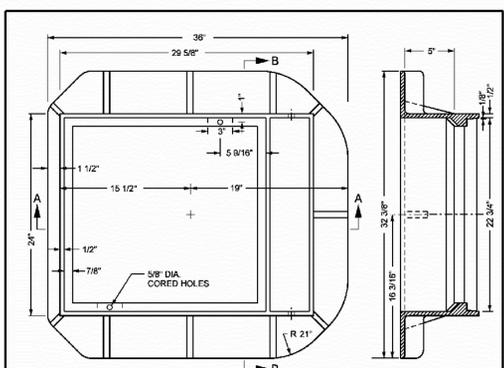


MINNEAPOLIS
DEPARTMENT OF PUBLIC WORKS

STANDARD MANHOLE CASTING

STANDARD PLATE NO. SEWR-2004

DATE: 12/07

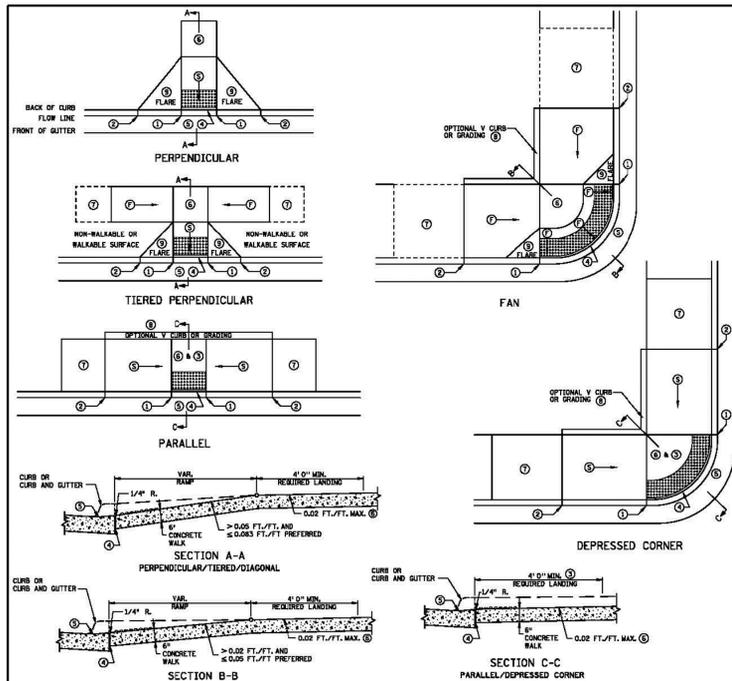


MINNEAPOLIS
DEPARTMENT OF PUBLIC WORKS

CATCH BASIN CASTING

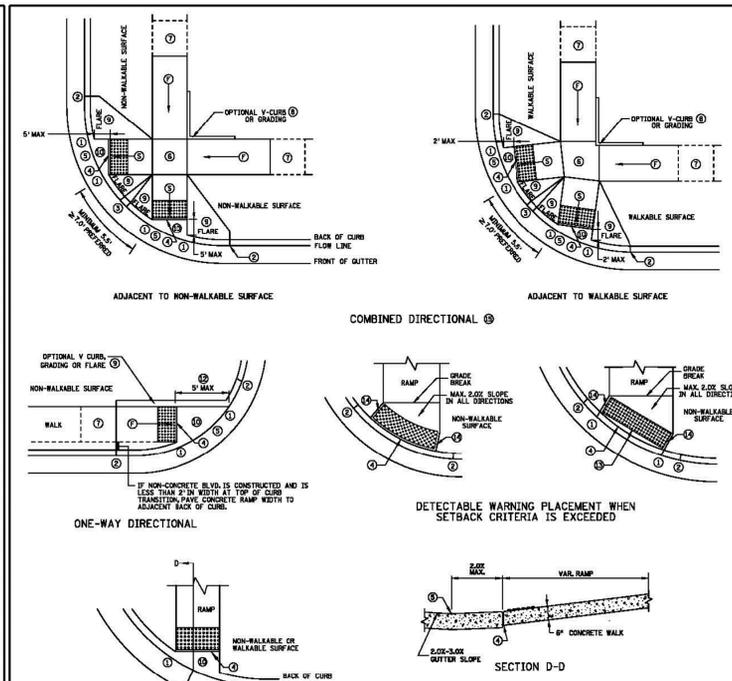
STANDARD PLATE NO. SEWR-2006

DATE: 12/06



NOTES:
LANDINGS SHALL BE LOCATED ANYWHERE THE PEDESTRIAN ACCESS ROUTE CHANGES DIRECTION AT THE TOP OF RAMPS THAT HAVE RUNNING SLOPES GREATER THAN 5.0%, AND IF THE APPROACHING WALK IS INVERSE GRADE.
INITIAL CURB RAMP LANDINGS SHALL BE CONSTRUCTED WITHIN 15' FROM THE BACK OF CURB, WITH 8' FROM THE BACK OF CURB BEING THE PREFERRED DISTANCE.
SECONDARY CURB RAMP LANDINGS ARE REQUIRED FOR EVERY 30' OF VERTICAL RISE WHEN THE LONGITUDINAL SLOPE IS GREATER THAN 5.0%.
CONTRACTION JOINTS SHALL BE CONSTRUCTED ALONG ALL GRADE BREAKS.
ALL GRADE BREAKS WITHIN THE PAV SHALL BE PERPENDICULAR TO THE PATH OF TRAVEL.
TO ENSURE RAMPS AND LANDINGS ARE PROPERLY CONSTRUCTED, LANDINGS MAY BE CAST SEPARATELY, FOLLOW SIDEWALK REINFORCEMENT DETAILS ON SHEET 5 WHEN LANDINGS ARE CAST SEPARATELY.
ALL SLOPES ARE ABSOLUTE, RATHER THAN RELATIVE TO SIDEWALK/ROADWAY GRADES.
TOP OF CURB SHALL MATCH PROPOSED ADJACENT WALK GRADE.
A MINIMUM WIDTH OF DETECTABLE WARNING IS REQUIRED FOR ALL RAMPS. DETECTABLE WARNING SHALL CONTINUE EITHER FOR A MINIMUM OF 24" IN THE PATH OF TRAVEL, SHARED USE PATHS SHALL HAVE DETECTABLE WARNING ACROSS THE ENTIRE WIDTH OF PATH WHEN THE PATH CHANGES DIRECTION.
SEE STANDARD PLATE 703B AND SHEET 4 OF 5 FOR ADDITIONAL DETAILS ON DETECTABLE WARNING.
① 2" CURB HEIGHT.
② FULL CURB HEIGHT.
③ 3" MINIMUM CURB HEIGHT, 4" PREFERRED.
④ 2" PREFERRED JOINT FILLER MATERIAL ASBTO # 215 JOINT FILLER SHALL BE PLACED FLUSH WITH THE BACK OF CURB AND ADJACENT SIDEWALK JOINT SHALL BE FREE OF BONDS.
⑤ RECTANGULAR DETECTABLE WARNING SHALL BE SETBACK 3" FROM THE BACK OF CURB.
⑥ RADIAL DETECTABLE WARNING SHALL BE SETBACK 3" MINIMUM TO 6" MAXIMUM FROM THE BACK OF CURB.
⑦ SEE PEDESTRIAN ACCESS ROUTE CURB AND GUTTER DETAIL FOR INFORMATION ON CONTRACTING CURB AND GUTTER.
⑧ 4" BY 4" MIN. LANDING WITH MAX. 2.0% SLOPE IN ALL DIRECTIONS REQUIRED.
⑨ IF LONGITUDINAL SLOPE IS GREATER THAN 5.0%, 4" BY 4" MIN. LANDING WITH MAX. 2.0% SLOPE IN ALL DIRECTIONS REQUIRED.
⑩ V CURB IF USED SHALL BE PLACED OUTSIDE THE SIDEWALK LIMITS WHEN RIGHT OF WAY ALLOWED. SEE SHEET 5 OF 5.
⑪ SEE SHEET 4 OF 5, TYPICAL SIDE TREATMENT OPTIONS FOR DETAILS ON FLARES AND RETURNED CURBS.
⑫ SIDEWALK RAMPS SHOULD ONLY BE USED AFTER ALL OTHER CURB RAMP TYPES HAVE BEEN EVALUATED AND DEEMED IMPRACTICAL.

LEGEND
THESE LONGITUDINAL SLOPE RANGES SHALL BE THE STARTING POINT OF SITE CONDITIONS VARYING. LONGITUDINAL SLOPES UP TO 4.5% OR FLATTER ARE ALLOWED.
① INDICATES PEDESTRIAN RAMP - SLOPE SHALL BE BETWEEN 5.0% MINIMUM AND 8.3% MAXIMUM IN THE DIRECTION SHOWN AND THE CROSS SLOPE SHALL NOT EXCEED 2.0%.
② INDICATES PEDESTRIAN RAMP - SLOPE SHALL BE GREATER THAN 2.0% AND LESS THAN 5.0% IN THE DIRECTION SHOWN AND CROSS SLOPE SHALL NOT EXCEED 2.0%.

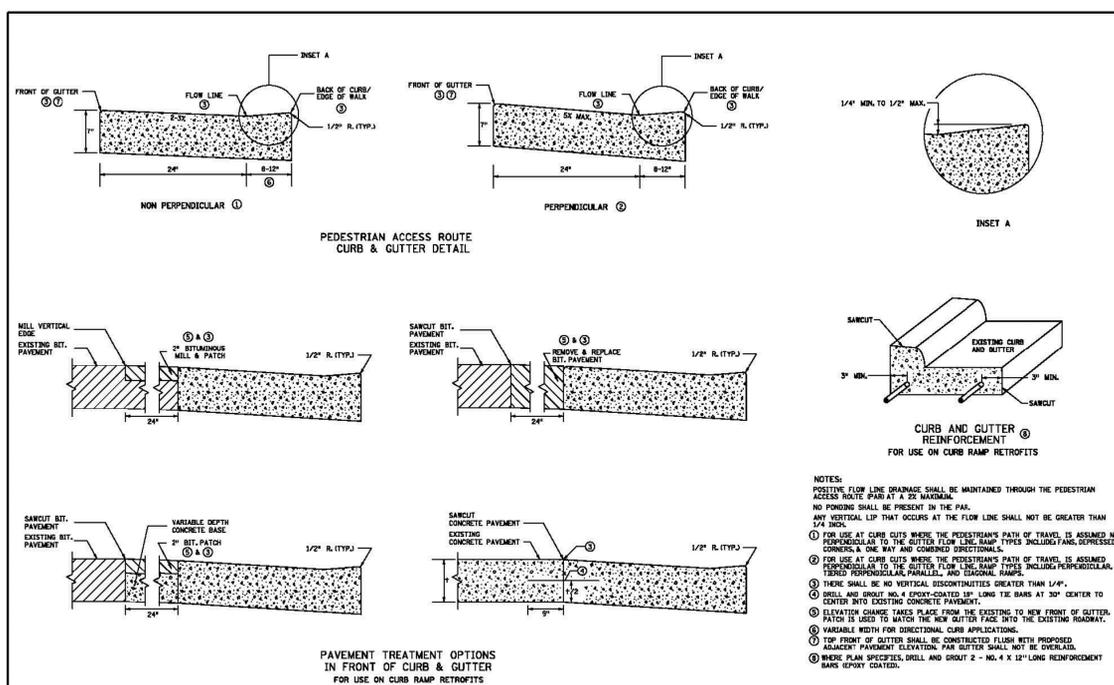


NOTES:
LANDINGS SHALL BE LOCATED ANYWHERE THE PEDESTRIAN ACCESS ROUTE CHANGES DIRECTION AT THE TOP OF RAMPS THAT HAVE RUNNING SLOPES GREATER THAN 5.0%, AND IF THE APPROACHING WALK IS INVERSE GRADE.
INITIAL CURB RAMP LANDINGS SHALL BE CONSTRUCTED WITHIN 15' FROM THE BACK OF CURB, WITH 8' FROM THE BACK OF CURB BEING THE PREFERRED DISTANCE.
SECONDARY CURB RAMP LANDINGS ARE REQUIRED FOR EVERY 30' OF VERTICAL RISE WHEN THE LONGITUDINAL SLOPE IS GREATER THAN 5.0%.
CONTRACTION JOINTS SHALL BE CONSTRUCTED ALONG ALL GRADE BREAKS.
ALL GRADE BREAKS WITHIN THE PAV SHALL BE PERPENDICULAR TO THE PATH OF TRAVEL.
TO ENSURE RAMPS AND LANDINGS ARE PROPERLY CONSTRUCTED, LANDINGS MAY BE CAST SEPARATELY, FOLLOW SIDEWALK REINFORCEMENT DETAILS ON SHEET 5 WHEN LANDINGS ARE CAST SEPARATELY.
ALL SLOPES ARE ABSOLUTE, RATHER THAN RELATIVE TO SIDEWALK/ROADWAY GRADES.
TOP OF CURB SHALL MATCH PROPOSED ADJACENT WALK GRADE.
A MINIMUM WIDTH OF DETECTABLE WARNING IS REQUIRED FOR ALL RAMPS. DETECTABLE WARNING SHALL CONTINUE EITHER FOR A MINIMUM OF 24" IN THE PATH OF TRAVEL, SHARED USE PATHS SHALL HAVE DETECTABLE WARNING ACROSS THE ENTIRE WIDTH OF PATH WHEN THE PATH CHANGES DIRECTION.
SEE STANDARD PLATE 703B AND SHEET 4 OF 5 FOR ADDITIONAL DETAILS ON DETECTABLE WARNING.
① 2" CURB HEIGHT.
② FULL CURB HEIGHT.
③ 3" MINIMUM CURB HEIGHT, 4" PREFERRED.
④ 2" PREFERRED JOINT FILLER MATERIAL ASBTO # 215 JOINT FILLER SHALL BE PLACED FLUSH WITH THE BACK OF CURB AND ADJACENT SIDEWALK JOINT SHALL BE FREE OF BONDS.
⑤ RECTANGULAR DETECTABLE WARNING SHALL BE SETBACK 3" FROM THE BACK OF CURB.
⑥ RADIAL DETECTABLE WARNING SHALL BE SETBACK 3" MINIMUM TO 6" MAXIMUM FROM THE BACK OF CURB.
⑦ SEE PEDESTRIAN ACCESS ROUTE CURB AND GUTTER DETAIL FOR INFORMATION ON CONTRACTING CURB AND GUTTER.
⑧ 4" BY 4" MIN. LANDING WITH MAX. 2.0% SLOPE IN ALL DIRECTIONS.
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⑩ V CURB IF USED SHALL BE PLACED OUTSIDE THE SIDEWALK LIMITS WHEN RIGHT OF WAY ALLOWED. SEE SHEET 5 OF 5.
⑪ SEE SHEET 4 OF 5, TYPICAL SIDE TREATMENT OPTIONS FOR DETAILS ON FLARES AND RETURNED CURBS.
⑫ WHEN NO CONCRETE FLARES ARE PROPOSED, THE CONCRETE WALK SHALL BE FORMED AND CONSTRUCTED PERPENDICULAR TO THE BACK OF CURB, MAINTAIN 3" BETWEEN EDGE OF CONCRETE WALK AND CURB.
⑬ FRONT EDGE OF DETECTABLE WARNING SHALL BE SETBACK 3" MAXIMUM WHEN ADJACENT TO A CURB TAPER AND 15" MAXIMUM WHEN ADJACENT TO NON-WALKABLE SURFACES. THE CORNER SET 3" FROM BACK OF CURB, WHEN A SURFACE IS WALKABLE OR NOT SHALL BE DETERMINED BY THE ENGINEER.

LEGEND
THESE LONGITUDINAL SLOPE RANGES SHALL BE THE STARTING POINT OF SITE CONDITIONS VARYING. LONGITUDINAL SLOPES UP TO 4.5% OR FLATTER ARE ALLOWED.
① INDICATES PEDESTRIAN RAMP - SLOPE SHALL BE BETWEEN 5.0% MINIMUM AND 8.3% MAXIMUM IN THE DIRECTION SHOWN AND THE CROSS SLOPE SHALL NOT EXCEED 2.0%.
② INDICATES PEDESTRIAN RAMP - SLOPE SHALL BE GREATER THAN 2.0% AND LESS THAN 5.0% IN THE DIRECTION SHOWN AND CROSS SLOPE SHALL NOT EXCEED 2.0%.

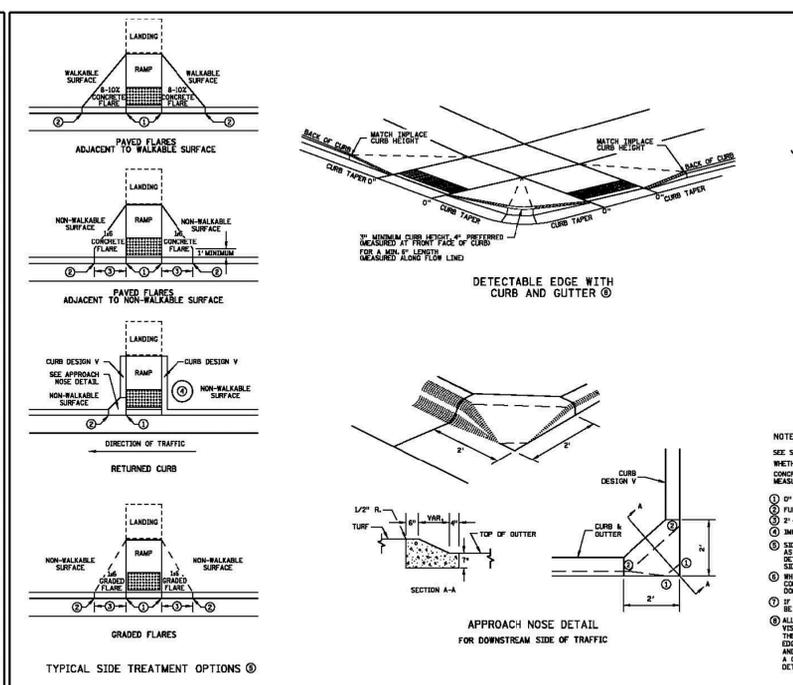
REVISIONS: APPROVED: 8-6-2014
PEDESTRIAN CURB RAMP DETAILS
STANDARD PLAN 5-297.250 1 OF 5

REVISIONS: APPROVED: 8-6-2014
CURB FOR DIRECTIONAL RAMPS
PEDESTRIAN CURB RAMP DETAILS
STANDARD PLAN 5-297.250 2 OF 5



NOTES:
POSITIVE FLOW LINE DRAINAGE SHALL BE MAINTAINED THROUGH THE PEDESTRIAN ACCESS ROUTE SPAN AT A 2% MINIMUM.
NO FONDING SHALL BE PRESENT IN THE PAV.
ANY VERTICAL LIP THAT OCCURS AT THE FLOW LINE SHALL NOT BE GREATER THAN 1/4" INCH.
① FOR USE AT CURB CUTS WHERE THE PEDESTRIAN'S PATH OF TRAVEL IS ASSUMED PERPENDICULAR TO THE GUTTER FLOW LINE. RAMP TYPES INCLUDE: FAN, DEPRESSED CORNER, AND ONE-WAY AND COMBINED DIRECTIONAL.
② FOR USE AT CURB CUTS WHERE THE PEDESTRIAN'S PATH OF TRAVEL IS ASSUMED PERPENDICULAR TO THE GUTTER FLOW LINE. RAMP TYPES INCLUDE: FAN, DEPRESSED CORNER, AND ONE-WAY AND COMBINED DIRECTIONAL.
③ THERE SHALL BE NO VERTICAL DISCONTINUITIES GREATER THAN 1/4".
④ SLOPE AND GROUT NO. 4 PROPORTIONED BY LONG TIE BARS AT 30" CENTER TO CENTER INTO EXISTING CONCRETE PAVEMENT.
⑤ ELEVATION CHANGE TAPES PLACED FROM EXISTING TO NEW FRONT OF GUTTER. PATCH IS USED TO MATCH THE NEW GUTTER FACE INTO THE EXISTING ROADWAY.
⑥ VARIABLE WIDTH FOR DIRECTIONAL CURB APPLICATIONS.
⑦ TOP FRONT OF GUTTER SHALL BE CONSTRUCTED FLUSH WITH PROPOSED ADJACENT PAVEMENT ELEVATION. PAV GUTTER SHALL NOT BE OVERLAP.
⑧ BRIDGE PLAN SPECIFICS: HELL AND SHEET 2 - NO. 4 X 1/2" LONG REINFORCEMENT BARS REPOXY COATED.

REVISIONS: APPROVED: 8-6-2014
PEDESTRIAN CURB RAMP DETAILS
STANDARD PLAN 5-297.250 3 OF 5



NOTES:
SEE STANDARD PLATE 703B AND THIS SHEET FOR ADDITIONAL DETAILS ON DETECTABLE WARNING. WHETHER A SURFACE IS WALKABLE OR NOT SHALL BE DETERMINED BY THE ENGINEER. CONCRETE FLARE LENGTHS ADJACENT TO NON-WALKABLE SURFACES SHOULD BE LESS THAN 8" LONG MEASURED ALONG THE RAMPS FROM THE BACK OF CURB.
① 2" CURB HEIGHT.
② FULL CURB HEIGHT.
③ 2" - 3" FLARE.
④ UNWALKABLE OBJECT OR OBSTRUCTION.
⑤ SIDE TREATMENTS ARE APPLICABLE TO ALL RAMP TYPES AND SHOULD BE IMPLEMENTED AS NEEDED ON ALL RAMPS AS FIELD CONDITIONS DICTATE. THE ENGINEER SHALL DETERMINE THE SIDE TREATMENTS BASED ON MAINTENANCE OF BOTH ROADWAY AND SIDEWALK. ADJACENT PROPERTY CONSIDERATIONS AND RETARDING CONSTRUCTION IMPACTS.
⑥ WHEN NO CONCRETE FLARES ARE PROPOSED, THE CONCRETE WALK SHALL BE FORMED AND CONSTRUCTED PERPENDICULAR TO THE EDGE OF ROADWAY, MAINTAIN 3" BETWEEN EDGE OF CONCRETE WALK AND CURB.
⑦ IF NO CURB AND GUTTER IS PLACED IN BURAL SECTIONS, DETECTABLE WARNING SHALL BE PLACED 1' FROM THE EDGE OF ROADWAY TO PROVIDE VISUAL CONTRAST.
⑧ ALL CONSTRUCTED CURBS MUST HAVE A CONTINUOUS DETECTABLE EDGE FOR THE VISUALLY IMPAIRED. THIS DETECTABLE EDGE REQUIRES DETECTABLE WARNING WHENEVER THERE IS ZERO-HIGH HIGH CURB CURB TAPERS ARE CONSIDERED A DETECTABLE EDGE. THE TAPER STARTS WITHIN 15" OF THE EDGE OF THE DETECTABLE WARNING AND UNIFORMLY RISES TO A 3-INCH MINIMUM CURB HEIGHT. ANY CURB NOT PART OF A CURB TAPER AND LESS THAN 3" IN HEIGHT IS NOT CONSIDERED A DETECTABLE EDGE AND THEREFORE IS NOT COMPLIANT WITH ACCESSIBILITY STANDARDS.

REVISIONS: APPROVED: 8-6-2014
PEDESTRIAN CURB RAMP DETAILS
STANDARD PLAN 5-297.250 4 OF 5

SOUTH UPTON
4321 AND 4353 UPTON AVENUE SOUTH, MINNEAPOLIS, MN
SOUTH UPTON PROPERTIES
4301 NICOLLET AVENUE SOUTH, MINNEAPOLIS, MN

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
Matthew R. Pavet
DATE: 1/30/15 LICENSE NO. 44263

ISSUE/SUBMITTAL SUMMARY

| DATE | DESCRIPTION |
|---------|-------------------------|
| 1/9/15 | FOR SUBMITTAL |
| 1/30/15 | LAND USE APP. SUBMITTAL |

REVISION SUMMARY

| DATE | DESCRIPTION |
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PEDESTRIAN CURB RAMP DETAILS
STANDARD PLAN 5-297.250 4 OF 5

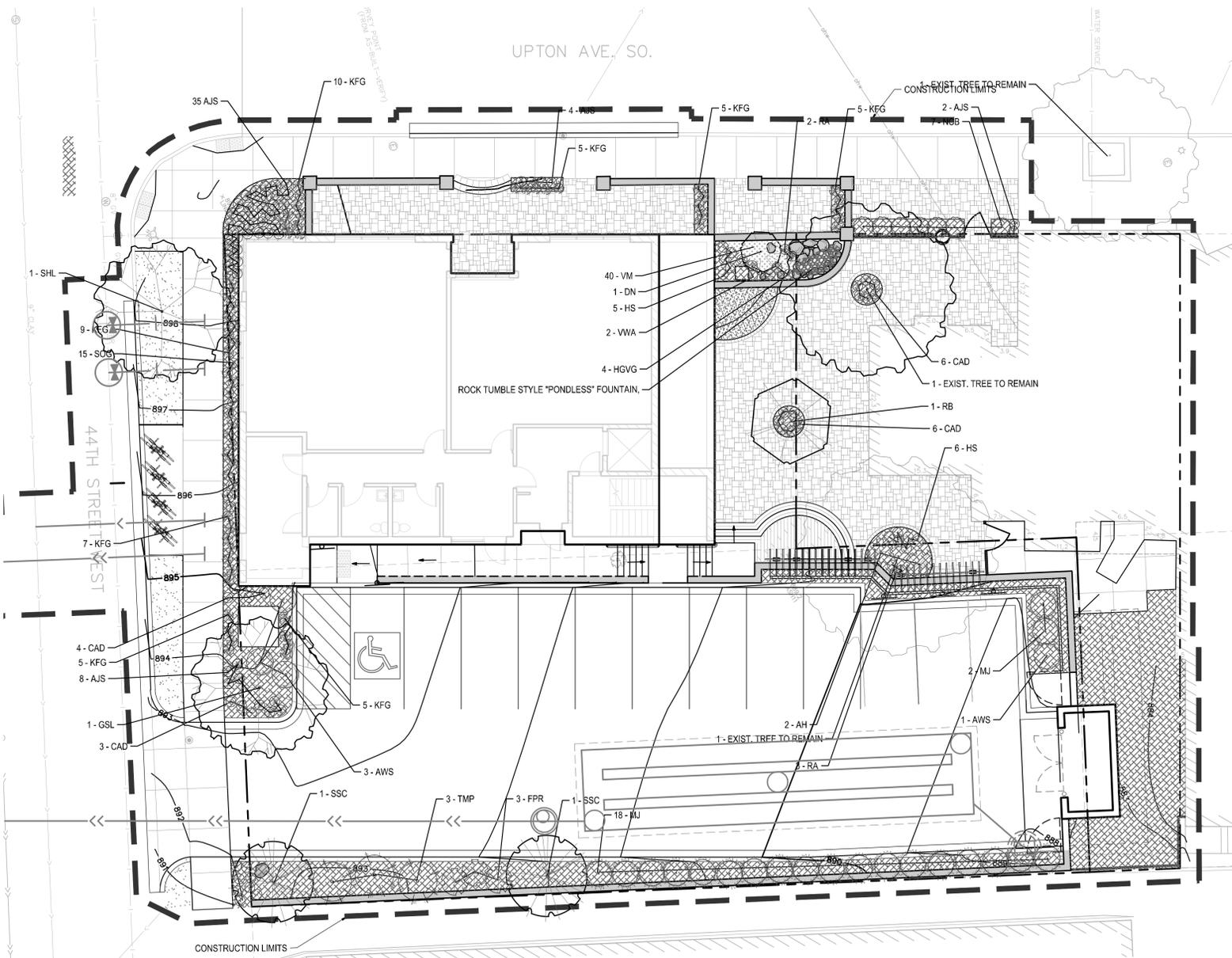


LANDSCAPE NOTES:

- ALL SHRUB BEDS SHALL BE MULCHED WITH 4" DEPTH OF DOUBLE SHREDDED HARDWOOD MULCH OVER WEED BARRIER. OWNER'S REP SHALL APPROVE MULCH SAMPLE PRIOR TO INSTALLATION. EDGING SHALL BE METAL EDGING OR APPROVED EQUAL.
- PLANT MATERIALS SHALL CONFORM WITH THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS AND SHALL BE OF HARDY STOCK, FREE FROM DISEASE, DAMAGE AND DISFIGURATION. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING PLUMBNESS OF PLANT MATERIAL FOR DURING OF ACCEPTANCE PERIOD.
- UPON DISCOVERY OF A DISCREPANCY BETWEEN THE QUANTITY OF PLANTS SHOWN ON THE SCHEDULE AND THE QUANTITY SHOWN ON THE PLAN, THE PLAN SHALL GOVERN.
- CONDITION OF VEGETATION SHALL BE MONITORED BY THE LANDSCAPE ARCHITECT THROUGHOUT THE DURATION OF THE CONTRACT. LANDSCAPE MATERIALS PART OF THE CONTRACT SHALL BE WARRANTED FOR ONE (1) FULL GROWING SEASONS FROM SUBSTANTIAL COMPLETION DATE.
- ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES SHALL RECEIVE 4" LAYER LOAM AND SOD AS SPECIFIED UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- COORDINATE LOCATION OF VEGETATION WITH UNDERGROUND AND OVERHEAD UTILITIES, LIGHTING FIXTURES, DOORS AND WINDOWS. CONTRACTOR SHALL STAKE IN THE FIELD FINAL LOCATION OF TREES AND SHRUBS FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL PLANT MATERIALS SHALL BE WATERED AND MAINTAINED UNTIL ACCEPTANCE.
- REPAIR AT NO COST TO OWNER ALL DAMAGE RESULTING FROM LANDSCAPE CONTRACTOR'S ACTIVITIES.
- SWEEP AND MAINTAIN ALL PAVED SURFACES FREE OF DEBRIS GENERATED FROM LANDSCAPE CONTRACTOR'S ACTIVITIES.

PLANT SCHEDULE - ENTIRE SITE

| SYM | QUANT. | COMMON NAME | BOTANICAL NAME | SIZE | ROOT | COMMENTS |
|------------------------------------|--------|--------------------------------|---|------|-------|--------------------------|
| DECIDUOUS TREES | | | | | | |
| RB | 1 | RIVER BIRCH | Betula nigra | 2.5" | B&B | SINGLE LEADER |
| SHL | 1 | SKYLINE HONEYLOCUST | Gleditsia triacanthos 'Skycole' | | | |
| GSL | 1 | GREENSPIRE LINDEN | Tilia cordata 'Greenspire' | | | |
| ORNAMENTAL TREES | | | | | | |
| SSC | 2 | SPRING SNOW CRABAPPLE | Malus 'Spring Snow' | 1.5' | B&B | STRAT. LEADER, FULL FORM |
| ABS | | AUTUMN BRILLIANCE SERVICEBERRY | Amelanchier x grandiflora 'Autumn Brilliance' | 1.5' | B&B | STRAT. LEADER, FULL FORM |
| DN | 1 | DIABLO NINEBARK | Physocarpus opulifolius 'Diablo' | #5 | CONT. | DENSE BRANCHING |
| DECIDUOUS SHRUBS | | | | | | |
| AWS | 4 | ANTHONY WATERER SPIREA | Spiraea x bumalda 'Anthony Waterer' | #5 | CONT. | DENSE BRANCHING |
| NCB | 7 | NORTHERN CHARM BOXWOOD | Buxus 'Wilson' | #5 | CONT. | DENSE BRANCHING |
| FPR | 4 | PAVEMENT FOXI ROSE | Rosa 'Foxy Pavement' | | | |
| AH | 2 | ANNABELLE HYDRANGEA | Hydrangea arborescens 'Annabelle' | #5 | CONT. | DENSE BRANCHING |
| EVERGREEN SHRUB | | | | | | |
| TMP | 3 | TANNENBAUM MUGO PINE | Pinus mugo 'Tannenbaum' | #5 | CONT. | FULL FORM |
| MJ | 20 | MEDORA JUNIPER | Juniperus scopulorum 'Medora' | #5 | CONT. | FULL FORM |
| PERENNIALS | | | | | | |
| CAD | 22 | CHICAGO APACHE DAYLILLY | Hemerocallis 'Chicago Apache' | #1 | CONT. | |
| AJS | 59 | AUTUMN JOY SEDUM | Sedum 'Autumn Joy' | #1 | CONT. | |
| RA | 5 | RHEINLAND ASTILBE | Astilbe japonica 'Rheinland' | #1 | CONT. | |
| VWA | 2 | VISIONS IN WHITE ASTILBE | Astilbe 'Visions In White' | #1 | CONT. | |
| HS | 11 | HOSTA SPECIES | Hosta "x" | | | |
| GRASSES & GROUND COVERS | | | | | | |
| KFG | 51 | KARL FOERSTER GRASS | Calamagrostis x acutiflora 'Karl Foerster' | #1 | CONT. | |
| SOG | 15 | SAPPHIRE BLUE OAT GRASS | Helictotrichon sempervirens 'Sapphire Blue' | #1 | CONT. | |
| HGVG | 4 | HAKONECHLOA GOLDEN VAR. GRASS | Hakonechloa macra 'Aureola' | | | |
| VM | 40 | DART'S BLUE VINCA | Vinca minor 'Dart's Blue' | | | |



IRRIGATION NOTES:

- ENTIRE SITE SHALL BE FULLY IRRIGATED. THE CONTRACTOR SHALL SUBMIT IRRIGATION SHOP DRAWINGS FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- SEE MECHANICAL AND ELECTRICAL PLANS AND SPECIFICATIONS FOR IRRIGATION WATER, METER, AND POWER CONNECTIONS.
- CONTRACTOR TO VERIFY LOCATION OF ALL UNDERGROUND/ABOVE GROUND FACILITIES PRIOR TO ANY EXCAVATION/INSTALLATION. ANY DAMAGE TO UNDERGROUND/ABOVE GROUND FACILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND COSTS ASSOCIATED WITH CORRECTING DAMAGES SHALL BE BORNE ENTIRELY BY THE CONTRACTOR.
- SERVICE EQUIPMENT AND INSTALLATION SHALL BE PER LOCAL UTILITY COMPANY STANDARDS AND SHALL BE PER NATIONAL AND LOCAL CODES. EXACT LOCATION OF SERVICE EQUIPMENT SHALL BE COORDINATED WITH THE LANDSCAPE ARCHITECT OR EQUIVALENT AT THE JOB SITE.
- CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITY COMPANY FOR THE PROPOSED ELECTRICAL SERVICE AND METERING FACILITIES.
- IRRIGATION WATER LINE CONNECTION SIZE IS 1-1/2" AT BUILDING. VERIFY WITH MECHANICAL PLANS, COVERAGE.
- ALL MAIN LINES SHALL BE 18" BELOW FINISHED GRADE.
- ALL LATERAL LINES SHALL BE 12" BELOW FINISHED GRADE.
- ALL EXPOSED PVC RISERS, IF ANY, SHALL BE GRAY IN COLOR.
- CONTRACTOR SHALL LAY ALL SLEEVES AND CONDUIT AT 2'-0" BELOW THE FINISHED GRADE OF THE TOP OF PAVEMENT. EXTEND SLEEVES TO 2'-0" BEYOND PAVEMENT.
- CONTRACTOR SHALL MARK THE LOCATION OF ALL SLEEVES AND CONDUIT WITH THE SLEEVING MATERIAL "ELDED" TO 2'-0" ABOVE FINISHED GRADE AND CAPPED.
- FABRICATE ALL PIPE TO MANUFACTURER'S SPECIFICATIONS WITH CLEAN AND SQUARE CUT JOINTS. USE QUALITY GRADE PRIMER AND SOLVENT CEMENT FORMULATED FOR INTENDED TYPE OF CONNECTION.
- BACKFILL ALL TRENCHES WITH SOIL FREE OF SHARP OBJECTS AND DEBRIS.
- ALL VALVE BOXES AND COVERS SHALL BE BLACK IN COLOR.
- GROUP VALVE BOXES TOGETHER FOR EASE WHEN SERVICE IS REQUIRED. LOCATE IN PLANT BED AREAS WHENEVER POSSIBLE.
- IRRIGATION CONTROLLER LOCATION SHALL BE VERIFIED ON-SITE WITH OWNER'S REPRESENTATIVE.
- CONTROL WIRES: 14 GAUGE DIRECT BURIAL, SOLID COPPER IRRIGATION WIRE. RUN UNDER MAIN LINE. USE MOISTURE-PROOF SPLICES AND SPLICE ONLY AT VALVES OR PULL BOXES. RUN SEPARATE HOT AND COMMON WIRE TO EACH VALVE AND ONE (1) SPARE WIRE AND GROUND TO FURTHEST VALVE FROM CONTROLLER. LABEL OR COLOR CODE ALL WIRES.
- AVOID OVERSPRAY ON BUILDINGS, PAVEMENT, WALLS AND ROADWAYS BY INDIVIDUALLY ADJUSTING RADII OR ARC ON SPRINKLER HEADS AND FLOW CONTROL ON AUTOMATIC VALVE.
- ADJUST PRESSURE REGULATING VALVES FOR OPTIMUM PRESSURE ON SITE.
- USE SCREENS ON ALL HEADS.
- PREVENTIVE. A SET OF AS-BUILT DRAWINGS SHALL BE MAINTAINED ON-SITE AT ALL TIMES IN AN UPDATED CONDITION.
- ALL PIPE 3" AND OVER SHALL HAVE THRUST BLOCKING AT EACH TURN.
- ALL AUTOMATIC REMOTE CONTROL VALVES WILL HAVE 3" MINIMUM DEPTH OF 3/4" WASHED GRAVEL UNDERNEATH VALVE AND VALVE BOX. GRAVEL SHALL EXTEND 3" BEYOND PERIMETER OF VALVE BOX.
- THERE SHALL BE 3" MINIMUM SPACE BETWEEN BOTTOM OF VALVE BOX COVER AND TOP OF VALVE STRUCTURE.

LEGEND:

- SHREDDED HARDWOOD MULCH (DK. BROWN), OVER FILTER FABRIC.
- DECORATIVE ROCK OVER GEOTEXTILE, TYP.
- INSTALL MIN. 6" TOPSOIL, SOD
- GROUND COVER PLANTING, INCLUDING MULCH, SEE PLANTING SCHEDULE ABOVE

SOUTH UPTON
 4321 AND 4353 UPTON AVENUE SOUTH, MINNEAPOLIS, MN
SOUTH UPTON PROPERTIES
 4301 NICOLLET AVENUE SOUTH, MINNEAPOLIS, MN

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

Patrick J. Sarver
Patrick J. Sarver
DATE: 1/30/15 LICENSE NO. 24904

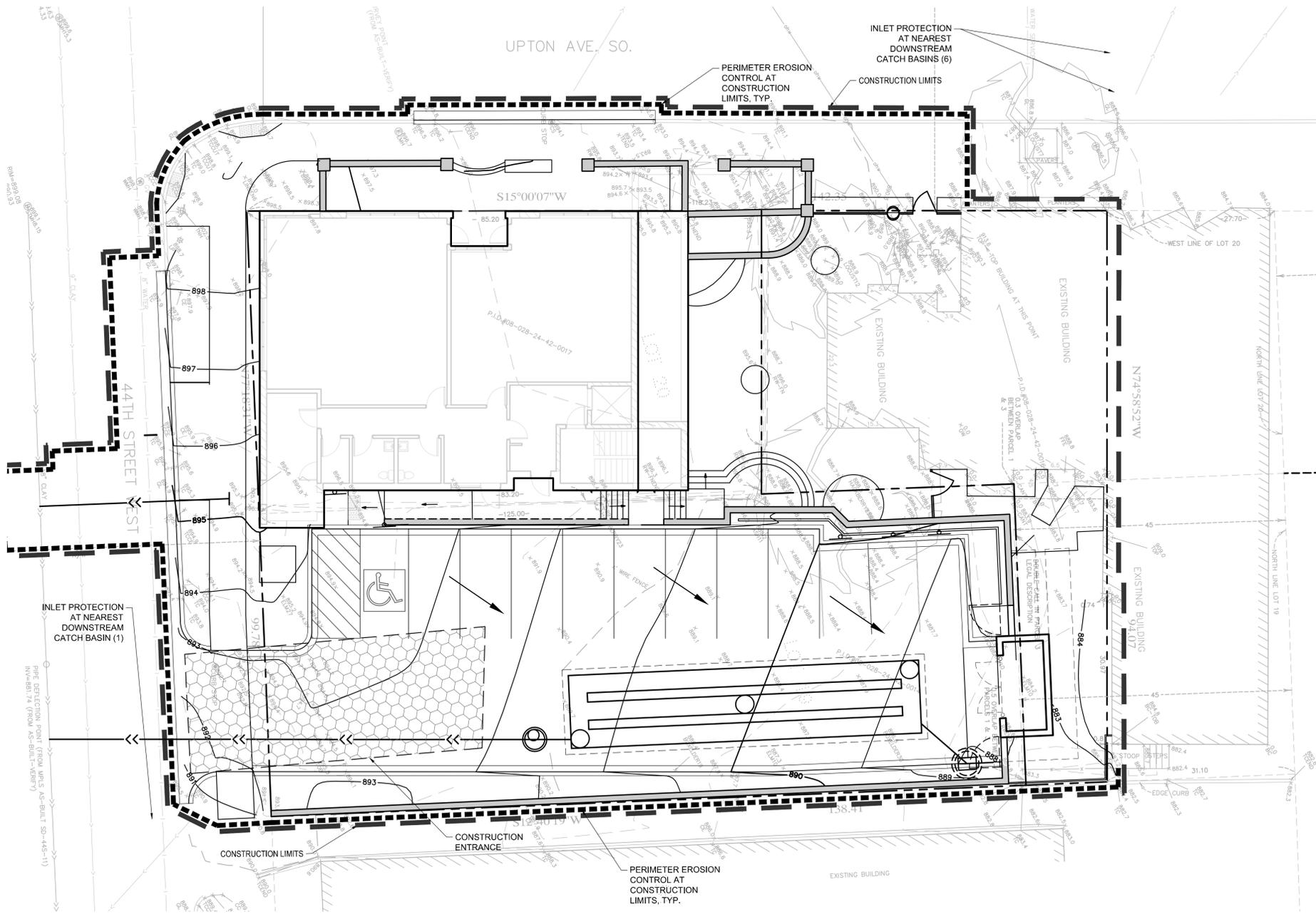
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LANDSCAPE PLAN
L1.0
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(800) 252-1196 TOLL FREE
(651) 454-0002 LOCAL



LEGEND:

| | | | | |
|--|---------|--------------------------------------|--|-----------------------|
| | 932 | EX. 1' CONTOUR ELEVATION INTERVAL | | EXISTING MANHOLE |
| | 932 | 1' CONTOUR ELEVATION INTERVAL | | EXISTING CATCH BASIN |
| | x 932.0 | EXISTING SPOT GRADE ELEVATION | | EXISTING HYDRANT |
| | 932.0 | PROPOSED SPOT GRADE ELEVATION | | EXISTING STOPBOX |
| | | DRAINAGE ARROW | | EXISTING GATE VALVE |
| | | SILT FENCE / BIOROLL - GRADING LIMIT | | EXISTING ELECTRIC BOX |
| | | STABILIZED CONSTRUCTION ENTRANCE | | EXISTING LIGHT |
| | | PROPOSED MANHOLE OR CATCH BASIN | | EXISTING GAS METER |
| | | | | EXISTING GAS VALVE |

SWPPP NOTES:

1. THIS PROJECT IS LESS THAN ONE ACRE AND AN MPCA NPDES PERMIT IS NOT REQUIRED. AN EROSION CONTROL PERMIT IS REQUIRED FROM THE CITY OF MINNEAPOLIS AND ALSO FROM THE MINNEHAHA CREEK WATERSHED DISTRICT.
2. SEE SHEETS SW1.0 - SW1.3 FOR ALL EROSION CONTROL NOTES, DESCRIPTIONS, AND PRACTICES.
3. SEE GRADING PLAN FOR ADDITIONAL GRADING AND EROSION CONTROL NOTES.
4. CONTRACTOR IS RESPONSIBLE FOR SWPPP IMPLEMENTATION, INSPECTIONS, AND COMPLIANCE WITH NPDES PERMIT.

SOUTH UPTON

4321 AND 4353 UPTON AVENUE SOUTH, MINNEAPOLIS, MN
SOUTH UPTON PROPERTIES
4301 NICOLLET AVENUE SOUTH, MINNEAPOLIS, MN

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Matthew R. Pavak
Matthew R. Pavak
DATE 1/30/15 LICENSE NO. 44263

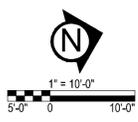
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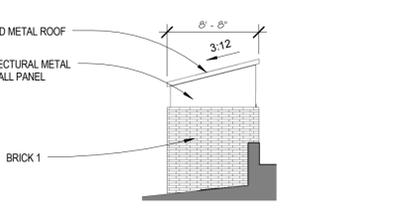
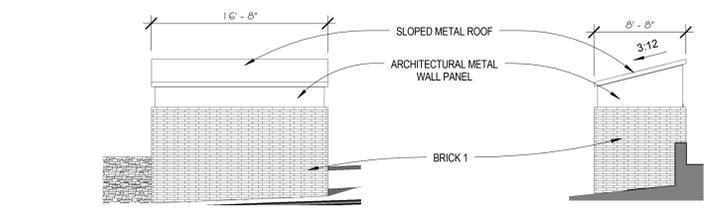
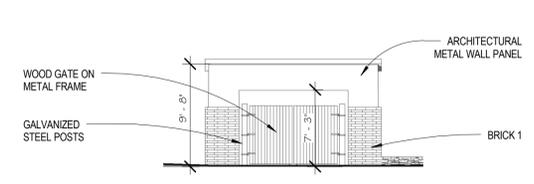
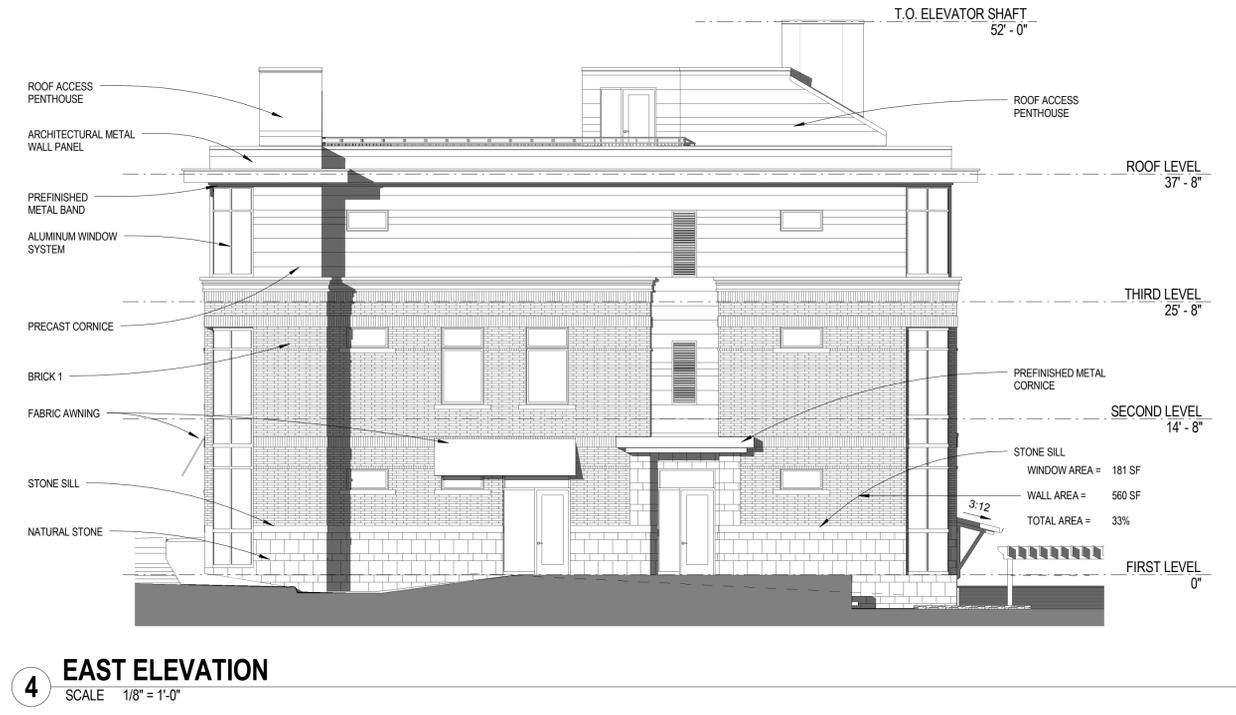
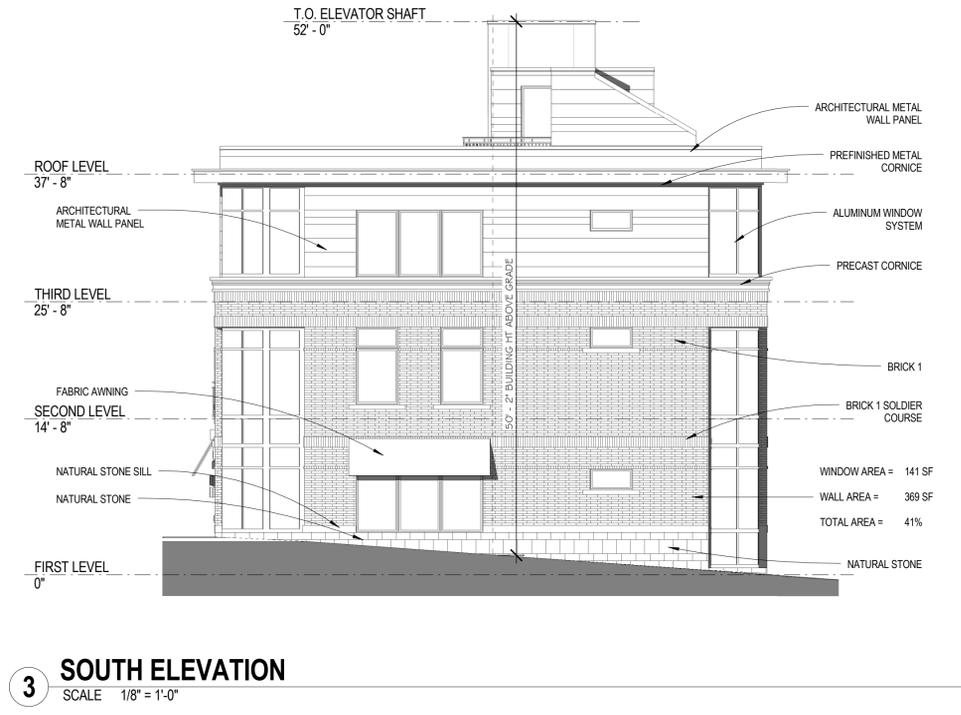
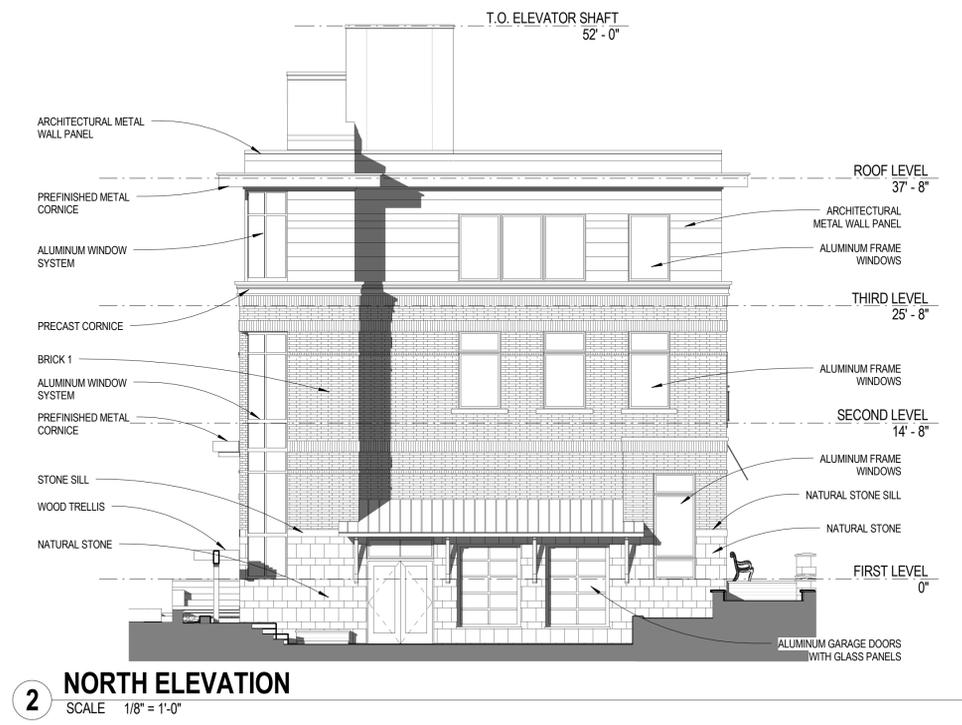
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SWPPP - PROPOSED CONDITIONS

SW1.1





| | |
|--------------------|----------|
| Date | 03/09/15 |
| Project Architect | N/A |
| Permit Submit Date | 12/03 |
| Project Number | |

| | | |
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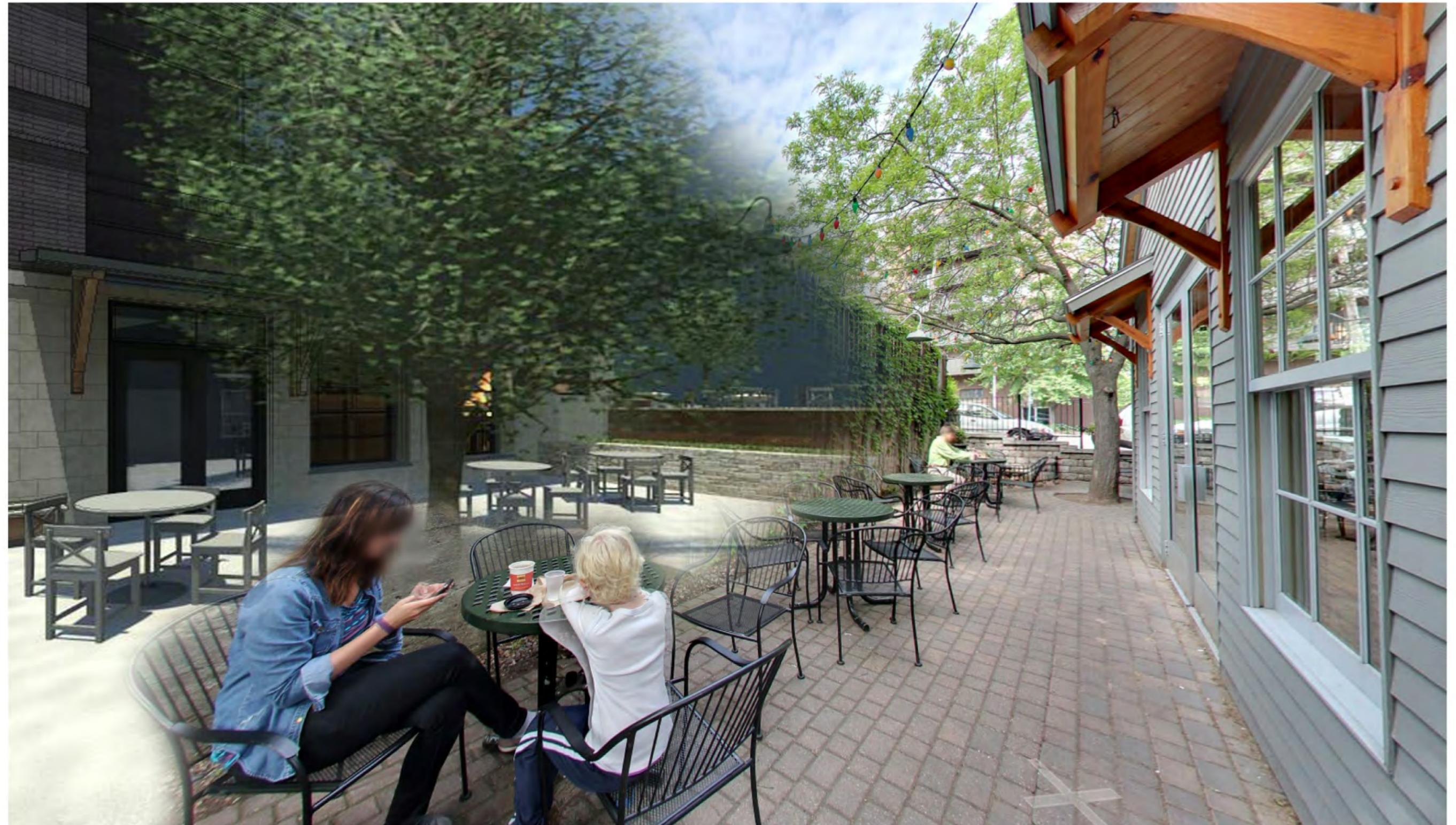
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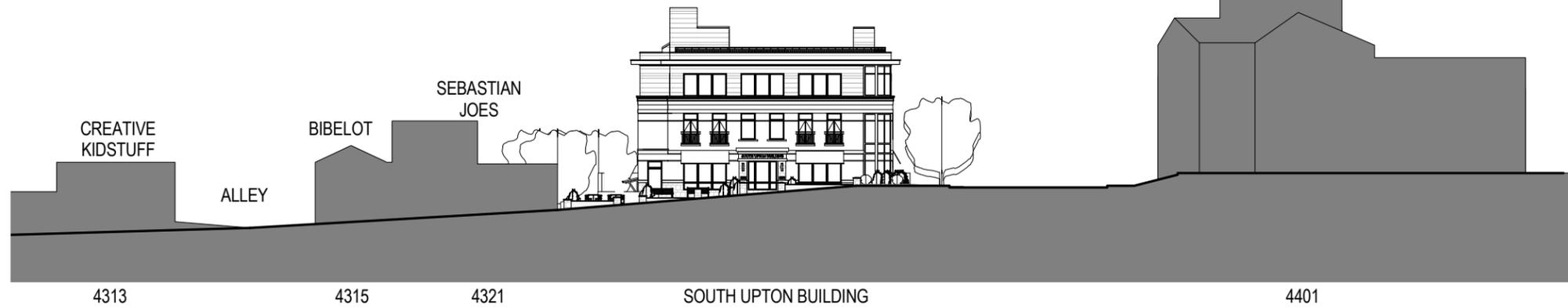
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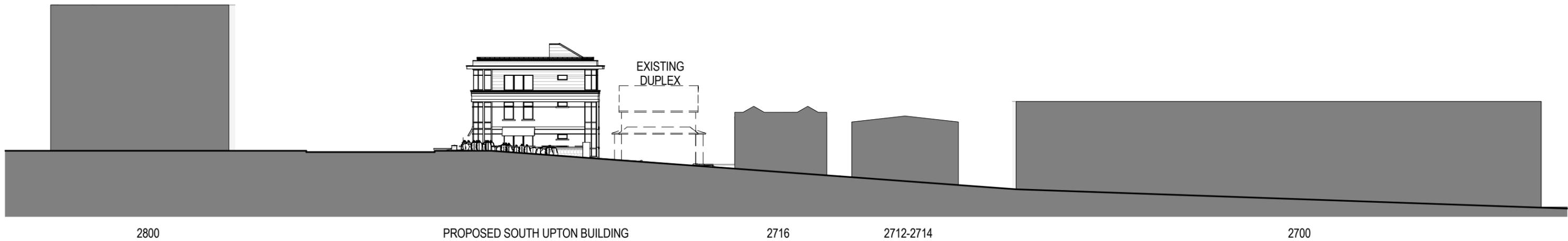
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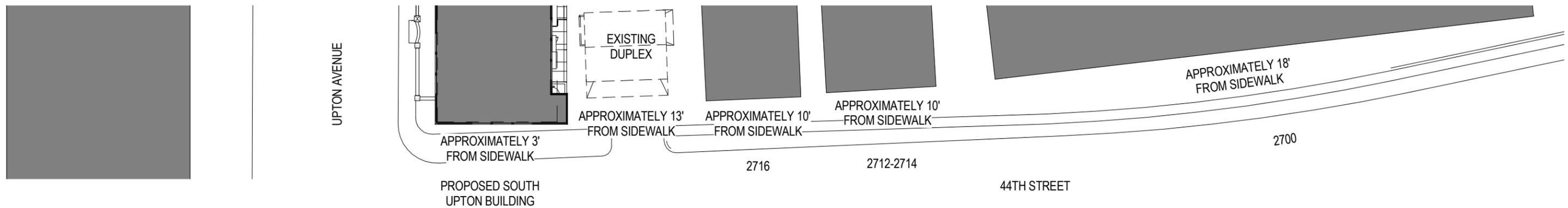
BUILDINGS ALONG UPTON AVENUE

1" = 40'-0"



BUILDINGS ALONG 44TH STREET

1" = 40'-0"



44th AVENUE PLAN (APPROXIMATE)

1" = 40'-0"



February 19, 2015

Joe Giant, City Planner
Rebecca Farrar-Hughes, Senior City Planner
Janelle Widmeier, Senior City Planner
Department of Community Planning &
Economic Development - Planning Division
250 S. 4th St. Room 300
Minneapolis, MN 55415

Re: 4106 Vincent Ave S, 3811 Sheridan Ave S/3810-26 W. Calhoun Pkwy, Proposed South Upton Building

Dear Mr. Giant, Ms. Farrar-Hughes, and Ms. Widmeier:

Please be advised of the considerations of the Linden Hills Zoning Committee at its February 16, 2015 meeting, respectfully submitted on behalf of Eric J. Hansen, Zoning Committee Chair.

The Committee voted unanimously to **Not Oppose** the variances requested for the renovation project at **4106 Vincent Ave S**, to increase the maximum size of an accessory structure, and to reduce the front yard setback along 41st St to allow a retaining wall.

The Committee voted unanimously to **Not Oppose** the minor subdivision application at **3811 Sheridan Ave S and 3810-26 W. Calhoun Pkwy**. The applicant was encouraged to pursue salvage opportunities for the 3810-26 W. Calhoun Pkwy building demolition, in the interest of reusing building materials and reducing the volume directed to landfill.

The development team of the proposed **South Upton Building** presented project plans. Committee members and neighbors weighed in with questions and concerns, which included the height of the building and elevator shaft, the inadequate parking solution, stormwater runoff, non-compliance with Shoreland Overlay District provisions and the current C1 zoning. The Committee voted to table further discussion and action until more direction is received from city staff regarding the definitive list of variances and the CUP required, and the date at which the matter will go before the City Planning Commission. A special meeting of the Zoning Committee has been tentatively scheduled for March 3.

Please contact me if you have any questions.

Regards,

A handwritten signature in black ink, appearing to read 'CP', enclosed within a large, loopy circular scribble.

Christy Prediger
Linden Hills Neighborhood Coordinator
(612) 481-5574

cc: Eric J. Hansen, Zoning Committee Chair
Julien Kubesh, Homeowner, 4106 Vincent Ave S
Thomas Bray, Attorney, Briggs and Morgan, 3811 Sheridan Ave S./3810-26 W. Calhoun Pkwy
Patrick Sarver, Civil Site Group, South Upton Building
Brian Gadiant, Momentum Design Group, South Upton Building

Widmeier, Janelle A.

From: Palmisano, Linea
Sent: Monday, February 23, 2015 6:17 PM
To: louis burg
Cc: Ziring, Emily; Widmeier, Janelle A.
Subject: RE: Sebastian Joe's Office Development

Dear Louis,

Thank you very much for this feedback. I am copying in my staff and also the Planning department lead on this project, Janelle Widmeier. This will ensure it is considered and also included in the ongoing public record for this project.

I appreciate your willingness to take the time to write and please let us know if you have any other questions about this process as it continues.

Regards,
Linea

Council Member Linea Palmisano | 13th Ward | City of Minneapolis

350 South 5th Street – Room 307 | Minneapolis, MN 55415
612.673.2213 | linea.palmisano@minneapolismn.gov

Subscribe to 13th ward newsletters & updates [here](#).

From: louis burg [mailto:rockyshane_2000@yahoo.com]
Sent: Saturday, February 21, 2015 2:23 PM
To: Palmisano, Linea
Subject: Sebastian Joe's Office Development

Good Day Linea-

My name is Lou Burg and would like to thank you in advance for reading my concerns as it pertains to the proposed Sebastian Joe's Office Building development.

A group of us from our building (2800 W 44th St) attended the Linden Hills Zoning Committee on Monday, February 16th to learn more about this. We were notified by a small flyer on Thursday, February 12th about this development.

Many people at the meeting shared their concerns on the potential parking problems & water concerns that this proposed office development would create.

I would like to address the adverse effects this has on the property owners of our six (6) story Lakewest bldg directly across the street from this development.

This development will shut out the sun and lake views for the owners on the East Side of 2800. It will also defeat the purpose of why many of us chose not to live in Uptown or 50th and France in an effort to enjoy the relative tranquility that Linden Hills brings. I would also like to express that this development will create a financial hit for all of us in 2800.

40 years ago, I earned my Real Estate License & over time I have learned besides location, that comparable sales are equally as important. This development will not only lower prices for the lake facing owners but owners on the West Side of the building as well when prospective buyers do price comparisons. Also, what will this development do for sales when prospective buyers are told of this pending office development? The answer is it will discourage prospective buyers.

Personally, did not have a problem with the 43rd and Uptown condo development to replace Famous Daves. In this case, classy condos would enhance the area and nobody would take a financial hit.

In my six (6) years of living here I have never taken part of or heard a conversation saying we need more office space. It was asked at the meeting if a Market Survey was done & the response was "no".

I appreciate the opportunity to share my concerns with you. We all need to ask ourselves why we moved to Linden Hills in the first place. In essence it is for its quaintness & it's old style of neighborhood.

Thank you, Lou Burg

Widmeier, Janelle A.

From: Palmisano, Linea
Sent: Wednesday, February 25, 2015 11:37 AM
To: Kristin.Schweizer@ricoh-usa.com
Cc: Ziring, Emily; Widmeier, Janelle A.
Subject: RE: Sebastian Joe's Development Linden Hills

Dear Kris,

Thank you for writing me. I appreciate those "firsts" as you say. It makes me think about the first time I got involved with LHiNC myself actually. And I know what you mean about this area. It is most of why I too chose to live at 2700 W 44th St, when I first arrived here in the Twin Cities.

By copy of this to Janelle, I am asking your note be added to the public record of this project as they will be going to Planning Commission on March 16th. This way, all of those commissioners will receive your input. That date is also **the** opportunity to go and speak your mind to those decision makers if you so choose.

Because my role here is quasi-judicial, I do not have any opinion of the project until the public record is closed. But since it's not part of this proposal, I can give you assurance that I would not ever be supportive of a roof top bar in this area. Or anywhere in Linden Hills. Or anywhere that I can think of in the 13th ward. While I know that is just me, and that as an elected person I won't necessarily be in this role in perpetuity, I hope that provides some level of comfort for you quickly. I heard it mentioned in the Zoning Committee discussion last week, and did not have an opportunity to comment about it there.

All my best,
Linea

Council Member Linea Palmisano | 13th Ward | City of Minneapolis

350 South 5th Street – Room 307 | Minneapolis, MN 55415
612.673.2213 | linea.palmisano@minneapolismn.gov

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From: Kristin.Schweizer@ricoh-usa.com [mailto:Kristin.Schweizer@ricoh-usa.com]
Sent: Tuesday, February 24, 2015 5:19 PM
To: Palmisano, Linea
Subject: Sebastian Joe's Development Linden Hills

Hi Linea -

Hope this message finds the week already groovin' along.

We are starting a series of firsts; attended our first Linden Hills Zoning Committee Meeting, followed by actually standing up and talking at that meeting and now, typing an email to our Council Member!

Thank you, in advance for your time.

On Thursday, February 12th a few of us in 2800 W 44th Street received a flyer announcing the Sebastian Joe's Development:

Our building is directly across the street from Sebastian Joe's. For those of us, like me, on the East side of the building, the Lake Views that solidified our purchases of our Condo, will be completely gone along with the value of the Condo.

An interesting part of the discussion pertained to the variance needed to ensure that the elevator gets to the proposed roof-top deck. We learned this the hard way when we bought into our 2800 building. It had a roof-top deck & after a year, we could not go up there since the elevator did not extend there. The reason for this roof top deck on this development is that it is to be an amenity to those who have invested to locate their retail/office space to Linden Hills. As the discussion progressed, we pushed to understand just what would be the hours of this deck? The answer was, depends on the hours that the tenants have for their respective business. As we look forward into the future, this deck opens the potential for a bar to come into Linden Hills & leverage the roof-top deck. Knowing what the neighbors of Uptown are experiencing as the rage of roof-top decks grow, this does not remotely sit well with the peacefulness that Linden Hills brings.

For every variance Linden Hills continues to "bend on" it opens the door for it to be bent again. This project exemplifies that. We all know the journey we have been on with the infamous Linden Hills Corner.

Grew up in a small town in Wisconsin and that is why I close to live in Linden Hills. Linden Hills is special. It is still quaint enough to have a small downtown feel and yet it is a mere few miles away from a Metropolis. Over the years, our town stood strong on keeping the quaint downtown feel of downtowns past. It abided by the set of rules of what could be built and how. It is so great when nieces and nephews smile and say "this is just like home". For now, I get to smile back and think, "this is home."

Struggling with this proposed development both on a personal & neighborhood level.

Appreciate the opportunity to express concerns and sentiment.

Thanks & Be Well-

Kris "Schwei" Schweizer
Kristin.Schweizer@ricoh-usa.com

Linden Hills Neighborhood Council: Zoning Committee
Minutes of February 16, 2015 Special Meeting
In attendance: CM Palmisano

South Upton Building

- They are able to keep overall height lower by entrance being approx. 4.5 ft below grade
- "Why are you trying to make this into 50th & France? Most of us moved from there."
- Building to the east has 15 apartments and 3 stories. Drainage, grade and water storage are the adjacent building owner's chief concerns.
 - Instead of draining to the alley as it does currently, Sarver is capturing the water runoff in an underground system (cistern?). Thus, he argues, they are improving the drainage. This was encouraged by City staff due to shoreland overlay.
- Being on 3rd floor of NW corner of intersection, she (person in attendance) will lose her lake views.
- Walter Pitt mentions shoreland overlay and height respective to the height of nearby buildings (argues that NW corner is not in the node because zoned R4).
- Sarver discusses how a CUP is an "as of right" consideration process.
- Architect explains that elevator shaft was purposely placed in NE corner of building to keep it as far from corner as possible.
- Confusion over notice to the community and nearby businesses.
 - Civil Site Group postmarked Feb. 9 postcards for this meeting.
- David Smith: 12 off-street parking spaces for the next door apartment building isn't enough. He does not support variance for off-street parking.
- Woman who lives at 4400 Upton has concerns about the rooftop becoming a rooftop bar.
- Concerns over cost of retail space and that it won't be occupied.
- Was there a market study done about the need for office space in the area?
 - Owner says no but he believes demand is high.
- Concern is that this doesn't grant the clients and office space lessees enough space.
 - Owner says Sebastian Joe's does over half of their business in the late afternoon/evening. These spaces are not locked for tenants but would be for Sebastian Joe's customer parking.
- Brenda (44th & Xerxes) mentions the unused parking space offered by the church that no employees use.
- City requires 16 spaces. Development wants 12 spaces. Connie says City is wrong to say it only needs 16.
- It seems to him (person in attendance) that "you do not have hardship but are working to provide an amenity to the tenants."
- Amore Victoria has a better way of achieving ADA compliance; why can't we do that here?
 - Owner says he could consider having set hours for the rooftop.
- Is it the same ADA requirements for public use v. tenant use-only?
 - Architect: yes
- There is currently drainage in the "as is" parking lot.

Widmeier, Janelle A.

From: Ziring, Emily on behalf of Palmisano, Linea
Sent: Monday, March 09, 2015 9:12 AM
To: Widmeier, Janelle A.
Subject: FW: water damage

For the record

From: louis burg [mailto:rockyshane_2000@yahoo.com]
Sent: Sunday, March 08, 2015 11:12 AM
To: Palmisano, Linea
Subject: water damage

HI IINEA,

One of the owners at 2800 w. 44th st across from S. Joes. reminded me of the horrific rainstorm we had last April with the wind blowing to 50 mph.

Needless to say our bldg. suffered severe water damage and we were advised by ServPro it would cost thousands to knock out our water damaged walls and replace them.

Over the course of the summer the sun dried out most of the damage and most units are now water and mold free.

My point is if S. Joes is allowed to build this office bldg. it would block the sun and when another fierce storm blows thru nature would not be allowed to repair the damage costing we condo owners thousands.

Another reason why this is office bldg. is such a bad idea. Thank you, Lou Burg