

CPED STAFF REPORT

Prepared for the Heritage Preservation Commission
HPC Agenda Item #2
August 25, 2015
BZH-28749

HERITAGE PRESERVATION APPLICATION SUMMARY

Property Location: 100 Hennepin Avenue
Project Name: 100 Hennepin Mixed-Use Project
Prepared By: Kimberly Holien, Senior Planner, (612) 673-2402
Applicant: Shorenstein Realty Services
Project Contact: Carl Runck, Ryan Companies
Ward: 3
Neighborhood: North Loop
Request: To construct a mixed-use building with 161 dwelling units in the Saint Anthony Falls Historic District.

Required Applications:

Certificate of Appropriateness	For the construction of a mixed-use building with 161 dwelling units in the Saint Anthony Falls Historic District.
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HISTORIC PROPERTY INFORMATION

Current Name	Not applicable
Historic Name	Pence Opera House, various other establishments
Historic Address	100-120 Hennepin Avenue
Original Construction Date	Not applicable
Original Architect	Not applicable
Original Builder	Not applicable
Original Engineer	Not applicable
Historic Use	Opera House, Rooming House, Various stores with apartments above
Current Use	Surface parking lot
Proposed Use	Mixed-use building with 161 dwelling units and two ground floor commercial spaces.

Date Application Deemed Complete	July 6, 2015	Date Extension Letter Sent	August 3, 2015
End of 60-Day Decision Period	September 4, 2015	End of 120-Day Decision Period	November 3, 2015

CLASSIFICATION

Local Historic District	Saint Anthony Falls Historic District (Non-contributing property)
Period of Significance	1848-1941
Criteria of Significance	<i>Criteria 1:</i> The property is associated with significant events or with periods that exemplify broad patterns of cultural, political, economic or social history. <i>Criteria 4:</i> The property embodies the distinctive characteristics of an architectural or engineering type or style, or method of construction.
Date of Local Designation	1971
Date of National Register Listing	1971
Applicable Design Guidelines	<u><i>Saint Anthony Falls Historic District Guidelines</i></u> (2012)

SUMMARY

BACKGROUND. The falls of St. Anthony were instrumental in the development of Minnesota’s largest city in all its stages of growth. In addition to its original natural beauty, the falls furnished direct power to the lumber and flour industries and electrical power for industrial and residential use. Centered on this influential landmark, the Saint Anthony Falls Historic District reveals the origins and early history of Minneapolis. Today, the district includes both the East and West Side Milling Districts, in addition to various homes, commercial buildings, significant bridges and elegant churches.

The subject site is located on the block bordered by Hennepin Avenue 1st Street N, 1st Avenue N and 2nd Street N. The property comprises the east half of the block and currently contains a surface parking lot. It is non-contributing property in the district. The applicant is also proposing a project on the west side of the block that is covered under a separate application. The subject block also contains a 6-story parking ramp and a three story brick building. The brick building is a contributing resource in the Minneapolis Warehouse Historic District.

Historically, the site contained the Pence Opera House at the corner of Hennepin Avenue and 2nd Street N and a series of two and three story buildings that contained retail and service uses with apartments above. The Pence Opera House was demolished in 1952. Other buildings on this block were demolished between 1950 and 1969. The site has since been used as a surface parking lot.

APPLICANT’S PROPOSAL. The applicant is proposing to construct a mixed-use building with 161 dwelling units and two ground floor commercial spaces. The building will function as six stories with a mezzanine but is eight stories per the zoning code definition of height. There are 49 parking stalls enclosed at grade on the interior of the building. The building has 12 walk-up townhome units proposed along Hennepin Avenue and three along 2nd Street N. The residential lobby is proposed along Hennepin Avenue, near the center of the building. Two commercial spaces are proposed. One is located at the corner of 2nd Street N and Hennepin Avenue and a second retail space is in the northeast corner of the building, near the intersection of Hennepin Avenue and 1st Street N.

The upper floors of the building are divided into three sections with rooftop amenity courtyards between. The northeast and southeast corners of the building have penthouse units with mezzanine levels and higher roofs. The building will connect to the parking ramp to the west in the southwest corner and resident parking will be accommodated both within the building and in said ramp.

The site currently contains a lighted monument, benches and decorative paving at the corner of Hennepin Avenue and 1st Street N. These same elements are provided at the other three corners of the intersection of Hennepin Avenue and 1st Street N. The applicant is proposing to remove the lighted monument as its current placement will conflict with the proposed building placement and pedestrian path along Hennepin Avenue. The pavers and benches will also be impacted by construction. Staff has been working with the applicant on determining the significance of these streetscape elements. The lighted monuments and pavers create a consistent streetscape as one crosses the Hennepin Avenue bridge and enters the Gateway District of downtown. Additionally, these monuments and pavers appear to have been installed around the time the Federal Reserve building was constructed. This building was the subject of a Section 106 Review that included a mitigation plan for the demolition of several historic structures in the Saint Anthony Falls Historic District. Identical monuments and pavers are located within the plaza at the Federal Reserve site. Unfortunately, City records did not contain information specific to the lighted monuments, nor did information received from the State Historic Preservation Office. However, if for no other reason, these streetscape elements are significant in that they create a gateway into downtown at the four corners of the intersection. Losing the monument, bench and pavers at one of the corners would impact the significance of the other three. As a condition of approval, staff is recommending that the lighted monument be retained on site within 40 feet of the intersection, that the pavers be installed in their current location and that the benches be reused within the public realm along Hennepin Avenue.

PUBLIC COMMENTS. No correspondence had been received as of the drafting of this report. Any correspondence received prior to the public meeting will be forwarded on to the Heritage Preservation Commission for consideration.

ANALYSIS

CERTIFICATE OF APPROPRIATENESS

The Department of Community Planning and Economic Development has analyzed the application to allow a mixed-use building with 161 dwelling units in the Saint Anthony Falls Historic District, based on the following findings:

- 1. The alteration is compatible with and continues to support the criteria of significance and period of significance for which the landmark or historic district was designated.*

The proposed development is compatible with and supports the criteria of significance and period of significance for the Saint Anthony Falls Historic District. While the site is within the Saint Anthony Falls Historic District, it has little to relate to in terms of historically significant properties. The block contains a six-story parking ramp, another surface parking lot and a building that is a contributing resource in the Minneapolis Warehouse Historic District. The subject site abuts the parking ramp only. The building will reinforce the street wall and provide retail tenants at each corner, consistent with the historical character of the district. The overall building design is a contemporary take on the buildings that were traditionally found in the district. A full analysis of how the building meets the design guidelines is provided in Finding #4 below.

2. *The alteration is compatible with and supports the interior and/or exterior designation in which the property was designated.*

The proposed development is generally compatible with and supports the exterior designation of the Saint Anthony Falls Historic District. The proposed placement, massing and design of the building will be compatible with the *Saint Anthony Falls Historic District Design Guidelines* with the conditions of approval recommended by staff. Those conditions of approval are detailed below.

3. *The alteration is compatible with and will ensure continued integrity of the landmark or historic district for which the district was designated.*

This proposal will not impact integrity of location, setting, workmanship, feeling, or association of the Saint Anthony Falls Historic District. The buildings that were historically located along this block face were built up to the street. The proposed building will fill in a gap in the urban fabric by constructing a new building that also reinforces the street wall. The proposed design is generally compatible with the applicable design guidelines with conditions of approval recommended by staff, and will ensure continued integrity of the district. There are no contributing structures within the Saint Anthony Falls Historic District on this block, therefore the setting will only be improved with the construction of a new building that is consistent with the spirit and intent of the district. No historic properties or materials will be removed or impacted as part of this proposal.

4. *The alteration will not materially impair the significance and integrity of the landmark, historic district or nominated property under interim protection as evidenced by the consistency of alterations with the applicable design guidelines adopted by the commission.*

The applicable design guidelines for this project are the *Saint Anthony Falls Historic District Design Guidelines*, which were adopted by the Heritage Preservation Commission on October 23, 2012. The guidelines have specific recommendations for new construction in addition to general recommendations for various building elements. The site is within the Warehouse District Character Area. Applicable design guidelines for this project are evaluated below:

Building Equipment

7.6 Minimize the visual impacts of building equipment as seen from the public way.

- a. Do not locate equipment on a primary facade. Primary wall penetrations for HVAC equipment are not permitted.
- b. Prioritize use of low-profile or recessed mechanical units on rooftops.
- c. Rooftop equipment on residential and commercial buildings shall be set back from the primary building facade by a minimum of one structural bay or 15' whichever is greater.

Staff comment: Mechanical louvers are proposed for each unit on the north and south building elevations. These are both primary elevations as they each face a public street. As such, the HVAC equipment is not allowed in these locations. As a condition of approval, staff is recommending that these be removed. The mechanical louvers for the westernmost units can be placed on the west elevation, facing the parking ramp. A large mechanical louver for the generator is proposed on the south elevation, facing Second Street. This louver can be relocated to the west building wall, facing the ramp, or to the east building wall, facing the driveway.

There are also mechanical louvers on the recessed portion of the building facing Hennepin Avenue that are less visible given their significant setback from the street. Therefore, these louvers may be allowed. Most of the rooftop mechanical equipment is a minimum of 15 feet from the primary façade in any direction. The trash chute venting is located within 11 feet of the west building wall.

This venting will not be visible from any adjacent public streets given the fact that a six-story parking ramp is located immediately adjacent to the site.

Balconies and Roof Decks

7.10 On a new building, locate balconies such that the traditional character of the block, as perceived at the street level, is maintained.

- a. When a building wall is positioned near the sidewalk edge, locating a balcony at the third floor or above is preferred.
- b. Consider providing a balcony that is inset instead of one that projects from the front facade. This can reinforce the concept of a simple rectangular form.

Staff comment: Projecting balconies are proposed from the second floor up on the north, south and east elevations. Converting these to inset balconies would simplify the façade and reinforce the concept of a rectangular form. Additionally, providing inset balconies would allow for the HVAC louvers to be placed on the wall facing the interior of the balcony instead of on the primary elevations. This would further simplify the design and be more in keeping with the character of the district. Inset balconies or removal of the balconies will be required as a condition of approval.

New Infill Development

9.1 Maintain the alignment of building fronts along the street.

- a. Locate a new building to reflect established setback patterns along the block. For example, if existing buildings are positioned at the sidewalk edge, creating a uniform street wall, then a new building should conform to this alignment. However, alternative placements are encouraged for upper floors when the building is required to be set back from the sidewalk edge. (See Building Mass and Height requirements also.)
- b. Maintain the established sequence of public-to-private spaces in residential neighborhoods.
- c. Provide a walkway that leads from the sidewalk to a porch or portico, and then to the residential entry.

Staff comment: The proposed mixed-use building would be the only building along the Hennepin Avenue frontage on this block. It will match the established setback of the existing parking ramp along 1st Street N and along 2nd Street N it will align with the established setback of the parking ramp and historic building at 133 1st Avenue N. The walk-up townhomes in this building will be connected to the public sidewalk with walkways and have raised patios to distinguish between public and private space.

9.2 Respect alignment patterns associated with historic infrastructure.

- a. Locate a new building to retain historic rail corridors.

Staff comment: Not applicable.

9.3 Maintain the traditional orientation pattern of buildings facing the street.

- a. Locate the primary entrance to face the street and design it to be clearly identifiable.

Staff comment: The primary residential entrance to the building will be oriented to face Hennepin Avenue and emphasized with a metal canopy and signage. There are 15 walk-up townhome units proposed on the first floor of this building, 11 with entrances facing Hennepin Avenue and three with entrances facing 2nd Street N. The commercial space at the corner of 1st Street N and Hennepin Avenue will have its entrance facing Hennepin Avenue and the commercial space at the

corner of Second Street N and Hennepin Avenue will have a recessed entrance facing 2nd Street N and an entrance facing Hennepin Avenue. All entrances are clearly identifiable.

Architectural Character and Detail

9.4 Design a new building to reflect its time while respecting key features of its context.

- a. In those character areas with a high concentration of historic structures, relating to the context is especially important. In other areas where new construction is more predominant, respecting broader traditional development patterns that shaped the area historically is important.
- b. See the individual character areas for more guidance.

Staff comment: The site is in the Warehouse District Character Area and does not have much for context to relate to. There is one historic building on the block at 133 1st Avenue N that is a contributing property in the Minneapolis Warehouse Historic District. The proposed mixed-use building is separated from that historic building by a six-story parking ramp that was constructed in 1982. The block abuts the Federal Reserve property to the north and the new building at 222 Hennepin Avenue to the south. There is no alley on this block. The guidance in this character area states that “new residential infill in the North Loop on the former rail yard between North 1st and North 2nd Streets has a strong orientation to the street, with front doors and patios fronting on the sidewalks. These establish a distinctive rhythm of buildings and entrances. Buildings are generally set back a short distance from the street, with small yards in front.” The walk-up townhomes fronting on Hennepin Avenue and 2nd Street N are consistent with this character-area recommendation. The two commercial tenants at the corners have a strong orientation to the street with primary entrances placed accordingly.

9.5 A contemporary interpretation of traditional designs is appropriate.

- a. The design should be compatible with the relevant character area.
- b. Contemporary interpretations of architectural details are appropriate.
- c. Incorporate contemporary details to create interest while expressing a new, compatible design.
- d. Use designs for window moldings and door surrounds to provide visual interest while helping to convey that a building is new.

Staff comment: The site is in the Warehouse District Character Area. In this character area first floors are generally of similar heights and brick is the predominate material. Many of the historic warehouse buildings have at least one entry onto a local street, with service and delivery located in a rear alley. There is a general consistency to the commercial facades, in their fenestration, cornice lines and materials, while variety occurs in details associated with individual architectural styles. The result is a relatively cohesive street wall. The overall design of the building is contemporary. The first floor of the building is 22 feet in height. There are no other buildings adjacent to the site within the district to relate the height of the first floor. The applicant is proposing brick on the first four floors to be compatible with the character area. The upper two floors are proposed to be a standing seam metal panel. The recessed portions of floors 2-6 are a ribbed metal panel. The north and south corners of the building are taller and different types of metal panel are used on each end. The metal panel in the northeast corner of the building has an angled portion that carries down to the second floor to provide a signature expression as one crosses the Hennepin Avenue Bridge into downtown. The windows are contemporary fiberglass.

9.6 An interpretation of a historic style that is authentic to the district will be considered if it is subtly distinguishable as being new.

- a. Avoid an exact imitation of a historic style that would blur the distinction between old and new buildings and make it more difficult to understand the architectural evolution of the district. Incorporate contemporary details to create interest while expressing a new, compatible design.

Staff comment: The proposed building is unique and contemporary and will not convey a false sense of history.

9.7 Incorporate traditional facade articulation techniques in a new design.

- a. Use these methods:

- A tall first floor
- Vertically proportioned upper story windows
- Window sills and frames that provide detail
- Horizontal expression elements, such as canopies, moldings and cornices
- Vertical expression features, such as columns and pilasters
- A similar ratio of solid wall to window area

Staff comment: The first floor of the building is 22 feet in height. Windows are vertically proportioned and metal awnings are proposed over the townhome entrances and the residential entrance along Hennepin Avenue. Vertical columns are incorporated into the upper floors and the northeast corner of the building is anchored by a brick column at the commercial tenant space. The ground floor retail uses are very transparent but the residential units have a similar ratio of solid wall to window area.

Building Mass, Scale and Height

9.8 Maintain the traditional size of buildings as perceived at the street level.

- a. The height of a new building should be within the height range established in the context, especially at the street frontage.
- b. Floor-to-floor heights should appear similar to those of traditional buildings.

Staff comment: The only context on the subject block for the mixed-use building is a six-story parking ramp. The proposed mixed-use building functions as six stories but would be eight stories per the zoning code definition. The floor to floor heights on the upper levels range from 10'8" to 11'8". While there is little context on this block, the building height and floor heights relate to the new building to the north at 222 Hennepin Avenue.

9.9 The overall height of a new building shall be compatible with the character area.

- a. A building height that exceeds the height range established in the context will be considered when:
 - It is demonstrated that the additional height will be compatible with adjacent properties, within the character area as a whole, and for the historic district at large.
 - Taller portions are set back significantly from the street.
 - Access to light and air of surrounding properties is respected.
 - Key views are maintained.

Staff comment: The recommended height for this character area is a maximum of six stories. The design guidelines also state that mid-rise and low-rise building heights are most appropriate. Mid-rise is considered 7-9 stories while low-rise is considered 4-6 stories. The proposed mixed-use building will function as six stories but would be considered eight stories per the zoning code definition of height. The proposed height is consistent with the recommendations for the character area.

9.10 Position taller portions of a structure away from neighboring buildings of lower scale.

- a. Locate the taller portion of a new structure to minimize looming effects and shading of lower scaled neighbors, especially when adjacent to smaller historic structures.
- b. Taller portions of a building should be compatible and not loom over adjacent buildings at any time. Recessed articulations should reflect the depth of traditional openings. Floor-to-floor heights should appear similar to those of traditional buildings.

Staff comment: Buildings on surrounding blocks range in height from three stories to 16 stories. The subject block contains a six-story parking ramp in the center and a three-story historic brick building at the corner of 2nd Street N and 1st Avenue N. The proposed building is across the street from a 16-story residential building on the east side of Hennepin Avenue, the six-story 222 Hennepin Apartments on the south side of 2nd Street N and the Federal Reserve building, to the north which is approximately ten stories in height, on the north side of 1st Street North. The buildings to the west are in the Minneapolis Warehouse Historic District and are predominantly three to four stories in height. The applicant provided shadow studies and the proposed building height should have limited shadowing impacts on the building at the corner of 2nd Street N and 1st Avenue N as the parking ramp separates the two sites.

9.11 Provide variation in building height in a large development.

- a. In order to reduce the perceived mass of a larger building, divide it into subordinate modules that reflect traditional building sizes in the context. Too much variation in building height is inappropriate.
- b. Vary the height of building modules in a large structure, and include portions that are similar in height to historic structures in the context. However, avoid excessive modulation of a building mass, when that would be out of character with simpler historic building forms in the area. Too much variation in building massing is inappropriate.

Staff comment: The upper floors of the building are organized into three modules that read as separate buildings above the first floor. The proposed design is reflective of traditional building sizes. All three modules are of similar height and scale with increased height at each corner. The increased height in each corner is accented with a material change. The material at the top of the southeast corner is a matte black metal panel and the material in the northeast corner is a copper colored metal panel. To avoid excess modulation, staff recommends that the same accent material be used in both corners. This will be required as a condition of approval.

9.12 Maintain the scale of traditional building widths in the context.

- a. Design a new building to reflect the established range of the traditional building widths in the character area.
- b. Where a building must exceed this width, use changes in design features so the building reads as separate building modules reflecting traditional building widths and massing. Changes in the expression and details of materials, changes in window design, facade height or materials are examples of techniques that should be considered.

- c. Where these articulation techniques are used, they shall be expressed consistently throughout the structure, such that the composition appears as several building modules. Attention to the designs of transitions between modules is important. Too much variation, which results in an overly busy design, is inappropriate.

Staff comment: The first floor is one continuous wall and the upper floors break into three separate sections or modules to reflect traditional building widths. The outside modules are each approximately 80 feet in width and the center is approximately 76 feet in width. The height between of the three modules is uniform with the exception of the increased height at each outside corner. As noted above, staff is recommending that the same material be used in each corner of the uppermost floors to achieve a design that is less busy. This is especially important given the fact that three primary exterior materials are proposed.

9.13 A block-long building facade is inappropriate.

- a. A block-long building width will be considered if the facade reads as separate building modules.

Staff comment: The first floor of the building comprises the entire block face along Hennepin Avenue. However, as previously noted, the upper floors are divided into three modules to read as separate buildings.

9.14 A new commercial or mixed-use building should incorporate a base, middle and cap.

- a. Traditionally, buildings were composed of these three basic elements. Interpreting this tradition in new buildings will help reinforce the visual continuity of the area. Consider dividing a block long facade into sub-components that read as several discrete modules that are consistent with traditional building widths in the context. A block-long building width will be considered if the facade reads as separate building modules. Please note that this may be appropriate in some areas and not in others.

Staff comment: The project has a brick base with significant glass coverage and awnings to distinguish it from the middle, which is also brick. The top of the building is metal panel with a cornice overhang to cap off the building.

9.15 Establish a sense of human scale in the building design.

- a. Use vertical and horizontal articulation techniques to reduce the apparent mass of a larger building and to create visual interest.
- b. Express the position of each floor in the external skin of a building to establish a scale similar to historic buildings in the district.
- c. Use materials that convey scale in their proportion, detail and form.
- d. Generally, the facade in most contexts should appear as a relatively flat surface, with any projecting or recessed “articulations” appearing to be subordinate to the dominant form. Exceptions are in lower scale single-family settings.
- e. Design architectural details and other features to be in scale with the building. Using windows, doors, storefronts (in commercial buildings) and porches (in lower scale residential buildings) that are similar in scale to those seen traditionally is appropriate.

Staff comment: The proposed building form breaks it into three separate sections to establish a sense of scale similar to historic buildings in the district. Horizontal articulation techniques are used, including awnings and a projecting cornice. To achieve a relatively flat surface as called for in this guideline, staff is recommending that the projecting balconies be replaced with inset balconies or be removed from the building completely.

Building and Roof Form

9.16 Use simple, rectangular roof forms in commercial, warehouse and industrial contexts. a. Flat roofs are appropriate on the majority of the buildings in the district.

Staff comment: The building will have a flat roof.

Primary Entrances

9.18 Locate a primary building entrance to face the street.

- a. Position a primary entrance to be at the street level in an urban setting.
- b. Recessed entries are encouraged to avoid door swing conflicts with the sidewalk and to provide shelter.

Staff comment: The primary entrance to the commercial space at the corner of 2nd Street N and Hennepin Avenue is facing 2nd Street N and is recessed to avoid door swing conflicts. This space has a second entrance facing Hennepin Avenue that will be positioned so as to not conflict with the sidewalk. The entrance into the retail space at the corner of Hennepin Avenue and 1st Street N faces Hennepin Avenue and is also recessed in a manner that keeps the door swing off the public sidewalk. The residential entrance is facing Hennepin Avenue and located in a manner that will not conflict with the sidewalk. The townhome entrances are all recessed from the adjacent sidewalks and open onto private patios.

9.19 Design a building entrance to appear similar in character to those used traditionally.

- a. Clearly define the primary entrance.
- b. Use a contemporary interpretation of a traditional building entry, which is similar in scale and overall character to those seen historically.

Staff comment: The primary residential entrance is clearly defined with glass, signage, and an accent band of copper-colored metal panel. This is a contemporary approach to defining the entry. The townhome entrances also have awnings. The entrances to the two retail spaces are clearly defined with significant glazing. Speculative signage is proposed in the transom.

Materials

9.20 Building materials shall be similar in scale, color, texture and finish to those seen historically in the context.

- a. Masonry (i.e., brick and stone) that has a modular dimension similar to those used traditionally is appropriate.
- b. A facade that faces a public street should have one principal material, excluding door and window openings, and may have one to two additional materials for trim and details. Permitted materials include, but are not limited to, brick, stone, terracotta, painted metal, exposed metal, poured concrete and precast concrete.
- c. The material also should be appropriate to the context.

Staff comment: The first four floors of the building will be dark brown brick with a traditional modular dimension. The elevations show a sandstone-colored accent material between the first and second floors of the townhome units. However, the renderings show this as brick. As a condition of approval, brick will be required. The recessed portions of floors 2-6 will be a ribbed metal panel in matte black and the uppermost floors of the main building façade will be a standing seam metal panel in light gray. As noted above, accent metal panel is proposed in the uppermost northeast corner and southeast corners of the building. The accent metal in the northwest corner of the

building is copper in color and carried down to the second floor at an angle in what the applicant has deemed a “signature element.” The accent material in the southeast corner is a matte black metal panel that matches the ribbed metal panel in color but not texture. As previously stated, staff is recommending that only one metal accent material be used in the upper corners. The west elevation, facing the parking ramp, will be precast panel on the first floor and ribbed metal panel above. This elevation will not be visible from the public street given the stair and elevator projections from the ramp.

9.21 Contemporary materials that are similar in character to traditional ones will be considered.

- a. Generally, one primary material should be used for a building with one or two accent materials. Accent materials should be used with restraint.
- b. A second material may be used on side or rear walls in a context in which such a tradition is demonstrated historically. It is inappropriate in the Water Power Area.
- c. A glass curtain wall will be considered as a principal material.
- d. Contemporary, alternative materials should appear similar in scale, durability and proportion to those used traditionally.
- e. Cementitious-fiber board, with exemplary detailing, will be considered in lower scaled residential settings. Other imitation or synthetic siding materials, such as plastic, aluminum or vinyl, are inappropriate in the lower scale residential contexts.

Staff comment: The building uses three primary materials (brick and two types of metal panel) in addition to the storefront systems in the commercial uses and residential entry. There are four types of metal panel used overall; two are primary materials and two accent materials. Staff is recommending that the same metal panel be used to accent the upper corners of the building to simplify the palette and maintain consistency with the design guidelines. Staff also recommends that brick be provided between the first and second floor windows on the townhome units.

9.22 Use high quality, durable materials.

- a. Materials should be proven to be durable in the local Minneapolis climate.
- b. The material should maintain an intended finish over time, or acquire a patina, which is understood to be a likely outcome.
- c. Materials at the ground level should withstand ongoing contact with the public, sustaining impacts without compromising the appearance.

Staff comment: All of the proposed materials are durable, climate-sensitive and appropriate for the public realm.

Windows

9.23 The use of a contemporary storefront design is encouraged in commercial settings.

- a. Design a building to incorporate ground floor storefronts in commercial settings, whenever possible.
- b. Incorporate the basic design features found in traditional storefronts, such as a kickplate, display window, transom and a primary entrance.
- c. In storefront details, use elements similar in profile and depth of detailing seen historically.
- d. Where a storefront is not feasible, incorporate a high level of transparency in ground floor office, lobby or residential uses while providing sufficient privacy for occupants.

Staff comment: Ground floor storefronts are proposed on the northeast corner and southeast corners of the building. The storefronts are aluminum storefront systems with spandrel glass above that gives the appearance of a transom. The plans indicate that signage will be provided in the transom but exact sign details are not known at this time. Street-facing entrances are proposed in each retail space. An aluminum storefront system is also proposed at the residential lobby entrance. The ground-floor uses are 22 feet in height.

9.24 Arrange windows to reflect the traditional rhythm and general alignment of windows in the area.

- a. Use appropriate window rhythms and alignments, such as:
 - Vertically proportioned, single or sets of windows, “punched” into a more solid wall surface, and evenly spaced along upper floors
 - Window sills or headers that align
 - Rows of windows or storefront systems of similar dimensions, aligned horizontally along a wall surface
- b. Creative interpretations of traditional window arrangement will be considered.

Staff comment: The ground floor retail uses and residential entry are very transparent and use a contemporary storefront design that is vertically proportioned. Windows are also vertically proportioned and evenly spaced along the upper floors. Windows are in alignment horizontally across the building.

9.25 Use durable window materials.

- a. Appropriate window materials include metal and wood frame.
- b. Inappropriate window materials include plastic snap-in muntins and synthetic vinyl.

Staff comment: The ground level storefronts will have anodized aluminum storefront systems with glass and spandrel glass above that gives the appearance of a transom. The applicant is proposing fiberglass windows for the upper floors. While not specifically called out as an appropriate material, fiberglass is a durable material.

The site is also subject to the adopted *Design Guidelines for On-Premise Signs and Awnings*. The applicant is proposing a building identification sign above the awning over the residential entrance. The design guidelines state that a Certificate of Appropriateness is required for sign or awning proposals that do not conform to the design guidelines. The proposal does not comply with the specific guidelines for awning signs, as discussed below. In determining whether to approve a Certificate of Appropriateness for a sign or awning proposal, the guidelines state that the HPC will consider special situations including building condition, building orientation, historic precedence and exceptional design proposals.

It should be noted that signs similar to the one proposed are occasionally called “canopy signs.” Staff believes that this proposal meets the definition of an awning sign, rather than a canopy sign, based on these definitions in the *Design Guidelines for On-Premise Signs and Awnings*:

Awning. A roof-like cover, often constructed of fabric, plastic, vinyl, metal or glass, designed and intended for protection from the elements or as a decorative embellishment, and which projects from a wall of a structure.

Awning sign. A sign printed on or in some fashion attached directly to an awning.

Canopy sign. A sign printed or in some fashion attached directly to a canopy.

A canopy is not defined in the *Design Guidelines for On-Premise Signs and Awnings*; however, in the Minneapolis Zoning Code, a canopy is defined as such:

Canopy. A structure, often constructed of fabric, plastic, vinyl, metal or glass, with supports attached to the ground, sheltering an area or forming a sheltered walk to the entrance of a building.

The following guidelines are applicable to this proposal, with emphasis added where the guidelines are not met by this proposal:

4. *Guidelines for Specific Types of Signs*

e. **Awnings and Awning Signs:**

- i. *Location.* Awnings should fit within the window or door opening.
- ii. *Number of awnings.* The number of awnings may not exceed the number of window or door openings.
- iii. *Number of awning signs.* Awning signs are limited to ground floor awnings. There should be no more than one sign per awning. **Awning signs should be no more than six (6) square feet in area.** Where there are multiple awning signs on a building, all signs should be located in the same or similar position on the awnings.
- iv. *Materials.* **Awnings should be constructed of coated or uncoated cloth fabric.**
- v. *Installation.* Awning hardware should be attached to the window or door frame and should never damage masonry. Awnings should not be attached to or cover any part of the building wall.
- vi. *Illumination.* **Awnings and awning signs should not be illuminated.**

Awning shape. Awnings should project downward and outward from the openings in straight lines unless they are reflecting the curved shape of the opening. The projection of an awning should be less than its height. An awning drop or skirt should not exceed twelve (12) inches

Staff comment: The proposed awning sign is approximately 13 square feet in area, 24 feet in height and attached to the top of an awning that projects straight from the building wall. The sign will be internally illuminated. The awning is constructed of copper metal panel. If this were a wall sign, it would be permitted. However, given the way it is attached to the building it requires the Certificate of Appropriateness review. Staff is recommending approval of the sign, given the fact that it is in keeping with the scale of this new building.

5. *The alteration will not materially impair the significance and integrity of the landmark, historic district or nominated property under interim protection as evidenced by the consistency of alterations with the recommendations contained in The Secretary of the Interior's Standards for the Treatment of Historic Properties.*

The construction of a new building on a surface parking lot in the Saint Anthony Falls Historic District will not materially impact the significance or integrity of the district, with the conditions of approval recommended by staff. There are no historic structures on the site and therefore, only the following *Secretary of the Interior's Standards for the Treatment of Historic Properties* are applicable to this project:

- I. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

2. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The proposed building will be easily distinguishable from historic properties in the district yet compatible with the massing, size, scale and materials of contributing properties. The new building will not impact the environment of the district in such a way that it would have lasting effects if the building were to be removed. The building does not directly abut any historic buildings.

6. *The certificate of appropriateness conforms to all applicable regulations of this preservation ordinance and is consistent with the applicable policies of the comprehensive plan and applicable preservation policies in small area plans adopted by the city council.*

The proposed development will conform to all applicable regulations of this preservation ordinance and would be consistent with the following policies of the comprehensive plan:

Heritage Preservation Policy 8.1: Preserve, maintain, and designate districts, landmarks, and historic resources which serve as reminders of the city's architecture, history, and culture.

- 8.1.1 Protect historic resources from modifications that are not sensitive to their historic significance.
- 8.1.2 Require new construction in historic districts to be compatible with the historic fabric.
- 8.1.3 Encourage new developments to retain historic resources, including landscapes, incorporating them into new development rather than removal.

Heritage Preservation Policy 8.5: Recognize and preserve the important influence of landscape on the cultural identity of Minneapolis.

- 8.5.1 Identify and protect important historic and cultural landscapes.

7. *Destruction of any property. Before approving a certificate of appropriateness that involves the destruction, in whole or in part, of any landmark, property in an historic district or nominated property under interim protection, the commission shall make findings that the destruction is necessary to correct an unsafe or dangerous condition on the property, or that there are no reasonable alternatives to the destruction. In determining whether reasonable alternatives exist, the commission shall consider, but not be limited to, the significance of the property, the integrity of the property and the economic value or usefulness of the existing structure, including its current use, costs of renovation and feasible alternative uses. The commission may delay a final decision for a reasonable period of time to allow parties interested in preserving the property a reasonable opportunity to act to protect it.*

The application does not include destruction of property. The site is currently a surface parking lot with no existing structures.

Before approving a Certificate of Appropriateness, and based upon the evidence presented in each application submitted, the Commission shall make findings that alterations are proposed in a manner that demonstrates that the Applicant has made adequate consideration of the following documents and regulations:

8. *The description and statement of significance in the original nomination upon which designation of the landmark or historic district was based.*

The applicant has demonstrated adequate consideration for the description and statement of significance in the original nomination upon which the Saint Anthony Falls Historic District was based. The proposed development will be compatible with the *Saint Anthony Falls Historic District Design Guidelines* with the conditions of approval recommended by staff.

9. *Where applicable, adequate consideration of Title 20 of the Minneapolis Code of Ordinances, Zoning Code, Chapter 530, Site Plan Review.*

The proposed project will require additional land use applications, including an application for Site Plan Review. The building is generally consistent with the requirements of Chapter 530. Thus far, alternative compliance has been identified to allow the building to be setback more than 8 feet from the front property line along Hennepin Avenue and to allow blank walls in excess of 25 feet on the back side of the building where it is obscured by the parking ramp. A full site plan review analysis will be done upon submittal of that application.

10. *The typology of treatments delineated in the Secretary of the Interior's Standards for the Treatment of Historic Properties and the associated guidelines for preserving, rehabilitating, reconstructing, and restoring historic buildings.*

The proposed development will comply with the *Secretary of the Interior's Standards for the Treatment of Historic Properties* for new construction.

Before approving a Certificate of Appropriateness that involves alterations to a property within an historic district, the Commission shall make findings based upon, but not limited to, the following:

11. *The alteration is compatible with and will ensure continued significance and integrity of all contributing properties in the historic district based on the period of significance for which the district was designated.*

The proposed development is compatible with and will ensure continued significance and integrity of all contributing properties in the historic district based on the period of significance for the Saint Anthony Falls Historic District. There are no contributing properties in the district on this subject block. The proposed development will be compatible with the *Saint Anthony Falls Historic District Design Guidelines* with the conditions of approval recommended by staff.

12. *Granting the certificate of appropriateness will be in keeping with the spirit and intent of the ordinance and will not negatively alter the essential character of the historic district.*

The spirit and intent of the City of Minneapolis' Heritage Preservation Regulations is to preserve historically significant buildings, structures, sites, objects, districts, and cultural landscapes of the community while permitting appropriate changes to be made to these properties. Granting the certificate of appropriateness will be in keeping with the spirit and intent of the ordinance and will not negatively alter the essential character of the historic district. As previously stated, there are no contributing buildings in the Saint Anthony Falls Historic District on this block.

13. *The certificate of appropriateness will not be injurious to the significance and integrity of other resources in the historic district and will not impede the normal and orderly preservation of surrounding resources as allowed by regulations in the preservation ordinance.*

The certificate of appropriateness to allow the construction of the proposed mixed-use building with 161 dwelling units will not be injurious to the significance and integrity of other resources in the district nor will it impede the normal and orderly preservation of surrounding resources. There are no contributing resources in the district on this block and no resources will be directly impacted by the construction of the building.

RECOMMENDATIONS

The Department of Community Planning and Economic Development recommends that the Heritage Preservation Commission adopt staff findings for the application by Carl Runck of Ryan Companies for the property located at 100 Hennepin Avenue:

A. Certificate of Appropriateness.

Recommended motion: **Approve** the certificate of appropriateness to allow the construction of a new mixed-use building with 161 dwelling units, subject to the following conditions:

1. By ordinance, approvals are valid for a period of two years from the date of the decision unless required permits are obtained and the action approved is substantially begun and proceeds in a continuous basis toward completion. Upon written request and for good cause, the planning director may grant up to a one year extension if the request is made in writing no later than August 11, 2017.
2. By ordinance, all approvals granted in this certificate of appropriateness shall remain in effect as long as all of the conditions and guarantees of such approvals are observed. Failure to comply with such conditions and guarantees shall constitute a violation of this Certificate of Appropriateness and may result in termination of the approval.
3. Mechanical louvers shall be removed from all street-facing elevations, in compliance with the *Saint Anthony Falls Historic District Design Guidelines*. Mechanical louvers on the recessed portions of the east elevation shall be permitted.
4. The balconies shall be converted to inset balconies or removed to reinforce the concept of a simple rectangular form in accordance with the *Saint Anthony Falls Historic District Design Guidelines*.
5. The same metal panel shall be used to accent the upper corners of the building to reduce the number of materials and simplify the façade in compliance with the *Saint Anthony Falls Design Guidelines*.
6. Brick shall be used between the first floor and second floor windows in the townhome units to reduce the number of materials and simplify the façade in compliance with the *Saint Anthony Falls Design Guidelines*.
7. The lighted monument and pavers near the corner of Hennepin Avenue and 1st Street N shall be retained. The lighted monument shall be retained in the public realm along Hennepin Avenue within 40 feet of the intersection of Hennepin Avenue and 1st Street N. The pavers shall be retained or replaced in their current location to match the other four corners of the intersection. The benches shall be reused in accordance with the site plan.

ATTACHMENTS

1. Written description and findings submitted by applicant
2. Zoning map
3. Plans
4. Building elevations
5. Renderings
6. Shadow study
7. Photos

8. Correspondence

HPC CERTIFICATE OF APPROPRIATENESS

100 Hennepin Mixed-Use Building

June 23, 2015, (Rev. July, 23, 2015), (Rev. August 10, 2015)

Project Description:

The proposed project includes parcels on the east and west sides of an existing six-story parking ramp that are being submitted as separate applications. The parcel at 100 Hennepin Avenue comprises the entire block face along Hennepin Avenue between 1st Street N and 2nd Street N. The parcel at 101 1st Avenue N is a narrow strip of land on the west side of the ramp. Both parcels are currently used as surface parking. Both project sites are located in the St. Anthony Falls Historic District. The historic designation of the St. Anthony Falls Historic District focuses on the urbanization of the Falls with a period of significance between 1858 and 1941.

The mixed-use project includes an eight-story building fronting along Hennepin Avenue with two ground floor commercial tenants and 161 dwelling units. The building actually functions as six stories plus a mezzanine but is considered eight stories per the zoning code definition of height. There are 49 enclosed parking stalls proposed at grade and the rest of the residential parking will be accommodated in the adjacent parking ramp. The first floor of the building has walk-up loft-style townhome units along Hennepin Avenue and 2nd Street N and a commercial tenant at each corner. The loft townhome units have awnings above the entrances which open to screened areas. Narrow landscaped areas are provided between the building and the public sidewalk. The residential lobby is located near the middle of the block with the entrance facing Hennepin Ave. The retail tenants at the corners are also oriented toward Hennepin Ave. Above the first floor the building is divided into three sections or modules that read as separate buildings. Two rooftop amenity courtyards are proposed between these sections. The ground floor of the building will be primarily brick and glass. Above the first floor each of the modules has 3 stories of brick with the top two stories having vertically oriented metal panel and a cornice element. The northernmost and southernmost sections contain penthouse units with mezzanines and higher roofs. The northernmost section will include a 'tower' element clad in a decorative metal panel accent color. The recessed elevations facing Hennepin Avenue will be dark ribbed metal panel.

The project also includes 13 walk-up townhome units on a narrow parcel that fronts on 1st Avenue N. These townhome units will be oriented to 1st Avenue N and have tuck-under garages accessed from the rear. The townhomes are four stories in height with the fourth floor recessed to allow for rooftop terraces. In terms of materials, the townhomes will have brick on the first floor, stucco with metal panel accents on the second and third floors and painted fiber cement on the fourth floor.

Access into the ground floor parking of the mixed-use building occurs at two locations. Residents will enter the parking area via a curb cut from 2nd Street N. Traffic in from this street is one-way. Cars will exit out onto 1st Street N. This curb cut allows for two-way traffic as there is a public parking area accessible from 1st Street N but closed off from the residential parking. The existing parking ramp in the center of the block has curb cuts from 1st Street N and 2nd Street N and the 1st Avenue N townhomes are accessed via separate curb cuts that lead to an existing drive lane.

The property at 100 Hennepin Avenue, site of the mixed-use building, is zoned B4S-I, Downtown Service district and is located in the DP, Downtown Parking Overlay district. The property at 101 1st Avenue N, the site of the townhomes, is zoned B4N, Downtown Neighborhood district and also contains the DP Overlay. *The Minneapolis Plan for Sustainable Growth* identifies both sites as mixed use on the future land use map. Hennepin Avenue is a commercial corridor and downtown is a designated Growth Center and Major Retail Center.

Certificate of Appropriateness Findings:

Applicant Response:

1. The alteration is compatible with and continues to support the criteria of significance and period of significance for which the landmark or historic district was designated.

Applicant Response: The St. Anthony Falls Historic District is the site of the original founding of the city, and still retains many of the pivotal industrial/milling buildings from the 19th Century that centered on St. Anthony Falls. The site of the proposed project is currently a surface parking lot which does not contribute to the historic district. The proposed project will alter the historic neighborhood by filling in an existing gap in the urban fabric with a building of similar height, window size & rhythm, and material that is compatible with the St Anthony Falls Historic District Guidelines.

2. The alteration is compatible with and supports the interior and/or exterior designation in which the property was designated.

Applicant Response: The proposed project is compatible with and supports the exterior designation of the district by maintaining the street frontage, using brick as a primary material, breaking the full block building into traditional building masses, and fronting entries onto Hennepin Avenue.

3. The alteration is compatible with and will ensure continued integrity of the landmark or historic district for which the district was designated.

Applicant Response: There are seven aspects of integrity that have been identified by the City of Minneapolis' Heritage Preservation Regulations and the National Register of Historic Places: location, design, setting, materials, workmanship, feeling and association. The proposed project will not impair the integrity of the district for the reasons described below:

Location: The applicant is not proposing to change the location of any contributing resources, hence the project will not impair the integrity of the location.

Design: The proposed project will authentically represent its own time while using traditional materials such as brick and metal. The simple geometric design of the proposed project expresses its function clearly. The project will also have a connection to the street and local transportation, with bus stops and bike paths nearby. The project will also make a grand gesture as the gateway to downtown at the corner of 1st St North and Hennepin Ave with a tower-like element clad in an accent metal panel.

Setting: Replacing a surface parking lot with new construction that will maintain the street wall will have a positive impact on the setting. The proposed project will be built out to very near the property lines along all street frontages.

Materials: The primary cladding materials of the proposed project will be brick and metal panel. There will be painted metal balconies and complimentary composite window frames. Brick is a compatible material for the district as are metal railings. Metal panel may not have been used in this way historically, but it does recall the industrial heritage of the district and is authentic to our current time.

Workmanship: The proposed project will not alter any historic buildings in the district, hence it will not impair the integrity of workmanship.

Feeling: As new construction on a surface parking lot, the proposed project will inevitably impact the feeling of the district, and stand out as modern. There are no buildings from the 19th century immediately adjacent to this site, but the project relates to the district through use of materials, scale, proportion, and rhythm. The project will visually screen the existing six story parking ramp and replace surface parking with a vibrant, active street scape for existing and new residents in the neighborhood.

Association: The proposed development will hopefully improve the association of the district by filling in a missing link on a very prominent site.

4. The alteration will not materially impair the significance and integrity of the landmark, historic district or nominated property under interim protection as evidenced by the consistency of alterations with the applicable design guidelines adopted by the commission.

Applicant Response: The project does not alter any buildings and as such will not materially impair the significance or integrity of any landmark. Please see design responses to the Historic District Guidelines attached at the end of these findings that describe the proposed project.

5. The alteration will not materially impair the significance and integrity of the landmark, historic district or nominated property under interim protection as evidenced by the consistency of alterations with the recommendations contained in The Secretary of the Interior's Standards for the Treatment of Historic Properties.

Applicant Response: The proposed project will be consistent with the following Secretary of the Interior's Standards for the Treatment of Historic Properties:

9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The proposed project would eliminate a surface parking lot which does not characterize the St. Anthony Falls Historic District, nor is it historic. The proposed

project would be clearly differentiated from historic buildings, but will be compatible with them by using similar massing, materials, size and scale. One of the defining features of this site is its prominence as the gateway to downtown Minneapolis from the Hennepin Ave Bridge. If the project was removed, the integrity of that gateway feature would remain.

6. The certificate of appropriateness conforms to all applicable regulations of this preservation ordinance and is consistent with the applicable policies of the comprehensive plan and applicable preservation policies in small area plans adopted by the city council.

Applicant Response: The proposed development will conform to all applicable regulations of this preservation ordinance and will be consistent with the following policies of the comprehensive plan:

Policy 1.2.1. Promote quality design in new development, as well as building orientation, scale, massing, buffering, and setbacks that are appropriate with the context of the surrounding area.

Policy 3.1.1. Support the development of new medium and high-density housing in appropriate locations throughout the city.

Heritage Preservation Policy 8.1: Preserve, maintain, and designate districts, landmarks, and historic resources which serve as reminders of the city's architecture, history, and culture.

8.1.2. Require new construction in historic districts to be compatible with the historic fabric.

The following findings must be addressed if approving a certificate of appropriateness that involves the destruction, in whole or in part, of any landmark, property in an historic district or nominated property under interim protection:

7. The destruction is necessary to correct an unsafe or dangerous condition on the property, or that there are no reasonable alternatives to the destruction. In determining whether reasonable alternatives exist, the commission shall consider, but not be limited to, the significance of the property, the integrity of the property and the economic value or usefulness of the existing structure, including its current use, costs of renovation and feasible alternative uses. The commission may delay a final decision for a reasonable period of time to allow parties interested in preserving the property a reasonable opportunity to act to protect it.

Applicant Response: The proposed project does not require the destruction of an historic property, it only removes a surface parking lot. Not applicable.

A written statement by the applicant making the findings that alterations are proposed in a manner that demonstrates that the applicant has made adequate consideration of the following documents and regulations:

8. The description and statement of significance in the original nomination upon which designation of the landmark or historic district was based.

Applicant Response: The St. Anthony Falls Historic District is the heart of the city of Minneapolis, the center of its founding. It contributes a "sense of place" that is distinct to the city's identity and well-being. This project is located on a current surface parking lot which does not contribute to the historic district. The proposed

project will help fill in gaps in the district with a building that responds to the Historic District guidelines.

9. Where applicable, Title 20 of the Minneapolis Code of Ordinances, Zoning Code, Chapter 530, Site Plan Review.

Applicant Response: The proposed project has addressed public health, safety, aesthetics and economic viability. It is an appropriate use of land that will provide adequate light, air, privacy, convenience and security. The project will conserve the value of land, provide safe and efficient circulation of all modes of transportation, as well as increase the amenities of the city.

In addition to the Certificate of Appropriateness, the proposed project will require new land use approvals. The Applicant is working with staff on the application process for necessary City Planning Commission and Public Works (PDR) reviews.

10. The typology of treatments delineated in the Secretary of the Interior's Standards for the Treatment of Historic Properties and the associated guidelines for preserving, rehabilitating, reconstructing, and restoring historic buildings.

Applicant Response: Because the site is currently surface parking, the Secretary of the Interior's Standards for the Treatment of Historic Properties is not directly applicable, but the proposed project will help restore, revitalize, reconnect and compliment the St. Anthony Falls Historic District.

In addition, the following findings must be addressed if approving a certificate of appropriateness that involves alterations to a property within an historic district:

11. The alteration is compatible with and will ensure continued significance and integrity of all contributing properties in the historic district based on the period of significance for which the district was designated.

Applicant Response: The proposed project will replace a surface parking lot with new construction of similar scale, materials, window to wall ratio, rhythm, and proportion to the historic buildings in the district. As such, it will ensure the continued significance and integrity of all contributing properties.

12. Granting the certificate of appropriateness will be in keeping with the spirit and intent of the ordinance and will not negatively alter the essential character of the historic district.

Applicant Response: The spirit and intent of the City of Minneapolis' Heritage Preservation Regulations is to preserve historically significant buildings, structures, sites, objects, districts, and cultural landscapes of the community while permitting appropriate changes to be made to these properties. The applicant is proposing to construct a new mixed-use building on the site in keeping with the spirit and intent of the ordinance.

13. The certificate of appropriateness will not be injurious to the significance and integrity of other resources in the historic district and will not impede the normal and orderly preservation of surrounding resources as allowed by regulations in the preservation ordinance.

Applicant Response: The proposed project will not be injurious to the significance or integrity of other resources in the historic district as it is not directly adjacent to

any contributing resources. The proposed project is surrounded by more recent construction.

DEMOLITION OF AN HISTORIC RESOURCE

14. That the demolition is necessary to correct an unsafe or dangerous condition on the property, or that there are no reasonable alternatives to the demolition. In determining whether reasonable alternatives exist, the commission shall consider, but not be limited to, the significance of the property, the integrity of the property and the economic value or usefulness of the existing structure, including its current use, costs of renovation and feasible alternative uses.

Applicant Response: Not applicable. The project does not include demolition of existing structures.

HISTORIC VARIANCE

15. That the variance is compatible with the preservation of the property and with other properties in the area, and that the variance is necessary to alleviate practical difficulties due to special conditions or circumstances unique to the property and not created by the applicant.

Applicant Response: No Historic Variance is being sought. Not applicable.

**The following guidelines are taken from the St. Anthony Falls Design Guidelines
100 Hennepin Avenue and 101 1st Avenue N**

General Guidelines:

7.10 On a new building, locate balconies such that they traditional character of the block, as perceived at the street level is maintained.

- a. When a building wall is positioned near the sidewalk edge, locating a balcony at the third floor or above is preferred.
- b. Consider providing a balcony that is inset instead of one that projects from the front façade. This can reinforce the concept of a simple rectangular form.

Design Response: The proposed mixed-use building has a podium of 22' which will make the balconies on the 2nd level feel like they are at the third level. The project includes a few inset balconies at the penthouse pop-up units which will help reinforce the tower-like form at the corner of 1st St. N and Hennepin Ave.

Building Placement and Design:

9.1 Maintain the alignment of building fronts along the street.

- a. Locate a new building to reflect established setback patterns along the block. For example, if existing buildings are positioned at the sidewalk edge, creating a uniform street wall, then a new building should conform to this alignment. However, alternative placements are encouraged for upper floors when the building is required to be set back from the sidewalk edge. (See Building Mass and Height requirements also.)
- b. Maintain the established sequence of public-to-private spaces in residential neighborhoods.
- c. Provide a walkway that leads from the sidewalk to a porch or portico, and then to the residential entry.

Design Response: The proposed mixed-use building will be the only building along the Hennepin Avenue frontage on this block. It will align with the established setback of the northern portion of the 222 Hennepin Development across 2nd Street N. It will match the established setback of the existing parking ramp along 1st Street N and along 2nd Street N it will align with the established setback of the parking ramp and historic building at 133 1st Avenue N. The proposed design for the north retail and residential facades have been pulled closer to Hennepin Avenue to maintain established setback patterns.

The walk-up loft style townhomes in this building will be connected to the public sidewalk with stairs and have screened patios to distinguish between public and private space.

9.2 Respect alignment patterns associated with historic infrastructure.

- a. Locate a new building to retain historic rail corridors.

Design Response: Not applicable.

9.3 Maintain the traditional orientation pattern of buildings facing the street.

- d. Locate the primary entrance to face the street and design it to be clearly identifiable.

Design Response: The proposed design locates the primary common residential entrance to the mixed use building facing Hennepin Avenue and identifies it with an accent wall and overhead canopy.

The proposed entrance to the North Retail now faces Hennepin Avenue and has been pulled closer to the Hennepin Ave. 1st Street N corner, accessed from a small sidewalk café area. Secondary retail entrances may be located along 1st Street N.

The entrance to the South Retail faces Hennepin Avenue and is set in a storefront façade recessed from the residential façade above with an overhang. Secondary entrances may be provided in recessed storefront alcove fronting 2nd Street N to access a sidewalk patio area along 2nd Street N.

The proposed design also includes 15 walk-up loft style townhome units on the first floor of this building with entrances facing Hennepin Avenue and 2nd Street North that are connected to the sidewalk via private terraces with landscaping and screen walls.

Architectural Character and Detail

9.4 Design a new building to reflect its time while respecting key features of its context.

- a. In those character areas with a high concentration of historic structures, relating to the context is especially important. In other areas where new construction is more predominant, respecting broader traditional development patterns that shaped the area historically is important.
- b. See the individual character areas for more guidance.

Design Response: The Proposed project is not in an area with immediate context of historic structures. There is one historic building on the block at 133 1st Avenue N that is located in the Minneapolis Warehouse Historic District, and was built in 1880. The proposed mixed-use building is separated from that historic building by a six-story parking ramp. The block abuts the Federal Reserve property to the north and the new building at 222 Hennepin to the south. There is no alley on this block.

The guidance in this character area states that new residential infill in the North Loop on the former rail yard between North 1st and North 2nd Streets has a strong orientation to the street, with front doors and patios fronting on the sidewalks. These establish a distinctive rhythm of buildings and entrances. Buildings are generally set back a short distance from the street, with small yards in front.

The proposed project has been adjusted to form a strong street orientation with distinct primary entrances to common Residential and Retail spaces along the Hennepin Avenue Commercial corridor with minor setbacks from the sidewalk to accommodate narrow sidewalk café seating, landscaping, and the city's recommended sidewalk width.

The proposed design for the walk-up townhomes on the mixed-use building are consistent with this character-area recommendation by providing street-facing front entrances with canopies accessed by private patio spaces.

9.5 A contemporary interpretation of traditional designs is appropriate.

The design should be compatible with the relevant character area.
Contemporary interpretations of architectural details are appropriate.
Incorporate contemporary details to create interest while expressing a new, compatible design.
Use designs for window moldings and door surrounds to provide visual interest while helping to convey that a building is new.

Design Response: The site is in the Warehouse District Character Area. In this character area first floors are generally of similar heights, and brick is the predominate material. Many of the historic warehouse buildings have at least one entry onto a local street, with service and delivery located in a rear alley. There is a general consistency to the commercial facades, in their fenestration, cornice lines and materials, while variety occurs in details associated with individual architectural styles. The result is a relatively cohesive street wall.

The proposed design of the mixed-use building is contemporary with street level primarily of brick and highly transparent glass/ aluminum storefronts, with transoms and a masonry base to be compatible with the character area. The primary residential entrance is identified with a feature metal canopy and fin wall. The facades along 1st and 2nd Streets N. will also be brick with storefronts in slightly varying patterns with possible secondary retail entrances. Service is located up against the existing parking ramp in an interior alley type condition. The proposed design is simplified to primary materials of brick and storefront base, a brick middle and a metal panel top and cornices on all primary facades.

9.6 An interpretation of a historic style that is authentic to the district will be considered if it is subtly distinguishable as being new.

- a. Avoid an exact imitation of a historic style that would blur the distinction between old and new buildings and make it more difficult to understand the architectural evolution of the district.
Incorporate contemporary details to create interest while expressing a new, compatible design.

Design Response: Overall massing and punched window patterns in the body of the building recall traditional warehouse massing, but contemporary window mullion layouts, the northeast signature vertical element and balconies express a new residential design. That is unique and contemporary and will not convey a false sense of history.

9.7 Incorporate traditional facade articulation techniques in a new design.

- Use these methods:
- A tall first floor
- Vertically proportioned upper story windows
- Window sills and frames that provide detail
- Horizontal expression elements, such as canopies, moldings and cornices
- Vertical expression features, such as columns and pilasters
- A similar ratio of solid wall to window area

Design Response: The first floor of the mixed-use building is tall at 22 feet in height. Windows

are vertically proportioned and have transoms at street level and extended sills to match the window frames at upper floors. The townhome entries have transoms and canopies with traditionally scaled spandrels and mullions. Windows at upper levels will provide window to wall ratios similar with those in the district and balconies have been composed in regular patterns to add rhythm and scale to the facades.

Vertical accent columns and a subtle angled notch in accent material are incorporated into the upper floors at the northeast corner of the building to provide a signature expression as the first impression entering the district when crossing the Hennepin Avenue Bridge into downtown.

The residential entry is anchored by a column and canopy of the same material. The ground floor retail uses are very transparent utilizing a contemporary arrangement of storefront, transoms, and masonry base. The residential units have a similar ratio of solid wall to window area.

Building Mass, Scale and Height

- 9.8 Maintain the traditional size of buildings as perceived at the street level.
- a. The height of a new building should be within the height range established in the context, especially at the street frontage. .
 - b. Floor-to-floor heights should appear similar to those of traditional buildings.

Design Response: The only context on the proposed development's block for the mixed-use building is a six-story parking ramp built in 1982. The proposed mixed-use building functions as six stories, plus small mezzanines but would be eight stories per the zoning code definition. It is similar to those of traditional buildings with street level at 22 ft. high and upper level floor-to-floor heights at 10'-8" – 11'-8". The proposed building is of similar height to the adjacent new building at 222 Hennepin.

- 9.9 The overall height of a new building shall be compatible with the character area.
- a. A building height that exceeds the height range established in the context will be considered when:
It is demonstrated that the additional height will be compatible with adjacent properties, within the character area as a whole, and for the historic district at large.
 - Taller portions are set back significantly from the street.
 - Access to light and air of surrounding properties is respected.
 - Key views are maintained.

Design Response: The recommended height for this character area is a maximum of six stories. The design guidelines also state that mid-rise and low-rise building heights are most appropriate. Mid-rise is considered 7-9 stories while low-rise is considered 4-6 stories. The proposed mixed-use building will function as six stories but would be considered eight stories per the zoning code definition of height. The proposed heights are therefore consistent with the recommendations for the character area.

- 9.10 Position taller portions of a structure away from neighboring buildings of lower scale.
- a. Locate the taller portion of a new structure to minimize looming effects and shading of lower scaled neighbors, especially when adjacent to smaller historic structures.
 - b. Taller portions of a building should be compatible and not loom over adjacent buildings at any time. Recessed articulations should reflect the depth of traditional openings. Floor-to-floor heights should appear similar to those of traditional buildings.

Design Response: Buildings on surrounding blocks range in height from three stories to 16 stories. The site of the proposed block contains a six-story parking ramp in the center and a three-story historic brick building at the corner of 2nd Street and 1st Avenue. The proposed design places the taller mixed-use building along Hennepin Avenue, across the street from a 16-story residential building on the east side of Hennepin Avenue, the six-story 222 Hennepin building to the south and the Federal Reserve building to the north which is approximately ten stories in height. The buildings to the west are in the Minneapolis Warehouse Historic district and are predominantly three to four stories in height.

- 9.11 Provide variation in building height in a large development.
- a. In order to reduce the perceived mass of a larger building, divide it into subordinate modules that reflect traditional building sizes in the context. Too much variation in building height is inappropriate.
 - b. Vary the height of building modules in a large structure, and include portions that are similar in height to historic structures in the context. However, avoid excessive modulation of a building mass, when that would be out of character with simpler historic building forms in the area. Too much variation in building massing is inappropriate.

Design Response: The upper floors of the mixed-use building are organized into three modules that read as separate buildings above the first floor. The proposed design is reflective of traditional building sizes. All three modules are of similar height and scale. The 1st and 2nd Street N. corners provide varying height with taller corner feature areas at Hennepin Avenue.

- 9.12 Maintain the scale of traditional building widths in the context.
- a. Design a new building to reflect the established range of the traditional building widths in the character area.
 - b. Where a building must exceed this width, use changes in design features so the building reads as separate building modules reflecting traditional building widths and massing. Changes in the expression and details of materials, changes in window design, facade height or materials are examples of techniques that should be considered.
 - c. Where these articulation techniques are used, they shall be expressed consistently throughout the structure, such that the composition appears as several building modules. Attention to the designs of transitions between modules is important. Too much variation, which results in an overly busy design, is inappropriate.

Design Response: The first floor is a nearly consistent height along the streets with walls set back in steps to provide relief. Upper floors break into three separate sections or

modules to reflect traditional building widths. The outside modules are each approximately 67 feet in width and the center is approximately 64 feet in width. Each module has a consistent brick mid-section and a standing seam metal top and cornice. The height between the three is uniform.

- 9.13 A block-long building facade is inappropriate.
- a. A block-long building width will be considered if the facade reads as separate building modules. *Consider dividing a block long facade into sub-components that read as several discrete modules that are consistent with traditional building widths in the context. A block-long building width will be considered if the facade reads as separate building modules. Please note that this may be appropriate in some areas and not in others.*

Design Response: The first floor of the proposed building design comprises the entire block face along Hennepin Avenue. However, as previously noted, this façade is stepped in setback and the upper floors are divided into three sections to read as separate buildings.

- 9.14 A new commercial or mixed-use building should incorporate a base, middle and cap.
- a. Traditionally, buildings were composed of these three basic elements. Interpreting this tradition in new buildings will help reinforce the visual continuity of the area.

Design Response: The proposed design of the mixed use building breaks the massing down into three modules that each have a base, middle, and has been revised to add an articulated metal panel top floor with cornice overhang rendered in a contemporary vernacular.

- 9.15 Establish a sense of human scale in the building design.
- a. Use vertical and horizontal articulation techniques to reduce the apparent mass of a larger building and to create visual interest.
 - b. Express the position of each floor in the external skin of a building to establish a scale similar to historic buildings in the district.
 - c. Use materials that convey scale in their proportion, detail and form.
 - d. Generally, the facade in most contexts should appear as a relatively flat surface, with any projecting or recessed “articulations” appearing to be subordinate to the dominant form. Exceptions are in lower scale single-family settings.
 - e. Design architectural details and other features to be in scale with the building. Using windows, doors, storefronts (in commercial buildings) and porches (in lower scale residential buildings) that are similar in scale to those seen traditionally is appropriate.

Design Response: The proposed design breaks down the building mass into three distinct modules of widths traditional to the district. Each is then articulated with base, middle, top elements. Windows and patio doors express the individual floor lines of the building areas with opening proportions in keeping with warehouse buildings in the district. The proposed massing creates three very simple masses with predominantly flat facades that are given scale by window mullions, metal exterior balconies, and storefronts detailed with masonry

bases and transoms. At the Hennepin Avenue lofted unit entries, pedestrian scaled screen walls, plantings, railings, and individual unit entry canopies provide an even more human scale to the pedestrians on the sidewalk.

Building and Roof Form

- 9.16 Use simple, rectangular roof forms in commercial, warehouse and industrial contexts.
- a. Flat roofs are appropriate on the majority of the buildings in the district.

Design Response: The proposed design for the mixed-use building has flat roofs.

- 9.17 Design a roof to be similar in form to those used traditionally in the character area.
- a. Some variation in roof form is appropriate for a larger building mass, but avoid overly complex forms that would be out of character with the context.

Design Response: The proposed design for the mixed-use building will have flat roofs, with small areas stepped up on corners, and down at the center mass for an outdoor terrace.

- 9.18 Locate a primary building entrance to face the street.
- a. Position a primary entrance to be at the street level in an urban setting.
 - b. Recessed entries are encouraged to avoid door swing conflicts with the sidewalk and to provide shelter.

Design Response: The proposed design locates the primary common residential entrance to the mixed use building facing Hennepin Avenue and identifies it with a large transparent storefront area, fin wall and overhead canopy.

The proposed entrance to the North Retail now faces Hennepin Avenue and has been pulled closer to the Hennepin Ave./ 1st Street N corner, accessed from a small sidewalk café area. Secondary retail entrances may be located along 1st Street N.

The entrance to the South Retail faces Hennepin Avenue and is set in a storefront façade recessed from the residential façade above with an overhang. Secondary entrances may be provided in recessed storefront alcove fronting 2nd Street N to access a sidewalk patio area along 2nd Street N.

The proposed design also includes 15 walk-up loft-style (townhome) units on the first floor of this building with entrances facing Hennepin Avenue and 2nd Street North that are connected to the sidewalk via private terraces with landscaping and screen walls.

- 9.19 Design a building entrance to appear similar in character to those used traditionally.
- a. Clearly define the primary entrance.
 - b. Use a contemporary interpretation of a traditional building entry, which is similar in scale and overall character to those seen historically.

Design Response: The proposed design locates the primary common residential entrance to the mixed use building at midblock facing Hennepin Avenue and identifies it with a large transparent storefront area, fin wall and overhead canopy.

The proposed entrance to the North Retail now faces Hennepin Avenue and has been pulled closer to the Hennepin Ave./ 1st Street N corner, accessed from a small sidewalk café area. The entrance to the South Retail faces Hennepin Avenue and is set in a storefront façade recessed from the residential façade above with an overhang, and identified with projecting blade-style signs.

Materials

9.20 Building materials shall be similar in scale, color, texture and finish to those seen historically in the context.

- a. Masonry (i.e., brick and stone) that has a modular dimension similar to those used traditionally is appropriate.
- b. A facade that faces a public street should have one principal material, excluding door and window openings, and may have one to two additional materials for trim and details. Permitted materials include, but are not limited to, brick, stone, terracotta, painted metal, exposed metal, poured concrete and precast concrete.

Design Response: The proposed primary building material will be brick in a norman size having a traditional modular 2 ¼” nominal height dimension. The upper floors of the mixed-use building will be a primarily brick for the middle of each mass along street facades and returning brick 30-45 feet into each courtyard with a vertically ribbed metal panel colored similarly to the brick completing the interior courtyard walls.

The upper 2 levels across all wall areas will be an articulated standing seam metal wall panel with a metal cornice forming a top to the building masses. Accenting these primary materials at the Northeast corner and residential entry canopy is proposed a copper-colored metal panel to form a feature element at the Hennepin Avenue Bridgehead.

- 9.21 Contemporary materials that are similar in character to traditional ones will be considered.
- a. Generally, one primary material should be used for a building with one or two accent materials. Accent materials should be used with restraint.
 - b. A second material may be used on side or rear walls in a context in which such a tradition is demonstrated historically. It is inappropriate in the Water Power Area.
 - c. A glass curtain wall will be considered as a principal material.
 - d. Contemporary, alternative materials should appear similar in scale, durability and proportion to those used traditionally.
 - e. Cementitious-fiber board, with exemplary detailing, will be considered in lower scaled residential settings. Other imitation or synthetic siding materials, such as plastic, aluminum or vinyl, are inappropriate in the lower scale residential contexts.

Design Response: The primary building material will be brick on all three building masses. The base (Street level) will have aluminum/ glass storefronts with matching brick base. The upper floors of the mixed-use building will be a primarily brick for the middle of each mass along street facades and returning brick 30-45 feet into each courtyard with a vertically ribbed metal panel colored similarly to the brick completing the interior courtyard walls.

The upper level across all wall areas will be an articulated standing seam metal wall panel with a metal cornice forming a top to the building masses.

Accenting these primary materials at the Northeast corner and residential entry canopy is

proposed a copper-colored metal panel to form a feature element at the Hennepin Avenue Bridgehead.

- 9.22 Use high quality, durable materials.
- a. Materials should be proven to be durable in the local Minneapolis climate.
 - b. The material should maintain an intended finish over time, or acquire a patina, which is understood to be a likely outcome.
 - c. Materials at the ground level should withstand ongoing contact with the public, sustaining impacts without compromising the appearance.

Design Response: All of the proposed materials are durable, climate-sensitive and appropriate for the public realm. The base (Street level) will have aluminum/ glass storefronts between brick walls with matching brick base. Metal panels at the courtyard, top level, and corner feature will have 20 year warranty paint finishes or natural aging metal.

Windows

- 9.23 The use of a contemporary storefront design is encouraged in commercial settings.
- a. Design a building to incorporate ground floor storefronts in commercial settings, whenever possible.
 - b. Incorporate the basic design features found in traditional storefronts, such as a kickplate, display window, transom and a primary entrance.
 - c. In storefront details, use elements similar in profile and depth of detailing seen historically.
 - d. Where a storefront is not feasible, incorporate a high level of transparency in ground floor office, lobby or residential uses while providing sufficient privacy for occupants.

Design Response: Street level storefronts are proposed in the mixed-use building. The storefronts are aluminum storefront systems over a brick masonry base wall and have a glass/ metal panel transom. Street-facing entrances are proposed in each retail space. The ground-floor uses are 22 feet in height. The proposed windows for upper levels and Hennepin Avenue Loft-style (townhomes) are composite window systems in contrasting color to the wall material they punch into.

- 9.24 Arrange windows to reflect the traditional rhythm and general alignment of windows in the area.
- a. Use appropriate window rhythms and alignments, such as:
 - Vertically proportioned, single or sets of windows, “punched” into a more solid wall surface, and evenly spaced along upper floors
 - Window sills or headers that align
 - Rows of windows or storefront systems of similar dimensions, aligned horizontally along a wall surface
 - b. Creative interpretations of traditional window arrangement will be considered.

Design Response: The first floor of the proposed mixed-use building is tall at 22 feet in height. Windows are vertically proportioned and have transoms at street level that align across

retail storefronts. The loft style townhome entries have transoms and canopies with traditionally scaled spandrels and mullions. Windows at upper levels provide window to wall ratios and proportions similar with those in the district and have been composed in regular patterns to add rhythm and scale to the facades.

Vertical accent columns and a subtle angled notch in accent material are incorporated into the upper floors at the northeast corner of the building to provide a signature expression as the first impression entering the district when crossing the Hennepin Avenue Bridge.

The residential entry is anchored by a fin wall and canopy of the same material. The ground floor retail uses are very transparent utilizing a contemporary arrangement of storefront, transoms, and masonry base.

9.25 Use durable window materials.

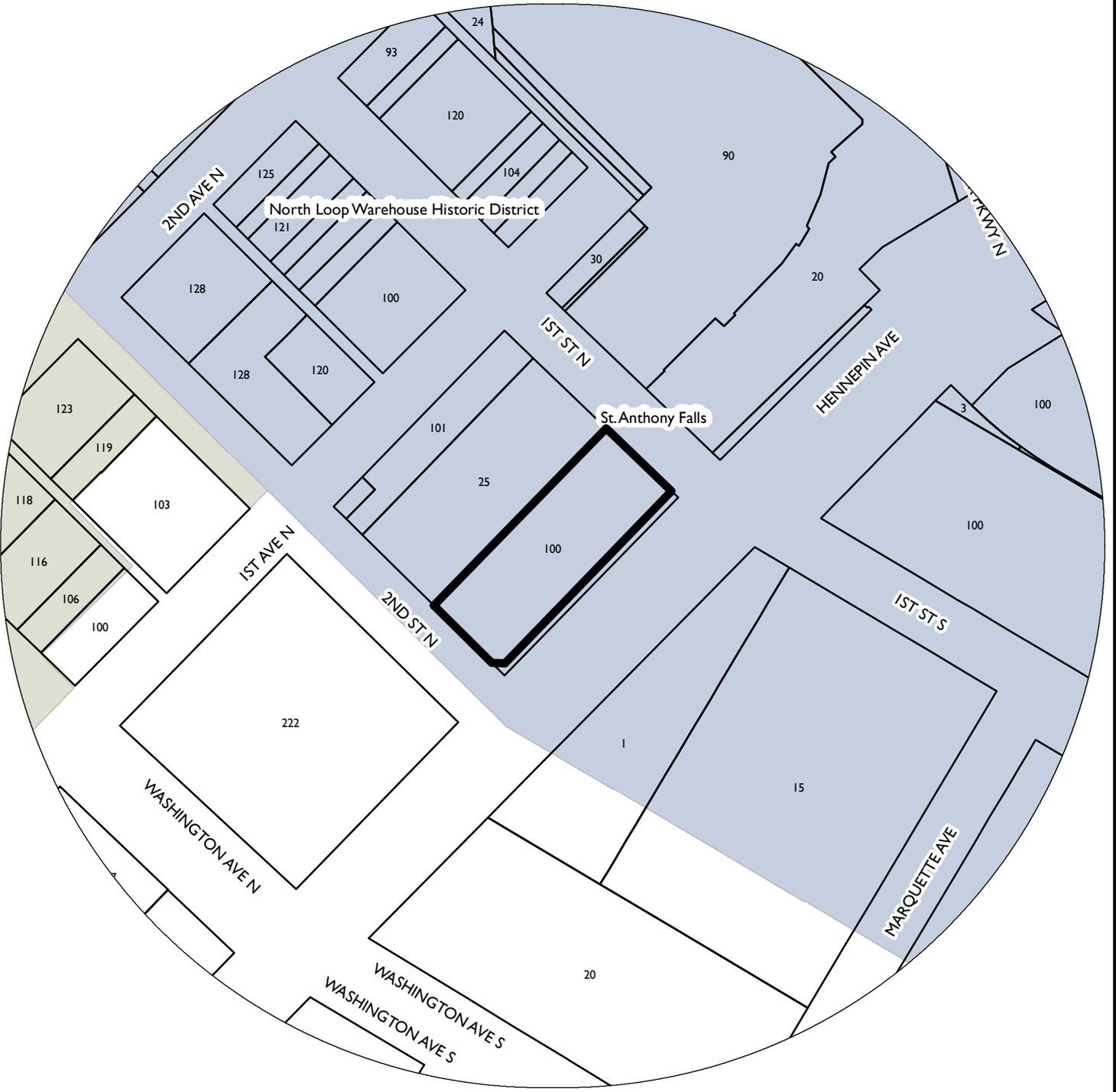
- a. Appropriate window materials include metal and wood frame.
- b. Inappropriate window materials include plastic snap-in muntins and synthetic vinyl.

***Design Response:* The proposed design for street level of the mixed-use building calls for anodized aluminum storefront and transom frames over a brick masonry base wall and have a glass/ metal panel transom at common residential entry and retail storefronts.**

The proposed windows for the Hennepin Avenue Loft style townhomes and upper levels are composite window systems in contrasting color to the wall material they punch into. Punched window openings are subdivided in contemporary patterns with true window mullions.

NAME OF APPLICANT

WARD



PROPERTY ADDRESS
100 Hennepin Avenue

FILE NUMBER
BZH-28749

ALTA/ACSM LAND TITLE SURVEY FOR: Ryan Companies

LEGAL DESCRIPTION:

PARCEL 4:

Lots 1 through 12 inclusive, Block 23, Town of Minneapolis, Except therefrom Lots 54, 62, 67, 70 and 75, Auditor's Subdivision Number 137.

All of the vacated Northeast and Southwest alley, dedicated in Block 23, Town of Minneapolis, lying between the Northwesterly extensions across said alley of the Southwesterly line of Lot 4, said Block 23 and the Northeasterly line of Lot 9, in said Block 23.

All of the vacated Northwest and Southeast alley, dedicated in Block 23, Town of Minneapolis, lying between the Northwesterly extensions across said alley of the Northwesterly line of Lot 1 in said Block 23 and the Southeasterly line of Lot 3, in said Block 23.

Lots 54, 62, 67 and 75, Auditor's Subdivision Number 137, Hennepin County, Minn.

Torrens Property Certificate of Title No. _____

Note: The property described above is the same property that is to be insured in the title policy issued by Chicago Title Company pursuant to Commitment No 235791, dated May 6, 2014.

NOTES:

- The orientation of this bearing system is based on the Hennepin County coordinate grid (NAD 83-96 Adj.).
- The total area of the property described hereon is 111,347 square feet or 2.5562 acres.
- The legal description and easement information used in the preparation of this survey is based on the 5th Amended Commitment for title insurance prepared by Chicago Title Insurance Company, Order No. 235791 dated July 31, 2014 at 7:00 am (contains other lands).
- Existing utilities, services and underground structures shown hereon were located either physically, from existing records made available to us, by resident testimony, or by locations provided by Gopher State One Call, per Ticket No. 151001745. However, lacking excavation, the exact location of underground features cannot be accurately and reliably depicted. Where additional or more detailed information is required, the client is advised that excavation may be necessary. Other utilities and services may be present and verification and location of all utilities and services should be obtained from the owners of the respective utilities prior to any design, planning or excavation.
- The property described hereon lies within Flood Zone X (areas determined to be outside the 0.2% annual chance flood plain) per Federal Insurance Rate Map No. 27053 C 0357 E, dated September 2, 2004.
- As of the date of this survey the property described hereon contains a total of 1,062 parking spaces of which 164 are standard surface parking spaces; 893 standard garage parking spaces; and 5 ore designated handicapped garage spaces.
- BENCHMARK: Top of City of Minneapolis Control Monument ID #556 (4th Street North & Hennepin Avenue) Elevation = 846.91 feet (N.G.V.D 1929)
Site Benchmarks:
Top nut hydrant at 1st Street North & Hennepin Avenue Elevation = 839.04 feet (N.G.V.D 1929)

SURVEY ITEMS PER SCHEDULE B:

- ITEM 26: Reservation of minerals and mineral rights in favor of the State of Minnesota, appearing as a recital on the Certificate of Title. (affects Lot 67, Auditor's Subdivision No. 137) (as to Parcel 4)
- ITEM 27: Easement for highway purposes in favor of the County of Hennepin, as shown in Final Certificate, dated November 9, 1988, recorded November 8, 1988 as Document No. 5473785 (Abstract), and recorded November 10, 1988 as Document No. 1973376 (Torrens). (as to Parcel 4) Said easement affects the subject property and is depicted on the survey.
- ITEM 28: Easement for public right-of-way purposes in favor of the City of Minneapolis, recorded December 2, 1996 as Document No. 6668426 (Abstract). (as to Parcel 4)
Note: This document is not filed on the torrens certificate, but it does appear to affect the property. Said easement affects the subject property and is depicted the survey.
- ITEM 29: The following matters shown on the ALTA/ACSM Survey of Parcel 4, prepared by Egan, Field & Nowak, Inc., dated June 2, 2014, as Job No. 35895:
(a) Paver surface at Hennepin Avenue and First Street North encroaches outside property boundaries.
- ITEM 30: Terms and conditions of Option and Building Lease Agreement and Addendum dated October 9, 1990, as amended, by and between NOP Hennepin LLC, a Delaware limited liability company, Lessor, and Verizon Wireless (AW) LLC d/b/a Verizon Wireless, Tenant, as evidenced by that certain Memorandum of Lease and Amendment, dated April 24, 2009, recorded May 21, 2009 as Document No. T4647140. (as to Parcel 4) Said lease, which affects the property, is not mathematically defined and is not depicted on the survey.

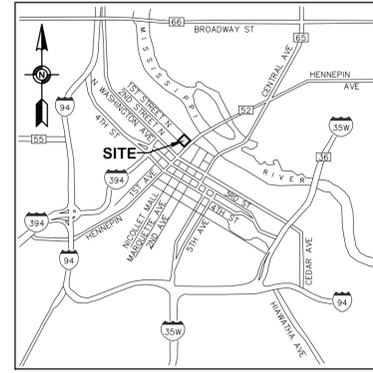
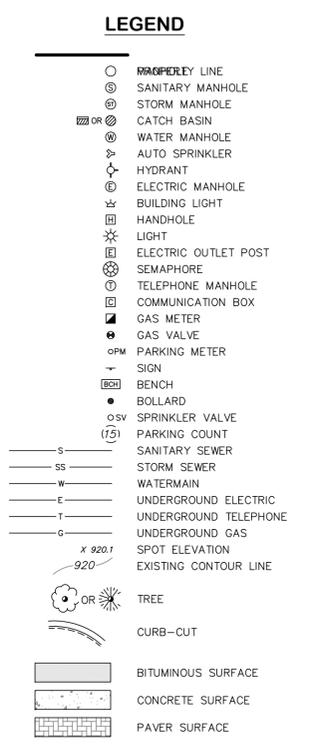
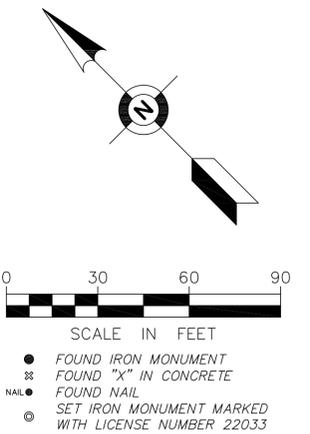
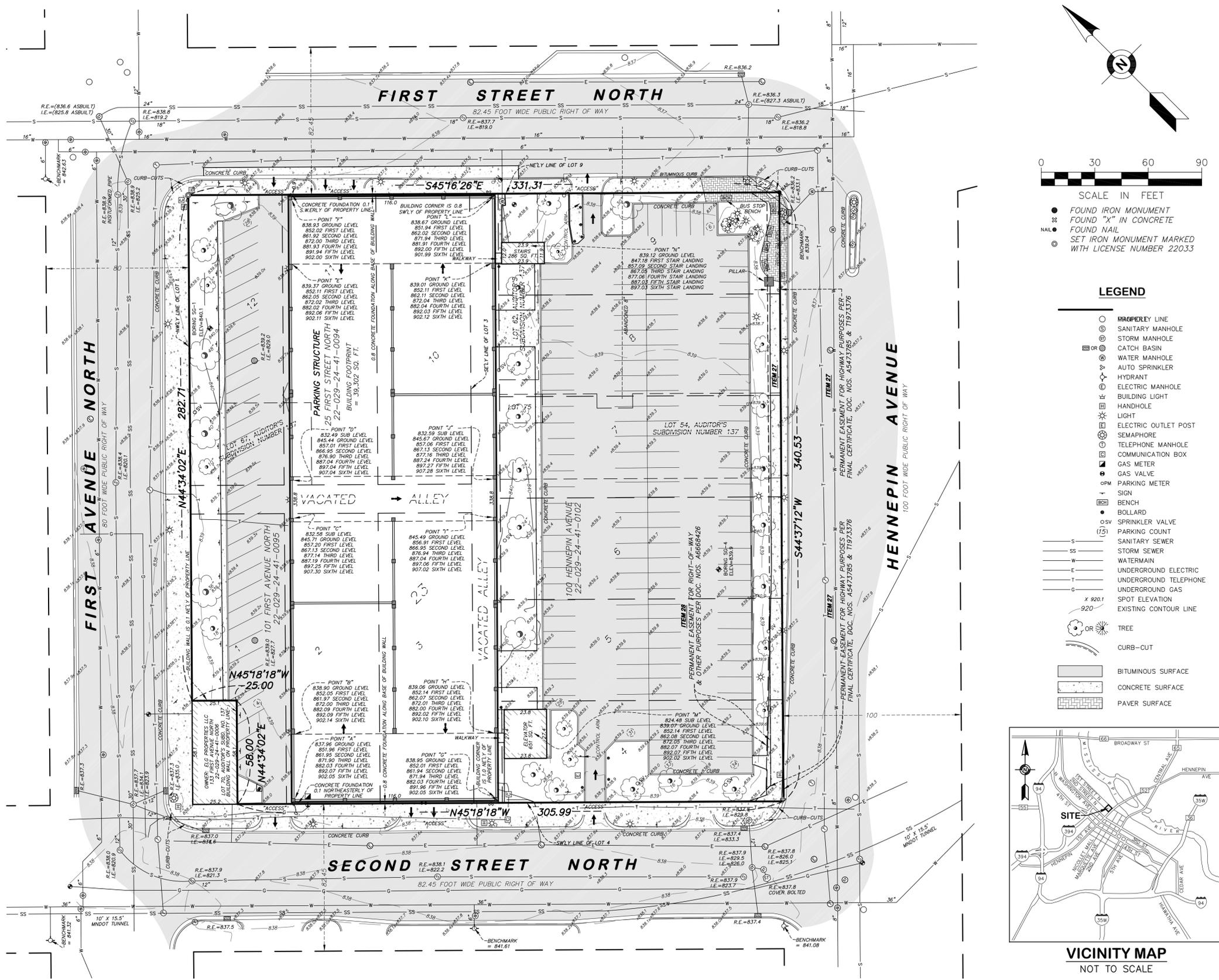
CERTIFICATION:

To Ryan Companies US, Inc., Shorestein Residential LLC:

This is to certify that this map or plot and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 7(a), 7(b)(1), 8, 9, 11(b), 13 and 22 of Table A thereof. The field work was completed on May 3, 2014.

Date of Plot or Map: May 5, 2015


Lee J. Nord
Minnesota License No. 22033



FIELD BOOK	PAGE	FIELDWORK CHIEF:
2870	26	SW
DRAWING NAME:		DRAWN BY:
36260.dwg		PMD
JOB NO. 36260		CHECKED BY:
FILE NO. 716		LJN

REVISIONS		
NO.	DATE	DESCRIPTION
01	6/2/15	COMMENTS PER KIMLEY-HORN

ALTA/ACSM LAND TITLE SURVEY

Survey For:
Ryan Companies

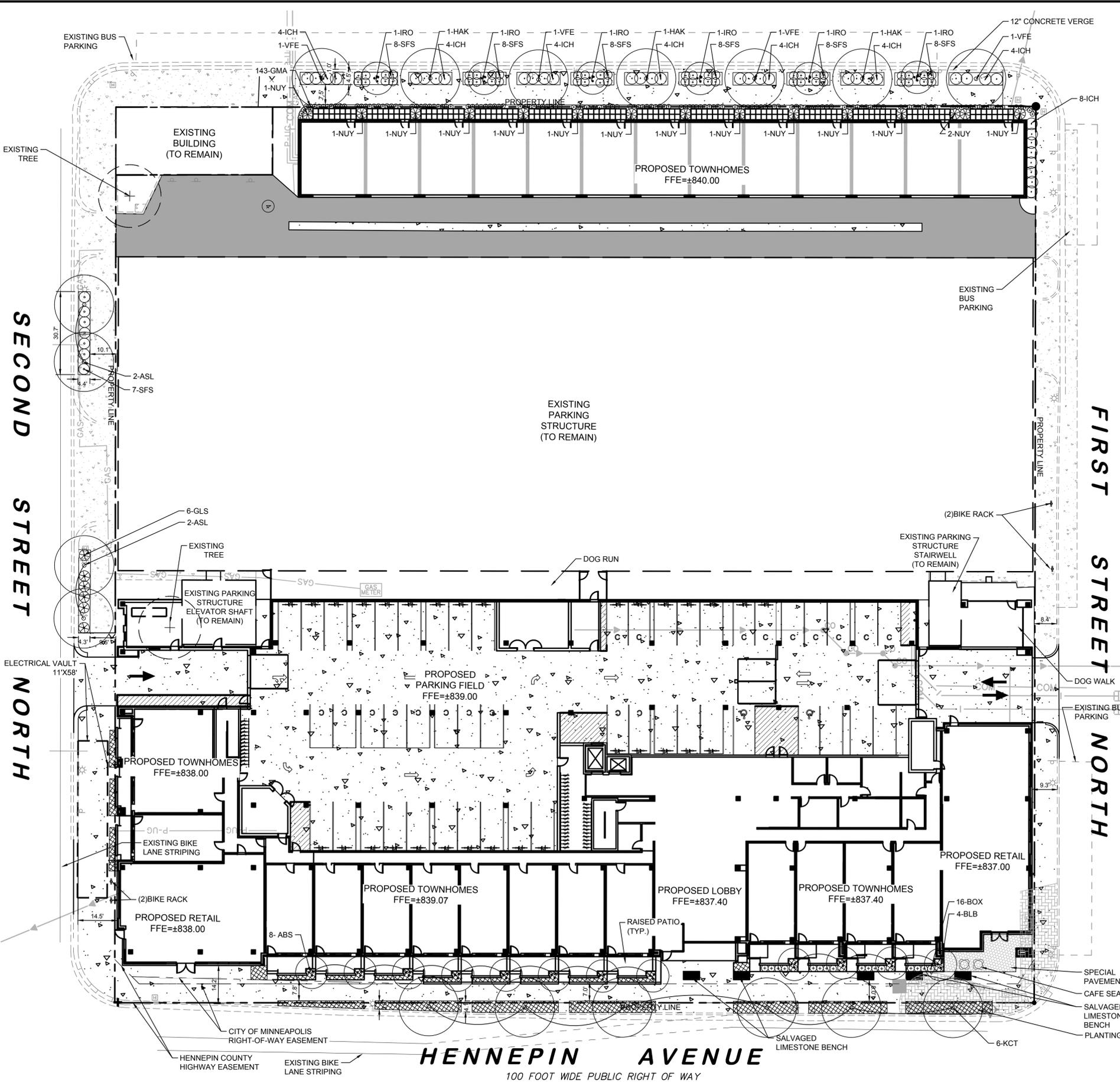
PROPERTY ADDRESS:
100 Hennepin Avenue
101 First Avenue North
25 First Street North
Minneapolis, Minnesota 55401



Egan, Field & Nowak, Inc.
land surveyors since 1872

1229 Tyler Street NE, Suite 100
Minneapolis, Minnesota 55413
PHONE: (612) 466-3300
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K:\TWC_LDEV\Ryan Companies\100 Hennepin\3 Design\CAD\PlanSheets\1.0 - Landscape Plan.dwg August 10, 2015 - 11:37am
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PLANT SCHEDULE							
SYM	QTY	CODE	COMMON NAME	BOTANICAL NAME	SIZE	ROO	
DECIDUOUS TREES	6	IRO	IRONWOOD	OSTRYA VIRGINIANA	1.75" CAL	B & B	
	8	ABS	AUTUMN BRILLIANCE SERVICEBERRY	AMELANCHIER GRANDIFOLIA 'AUTUMN BRILLIANCE'	2" CAL	B & B	
	6	KCT	KENTUCKY COFFEETREE	GYMNOCLADUS DIOICUS 'ESPRESSO'	2" CAL	B & B	
	4	ASL	AMERICAN SENTRY LINDEN	TILIA AMERICANA 'McKsentry'	2" CAL	B & B	
	4	VFE	VALLEY FORGE ELM	ULMUS AMERICANA 'VALLEY FORGE'	2" CAL	B & B	
	3	HAK	COMMON HACKBERRY	CELTIS OCCIDENTALIS	2" CAL	B & B	
	4	BLB	BLUE BEECH	CARPINUS CAROLINIANA	2" CAL	B & B	
	55	SFS	SEM FALSE SPIREA	SORBARIA SORBIFOLIA SEM	#3	CONT	
	36	ICH	INCREDIBALL HYDRANGEA	HYDRANGEA ARBORESCENS 'ABETWO'	#3	CONT	
	6	GLS	GRO-LOW FRAGRANT SUMAC	RHUS AROMATICA 'GRO-LOW'	#3	CONT	
	143	GMA	GREEN MOUND ALPINE CURRANT	RIBES ALPINUM 'GREEN MOUND'	#3	CONT	
	16	BOX	GREEN VELVET BOXWOOD	BUXUS X 'GREEN VELVET'	#3	CONT	
15	NUY	NOVA UPRIGHT YEW	TAXUS CUSPIDATA 'NOVA'	#3	CONT		
PERENNIAL BEDS	1317	SQ. FT.	-	AUTUMN MOOR GRASS	SESLERIA AUTUMNALIS	#2	CONT
			-	BLAZE LITTLE BLUESTEM	SCHIZACHYRIUM SCOPARIUM 'BLAZE'	#2	CONT
			-	PACHYSANDRA	PACHYSANDRA TERMINALIS 'GREEN CARPET'	#1	CONT
			-	KOBOLD LIATRIS	LIATRIS 'KOBOLD'	#2	CONT
			-	BLACK-EYED SUSAN	RUDBECKIA FULGIDA 'GOLDSTURM'	#1	CONT

LANDSCAPE PLAN NOTES

- PLANT MATERIAL SHALL COMPLY WITH THE CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1. UNLESS NOTED OTHERWISE, DECIDUOUS SHRUBS SHALL HAVE AT LEAST 5 CANES AT THE SPECIFIED HEIGHT. ORNAMENTAL TREES SHALL HAVE NO 'V' CROTCHES AND SHALL BEGIN BRANCHING NO LOWER THAN 3' ABOVE THE ROOT BALL. STREET AND BOULEVARD TREES SHALL BEGIN BRANCHING NO LOWER THAN 6' ABOVE FINISHED GRADE.
- INSTALL PLANT MATERIAL ONCE FINAL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- INSTALL PLANT MATERIAL PER PLANTING DETAILS.
- SUBSTITUTION REQUESTS FOR PLANT MATERIAL TYPE & SIZE SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR CONSIDERATION PRIOR TO BIDDING. ALL SUBSTITUTIONS AFTER BIDDING MUST BE APPROVED BY LANDSCAPE ARCHITECT AND ARE SUBJECT TO CONTRACT ADJUSTMENTS.
- ADJUSTMENTS IN LOCATION OF PROPOSED PLANT MATERIALS MAY BE NEEDED IN FIELD. LANDSCAPE ARCHITECT MUST BE NOTIFIED PRIOR TO ADJUSTMENT OF PLANTS.
- FERTILIZE PLANT MATERIAL UPON INSTALLATION WITH DRIED BONE MEAL, OTHER APPROVED FERTILIZER MIXED IN WITH THE PLANTING SOIL PER THE MANUFACTURER'S INSTRUCTIONS OR MAY BE TREATED FOR SUMMER AND FALL INSTALLATION WITH AN APPLICATION OF GRANULAR 10-0-5 OF 12 OZ. PER TREE AND 6 OZ. PER SHRUB WITH AN ADDITIONAL APPLICATION OF 10-0-10 THE FOLLOWING SPRING IN THE TREE AREA.
- INSTALL 18" DEPTH OF PLANTING SOIL IN AREAS RECEIVING GROUND COVER, SHRUBS, & PERENNIALS UNLESS OTHERWISE NOTED.
- INSTALL 4" DEEP DOUBLE SHREDDED HARDWOOD BARK MULCH IN ALL PLANTING BEDS.
- ENSURE THAT SOIL CONDITIONS AND COMPACTION ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE AROUND THE CONSTRUCTION SITE. UNDESIRABLE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING WORK. IT SHALL BE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO ENSURE PROPER SURFACE AND SUBSURFACE DRAINAGE IN PLANTING AREAS.
- WARRANTY NEW PLANT MATERIAL THROUGH ONE CALENDAR YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION. NO PARTIAL ACCEPTANCE WILL BE CONSIDERED.

Kimley»Horn

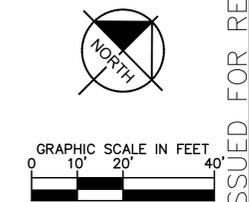
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KHA PROJECT	160640005
DATE	7/24/15
SCALE	AS SHOWN
DESIGNED BY	TDS
DRAWN BY	BRJ
CHECKED BY	TDS

LANDSCAPE PLAN

**100 HENNEPIN
MINNEAPOLIS, MN**

L1.0



ISSUED FOR REVIEW - NOT FOR CONSTRUCTION

100 HENNEPIN AVENUE MIXED-USE & 1ST AVENUE TOWNHOMES

100 HENNEPIN
MIXED USE & 1ST
AVE TOWNHOMES

100 HENNEPIN AVENUE
& 101 1ST AVENUE NORTH
MINNEAPOLIS, MN

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100 HENNEPIN AVENUE & 101 1ST AVENUE NORTH | MINNEAPOLIS, MN



PROJECT TEAM

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Minneapolis, MN 55402-1540
Ph: 612.465.7550
Fx: 612.465.7706

Mechanical, Electrical, Plumbing Engineers: Design/Build - T.B.D.

SHEET INDEX

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A1.2	SECOND LEVEL FLOOR PLAN	•
A1.3	THIRD THRU FIFTH LEVEL FLOOR PLANS	•
A1.6	SIXTH LEVEL FLOOR PLAN	•
A1.6m	SIXTH LEVEL MEZZANINE FLOOR PLAN	•
A1.7	ROOF PLAN	•
A1.11	1ST AVE TOWNHOMES FLOOR PLANS	•
A3.1	EXTERIOR ELEVATIONS - NORTH AND SOUTH	•
A3.2	EXTERIOR ELEVATIONS - EAST	•
A3.3	EXTERIOR ELEVATIONS - NORTH COURTYARD	•
A3.4	EXTERIOR ELEVATIONS - SOUTH COURTYARD	•
A3.5	EXTERIOR ELEVATIONS - WEST	•
A3.6	EXTERIOR ELEVATIONS - NORTH AND SOUTH AT RAMP	•
A3.11	1ST AVE TOWNHOMES EXTERIOR ELEVATIONS - WEST AND SOUTH/NORTH	•
A3.12	1ST AVE TOWNHOMES EXTERIOR ELEVATIONS - EAST	•
A5.1	WALL SECTIONS	•

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PROJECT LOCATION

Vicinity

Site Location

UNIT MIX & SQUARE FOOTAGES

100 Hennepin
8/10/2015 CURRENT

Mixed-Use Building Level	Use	Total GSF	Parking GSF	Retail NSF	Amenity/Lobby GSF	Apt GSF + Circ & MEP	Res Stor in Apt GSF	NRSF	Units	Parking
Level 1	parking/residence	39,937	16,590	4,511	6,274	12,562	0	9,454	15	49
Mezz	residential	5,524			1,085	4,439	1,085	3,694		
Level 2	residential	31,347		0	1,982	29,365	507	23,506	27	
Level 3	residential	31,347				31,347	547	25,843	30	
Level 4	residential	31,347				31,347	547	25,843	30	
Level 5	residential	31,347				31,347	547	25,843	30	
Level 6	residential	30,253			750	29,503	547	23,972	29	
Mezz	residential	690			0	690	0	678	0	
Total		201,792	16,590	4,511	10,091	170,600	3,780	138,893	161	49

142,613 NSF including storage
147,124 NSF including res, res storage and retail
includes 6 floor mezz and amenity spaces
862 NSF/unit

Unit Mix & Distribution Mixed-Use Building Level	Loft	Studio	Alcove	1BR Alcove	1 BR	1 BR+	2 BR	2 BR+	Penthouses	Total w/out Lofts	Total w/ Lofts
Level 1	15										15
Mezz											
Level 2		0	3	7	5	2	5	5		27	27
Level 3		1	3	8	5	3	3	7		30	30
Level 4		1	3	8	5	3	3	7		30	30
Level 5		1	3	8	5	3	3	7		30	30
Level 6		1	3	8	4	3	4	3	3	29	29
Total	15	4	15	39	24	14	18	29	3	146	161

% of Non-Loft Units	3%	10%	27%	16%	10%	12%	20%	2%	100%
		13%			53%			34%	does not include Lofts

1st Avenue Townhomes	Garage	Ground Floor	First Floor	Second Floor	Third Floor	Total NSF	Quantity	Total NSF	Total NSF w/ Garages
24' Wide Unit North	521	116	686	738	454	1,994	1	1,994	2,515
24' Wide Unit South	522	113	645	693	429	1,880	1	1,880	2,402
20' Wide Units	433	78	526	576	400	1,580	11	17,380	22,143
						13		21,264	27,060
Total NSF for 1st Ave Townhomes (not including garages)									28,311

Townhome GSF	7,513	7,766	7,766	5,266
--------------	-------	-------	-------	-------

SYMBOLS LEGEND

	SECTION AND ELEVATION REF		EXTERIOR ELEVATION KEYNOTE REF
	INTERIOR ELEVATION REF		ROOM AND NUMBER
	DETAIL REF		DOOR NUMBER
	WALL TYPE (SEE SHEET A10.1)		SECTION KEYNOTE REF
	WINDOW TYPE (SEE SHEET A11.2)		REVISION NUMBER
	ELEVATION REF		FIRE EXTINGUISHER CABINET
	SPOT ELEVATION REF		FIRE EXTINGUISHER - WALL MOUNTED
	FLOOR FINISH TRANSITION REF		

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KEY PLAN

100 HENNEPIN MIXED USE & 1ST AVE TOWNHOMES

TITLE SHEET
T1.1



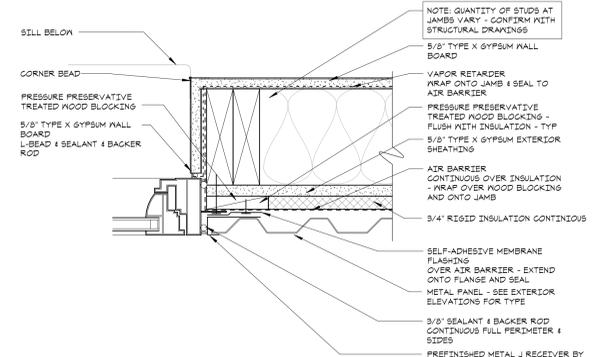
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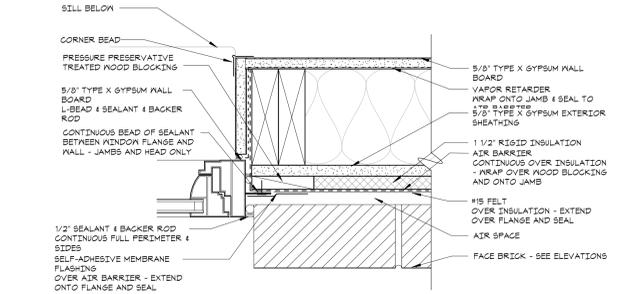
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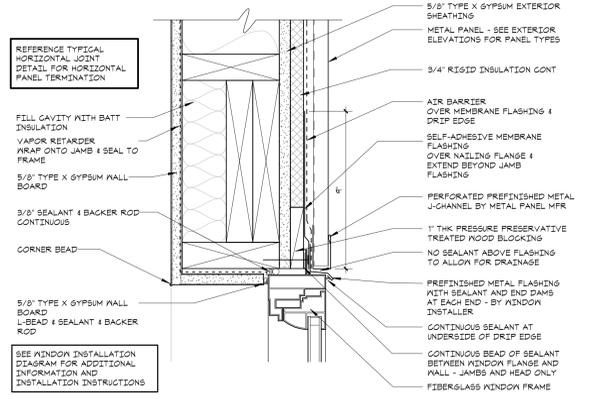
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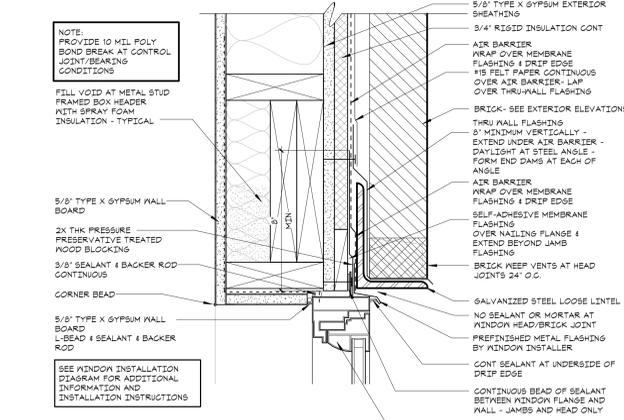
6 WINDOW JAMB AT METAL PANEL 5A
3" = 1'-0"



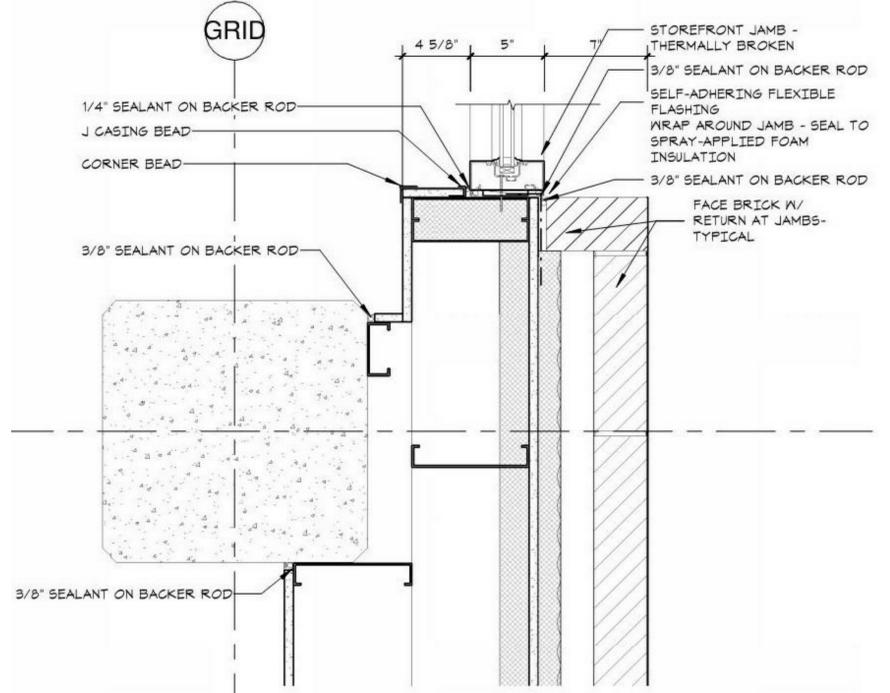
3 WINDOW JAMB AT BRICK
3" = 1'-0"



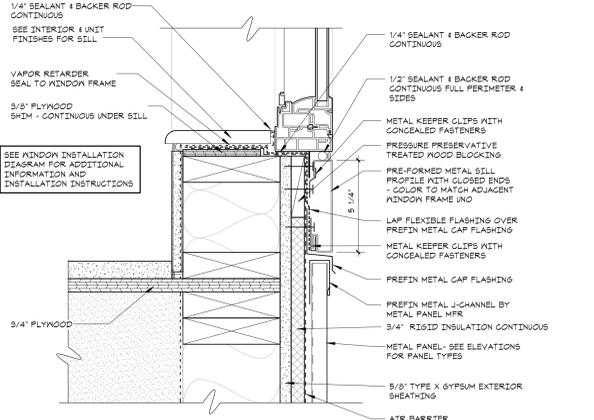
5 WINDOW HEAD AT METAL PANEL
3" = 1'-0"



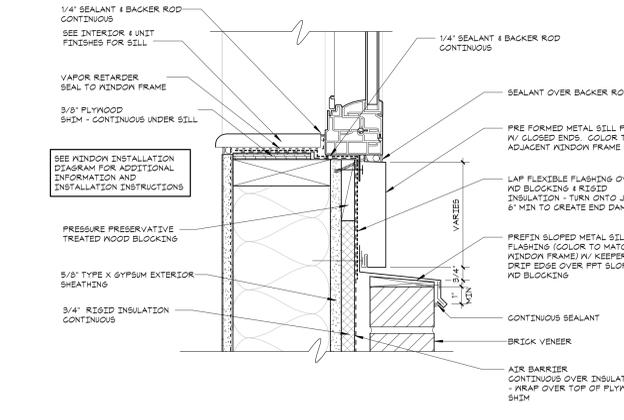
2 WINDOW HEAD AT BRICK
3" = 1'-0"



PLAN DETAIL AT STOREFRONT WINDOW/ BRICK PIER
1 1/2" = 1'-0"



4 WINDOW SILL AT METAL PANEL
3" = 1'-0"



1 WINDOW SILL AT BRICK
3" = 1'-0"

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KEY PLAN

100 HENNEPIN MIXED USE
& 1ST AVE TOWNHOMES

WINDOW DETAILS
T4.2

100 HENNEPIN
MIXED USE & 1ST
AVE TOWNHOMES

100 HENNEPIN AVENUE
& 101 1ST AVENUE NORTH
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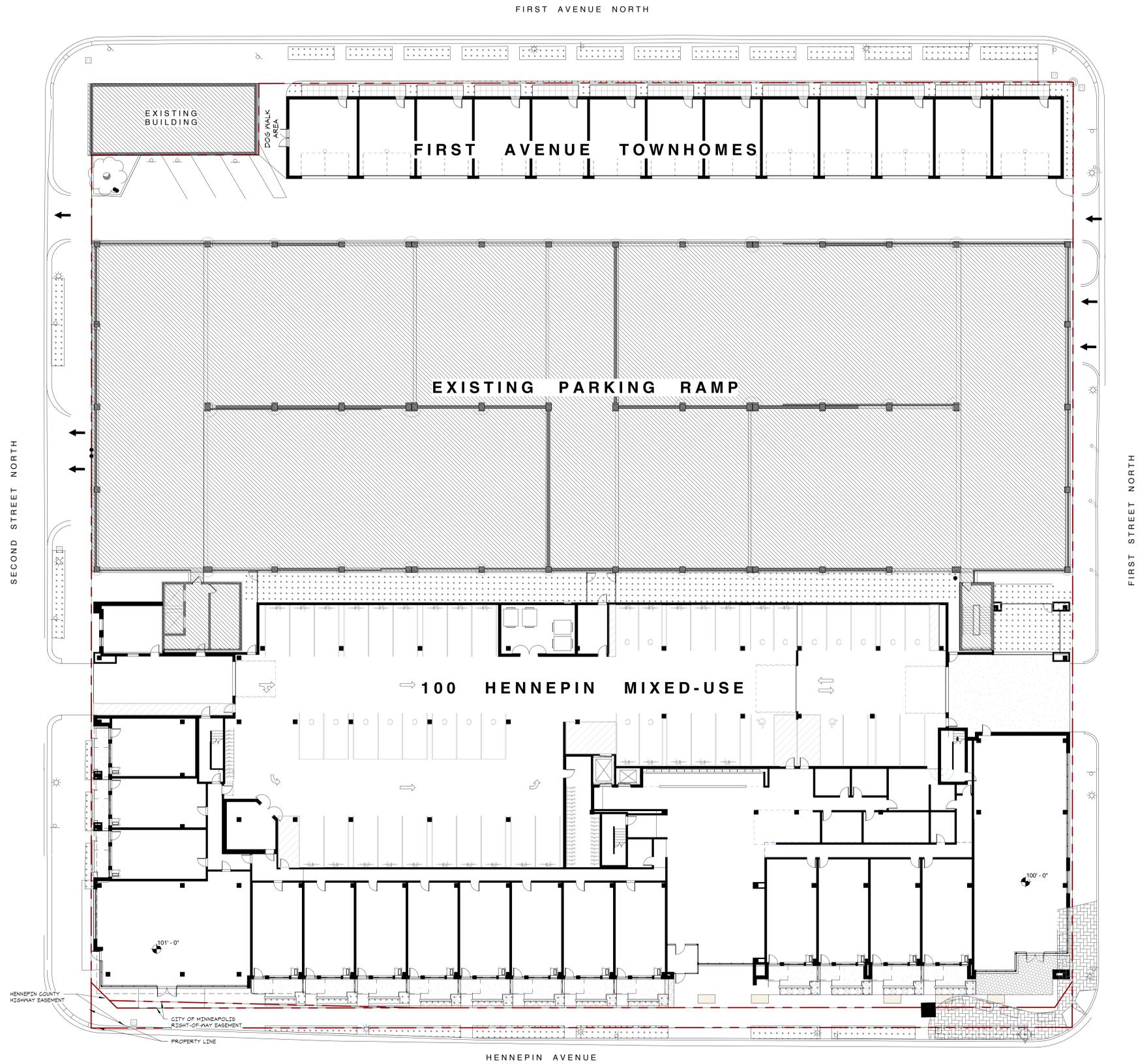
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KEY PLAN



100 HENNEPIN MIXED USE
& 1ST AVE TOWNHOMES

ARCHITECTURAL SITE PLAN
AS1.1





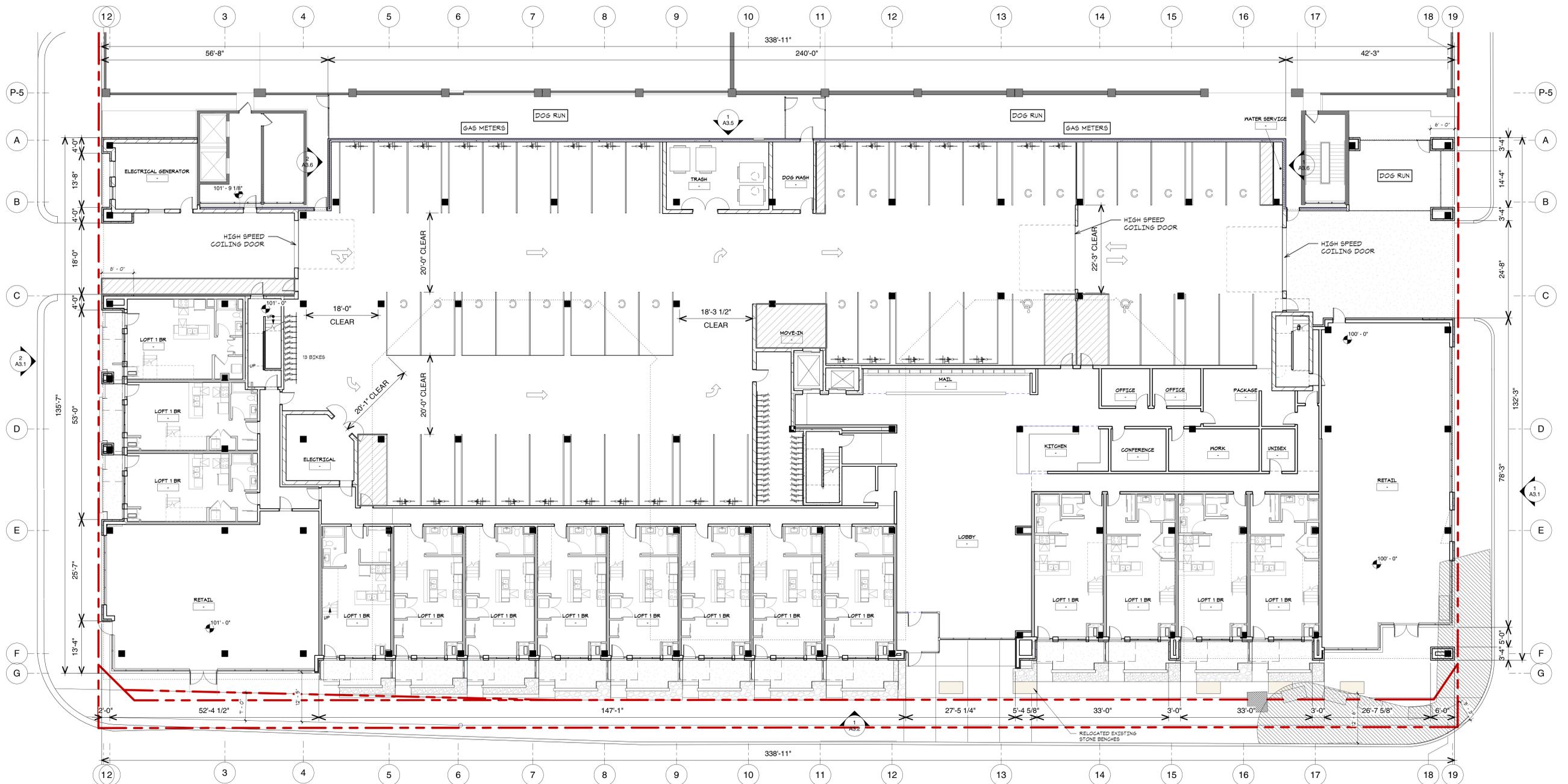
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- FLOOR PLAN GENERAL NOTES**
1. TYPICAL UNIT PERIMETER WALLS ARE TO BE 1 HR RATED-DWD, INCREASE STUD SIZE FOR PLUMBING. REFER TO WALL TAGS ON FLOOR PLANS AND A10.1.
 2. TYPICAL CORRIDOR WALL TO BE 1 HR RATED- INCREASE STUD SIZE FOR PLUMBING. REFER TO A10.1.
 3. TYPICAL STAIR, ELEVATOR AND SHAFT WALL ARE TO BE 2 HOUR RATED, INO. REFER TO WALL TAGS ON FLOOR PLANS AND A10.1.
 3. REB STORAGE COMPARTMENTS ON RESIDENTIAL FLOORS TO BE PREFABRICATED 9'-0" X 4'-0" X 7'-0" HIGH. PADLOCKS ARE NIG.
 4. PROVIDE RECESSED FIRE EXTINGUISHERS AT ALL AREAS PER CODE.
 6. PROVIDE 9'-0" X 10'-0" PREFINISHED ALUM BALCONIES WHERE SHOWN. PROVIDE 6PT ELECTRICAL OUTLETS AT ALL BALCONIES.
 7. PROVIDE 4" PAINT STRIPING & PARKING STALLS - PAINT STALL NUMBERS ON WALLS WHERE POSSIBLE - OTHERWISE ON FLOOR.



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100 HENNEPIN MIXED USE
& 1ST AVE TOWNHOMES

FIRST LEVEL FLOOR PLAN
A1.1

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1 FIRST LEVEL FLOOR PLAN
A1.1 3/32" = 1'-0"



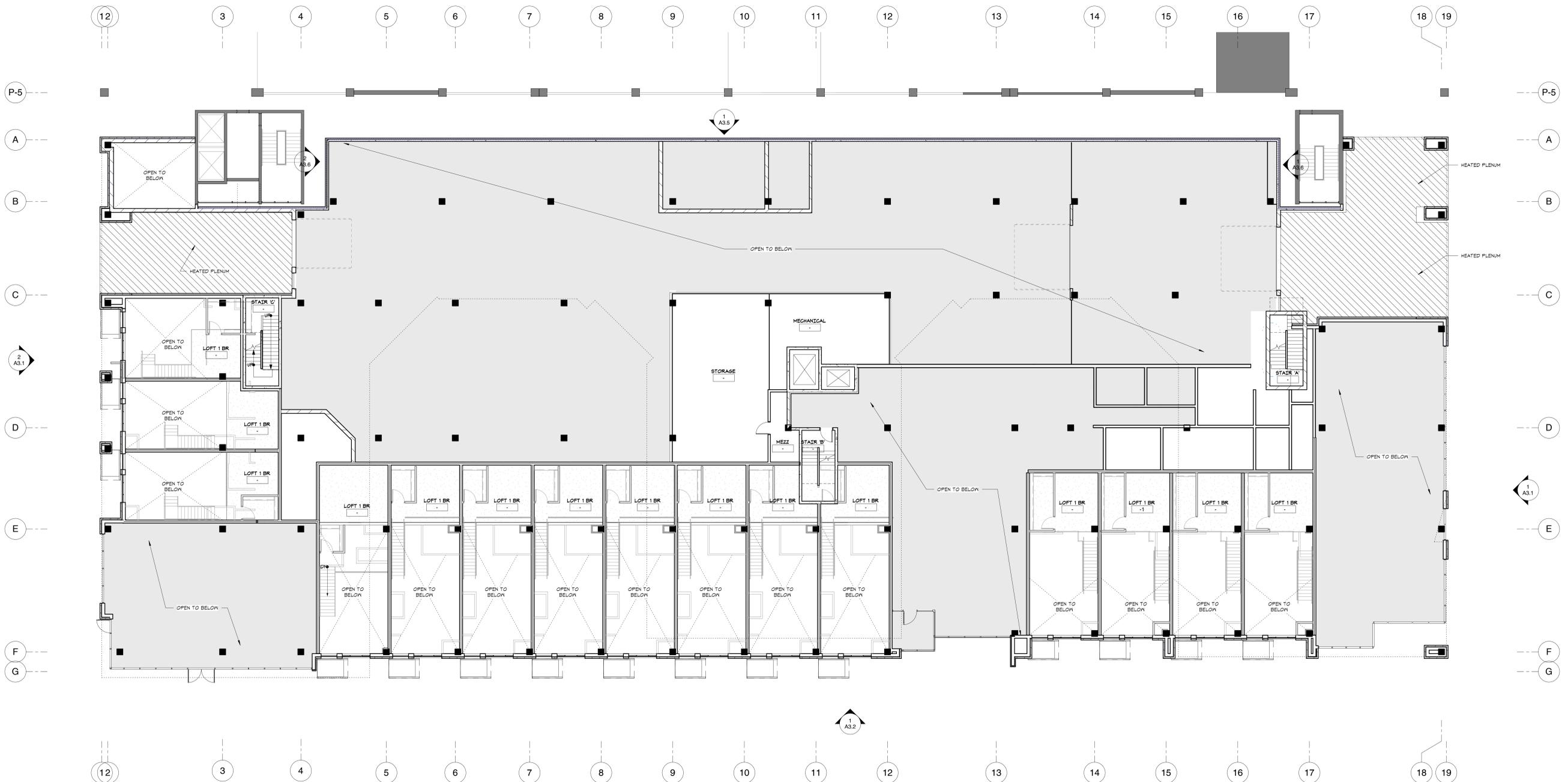
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KEY PLAN

100 HENNEPIN MIXED USE
& 1ST AVE TOWNHOMES

FIRST LEVEL MEZZANINE
PLAN

A1.1 m



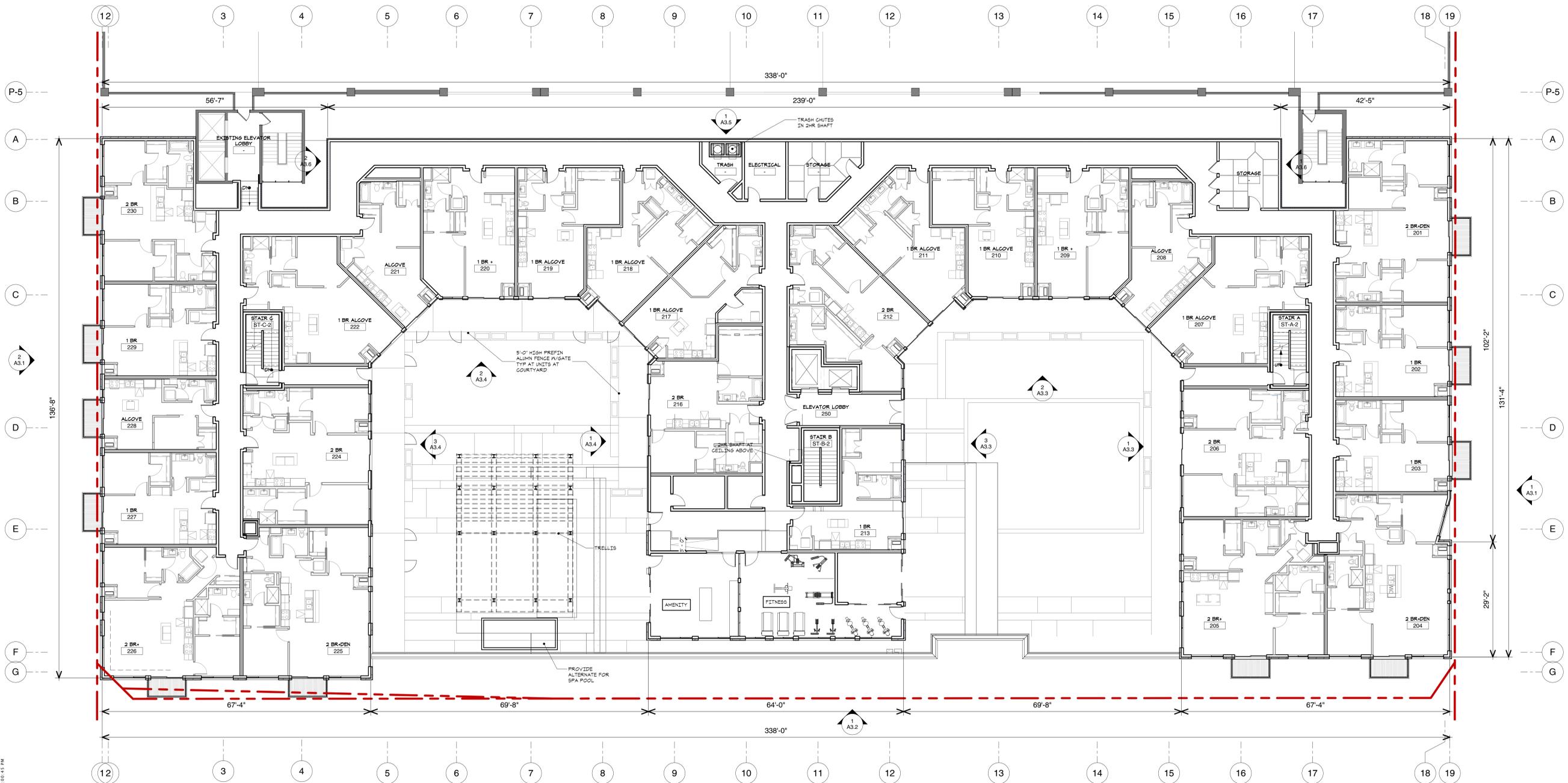
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 3. TYPICAL STAIR, ELEVATOR AND SHAFT WALL ARE TO BE 2 HOUR RATED, INO. REFER TO WALL TAGS ON FLOOR PLANS AND A10.1.
 4. PROVIDE RECESSED FIRE EXTINGUISHERS AT ALL AREAS PER CODE.
 5. RES STORAGE COMPARTMENTS ON RESIDENTIAL FLOORS TO BE PREFABRICATED 3'-0" X 4'-0" X 7'-0" HIGH. PADLOCKS ARE NIC.
 6. PROVIDE 9'-0" X 10'-0" PREFINISHED ALUM BALCONIES WHERE SHOWN. PROVIDE 6PT ELECTRICAL OUTLETS AT ALL BALCONIES.
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1	A3.1	

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KEY PLAN

100 HENNEPIN MIXED USE
& 1ST AVE TOWNHOMES

SECOND LEVEL FLOOR
PLAN

A1.2



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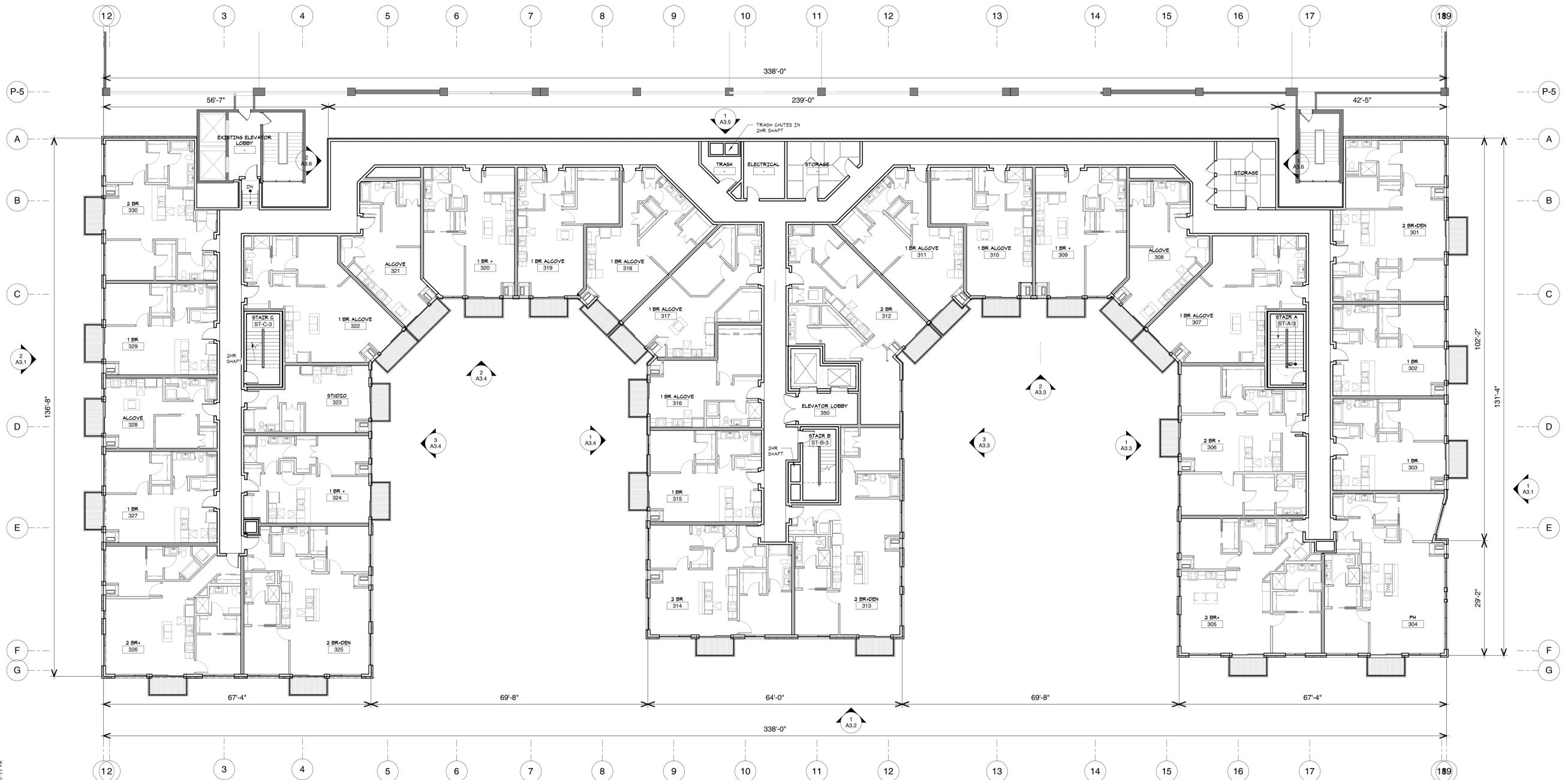
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FLOOR PLAN GENERAL NOTES

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5. PROVIDE RECESSED FIRE EXTINGUISHERS AT ALL AREAS PER CODE.
6. PROVIDE 5'-0" X 10'-0" PREFINISHED ALUM BALCONIES WHERE SHOWN, PROVIDE 6PI ELECTRICAL OUTLETS AT ALL BALCONIES.
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THIRD THRU FIFTH LEVEL
FLOOR PLANS

A1.3



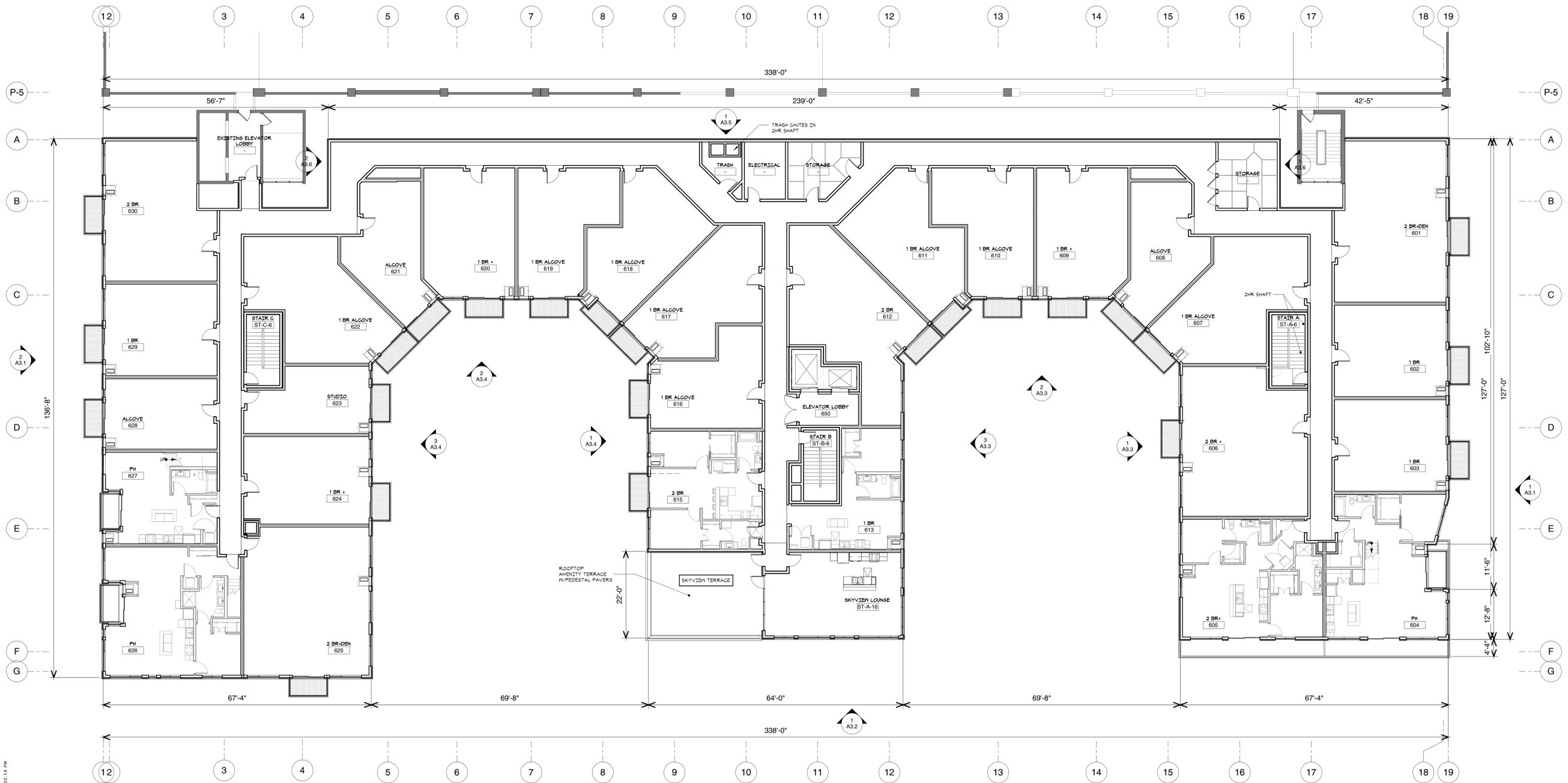
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KEY PLAN

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& 1ST AVE TOWNHOMES

SIXTH LEVEL FLOOR PLAN

A1.6



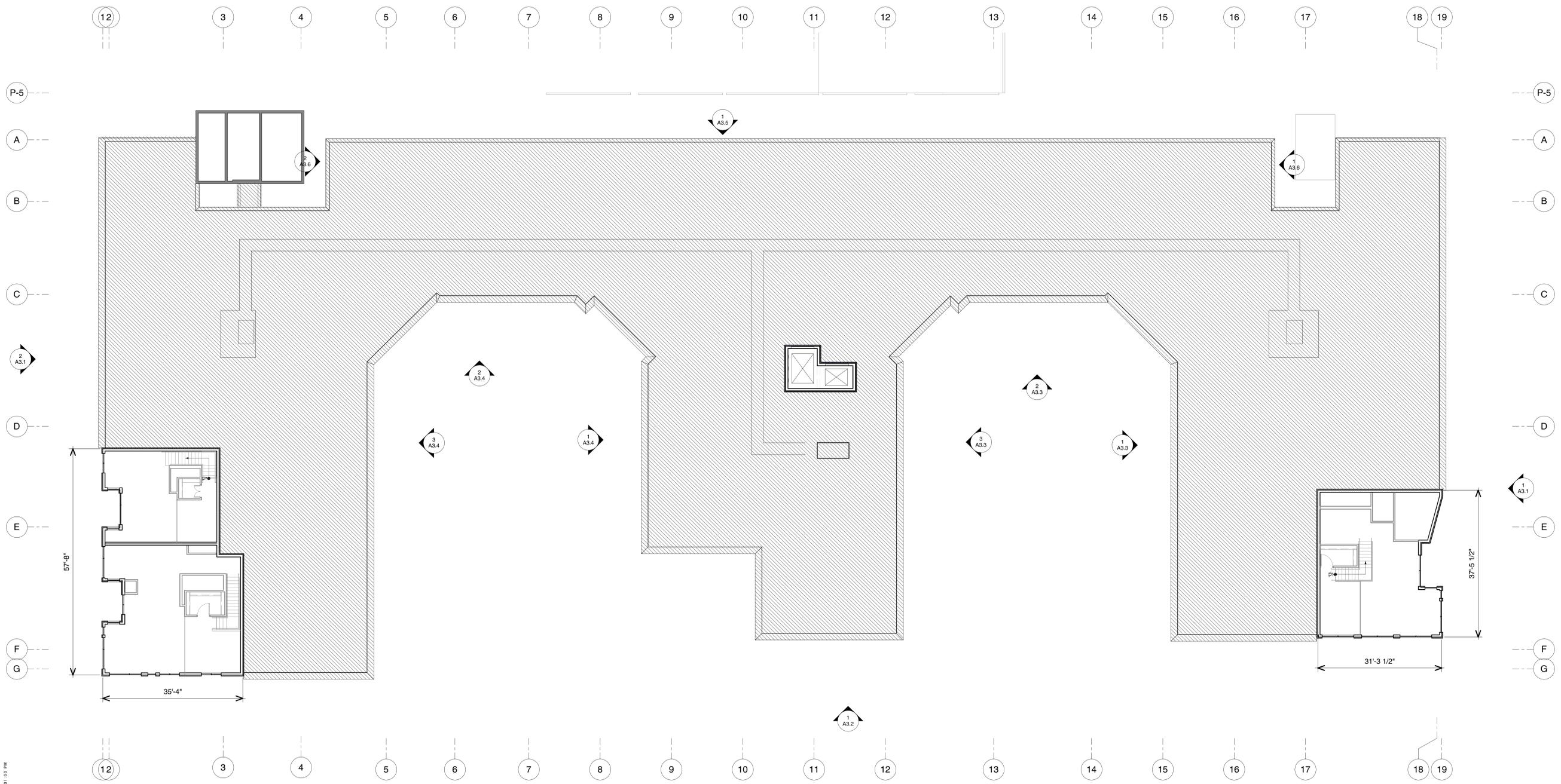
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100 HENNEPIN MIXED USE
& 1ST AVE TOWNHOMES

SIXTH LEVEL MEZZANINE
FLOOR PLAN

A1.6m

100 HENNEPIN
MIXED USE & 1ST
AVE TOWNHOMES

100 HENNEPIN AVENUE
& 101 1ST AVENUE NORTH
MINNEAPOLIS, MN



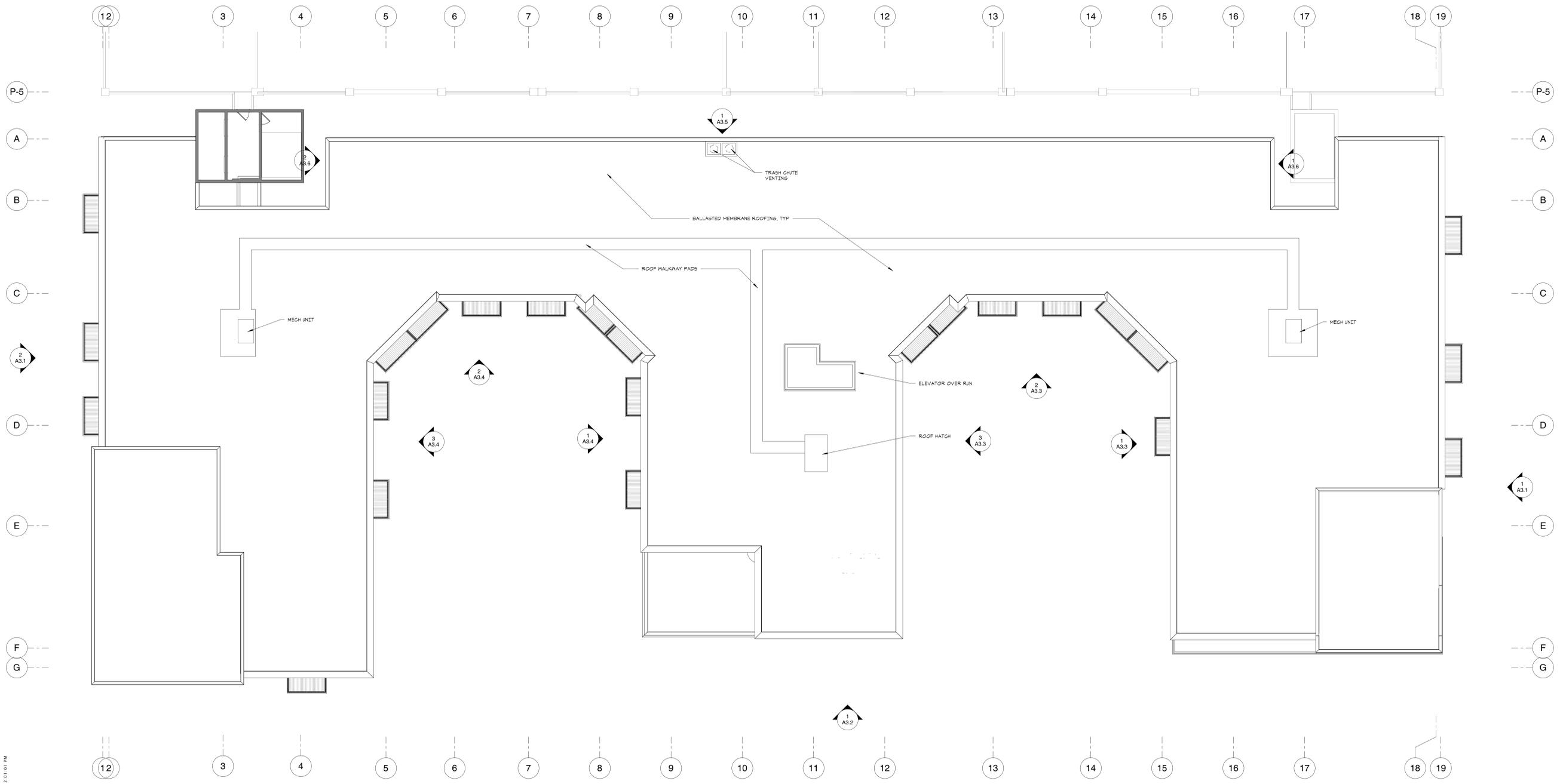
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KEY PLAN

100 HENNEPIN MIXED USE
& 1ST AVE TOWNHOMES

ROOF PLAN
A1.7

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1 ROOF PLAN
A1.7 3/32" = 1'-0"

100 HENNEPIN
MIXED USE & 1ST
AVE TOWNHOMES

100 HENNEPIN AVENUE
& 101 1ST AVENUE NORTH
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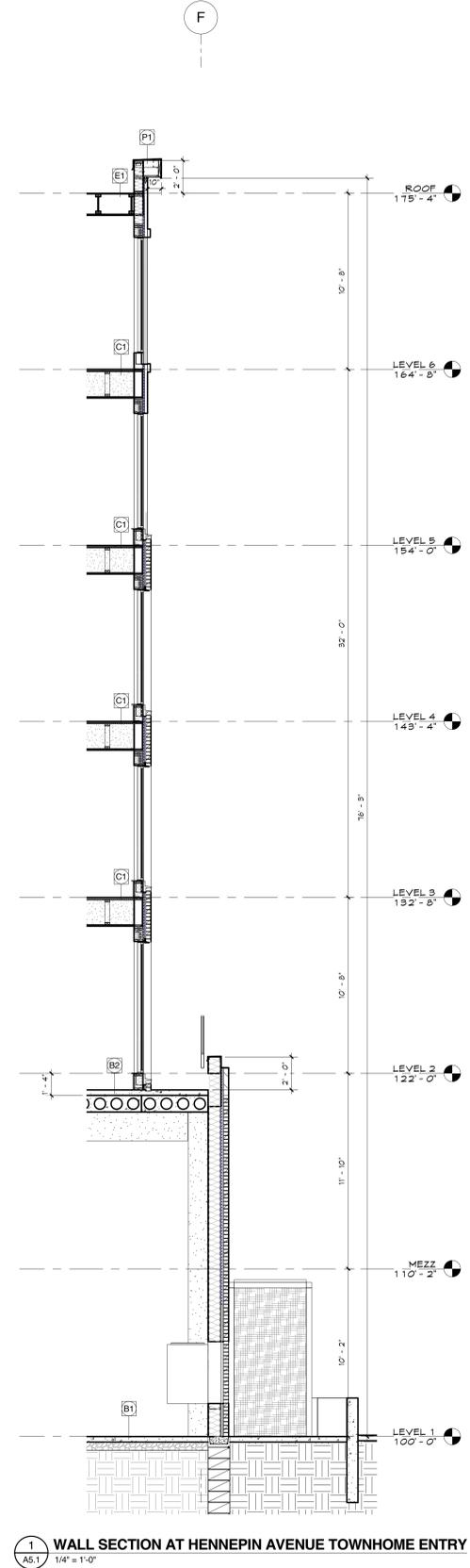
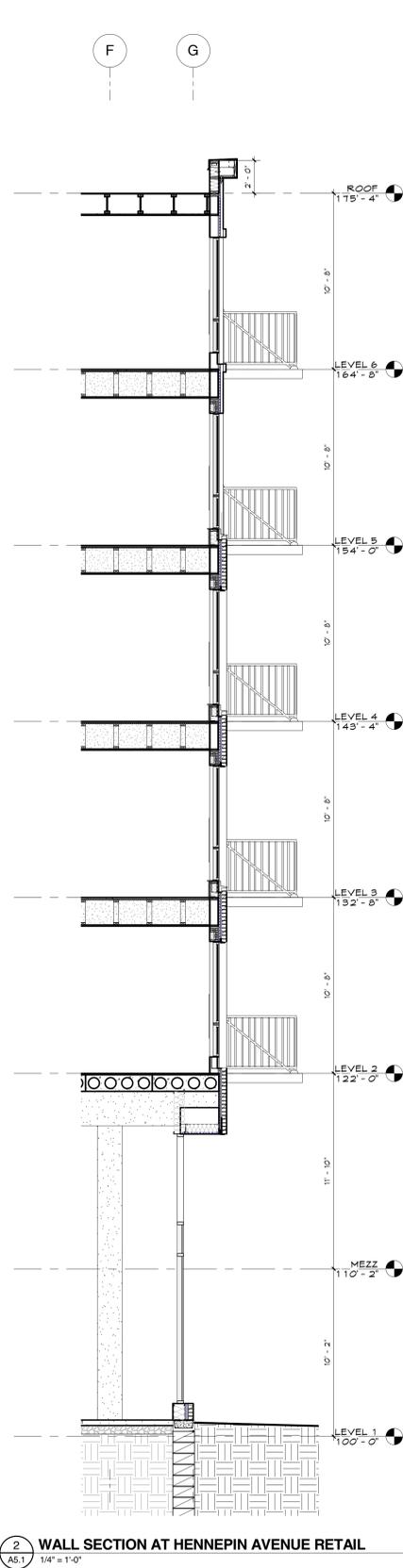
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KEY PLAN

100 HENNEPIN MIXED USE
& 1ST AVE TOWNHOMES

WALL SECTIONS
A5.1

100 HENNEPIN
MIXED USE & 1ST
AVE TOWNHOMES

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& 101 1ST AVENUE NORTH
MINNEAPOLIS, MN



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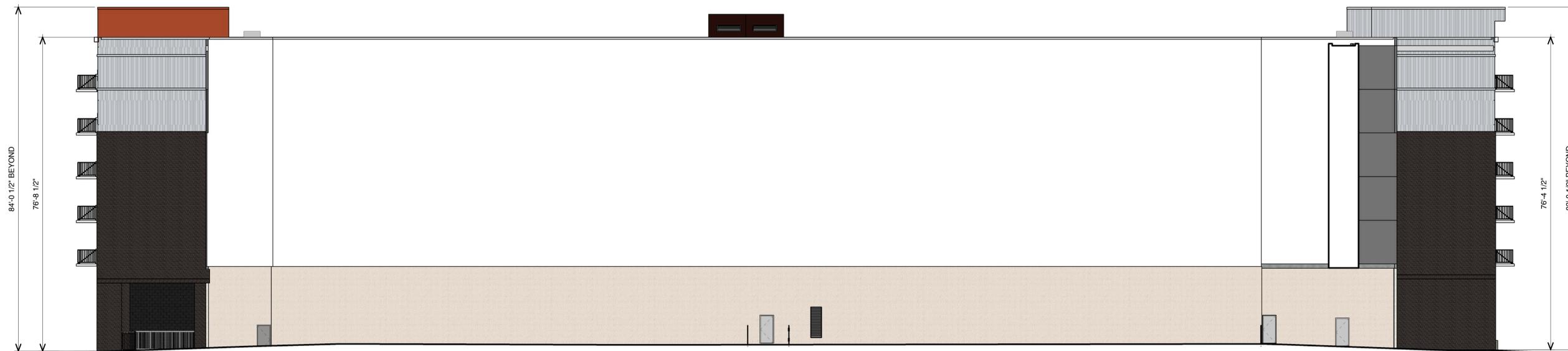
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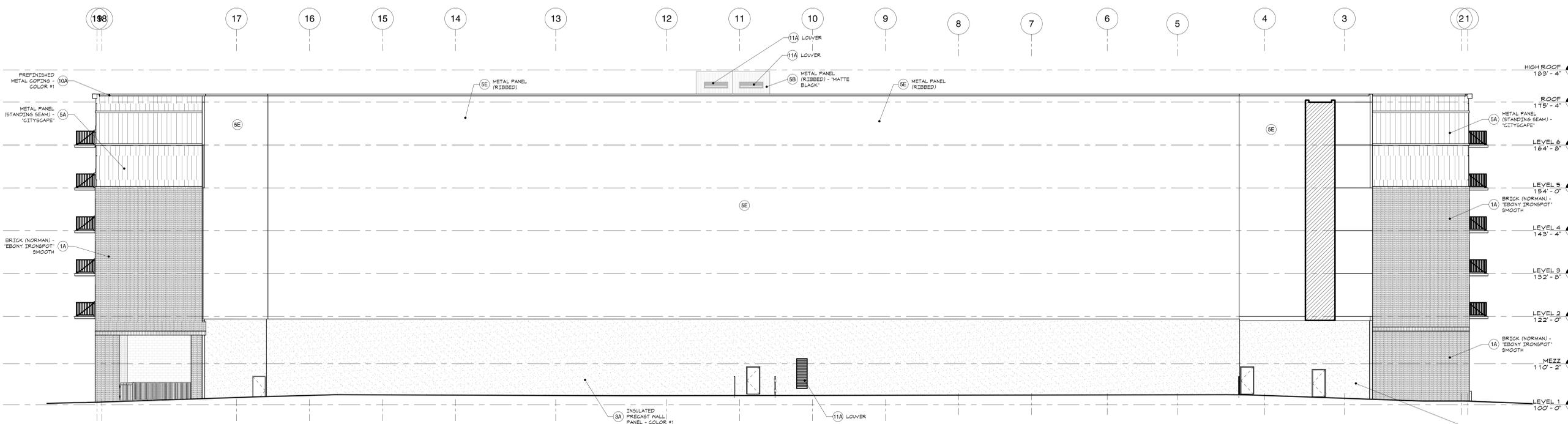
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EXTERIOR MATERIAL KEYNOTES	
1A	BRICK (NORMAN) - "EBONY IRONSPOT" SMOOTH
3A	INSULATED PRECAST WALL PANEL - COLOR #1
4A	BURNISHED CMU - "MIDNIGHT BLACK"
4B	PAINTED CMU COLOR #2
5A	METAL PANEL (STANDING SEAM) - "CITYSCAPE"
5B	METAL PANEL (RIBBED) - "MATTE BLACK"
5C	METAL PANEL ACCENT (FLUSH) - "MATTE BLACK"
5D	METAL PANEL (COMPOSITE) - COPPER COLOR
5E	METAL PANEL (RIBBED)
5F	METAL PLANTER EDGE (FLAT)
6A	FIBER CEMENT PANEL - "CEDAR KEY"
6B	FIBER CEMENT PANEL - "CHARCOAL SLATE"
6C	FIBER CEMENT PANEL - "PLATINUM GREY"
7A	STUCCO - "SUPER WHITE"
9A	FIBERGLASS WINDOW/DOOR
9B	ALUMINUM STOREFRONT
9C	PREFINISHED OVERHEAD GARAGE DOOR
10A	PREFINISHED METAL COPING - COLOR #1
10B	PREFINISHED METAL COPING - COLOR #2
11A	LOUVER
12A	PREFINISHED METAL RAILING/DECK SYSTEM - 5'x10'
12B	GLASS GUARDRAIL SYSTEM
12C	PREFINISHED METAL RAILING
15A	TRELLIS
19A	CAST IN PLACE CONCRETE SITE WALL



1A WEST ELEVATION COLOR ILLUSTRATION
A3.5 3/32" = 1'-0"



1 WEST ELEVATION
A3.5 3/32" = 1'-0"

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KEY PLAN

100 HENNEPIN MIXED USE
& 1ST AVE TOWNHOMES

EXTERIOR ELEVATIONS -
WEST

A3.5

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EXTERIOR MATERIAL KEYNOTES	
1A	BRICK (NORMAN) - "EBONY IRONSPOT" SMOOTH
3A	INSULATED PRECAST WALL PANEL - COLOR #1
4A	BURNISHED GCMU - "MIDNIGHT BLACK"
4B	PAINTED GCMU COLOR #2
5A	METAL PANEL (STANDING SEAM) - "CITYSCAPE"
5B	METAL PANEL (RIBBED) - "MATTE BLACK"
5C	METAL PANEL ACCENT (FLUSH) - "MATTE BLACK"
5D	METAL PANEL (COMPOSITE) - COPPER COLOR
5E	METAL PANEL (RIBBED)
5F	METAL PLANTER EDGE (FLAT)
6A	FIBER CEMENT PANEL - "CEDAR KEY"
6B	FIBER CEMENT PANEL - "CHARCOAL SLATE"
6C	FIBER CEMENT PANEL - "PLATINUM GREY"
7A	STUCCO - "SUPER WHITE"
9A	FIBERGLASS WINDOW/DOOR
9B	ALUMINUM STOREFRONT
9C	PREFINISHED OVERHEAD GARAGE DOOR
10A	PREFINISHED METAL COPING - COLOR #1
10B	PREFINISHED METAL COPING - COLOR #2
11A	LOUVER
12A	PREFINISHED METAL RAILING/DECK SYSTEM - 5'x10'
12B	GLASS GUARDRAIL SYSTEM
12C	PREFINISHED METAL RAILING
15A	TRELLIS
19A	CAST IN PLACE CONCRETE SITE WALL



1A EAST ELEVATION COLOR ILLUSTRATION
A3.2 3/32" = 1'-0"



1 EAST ELEVATION
A3.2 3/32" = 1'-0"

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REVISIONS

No.	Description	Date

214527
PROJECT NUMBER

LB, NVW AB
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KEY PLAN

100 HENNEPIN MIXED USE
& 1ST AVE TOWNHOMES

EXTERIOR ELEVATIONS - EAST

A3.2



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EXTERIOR MATERIAL KEYNOTES	
1A	BRICK (NORMAN) - "EBONY IRONSPOT" SMOOTH
3A	INSULATED PRECAST WALL PANEL - COLOR #1
4A	BURNISHED GUM - "MIDNIGHT BLACK"
4B	PAINTED GUM COLOR #2
5A	METAL PANEL (STANDING SEAM) - "CITYSCAPE"
5B	METAL PANEL (RIBBED) - "MATTE BLACK"
5C	METAL PANEL ACCENT (FLUSH) - "MATTE BLACK"
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12C	PREFINISHED METAL RAILING
15A	TRELLIS
19A	CAST IN PLACE CONCRETE SITE WALL



3A SOUTH COURTYARD - SOUTH ELEVATION COLOR ILLUSTRATION
A3.4 3/32" = 1'-0"



2A SOUTH COURTYARD - WEST ELEVATION COLOR ILLUSTRATION
A3.4 3/32" = 1'-0"

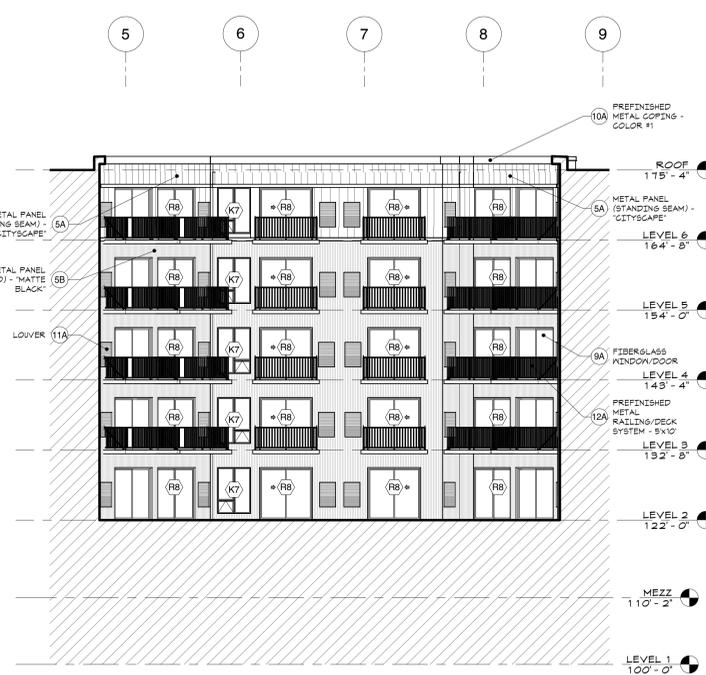


1A SOUTH COURTYARD - NORTH ELEVATION COLOR ILLUSTRATION
A3.4 3/32" = 1'-0"

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3 SOUTH COURTYARD - SOUTH ELEVATION
A3.4 3/32" = 1'-0"



2 SOUTH COURTYARD - WEST ELEVATION
A3.4 3/32" = 1'-0"



1 SOUTH COURTYARD - NORTH ELEVATION
A3.4 3/32" = 1'-0"

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100 HENNEPIN MIXED USE
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EXTERIOR ELEVATIONS -
SOUTH COURTYARD

A3.4

100 HENNEPIN
MIXED USE & 1ST
AVE TOWNHOMES

100 HENNEPIN AVENUE
& 101 1ST AVENUE NORTH
MINNEAPOLIS, MN



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MIXED-USE BUILDING PERSPECTIVE VIEW #1

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PERSPECTIVE VIEW
T3.1

100 HENNEPIN
MIXED USE & 1ST
AVE TOWNHOMES

100 HENNEPIN AVENUE
& 101 1ST AVENUE NORTH
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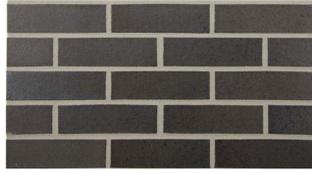
PERSPECTIVE VIEW
T3.3

MIXED-USE BUILDING PERSPECTIVE VIEW #3

100 HENNEPIN LOBBY & RETAIL - 1ST LEVEL

BRICK

EBONY IRONSPOT SMOOTH
SIZE: NORMAN



LOBBY STORE FRONT

BLACK ANODIZED ALUM



ACCENT METAL PANEL
@ ENTRY CANOPY
RUSSET MICA COOL



WEST FACADE PRECAST

PRECAST CONCRETE



100 HENNEPIN TOWNHOMES - 1ST LEVEL

BRICK

EBONY IRONSPOT SMOOTH
SIZE: NORMAN



FIBERGLASS WINDOWS

SANDTONE



100 HENNEPIN APARTMENTS LEVELS 2-4

BRICK

EBONY IRONSPOT SMOOTH
SIZE: NORMAN



FIBERGLASS WINDOWS

SANDTONE



RIBBED METAL PANEL
@ COURTYARDS
MATTE BLACK



ACCENT METAL PANEL

RUSSET MICA COOL

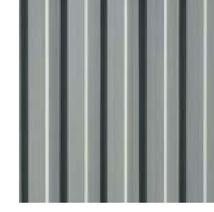


METAL DECK & RAILINGS

BLACK ANODIZED ALUM



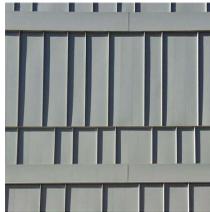
RIBBED METAL PANEL @
WEST FACADE
WHITE



100 HENNEPIN APARTMENTS LEVELS 5-6

STANDING SEAM METAL PANEL

CITYSCAPE



FIBERGLASS WINDOWS

BLACK



ACCENT METAL PANEL

RUSSET MICA COOL

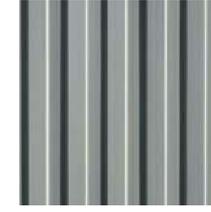


METAL DECK & RAILINGS

BLACK ANODIZED ALUM



RIBBED METAL PANEL @
WEST FACADE
CITYSCAPE



100 HENNEPIN
MIXED USE & 1ST
AVE TOWNHOMES

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& 101 1ST AVENUE NORTH
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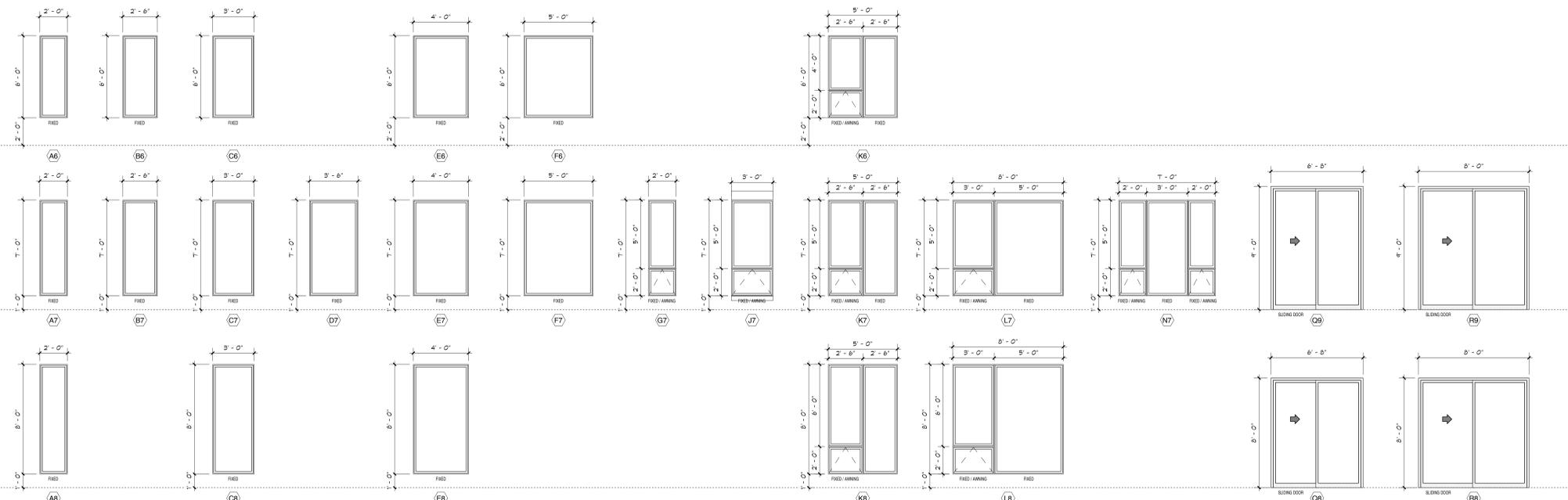
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KEY PLAN

100 HENNEPIN MIXED USE
& 1ST AVE TOWNHOMES

EXTERIOR MATERIAL
IMAGES AND WINDOW
TYPES

T4.1



WINDOW TYPES



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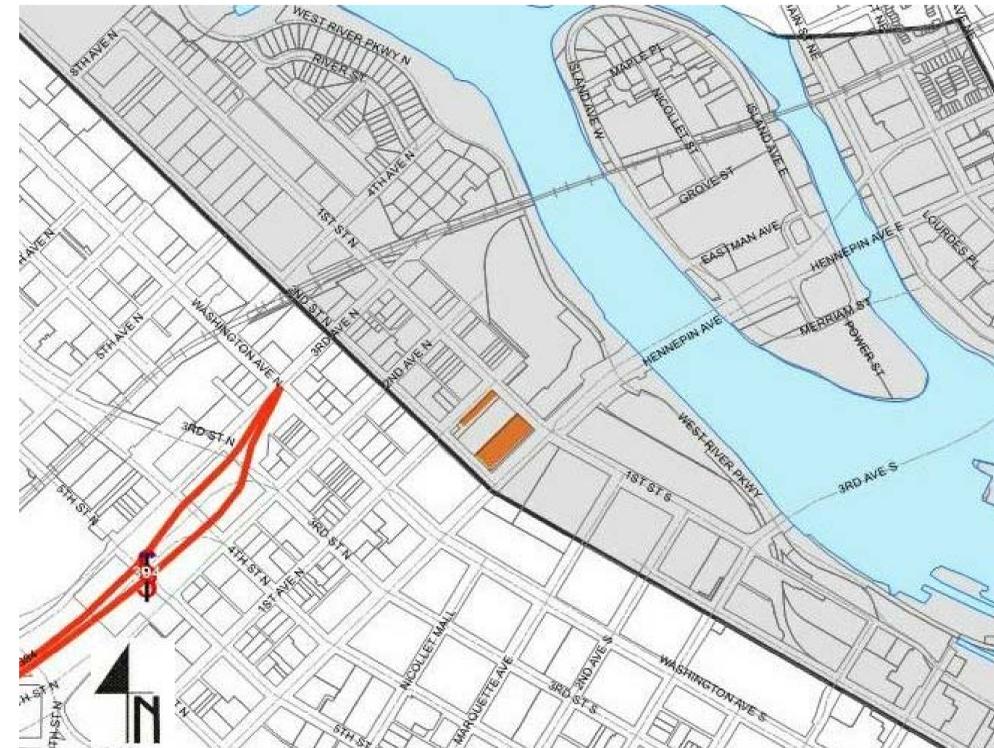
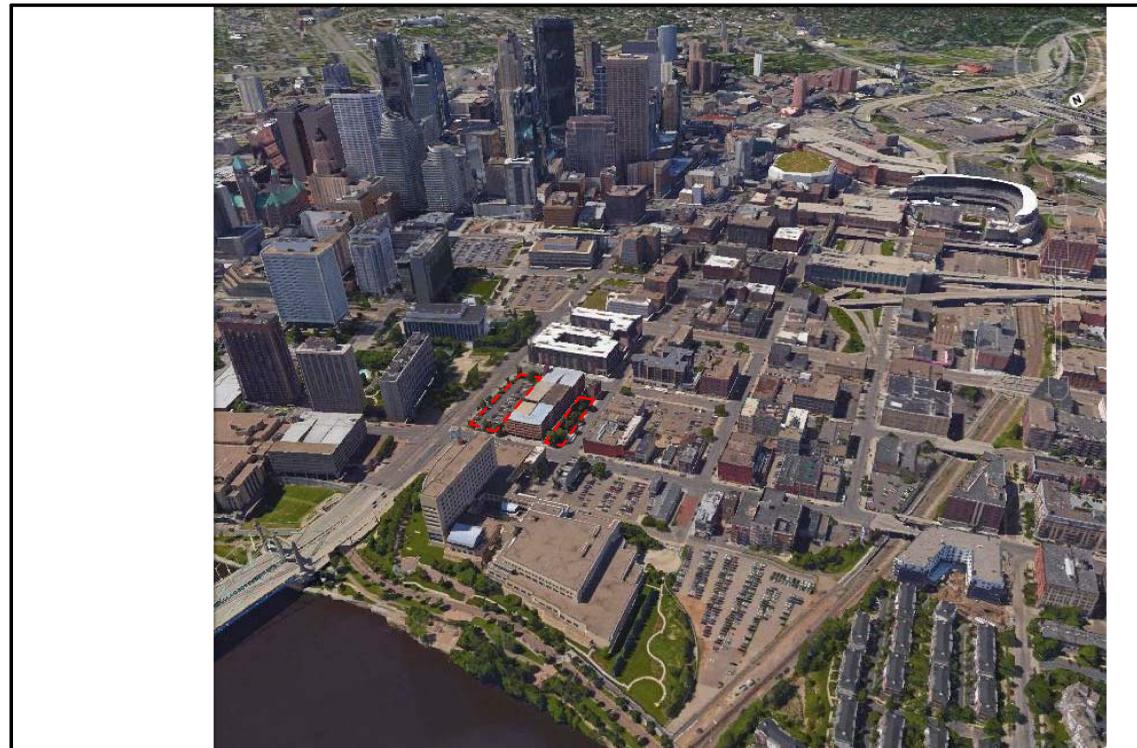
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4 IMMEDIATE AREA PLAN
T1.2 12" = 1'-0"

SUBAREA CONTEXT DIAGRAM

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BIRDSEYE VIEW FROM NORTHWEST

ST ANTHONY FALLS HISTORIC DISTRICT MAP

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KEY PLAN

100 HENNEPIN MIXED USE
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PROJECT INFORMATION

T1.2

100 HENNEPIN
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AVE TOWNHOMES

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& 101 1ST AVENUE NORTH
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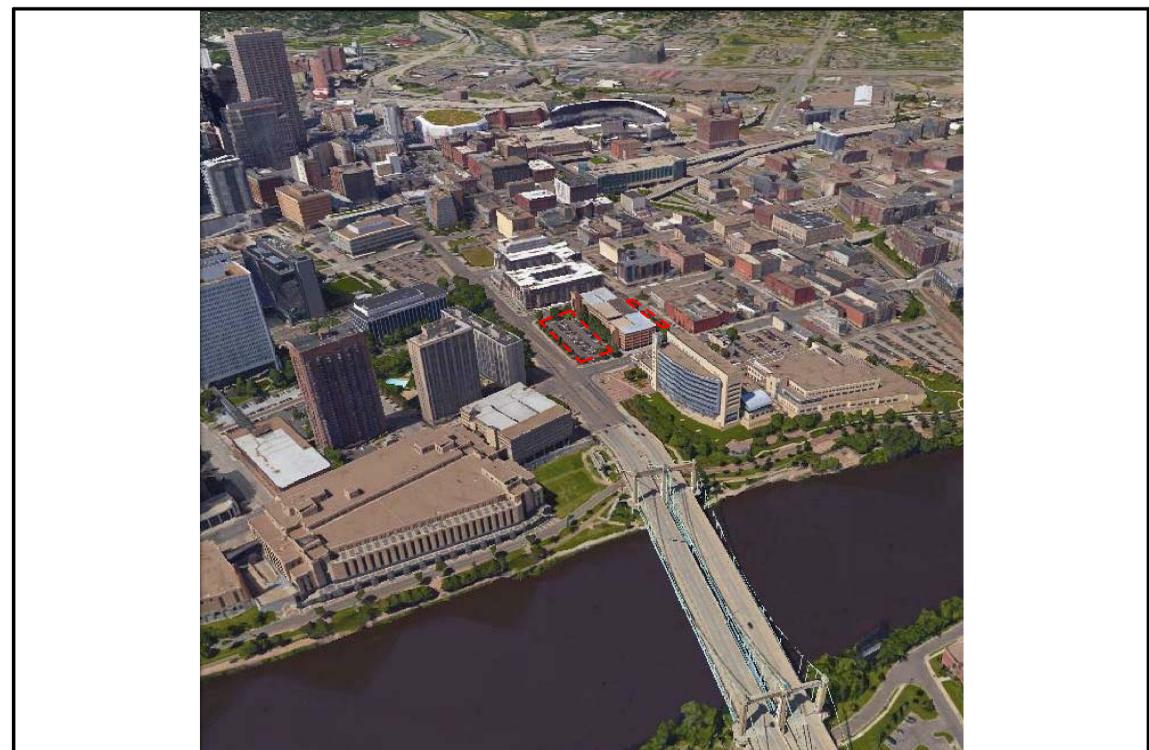
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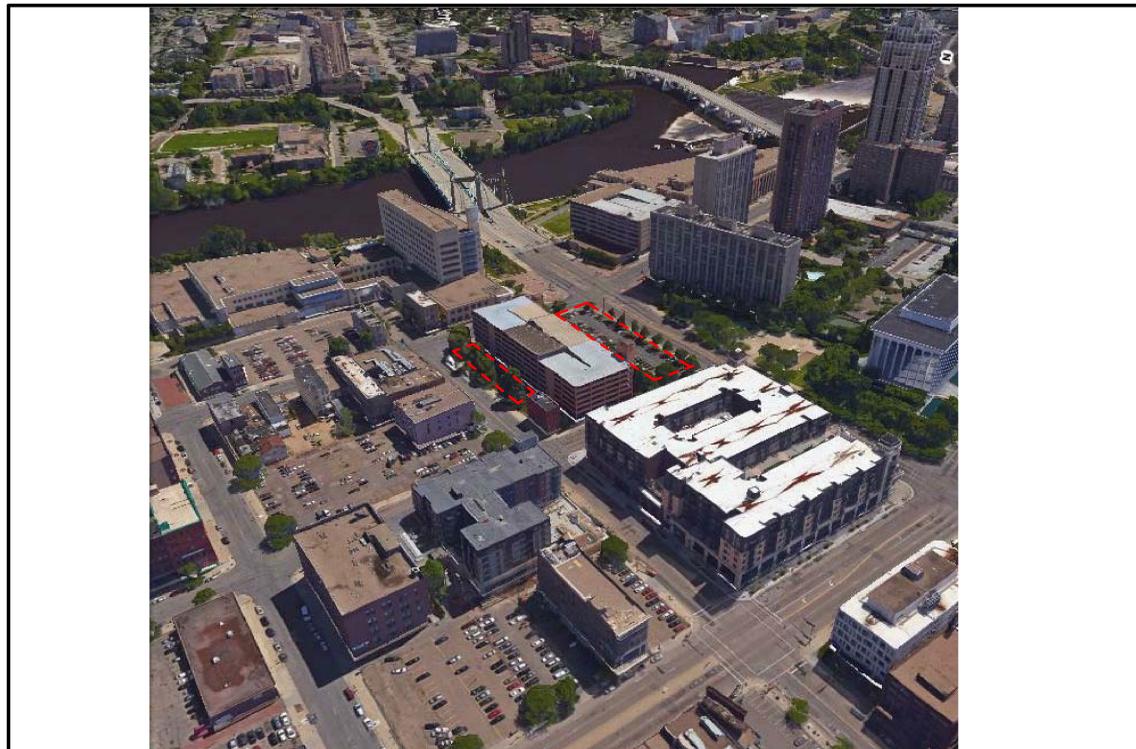


4 BIRDSEYE VIEW FROM SOUTHEAST
T1.3 12" = 1'-0"



3 BIRDSEYE VIEW FROM NORTHEAST
T1.3 12" = 1'-0"

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2 BIRDSEYE VIEW FROM SOUTHWEST
T1.3 12" = 1'-0"



1 1869-1952 PENCE OPERA HOUSE - CORNER OF HENNEPIN AVE AND 2ND ST NORTH
T1.3 12" = 1'-0"

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T1.3



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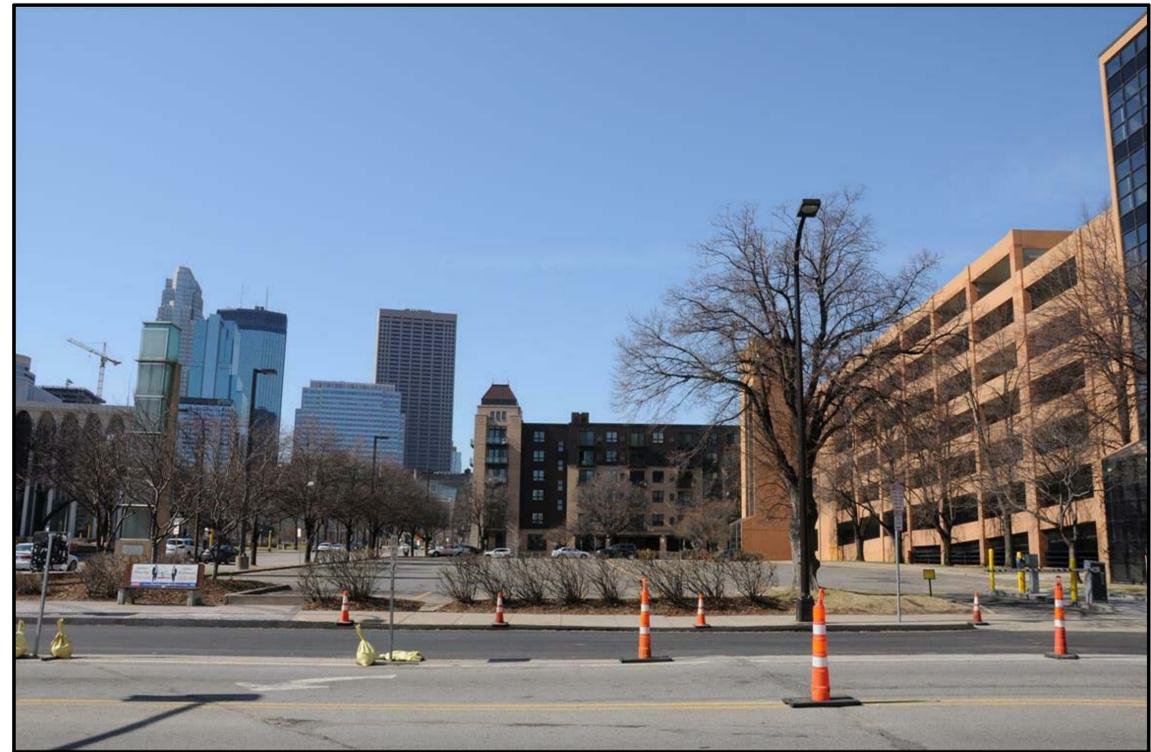
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EXISTING MIXED-USE BUILDING SITE LOOKING NORTH



EXISTING MIXED-USE BUILDING SITE LOOKING SOUTH



EXISTING MIXED-USE BUILDING SITE LOOKING NORTHWEST



EXISTING MIXED-USE BUILDING SITE LOOKING WEST

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100 HENNEPIN MIXED USE
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EXISTING SITE PHOTOS

T2.1

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N 1st St







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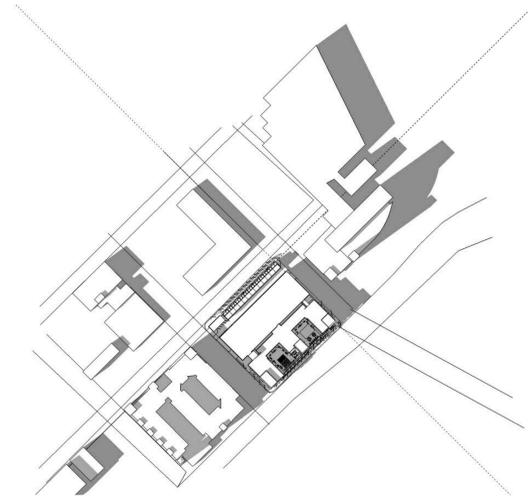
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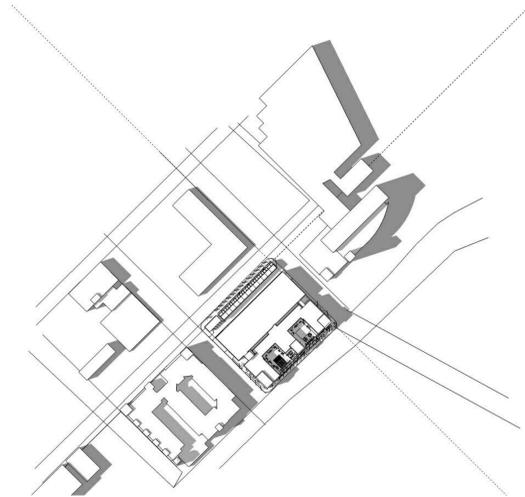
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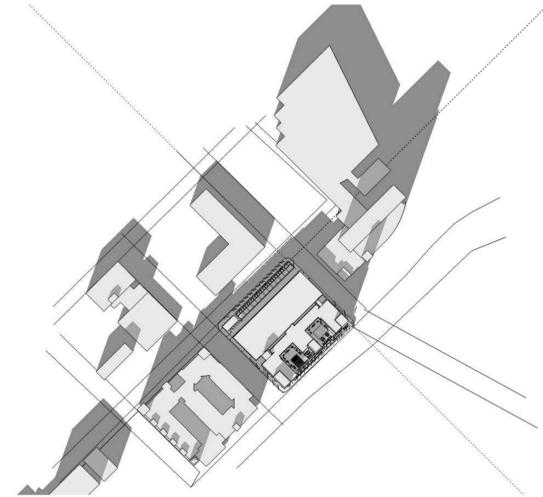
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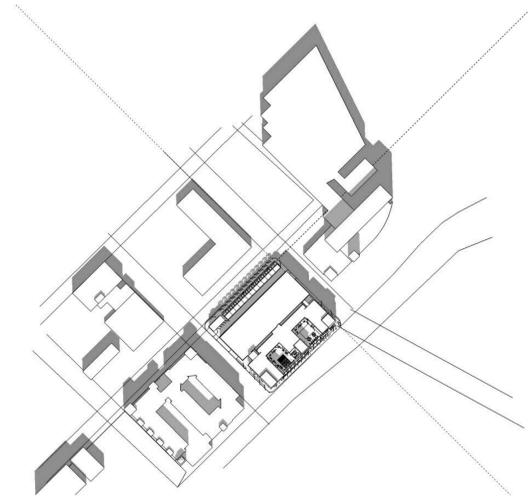
SHADOW STUDY - MARCH AT SUNSET



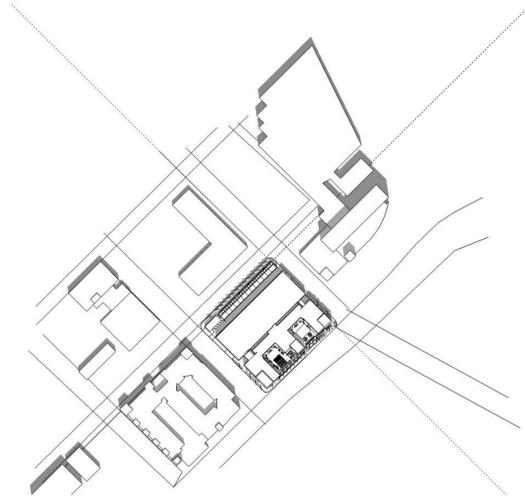
SHADOW STUDY - JUNE AT SUNSET



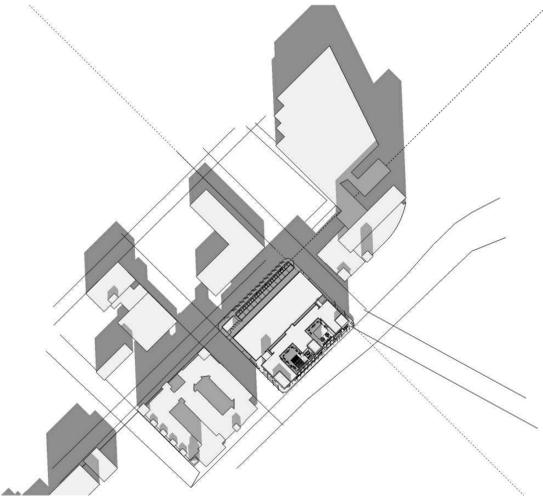
SHADOW STUDY - DECEMBER AT SUNSET



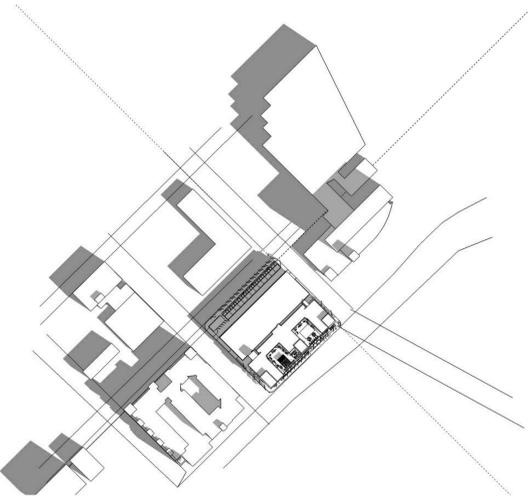
SHADOW STUDY - MARCH AT NOON



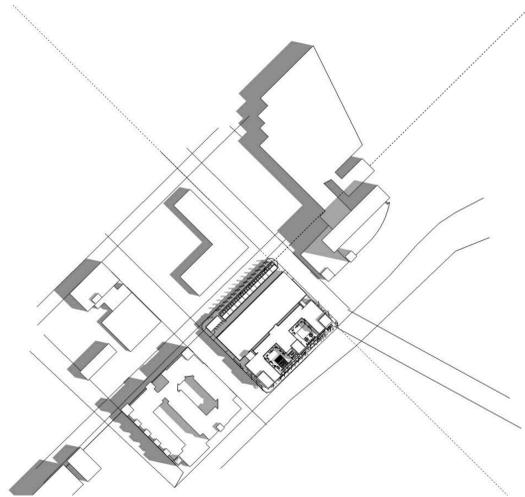
SHADOW STUDY - JUNE AT NOON



SHADOW STUDY - DECEMBER AT NOON



SHADOW STUDY - MARCH AT SUNRISE



SHADOW STUDY - JUNE AT SUNRISE



SHADOW STUDY - DECEMBER AT SUNRISE

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SHADOW STUDIES

T5.1