



LAND USE APPLICATION SUMMARY

Property Location: 333 E Hennepin Ave
Project Name: US Bank
Prepared By: Kimberly Holien, Senior Planner, (612) 673-2402
Applicant: Cuningham Group
Project Contact: Jeff Schoeneck
Request: To construct a 3,290 square foot bank with a drive through.
Required Applications:

Site Plan Review	For the construction of a 3,290 square foot bank with a drive through
Minor Subdivision	To split the lot at 333 E Hennepin Avenue into two parcels

SITE DATA

Existing Zoning	C2, Neighborhood Corridor Commercial District
Lot Area	14,567 square feet / 0.33 acres
Ward(s)	3
Neighborhood(s)	Nicollet Island East Bank Neighborhood Association
Designated Future Land Use	Mixed Use
Land Use Features	Activity Center Commercial Corridor (Hennepin Avenue) Community Corridor (4 th Street NE)
Small Area Plan(s)	<u>Nicollet Island East Bank Neighborhood Small Area Plan (2014)</u>

Date Application Deemed Complete	August 25, 2015	Date Extension Letter Sent	N/A
End of 60-Day Decision Period	October 24, 2015	End of 120-Day Decision Period	N/A

BACKGROUND

SITE DESCRIPTION AND PRESENT USE. The site occupies the east half of the block bound by 4th Street NE, E Hennepin Avenue, University Avenue NE and 1st Avenue NE. The site currently contains a US Bank building with a drive-through that fronts along Hennepin Avenue and a large surface parking lot that comprises the remainder of the site.

SURROUNDING PROPERTIES AND NEIGHBORHOOD. The surrounding area contains a variety of commercial uses. The west half of the subject block contains Surdyk's and West Photo. A project was approved for the property north of the site, known as Superior Plating, in July 2015 that includes 278 dwelling units and 22,169 square feet of commercial space. Said project is the first phase of a two-phase project. The scale of buildings in the activity center varies from single-story commercial buildings to a building over 20 stories in height. The majority of the properties in the immediate area are zoned C2 and C3A.

PROJECT DESCRIPTION. The applicant is proposing to construct a single-story US Bank building with a drive-through facility at the corner of 1st Avenue NE and 4th Street NE. A small surface parking lot is proposed on the west side of the building. Access into the site is proposed from 1st Avenue NE and the drive-through exits onto 4th Street NE. Additional parking for the use will be provided in the parking ramp of a future development on the south half of the site. Cross-access is proposed between the two sites to accommodate the proposed parking situation.

The subject site comprises half of a city block. The applicant is proposing to subdivide the lot into two parcels; the north third of the block will be developed by US Bank and the south two-thirds of the site will be the subject of a future mixed-use development. Under current conditions, the site has split zoning as it relates to the presence of the Pedestrian Oriented Overlay district. The north portion of the site that will be occupied by US Bank is not located in the PO, Pedestrian Oriented Overlay district. The south portion of the site will retain the Pedestrian Oriented Overlay. The current US Bank building fronting along E Hennepin Avenue will remain until the proposed building is constructed and operating.

While non-residential buildings less than 20,000 square feet in area can typically reviewed administratively, a public hearing is required for a any site plan review application that includes a drive-through. An application for a minor subdivision to split the parcel into two lots has also been submitted.

PUBLIC COMMENTS. No correspondence had been received as of the writing of this report. Any correspondence received prior to the public meeting will be forwarded on to the Planning Commission for consideration.

ANALYSIS

SITE PLAN REVIEW

The Department of Community Planning and Economic Development has analyzed the application based on the required findings and applicable standards in the site plan review chapter:

I. Conformance to all applicable standards of Chapter 530, Site Plan Review.

Building Placement and Design – *Requires alternative compliance*

- The building is proposed at the corner of 1st Avenue NE and 4th Street NE to reinforce the streetwall.

- The proposed building is located within eight feet of each property line at the corner. The building is located right up to the property line along 1st Street NE and four feet from the property line along 4th Street NE.
- The four foot space between the building and the public sidewalk along 4th Street NE contains landscaping, specifically daylilies and hostas.
- The main building entrance is located in the northeast corner, with the entrance facing 4th Street NE. A second entrance is located on the west side of the building, facing the parking lot.
- The surface parking lot is proposed on the west side of the building, interior to the site. Additional parking will be provided in the ramp of the future mixed-use development to the south.
- The building has a significant amount of clear glazing facing both public streets to create visual interest and provide opportunities to observe adjacent spaces.
- There are no instances of blank wall in excess of 25 feet.
- All proposed exterior materials are durable and include brick, glass, metal panel and stucco. The majority of the first floor is brick with metal panel accents at the windows. The top of the building includes alternating horizontal bands in stucco and metal panel.
- All four sides of the building are compatible with one another in terms of materials and appearance.
- Plain face concrete block is not proposed.
- The minimum window requirement for non-residential uses is 30 percent on the ground floor where facing a street or on-site parking lot. In this case, the minimum window requirements apply to the north, east and west elevations. Per Table 2 below, the minimum window requirement is met on the east and north elevations. Alternative compliance is requested for the window requirement on the west elevation, facing the parking lot. All windows are more or less evenly distributed and vertical in proportion. Required ground floor windows shall maintain a visible light transmittance ratio of 0.6 or higher.
- Parking, loading, storage and mechanical rooms cannot exceed 30% of linear frontage where facing a public street. The north elevation, facing 1st Avenue NE, is 100 percent active. Active functions are provided for 70.3 percent of the ground floor facing 4th Street NE.
- The roofline is flat, similar to other buildings in the area.
- Surface parking is proposed on the west side of the site.

Table 1. Percentage of Windows Required for Elevations Facing a Public Street, Sidewalk, Pathway, or On-Site Parking

	Code Requirement		Proposed	
Nonresidential Uses				
1st Floor (east)	30% minimum	128.8 sq. ft.	31.3%	135.3 sq. ft.
1st Floor (west)	30% minimum	128.8 sq. ft.	12.7%	55 sq. ft.
1st Floor (north)	30% minimum	148.8 sq. ft.	53.4%	265 sq. ft.

Access and Circulation – Meets requirements

- The parking lot on the west side of the site is connected to the west-facing entrance via a sidewalk that is four feet in width. The parking lot also connects to the public sidewalk with a 4-foot walkway. The main entrance at the corner of 1st Avenue NE and 4th Street NE opens directly to the public sidewalk.
- There are no transit shelters adjacent to the site currently and none are proposed as part of the project.
- Vehicle access into the site is proposed from 1st Avenue NE. The drive-through lanes are proposed to exit to 4th Street NE. As proposed, there are two drive-through lanes and a passing

lane that exit onto 4th Street NE. The site plan has recently been updated by the applicant to show the curb cut in this location at 16 feet in width. However, other plan sheets in the packet show this curb cut as it was originally designed, at 30 feet in width. The zoning code limits curb cuts to 25 feet in width, except where a wider curb cut is determined necessary by the city engineer. In those cases, a curb cut shall still not exceed 35 feet. This curb cut was reviewed during the PDR process and the Traffic and Parking Division of Public Works recommended that the exit point onto 4th Street NE be limited to one vehicle at a time with a maximum apron width of 16 feet. The PDR report is attached. The revised curb cut shown by the applicant is consistent with staff recommendation. However, due to conflicting information on the plan sheets, a condition of approval will be added that limits this curb cut to 16 feet in width.

- With the curb cut onto 4th Street NE at 16 feet in width, vehicular access and circulation will be designed to minimize conflicts with pedestrians and adjacent residential uses. The approved project to the north, on the Superior Plating site, includes 278 dwelling units in the current phase. The proposed mixed use building on the south half of this block will include approximately 260 dwelling units. The number of proposed residential units will contribute to a significant amount of pedestrian traffic in the area. Pedestrian traffic is expected to be particularly heavy along 4th Street NE as a new pedestrian crossing is proposed at the intersection of 4th Street NE and 1st Avenue NE as part of the Superior Plating project. As such, a narrowed curb cut along 4th Street NE is essential in improving the overall pedestrian experience.
- The site does not include alley access and there are no adjacent residential uses at this time. As noted above, there is a concept plan for a mixed-use building on the south portion of the block. The two uses will share some parking in an above-ground ramp and access is designed to accommodate this situation.
- The site plan is generally designed to minimize the use of impervious surfaces. The total amount of landscaping proposed slightly exceeds the minimum requirement of 20 percent.

Landscaping and Screening – Meets requirements

- The applicant is proposing landscaping that complies with requirements, per Table 3 below. Landscaping is concentrated around the perimeter of the parking lot, between the parking lot and the street and against the building. The composition and location of the proposed landscaped areas complement scale of development and surroundings.
- The portion of the parking lot that fronts along 1st Avenue NE is required to include screening that is a minimum of three feet in height and 60 percent opaque. The required landscaping and screening is provided.
- All corners of the parking lot are landscaped with shrubs, perennials and trees.
- All surface parking stalls are within 50 feet of the center of an on-site deciduous tree. All tree islands are a minimum of 7 feet in width in each direction.
- All areas not covered by building, drive-through facilities and parking are landscaped.
- The installation and maintenance of all landscape materials shall comply with Section 530.210 of the zoning code.

Table 2. Landscaping and Screening Requirements

	Code Requirement	Proposed
Lot Area	--	14,567 sq. ft.
Building footprint	--	3,290 sq. ft.
Remaining Lot Area	--	11,277 sq. ft.
Landscaping Required	2,255 sq. ft.	2,287 sq. ft.
Canopy Trees (1: 500 sq. ft.)	5 trees	7 trees

Shrubs (1: 100 sq. ft.)	23 shrubs	108 shrubs
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Additional Standards – Meets requirements

- The site plan includes two rain gardens for on-site retention and filtration of stormwater. One is proposed in the northwest corner of the site and a second is proposed along the south lot line.
- The proposed single-story building will not impact any important views.
- The proposed single-story building will not generate significant shadows that would impact any public spaces or adjacent properties.
- The construction of this single-story building is not expected to generate wind currents at ground level.
- The site plan and building design include crime prevention through environmental design (CPTED). The building has significant glass coverage along both public streets to provide opportunities for natural surveillance of adjacent spaces. Sidewalks clearly direct pedestrian movements through and around the site. Staff is recommending that additional windows be added facing the parking lot to further implement basic CPTED principals.
- The existing building at the corner of 4th Street NE and E Hennepin Avenue will be demolished after the proposed building is constructed to eliminate any downtime for the bank. The existing building is not an individual historic landmark nor is it in an historic district.

2. Conformance with all applicable regulations of the zoning ordinance.

The proposed use is a *permitted use* in the C2 District.

Off-street Parking and Loading – Meets requirements

- Banks with drive-through facilities are also subject to a minimum stacking requirement. The requirement is four spaces measured from the teller window. There is 90 feet of space for stacking behind the teller window, adequate for four cars.
- The use has a low loading requirement but the building is below the minimum size and therefore no loading space is required.
- Short-term bike parking is shown on the east side of the building, adjacent to the public sidewalk along 4th Street NE.

Table 3. Vehicle Parking Requirements Per Use (Chapter 541)

	Minimum Vehicle Parking	Applicable Reductions	Total Minimum Requirement	Maximum Parking Allowed	Proposed
Bank or Financial Institution	4	--	4	16	12
Total	--	--	4	16	12

Table 4. Bicycle Parking and Loading Requirements (Chapter 541)

	Minimum Bicycle Parking	Minimum Short-Term	Minimum Long-Term	Proposed	Loading Requirement	Proposed
Bank or financial	3	Not less	--	4	Low	--

institution		than 50%				
Total	3	--	1	4	1	128

Building Bulk and Height – Meets requirements

- Retail sales and service uses with drive-through facilities are subject to a minimum lot area requirement of 12,000 square feet.

Table 5. Building Bulk and Height Requirements

	Code Requirement	Proposed
Lot Area	12,000 sq. ft.	14,567 sq. ft.
Gross Floor Area (GFA)	--	3,290 sq. ft.
Minimum Floor Area Ratio (GFA/Lot Area)	--	0.22
Maximum Floor Area Ratio (GFA/Lot Area)	1.7	0.22
Maximum Building Height	4 stories or 56 feet, whichever is less	1 story, 20 ft. (22 feet at parapet)

Lot Requirements – Not applicable

Yard Requirements – Not applicable

- There are no minimum setback requirements for a commercial use in the C2 district and there are no adjacent residential uses.

Signs – Meets requirements

- Signs are subject to Chapter 543 of the Zoning Code. All new signs are required to meet the requirements in Chapter 543. Wall signage is allowed equivalent to 1.5 square foot of signage for each one linear foot of primary building wall where no freestanding signs are proposed. The maximum height of a wall sign is 28 feet. Wall signs are shown the east and north elevations, each at the top of the building. On the east elevation, a wall sign up to 81 square feet is permitted and on the north elevation a wall sign up to 93 square feet is permitted. Each proposed sign is 43.6 square feet and approximately 18.5 feet in height, within the parameters allowed.

Screening of Mechanical Equipment – Meets requirements

- All mechanical equipment is subject to the screening requirements of Chapter 535 and district requirements:

535.70. Screening of mechanical equipment.

(a) In general. All mechanical equipment installed on or adjacent to structures shall be arranged so as to minimize visual impact using one (1) of the following methods. All screening shall be kept in good repair and in a proper state of maintenance.

- (1) Screened by another structure. Mechanical equipment installed on or adjacent to a structure may be screened by a fence, wall or similar structure. Such screening structure shall comply with the following standards:
 - a. The required screening shall be permanently attached to the structure or the ground and shall conform to all applicable building code requirements.

- b. The required screening shall be constructed with materials that are architecturally compatible with the structure.
 - c. Off-premise advertising signs and billboards shall not be considered required screening.
 - (2) Screened by vegetation. Mechanical equipment installed adjacent to the structure served may be screened by hedges, bushes or similar vegetation.
 - (3) Screened by the structure it serves. Mechanical equipment on or adjacent to a structure may be screened by a parapet or wall of sufficient height, built as an integral part of the structure.
 - (4) Designed as an integral part of the structure. If screening is impractical, mechanical equipment may be designed so that it is balanced and integrated with respect to the design of the building.
- The applicant is proposing a transformer along the west property line that is screened with plantings. All rooftop mechanical equipment shall be screened in accordance with the regulations above.

Refuse Screening – Meets requirements

- All refuse and recycling storage containers are subject to the screening requirements in Chapter 535:

535.80. Screening of refuse and recycling storage containers.

Refuse, recycling storage, and compost containers shall be enclosed on all four (4) sides by screening compatible with the principal structure not less than two (2) feet higher than the refuse container or shall be otherwise effectively screened from the street, adjacent residential uses located in a residence or office residence district and adjacent permitted or conditional residential uses.

- The applicant is proposing to accommodate trash in the parking ramp of the proposed building to the south once it is constructed. In the interim, any refuse containers on site shall be screened in accordance with the regulations outlined above.

Lighting – Meets requirements

- Existing and proposed lighting must comply with Chapter 535 and Chapter 541 of the zoning code, including the following:

535.590. Lighting.

(a) In general. No use or structure shall be operated or occupied as to create light or glare in such an amount or to such a degree or intensity as to constitute a hazardous condition, or as to unreasonably interfere with the use and enjoyment of property by any person of normal sensitivities, or otherwise as to create a public nuisance.

(b) Specific standards. All uses shall comply with the following standards except as otherwise provided in this section:

- (1) Lighting fixtures shall be effectively arranged so as not to directly or indirectly cause illumination or glare in excess of one-half (1/2) footcandle measured at the closest property line of any permitted or conditional residential use, and five (5) footcandles measured at the street curb line or nonresidential property line nearest the light source.
- (2) Lighting fixtures shall not exceed two thousand (2,000) lumens (equivalent to a one hundred fifty (150) watt incandescent bulb) unless of a cutoff type that shields the light source from an observer at the closest property line of any permitted or conditional residential use.
- (3) Lighting shall not create a sensation of brightness that is substantially greater than ambient lighting conditions as to cause annoyance, discomfort or decreased visual performance or

visibility to a person of normal sensitivities when viewed from any permitted or conditional residential use.

(4) Lighting shall not create a hazard for vehicular or pedestrian traffic.

(5) Lighting of building facades or roofs shall be located, aimed and shielded so that light is directed only onto the facade or roof.

- The applicant submitted a photometric plan which shows a maximum reading of 2.8 footcandles at the property line. The photometric plan is in compliance with the zoning code.

Fences – Meets requirements

- Fences must comply with the requirements in Chapter 535. The applicant is proposing 3-foot ornamental fencing along the north and east property lines.

Specific Development Standards – Not applicable

3. Conformance with the applicable policies of The Minneapolis Plan for Sustainable Growth.

The Minneapolis Plan for Sustainable Growth identifies the site as mixed use on the future land use map. The property is located within an Activity Center and, post-subdivision, will front on a Community Corridor (4th Street NE). The proposed development is consistent with the following principles and policies outlined in the comprehensive plan:

Land Use Policy I.4: Develop and maintain strong and successful commercial and mixed use areas with a wide range of character and functions to serve the needs of current and future users.

- I.4.1 Support a variety of commercial districts and corridors of varying size, intensity of development, mix of uses, and market served.
- I.4.2 Promote standards that help make commercial districts and corridors desirable, viable, and distinctly urban, including: diversity of activity, safety for pedestrians, access to desirable goods and amenities, attractive streetscape elements, density and variety of uses to encourage walking, and architectural elements to add interest at the pedestrian level.

Land Use Policy I.9: Through attention to the mix and intensity of land uses and transit service, the City will support development along Community Corridors that enhances residential livability and pedestrian access.

- I.9.1 Support the continued presence of existing small-scale retail sales and commercial services along Community Corridors.
- I.9.2 Support new small-scale retail sales and services, commercial services, and mixed uses where Community Corridors intersect with Neighborhood Commercial Nodes.
- I.9.3 Discourage uses that diminish the transit and pedestrian oriented character of Community Corridors, such as automobile services and drive-through facilities.

Land Use Policy I.12: Support Activity Centers by preserving the mix and intensity of land uses and by enhancing the design features that give each center its unique urban character.

- I.12.1 Encourage a variety of commercial and residential uses that generate activity all day long and into the evening.
- I.12.2 Encourage mixed use buildings, with commercial uses located on the ground floor and secure entrances for residential uses.

- I.12.3 Encourage active uses on the ground floor of buildings in Activity Centers.
- I.12.4 Discourage uses that diminish the transit and pedestrian character of Activity Centers, such as automobile services, surface parking lots, and drive-through facilities.
- I.12.5 Encourage a height of at least two stories for new buildings in Activity Centers, in keeping with neighborhood character.

Urban Design Policy 10.9: Support urban design standards that emphasize traditional urban form with pedestrian scale design features at the street level in mixed-use and transit-oriented development.

- 10.9.1 Encourage both mixed-use buildings and a mix of uses in separate buildings where appropriate.
- 10.9.2 Promote building and site design that delineates between public and private spaces.
- 10.9.3 Provide safe, accessible, convenient, and lighted access and way finding to transit stops and transit stations along the Primary Transit Network bus and rail corridors.
- 10.9.4 Coordinate site designs and public right-of-way improvements to provide adequate sidewalk space for pedestrian movement, street trees, landscaping, street furniture, sidewalk cafes and other elements of active pedestrian areas.

Urban Design Policy 10.10: Support urban design standards that emphasize a traditional urban form in commercial areas.

- 10.10.1 Enhance the city's commercial districts by encouraging appropriate building forms and designs, historic preservation objectives, site plans that enhance the pedestrian environment, and by maintaining high quality four season public spaces and infrastructure.
- 10.10.2 Identify commercial areas in the city that reflect, or used to reflect, traditional urban form and develop appropriate standards and preservation or restoration objectives for these areas.
- 10.10.3 Enhance pedestrian and transit-oriented commercial districts with street furniture, street plantings, plazas, water features, public art and improved transit and pedestrian and bicycle amenities.
- 10.10.4 Orient new buildings to the street to foster safe and successful commercial nodes and corridors.
- 10.10.6 Require storefront window transparency to assure both natural surveillance and an inviting pedestrian experience.

The applicant is proposing a single-story building with a drive-through in an Activity Center and on a commercial corridor. While the intensity of development proposed does not align with policies for Activity Centers, the proposed use is permitted. The applicant is incorporating traditional urban design principals into the project by placing the building at the corner with a street-facing entrance and significant window coverage.

4. Conformance with applicable development plans or objectives adopted by the City Council.

The site is within the study area of the *Nicollet Island-East Bank Neighborhood Small Area Plan*. The following plan policies are relevant to the subject proposal:

- Zone all property on the East Bank portion of the neighborhood C3A to make zoning consistent with the Activity Center designation.
- Increase the footprint of the Pedestrian Oriented Overlay District to include the entire East Bank portion of the neighborhood. Grandfather existing nonconforming uses.
- Amend the standards for the Pedestrian Oriented Overlay District specific to the Nicollet Island-East Bank neighborhood to include land use controls similar to a Transit Oriented Overlay.
- In all new developments, encourage first floor commercial spaces for retail, restaurant or other uses that generate pedestrian traffic and put more “eyes on the street.”

The subject block is identified as a development opportunity site in the small area plan. The plan states that future redevelopment is likely due to the underutilization of this block. Future redevelopment should provide mixed use buildings, with commercial uses on at least the first floor of each building. The applicant is proposing a single-story building with a significant amount of glass facing the public streets to put more eyes on the street as called for in the plan. While the proposed building may be less intense than what the plan calls for in this location, the use is permitted under the current zoning. If the Pedestrian Oriented Overlay district is expanded to cover the site in the future, the use would become legally non-conforming due to the drive-through.

5. Alternative compliance.

The Planning Commission or zoning administrator may approve alternatives to any site plan review requirement upon finding that the project meets one of three criteria required for alternative compliance. Alternative compliance is requested for the following requirements:

- **Windows.** Alternative compliance is requested for the window requirement on the west elevation, facing the parking lot. The minimum glazing requirement on this elevation is 30 percent and the applicant is providing windows for approximately 12.7 percent of this elevation. Staff does not recommend granting alternative compliance for this requirement. This side of the building has an employee break room, supply room, entrance vestibule, conference room and bathrooms. While it is acknowledged that windows in the bathrooms would not be desirable, windows can be added to the other rooms on this elevation. Staff recommends that the additional glazing be added, allowing for the bottoms of the windows to start more than four feet above grade due to the placement of the bathrooms. A condition of approval has been recommended accordingly.

Minor Subdivision

The Department of Community Planning and Economic Development has analyzed the application for a minor subdivision based on the following findings:

- 1. The subdivision is in conformance with these land subdivision regulations, the applicable regulations of the zoning ordinance and policies of the comprehensive plan.*

Subdivision Regulations:

The applicant is proposing to split the existing lot into parcels. Parcel A will have frontage on 1st Avenue NE and 4th Street NE and will be 14,567 square feet in area. Parcel B will have frontage on 4th Avenue NE and E Hennepin Avenue and is proposed at 32,004 square feet in area. The subdivision is in conformance with the design requirements of the land subdivision regulations.

Zoning Ordinance:

The proposed minor subdivision would conform to the applicable regulations of the zoning ordinance.

Comprehensive Plan:

The proposed minor subdivision is consistent with the applicable policies of the comprehensive plan. For a complete analysis of applicable policies, please see the Site Plan Review section of this report.

- 2. The subdivision will not be injurious to the use and enjoyment of other property in the immediate vicinity, nor be detrimental to present and potential surrounding land uses, nor add substantially to congestion in the public streets.*

The proposed subdivision will not be injurious to the use and enjoyment of other property in the immediate vicinity, nor be detrimental to surrounding land uses. The proposed subdivision will allow for development on the north side of this parcel, which is currently a surface parking lot. Subdividing the lot into two parcels will not add to traffic congestion in the public streets and adequate parking is being provided for the bank use. Concept plans have been submitted for Parcel B which show a 28-story mixed use building with 260 dwelling units. The future development will be evaluated on its own merit in terms of impact on adjacent uses and potential traffic congestion.

- 3. All land intended for building sites can be used safely without endangering the residents or users of the subdivision or the surrounding area because of flooding, erosion, high water table, soil conditions, improper drainage, steep slopes, rock formations, utility easements or other hazard.*

None of the above hazards exist on the site.

- 4. The lot arrangement is such that there will be no foreseeable difficulties, for reasons of topography or other conditions, in securing building permits and in providing driveway access to buildings on such lots from an approved street. Each lot created through subdivision is suitable in its natural state for the proposed use with minimal alteration.*

Both parcels are relatively flat and each one has frontage on two public streets. The proposed bank building on Parcel A has been evaluated above and has gone through the Preliminary Development Review process. As proposed, there are no foreseeable difficulties in securing permits or providing access. Both lots are suitable for development in their natural state. The existing US Bank building will remain on the Parcel B until construction on the new bank building is completed.

- 5. The subdivision makes adequate provision for stormwater runoff, and temporary and permanent erosion control in accordance with the rules, regulations and standards of the city engineer and the requirements of these land subdivision regulations. To the extent practicable, the amount of stormwater runoff from the site after development will not exceed the amount occurring prior to development.*

The proposed subdivision to split the existing lot into two parcels is not expected to result in increased stormwater runoff or soil erosion. Existing utility and drainage provisions are adequate for the area. Standard erosion control measures would be required during construction of a future home on the vacant parcel.

RECOMMENDATIONS

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt staff findings for the applications by Cuningham Group for the properties located at 333 E Hennepin Avenue:

A. Site Plan Review for a new 3,290 square foot building with a drive-through.

Recommended motion: **Approve** the application for site plan review, subject to the following conditions:

1. CPED Staff review and approval of the final site plan, lighting plan, landscaping plan, and elevations before permits may be issued.
2. All site improvements shall be completed by September 21, 2017, unless extended by the Zoning Administrator, or permits may be revoked for noncompliance.
3. All required ground floor windows shall have a visible light transmittance ratio of 0.6 or higher.
4. The amount of glazing on the west elevation shall be increased to a minimum of 30 percent of the total elevation, in compliance with Section 530.120 of the zoning code. The bottom of said windows may be more than four feet above grade.
5. The curb cut on 4th Street NE shall not exceed 16 feet in width.
6. No shelving, signage, merchandise, newspaper racks or other similar fixtures shall be placed in front of the required ground level transparent windows.

B. Minor Subdivision.

Recommended motion: **Approve** the application for a minor subdivision.

ATTACHMENTS

1. Written description and findings submitted by applicant
2. PDR report
3. Zoning map
4. Site survey
5. Minor Subdivision
6. Site Plan
7. Plans
8. Building elevations
9. Sign plan
10. Photometric plan
11. Photos
12. Correspondence



CUNINGHAM
G R O U P

AIA Minnesota
Firm Award Recipient

U.S. Bank – St. Anthony Falls Branch Replacement

Purpose and Vision

U. S. Bank has long served the community at its 333 Hennepin Avenue location and the Bank is committed to continue that service through a new facility that will replace the outdated structure that currently exists. This proposed new facility will be located at the corner of 4th Street and 1st Avenue and is anticipated to occupy approximately one third of the current property. The remaining two thirds of the property is intended to be sold to a developer whom they have been collaborating with over the past few months.

Design Drivers

Current planning reflects careful consideration of feedback received by Nicollet Island East Bank Neighborhood Association (NIEBNA) Board, Task Force and representation obtained through a series of meetings held over past months. Three taskforce meetings, two informal discussions with neighborhood representation and a neighborhood board meeting have occurred at the time of this application. Several modifications resulting from NIEBNA discussions include adherence to pedestrian overlay setbacks, provision of parking buffers, reduction of overall asphalt quantities (parking and drive lanes), additional glazing amounts, pedestrian benches and other furnishings along streetscapes, reduction of parking and drive lanes, etc. Another direct response to neighborhood input includes a one of a kind material and massing response that deviates from U.S. Bank’s proto-type designs that are employed in other locations.

Though not required by current zoning regulation, the bank is being designed to be as consistent as practical, as if in a Pedestrian Overlay district as response to the desire indicated in the NIEBNA Small Area Plan.

Aesthetic drivers draw strong ties to agrarian related product, commerce and expression direct the material palette which is currently anticipated to be infused with rich browns and oranges that command a contemporary weathered, presence designed to echo the adjacent proposed buildings. Datum, material, massing and color draw from queues from existing building context and are designed to cooperate with proposed adjacent development.

Drive-thru service remains a critical function for the future success of this branch location. A high volume of business is conducted via the drive-thru which contributes to the regional customer draw this location.

Service disruption is not allowed for the bank. Regulatory requirements dictate that the new branch service will come online at the same time as the existing branch is closed.

Design Response

The site occupies approximately 14,567 square feet and represents one third existing site. Ingress is anticipated from 1st Avenue and egress on the 4th Avenue side. Three drive lanes are proposed on the site for drive-up and ATM service. Eleven surface parking stalls are included on site and are buffered along the 4th Avenue face with a combination of decorative fencing and landscape.

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The proposed bank is currently 3,290 square feet. It is a single story building with a clerestory to allow more light into the interior and create a slightly taller volume for this corner site. Entries are found at north and south tips of the building; one facing 4th and 1st and the other facing the parking area inboard.

Building materials include brick, metal panel and stucco finishes composed in a modern expression and massing. Glazing of over 40% is provided along 4th and Hennepin.

It is anticipated that the Bank will achieve LEED Certification of level to be determined.

U.S. Bank St. Anthony Branch
333 Hennepin Avenue E



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Minor Subdivision – Required Findings

1. *The subdivision is in conformance with these land subdivision regulations, the applicable regulations of the zoning ordinance and policies of the comprehensive plan.*

The proposed minor subdivision is in conformance with the above regulations, ordinances and plan.

2. *The subdivision will not be injurious to the use and enjoyment of other property in the immediate vicinity, nor be detrimental to present and potential surrounding land uses, nor add substantially to congestion in the public streets.*

The proposed minor subdivision and proposed uses of the properties are not anticipated to have any detrimental effects described above. The proposed use for the Parcel A is comparable to the current use and complies with the current zoning (C2). Parcel B would allow for future mixed-use development and increased height and density consistent with the NIEBNA (Nicollet Island East Bank Neighborhood Association) Small Area Plan. See also **Item #4** below regarding vehicle access and curb cuts.

3. *All land intended for building sites can be used safely without endangering the residents or users of the subdivision or the surrounding area because of flooding, erosion, high water table, soil conditions, improper drainage, steep slopes, rock formation, utility easements or other hazard.*

The property is a relatively flat, previously developed site; the proposed minor subdivision and proposed use of the properties are not anticipated to create or increase any of the risks described above.

4. *The lot arrangement is such that there will be no foreseeable difficulties, for reasons of topography or other conditions, in securing building permits and in providing driveway access to buildings on such lots from an approved street. Each lot created through subdivision is suitable in its natural state for the proposed use with minimal alteration.*

The proposed lot size and configuration are not anticipated to create difficulty in obtaining building permits or in providing driveway access to existing or future buildings on each lot. The lots occur at the end of the block (i.e. corner lots) and would preserve/permit driveway access to buildings via 1st Avenue, 4th Street, and/or Hennepin Avenue. Vehicle access at the proposed Parcel A would be similar to the existing conditions, with two curb cuts. The location of the current curb cut nearest the intersection of 1st Avenue NE and 4th Street NE will be improved by relocating it further from the intersection, along 4th Street. At Parcel B, the existing vehicle access

**Cunningham Group
Architecture, Inc.**

St. Anthony Main
201 Main Street SE
Suite 325
Minneapolis, MN
55414

Tel: 612 379 3400
Fax: 612 379 4400

www.cunningham.com

points would preserve access to the existing building, with the proposed lot configuration also supporting future redevelopment of the site and driveway access.

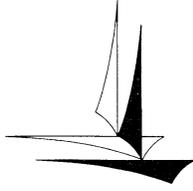
5. *The subdivision makes adequate provision for stormwater runoff, and temporary and permanent erosion control in accordance with the rules, regulations and standards of the city engineer and the requirements of these land subdivision regulations.*

The proposed minor subdivision makes adequate provisions for stormwater and erosion control. Additional information on the proposed north parcel's (Parcel A) stormwater management plan and temporary erosion control measures can also be found in the attached Civil drawings.



CUNNINGHAM
G R O U P

**AIA Minnesota
Firm Award Recipient**



Minneapolis Development Review
250 South 4th Street
Room 300
Minneapolis, MN 55415

Preliminary Development Review Report

Development Coordinator Assigned: **MATTHEW JAMES**
(612) 673-2547
matthew.james@minneapolismn.gov

Status *
RESUBMISSION REQUIRED

Tracking Number:	PDR 1001354
Applicant:	US BANK CORP HOLDINGS 2800 E. LAKE ST MINNEAPOLIS, MN 55406
Site Address:	333 HENNEPIN AVE E
Date Submitted:	17-AUG-2015
Date Reviewed:	28-AUG-2015

Purpose

The purpose of the Preliminary Development Review (PDR) is to provide Customers with comments about their proposed development. City personnel, who specialize in various disciplines, review site plans to identify issues and provide feedback to the Customers to assist them in developing their final site plans.

The City of Minneapolis encourages the use of green building techniques. For additional information please check out our green building web page at: http://www.ci.minneapolis.mn.us/mdr/GreenBuildingOptions_home.asp.

DISCLAIMER: *The information in this review is based solely on the preliminary site plan submitted. The comments contained in this report are preliminary ONLY and are subject to modification.*

Project Scope

US. Bank commercial bank development

Review Findings (by Discipline)

Zoning - Planning

- The project requires land use applications for a minor subdivision and site plan review.

❑ Addressing

- Per City of Minneapolis Street Naming and Address Standard V1.22, the City of Minneapolis holds authority for assignment of all addresses, verification, change, and/or additions. Each assigned address number uses the street that provides the best/direct access for life safety equipment and best/direct access to the occupants.
- The address for the proposed U.S.Bank building will be 30 4th St NE. This address meets the City of Minneapolis Street Naming and Address Standard requirements.
- When assigning suite sequences the following guidelines are as follows:
 - The first one to two digits of the suite sequence number will designate the floor number of the site.
 - The last two digits of the suite sequence number will designate the unique ID for the unit (condo, suite, unit, or apartment).
 - Suite sequence digit numbers will be assigned to dwelling, commercial and retail units, not common areas. For example, laundry rooms, saunas, workout rooms, etc., would not be assigned numbers.

❑ Parks - Forestry

- Contact Craig Pinkalla (612-499-9233 cpinkalla@minneapolisparks.org) regarding any questions related to planting, removal or the process for protection of trees during construction in the city right of way.
- Effective January 1, 2014, the City of Minneapolis and the Minneapolis Park and Recreation Board adopted an update to the existing Parkland Dedication Ordinance. The adopted City of Minneapolis Parkland Dedication ordinance is located in Section 598.340 of the City's Land Subdivision ordinance:
 - <http://library.municode.com/index.aspx?clientId=11490>
- As adopted, the fee in lieu of dedication for new residential units is \$1,521 per unit (affordable units excluded per ordinance) and for commercial and industrial development it is \$202.80 per development employee (as defined in ordinance). Any dedication fee (if required) must be paid at the time of building permit issuance.
- There is also an administration fee that is 5% of the calculated park dedication fee.
- As proposed, for your PROJECT, there will be no Park Dedication Fee collected.
- For further information, please contact Matthew D. James at (612) 673-2547.

❑ Right of Way

- An encroachment permit shall be required for all streetscape elements in the Public right-of-way such as: plants & shrubs, planters, tree grates and other landscaping elements, sidewalk furniture (including bike racks and bollards), and sidewalk elements other than standard concrete walkways such as pavers, stairs, raised landings, retaining walls, access ramps, and railings (NOTE: railings may not extend into the sidewalk pedestrian area). Please contact Bob Boblett at (612) 673-2428 for further information.
- Note to the Applicant: Any elements of an earth retention system and related operations (such as construction crane boom swings) that fall within the Public right-of-way will require an encroachment permit application. If there are to be any earth retention systems which will extend outside the property line of the development then a plan must be submitted showing details of the system. All such elements shall be removed from the Public right-of-way following construction with the exception of tie-backs which may remain but must be uncoupled and de-tensioned. Please contact Bob Boblett at (612) 673-2428 for further information.
- In addition, any elements of an earth retention system and related excavations that fall within the Public right-of-way will require a "Right-of-Way Excavation Permit". This permit is typically issued to the General Contractor just prior to the start of construction. However, it is the Applicant's responsibility to insure that all required permits have been acquired by its consultants, contractors, sub-contractor's prior to the start of work.

❑ Street Design

- The site plan indicates some sections of existing curb to be "saved"; it is recommended that all curb & gutter within the Project limits be removed and replaced as part of the Project.

□ Sidewalk

- The Project streetscape shall be designed in accordance with the Access Minneapolis design guidelines; see <http://www.ci.minneapolis.mn.us/publicworks/transplan/index.htm> for further information. Specifically, the pedestrian zone is of concern, a minimum 6'-0" clear zone (un-obstructed) sidewalk shall be maintained for the length of any block in a straight line. Locations for site furniture, trees, planters and other proposed design elements that fall within the Public right-of-way shall be modified to provide for the required pedestrian clear zone space. For further clarification, site plans shall be fully dimensioned in relation to the property lines, Public right-of-way, sidewalks, street furniture, landscaping, utilities, and other obstructions.
- The site plan indicates some sections of existing sidewalk to be "saved"; it is recommended that all curb & gutter within the Project limits be removed and replaced as part of the Project.
- The site plan indicates removal of all trees within the Public right-of-way along 4th St. N.E. but does not provide for tree replacement; the Applicant shall provide for the replacement of trees in accordance with the City of Minneapolis Urban Forest Policy. All proposed trees in the Public right-of-way are subject to the review and approval of the Minneapolis Park Board. Please contact Craig Pinkalla at (612) 499-9233 to discuss tree species selection, planting method, spacing and locations. Tree planting details shall be included in the plans. For all trees proposed in "hardscape environments" within the Public right-of-way, the Applicant shall provide engineered/structured soil in the form of a tree trench or tree pit for all proposed street trees. Sidewalk layouts and landscaping in the Public right-of-way shall follow established design standards; refer to the following: City of Minneapolis Urban Forest Policy:
- (http://www.minneapolismn.gov/www/groups/public/@cped/documents/webcontent/convert_282934.pdf)

□ Traffic and Parking

- The intersection of 4th St. N.E. and 1st Ave. N.E., is proposed for reconstruction as part of the re-development of the Superior Plating site located across 1st Ave. N.E. The future site plan submittals shall indicate those portions of the intersection that are to be "Done by Others" (refer to hand out). The Applicant shall insure that construction activities are coordinated with the City of Minneapolis and all contractors associated with intersection reconstruction. Site plans shall include construction notes that require contractors to coordinate with the City. Note however, that the City of Minneapolis makes no guarantees as to the timing, schedule, and completion of the intersection reconstruction.
- The proposed 35' curb cut on 4th St. N.E. exceeds the typically allowable opening width of 25'. Larger openings are only allowed by variance; please provide a narrative and show turning movements in order to justify the larger dimension opening. Note that pavement markings indicating a "double left hand turn" onto 4th St. N.E. will not be allowed and shall be removed from the plans. It is recommended that the exit point onto 4th St. N.E. be limited to one vehicle at a time with a maximum apron width of 16', and the driveway apron on 1st Ave N.E. should have a maximum width of 20'
- Current ordinance states that all maneuvers associated with loading, parking or sanitation pick up for a private development shall occur on private property. Please provide a narrative explaining the trash removal operations and show turning maneuvers for all vehicle type vehicles that will be using the loading dock/parking entrance areas. Per City Ordinance the Applicant shall provide for (and identify) a solid waste collection point (SWCP) on the site plans. The location of the SWCP is subject to the review and approval of the Public Works Department.
- Metro Transit - No bus stops are directly affected by this project, but the streets need to remain open as bus routes travel on them (E. Henn, 4th Ave NE, 1st Ave NE. in particular).
- Note to the Applicant: The construction of this development will likely require the use of Public right-of-way (roadway and sidewalks) for construction purposes. A request for an estimate of street use and obstruction permit fees can be made to the City's Traffic Department; please contact Scott Kramer at (612) 673-2383 for further information.
- Note to the Applicant: Please add the following notes to the site plan:
- Street lighting installed as part of the Project shall be inspected by the City. Contractors shall arrange for inspections with the Traffic Department, please contact Dave Prehall at (612) 673-5759 for further information. Any lighting installations not meeting City specifications will be required to be reinstalled at Owner expense.

- An obstruction permit is required anytime construction work is performed in the Public right-of-way. Please contact Scott Kramer at (612) 673-2383 regarding details of sidewalk and lane closures. Log on to <http://minneapolis.mn.roway.net/> for a permit.
- Contact Allan Klugman at (612) 673-2743 prior to construction for the temporary removal/temporary relocation of any City of Minneapolis street lighting and/or signal system that may be in the way of construction.
- All costs for relocation and/or repair of City Traffic facilities shall be borne by the Contractor and/or Property Owner.
- Contact Doug Maday at (612) 673-5755 prior to construction for the removal of any City of Minneapolis right of way signs or parking meters that may be in the way of construction.

□ Water

- PVC piping for water service connections is not allowed in Minneapolis; all water service connections must be ductile iron piping (DIP). The current site plan indicates a water service connection with bends which is generally not allowed. Water service lines can be no farther than 2' outside of the building line; domestic water and fire service connections should run in a line perpendicular from the watermain straight into the proposed building to the meter location. Please contact Rock Rogers at (612) 673-2286 to confirm domestic water and fire service materials, layout, connections, and sizes.

□ Sewer Design

- Stormwater Management: The side slopes of the filtration basin should be located within the property boundaries. Please adjust the grading of the northwest filtration basin so the top of the slope on the northwest side is located within the property line.
- Is the property proposed to be divided, with the bank on a separate parcel from the remainder of the site? If so private easements and agreements are will be required for the filtration basin that crosses what appears to be a possible lot line. Please clarify this and provide copies of any easements or agreements.
- The Stormwater Management Report states the filtration basin in the southeast area of the site will be used to provide an area for the adjacent proposed ramp to be washed out. The plans however state that no non-stormwater discharges are proposed. Please clarify these statements. In addition, Minneapolis ordinance requires all floor drains from covered portions of new parking ramps be discharged to the sanitary sewer, while floor drains on the uncovered top ramp level be discharged to the storm sewer.
- The outlet from the southeast filtration basin should connect with the outlet from the northwest filtration basin on-site, and one storm connection to the main in 1st Ave N should be made. Currently this portion of the site does not appear to discharge to the storm sewer in 4th St NE.
- The HydroCAD model indicates the filtration basins will be used as infiltration. Please adjust to model the proposed conditions. The overflow orifices are also modeled differently than what is shown on the detail on Sheet C5.3.
- Please provide water quality modeling demonstrating that each of the filtration basins are achieving at least 70% TSS removal and that even with the small untreated area the overall site achieves at least 70% TSS removal.
- An operations and maintenance plan is required for the stormwater treatment devices. The O&M plan shall define the maintenance regimen, including type and interval of maintenance and party to conduct such maintenance. Please provide a copy of the O&M Plan.
- Utility Connections: The proposed storm sewer service connections to the City mains should be core-drilled and saddle tee fittings installed, per City of Minneapolis Standard Supplemental Specifications. New manholes on the main are not permitted for the connection. Please revise the plans accordingly. The proposed connection should be made in the middle third of the main.
- The proposed inline backflow prevention valves on the storm sewer services must be located within the property boundaries. It is also recommended that the valves be located where access from the on-site structures is possible for maintenance and monitoring.

- Please note the existing sanitary sewer connection may be quite old. It is recommended that the condition of the service line be evaluated prior to re-use and replaced or lined if necessary. The service to the City main, including the connection, is the responsibility of the property owner.
- For comments or questions on Public Works Surface Water & Sewers Division related requirements please contact Jeremy Strehlo, (Professional Engineer) at (612) 673-3973, or jeremy.strehlo@minneapolismn.gov.

❑ Fire Safety

- Maintain fire apparatus at all times

❑ Business Licensing

- Continue to work with Matthew D. James (612) 673-2547 concerning a Food Plan Review, SAC determination and any Business License application submittal that may be required for this proposed project.

❑ Historical Preservation Committee

- There is no HPC flag on this property. HPC review is not required at this time. HPC review is required for any wrecking permits pertaining to the removal of existing structures.

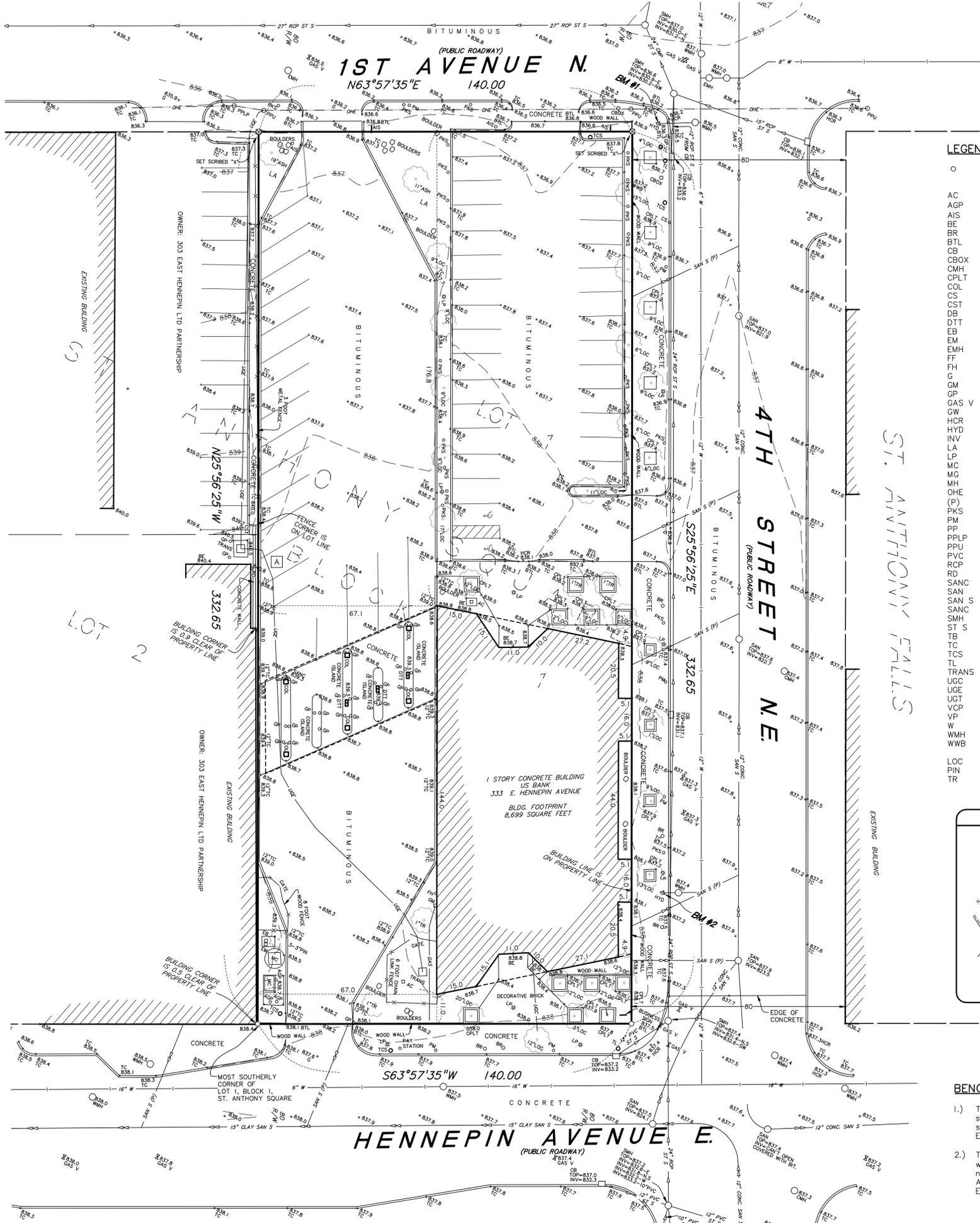
❑ Environmental Health

- If the project will be disturbing identified impacted soils on the site preapproval for removal, disposal and/or reuse of must occur from the MCPA and the City of Minneapolis prior to beginning excavation activities. If impacted soil is encountered during site activities call the MN State Duty officer at (651) 649-5451.
- If dewatering is required during site construction see below for city permit requirements. Subgrade structures should be designed to prevent infiltration of groundwater without the need for a permanent dewatering system being installed. If a continuously operating permanent dewatering system is needed it must be approved as part of the sanitary sewer and storm drain site plan approval prior to construction beginning.
- No construction, demolition or commercial power maintenance equipment shall be operated within the city between the hours of 6:00 p.m. and 7:00 a.m. on weekdays or during any hours on Saturdays, Sundays and state and federal holidays, except under permit. Contact Environmental Services at (612) 673-3867 for permit information.
- Permits and approval are required from Environmental Services for the following activities: Temporary storage of impacted soils on site prior to disposal or reuse; Reuse of impacted soils on site; Dewatering and discharge of accumulated storm water or ground water, underground or aboveground tank installation or removal, well construction or sealing. Contact Tom Frame at (612) 673-5807 for permit applications and approvals.

❑ Construction Code Services

- No particular building code issues are observed in these plans.
- The plans also appear to meet the intent of accessibility that would provide;
- Accessible parking spaces and access aisles to be 96" (8') width 502.4.2
- Access aisles are to be marked "no parking" per 502.4.4 ANSI A117.1 2003
- Maximum slope 1:48 for access aisle and parking space per 502.5
- Accessible routes shall consist of walking surfaces or slopes not steeper than 1:20. IBC 1104.1
- Accessible signage to comply with MN 1341.1110
- A Service Availability Charge (SAC) determination will need to be submitted to the Metropolitan Council for the proposed project. Please refer to this link for more information http://www.ci.minneapolis.mn.us/mdr/docs/sac_availability_charge.pdf or SACprogram@metc.state.mn.us.

END OF REPORT



DESCRIPTION OF PROPERTY SURVEYED
 (Per First American Title Insurance Company Commitment for Title Insurance, Commitment No. NCS-735204-MPLS, commitment date May 20, 2015.)

Lot 1, Block 1, St. Anthony Square, Hennepin County, Minnesota.

Registered Property
 Certificate of Title No. 505659

PLAT RECORDING INFORMATION

The plat of St. Anthony Square was filed of record on July, 10, 1974 as Document No. 1113485.

[] Bearings and/or dimensions listed within brackets are per plat or record documents.

TITLE COMMITMENT

First American Title Insurance Company Commitment for Title Insurance, Commitment No. NCS-735204-MPLS, commitment date May 20, 2015, was relied upon as to matters of record.

Schedule B Exceptions:

① Exceptions are indicated on survey with circled numbers where applicable.

9.) The following, which appears as a memorial on the Certificate of Title for the Land: Resolution by the City of Minneapolis approving the plat of St. Anthony Square, recorded July 10, 1974, as Doc. No. 1113484.

GENERAL NOTES

- Adjoining ownership information shown hereon was obtained from the Hennepin County Property Tax Information web site. Ownership information is subject to revision upon receipt of a title search by a title insurance company.
- Survey coordinate basis: Hennepin County Coordinates
- We have shown the current zoning classification of the property in the zoning notes section of the survey based on our own research; however, we have not included item 6(a) in the survey certification because zoning information has not been provided to us by the insurer as called for in the 2011 ALTA requirements.

UTILITY NOTES

- Utility information from plans and markings was combined with observed evidence of utilities to develop a view of the underground utilities shown hereon. However, lacking excavation, the exact location of underground features cannot be accurately, completely and reliably depicted. Where additional or more detailed information is required, excavation may be necessary.
- Other underground utilities of which we are unaware may exist. Verify all utilities critical to construction or design.
- Some underground utility locations are shown as marked onsite by those utility companies whose locators responded to our Gopher State One Call, ticket number 151473661.
- Contact GOPHER STATE ONE CALL at 651-454-0002 (800-252-1166) for precise onsite location of utilities prior to any excavation.

FLOOD ZONE NOTE

1.) The subject property appears to lie within Zone X (Areas determined to be outside the 0.2% annual chance floodplain) per the National Flood Insurance Program, Flood Insurance Rate Map Community Panel No. 2701720357E, dated September 2, 2004. This information was obtained from the FEMA Map Service Center web site.

ZONING NOTE

1.) Zoning information obtained from the City of Minneapolis web site on 5-28-2015.

The subject property is zoned: C2/ Neighborhood Corridor Commercial District

We have shown the current zoning classification of the property based on our own research; however, we have not included item 6(a) in the survey certification because zoning information has not been provided to us by the insurer as called for in the 2011 ALTA requirements.

2.) Parking: 43 Regular Spaces
 2 Handicap Spaces
 45 Total Spaces

AREA

Area = 46,571 square feet or 1.069 acres

LIST OF POSSIBLE ENCROACHMENTS

The following list of possible encroachments is only the opinion of this surveyor; should not be interpreted as a legal opinion and should not be interpreted as a complete listing.

Possible encroachments are indicated on survey with boxed letters as listed below.

A.) Underground electric crosses southwesterly property line

SURVEYOR'S CERTIFICATION

To: First National Bank Association and First American Title Insurance Company.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 7(a), 7(b)(1), 8, 9, 11(b) and 13 of Table A thereof. The field work was completed on June 4, 2015.

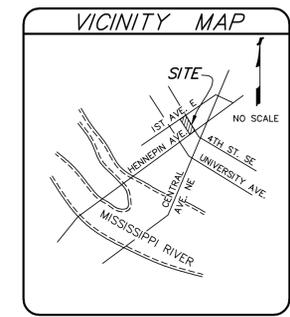
Dated this 10th day of June, 2015.

SUNDE LAND SURVEYING, LLC.

By: *Leonard F. Carlson*
 Leonard F. Carlson, P.L.S. Minn. Lic. No. 44890

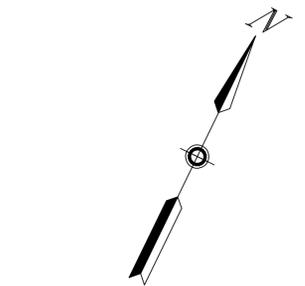
LEGEND

- Denotes iron monument set marked with P.L.S. No. 44890
- AC Denotes air conditioner
- AGP Denotes above ground pipe(s)
- AIS Denotes advertisement/information sign
- BE Denotes building entrance
- BR Denotes bike rack
- BTL Denotes beavertail curb
- CB Denotes catch basin
- CBOX Denotes control box
- CMH Denotes communication manhole
- CPLT Denotes concrete planter
- COL Denotes building column
- CS Denotes curb stop
- CST Denotes concrete step
- DB Denotes decorative brick
- DTT Denotes drive-thru teller
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- G Denotes gutter
- GM Denotes gas meter
- GP Denotes guard post
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- INV Denotes structure invert
- LA Denotes landscaped area
- LP Denotes light pole
- MC Denotes metal cover
- MG Denotes metal grate
- MH Denotes manhole
- OHE Denotes overhead electric line
- (P) Denotes per plan/not field verified
- PKS Denotes parking sign
- PM Denotes parking meter
- PP Denotes power pole
- PPLP Denotes power pole with underground utility
- PVC Denotes polyvinylchloride pipe
- RCP Denotes reinforced concrete pipe
- RD Denotes roof drain
- SANC Denotes sanitary clean out
- SAN Denotes sanitary manhole
- SAN S Denotes sanitary sewer
- SANC Denotes sanitary cleanout
- SMH Denotes storm manhole
- ST S Denotes storm sewer
- TB Denotes telephone box
- TC Denotes top of concrete curb
- TCS Denotes traffic control sign
- TL Denotes traffic light
- TRANS Denotes transformer
- UGC Denotes underground communication line
- UGE Denotes underground electric line
- UGT Denotes underground telephone line
- VCP Denotes vitrified clay pipe
- VP Denotes vent pipe
- W Denotes water line
- WMH Denotes water manhole
- WMB Denotes wood wall base
- LOC Denotes Locust tree
- PIN Denotes Pine tree
- TR Denotes deciduous tree



BENCH MARKS (BM)

- Top of top nut of fire hydrant in the southwest quadrant of 1st Ave. and 4th street NE
 Elevation = 839.57 feet
- Top of top nut of fire hydrant on the west side of 4th street, 60% feet northerly of the intersection of Hennepin Avenue and 4th Street NE.
 Elevation = 840.18 feet



Revision	By	Date
	JMO	
Drawing Title:		
ALTA/ACSM LAND TITLE SURVEY FOR: MORTENSON CONSTRUCTION		
333 HENNEPIN AVE. E. MPLS, MN		
		Main Office: 9001 East Bloomington Freeway (35W) • Suite 118 Bloomington, Minnesota 55420-3435 952-881-2455 (Fax: 952-888-9526)
Project: 2015-083 Township: 029 Range: 024 Section: 23 File: 2015083001.dwg		West Office: Mandan, North Dakota 58040-663-5562
Date: 06/08/2015		Sheet: 1 of 1



OVERALL DESCRIPTION OF PROPERTY SURVEYED

Lot 1, Block 1, St. Anthony Square, Hennepin County, Minnesota.

Registered Property
Certificate of Title No. 505659

DESCRIPTION OF PARCEL A

That part Lot 1, Block 1, ST. ANTHONY SQUARE, Hennepin County, Minnesota, lying northwesterly of a line described as commencing at the most northerly corner of said Lot 1; thence on an assumed bearing of South 25 degrees 56 minutes 25 seconds East, along the northeasterly line of said Lot 1, a distance of 140.05 feet to the point of beginning of the line to be described; thence South 63 degrees 57 minutes 35 seconds West, parallel with the northwesterly line of said Lot 1, a distance of 140.00 feet to the southwesterly line of said Lot 1 and said line there terminating.

Torrens property

DESCRIPTION OF PARCEL B

That part Lot 1, Block 1, ST. ANTHONY SQUARE, Hennepin County, Minnesota, lying southeasterly of a line described as commencing at the most northerly corner of said Lot 1; thence on an assumed bearing of South 25 degrees 56 minutes 25 seconds East, along the northeasterly line of said Lot 1, a distance of 140.05 feet to the point of beginning of the line to be described; thence South 63 degrees 57 minutes 35 seconds West, parallel with the northwesterly line of said Lot 1, a distance of 140.00 feet to the southwesterly line of said Lot 1 and said line there terminating.

Torrens property

AREAS

Parcel A = 14,567 square feet or 0.334 acres

Parcel B = 32,004 square feet or 0.735 acres

Total = 46,571 square feet or 1.069 acres

GENERAL NOTES

- 1.) Adjoining ownership information shown hereon was obtained from the Hennepin County Property Tax Information web site. Ownership information is subject to revision upon receipt of a title search by a title insurance company.
- 2.) Survey coordinate basis: Hennepin County Coordinates

UTILITY NOTES

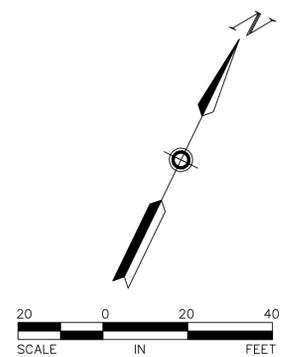
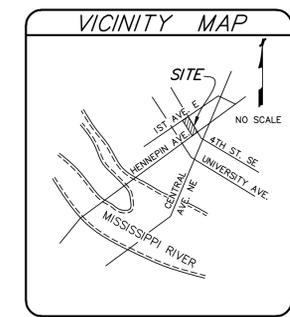
- 1.) Utility information from plans and markings was combined with observed evidence of utilities to develop a view of the underground utilities shown hereon. However, lacking excavation, the exact location of underground features cannot be accurately, completely and reliably depicted. Where additional or more detailed information is required, excavation may be necessary.
- 2.) Other underground utilities of which we are unaware may exist. Verify all utilities critical to construction or design.
- 3.) Some underground utility locations are shown as marked onsite by those utility companies whose locators responded to our Gopher State One Call, ticket number 151473661.
- 4.) Contact GOPHER STATE ONE CALL at 651-454-0002 (800-252-1166) for precise onsite location of utilities prior to any excavation.

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- PM Denotes parking meter
- PP Denotes power pole
- PPLP Denotes power and light pole
- PPU Denotes power pole with underground utility
- PVC Denotes polyvinylchloride pipe
- RCP Denotes reinforced concrete pipe
- RD Denotes roof drain
- SANC Denotes sanitary clean out
- SAN Denotes sanitary manhole
- SAN S Denotes sanitary sewer
- SANC Denotes sanitary cleanout
- SMH Denotes storm manhole
- ST S Denotes storm sewer
- TB Denotes telephone box
- TC Denotes top of concrete curb
- TCS Denotes traffic control sign
- TL Denotes traffic light
- TRANS Denotes transformer
- UGC Denotes underground communication line
- UGE Denotes underground electric line
- UGT Denotes underground telephone line
- VCP Denotes vitrified clay pipe
- VP Denotes vent pipe
- W Denotes water line
- WMH Denotes water manhole
- WVB Denotes wood wall base
- LOC Denotes Locust tree
- PIN Denotes Pine tree
- TR Denotes deciduous tree

BENCH MARKS (BM)

- 1.) Top of top nut of fire hydrant in the southwest quadrant of 1st Ave. and 4th street NE
Elevation = 839.57 feet
- 2.) Top of top nut of fire hydrant on the west side of 4th street, 60'-feet northerly of the intersection of Hennepin Avenue and 4th Street NE.
Elevation = 840.18 feet



Revision	By	Date
	JMD	

Drawing Title: **MINOR SUBDIVISION FOR: MORTENSON CONSTRUCTION 333 HENNEPIN AVE. E. MPLS, MN**

SUNDE LAND SURVEYING, LLC
www.sunde.com

9001 East Bloomington Freeway (35W) • Suite 118
Bloomington, Minnesota 55402-3435
952-881-2455 (Fax: 952-888-9526)

Main Office: West Office:
Mandan, North Dakota 701-663-5562

Project: 2015-083 Bk/Pg: 818/49 Date: 08/13/2015
Township: 029 Range: 024 Section: 23 Sheet: 1 of 1
File: 2015083002.dwg

I hereby certify that this sketch, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Dated this 13th day of August, 2015

SUNDE LAND SURVEYING, LLC.
By: *Leonard F. Carlson*
Leonard F. Carlson, P.L.S. Minn. Lic. No. 44890

PROJECT

US BANK

REMODEL
ST. ANTHONY FALLS, MN

ISSUED SET	
REVISIONS	
DATE	NO.

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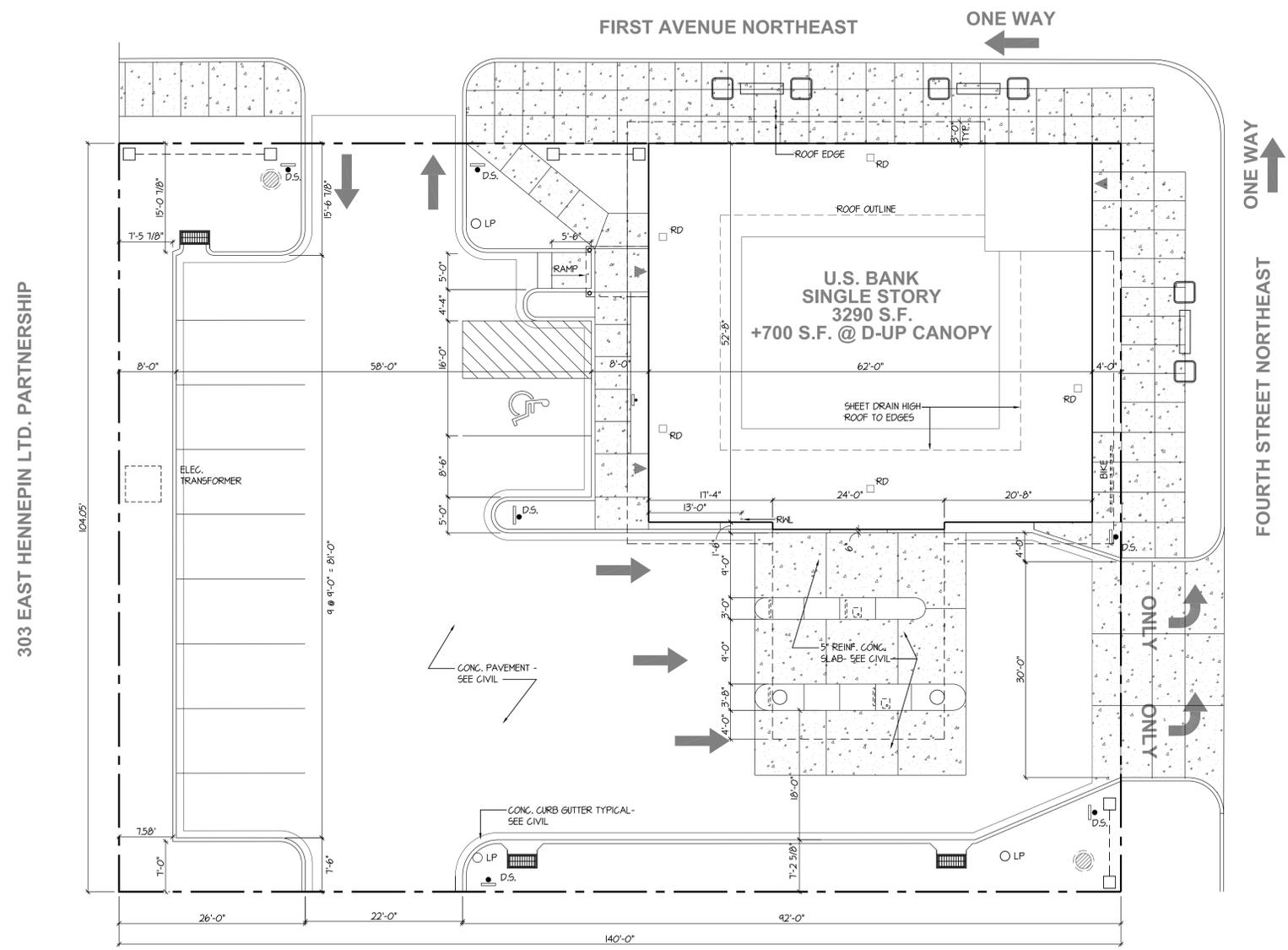
REG. NO. _____ DATE _____



SITE PLAN

DRAWN BY: RMQ CHECKED BY: PVB

A1.1



303 EAST HENNEPIN LTD. PARTNERSHIP

SITE PLAN/ROOF PLAN
1"=10'-0"

MORTENSON DEVELOPMENT 333 HENNEPIN AVE. E



51-151111.dwg Aug 24, 2005 - 4:04pm

PROJECT

US BANK

**REMODEL
 ST. ANTHONY FALLS, MN**

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 REVISIONS _____
 DATE NO. _____

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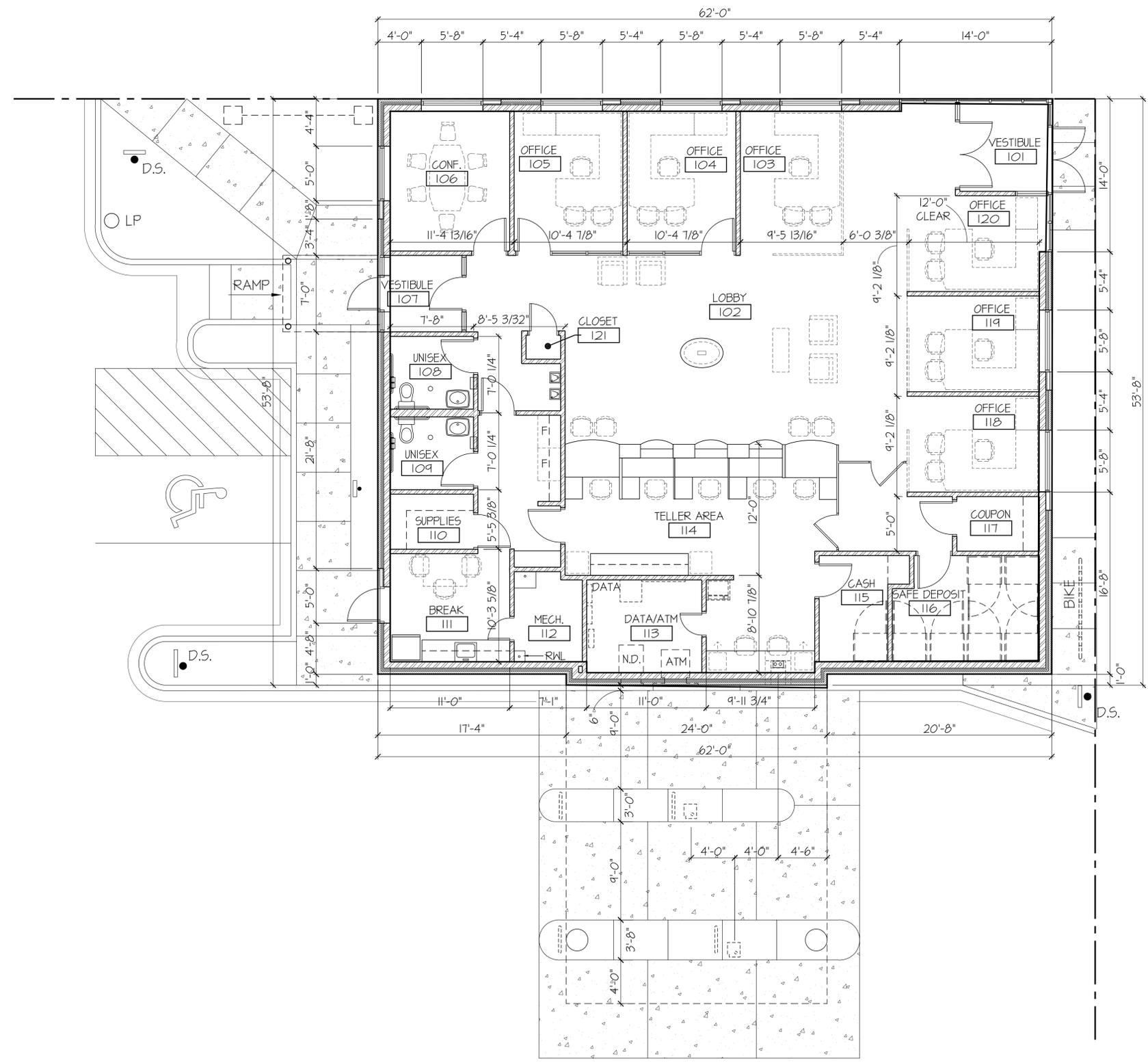
REG. NO. _____ DATE _____



MAIN LEVEL PLAN

DRAWN BY: RMQ CHECKED BY: PVB

A2.1

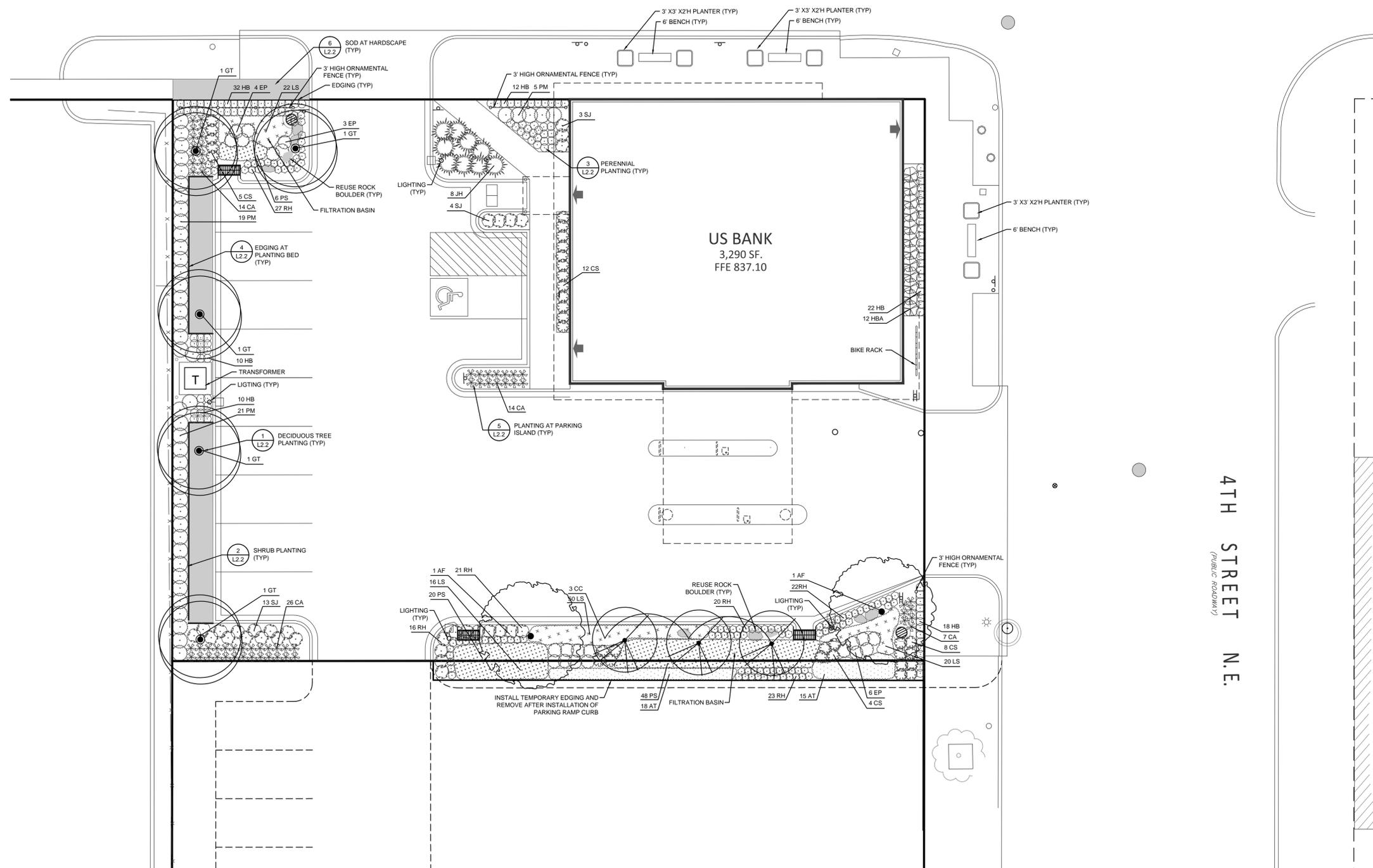


1 MAIN LEVEL PLAN
 A2.1 3/16"=1'-0"

ML-151111.dwg Aug 13, 2005 - 10:28am



1ST AVENUE N.
(PUBLIC ROADWAY)



LANDSCAPE SUMMARY

TREE REMOVAL
 REMOVE 4 BOULEVARD TREES
 8 ON-SITE TREES FOR SITE REDEVELOPMENT

LANDSCAPE YARD
 (REQUIRE 20% OF SITE NOT OCCUPIED BY BUILDING = 11,277 X 20% = 2,255 SF.)
 REQUIRED = 1 CANOPY TREE/500 SF. = 5 TREES
 = 1 SHRUB/100 SF. = 23 SHRUBS

SCREENING
 PARKING & LOADING FRONTING ALONG PUBLIC STREET/SIDEWALK
 REQUIRED = 50' MAX. DISTANCE FROM A DECIDUOUS TREE TO PARKING STALL
 = 7' WIDE LANDSCAPE YARD + SCREENING 3'HT. 80% OPAQUE
 = 1 TREE/25' OF PARKING/LOADING LOT FRONTAGE = 5925' = 2 TREES

TOTAL REQUIRED
 7 TREES
 23 SHRUBS

PROPOSED LANDSCAPE PLAN
 2,287 SF. LANDSCAPE YARD
 7 CANOPY TREES
 3 ORNAMENTAL TREES
 108 SHRUBS
 558 PERENNIALS

LANDSCAPE NOTES

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- PRIOR TO SUBMITTING A BID, LANDSCAPE CONTRACTOR SHALL VISIT THE SITE AND RECOGNIZE ALL SITE CONDITIONS. THE CONTRACTOR IS TO VERIFY ALL ROUGH GRADES AND ALL UTILITIES/UNDERGROUND FACILITIES LOCATED PRIOR TO ANY LANDSCAPE WORK. COORDINATE WITH THE GENERAL CONTRACTOR FOR INSTALLATION.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR FINISHED GRADING AND POSITIVE SURFACE DRAINAGE IN ALL LANDSCAPE AREAS. LANDSCAPE CONTRACTOR MUST ENSURE THAT THE FINAL GRADES ARE MET AS SHOWN ON GRADING PLAN. IF ANY DISCREPANCIES ARE FOUND, IMMEDIATELY NOTIFY LANDSCAPE ARCHITECT FOR RESOLUTION.
- ALL PLANT MATERIALS ARE TO CONFORM WITH STATE & LOCAL CONSTRUCTION STANDARDS AND THE CURRENT ADDITION OF THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS. ALL PLANT MATERIALS ARE TO BE HEALTHY, HARDY STOCK, AND FREE FROM ANY DISEASE, DAMAGE, AND DISFIGURATION.
- QUANTITIES OF PLANTS LISTED ON THE PLAN ARE TO GOVERN ANY DISCREPANCY BETWEEN THE QUANTITIES SHOWN ON THE PLANT SCHEDULE AND PLAN. PLACE PLANTS IN PROPER SPACING FOLLOWING LAYOUT FIGURES.
- THE ENTIRE LANDSCAPE AREAS SHALL BE IRRIGATED WITH AN UNDERGROUND IRRIGATION SYSTEM. NO WATER IS ALLOWED ON ANY PAVEMENT, PARKING, WALKWAY, AND BUILDING. THE IRRIGATION CONTRACTOR IS TO DESIGN AND SUBMIT SHOP DRAWING OF IRRIGATION DESIGN AND CALCULATIONS TO LANDSCAPE ARCHITECT FOR REVIEW 5 DAYS PRIOR TO PURCHASE AND INSTALLATION. IRRIGATION DESIGN IS TO MEET ALL CITY PLUMBING CODES AND REQUIREMENTS.
- EDGE ALL SHRUB BEDS WITH FOUR (4) INCH MILL FINISHED ALUMINUM EDGING WITH STAKES.
- APPLY FOUR (4) INCH DEPTH OF SHREDDED HARDWOOD BARK MULCH IN FOUR (4) FOOT DIAMETER RING AROUND TREE.
- APPLY THREE (3) INCH DEPTH OF SHREDDED HARDWOOD BARK MULCH OVER WEED BARRIER FABRIC IN ALL SHRUB AND PERENNIAL AREAS.
- PLACE AND BURY EXISTING FIELD STONE BOULDERS AS SHOWN ON PLAN TO A DEPTH OF APPROXIMATELY 1/3 OF OVERALL SIZE.
- APPLY FOUR (3) INCH DEPTH OF ONE A HALF (1.5) INCH RIVER ROCK OVER WEED BARRIER FABRIC.
- SOD SHOWN ON LANDSCAPE PLAN TO BE INSTALLED BY LANDSCAPE CONTRACTOR. SOD TO BE MNDOT 3878.2A, FREE OF WEEDS AND DISEASE. APPLY MINIMUM FOUR (4) INCHES OF TOPSOIL (MNDOT 3877 TYPE B), PEAT MOSS OR COMPOSTED YARD WASTE AND FERTILIZER. MIXING PROPORTIONS SHALL BE ACCORDING TO LOOSE VOLUME RATIO AND HAVE A COMPOSITE ORGANIC CONTENT AT NO LESS THAN 15% AND NO GREATER THAN 20%. FERTILIZER SHALL BE SLOW RELEASE COMMERCIAL FERTILIZER AND ADDED IN SUFFICIENT QUANTITY TO PROVIDE 0.05 POUNDS OF TOTAL NITROGEN PER CUBIC YARD OF PLANTING SOIL.
- SPREAD PLANTING SOIL AT MINIMUM EIGHTEEN (18) INCH DEEP IN ALL PLANTING BEDS PRIOR TO PLANTING.
- FOLLOW LANDSCAPE DETAILS FOR ALL INSTALLATION, UNLESS OTHERWISE NOTED.
- LANDSCAPE CONTRACTOR TO MAINTAIN PLANTS IN HEALTHY CONDITION THROUGHOUT WARRANTY PERIOD. THE WARRANTY PERIOD IS TWO FULL YEARS FROM DATE OF PROVISIONAL ACCEPTANCE UNTIL FINAL ACCEPTANCE.

PLANT SCHEDULE

DECIDUOUS TREES			
2	AF	FIRST EDITIONS MAYTARDOR MAPLE	ACER X FREEMANII 2.5" CAL. B&B
5	GT	SUNBURST HONEYLOCUST	GLEDITSIA TRICANTHOS VAR INERMIS 'SUNCOLE' 2.5" CAL. B&B
ORNAMENTAL TREES			
3	CC	THORNLESS COCKSPUR HAWTHORN	CRATAEGUS CRUS-GALLI VAR INERMIS 2.0" CAL. B&B
DECIDUOUS SHRUBS			
33	CS	ARCTIC FIRE DOGWOOD	CORNUS STOLONIFERA 'FARROW' 24" HT. POT
20	SJ	DAKOTA GOLDCHARM SPIREA	SPIRAEA JAPONICA 'MERTYANN' 18" HT. POT
CONIFEROUS SHRUBS			
9	JH	LIMEGLOW JUNIPER	JUNIPERUS HORIZONTALIS 'LIMEGLOW' 18" SP. POT
46	PM	SHERWOOD COMPACT DWARF MUGO PINE	PINUS MUGO 'SHERWOOD COMPACT' 24" HT. POT
PERENNIALS			
33	AT	BUTTERFLY WEED	ASCLEPIAS TUBEROSA 1 GAL. POT
61	CA	KARL FOERSTER FEATHER REED GRASS	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER' 1 GAL. POT
13	EP	LITTLE JOE JOE PYE WEED	EUPATORIUM DUBIUM 'LITTLE JOE' 1 GAL. POT
128	HB	BIG TIME HAPPY DAYLILY	HEMEROCALLIS 'BIG TIME HAPPY' 1 GAL. POT
12	HBA	BLUE ANGEL HOSTA	HOSTA 'BLUE ANGEL' 1 GAL. POT
108	LS	GREAT BLUE LOBELIA	LOBELIA SILPHILITICA 1 GAL. POT
74	PS	SHENANDOAH SWITCH GRASS	PANICUM VIRGATUM 'SHENANDOAH' 1 GAL. POT
129	RH	BLACK-EYED SUSAN	RUBRICKIA HIRTA 1 GAL. POT

LEGEND

SOD

SUBSTITUTIONS: IF ANY SUBSTITUTIONS ARE REQUIRED, SUBMIT WRITTEN DOCUMENTS AND PROPOSED SUBSTITUTIONS TO LANDSCAPE ARCHITECT FOR APPROVAL 5 DAYS PRIOR TO PURCHASE AND/OR INSTALLATION.



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 Minneapolis Phoenix Tampa

9300 Hennepin Town Road
 Minneapolis, MN 55347
 Tel: 952.278.8880
 Fax: 952.278.8822

PROJECT

**US BANK
 REMODEL**

ST. ANTHONY FALLS, MN

ISSUED SET PDR SUBMITTAL
 REVISIONS

DATE	NO.

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PILARSINEE SARATHONG, RLA

REGISTRATION 08/14/2015
 REG. NO. 45059



**CUNNINGHAM
 GROUP**



LANDSCAPE PLAN

DRAWN BY: PS CHECKED BY: MW

L2.1

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SCALE IN FEET

PROJECT

US BANK REMODEL

ST. ANTHONY FALLS, MN

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PILARSINEE SARATHONG, RIA
REGISTRATION 08/14/2015
REG. NO. 45059



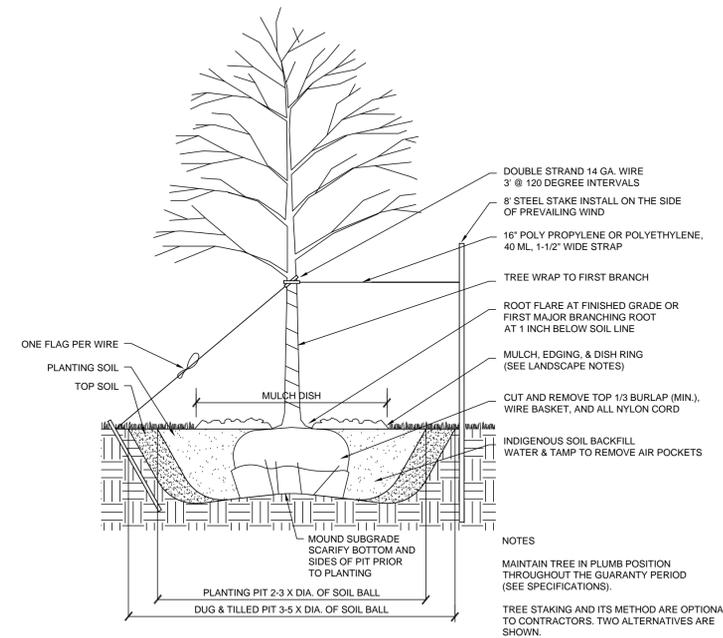
CUNNINGHAM GROUP



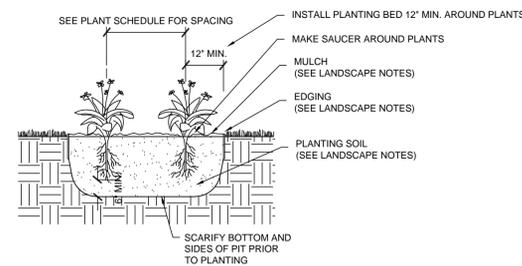
LANDSCAPE
DETAILS

DRAWN BY: PS CHECKED BY: MJW

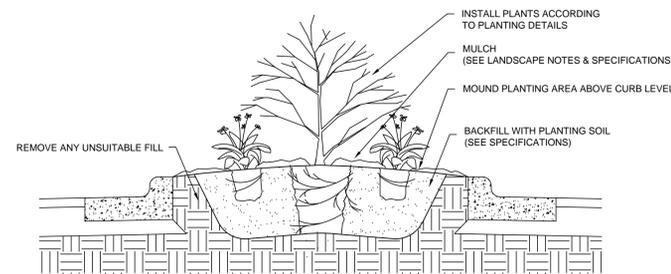
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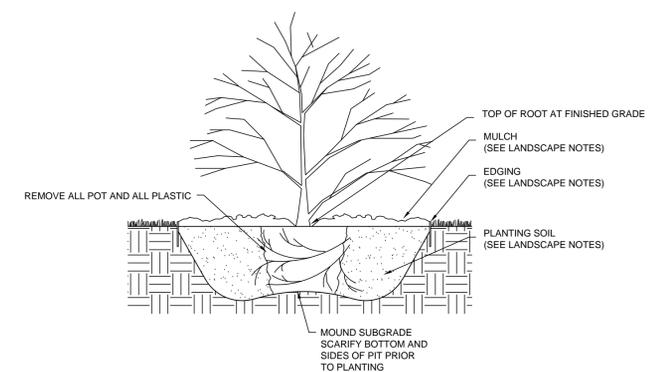
1 DECIDUOUS TREE PLANTING NO SCALE



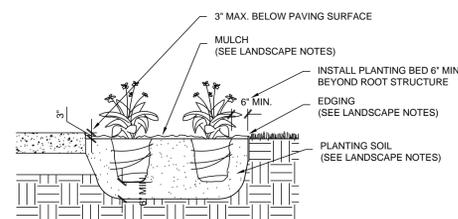
3 PERENNIAL PLANTING NO SCALE



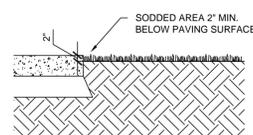
5 PLANTING AT PARKING ISLAND NO SCALE



2 SHRUB PLANTING NO SCALE



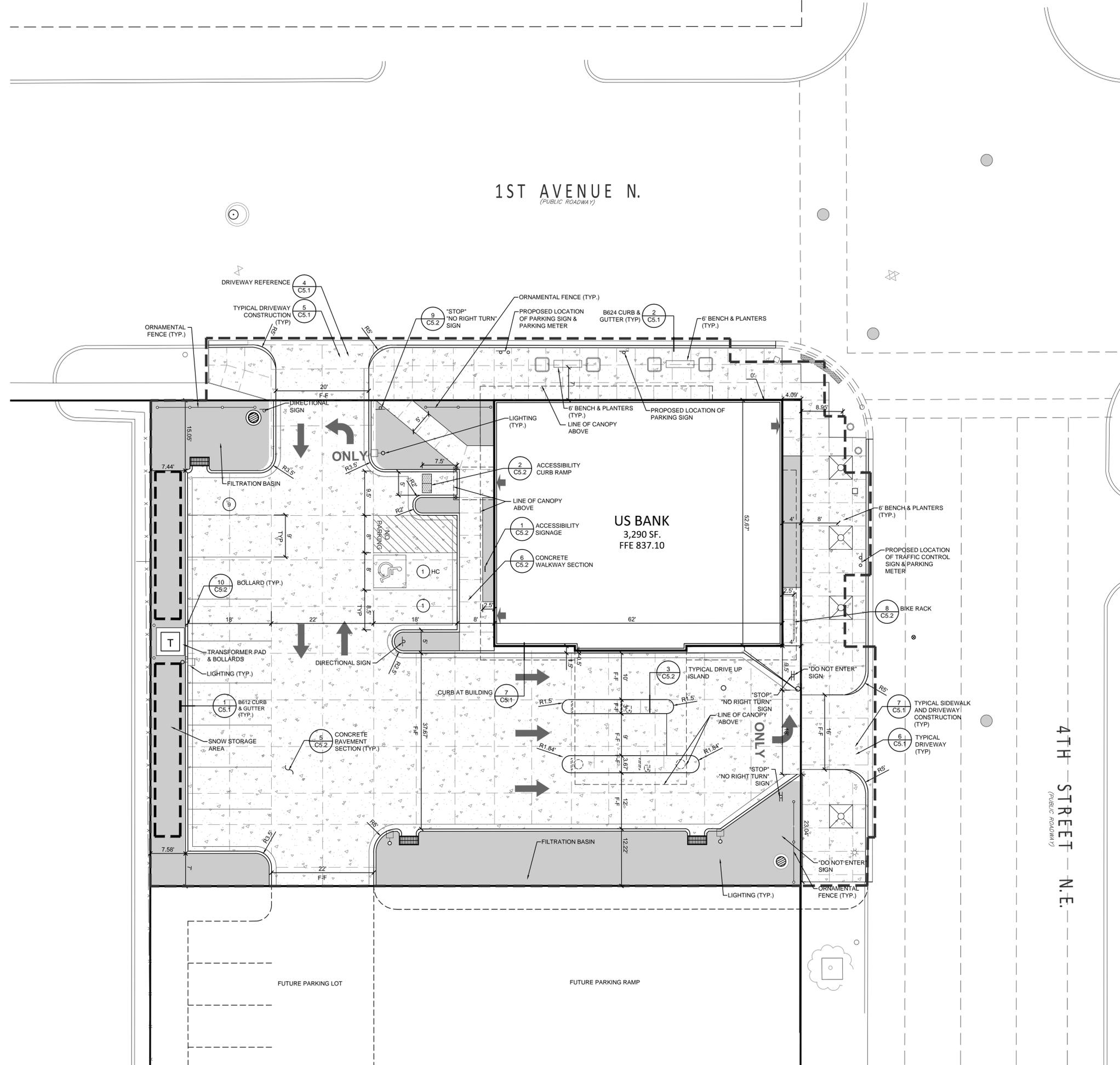
4 EDGING AT PLANTING BED NO SCALE



6 SOD AT HARDSCAPE EDGE NO SCALE

1ST AVENUE N.
(PUBLIC ROADWAY)

4TH STREET N.E.
(PUBLIC ROADWAY)



NOTES

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- DIMENSIONS SHOWN ON THIS PLAN ARE TO FACE OF CURB AND EXTERIOR FACE OF BUILDING UNLESS NOTED OTHERWISE.
- MEET AND MATCH EXISTING CONDITIONS. PROVIDE TRANSITION AS NECESSARY.
- ON-SITE CURB TO BE B612 STANDARD CONCRETE CURB & GUTTER. MATCH EXISTING CURB ON CITY/COUNTY STREETS.
- ALL CURBS TO HAVE 3/4" EXPANSION JOINTS AT A MAXIMUM OF 100'-0" WITH DOWELS AND CONTROL JOINTS AT A MAXIMUM OF 20'-0".
- ACCESSIBLE AISLE TO BE YELLOW DIAGONAL PAINT STRIPING WITH 'NO PARKING' MARKED. ACCESSIBLE SYMBOL TO BE BLUE.
- ALL BOLLARDS AND CONCRETE BASES FOR SITE LIGHTING SHALL BE SMOOTH AND FREE OF VOIDS AND LUMPS. SITE LIGHTING BASES TO BE PAINTED YELLOW WHEN POLES ARE LOCATED IN THE PAVEMENT AREA. CROWN TOP OF BASE TO SHED WATER.
- STREET LIGHTING INSTALLED AS PART OF THE PROJECT SHALL BE INSPECTED BY THE CITY. CONTRACTOR SHALL ARRANGE FOR INSPECTIONS WITH THE TRAFFIC DEPARTMENT. PLEASE DAVE PREHALL AT 612-673-5759 FOR FURTHER INFORMATION. ANY LIGHTING INSTALLATIONS NOT MEETING CITY SPECIFICATIONS WILL BE REQUIRED TO BE REINSTALLED AT OWNER EXPENSE.
- AN ENCROACHMENT PERMIT IS REQUIRED FOR ALL STREETScape ELEMENTS IN THE PUBLIC RIGHT-OF-WAY, INCLUDING PLANTINGS, PLANTERS, TREE GRATES, LANDSCAPE ELEMENTS, BENCHES, AND SIDEWALK FURNITURE. CONTACT BOB BOBLETT AT 612-673-2428 FOR FURTHER INFORMATION.
- USE OF PUBLIC RIGHT-OF-WAY (ROADWAY AND SIDEWALKS) FOR CONSTRUCTION PURPOSES, A REQUEST FOR AN ESTIMATE OF STREET USE AND OBSTRUCTION PERMIT FEE SHALL BE MADE TO THE CITY TRAFFIC DEPARTMENT. CONTACT SCOTT KRAMER AT 612-673-2383 FOR FURTHER INFORMATION.
- AN OBSTRUCTION PERMIT IS REQUIRED ANYTIME CONSTRUCTION WORK IS PERFORMED IN THE PUBLIC RIGHT-OF-WAY. PLEASE CONTACT SCOTT KRAMER AT (612) 673-2383 REGARDING DETAILS OF SIDEWALK AND LANE CLOSURES. LOG ON TO [HTTP://MINNEAPOLIS.MN.ROADWAY.NET](http://minneapolis.mn.roadway.net) FOR A PERMIT.
- ALL COSTS FOR RELOCATION AND/OR REPAIR OF CITY TRAFFIC FACILITIES SHALL BE BORNE BY THE CONTRACTOR AND/OR PROPERTY OWNER.
- REFER TO GRADING PLAN C3.1 FOR CURB TIP OUT LOCATIONS. TIP OUT CURB TO MATCH ADJACENT SLOPE.
- DETECTABLE WARNING SURFACES SHALL BE CAST-IN-PLACE FIBERGLASS OR POLYMER BASED. USE ARMOR-TILE CAST-IN-PLACE SYSTEM. ADA SOLUTIONS INC. CAST-IN-PLACE OR APPROVED EQUAL. USE THE LARGEST TILE SIZE FOR EACH LOCATION. 12"x12" TILES SHALL NOT BE USED. DOME SIZE AND SPACING SHALL BE ADA COMPLIANT. PROVIDE DARK GRAY FEDERAL COLOR NO. 36118) COLOR TO MEET VISUAL CONTRAST REQUIREMENT WITH THE ADJACENT WALKING SURFACE OF LIGHT-TO-DARK OR DARK-TO-LIGHT.
- TRASH TO BE LOCATED WITHIN ADJACENT PARKING RAMP.
- CONTACT DOUG MADAY AT 612-673-8755 PRIOR TO CONSTRUCTION FOR THE REMOVAL OF ANY CITY OF MINNEAPOLIS RIGHT OF WAY SIGNS.

PROJECT SUMMARY

ZONING C-2 NEIGHBORHOOD CORRIDOR COMMERCIAL DISTRICT

REQUIREMENT	PROPOSED
0' BUILDING SETBACK	0'
7' FRONT YARD	7'
7' SIDE YARD	7.43'
7' REAR YARD	7'

PARKING SUMMARY

REQUIRED PARKING 1/500 SF. IN EXCESS OF 4,000 SF. = 0 (GFA = 3,281 SF.)

PROPOSED PARKING	11
8'X18' ACCESSIBLE STALL	1 STALLS
8'X18' STANDARD STALL	1 STALLS
9'X18' STANDARD STALL	9 STALLS

BICYCLE PARKING	= 3 SPACES
3 SPACES OR 15,000 SF. OF GFA.	
PROPOSED	= 6 SPACES

AREA SUMMARY

SITE	14,567 SF. (0.33 AC.)	
BUILDING COVERAGE	3,290 SF. (0.07 AC.)	
AREAS NOT OCCUPIED BY BUILDINGS	11,277 SF. (0.26 AC.)	
PERVIOUS	2,762 SF.	24%
	2,287(14,567-3,290)	(REQUIRED LANDSCAPE YARD 20% MIN.)
IMPERVIOUS (PARKING, WALK, & TRASH)	8,515 SF. (76%)	

	EXISTING	PROPOSED
SITE	14,567 SF. (0.33 AC.)	
IMPERVIOUS	12,586 SF. (0.29 AC.)	11,805 SF. (0.27 AC.)
	86%	81%
BUILDING	-	3,290 SF. (0.07 AC.)
		23%
PAVEMENT (PARKING, WALK, & TRASH)	12,586 SF. (0.29 AC.)	8,515 SF. (0.20 AC.)
	86%	58%
PERVIOUS	1,981 SF. (0.04 AC.)	2,829 SF. (0.06 AC.)
	14%	19%

LEGEND

- PERVIOUS AREA
- CONCRETE PAVEMENT
- APPROXIMATE CONSTRUCTION LIMITS



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PROJECT

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ST. ANTHONY FALLS, MN

ISSUED SET PDR SUBMITTAL

REVISIONS

DATE NO.

DATE	NO.

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MARCELLE J. WESLOCK PE, LEED AP

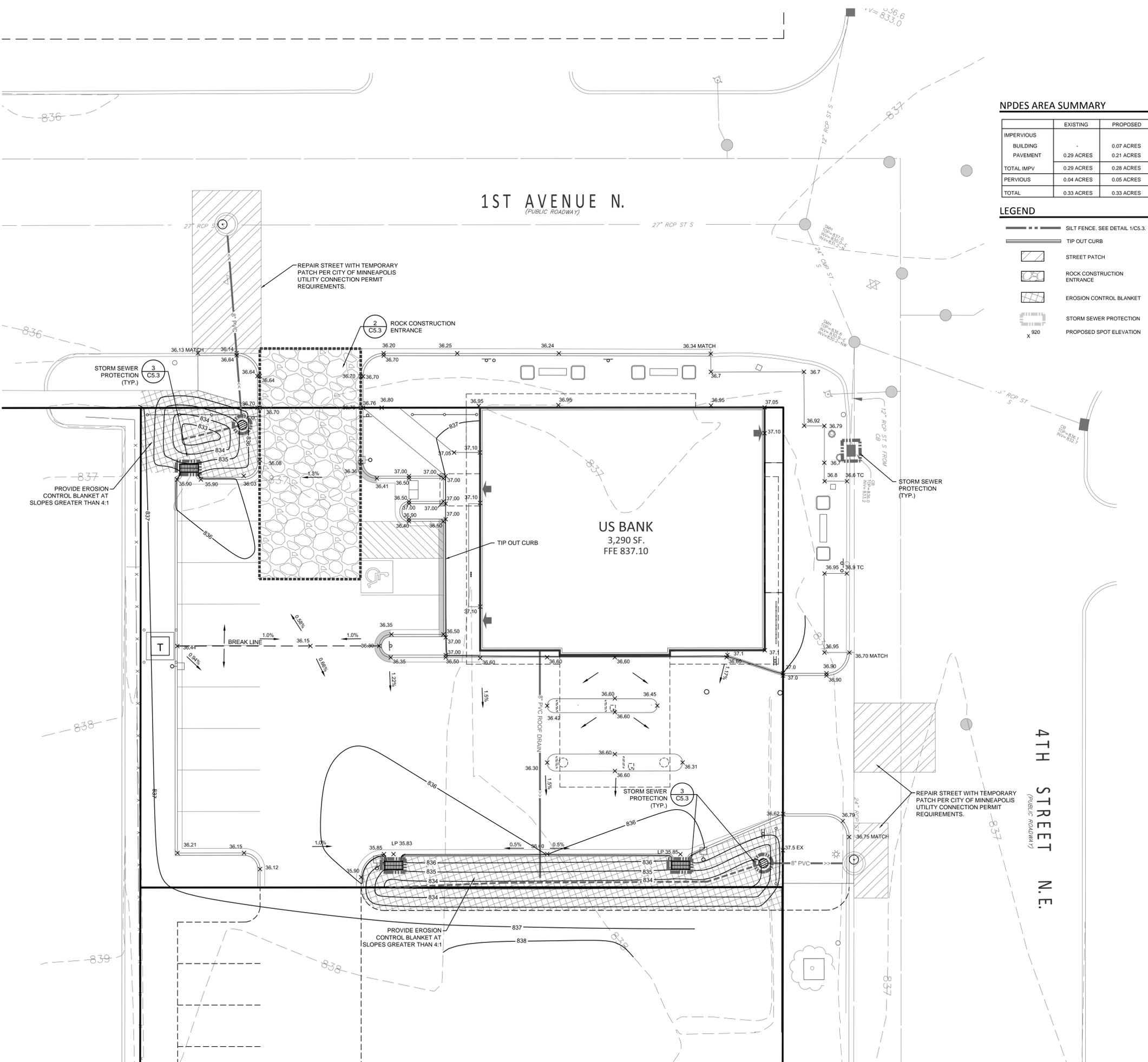
REGISTRATION 08/14/2015
REG. NO. 42323

SITE PLAN

DRAWN BY: PS CHECKED BY: MJW

C2.1

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GRADING NOTES

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- CONSTRUCTION LIMITS SHALL BE DELINEATED BY SILT FENCE WHERE NOTED AND EITHER CONSTRUCTION FENCE OR SILT FENCE IN OTHER AREAS.
- PROTECT ALL SURFACE SITE FEATURES NOT NOTED FOR REMOVAL.
- SPOT ELEVATIONS SHOWN AT CATCH BASINS ON THIS PLAN DO NOT REFLECT 2-INCH CASTING SUMP AND ACTUAL RIM ELEVATIONS. SEE SHEET C4.1 FOR ACTUAL ELEVATIONS.
- MEET AND MATCH EXISTING CONCRETE CURB AND GUTTER. PROVIDE TRANSITION TO PROPOSED CURB AND GUTTER.
- MEET AND MATCH EXISTING SIDEWALK.
- PROVIDE MINIMUM OF 0.5% AND MAXIMUM OF 5% SLOPE ON CONCRETE PAVEMENT. MAXIMUM OF 2% CROSS SLOPE AT ACCESSIBLE ROUTES.
- PAVING SECTIONS:
 - CONCRETE WALKWAYS
4" CONCRETE WALK
COMPACTED SUBGRADE
 - CONCRETE DRIVE APRONS AND SLABS (SEE DETAIL 6/C-510)
5" CONCRETE SLAB
(#4 BAR 12" O.C. BOTH DIRECTIONS)
8" CLASS 5 AGGREGATE BASE (MNDOT 3138)
COMPACTED SUBGRADE

NPDES AREA SUMMARY

	EXISTING	PROPOSED
IMPERVIOUS BUILDING PAVEMENT	-	0.07 ACRES
TOTAL IMPV	0.29 ACRES	0.28 ACRES
PERVIOUS	0.04 ACRES	0.05 ACRES
TOTAL	0.33 ACRES	0.33 ACRES

LEGEND

- SILT FENCE. SEE DETAIL 1/C5.3.
- TIP OUT CURB
- [Hatched Box] STREET PATCH
- [Rock Pattern Box] ROCK CONSTRUCTION ENTRANCE
- [Blanket Pattern Box] EROSION CONTROL BLANKET
- [Dashed Box] STORM SEWER PROTECTION
- X 920 PROPOSED SPOT ELEVATION

EROSION CONTROL NOTES

- FOLLOW ALL LOCAL, COUNTY, WATERSHED, AND STATE REQUIREMENTS COVERING STORMWATER COMPLIANCE.
- INSTALL SILT FENCE AND ROCK CONSTRUCTION ENTRANCE PRIOR TO COMMENCING GRADING ACTIVITIES. AS GRADING IS EXECUTED, THE CONTRACTOR SHALL MAINTAIN / INSTALL SILT FENCE, ROCK ENTRANCES, AND CATCH BASIN PROTECTION AS SHOWN ON THE PLAN TO MINIMIZE RUNOFF OF SEDIMENT.
- THE CONTRACTOR SHALL LIMIT THEIR ACTIVITIES TO THE GRADING LIMITS SHOWN ON THE GRADING PLAN. ALL CONSTRUCTION ACTIVITIES SHALL COMPLY WITH LOCAL ORDINANCE. THE CONTRACTOR SHALL SCHEDULE THEIR OPERATIONS TO MINIMIZE THE DISTURBED AREA AT ANY GIVEN TIME.
- ANY MATERIAL DEPOSITED FROM THE SITE ON ADJACENT ROADWAY AND PARKING LOT SHALL BE REMOVED AT THE END OF THE DAY WITH A PICKUP BROOM.
- RESTORATION:
 - ALL DISTURBED NON-PAVED AREAS SHALL BE RESTORED WITH A MINIMUM OF FOUR INCHES (4") OF TOPSOIL AND SEED AS DIRECTED BY THE ENGINEER. WITHIN THE FOLLOWING: > 3:1 SLOPE 7 DAYS, > 1 TO 1 SLOPE 14 DAYS, AND < 10:1 SLOPE 21 DAYS PERIOD FOLLOWING COMPLETION OR SUSPENSION OF GRADING ACTIVITY IN THAT PARTICULAR AREA.
 - ALL SOD SHALL MEET MNDOT 3878.

CITY OF MINNEAPOLIS EROSION CONTROL NOTES

- CONTRACTOR MUST CALL A CONSTRUCTION START 48 HOURS PRIOR TO ANY LAND DISTURBANCE 612-673-3867. FAILURE TO DO SO MAY RESULT IN FINES, THE REVOCATION OF PERMIT AND A STOP WORK ORDER BEING ISSUED.
- INSTALL PERIMETER EROSION CONTROL AT THE LOCATIONS SHOWN ON THE PLANS PRIOR TO THE COMMENCEMENT OF ANY LAND DISTURBANCE OR CONSTRUCTION ACTIVITIES.
- BEFORE BEGINNING CONSTRUCTION, INSTALL A TEMPORARY ROCK CONSTRUCTION ENTRANCE AT EACH POINT WHERE VEHICLES EXIT THE CONSTRUCTION SITE. USE 2 INCH OR GREATER DIAMETER ROCK IN A LAYER AT LEAST 6 INCHES THICK ACROSS THE ENTIRE WIDTH OF THE ENTRANCE. EXTEND THE ROCK ENTRANCE AT LEAST 50 FEET INTO THE CONSTRUCTION ZONE USING A GEO-TEXTILE FABRIC BENEATH THE AGGREGATE TO PREVENT MIGRATION OF SOIL INTO THE ROCK FROM BELOW.
- REMOVE ALL SOILS AND SEDIMENTS TRACKED OR OTHERWISE DEPOSITED ONTO PUBLIC AND PRIVATE PAVEMENT AREAS. REMOVAL SHALL BE ON A DAILY BASIS WHEN TRACKING OCCURS AND MAY BE ORDERED BY MINNEAPOLIS INSPECTORS AT ANY TIME IF CONDITIONS WARRANT. SWEEPING SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE CONSTRUCTION AND DONE IN A MANNER TO PREVENT DUST BEING BLOWN TO ADJACENT PROPERTIES.
- INSTALL INLET PROTECTION AT ALL PUBLIC AND PRIVATE CATCH BASIN INLETS, WHICH RECEIVE RUNOFF FROM THE DISTURBED AREAS. CONTRACTOR SHALL CLEAN REMOVE SEDIMENT OR REPLACE STORM DRAIN INLET PROTECTION DEVICES ON A ROUTINE BASIS SUCH THAT THE DEVICES ARE FULLY FUNCTIONAL FOR THE NEXT RAIN EVENT. SEDIMENT DEPOSITED IN AND/OR PLUGGING DRAINAGE SYSTEMS IS THE RESPONSIBILITY OF THE CONTRACTOR. HAY BALES OR FILTER FABRIC WRAPPED GRATES ARE NOT ALLOWED FOR INLET PROTECTION.
- LOCATE SOIL OR DIRT STOCKPILES NO LESS THAN 25 FEET FROM ANY PUBLIC OR PRIVATE ROADWAY OR DRAINAGE CHANNEL. IF REMAINING FOR MORE THAN SEVEN DAYS, STABILIZE THE STOCKPILES BY MULCHING, VEGETATIVE COVER, TARPING, OR OTHER MEANS. CONTROL EROSION FROM ALL STOCKPILES BY PLACING SILT BARRIERS AROUND THE PILES. TEMPORARY STOCKPILES LOCATED ON PAVED SURFACE MUST BE NO LESS THAN TWO FEET FROM THE DRAINAGE/GUTTER LINE AND SHALL BE COVERED IF LEFT MORE THAN 24 HOURS.
- MAINTAIN ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES IN PLACE UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED. INSPECT TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES ON A DAILY BASIS AND REPLACE DETERIORATED, DAMAGED, OR ROTTED EROSION CONTROL DEVICES IMMEDIATELY.
- TEMPORARILY OR PERMANENTLY STABILIZE ALL CONSTRUCTION AREAS WHICH HAVE UNDERGONE FINAL GRADING, AND ALL AREAS IN WHICH GRADING OR SITE BUILDING CONSTRUCTION OPERATIONS ARE NOT ACTIVELY UNDERWAY AGAINST EROSION DUE TO RAIN, WIND AND RUNNING WATER WITHIN 7-14 DAYS. USE SEED AND MULCH, EROSION CONTROL MATTING, AND/OR SODDING AND STAKING IN GREEN SPACE AREAS. REMOVE ALL TEMPORARY SYNTHETIC, STRUCTURAL, NON-Biodegradable EROSION AND SEDIMENT CONTROL DEVICES AFTER THE SITE HAS UNDERGONE FINAL STABILIZATION WITH PERMANENT VEGETATION ESTABLISHMENT. FINAL STABILIZATION FOR PURPOSES OF THIS REMOVAL IS 70% ESTABLISHED COVER OVER DENUDATED AREA.
- READY MIXED CONCRETE AND CONCRETE BATCHMIX PLANTS ARE PROHIBITED WITHIN THE PUBLIC RIGHT OF WAY. ALL CONCRETE RELATED PRODUCTION, CLEANING AND MIXING ACTIVITIES SHALL BE DONE IN THE DESIGNATED CONCRETE MIXING/WASHOUT LOCATIONS AS SHOWN IN THE EROSION CONTROL PLAN. UNDER NO CIRCUMSTANCE MAY WASHOUT WATER DRAIN INTO THE PUBLIC RIGHT OF WAY OR INTO ANY PUBLIC OR PRIVATE STORM DRAIN CONVEYANCE.
- CHANGES TO APPROVED EROSION CONTROL PLAN MUST BE APPROVED BY THE EROSION CONTROL INSPECTOR PRIOR TO IMPLEMENTATION. CONTRACTOR TO PROVIDE INSTALLATION AND DETAILS FOR ALL PROPOSED ALTERNATE TYPE DEVICES.
- IF DEWATERING OR PUMPING OF WATER IS NECESSARY, THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS AND/OR APPROVALS PRIOR TO DISCHARGE OF ANY WATER FROM THE SITE. IF THE DISCHARGE FROM THE DEWATERING OR PUMPING PROCESS IS TURBID OR CONTAINS SEDIMENT LADEN WATER, IT MUST BE TREATED THROUGH THE USE OF SEDIMENT TRAPS, VEGETATIVE FILTER STRIPS, OR OTHER SEDIMENT REDUCING MEASURES SUCH THAT THE DISCHARGE IS NOT VISIBLY DIFFERENT FROM THE RECEIVING WATER. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED AT THE DISCHARGE POINT TO PREVENT SCOUR EROSION. THE CONTRACTOR SHALL PROVIDE A DEWATERING/PUMPING PLAN TO THE EROSION CONTROL INSPECTOR PRIOR TO INITIATING DEWATERING ACTIVITIES.



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9300 Hennepin Town Road
Minneapolis, MN 55347
Tel: 952.278.8880
Fax: 952.278.8822

PROJECT

**US BANK
REMODEL**

ST. ANTHONY FALLS, MN

ISSUED SET	PDR SUBMITTAL
REVISIONS	
DATE	NO.

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, AND THAT I AM A DULY LICENSED UNDER THE LAWS OF THE STATE OF

MARCELLE J. WESLOCK PE, LEED AP
REGISTRATION 08/14/2015
REG. NO. 42323



**CUNNINGHAM
GROUP**



**GRADING & EROSION
CONTROL PLAN**

DRAWN BY: PS CHECKED BY: MJW

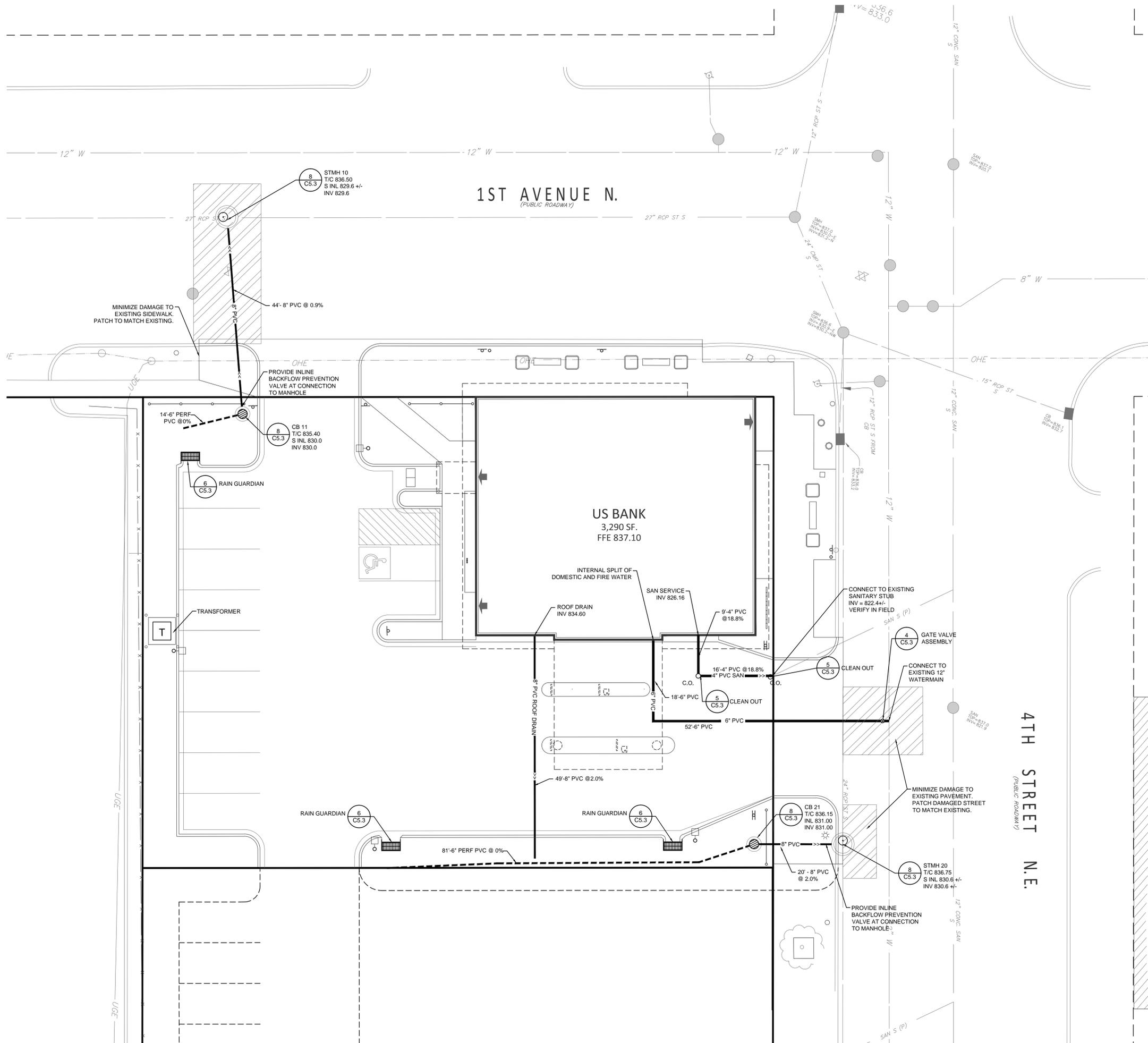
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Know what's below.
Call before you dig.



10 30
SCALE IN FEET



UTILITY NOTES

- BACKGROUND INFORMATION AND TOPOGRAPHIC SURVEY PROVIDED BY SUNDE LAND SURVEYING INC., BLOOMINGTON, MINNESOTA ON JULY 30, 2015, EXPRESSLY FOR THIS PROJECT. ELAN DESIGN LAB CANNOT GUARANTEE THE ACCURACY OR COMPLETENESS OF THIS INFORMATION. VERIFY ALL FIELD CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. IF ANY DISCREPANCIES OR UNKNOWN UTILITIES ARE FOUND THAT IMPACT DESIGN OR IMPAIR CONSTRUCTION, THE ENGINEER AND OWNER SHOULD BE IMMEDIATELY NOTIFIED.
- VERIFY ALL CONNECTIONS TO EXISTING UTILITY SERVICES PRIOR TO CONSTRUCTION. ANY DISCREPANCIES BETWEEN LOCATED UTILITIES AND THE EXISTING CONDITIONS PLAN SHOULD BE NOTED AND FORWARDED TO THE ENGINEER.
- ALL CONNECTIONS TO CITY UTILITIES TO BE IN ACCORDANCE WITH THE CITY OF MINNEAPOLIS STANDARD SUPPLEMENTAL SPECIFICATIONS FOR THE CONSTRUCTION OF PUBLIC INFRASTRUCTURE JANUARY 2014 OR LATEST EDITION.
- CONTRACTOR TO PROVIDE ADEQUATE MEANS AND METHODS TO ASSURE ADJACENT PROPERTY IS NOT DAMAGED DURING UTILITY INSTALLATION.
- PIPE LENGTHS SHOWN ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
- UTILITY SERVICE LOCATIONS WITHIN BUILDING ARE SHOWN CORRECT AS OF THE DATE OF THIS PLAN. THE CONTRACTOR SHALL VERIFY LOCATIONS BY COMPARING THIS PLAN WITH THE MECHANICAL PLANS PRIOR TO ANY UTILITY CONSTRUCTION.
- PIPE MATERIALS:

DOMESTIC WATER SERVICE/ FIRE SERVICE (INTERNAL SPLIT)	6" PVC-C900
SAN SEWER 6" OR SMALLER	PVC SDR 35
ROOF DRAIN, STORM SEWER	PVC SDR 26
STORM SEWER 12" OR LARGER	CFRP
- ADJUST ALL STRUCTURES, PUBLIC AND PRIVATE, TO PROPOSED GRADES WHERE DISTURBED. COMPLY WITH ALL REQUIREMENTS OF UTILITY OWNERS. STRUCTURES BEING RESET TO PAVED AREAS TO MEET OWNERS REQUIREMENTS FOR TRAFFIC LOADING.
- MAINTAIN 7.5' COVER ON ALL NEW WATERMAIN.
- COORDINATE WITH ELECTRIC CONTRACTOR TO PROVIDE CONDUITS AS NECESSARY FOR SITE LIGHTING. SEE ELECTRICAL SITE PLAN, E-100, FOR ADDITIONAL SITE ELECTRICAL INFORMATION.
- THE PRIMARY ELECTRIC, TRANSFORMER, AND METER IS PROVIDED AND INSTALLED FROM MECHANICAL ROOM TO THE TRANSFORMER AND IS THE RESPONSIBILITY OF THE CONTRACTOR.
- COORDINATE TELEPHONE WITH QWEST TO PROVIDE SERVICE. CONTRACTOR TO PROVIDE A 3" PVC CONDUIT WITH PULL-STRING FROM EXISTING SERVICE TO THE BUILDING.
- COORDINATE INSTALLATION OF NEW GAS SERVICE WITH CENTER POINT ENERGY AT (612) 321-4939. NEW SERVICE TO BE INSTALLED AFTER THE SLAB FOUNDATION IS COMPLETED BUT PRIOR TO INSTALLATION OF GRAVEL BASE FOR SIDEWALK. THE GAS METER WILL BE SUPPLIED BY CENTER POINT ENERGY. THE CONTRACTOR IS RESPONSIBLE FOR THE GAS SERVICE FROM THE METER TO THE MECHANICAL ROOM.
- PROVIDE LANDSCAPE SLEEVE PER IRRIGATION PLAN PREPARED BY LANDSCAPE CONTRACTOR. EXTEND SLEEVES 3' BEYOND THE EDGE CURB OR PAVEMENT.
- CONNECT TO EXISTING CATCH BASIN BY SAW CUTTING NEW OPENING. RECONSTRUCT INVERT AS NEEDED, AND HAND GROUTING ANNULAR SPACE BETWEEN CATCH BASIN AND PIPE WITH CONCRETE, INSIDE AND OUT, TO PROVIDE SMOOTH WATERTIGHT CONNECTION.
- REMOVE AND/OR REPLACE CATCH BASIN, PAVEMENT, CURB, AND WALK AS REQUIRED TO MAKE CONNECTIONS. MATCH EXISTING CURB AND WALK. INSTALL PER CITY OF MINNEAPOLIS CURRENT STANDARD SPECIFICATIONS FOR CONSTRUCTION AND STANDARD PLATE DETAILS. PROVIDE TEMPORARY STREET PATCH AT UTILITY CONNECTIONS AS REQUIRED BY THE UTILITIES CONNECTION PERMIT. CONTACT THE UTILITY CONNECTIONS OFFICE AT 612.673.2451.
- NO NON-STORMWATER DISCHARGE IS PROPOSED FOR THIS SITE AND IS NOT PERMITTED WITHOUT APPROVAL BY THE CITY OF MINNEAPOLIS

STORMWATER MANAGEMENT NOTES

- UPON THE PROJECT'S COMPLETION, THE GENERAL CONTRACTOR, PROPERTY OWNER OR RESPONSIBLE PARTY SHALL PROVIDE TO THE DEPARTMENT OF PUBLIC WORKS A FINAL STORMWATER MANAGEMENT REPORT INCLUDING RECORD DRAWINGS. THIS REPORT WILL SERVE AS A MEANS OF VERIFICATION THAT THE INTENT OF THE APPROVED STORMWATER MANAGEMENT DESIGN HAS BEEN MET. THIS FINAL REPORT SHALL SUBSTANTIATE THAT ALL ASPECTS OF THE ORIGINAL DESIGN HAVE BEEN ADEQUATELY PROVIDED FOR BY THE CONSTRUCTION OF THE PROJECT.
- CONTRACTOR, PROPERTY OWNER OR RESPONSIBLE PARTY SHALL CONTACT MINNEAPOLIS SURFACE WATERS AND SEWERS 48 HOURS PRIOR TO ANY EXCAVATION OR CONSTRUCTION RELATED TO OR IN THE LOCATION OF THE PROPOSED STORMWATER MANAGEMENT BMP. CONTACT PAUL CHELLEN AT 673-2406 OR paul.chellen@minneapolismn.gov.



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PROJECT

**US BANK
REMODEL**

ST. ANTHONY FALLS, MN

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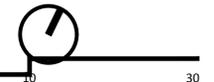
CUNNINGHAM GROUP



UTILITY PLAN



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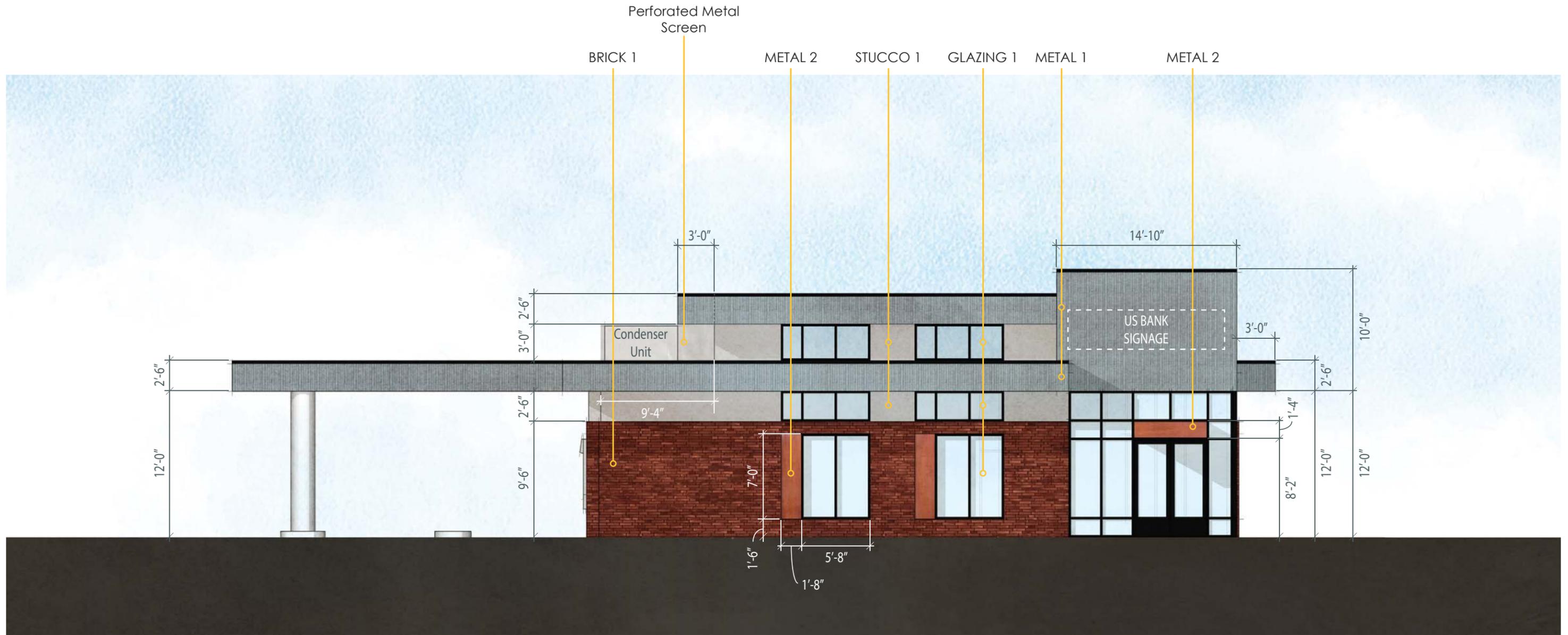


SCALE IN FEET

DRAWN BY: PS CHECKED BY: MJW

C4.1

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EAST ELEVATION |
| 1/8"=1'-0"



St. Anthony Falls Branch Location
MINNEAPOLIS | MINNESOTA

August 14, 2015
15-0458





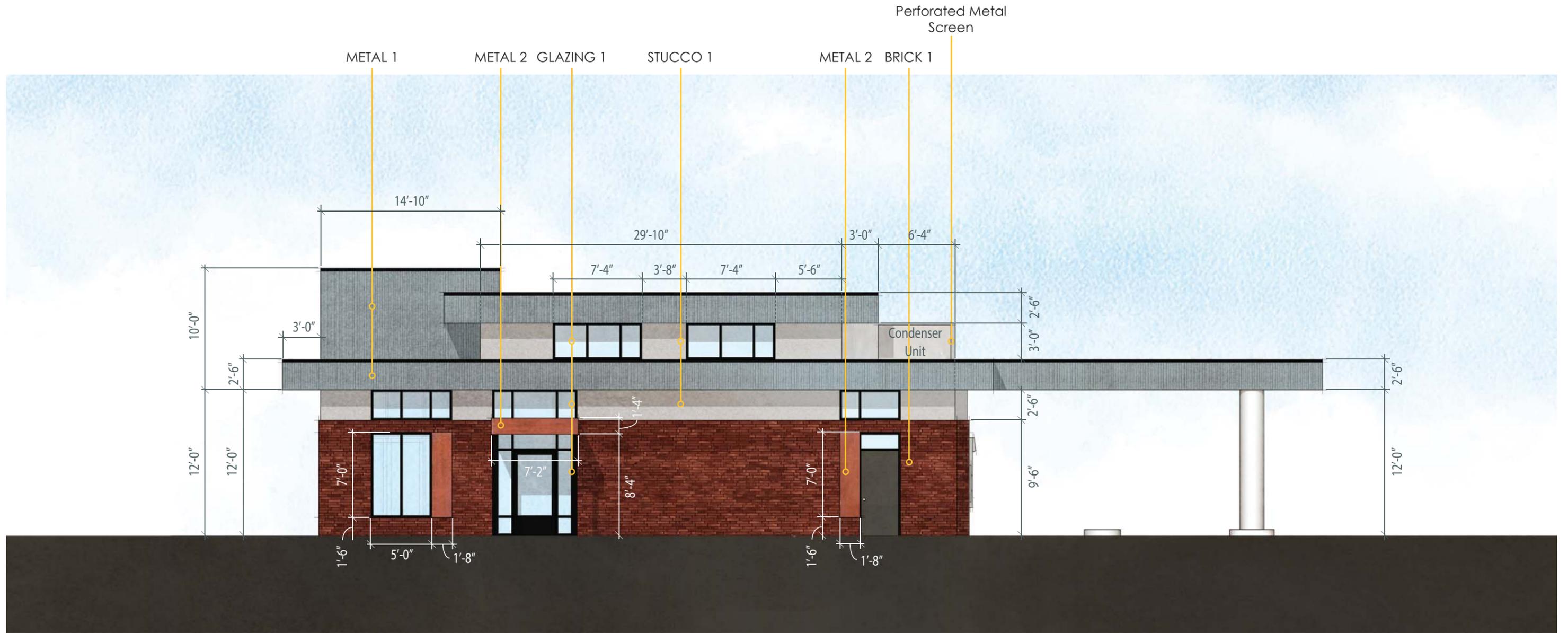
NORTH ELEVATION |
1/8"=1'-0"



St. Anthony Falls Branch Location
MINNEAPOLIS | MINNESOTA

August 14, 2015
15-0458





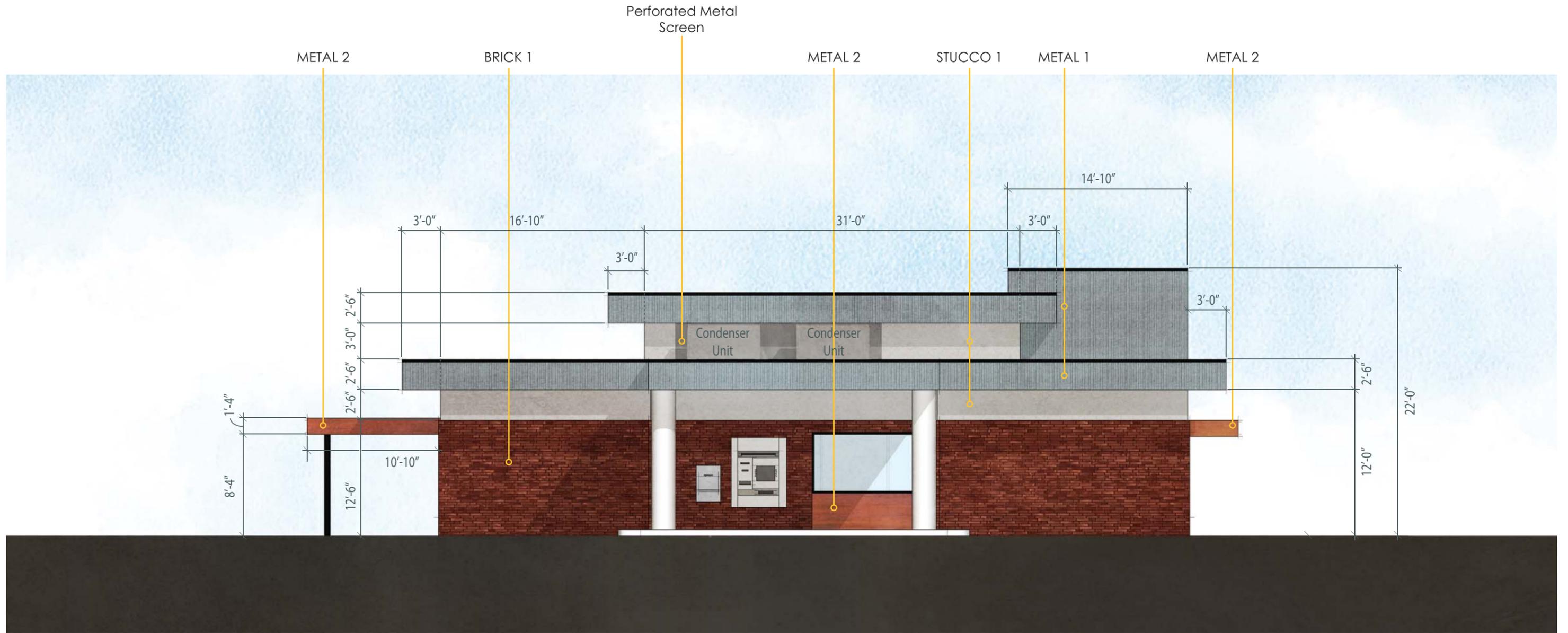
WEST ELEVATION |
1/8"=1'-0"



St. Anthony Falls Branch Location
MINNEAPOLIS | MINNESOTA

August 14, 2015
15-0458





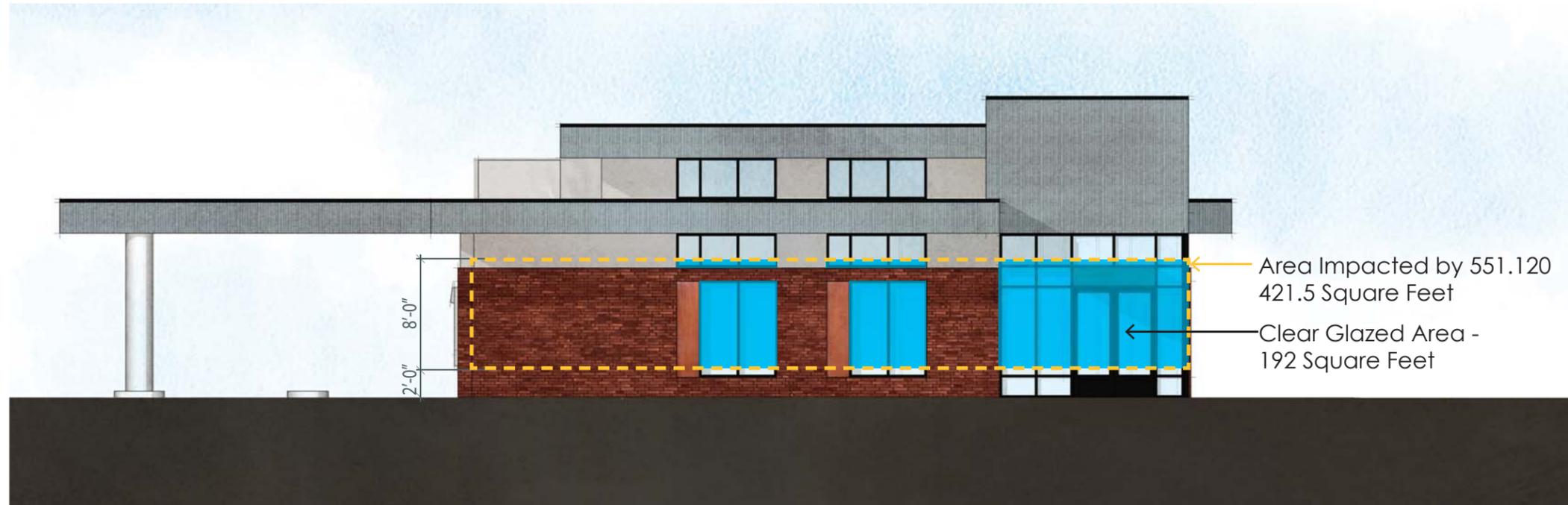
SOUTH ELEVATION |
 1/8"=1'-0"



St. Anthony Falls Branch Location
 MINNEAPOLIS | MINNESOTA

August 14, 2015
 15-0458





EAST ELEVATION | Building Facade Window Area

Minneapolis Code of Ordinances, Title 20 Zoning Code, Chapter 551, Article II - PO Pedestrian Oriented Overlay District

551.120. - Building façade.

(a) Window area. At least forty (40) percent of the first floor façade of any nonresidential use that faces a public street or sidewalk shall be windows or doors of clear or lightly tinted glass that allow views into and out of the building at eye level. Windows shall be distributed in a more or less even manner. Minimum window area shall be measured between the height of two (2) feet and ten (10) feet above the finished level of the first floor.



NORTH ELEVATION | Building Facade Window Area

TOTAL IMPACTED AREA (421.5 + 496):

917.5

TOTAL GLAZED AREA (192 + 274):

466

GLAZED FACADE PERCENTAGE (466 ÷ 917.5):

50.8%



St. Anthony Falls Branch Location
MINNEAPOLIS | MINNESOTA

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BRICK 1



Brick

Sioux City Brick -
Chelsea Ironspot w/ dark
mortar

METAL 1



Metal Panel
with Blue Zinc finish

Finish - Centria Allusion 766
Blue Zinc, or equivalent

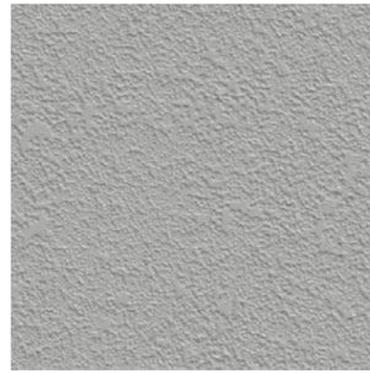
METAL 2



Metal Panel
with CorTen Steel Finish

Finish - Centria Alusion 763
Rust, or equivalent

STUCCO 1



Stucco

Finish - Color coat to match
Sherwin Williams SW7655
"Stamped Concrete"

Texture - Fine Sand Finish

GLAZING 1

Clear, Low reflective glass

Visible Light
Transmission ≈ 75%

Outdoor Reflectance ≈ 15%

**WINDOW FRAME +
STOREFRONT**



Aluminum

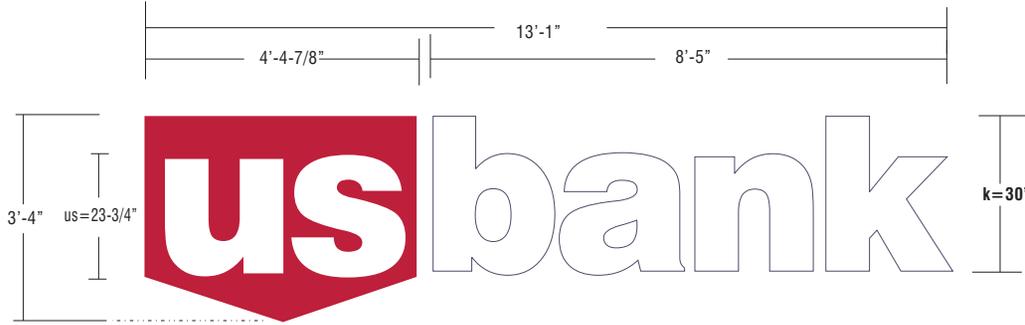
Finish - Black Anodized

LED ILLUM. CHANNEL LETTERS

Scale: 1/2" = 1'-0"

43.6 Square Feet

USI-30



bank

FACES: 3/16" #7328 White acrylic w/ surface applied Trans. Red vinyl overlay leaving white "us" copy show thru White
TRIMCAP: 2" jewelite painted Matthews Red
RETURNS: 5" deep .063 alum. - painted Matthews Red

FACES: 3/16" #7328 White acrylic
ALTERNATE: #2447 White acrylic w/ trans Blue vinyl overlay
TRIMCAP: 1" jewelite painted Matthews Blue
RETURNS: 5" deep .063 alum. - painted Matthews Blue

BACKS: .063 Alum. - pre-painted White
ILLUMINATION: White GE Tetra PowerMax WHPMS2-65K led's as required
MOUNTING: Varies per location

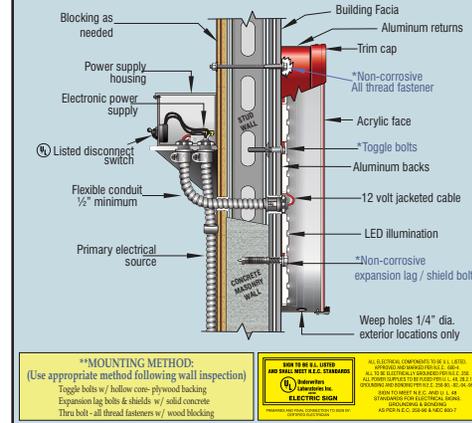
COLOR MATCHING

 Pantone 2748 Blue
Matthews MP10918.
3M 3630-8666

 Pantone 193 Red
Matthews N930SP
3M 3632-83

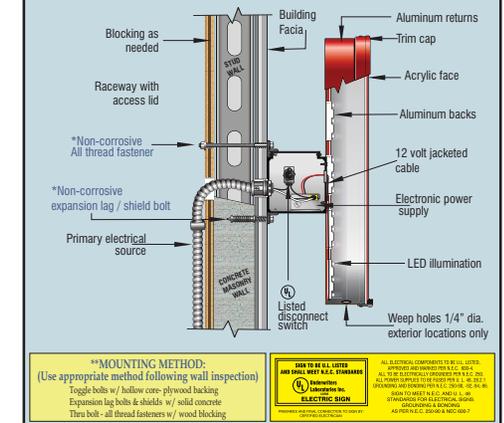


LED CHANNEL - REMOTE, FLUSH



****MOUNTING METHOD:**
 (Use appropriate method following wall inspection)
 Toggle bolts w/ hollow core-plywood backing
 Expansion lag bolts & shields w/ solid concrete
 Thru bolt-all thread fasteners w/ wood blocking

LED CHANNEL - RACEWAY MOUNT



****MOUNTING METHOD:**
 (Use appropriate method following wall inspection)
 Toggle bolts w/ hollow core-plywood backing
 Expansion lag bolts & shields w/ solid concrete
 Thru bolt-all thread fasteners w/ wood blocking



**8959 TYLER BLVD.
 MENTOR, OHIO 44060**
 PH. 440-209-6200
 FAX 440-209-6277
 www.mcsign.com

CLIENT:	PAGE NUMBER	TICKET NO.:	DATE:	DATE:	REVISIONS:
	19	N/A	1/10/14		
ADDRESS:	PROJECT MANAGER:	DESIGNER:			
2014 SIGN PROGRAM	MARK HRUBY	SI			
	ELECTRONIC FILE NAME:				
	US BANK\ SIGN PROGRAM\ 2014 SIGN PROGRAM\ US SIGN PROGRAM - 2014 - PART 2				

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CLIENT SIGNATURE & APPROVAL DATE:



NW on 4th



NW from SE Corner of 4th and Hennepin



W on 1st Avenue NE from 5th and 1st



SW from NE Corner of 4th and 1st



SE from NW Corner of 1st and University



SE from NW Corner of 1st and 2nd

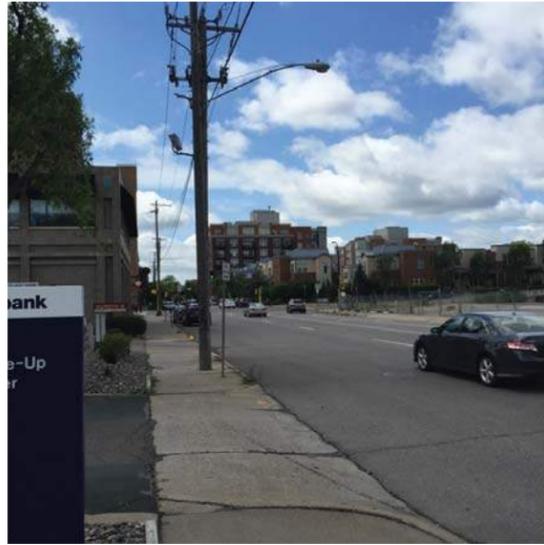


St. Anthony Falls Branch Location
MINNEAPOLIS | MINNESOTA

August 14, 2015
15-0458



1st Avenue NE



4th Street NE



St. Anthony Falls Branch Location
MINNEAPOLIS | MINNESOTA

August 14, 2015
15-0458





August 14, 2015

Mr. Jacob Frey
Council Member – Ward 3
350 S. 5th St., Room 307
Minneapolis, Minnesota 55415

**Subject: U. S. Bank – Branch Replacement at 330 Hennepin Avenue
Land Use Application**

Dear Councilmember Frey:

U. S. Bank is pleased to inform you of our intentions to submit for a Land Use application for the above referenced property on August 14, 2015 for Planning Commission consideration.

U. S. Bank has long served the community at the 333 Hennepin Avenue location and the Bank is committed to continue that service through a new facility that will replace the outdated structure that currently exists. This proposed new facility will be located at the corner of 4th Street and 1st Avenue and is anticipated to occupy approximately one third of the current property. The remaining two thirds of the property is intended to be sold to a developer whom we have been collaborating with over the past few months.

Though not required by current zoning regulation, U. S. Bank's new facility is being designed to be as consistent as practical, as if in a Pedestrian Overlay district. Current planning also reflects careful consideration of feedback received by the NIEBNA Board of Directors, Board Task Force and representation through a series of meetings that have been held over the past few months. Several modifications to the design resulting from those discussions include adherence to PO setbacks, provision of parking buffers, 40% clear glazing amounts, pedestrian benches and other furnishings along streetscapes, etc. Another direct response to neighborhood input includes a one of a kind design, material and massing response that deviates from U. S. Bank's proto-type designs that are employed in other locations.

We are excited to continue servicing northeast Minneapolis and the surrounding neighborhoods through this new facility and thank you for your consideration and support of the project.

Sincerely,

A handwritten signature in black ink, appearing to read "DK Wright".

David K. Wright
U. S. Bank Corporate Real Estate
Vice President
2800 East Lake Street
Minneapolis, Minnesota 55406
(612) 728-8420
davidk.wright@usbank.com

From: Jeffrey Schoeneck
Sent: Friday, August 14, 2015 8:45 AM
To: jacob.frey@minneapolismn.gov
Cc: heidi.ritchie@minneapolismn.gov; zack.farley@minneapolismn.gov;
DAVIDK.WRIGHT@usbank.com; james.felton@usbank.com; jeffrey.shea@usbank.com;
Erin Anderson
Subject: U.S. Bank Branch Development at 333 Hennepin
Attachments: 20150814 - US Bank_Frey.pdf

Councilmember Frey,

On behalf of U.S. Bank, please find attached letter of intent to develop a U.S. Bank branch office to replace the current one located at 333 Hennepin. The new branch will be located at the corner of 4th Street and 1st Avenue and a minor subdivision is proposed to create a second parcel for future development on the 4th Street and Hennepin Avenue corner.

Submissions for Land Use, Minor Sub-Division and Preliminary Development Review will be made Friday, August 14, 2015 intending to be on the September 21, 2015 Planning Commission agenda.

Sincerely – Jeffrey Schoeneck

Jeffrey Schoeneck, AIA, LEED AP
Principal

Cunningham Group Architecture, Inc.

Tel: 612 617 2986 Fax: 612 379 4400 Cell: 612 770 1771
St. Anthony Main, 201 Main Street SE, Suite 325, Minneapolis, MN 55414
jschoeneck@cunningham.com www.cunningham.com

CC: Heidi Ritchie Aide
Zack Farley Aide
David K Wright US Bank
Jeffrey Shea US Bank
James Felton US Bank
Erin Anderson Cunningham Group



August 14, 2015

Mr. Victor Grambsch
Nicollet Island East Bank Neighborhood Association

**Subject: U. S. Bank – Branch Replacement at 330 Hennepin Avenue
Land Use Application**

Dear Mr. Grambsch:

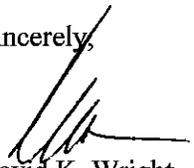
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U. S. Bank Corporate Real Estate
Vice President
2800 East Lake Street
Minneapolis, Minnesota 55406
(612) 728-8420
davidk.wright@usbank.com

From: Jeffrey Schoeneck
Sent: Friday, August 14, 2015 8:46 AM
To: pvictor@eudaemonics.com
Cc: DAVIDK.WRIGHT@usbank.com; jeffrey.shea@usbank.com; james.felton@usbank.com; Erin Anderson
Subject: U.S. Bank Branch Development at 333 Hennepin
Attachments: 20150814 - US Bank_Grambsch.pdf

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Erin Anderson Cunningham Group