

**LAND USE APPLICATION SUMMARY**

*Property Location:* 1409 Willow Street  
*Project Name:* MINC Loring Park  
*Prepared By:* Mei-Ling Smith, City Planner, (612) 673-5342  
*Applicant:* Verizon Wireless  
*Project Contact:* Brian Kabat, Buell Consulting, Inc.  
*Request:* To increase the maximum permitted height in the SH Shoreland Overlay District to allow a telecommunications equipment shelter on an existing building.

*Required Applications:*

<b>Conditional Use Permit</b>	To increase the maximum permitted height from 35 feet to 75 feet in the SH Shoreland Overlay District to allow a telecommunications equipment shelter on an existing building.
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**SITE DATA**

<b>Existing Zoning</b>	OR3 Institutional Office Residence District DP Downtown Parking Overlay District SH Shoreland Overlay District
<b>Lot Area</b>	20,799 square feet / 0.48 acres
<b>Ward(s)</b>	7
<b>Neighborhood(s)</b>	Citizens for a Loring Park Community
<b>Designated Future Land Use</b>	Mixed Use
<b>Land Use Features</b>	n/a
<b>Small Area Plan(s)</b>	<u>Loring Park Neighborhood Master Plan (2013)</u>

<b>Date Application Deemed Complete</b>	October 8, 2015	<b>Date Extension Letter Sent</b>	Not applicable.
<b>End of 60-Day Decision Period</b>	December 7, 2015	<b>End of 120-Day Decision Period</b>	Not applicable.

## BACKGROUND

**SITE DESCRIPTION AND PRESENT USE.** The subject site has an irregular “Z” shape and has frontage on both Willow Street and Spruce Place. The north portion of the site contains a six-story brick building, while the rest of the site is occupied by surface parking areas. The height of the existing building is 72 feet, which includes an existing rooftop penthouse. The site is zoned OR3 Institutional Office Residence District with the DP Downtown Parking and SH Shoreland Overlay Districts.

**SURROUNDING PROPERTIES AND NEIGHBORHOOD.** The surrounding area is zoned primarily OR3 Institutional Office Residence District. Loring Park and Loring Lake are located to the west, across Willow Street. The surrounding area contains primarily medium, high, and very high density residential uses, with intermittent food and beverage uses, and a school. A wide range of commercial uses, including hotels and theaters, are located in the general vicinity to the east, which abuts the downtown area. The Minneapolis Convention Center is four blocks to the east of the subject site.

**PROJECT DESCRIPTION.** The applicant is proposing to construct a 176 square foot equipment shelter on the northwest portion of the existing building’s roof. The footprint of the proposed shelter would be 12 feet by 14 feet, 8 inches, and it would be 11 feet, 10.5 inches in height. The new shelter, as well as the existing penthouse, would house base station equipment for nine panel antennas. The shelter and antennas would be painted to complement the main building, which has a brown brick exterior.

In the SH Shoreland Overlay District, the maximum height of a structure, other than a single- or two-family dwellings, is 2.5 stories or 35 feet, whichever is less. The existing building is 72 feet in height, as measured to the top of the existing rooftop penthouse. The proposed shelter would increase the height of the building from 72 feet to 74.8 feet, for an overall increase of 2.8 feet. A conditional use permit is required to increase the maximum permitted height from 35 feet to 74.8 feet in the SH Shoreland Overlay district.

**PUBLIC COMMENTS.** Staff has not received any comments from the neighborhood or public regarding this proposal at the time of preparing the staff report. Any correspondence received prior to the public meeting will be forwarded on to the Planning Commission for consideration.

## ANALYSIS

### CONDITIONAL USE PERMIT

The Department of Community Planning and Economic Development has analyzed the application to increase the maximum permitted height in the SH Shoreland Overlay District from 35 feet to 75 feet to allow a telecommunications equipment shelter on an existing building based on the following findings:

- 1. The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, comfort or general welfare.*

The maximum allowed height of a structure in the SH district is 2.5 stories or 35 feet, whichever is less. The applicant’s proposal to install an equipment shelter that is 11 feet, 10.5 inches in height would increase the existing building’s height from 72 feet to 74.8 feet. The applicant has presented documentation showing that the use would be established in accordance with all applicable local and federal laws. Provided all regulations are followed in operating the facility, staff finds that the increase in height to allow the equipment shelter would not be detrimental to or endanger the public health, safety, comfort, or general welfare.

2. *The conditional use will not be injurious to the use and enjoyment of other property in the vicinity and will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.*

The purpose of the new equipment shelter is to improve coverage and capacity for Verizon users in the Loring Park area. As conditioned, the project would also result in site improvements in and around the property's parking areas, which would benefit surrounding properties. The applicant is proposing to attach the antennas to the side of the shelter so that they would not extend above the tallest point on the shelter (or building), and both the shelter and antennas would be painted to match the existing brick building. The shelter would be located approximately 19 feet from the front building wall and 6.5 feet from the north interior building wall. Given the location of the shelter on the roof and behind the parapet, the shelter would have limited visibility, if any, from nearby properties. The use is not expected to impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

3. *Adequate utilities, access roads, drainage, necessary facilities or other measures, have been or will be provided.*

The site is served by existing infrastructure. The applicant will be required to work with the Public Works Development, the Plan Review section of CPED, and various utility companies during the duration of the project to ensure that all procedures are followed in order to comply with other applicable City requirements. Increasing the maximum allowed height of a building from 35 feet to 75 feet, or 2.8 feet above the existing building height, would not have an impact on utilities, access roads, or drainage.

4. *Adequate measures have been or will be taken to minimize traffic congestion in the public streets.*

The 176 square foot rooftop equipment shelter would not have an impact on traffic congestion in the public streets. There is adequate parking on the site serving the existing building.

5. *The conditional use is consistent with the applicable policies of the comprehensive plan.*

The subject site is identified as Mixed Use on the City's future land use map. This designation may include either a mix of retail, office, or residential uses within a building or district. As conditioned, the proposed development would be consistent with the following general land use policies of *The Minneapolis Plan for Sustainable Growth*:

**Land Use Policy 1.4: Develop and maintain strong and successful commercial and mixed use areas with a wide range of character and functions to serve the needs of current and future users.**

- 1.4.1 Support a variety of commercial districts and corridors of varying size, intensity of development, mix of uses, and market served.

**Economic Development Policy 4.3: Develop and maintain the city's technological and information infrastructure to ensure the long-term success and competitiveness of Minneapolis in regional, national and global markets.**

- 4.3.1 Promote the use of best available technology in upgrading communication linkages to the region and the world.
- 4.3.2 Develop new and innovative means for city government to communicate with businesses.
- 4.3.3 Develop technological and information infrastructure in order to offer high quality working environments for businesses.

**Urban Design Policy 10.18: Reduce the visual impact of automobile parking facilities.**

- 10.18.1 Require that parking lots meet or exceed the landscaping and screening requirements of the zoning code, especially along transit corridors, adjacent to residential areas, and areas of transition between land uses.
- 10.18.2 Parking lots should maintain the existing street face in developed areas and establish them in undeveloped areas through the use of fencing, walls, landscaping or a combination thereof along property lines.

6. *The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.*

If the requested land use applications are approved, as conditioned, the proposal will comply with all provisions of OR3, DP, and SH districts.

Landscaping and screening

Parking lots with four or more spaces are subject to the landscaping, screening, and curbing requirements in section 530.170 of the zoning code. There are two parking areas on the site which contain a total of 53 spaces. The surface parking lot on the west faces Willow Street and contains 22 parking spaces. There is another parking lot to the east, which faces Spruce Place, and contains 31 parking spaces. Approximately 48 feet of the Willow Street lot's southern perimeter is shared with the Spruce Place lot's northern perimeter.

The existing parking lots are subject to compliance with section 530.170 (b) of the zoning code, which requires a minimum seven-foot landscaped yard and three-foot screen along the west and east parking lot frontages. The landscaped yard between the west parking area and property line is approximately 3.5 feet wide. The landscaped yard between the east parking area and property line is between approximately zero and four feet in width, so neither parking area complies with the minimum seven foot landscaped yard. The Willow Street parking lot complies with the screening requirement, while the Spruce Place lot does not. The Spruce Place lot has an existing four-foot chain link fence and two canopy trees located partially within the required landscaped yard. Strict compliance with the applicable standards for the landscaping and screening would be practically or economically infeasible given the location of the existing parking areas and trees on the site. However, staff is recommending that the applicant be required to bring the Spruce Place parking lot frontage into greater compliance with the requirements of section 530.170 (b) by providing a minimum four-foot landscaped yard and by replacing the existing chain link fence with a three-foot ornamental fence and perennials or grasses.

The existing parking lots are also subject to compliance with section 530.170 (c) of the zoning code, which requires a minimum seven-foot landscaped yard and six-foot, 95 percent opaque screen along parking areas that abut a residence or office residence district, or any permitted or conditional residential use. The parking areas abut the OR3 Institutional Office Residence District to the east and south of the Willow Street parking lot, and to the north and south of the Spruce Place parking lots. There are three fences between these parking areas and the adjacent office residence district ranging from between four and six feet in height. The fence materials are not consistent, as they include decorative metal, uncoated chain link, and wood and metal. Strict compliance with the applicable standards for that require a six-foot, 95 percent opaque screen on all six applicable sides of the parcel would be practically or economically infeasible given the irregular shape of the site. In addition, requiring an on-site seven-foot landscaped yard between the parking areas and OR3 district would cause the existing drive aisle to fall below the 22-foot minimum and become non-conforming.

The zoning code requires that at least one canopy tree be provided for every 25 linear feet of parking areas with public street frontage. Both the Willow Street and Spruce Place parking lots contain approximately 42 feet of public street frontage, which requires two canopy trees for each parking lot frontage. There are two existing canopy trees in the adjacent public right-of-way along Willow. There are also two existing canopy trees partially located on-site (and within the adjacent public right-of-way) along the Spruce Place parking frontage. Given that there are existing trees located along the public street frontage in these locations, strict compliance with the applicable standards would be practically or economically infeasible.

In addition, parking lots with ten or more spaces are required to have each parking space within 50 feet from the center of an on-site deciduous tree. There are numerous existing canopy trees located on adjacent parcels or within the adjacent public right-of-way. Given the lack of available options for providing additional on-site landscaped yards, it would not be practically or economically feasible to require strict compliance with the tree distance requirement for all parking spaces.

#### Refuse screening

All refuse and recycling storage containers are subject to the screening requirements in Chapter 535:

*535.80. Screening of refuse and recycling storage containers.*

*Refuse, recycling storage, and compost containers shall be enclosed on all four (4) sides by screening compatible with the principal structure not less than two (2) feet higher than the refuse container or shall be otherwise effectively screened from the street, adjacent residential uses located in a residence or office residence district and adjacent permitted or conditional residential uses. Single and two-family dwellings and multiple-family dwellings of three (3) and four (4) units shall not be governed by this provision.*

The refuse and recycling containers serving the property are not currently enclosed. To comply with the screening requirements, staff is recommending a condition of approval that the final site plan and elevations shall show the location, materials, and height of an enclosure that meets the requirements of 535.80.

#### **Additional Standards to Increase Maximum Height**

In addition to the conditional use permit standards, the Planning Commission shall consider, but not be limited to, the following factors when determining the maximum height of principal structures in commercial districts:

1. *Access to light and air of surrounding properties.*

The height of the main flat-roof building and parapet is approximately 66 feet in height. Approximately 176 square feet of the proposed building would be 75 feet in height, which is approximately 5 percent of the building footprint. The shelter itself is approximately 11 feet, 10.5 inches in height and is not expected to have any effect on surrounding properties' access to light and air.

2. *Shadowing of residential properties, significant public spaces, or existing solar energy systems.*

The nearest solar energy system is located at 1301 2<sup>nd</sup> Avenue S, which is approximately 0.4 miles to the east of the building. Based on the photo simulations provided by the applicant, the shelter would be visible from some locations in Loring Park. Staff finds that the conditional use would not result in the shadowing of residential properties, significant public spaces, or existing solar energy systems.

3. *The scale and character of surrounding uses.*

The maximum height for a structure in the R1 and SH districts is 2.5 stories, or 35 feet, whichever is less. The proposed shelter would increase the building's height from 72 feet to 74.8 feet. The applicant has provided a west elevation of the building from Willow Street that shows the height of other buildings on the block, including one building that is 84 feet in height. The proposed equipment shelter would be consistent with the scale and character of surrounding uses.

4. *Preservation of views of landmark buildings, significant open spaces or water bodies.*

Allowing an increase in height from the permitted 35 feet to 75, and a 2.8 foot increase above the existing height of 72 feet, to allow an equipment shelter would not significantly block views of landmark buildings, significant open spaces, or bodies of water. The lake to the west of the site would not be impacted by the conditional use.

**Additional Standards for Conditional Use Permits within the SH Shoreland Overlay District**

In addition, the Planning Commission shall consider, but not be limited to, the following factors when considering conditional use permit or variance requests within the SH Shoreland Overlay District:

1. *The prevention of soil erosion or other possible pollution of public waters, both during and after construction.*

There are no public waters within or abutting the subject site. The proposed development will occur on the existing building's roof and will not disturb any site area. The applicant will be required to comply with all applicable City regulations during construction. Erosion control methods should be in place while implementing any site improvements required as conditions of approval.

2. *Limiting the visibility of structures and other development from protected waters.*

The proposed shelter would have limited visibility from Loring Lake, which is located approximately 380 feet to the west of the subject site. There are several existing mature trees in Loring Park that help to limit the visibility of the building.

3. *The suitability of the protected water to safely accommodate the types, uses and numbers of watercraft that the development may generate.*

This standard is not applicable for the proposed development.

**RECOMMENDATIONS**

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt staff findings for the conditional use permit application by Brian Kabat, on behalf of Verizon Wireless, for the property located at 1409 Willow Street:

**A. Conditional Use Permit to increase maximum height.**

Recommended motion: **Approve** the application for a conditional use permit to increase the maximum permitted height from 35 feet to 75 in the SH Shoreland Overlay District to allow a telecommunications equipment shelter on an existing building, subject to the following conditions:

- I. The conditional use permit shall be recorded with Hennepin County as required by Minn. Stat. 462.3595, subd. 4 before building permits may be issued or before the use or activity requiring a conditional use permit may commence. Unless extended by the zoning administrator, the conditional use permit shall expire if it is not recorded within two years of approval.

2. Approval of the final site, landscaping, and elevation plans by CPED.
3. All site improvements shall be completed by November 2, 2017, unless extended by the zoning administrator, or the permit may be revoked for non-compliance.
4. The applicant shall provide a minimum four-foot landscaped yard along the Spruce Place parking lot frontage.
5. The applicant shall remove the existing chain link fence within the required landscaped yard adjacent to Spruce Place and replace it with a three foot ornamental fence, and perennials or grasses, to comply with the screening requirements of section 530.170 of the zoning code.
6. The final site plan and elevations shall show the location, materials, and height of an enclosure that meets the requirements of 535.80 for refuse screening.

## ATTACHMENTS

1. Written description and findings submitted by applicant
2. Zoning map
3. Site plan
4. Site survey
5. Plans
6. Building elevations
7. Renderings
8. Photos
9. Correspondence



September 30, 2015

City of Minneapolis  
Community Planning & Economic Development  
Development Services Division  
250 4<sup>th</sup> Street, Room 300  
Minneapolis, Minnesota 55415-1316

Re: STATEMENT OF PROPOSED USE  
Proposed Conditional Use Permit – Building Height Increase in a Shoreland Overlay District  
Verizon Wireless – 1409 Willow Street

To Whom It May Concern:

Verizon Wireless is proposing to build a wireless communications facility (the “facility”) on the rooftop of the Loring Medical Building located at 1409 Willow Street. This letter serves as a “Statement of Proposed Use” regarding the facility.

The purpose of this facility is to provide improved wireless network coverage and capacity in the vicinity of Loring Park in Minneapolis for users of the Verizon network.

In terms of design, the facility will include a 176 square foot equipment shelter (the “shelter”) on the rooftop of the existing building. The shelter will house Verizon’s base station equipment required to operate the facility’s antennas (note: placing the base station equipment inside the building or on the grounds of the property was considered, but there is no adequate space available for such an installation). The shelter and an existing penthouse on the rooftop will serve as support structures for nine (9) panel antennas and related equipment included in the facility’s design. The antennas will be mounted in a manner that they will not extend above the roofline of either the shelter or the penthouse. The shelter and antennas will be painted in a color that complements the appearance of the underlying building.

The facility has been designed in harmony with the Minneapolis Code of Ordinances and has also been reviewed by the State Historic Preservation Office (SHPO). In the opinion of SHPO, the facility as proposed will have no adverse effect on historic properties in the area.



**Buell Consulting, Inc.**  
1360 Energy Park Drive, Suite 210  
Saint Paul, Minnesota 55108  
(425) 281-8215  
[www.buellconsulting.com](http://www.buellconsulting.com)

*Site Acquisition  
Permitting  
Established 1991*

The facility requires a slight increase in the overall height of the Loring Medical Building as the 176 square foot shelter will extend 2.8 feet above the existing rooftop penthouse (the existing overall height of the building is 72.0 feet; the addition of the shelter will increase the overall height to 74.8 feet). As the subject property is located within a Shoreland Overlay District, this increase in overall height requires a Conditional Use Permit. This height increase is necessary for structural engineering purposes, and will allow the facility's nine antennas to be mounted in a manner that they will not extend above the shelter's roofline.

If there are any questions regarding the proposed use, please feel free to contact me by phone at (425) 281-8215 or by email at [bgkabat@gmail.com](mailto:bgkabat@gmail.com). Thank you for your consideration.

Sincerely,

A handwritten signature in black ink, appearing to read 'Brian Kabat', written over a light blue horizontal line.

Brian Kabat  
*Site Acquisition Consultant*  
(425) 281-8215 | [bgkabat@gmail.com](mailto:bgkabat@gmail.com)



September 30, 2015

City of Minneapolis  
Community Planning & Economic Development  
Development Services Division  
250 4<sup>th</sup> Street, Room 300  
Minneapolis, Minnesota 55415-1316

Re: SPECIFIC APPLICATION REQUIREMENTS  
Proposed Conditional Use Permit – Building Height Increase in a Shoreland Overlay District  
Verizon Wireless – 1409 Willow Street

To Whom It May Concern:

Verizon Wireless is proposing to build a wireless communication facility (the “facility”) on the rooftop of the Loring Medical Building located at 1409 Willow Street in Minneapolis. The facility will include placement of a new, 176 square foot equipment shelter (the “shelter”) on the rooftop. The shelter will serve two purposes: first, it will house Verizon’s base station equipment required to operate the facility’s antennas; second, it will serve as a support structure for a number of Verizon’s proposed antennas.

Placing the shelter on the rooftop of the Loring Medical Building will increase the building’s overall height from 72.0 feet to 74.8 feet. Because the building is situated in the Shoreland Overlay District, the increase in height requires a conditional use permit.

The applicable findings for this application – those for (I) all conditional use permits, (II) increasing maximum height, and (III) Shoreland Overlay District or Mississippi River Critical Area Overlay District Variance – are listed below.

I. Findings requested for *All Conditional Use Permits*:

1. The conditional use (an increase in overall height of the Loring Medical Building from 72.0 to 74.8 feet) will not be detrimental to public health, safety, or general welfare. The use will be established, maintained and operated in accordance with all applicable local and federal laws.



2. The conditional use will not be injurious to the use and enjoyment of other property in the vicinity, nor will it impede the normal and orderly development and improvement of surrounding properties for uses permitted in the district. The use will allow the placement of a wireless communication facility that has been designed to improve coverage and capacity for users of the Verizon network in the Loring Park area.
3. Adequate utilities will be provided as necessary for operation of the facility. No access road or drainage improvements need to be made to accommodate the facility.
4. No special additional measures are required to minimize traffic congestion related to this facility. It will be visited approximately once a month by Verizon technicians for routine maintenance.
5. The proposed use is allowable as a conditional use and is consistent with applicable policies of the Comprehensive Plan.
6. In all other respects, the proposed use will conform to all applicable regulations of the Office Residential district the property is located in.

## II. Findings related to *Increasing Maximum Height*:

1. The 2.8 foot height increase will have minimal (if any) impact on surrounding properties' access to light and air. The Loring Medical Building has a footprint of approximately 3,900 square feet. The proposed height increase only applies to approximately 5% of that footprint (the 176 square foot shelter).
2. Due to the small size of the shelter and minimal increase in overall height of this portion of the building, minimal additional shadowing of residential properties and/or significant public spaces is foreseen. No existing solar energy systems will be impacted by the increase in height.
3. The scale and character of surrounding uses should not be impacted by this 2.8 foot increase in height. Note that the Minnesota State Historical Preservation Office (SHPO) has reviewed the proposed facility and has found that it will have no adverse effect on historic properties based on the site plan included in this package. The SHPO opinion letter is enclosed in this package for reference.
4. The SHPO 'no adverse effect' opinion implies that the proposed facility will not impact the preservation of views of landmark buildings, significant open spaces or water bodies.



III. Findings related to the *Shoreland Overlay District or Mississippi River Critical Area Overlay District*:

1. There will be no soil erosion or other possible pollution of public waters during or after construction as a result of the conditional use permit being granted.
2. Existing mature trees in Loring Park greatly limit the visibility of the Loring Medical Building from Loring Pond. The requested increase in height will have very little if any impact on the visibility of the building from protected waters.
3. The project will have no impact regarding the use of watercraft.

Please let me know if you have any questions pertaining to these findings.

Sincerely,

A handwritten signature in black ink, appearing to read 'Brian Kabat'.

Brian Kabat  
*Site Acquisition Consultant*  
(425) 281-8215 | [bgkabat@gmail.com](mailto:bgkabat@gmail.com)

Enc.



# MINC LORING PARK

Design 1

Eden Prairie, MN

**PROPERTY DESCRIPTION:**

(Per Commitment No. 101781 cited in General Note No. 5)

Lots 2 and 3, except the Northerly 53.00 feet of said Lots 2 and 3; Lots 6, 7 and 8, except the South 102.25 feet of said lots 6, 7 and 8; all in Block 3, E.B. Place's Addition to Minneapolis, Hennepin County, Minnesota.

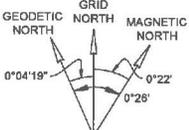
Together with a non-exclusive easement for sanitary sewer purposes as contained in Sanitary Sewer Easement dated 9-30-03, filed 1-14-04 as Document No. 6218592.

**ACCESS AND UTILITY EASEMENT:**

A 7.50 foot easement for access and utility purposes over, under, and across the northerly 7.50 feet of the aforementioned described property. Contains 751 square feet, more or less.

**LEGEND:**

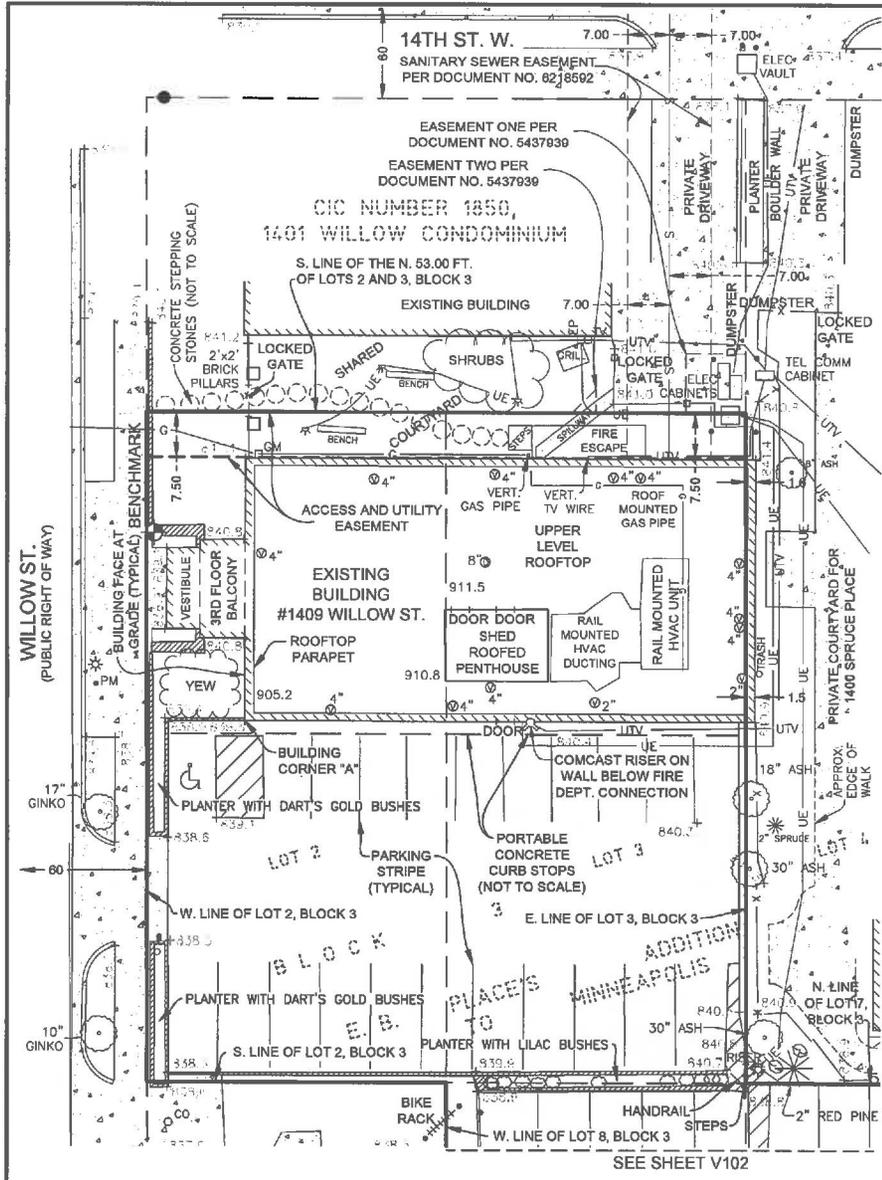
- Found Monument (Minn. License No. shown if legible)
- ⊗ Found "x" in Concrete
- ⊕ Benchmark
- ⊙ CM
- Bollard
- PM Parking Meter
- Fire Dept. Connection
- ⊕ 8" Roof Drain, Inches Dia.
- ⊕ 4" Vent, Inches Dia.
- Existing Spot Elevation
- Handicap Parking
- Floodlight
- Light Pole
- 2" Confiferous Tree, trunk dia.
- Deciduous Tree, trunk dia.
- Rock, 4 foot diameter
- Bituminous Surface
- Concrete Surface
- CNTW Cottonwood
- JUN. Juniper
- X Metal Fence
- Wooden Fence
- C Underground Gas
- UE Underground Electric
- UTV Underground TV
- Concrete Curb and Gutter
- Retaining Wall



CONVERGENCE ANGLE AND MAGNETIC DECLINATION AT BUILDING CORNER "A" (NOT TO SCALE)

BUILDING CORNER "A"

LATITUDE (NAD83): 44° 58' 08.34" NORTH  
 LONGITUDE (NAD83): 93° 16' 54.03" WEST  
 ELEVATION AT GROUND (NAVD88): 839.5 FT



Issue	Date	Description	By
1	09/17/15	Additional Topo	NES
2	09/18/15	Revised General Note	NES

**GENERAL NOTES**

1. Parcel Identification No.: 27-029-24-21-0100.
2. Parcel Address: 1400 Willow St., Minneapolis, MN 55403.
3. Initial field survey completed on April 14, 2014. Additional field survey completed on September 14, 2016.
4. Elevation contour lines shown per field survey. Survey depicts markers shown in a Title Commitment issued by All American Commercial Title, Inc. as agent for Old Republic National Title Insurance Company, Commitment No. 101781, dated 10/18/2013. Items not per schedule B-Section 8.
- (1) Easement for drainage and utility purposes as shown on the recorded plat.
- (15) Terms and conditions of Delegation of Easement dated 7-20-86. Item 2-2-86 see Document No. 6437929.
- (16) Terms and conditions of Sanitary Sewer Easement dated 9-30-03. Item 1-14-04 see Document No. 6218592. Easement shown for informational purposes only and is considered appurtenant in location. The sewer line was not located in the field.
- (17) Survey markers shown on the survey prepared by Ryan, Field & Nevels, Inc. dated 1-15-2007, recorded 2-15-2007. The survey was not provided at the time of this survey.
- Re-locating items are not survey related.
- This survey subject to revision upon receipt of current title report.
- Ulteig does not certify to the completeness of this topographic survey due to the heavy snow cover existing on the site at the time of the field survey.
- All utility companies were notified to mark their service and main lines. All underground utilities shown hereon were either marked by their owners or shown from maps supplied to Ulteig Engineers Inc. by the owners at the time of this survey. Ulteig Engineers, Inc. does not certify to the correctness and/or accuracy of these locations. Persons using this survey should contact each utility company to verify that all lines are shown hereon. Refer to ticket number 13317440 and 162540900. Prior to excavation, the excavator is required to call 800-475-6834 (ONE CALL) or 800-251-1156 for location of underground utilities. Additional information shown per private notes.

**SURVEYORS NOTE**

BEARINGS OF FIELD SURVEY ARE BASED ON NAD83 (2011), HENNEPIN COUNTY COORDINATE SYSTEM.  
 VERT. DATUM = NAVD83  
 UNIT OF MEASURE = US SURVEY FEET

**BENCHMARK**

Top of wall as shown.  
 Elevation = 841.11 Feet (NAVD 88)

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Signed: *Craig P. LaTulipe*

Date: 9/18/2015 Reg. No. 25259



Blomquist-Dewar - Deibel Lakes - Fargo - St. Paul - Sioux Falls  
 4255 Lexington Ave. N.  
 St. Paul, Minnesota 55126  
 Phone: 651.415.3800 Fax: 651.415.2001  
 Web: www.ulteig.com  
 Drawn By: GSR/ES  
 Checked By: CPL  
 Approved By: CPL

MINC LORING PARK  
 TOPOGRAPHIC SURVEY  
 HENNEPIN CO., MINNESOTA

Project Number: 15-02119  
 Date: September 18, 2015  
 Sheet: 1 of 2

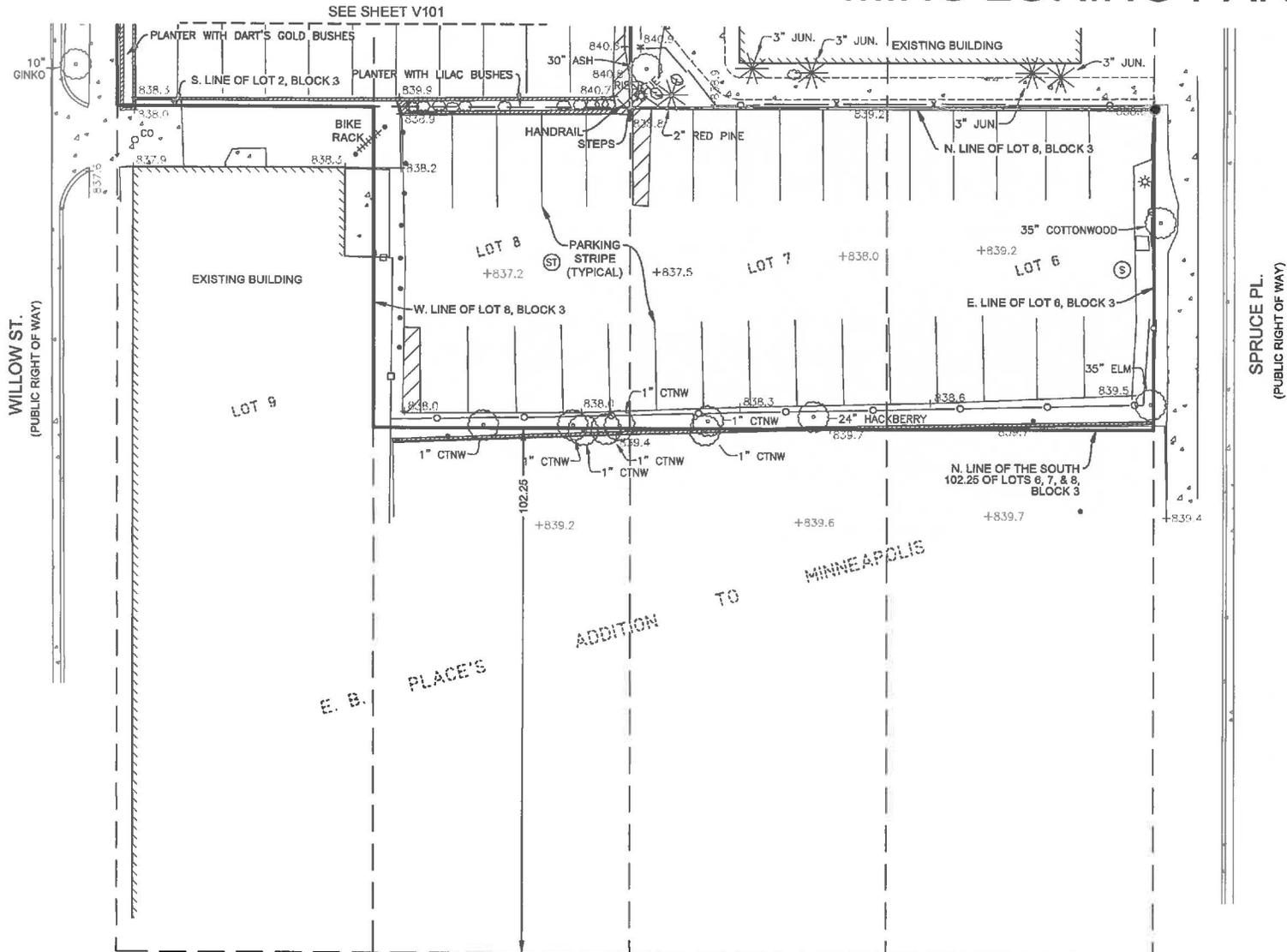
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# MINC LORING PARK

Design 1

Eden Prairie, MN

Issue	Date	Description	By
1	08/17/15	Additional Topo	NES
2	08/18/15	Revised General Notes	NES



**SURVEYORS NOTE**  
 BEARINGS OF FIELD SURVEY ARE BASED ON  
 NAD83 (2011), HENNEPIN COUNTY COORDINATE  
 SYSTEM.  
 VERTICAL DATUM = NAVD83  
 UNIT OF MEASURE = US SURVEY FEET



Benark - Denver - Duluth Lake - Fargo - St. Paul - Sioux Falls  
 4255 Leighton Ave. N.  
 St. Paul, Minnesota 55128  
 Phone: 651.415.3800 Fax: 651.415.2001  
 Web: www.ulteig.com  
 Drawn By: NS  
 Checked By: CPL  
 Approved By: CPL

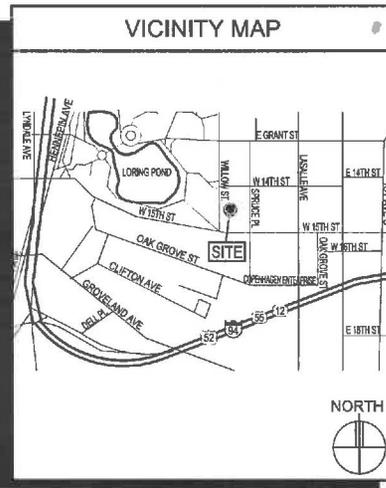
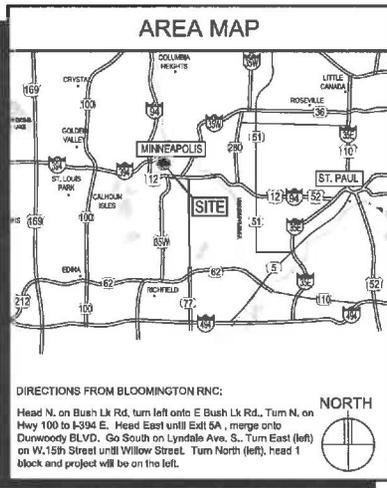
MINC LORING PARK  
 TOPOGRAPHIC SURVEY  
 HENNEPIN CO., MINNESOTA

Project Number: 13022116  
 Date: September 18, 2015  
 Sheets: 2 of 2

**V102**

# VERIZON WIRELESS

## MINC LORING PARK NEW BUILD



### GENERAL NOTES

- In the event that Special Inspections are not performed in compliance with the contract terms, bid specifications and/or specified form, the General Contractor will be liable for all damages, construction performance, failures, and corrective actions related to the same.
- The following general notes shall apply to drawings and govern unless otherwise noted or specified.
- The work delineated in these drawings and described in the specifications shall conform to codes, standards and regulations that have jurisdiction in the state of MINNESOTA, and the city of MINNEAPOLIS.
- Requirements and regulations pertaining to R.F., safety codes and practices must be incorporated in the work even though they may not be listed individually and separately in either the drawings or the specifications.
- Compare field conditions with architectural and engineering drawings. Any discrepancies shall be directed to the Architect for clarification prior to fabrication and/or construction. Submit necessary shop drawings prior to fabrication for approval by the Architect. No information or details on these sheets may be used without the permission of the owner, or the architect.
- Do not scale drawings! 11" x 17" drawings to scale 24" x 36" drawings scale multiply by 2
- Unless otherwise shown or noted, typical details shall be used where applicable.
- Details shall be considered typical at similar conditions.
- Safety measures: The contractor shall be solely and completely responsible for the conditions of the job site, including safety of the persons and property and for independent engineering reviews of these conditions. The Architects or Engineers' job site review is not intended to include review of the adequacy of the contractor's safety measures.
- Within these plans and specifications, "Owner" implies VERIZON WIRELESS.
- The work is the responsibility of the general contractor unless noted otherwise.
- The terms "contractor" and "g.c." refer to the owner's general contractor and the general contractor's sub-contractors. It is the general contractor's responsibility to determine the division of work among sub-contractors.
- The general contractor is responsible in obtaining necessary public and private underground utility locate services prior to start of excavating / construction.
- General Contractor to assemble/construct tower per manufacturers drawings not included in this package.

### VERIZON WIRELESS DEPARTMENTAL APPROVALS

	NAME	DATE
RF ENGINEER	NITHYA S JAIPURIYAR	04.17.14
OPERATIONS MANAGER	KATHY HOFFMAN GILLIS	04.18.14
CONSTRUCTION ENGINEER	STEVE COLLINS	04.23.14
CONSTRUCTION MANAGER		
REAL ESTATE MANAGER		

### LESSOR / LICENSOR APPROVAL

SIGNATURE	PRINTED NAME	DATE
EMAIL		09.29.14

LESSOR / LICENSOR: PLEASE CHECK THE APPROPRIATE BOX BELOW

NO CHANGES.  CHANGES NEEDED. SEE COMMENTS ON PLANS.

### PROJECT INFORMATION

SITE NAME:	MINC LORING PARK
PROJECT NUMBER:	20130957738
SITE ADDRESS:	1409 WILLOW STREET MINNEAPOLIS, MN 55403
COUNTY:	HENNEPIN
LATITUDE:	N44° 58' 06.34" (NAD - 83)
LONGITUDE:	W93° 16' 54.03" (NAD - 83)
GROUND ELEVATION:	839.5' AMSL (NAVD - 88)
ANTENNA TIP HEIGHT:	911.5' AMSL - 72.0' AGL (SECTOR 'Y') 913.4' AMSL - 73.8' AGL (SECTOR 'X' & 'Z')
ANTENNA CENTERLINE HEIGHT:	899.2' AMSL - 89.7' AGL (SECTOR 'Y') 910.3' AMSL - 70.8' AGL (SECTOR 'X' & 'Z')
BUILDING HEIGHT (EXISTING PENTHOUSE):	911.5' AMSL - 72.0' AGL
OVERALL STRUCTURE HEIGHT:	914.3' AMSL - 74.8' AGL (PROPOSED)
DRAWING BASED ON	06.05.15
SITE DATA FORM DATED:	
OCCUPANCY:	B
BUILDING TYPE:	II-B
EQUIPMENT SPACE:	26'-0" X 16'-0" = 416 S.F.
ROOF LOAD:	LIVELOAD = 105 PSF
PARKING:	PROVIDED
ESTIMATED CABLE RUN:	
PROJECT DESCRIPTION:	TO INSTALL EXTERIOR ROOF TOP ANTENNAS AND SUPPORTING EXTERIOR EQUIPMENT TO IMPROVE COMMUNICATION SERVICE IN THE MINNEAPOLIS, MN, AREA.

### SHEET INDEX

SHEET	SHEET DESCRIPTION
T-1	PROJECT INFORMATION, MAPS, DIRECTIONS, AND SHEET INDEX
A-5	OVERALL SITE PLAN
A-1	SITE PLAN / ROOF PLAN
A-2	ENLARGED SITE PLAN / PARTIAL ROOF PLAN AND DETAILS
A-2-1	PARTIAL ROOF PLAN AND ELEVATIONS
A-3	COAX AND ANTENNA KEY AND ONE LINE DIAGRAM
A-3-1	ANTENNA MOUNTING DETAIL AND GPS MOUNTING DETAIL
A-4	EXTERIOR ELEVATIONS AND NOTES
A-4-1	SHELTER PLAN AND ELEVATIONS
A-4-2	EXTERIOR ELEVATIONS
A-5	MISCELLANEOUS DETAILS
A-6	OUTLINE SPECIFICATIONS
G-1 - G3	GROUNDING NOTES, PLAN, EXTERIOR DETAILS, AND DETAILS
U-1 & U-2	UTILITY SITE PLAN, DETAIL, AND NOTES
E-1 - E-7	ELECTRICAL SITE PLAN, DETAILS, NOTES, CABLING DIAGRAMS, AND SCHEDULE
S0 - S8	GENERAL STRUCTURAL NOTES, FRAMING PLAN, BAR GRATING PLAN, AND DETAILS
V-101	SURVEY
A-0 - A-2	ENVIRO BUILDINGS - DATA SHEET ELEVATIONS, PLAN, AND DETAILS

### ISSUE SUMMARY

REV.	DESCRIPTION	SHEET OR DETAIL
A	ISSUED FOR REVIEW - 04.11.14	ALL
B	ISSUED FOR OWNER APPROVAL - 06.02.14	ALL
C	ISSUED FOR OWNER APPROVAL - 06.15.14	ALL
D	ISSUED FOR APPROVAL / BP - 09.05.14	ALL
E	ISSUED FOR APPROVAL / BP - 09.09.15	ALL
F	ISSUED FOR APPROVAL / BP - 09.28.15	ALL
G	ISSUED FOR APPROVAL / BP - 09.28.15	ALL

### CONTACTS

LESSOR / LICENSOR:	WILLOW ASSOCIATES LLC 5707 EXCELSIOR BLVD ST. LOUIS PARK, MN 55416 MEL SCHULTZ, SENIOR MNGR NEW CONCEPTS MANAGEMENT GROUP (952) 259-1222
LESSEE:	VERIZON WIRELESS 10801 BUSH LAKE ROAD BLOOMINGTON, MN 55438 RON REITER (612) 720-0052
POWER UTILITY COMPANY CONTACT:	XCEL ENERGY BOX 9477 MINNEAPOLIS, MN 55464 CONTACT: RYAN KAZECK (612)630-4528 DESIGNEE: DAN MESSNER (612) 630-4167
TELCO UTILITY COMPANY CONTACT:	T.B.D.
ARCHITECT:	DESIGN 1 OF EDEN PRAIRIE, LLC. 9973 VALLEY VIEW ROAD EDEN PRAIRIE, MN 55344 (952) 903-9299
SURVEYOR:	ULTEIG ENGINEERS 4285 LEXINGTON AVE. N. ST. PAUL, MN 55126 MICHAEL CANNON (651) 415-3877
STRUCTURAL ENGINEER:	HERZOG ENGINEERING, LLC. 530 NORTH 3RD STREET MINNEAPOLIS, MN 55401 612.844.1234
ELECTRICAL ENGINEER:	BUSSELL COMPANIES, INC. 15028 MINNETONKA BLVD. ST. MINNETONKA, MN 55345 (952) 931-2111
GEOTECHNICAL ENGINEER:	N/A



I hereby certify that the portion of this technical submittal described below was prepared by me or under my direct supervision and responsible charge. I am a duly registered Architect under the laws of the State of MINNESOTA.  
ROBERT J. DAVIS, Reg. No. 12427

*Robert J. Davis*

Date: 09.09.15 License # 12427



9973 VALLEY VIEW RD.  
EDEN PRAIRIE, MN 55344  
(952) 903-9299  
WWW.DESIGN1EP.COM



10801 BUSH LAKE ROAD  
BLOOMINGTON, MN 55438  
(612) 720-0030

PROJECT  
20130957738  
LOCATION # 276597

MINC  
LORING PARK

1409 WILLOW STREET  
MINNEAPOLIS, MN 55403

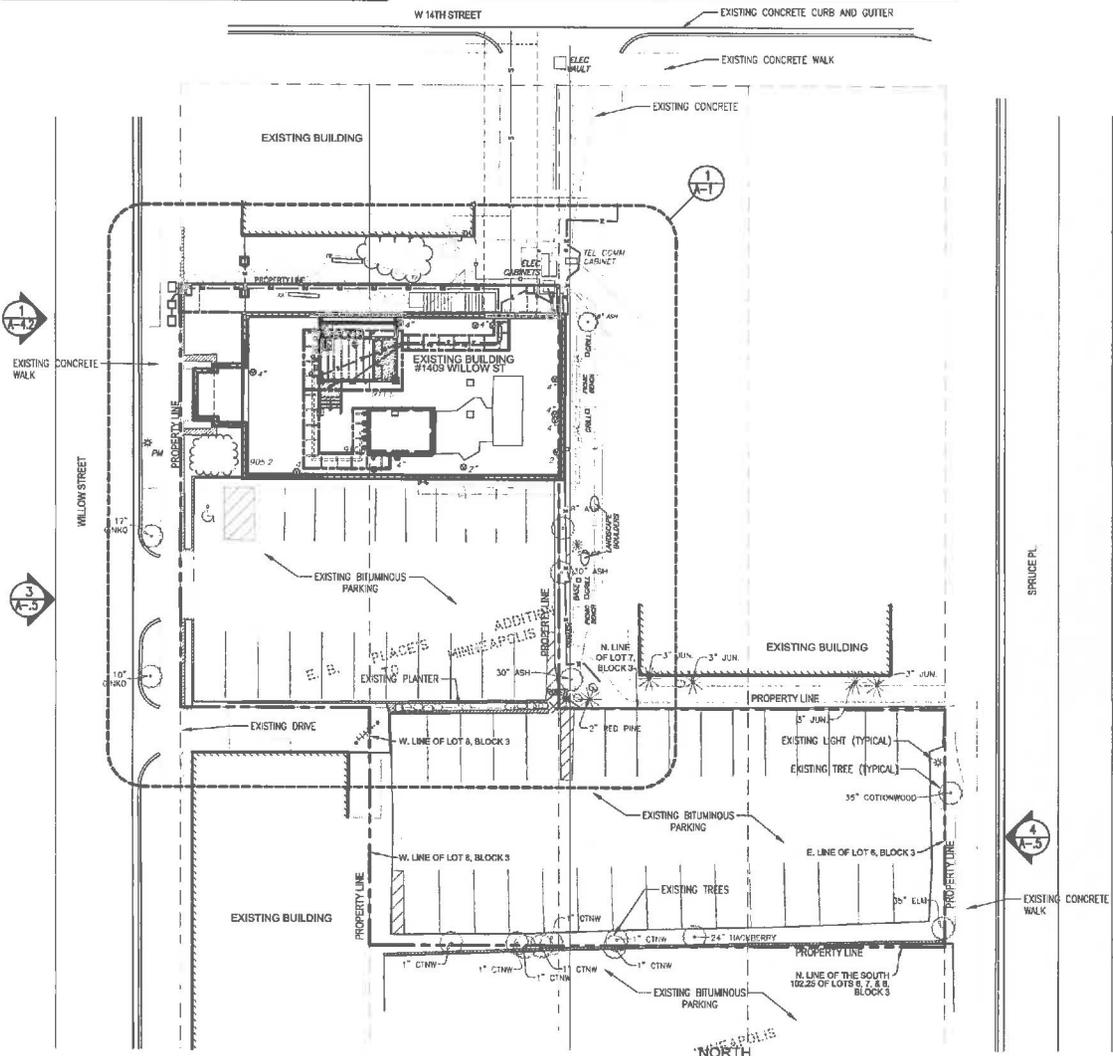
SHEET CONTENTS:  
CONTACTS ISSUE SUMMARY  
SHEET INDEX  
DEPARTMENTAL APPROVALS  
LESSOR APPROVAL  
PROJECT INFORMATION  
AREA & VICINITY MAPS  
GENERAL NOTES

DRAWN BY:	KJM
DATE:	04.09.14
CHECKED BY:	C. BOELTER
REV. A	04.11.14
REV. B	05.02.14
REV. C	08.15.14
REV. D	09.05.14
REV. E	06.09.15
REV. F	09.25.15
REV. G	09.28.15

T-1

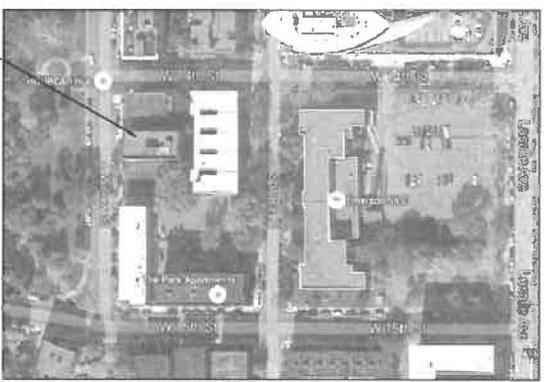
NOTE:  
CONTRACTOR TO CONSTRUCT SITE IN ACCORDANCE WITH THE EES WHICH INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING: T.B.D

NOTE:  
EXISTING ROOF ASSEMBLY MAY BE UNDER WARRANTY. CONTRACTOR TO PROVIDE REQUIRED MATERIALS AND LABOR AT ALL PENETRATIONS USING ROOFING MANUFACTURER WARRANTY APPROVED DETAILS AND MATERIALS. EXISTING ROOFING ASSEMBLY SHALL BE PROTECTED AGAINST DAMAGE DURING THIS WORK AND ANY DAMAGE THAT MAY OCCUR SHALL BE REPAIRED OR REPLACED BY ROOFING CONTRACTOR PER THE EXISTING WARRANTY. CONTRACTOR SHALL COORDINATE PORTIONS OF THE WORK THAT WILL INTERFACE WITH THE ROOF ASSEMBLY.



1 OVERALL SITE PLAN  
SCALE: 1" = 30'-0"

PROPOSED EQUIPMENT SHELTER ON EXISTING ROOFTOP



2 EXISTING CONDITION  
SCALE: NO SCALE



3 EXISTING CONDITION  
SCALE: NO SCALE



4 EXISTING CONDITION  
SCALE: NO SCALE



I hereby certify that the portion of this technical submission described below was prepared by me or under my direct supervision and responsible charge. I am a duly registered Architect under the laws of the State of MINNESOTA. ROBERT J. DAVIS, Reg. No. 12427

Stamp: *Robert J. Davis*  
Date: 06.29.15 License # 12427

**DESIGN1**  
9973 VALLEY VIEW RD.  
EDEN PRAIRIE, MN 55344  
(952) 903-8299  
WWW.DESIGN1PEP.COM

**VERIZON WIRELESS**  
1001 BUSH LAKE ROAD  
BLOOMINGTON, MN 55438  
(612) 720-6030

PROJECT  
20130957738  
LOCATION # 276597

MINC  
LORING PARK

1409 WILLOW STREET  
MINNEAPOLIS, MN 55403

SHEET CONTENTS:  
OVERALL SITEPLAN

DRAWN BY:	KJM
DATE:	04.09.14
CHECKED BY:	C. BOELTER
REV. A	04.11.14
REV. B	05.02.14
REV. C	08.15.14
REV. D	08.05.14
REV. E	08.09.15
REV. F	09.25.15
REV. G	09.28.15

A-5

**NOTE:**  
 1.) CONTRACTOR TO PROVIDE AND INSTALL SIGNAGE WITHIN EQUIPMENT SHELTER AT TWO CONSPICUOUS LOCATIONS. THE SIGNS TO BE 18" WIDE BY 12" TALL WHITE METAL WITH RED VINYL LETTERING STATING "WARNING DO NOT ALTER EQUIPMENT LOAD WITHOUT REVIEW BY STRUCTURAL ENGINEER."  
 2.) CONTRACTOR TO INSTALL R.F. BARRIERS AND CAUTION SIGNAGE PROVIDED AND DIRECTED BY VERIZON CONSTRUCTION ENGINEER

GENERATOR TYPE: N/A - CAM-LOK  
 SHELTER: 14'-8" (X) 12'-0"  
 DESIGNED FOR 25,000 LBS



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 Date: 06.09.16 License # 12427

**DESIGN**  
 9973 VALLEY VIEW RD.  
 EDEN PRARIE, MN 55444  
 (952) 903-9299  
 WWW.DESIGNTEP.COM

**VERIZON WIRELESS**  
 10801 BUSH LAKE ROAD  
 BL COMMINGTON, MN 55438  
 (612) 720-0030

PROJECT  
 20130657738  
 LOCATION # 276597

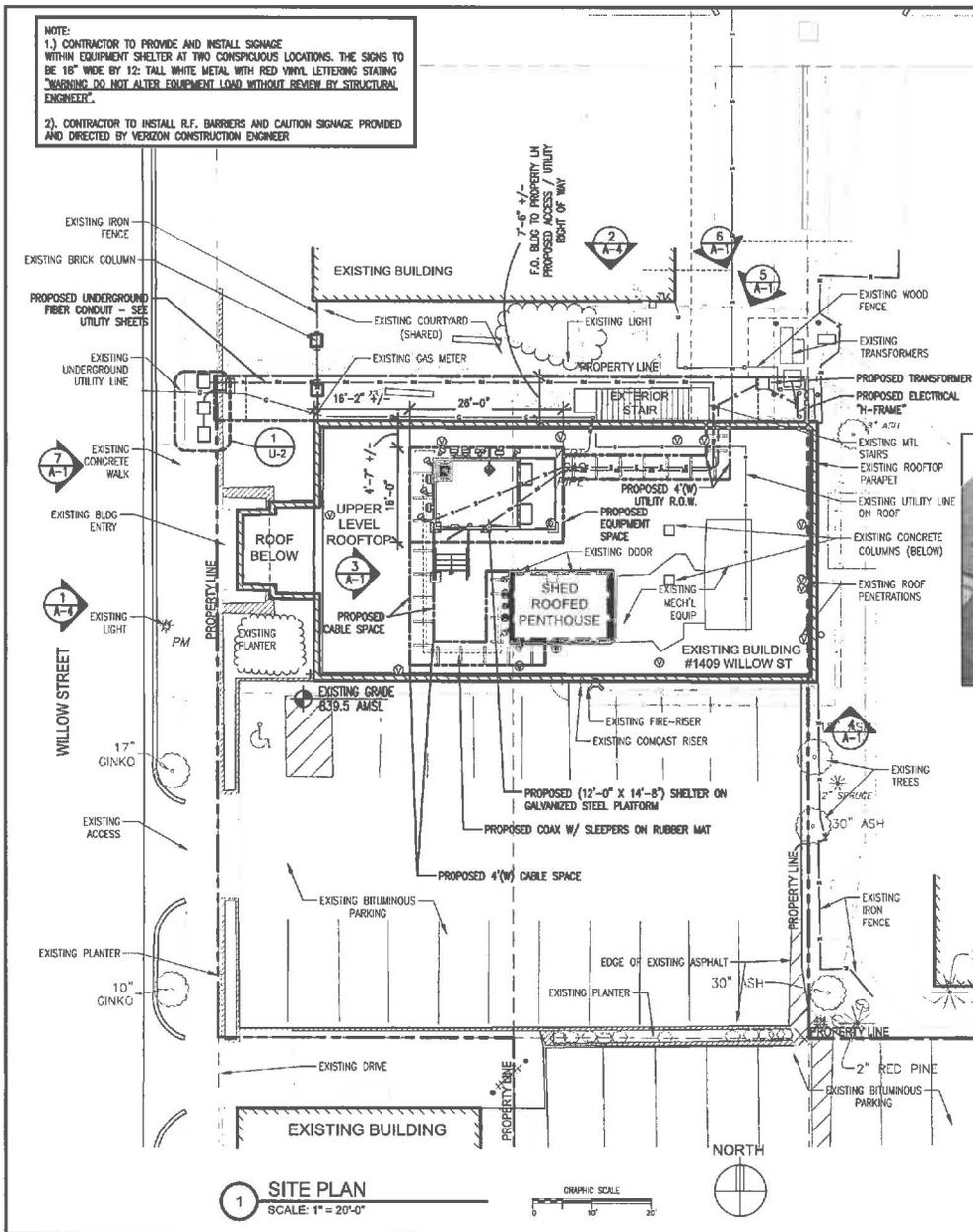
**MINC LORING PARK**

1409 WILLOW STREET  
 MINNEAPOLIS, MN 55403

SHEET CONTENTS:  
 SITE PLAN / ROOF PLAN

DRAWN BY:	KJLM
DATE:	04.09.14
CHECKED BY:	C. BOELTER
REV. A	04.11.14
REV. B	05.02.14
REV. C	08.19.14
REV. D	09.05.14
REV. E	06.09.15
REV. F	09.25.15
REV. G	09.28.15

A-1



7 EXISTING CONDITION  
 SCALE: NO SCALE



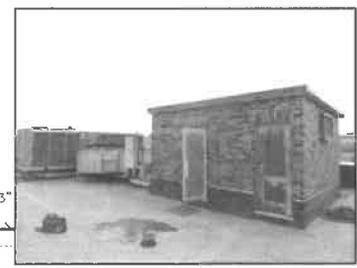
6 EXISTING CONDITION  
 SCALE: NO SCALE



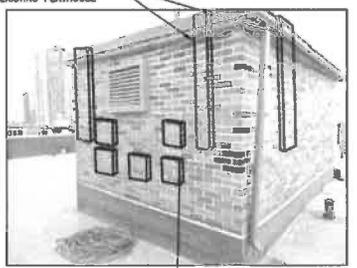
5 EXISTING CONDITION  
 SCALE: NO SCALE



4 EXISTING CONDITION  
 SCALE: NO SCALE

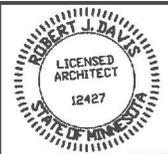
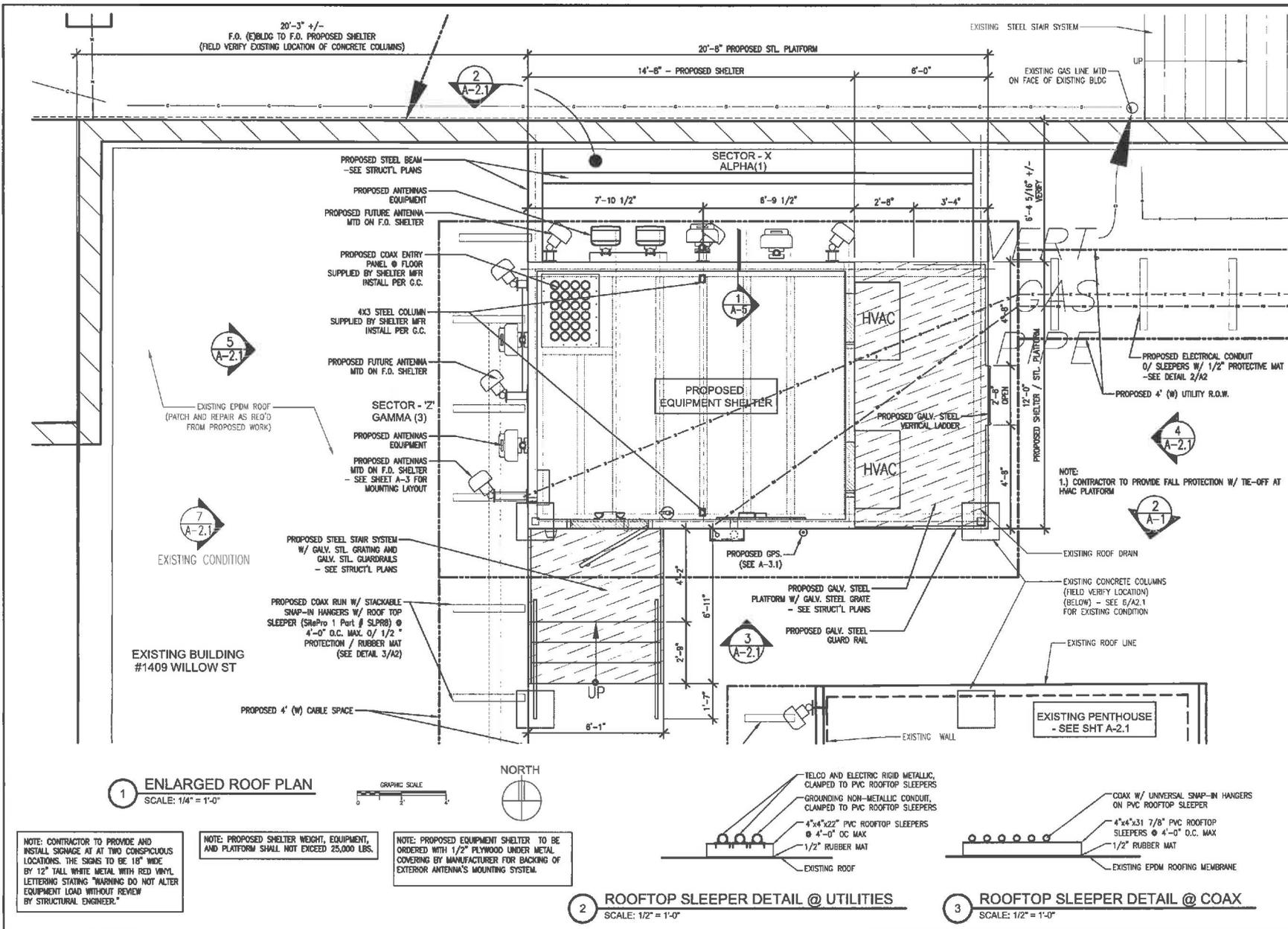


2 EXISTING CONDITION  
 SCALE: NO SCALE



3 EXISTING CONDITION  
 SCALE: NO SCALE

1 SITE PLAN  
 SCALE: 1" = 20'-0"  
 GRAPHIC SCALE  
 NORTH



I hereby certify that the portion of this technical submission described below was prepared by me or under my direct supervision and responsibility charge. I am a duly registered Architect under the laws of the State of MINNESOTA. ROBERT J. DAVIS, Reg. No. 12427

Shane J. Diller

Date: 08.09.15 License # 12427

**DESIGN**

9973 VALLEY VIEW RD.  
EDEN PRAIRIE, MN 55344  
(952) 903-9299  
WWW.DESIGN1EFP.COM

**VERIZON WIRELESS**

10801 BUSH LAKE ROAD  
BLOOMINGTON, MN 55438  
(612) 720-0030

**PROJECT**  
20130957738  
LOCATION # 276597

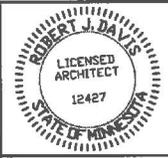
**MINC LORING PARK**

1409 WILLOW STREET  
MINNEAPOLIS, MN 55403

**SHEET CONTENTS:**  
ENLARGED SITE PLAN / PARTIAL ROOF PLAN AND DETAILS

DRAWN BY:	KJM
DATE:	04.09.14
CHECKED BY:	C.BÖELTER
REV. A	04.11.14
REV. B	05.02.14
REV. C	08.15.14
REV. D	09.05.14
REV. E	05.09.15
REV. F	09.25.15
REV. G	09.28.15





I hereby certify that the portion of this technical subdivision described below was prepared by me or under my direct supervision and responsible charge. I am a duly registered Architect under the laws of the State of Minnesota. ROBERT J. DAVIS, Reg. No. 12427

Signature: *Robert J. Davis*  
Date: 08/09/16 License # 12427



PROJECT  
2013085738  
LOCATION # 276597

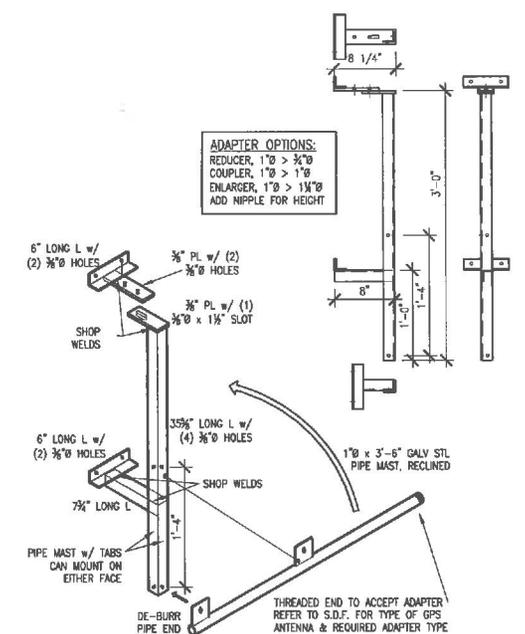
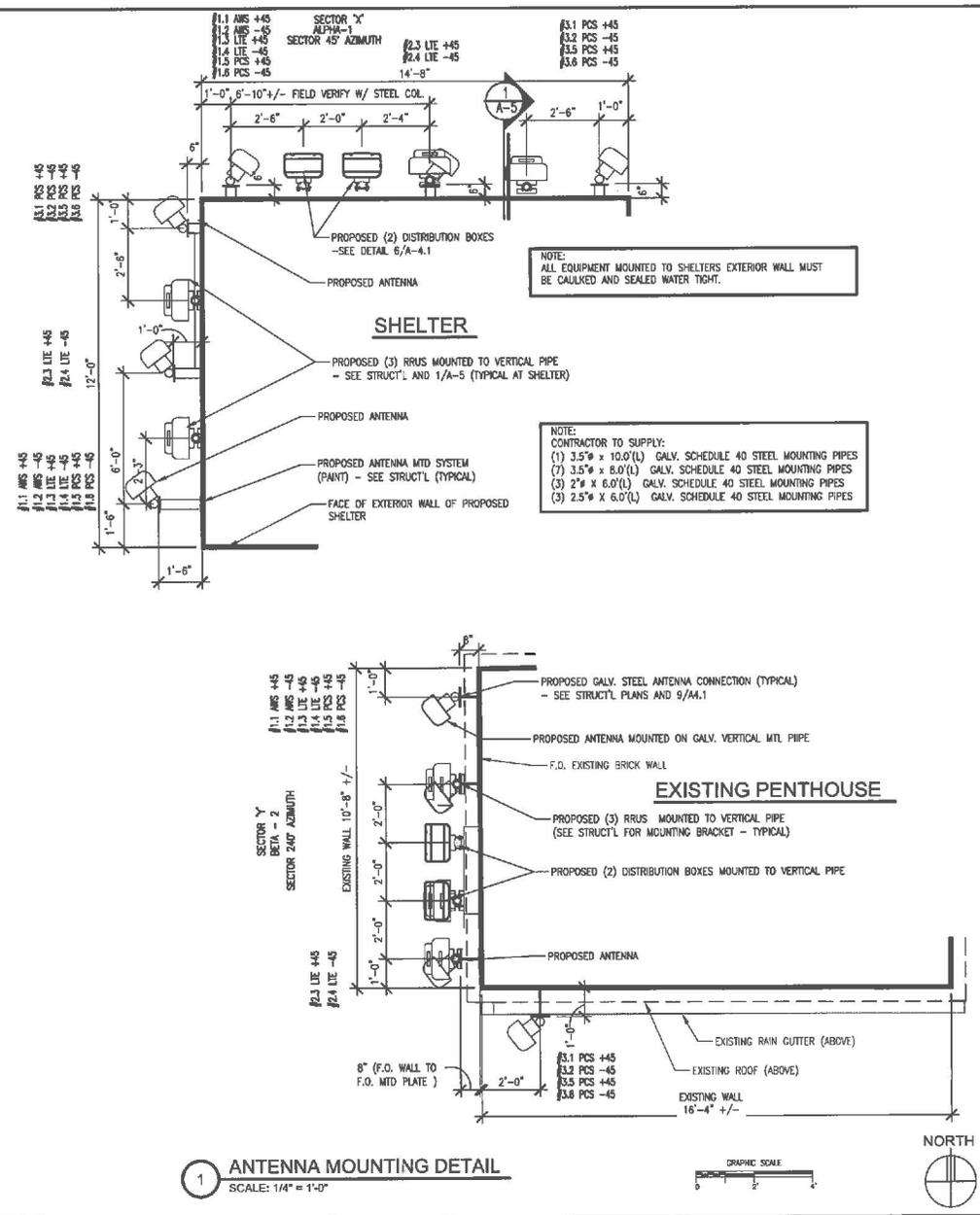
MINC  
LORING PARK

1408 WILLOW STREET  
MINNEAPOLIS, MN 55403

SHEET CONTENTS:  
GPS DETAIL  
ANTENNA MOUNTING DETAIL

DRAWN BY:	KJM
DATE:	04.09.14
CHECKED BY:	C.ROFLTER
REV. A	04.11.14
REV. B	05.02.14
REV. C	08.15.14
REV. D	09.05.14
REV. E	06.09.15
REV. F	09.25.15
REV. G	09.28.15

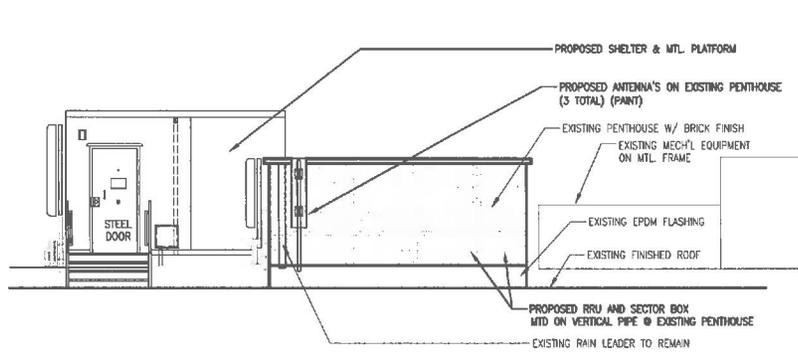
A-3.1



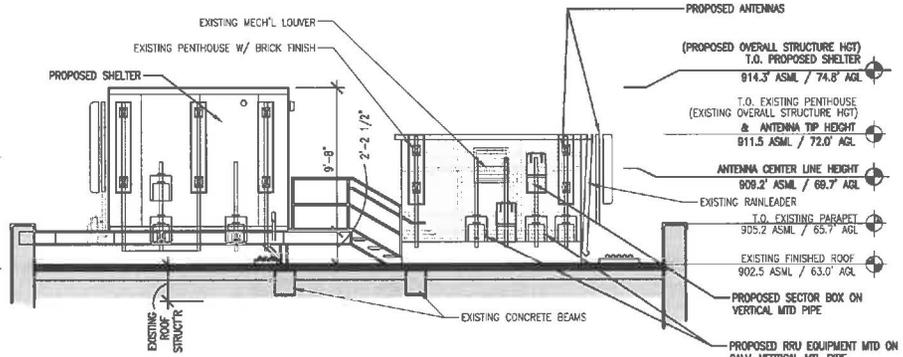
2 GPS MOUNTING DETAIL  
SCALE: 3/4" = 1'-0"  
GRAPHIC SCALE

1 ANTENNA MOUNTING DETAIL  
SCALE: 1/4" = 1'-0"  
GRAPHIC SCALE

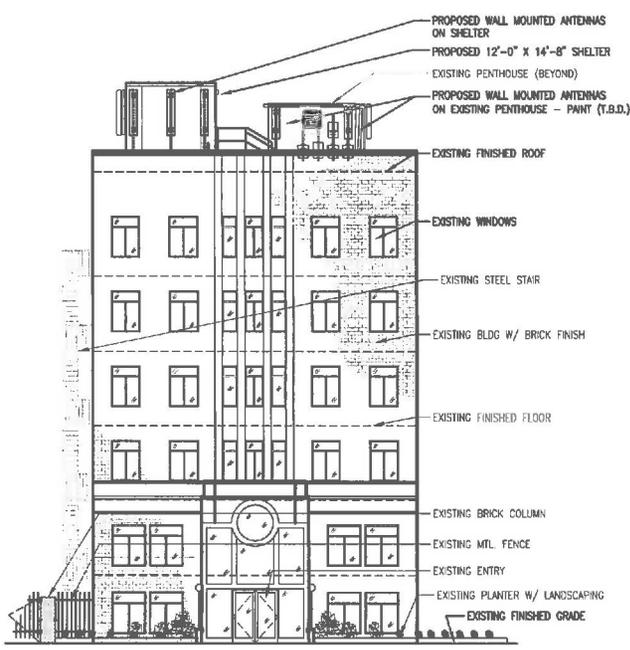




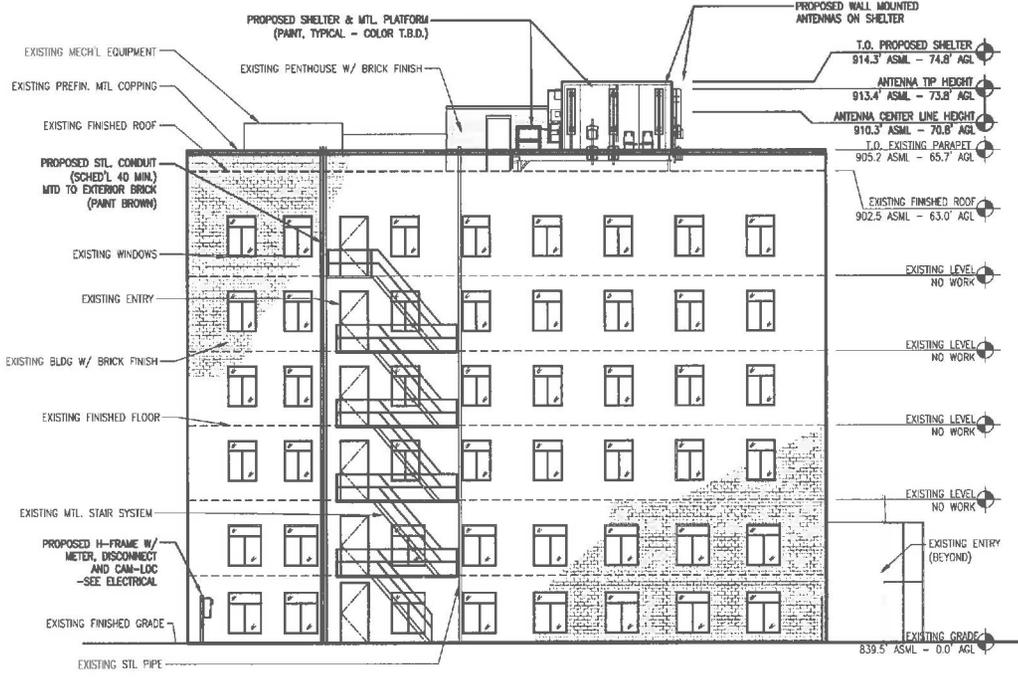
3 SOUTH EXTERIOR ELEVATION @ PENTHOUSE  
SCALE: 1/8"= 1'-0"



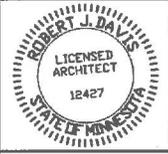
4 EAST EXTERIOR ELEVATION @ PENTHOUSE  
SCALE: 1/8"= 1'-0"



1 WEST EXTERIOR ELEVATION  
SCALE: 1/16"= 1'-0"



2 NORTH EXTERIOR ELEVATION  
SCALE: 1/16"= 1'-0"



I hereby certify that the portion of this technical submission described below was prepared by me or under my direct supervision and responsible charge. I am a duly registered Architect under the laws of the State of Minnesota. ROBERT J. DAVIS, Reg. No. 12427

Signature: *Robert J. Davis*

Date: 08.09.15 License # 12427



PROJECT  
20130957738  
LOCATION # 276597

MINC  
LORING PARK

1409 WILLOW STREET  
MINNEAPOLIS, MN 55403

SHEET CONTENTS:  
EXTERIOR ELEVATIONS

DRAWN BY:	KJM
DATE:	04.09.14
CHECKED BY:	C. BOELTER
REV. A	04.11.14
REV. B	05.02.14
REV. C	08.15.14
REV. D	09.05.14
REV. E	08.09.15
REV. F	09.25.15
REV. G	09.28.15



I hereby certify that the portion of this technical examination described below was prepared by me or under my direct supervision and measurable charge. I am a duly registered architect under the laws of the State of Minnesota. ROBERT J. DAVIS, Reg. No. 12427

Date: 06.06.15 License # 12427

**DESIGN**

10713 VALLBY VIEW RD.  
EDEN PRAIRIE, MN 55344  
(952) 903-0299  
WWW.DESIGN1EP.COM

**VERIZON WIRELESS**

1001 BUSH LAKE ROAD  
BLOOMINGTON, MN 55438  
(612) 790-0036

PROJECT  
20130857738  
LOCATION # 276597

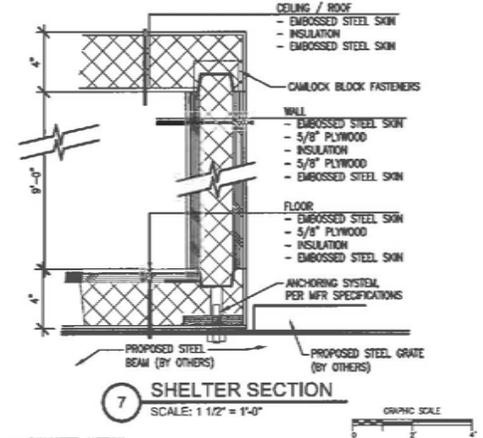
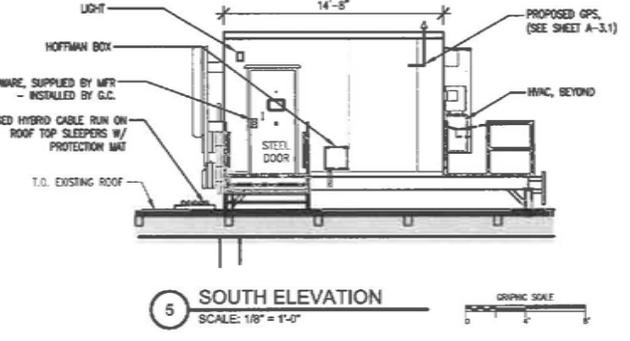
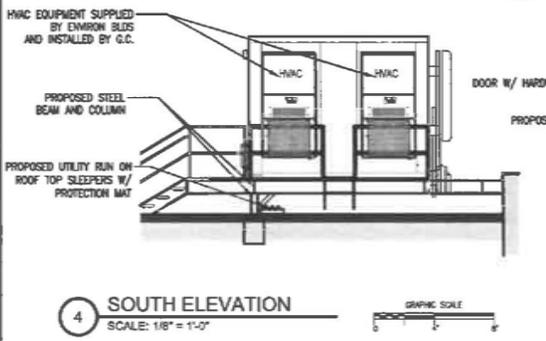
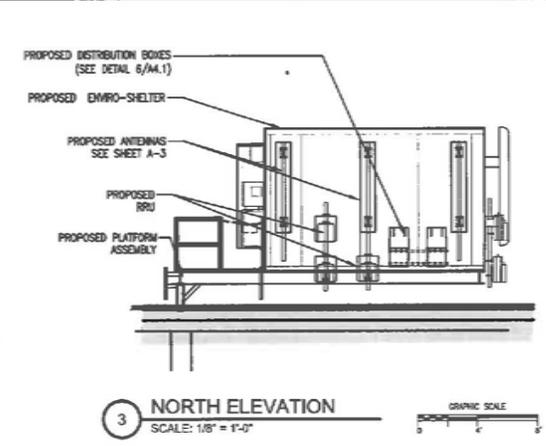
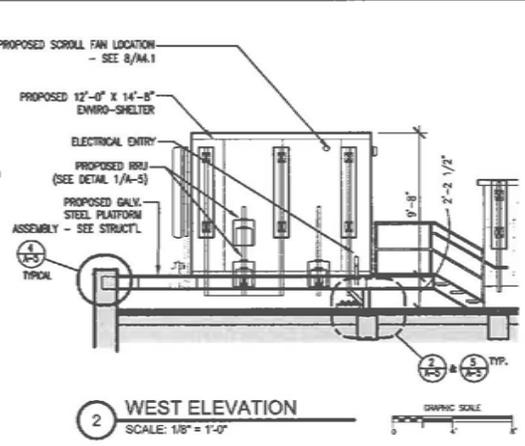
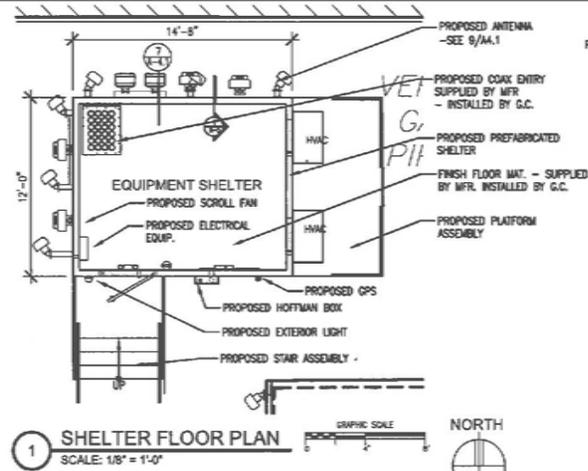
MINC  
LORING PARK

1409 WILLOW STREET  
MINNEAPOLIS, MN 55403

SHEET CONTENTS:  
SHELTER PLAN, ELEVATIONS,  
AND DETAILS

DRAWN BY:	KJM
DATE:	04.02.14
CHECKED BY:	C.BOELTER
REV. A	04.11.14
REV. B	05.02.14
REV. C	08.15.14
REV. D	09.05.14
REV. E	09.09.15
REV. F	09.25.15
REV. G	09.28.15

A-4.1

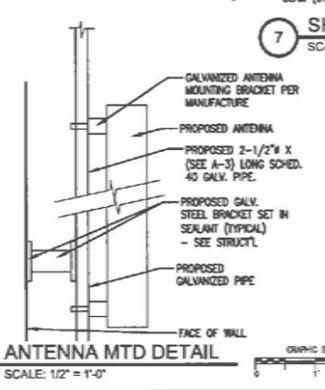
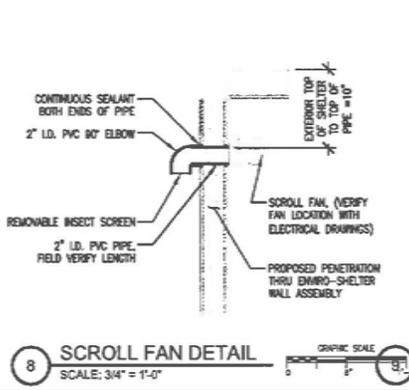
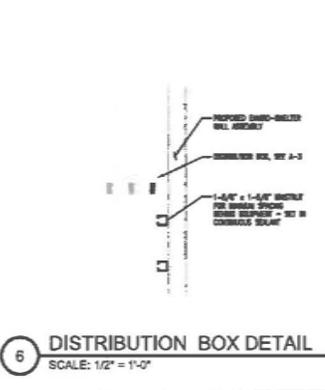


NOTE:  
EMVRO-SHELTER TO BE SUPPLIED BY VERIZON. SHELTER SHALL BE ORDERED IN STUCCO EMBOSSED STEEL. COLOR TO BE (SHERWIN WILLIAMS #CC10000). TRANSPORTING AND SETTING SHALL BE COORDINATED WITH VERIZON AND EMVRO-SHELTER MANUFACTURER.  
EMVRO-BUILDINGS  
305 PRISON AVENUE  
QUINCY, IL 62301  
CLAYTON RUEB, SALES MANAGER  
CLAYTON@EMVROBUILDINGS.COM  
800-728-5454

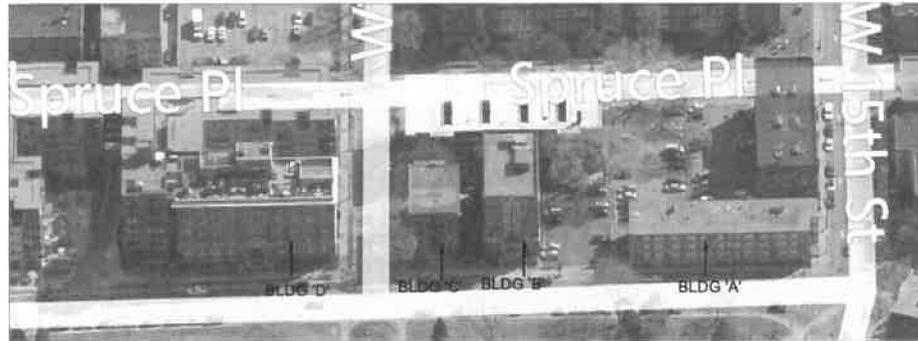
NOTE:  
THE EMVRO-SHELTER SHALL BE ORDERED WITH REINFORCED PANEL CONSTRUCTION CONSISTING OF 1/2" PLYWOOD BEHIND THE FACE OF THE METAL WALL AND FLOOR PANELS.

NOTE:  
SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INTERIOR/EXTERIOR SHELTER MOUNTED EQUIPMENT.

NOTE:  
(ORDER SHELTER WHITE) SHELTER AND SURFACE MOUNTED EQUIPMENT SHALL BE PAINTED (GRAY WITH WHITE SPEDALS.) COLOR T.B.D.



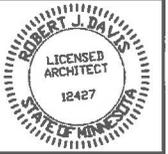
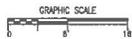
NOTE:  
PROVIDE AND INSTALL SIGNAGE IN TWO (2) CONSPICUOUS LOCATIONS. THE SIGNS ARE TO BE 18" (WIDE) X 12" (HIGH), WHITE METAL WITH RED VINYL LETTERING STATING:  
"WARNING - DO NOT ALTER LOADING OF EQUIPMENT WITHOUT REVIEW BY A STRUCTURAL ENGINEER".



1 EXISTING CONDITION "BIRDS EYE VIEW" @ "WILLOW STREET"  
SCALE: NONE



1 WEST EXTERIOR ELEVATION AT "WILLOW STREET"  
SCALE: 1/16" = 1'-0"



I hereby certify that the portion of this technical submission described below was prepared by me or under my direct supervision and responsible charge. I am a duly registered Architect under the laws of the State of MINNESOTA.  
ROBERT J. DAVIS, Reg. No. 12427

Signature: *Robert J. Davis*  
Date: 08.09.15 License # 12427

**DESIGN**  
9973 VALLEY VIEW RD.  
EDEN PRAIRIE, MN 55344  
(952) 803-4299  
WWW.DESIGN1EP.COM

**VERIZON WIRELESS**  
10801 BUSH LAKE ROAD  
BLOOMINGTON, MN 55438  
(612) 720-0030

PROJECT  
20130957738  
LOCATION # 276597

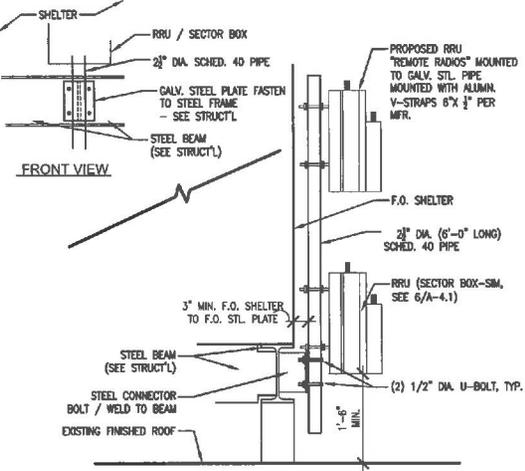
MINC  
LORING PARK

1409 WILLOW STREET  
MINNEAPOLIS, MN 55403

SHEET CONTENTS:  
EXTERIOR ELEVATION

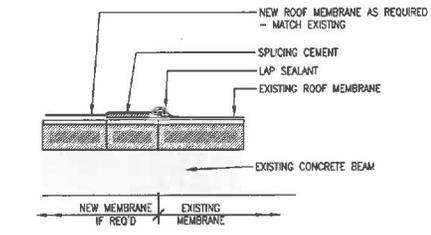
DRAWN BY: KJM  
DATE: 04.09.14  
CHECKED BY: C. BOELTER  
REV. F 09.25.15

A-4.2

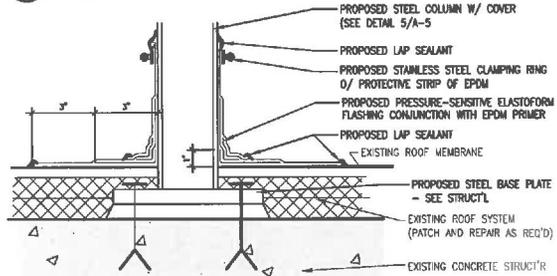


1 RRU DETAIL  
SCALE: 1/2" = 1'-0"

GRAPHIC SCALE



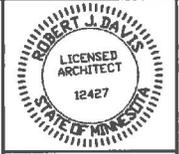
3 ROOF DETAIL  
SCALE: 1 1/2" = 1'-0"



2 ROOF FLASHING DETAIL  
SCALE: 1 1/2" = 1'-0"

NOTE: CONTRACTOR SHALL FLASH AND PATCH EXISTING ROOF AFTER INSTALLATION OF STRUCTURAL PLATFORM POSTS. ALL ROOF FLASHING AND PATCHING SHALL BE COORDINATED WITH OWNERS ROOFING CONTRACTOR TO PRESERVE WARRANTY IF APPLICABLE.

NOTE: CONTRACTOR SHALL FIELD VERIFY THE STRUCTURAL PLATFORM POSTS ARE LOCATED ABOVE EXISTING BEARING STRUCTURE PRIOR TO PLACING THE POSTS AND PLATFORM. SEE STRUCTURAL DRAWINGS.

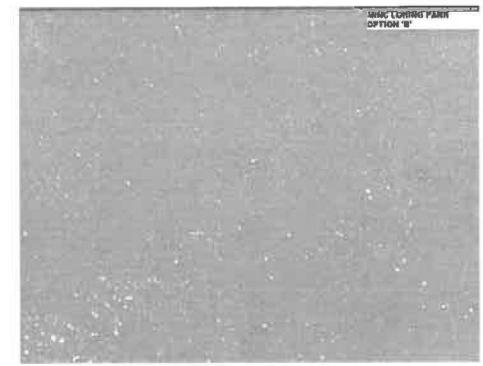


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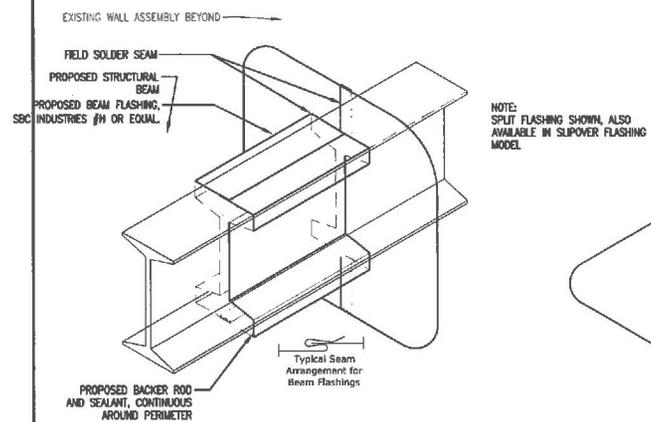
ROBERT J. DAVIS, Reg. No. 12427

Signature: *Robert J. Davis*

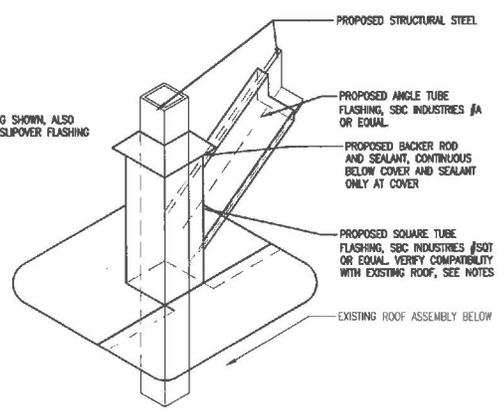
Date: 05.09.15 License # 12427



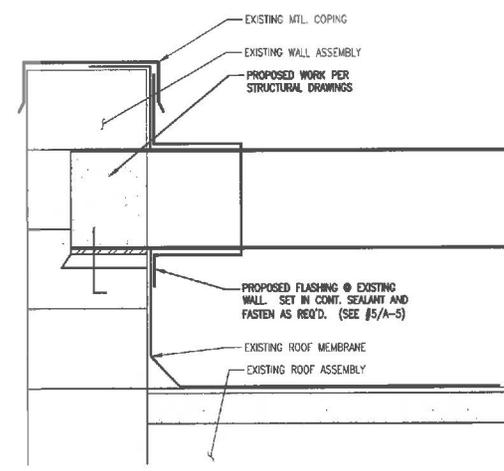
6 SHELTER COLOR  
SCALE: NONE



5 WALL AND COLUMN FLASHING  
SCALE: NOT TO SCALE



4 PARAPET DETAIL  
SCALE: 1" = 1'-0"



**DESIGN**

8973 VALLEY VIEW RD.  
EDEN PRAIRIE, MN 55344  
(952) 903-9290  
WWW.DESIGN1P.COM

**VERIZON WIRELESS**

10801 BUSH LAKE ROAD  
BLOOMINGTON, MN 55438  
(612) 726-0000

PROJECT  
20190957738  
LOCATION # 276597

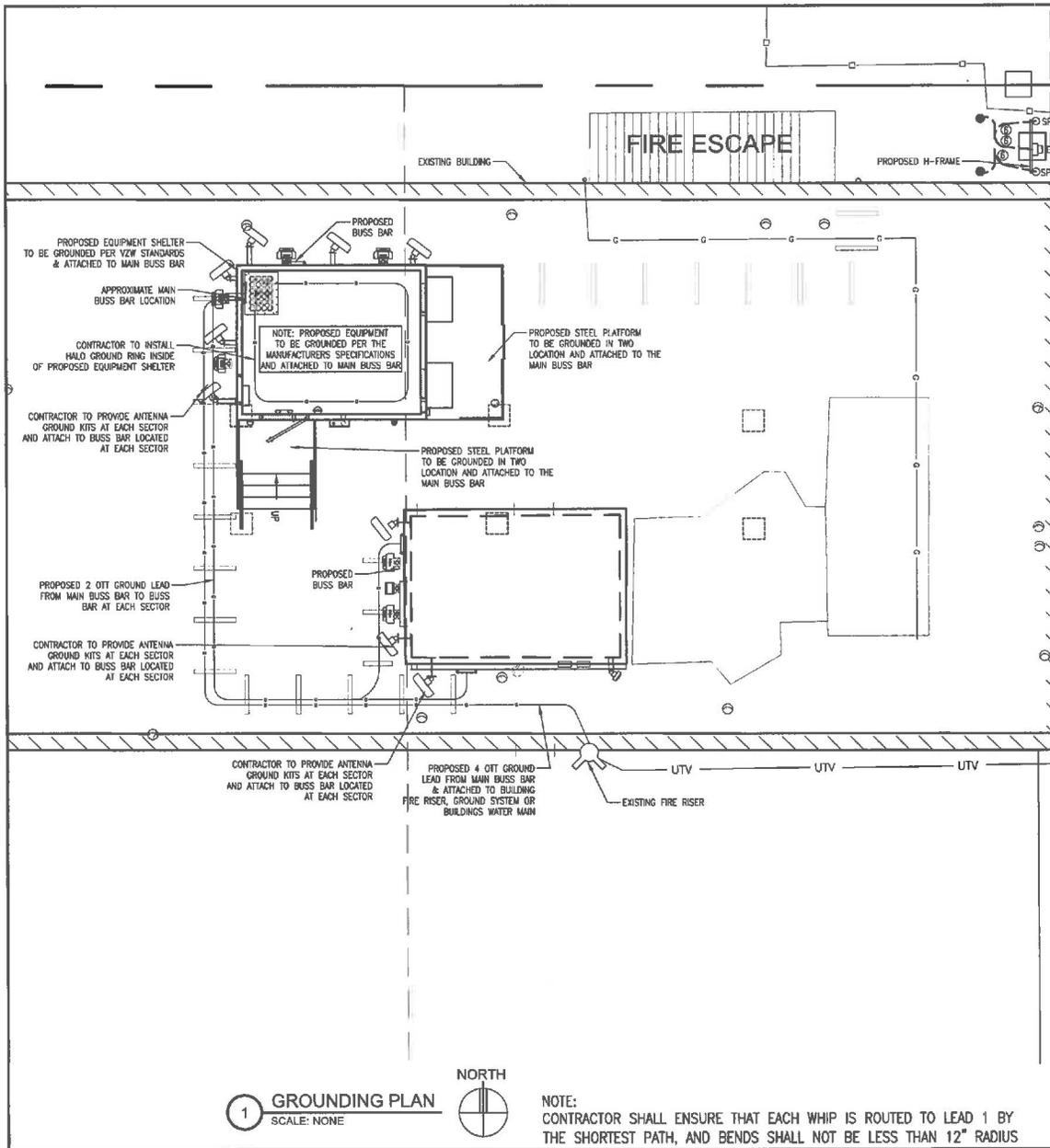
MINC LORING PARK

1409 WILLOW STREET  
MINNEAPOLIS, MN 55403

SHEET CONTENTS:  
MISC. DETAILS

DRAWN BY:	KJM
DATE:	04.09.14
CHECKED BY:	C. BOELTER
REV. A	04.11.14
REV. B	05.02.14
REV. C	08.15.14
REV. D	09.05.14
REV. E	08.09.15
REV. F	09.25.15
REV. G	09.28.15

A-5



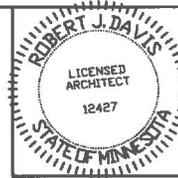
1 GROUNDING PLAN  
SCALE: NONE



NOTE:  
CONTRACTOR SHALL ENSURE THAT EACH WHIP IS ROUTED TO LEAD 1 BY THE SHORTEST PATH, AND BENDS SHALL NOT BE LESS THAN 12" RADIUS

**LEAD IDENTIFICATION & DESCRIPTION:**

- |                                           |                             |                                          |               |
|-------------------------------------------|-----------------------------|------------------------------------------|---------------|
| 1 RING, EXTERNAL BURIED w/ ROODS          | #2 SBTC                     | 25 RING TO NEAREST LIGHTNING ROD         | #2 SBTC       |
| 1A RING, CONCRETE ENCASED                 | #2 SBTC                     | 26 LIGHTING ROD SYS TO NEARBY MTL        | NFPA 780      |
| 2 DEEP ANODE (TO IMPROVE OHMS)            | ROD OR PIPE                 | 27 RING TO TOWER RING                    | (2) #2 SBTC   |
| 3 RING TO BLDG STL FRAME                  | #2 SBTC                     | 28 RING TO SHELTER RING                  | (2) #2 SBTC   |
| 4 MAIN AC PANEL NEUTRAL BUS TO (2) GROUND | RODS, ISOLATED FROM LEAD #1 | 29 BRANCH AC PNL TO BTY CHG FRM          | NSTD33-11     |
| 5 RING TO GROUND BAR                      | NEC 250.66                  | 30 BRANCH AC PNL TO OUTLETS              | NSTD33-11     |
| 6 RING TO EXT MTL OBJECT                  | (2) #2 SBTC                 | 31 MGB/FGB TO PWR. BTY FRAMES            | #2/0 1-STR    |
| 7 DEEP ANODE TO MGB                       | NSTD33-9                    | 32 #31 TO BATTERY CHARGER FRAME          | #6 1-STR      |
| 8 AC PANEL TO WATER METER                 | NEC 250.66                  | 33 #31 TO BATTERY RACK FRAME             | #6 1-STR      |
| 9 EXT WATER TO INT WATER PIPES            | NSTD33-9                    | 34 #31 TO PCU FRAME                      | #6 1-STR      |
| 10 INT WATER PIPE TO MGB                  | NSTD33-9                    | 35 #31 TO DSU FRAME                      | #6 1-STR      |
| 11-12 NOT USED                            |                             | 36 #31 TO PDU FRAME                      | #6 1-STR      |
| 13 AC PANEL TO MGB                        | NSTD33-9                    | 37 MGB/FGB TO RTN TERM CARR SUPP         | #6 1-STR      |
| 14 MGB/FGB TO BLDG STL FRAME              | #2/0 1-STR                  | 38 FGB TO PDU CB                         | #750MCM 1-STR |
| 14C MGB/FGB TO ROOF/WALL MTL PNL          | #1/0 1-STR                  | 38A FGB TO PDU GB CARRIER SUPPLY         | #2/0 1-STR    |
| 15 MGB/FGB TO FGB-SAME FLOOR              | #2/0 1-STR                  | 39 DC BUS DUCT TO NEXT SECTION           | #6 1-STR      |
| 16 NOT USED                               |                             | 40 DC BUS DUCT TO MGB/FGB                | #6 1-STR      |
| 16A ECPGB TO CABLE ENTRY RACK             | #1/0 1-STR                  | 41A MGB/FGB TO #58                       | #2/0 1-STR    |
| 17 MGB TO CABLE SHIELDING                 | #6 1-STR                    | 42-44 NOT USED                           |               |
| 17A ECPGB TO CABLE SHIELDING              | #6 1-STR                    | 45 MAIN AC PNL TO BRANCH AC PNL          | NSTD33-11     |
| 17B MGB/FGB TO F-O SPLICE SHELF           | #1 1-STR                    | 46 BRANCH AC PNL TO DED OUTLET           | NSTD33-11     |
| 18 LOWEST MGB/FGB TO HIGHEST FGB          | #2/0 1-STR                  | 47 FGB TO INTEG FRM                      | #2 1-STR      |
| 19 LEAD 18 TO OTHER FGB, CB               | #2/0 1-STR                  | 48 LEAD #31 TO INTEG FRM                 | #6 1-STR      |
| 20 MGB/FGB TO BRANCH AC PNL               | #6 1-STR                    | 49 INTEG FRM TO EQUIP SHELF BY FASTENERS | #2/0 1-STR    |
| 20A NEAREST GRND TO DISCONNECT PNL        | NEC 250.66                  | 50 PDU BTY RET TO #51                    | #2/0 1-STR    |
| 20B OWB TO AC DISTR PNL                   | #6 1-STR                    | 51 #50 TO TRANS FRM ISO DC PWR           | #6 1-STR      |
| 21 MGB/FGB TO INT HALD                    | #2 1-STR                    | 52 TRANS FRM FUSE TO FRM OR BAR          | #8 1-STR      |
| 21A INTERIOR 'GREEN' HALD                 | #2 1-STR                    | 53A MGB/FGB TO PDF/BDFB                  | NSTD33-22     |
| 21B INT HALD TO EXT RING                  | #2 SBTC                     | 54 MGB/FGB TO STATIC DEVICES             | #6 1-STR      |
| 21C INT HALD TO EQUIPMENT MTL             | #6 1-STR                    | 55 MGB/FGB TO CABLE AT ENTRY             | #6 1-STR      |
| 22 ROOF TOWER RING TO ROOF GRND           | NFPA 780                    | 56 MGB/FGB TO AC PWR RADIO XMITR         | #6 1-STR      |
| 23 MGB/FGB TO ECPGB, SAME FLOOR           | #1 1-STR                    | 57A MGB/FGB TO CSL GRD/RUNWAY            | #2/0 1-STR    |
| 23A MGB/FGB TO CXR-HF LINR PROT           | #6 1-STR                    | 58A #41A TO AISLE FRAME                  | #2 1-STR      |
| 24 ECPGB TO EACH PROTECTOR ASSEMBLY       | #6 1-STR                    | 58A #58A TO EACH SOL FRAME GRND          | #6 1-STR      |
| 24A LOWER PROT ASSY TO UPPER              | #6 1-STR                    | 60-89 NOT USED                           |               |
|                                           |                             | 90 GENERATOR FRAME TO EXT RING           | #2 SBTC       |



I hereby certify that the portion of this technical submission described below was prepared by me or under my direct supervision and responsible charge. I am a duly registered Architect under the laws of the State of MINNESOTA.  
ROBERT J. DAVIS, Reg. No. 12427

Signature: *Robert J. Davis*  
Date: 09.05.14



**VERIZON WIRELESS**  
10911 BUSH LAKE ROAD  
BLOOMINGTON, MN 55438  
(612) 720-0030

PROJECT  
20130957738  
LOCATION #: 276597

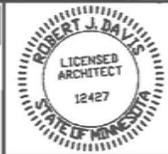
MINC  
LORING PARK

1409 WILLOW STREET  
MINNEAPOLIS, MN 55403

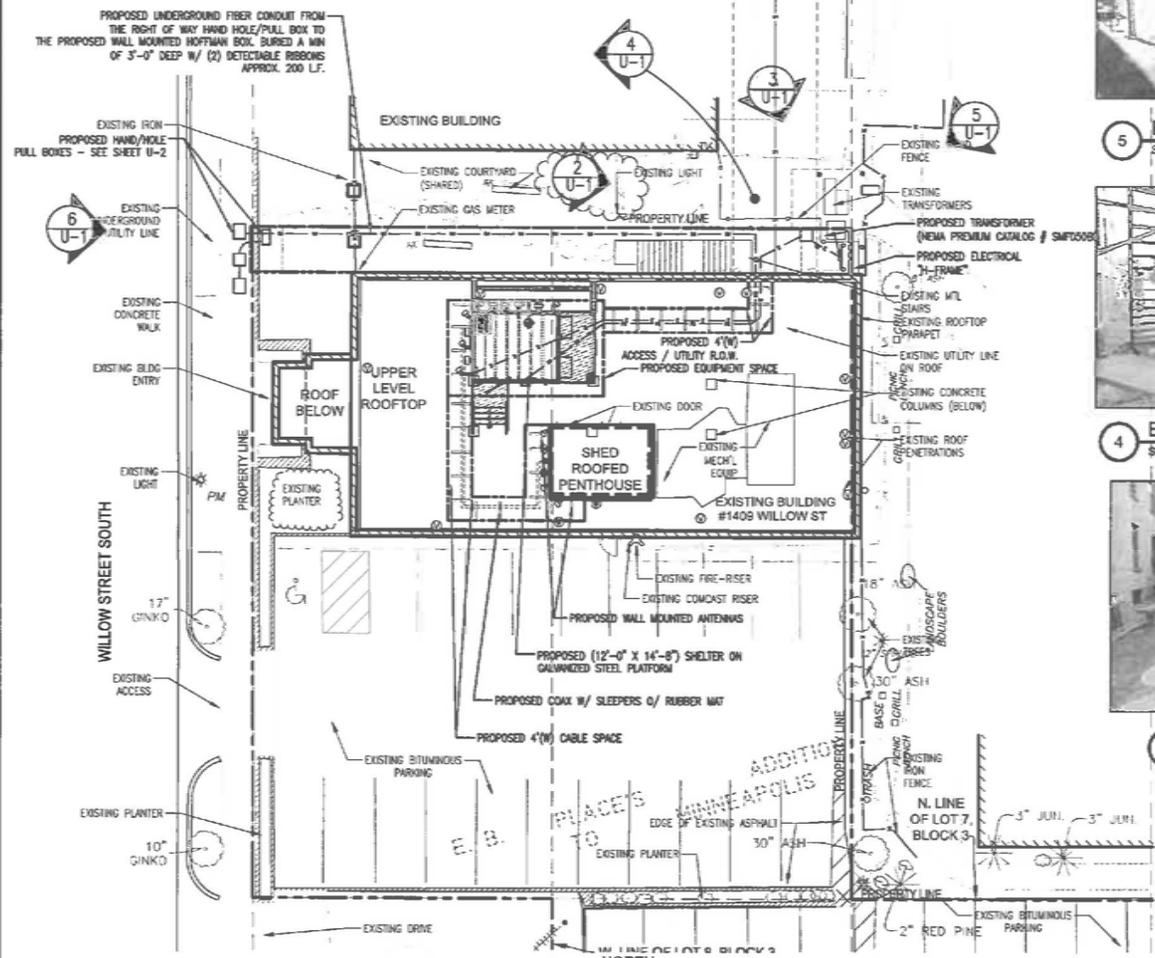
SHEET CONTENTS:  
GROUNDING PLAN  
LEAD IDENTIFICATION  
SHELTER CORNER DETAIL  
FOUNDATION LEADS

DRAWN BY:	APS
DATE:	04-11-14
CHECKED BY:	CDB
REV. A	04-11-14
REV.B	05-02-14
REV.C	08-15-14
REV.D	09-06-14
REV.F	09-25-15
REV.G	09-28-15

POWER TYPE  
120/240 - 1PH - 200AMP



**NOTE:**  
 1. CONTRACTOR TO COORDINATE PUBLIC AND PRIVATE UTILITY LOCATES PRIOR TO CONSTRUCTION START, NOTIFY THE ARCHITECT AND THE VZW CONSTRUCTION ENGINEER IMMEDIATELY OF ANY UTILITY LINE ISSUES.  
 2. EXISTING UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE AND NOT ALL UTILITIES ARE SHOWN. CONTRACTOR IS RESPONSIBLE TO NOT DAMAGE UNDERGROUND UTILITIES AND MUST CONDUCT BOTH PUBLIC AND PRIVATE UTILITY LOCATES BEFORE EXCAVATING.  
 3. CONTRACTOR SHALL RESTORE ALL AREAS, INCLUDING LANDSCAPE, DISTURBED BY CONSTRUCTION TO PRE-CONSTRUCTION CONDITIONS.



**1 SITE UTILITY PLAN**  
SCALE: 1" = 20'-0"



**5 EXISTING CONDITION**  
SCALE: NO SCALE



**6 EXISTING CONDITION**  
SCALE: NO SCALE



**4 EXISTING CONDITION**  
SCALE: NO SCALE



**3 EXISTING CONDITION**  
SCALE: NO SCALE



**2 EXISTING CONDITION**  
SCALE: NO SCALE

**DESIGN**  
 9673 VALLEY VIEW RD.  
 EDEN PRAIRIE, MN 55444  
 (952) 903-8299  
 WWW.DESIGN1EP.COM

**VERIZON WIRELESS**  
 12601 BUSH LAKE ROAD  
 BLOOMINGTON, MN 55438  
 (612) 725-0020

PROJECT  
20130957738  
LOCATION # 276597

**MINC LORING PARK**

1409 WILLOW STREET  
MINNEAPOLIS, MN 55403

SHEET CONTENTS:  
UTILITY SITE / ROOF PLAN

DRAWN BY:	KJM
DATE:	04.09.14
CHECKED BY:	C. BOELTER
REV. A	04.11.14
REV. B	05.02.14
REV. C	08.15.14
REV. D	09.05.14
REV. E	09.09.15
REV. F	09.25.15
REV. G	09.28.15

**U-1**



**GENERAL NOTES**

- A. REFER TO WALL ELEVATION SECTIONS SHEET FOR MOUNTING HEIGHTS.
- B. CIRCLES WITH NUMBERS INSIDE REPRESENT EQUIPMENT NUMBERS. SEE EQUIPMENT LIST.
- C. POWER PLAN BELOW DOES NOT SHOW ALL WALL MOUNTED ELECTRICAL DEVICES, J-BOXES, ETC. SEE WALL ELEVATIONS.
- D. UTILIZE POWER PLAN, LIGHTING PLAN, AND PANELBOARD SCHEDULE FOR CIRCUITING INFORMATION.
- E. ALL CONDUITS TO BE 1/2" UNLESS NOTED OTHERWISE.
- F. SEE FIXTURE SCHEDULE FOR FIXTURE INFORMATION.

**KEYED NOTES**

- 1 EQ#4. SEE DETAIL 1/E2.
- 2 TO VZW TRANSFORMER SECONDARY DISCONNECT. SEE DETAILS 1/E1, 1/E2 AND 2/E2.
- 3 FEEDER FROM 200A GEN CKT BRKR IN EQ #4 CABINET TO CAMLOC GENERATOR CONNECTOR ON H-FRAME.
- 4 TELCO/FIBER ENTRY. WALL PENETRATION LOCATION WILL BE DETERMINED ON SITE. SEE DETAIL 3/E2.
- 5 PROVIDE 6"x6" J-BOX W/1" KNOCKOUTS FOR CONNECTION TO RECTIFIERS. PROVIDE 2-1" CONDUITS FROM J-BOX TO PANEL AND FROM J-BOX TO POWER DISTRIBUTION UNIT. SITE VERIFY EXACT LOCATION OF EQUIPMENT AND LOCATE J-BOX ACCORDINGLY.
- 6 POWER HYDROGEN DETECTOR FROM DC CABINETS.
- 7 POWER DOOR LOCK FROM DC CABINETS. PROVIDE 4"x4" J-BOX ON CEILING WITH TWO 1/2"C FROM MASTER LOCK BOX MOUNTED ON WALL TO DC CABINETS.



CERTIFICATION  
 I HEREBY CERTIFY THAT THE DRAWING WAS PREPARED BY ME, OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A DULY REGISTERED ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.  
 Dennis D. Russell  
 REG. NO. 20681

**BCI**  
 Board of Consultants, Inc.  
 5500 Hennepin Avenue, Suite 100  
 Minneapolis, MN 55412-1501  
 (612) 833-1211  
 www.bci-board.com

**DESIGN**  
 ROBERT J. DAVIS, AIA  
 ARCHITECT  
 9973 VALLEY VIEW RD.  
 EDEN PRAIRIE, MN 55344  
 (952) 903-8298

**VERIZON WIRELESS**  
 10601 BUSH LAKE ROAD  
 BLOOMINGTON, MN 55438  
 (612) 720-0000

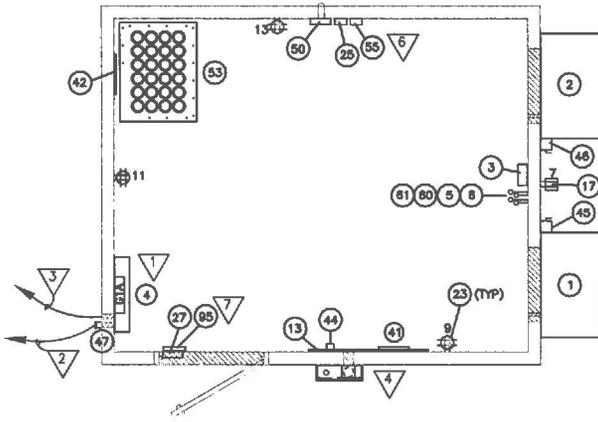
PROJECT  
 20130957738  
**MINC**  
**LORING PARK**

WILLOW STREET  
 MINNEAPOLIS, MN 55403

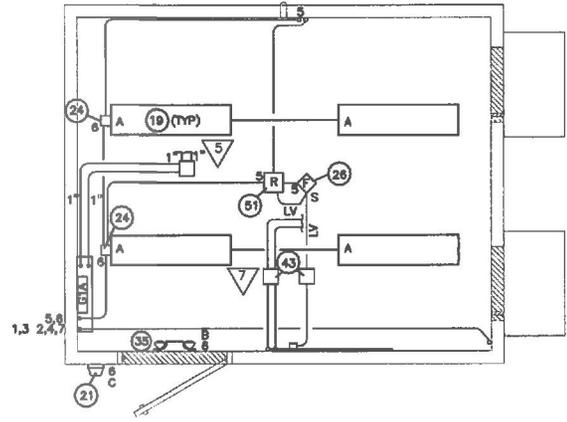
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 POWER AND LIGHTING SHEET

DRAWN BY: AB  
 DATE: 04-29-14  
 CHECKED BY: DB  
 REV. A 04-11-14  
 REV. B 05-02-14  
 REV. C 08-15-14  
 REV. D 09-05-14

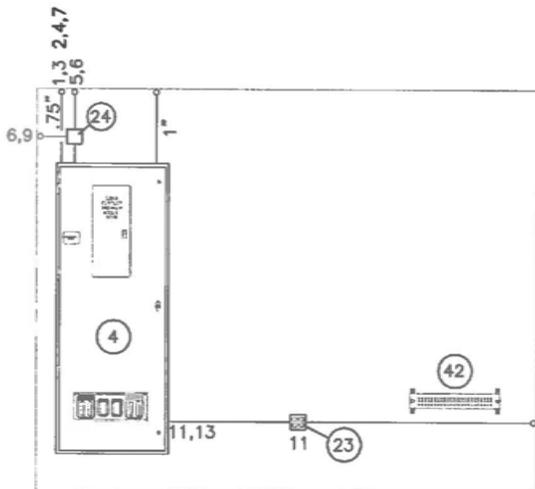
**E-4**



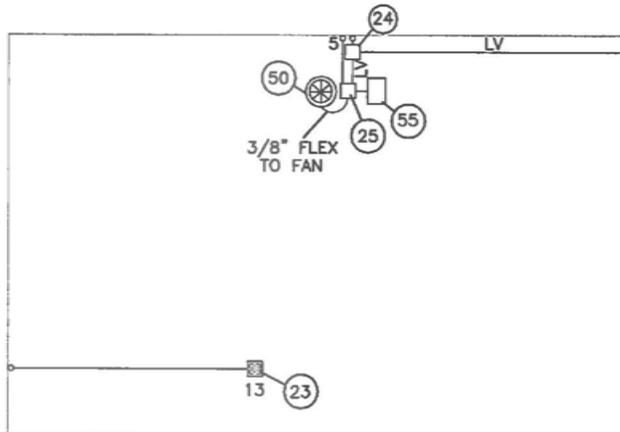
1 POWER PLAN  
 SCALE: 1/4" = 1'-0"



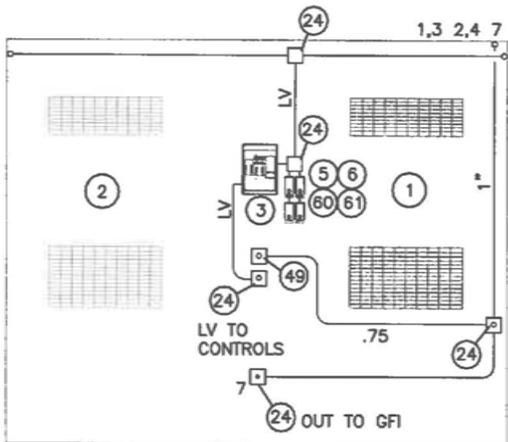
2 LIGHTING PLAN  
 SCALE: 1/4" = 1'-0"



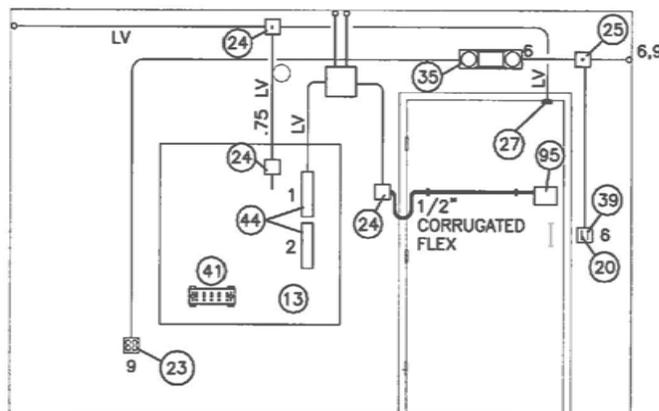
1 EQUIPMENT ROOM WEST WALL ELEVATION  
SCALE: 3/8" = 1'-0"



2 EQUIPMENT ROOM NORTH WALL ELEVATION  
SCALE: 3/8" = 1'-0"



3 EQUIPMENT ROOM EAST WALL ELEVATION  
SCALE: 3/8" = 1'-0"



4 EQUIPMENT ROOM SOUTH WALL ELEVATION  
SCALE: 3/8" = 1'-0"



CERTIFICATION  
DENNIS D. BUSSELL  
LICENSED PROFESSIONAL ENGINEER  
206681  
STATE OF MINNESOTA

**BCI**  
Bussell Companies, Inc.  
1823 Minnesota Blvd., S.E.  
Bloomington, MN 55408  
612-831-2111  
www.bussellcompanies.com

**DESIGN**  
ROBERT J DAVIS, AIA  
ARCHITECT  
9873 VALLEY VIEW RD.  
EDEN PRAIRIE, MN 55344  
(952) 903-9289

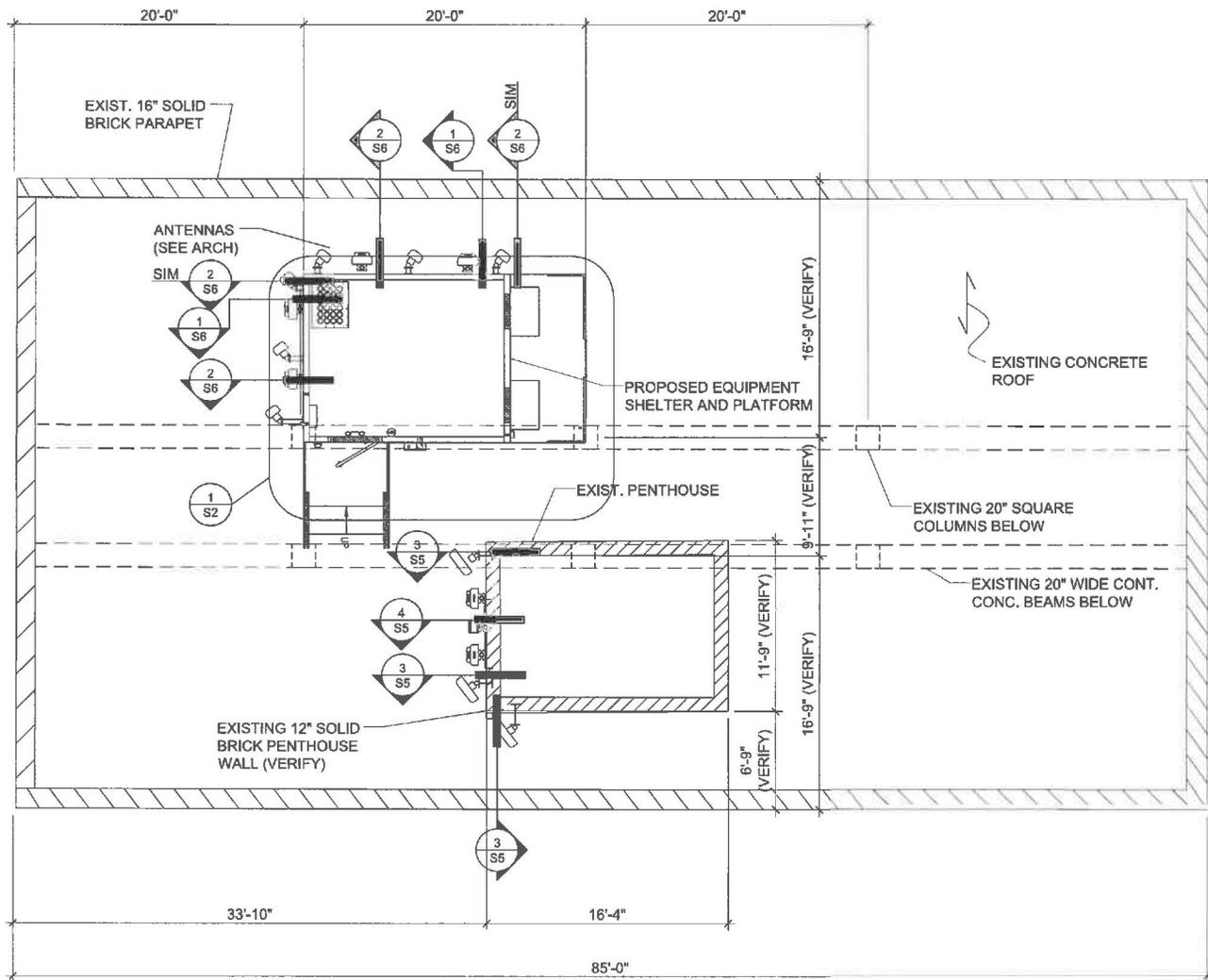
**VERIZON WIRELESS**  
19801 BUSH LAKE ROAD  
BLOOMINGTON, MN 55438  
(612) 726-0030

PROJECT  
20130957738  
**MINC**  
LORING PARK  
  
WILLOW STREET  
MINNEAPOLIS, MN 55403

SHEET CONTENTS:  
ELECTRICAL  
WALL ELEVATIONS

DRAWN BY: AB  
DATE: 04-29-14  
CHECKED BY: DB  
REV. A 04-11-14  
REV. B 05-02-14  
REV. C 08-15-14  
REV. D 09-05-14

**E-5**



**HERZOG**  
ENGINEERING LLC  
530 NORTH 3rd ST.  
SUITE 250  
MINNEAPOLIS, MN 55401  
(612) 944-1234

Registration Information:  
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Engineer, under the laws of the State of Minnesota.  
Signature: \_\_\_\_\_  
Name: JOSHUA HERZOG  
Date: 06/28/15, Reg. No.: 42392

**DESIGN**  
ROBERT J DAVIS, AIA  
ARCHITECT  
9673 VALLEY VIEW RD.  
EDEN PRAIRIE, MN 55344  
(952) 903-9299

**VERIZON WIRELESS**  
10301 BUSH LAKE ROAD  
BLOOMINGTON, MN 55438  
(612) 720-0000

PROJECT  
20130957738

MINC  
LORING PARK

WILLOW STREET  
MINNEAPOLIS, MN 55403

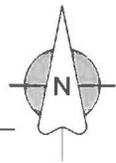
SHEET CONTENTS:  
ROOF PLAN

STRUCTURAL #141032	
DRAWN BY:	CL
DATE:	02.27.14
CHECKED BY:	GS,JH
REV. A	04.11.14
REV. C	08-15-14
REV. D	08-08-15

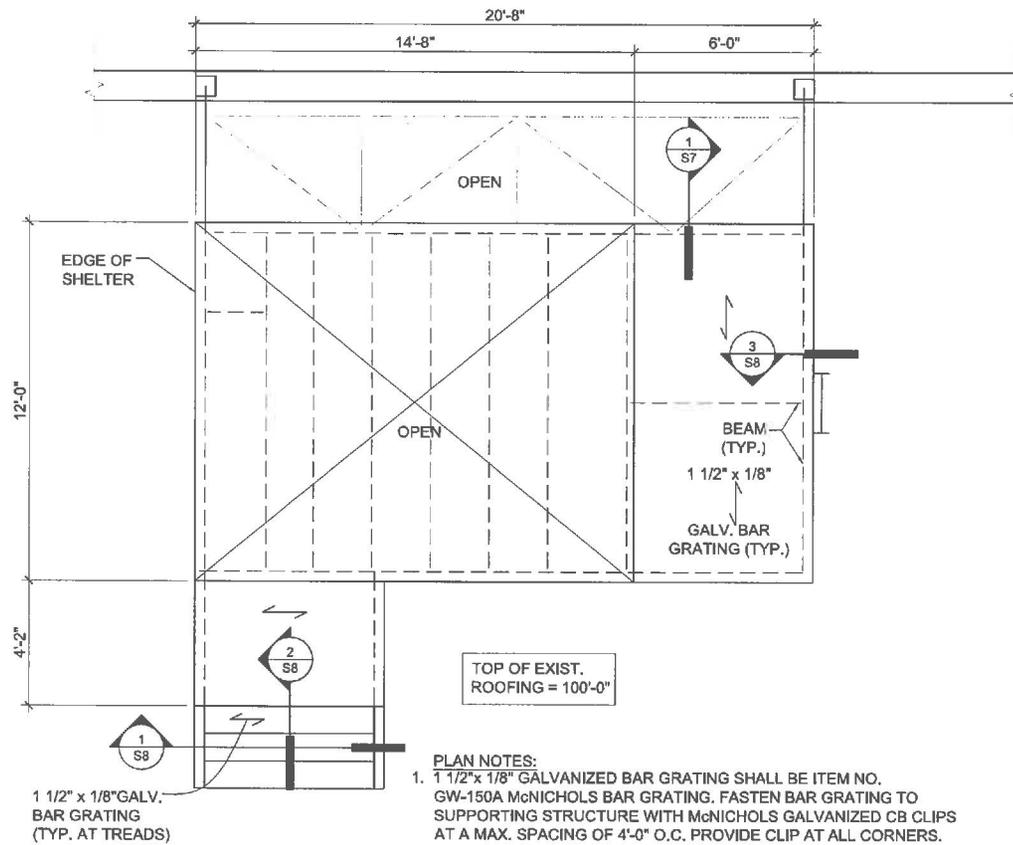
**S1**

- NOTES**
1. VERIFY ALL DIMENSIONS AND CONDITIONS WITH ARCH. AND WITH EXISTING CONDITIONS
  2. SEE ARCH. FOR EXACT ANTENNA/EQUIPMENT LOCATIONS AND TYPES.

**1**  
S1 **ROOF PLAN**  
1/8"=1'-0"







- PLAN NOTES:**
- 1 1/2" x 1/8" GALVANIZED BAR GRATING SHALL BE ITEM NO. GW-150A McNICHOLS BAR GRATING. FASTEN BAR GRATING TO SUPPORTING STRUCTURE WITH McNICHOLS GALVANIZED CB CLIPS AT A MAX. SPACING OF 4'-0" O.C. PROVIDE CLIP AT ALL CORNERS.
  - TOP OF BAR GRATING ELEVATION = 102'-4"
  - DASHED LINES INDICATE STEEL BEAMS BELOW

1 BAR GRATING PLAN  
S3 1/4"=1'-0"

**HERZOG ENGINEERING LLC**  
 430 NORTH 3rd ST.  
 SUITE 230  
 MINNEAPOLIS, MN 55401  
 (612) 944-1234

Registration Information :  
 I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Engineer, under the laws of the State of Minnesota.  
 Signature: \_\_\_\_\_  
 Name: JOSHUA HERZOG  
 Date: 06/28/15, Reg. No.: 42352

**DESIGN**  
 ROBERT J DAVIS, AIA  
 ARCHITECT  
 6975 VALLEY VIEW RD.  
 EDEN PRARIE, MN 55344  
 (952) 933-9296

**VERIZON WIRELESS**  
 10801 BUSH LAKE ROAD  
 BLOOMINGTON, MN 55438  
 (612) 720-0030

PROJECT  
 20130957738

MINC  
 LORING PARK

WILLOW STREET  
 MINNEAPOLIS, MN 55403

SHEET CONTENTS:  
 BAR GRATING PLAN

STRUCTURAL #141032	
DRAWN BY:	CL
DATE:	02.27.14
CHECKED BY:	GS,JH
REV. A	04.11.14
REV. C	08-15-14
REV. D	08-08-15

S3



**HERZOG**  
ENGINEERING LLC

530 NORTH 3rd ST.  
SUITE 230  
MINNEAPOLIS, MN 55401  
(612) 944-1234

Registration Information :  
I hereby certify that this plan,  
specification or report was prepared  
by me or under my direct  
supervision and that I am a duly  
Licensed Engineer, under the laws  
of the State of Minnesota.

Signature:

Name: JOSHUA HESZOG

Date: 08/08/13, Reg. No.: 42282

**DESIGN**  
1

ROBERT J DAVIS, AIA  
ARCHITECT  
9973 VALLEY VIEW RD.  
EDEN PRAIRIE, MN 55344  
(952) 953-8268

**VERIZON**  
**WIRELESS**

10821 BUSH LAKE ROAD  
BLOOMINGTON, MN 55408  
(612) 723-0638

PROJECT  
20130957738

MINC  
LORING PARK

WILLOW STREET  
MINNEAPOLIS, MN 55403

SHEET CONTENTS:  
HAND RAIL/GUARD RAIL PLAN

STRUCTURAL #141032

DRAWN BY: CL

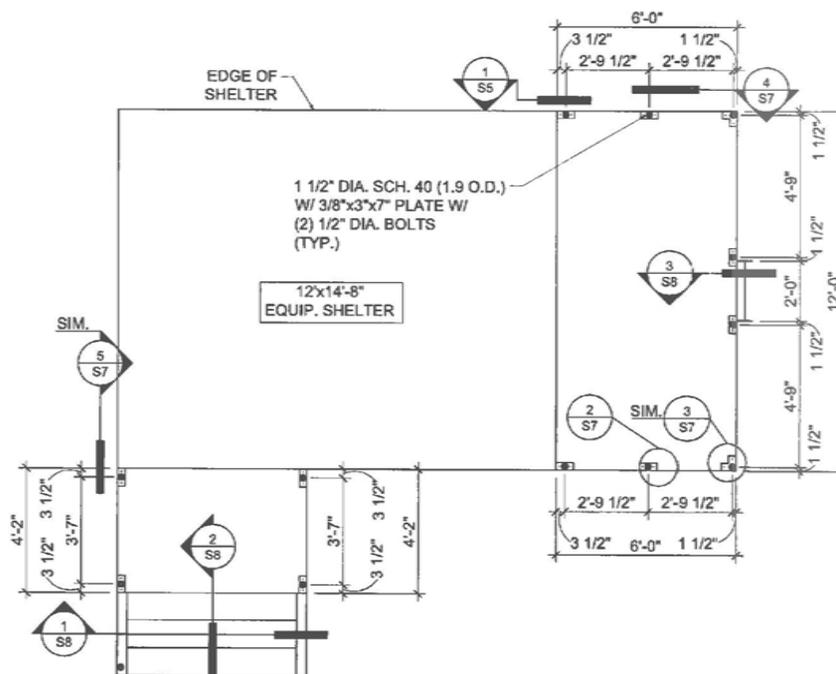
DATE: 02.27.14

CHECKED BY: GS, JH

REV. A 04.11.14

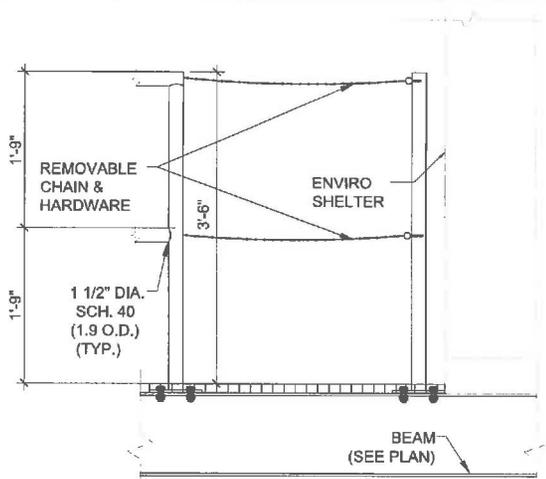
REV. C 08-15-14

REV. D 08-08-15



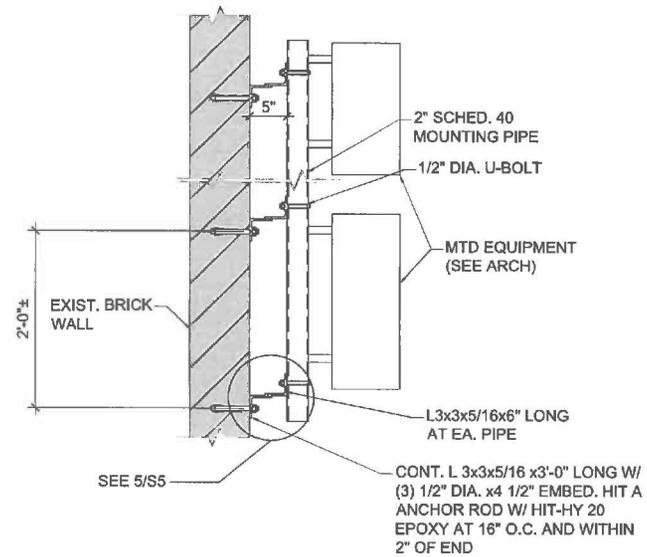
**1**  
**S4** **HAND RAIL/GUARD RAIL PLAN**  
1/4"=1'-0"

**S4**

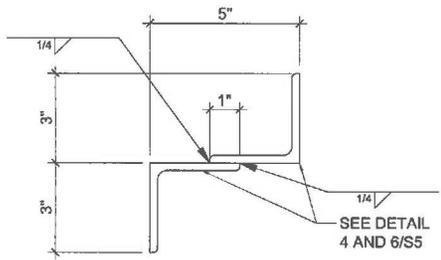


1  
S5  
DETAIL  
NO SCALE

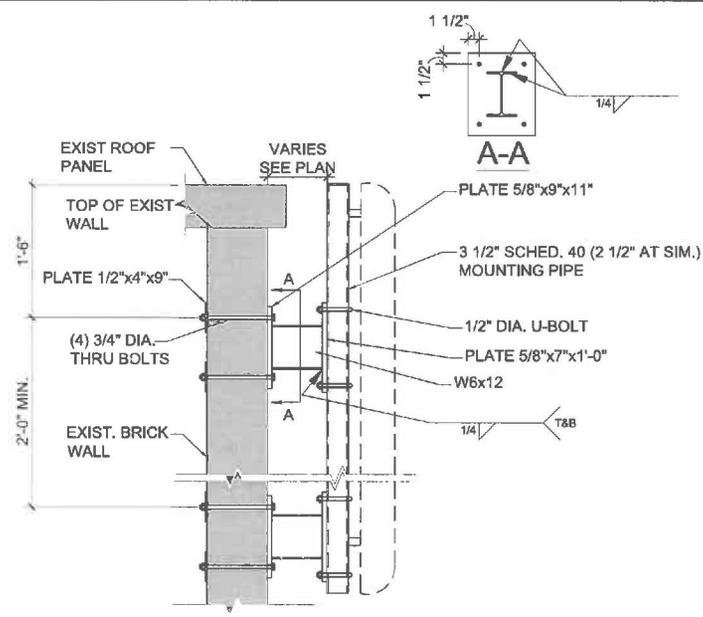
2  
S5  
NOT USED  
NO SCALE



4  
S5  
DETAIL  
NO SCALE



5  
S5  
DETAIL  
NO SCALE



3  
S5  
DETAIL  
NO SCALE

6  
S5  
NOT USED  
NO SCALE

**HERZOG ENGINEERING LLC**

530 NORTH 3rd ST.  
SUITE 230  
MINNEAPOLIS, MN 55401  
(612) 644-1234

Registration Information:  
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Engineer, under the laws of the State of Minnesota.

Signature: \_\_\_\_\_  
Name: JOSHUA HERZOG  
Date: 06/06/15 Reg. No.: 42392

**DESIGN**

ROBERT J DAVIS, AIA  
ARCHITECT  
9673 VALLEY VIEW RD.  
EDEN PRARIE, MN 55344  
(952) 903-9299

**VERIZON WIRELESS**

10801 BUSH LAKE ROAD  
BLOOMINGTON, MN 55438  
(612) 720-0330

PROJECT  
20130957738

MINC  
LORING PARK

WILLOW STREET  
MINNEAPOLIS, MN 55403

SHEET CONTENTS:  
DETAILS

STRUCTURAL #141032

DRAWN BY:	CL
DATE:	02.27.14
CHECKED BY:	GS,JHL
REV. A	04.11.14
REV. C	08-15-14
REV. D	08-08-15

**S5**



Bismark • Cedar Rapids • Denver • Detroit Lakes • Fargo • St. Paul • Sioux Falls  
 4285 Lexington Ave. N.  
 St. Paul, Minnesota 55126  
 Phone: 651.415.3800 Fax: 651.415.2001  
 Web: www.ulteig.com

## PHOTO SIMULATION

# SITE: MINC LORING PARK

## CARRIER: VERIZON WIRELESS

**SITE ADDRESS: 1409 WILLOW STREET, MINNEAPOLIS, MN 55403**



### SITE LOCATION MAP

NOT TO SCALE





**View Type:** Original Photograph - View 1  
**Site Address:** 1409 Willow Street  
**City:** Minneapolis **State:** MN  
**Site Name:** MING LORING PARK  
**View Description:** Looking east.



*Disclaimer: This picture is an artist's rendition of the completed site layout prior to construction. The completed construction may vary in layout, dimension, and color from the above picture.*

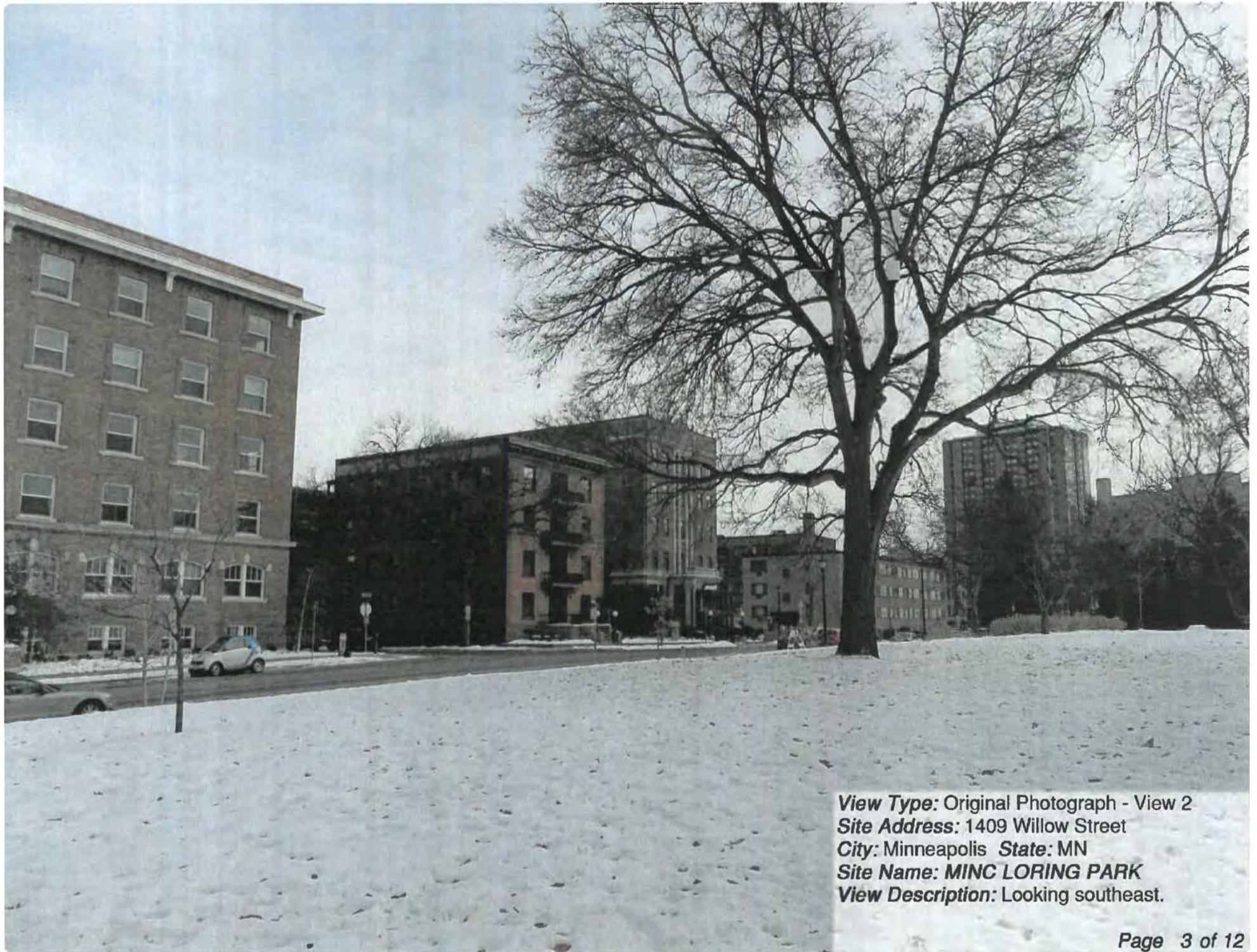
**View Type:** Simulated Photograph - View 1

**Site Address:** 1409 Willow Street

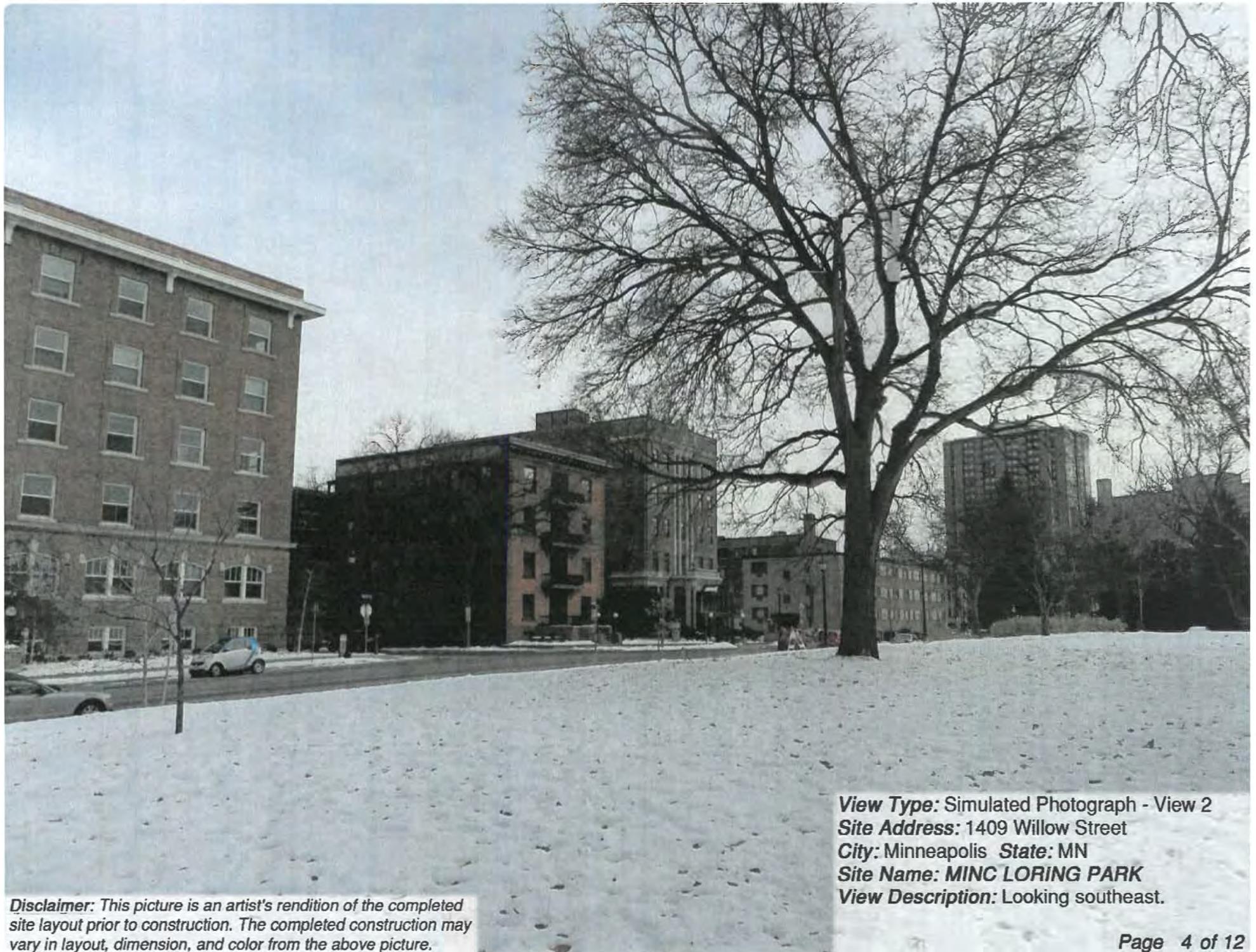
**City:** Minneapolis **State:** MN

**Site Name:** MINC LORING PARK

**View Description:** Looking east. Proposed rooftop shelter and antennas not visible from this view.



***View Type:*** Original Photograph - View 2  
***Site Address:*** 1409 Willow Street  
***City:*** Minneapolis ***State:*** MN  
***Site Name:*** MINC LORING PARK  
***View Description:*** Looking southeast.



*Disclaimer: This picture is an artist's rendition of the completed site layout prior to construction. The completed construction may vary in layout, dimension, and color from the above picture.*

**View Type:** Simulated Photograph - View 2  
**Site Address:** 1409 Willow Street  
**City:** Minneapolis **State:** MN  
**Site Name:** MINC LORING PARK  
**View Description:** Looking southeast.

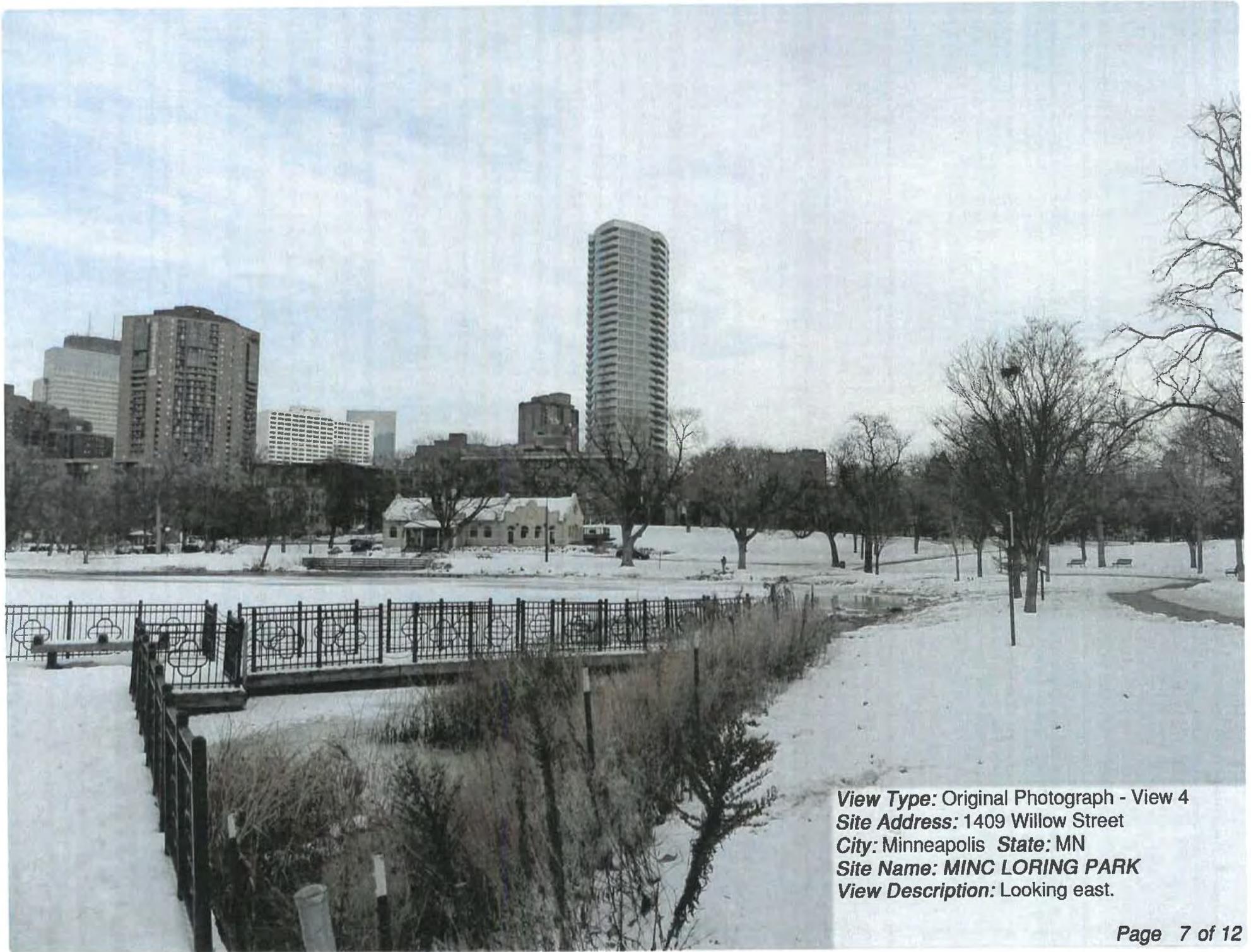


***View Type:*** Original Photograph~ View 3  
***Site Address:*** 1409 Willow Street  
***City:*** Minneapolis ***State:*** MN  
***Site Name:*** MINC LORING PARK  
***View Description:*** Looking southeast.



*Disclaimer: This picture is an artist's rendition of the completed site layout prior to construction. The completed construction may vary in layout, dimension, and color from the above picture.*

**View Type:** Simulated Photograph - View 3  
**Site Address:** 1409 Willow Street  
**City:** Minneapolis **State:** MN  
**Site Name:** *MINC LORING PARK*  
**View Description:** Looking southeast.



***View Type:*** Original Photograph - View 4  
***Site Address:*** 1409 Willow Street  
***City:*** Minneapolis ***State:*** MN  
***Site Name:*** MINC LORING PARK  
***View Description:*** Looking east.



**Disclaimer:** This picture is an artist's rendition of the completed site layout prior to construction. The completed construction may vary in layout, dimension, and color from the above picture.

**View Type:** Simulated Photograph - View 4  
**Site Address:** 1409 Willow Street  
**City:** Minneapolis **State:** MN  
**Site Name:** MINC LORING PARK  
**View Description:** Looking east.



**View Type:** Original Photograph - View 5  
**Site Address:** 1409 Willow Street  
**City:** Minneapolis **State:** MN  
**Site Name:** MING LORING PARK  
**View Description:** Looking southeast.



Disclaimer: This picture is an artist's rendition of the completed site layout prior to construction. The completed construction may vary in logical dimension and color from the above picture.

*View Type:* Simulated Photograph - View 5  
*Site Address:* 1409 Willow Street  
*City:* Minneapolis - *State:* MN  
*Site Name:* MINC LORING PARK  
*View Description:* Looking **southeast**



**View Type:** Original Photograph - View 6  
**Site Address:** 1409 Willow Street  
**City:** Minneapolis **State:** MN  
**Site Name:** MINC LORING PARK  
**View Description:** Looking northeast.



*Disclaimer: This picture is an artist's rendition of the completed site layout prior to construction. The completed construction may vary in layout, dimension, and color from the above picture.*

**View Type:** Simulated Photograph - View 6  
**Site Address:** 1409 Willow Street  
**City:** Minneapolis **State:** MN  
**Site Name:** MINC LORING PARK  
**View Description:** Looking northeast.  
Proposed rooftop shelter not visible from this view; only antennas are visible. **Page 12 of 12**



Parking area facing Willow Street







Parking area facing Spruce, looking west



Parking area facing Spruce Pl.



Parking area facing Spruce Pl.

## Smith, Mei-Ling C.

---

**From:** Brian Kabat <bgkabat@gmail.com>  
**Sent:** Friday, October 16, 2015 11:05 AM  
**To:** Smith, Mei-Ling C.  
**Subject:** Re: 1409 Willow

Hi Mei-Ling,

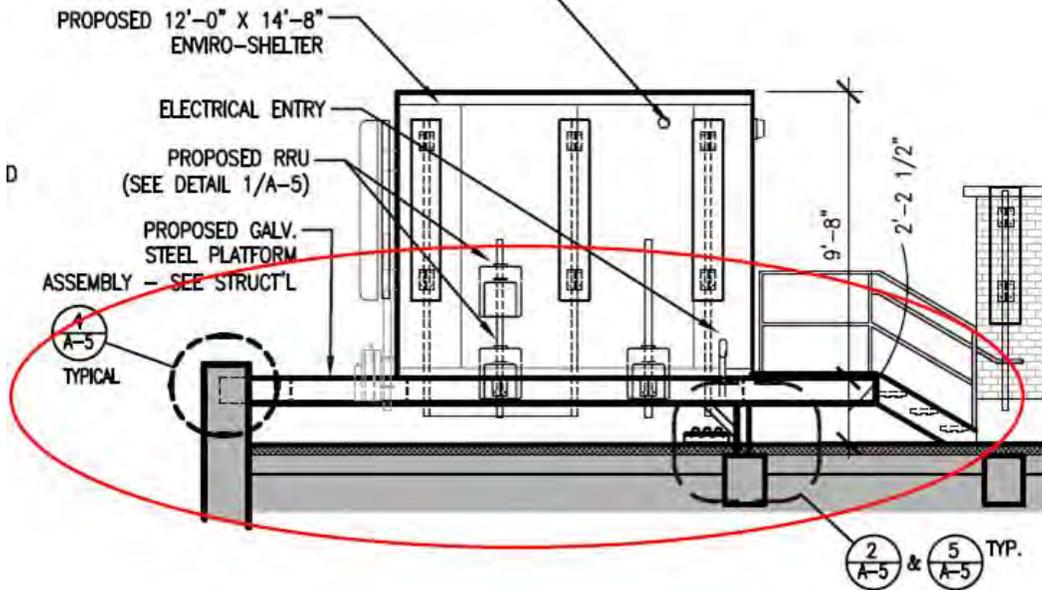
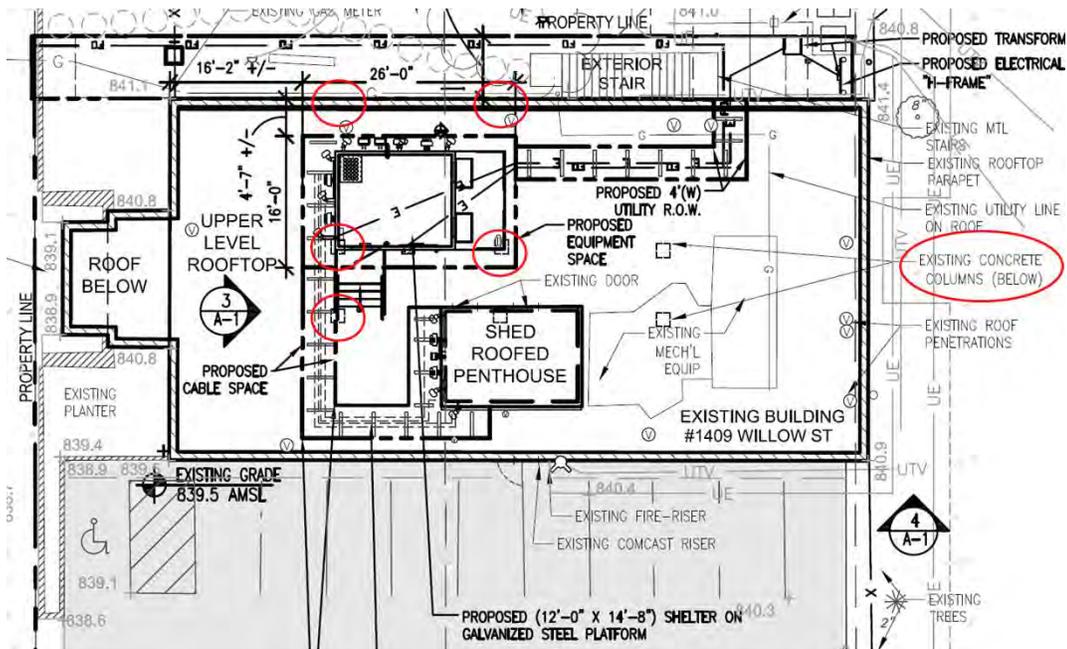
Before we considered the conditional use permit we considered whether the site could be redesigned and it cannot be.

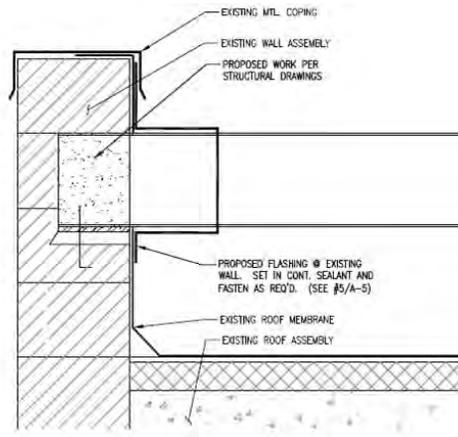
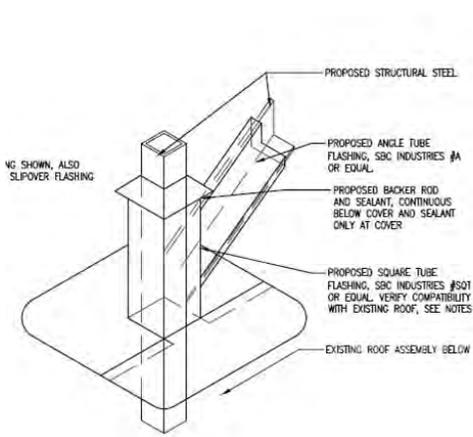
The shelter will sit on a steel platform elevated above the rooftop membrane for structural purposes. Elevating it allows the load to be borne by existing concrete columns in the building. Steel beams supporting the steel platform will extend from above these columns north to the parapet wall and tie in to it. These structural considerations make our proposed location final on this rooftop.

We worked very carefully on this site with SHPO for about 12 months. Fortunately SHPO considers the proposed design to have "no adverse effect" per the letter enclosed in the CUP application package.

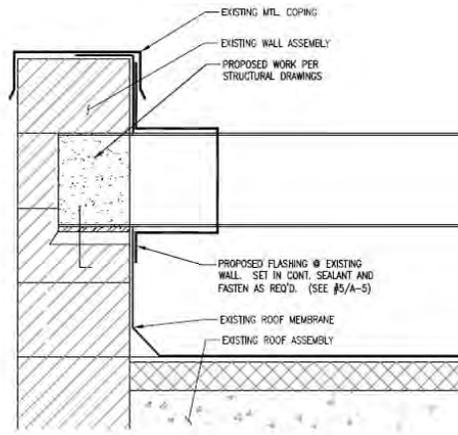
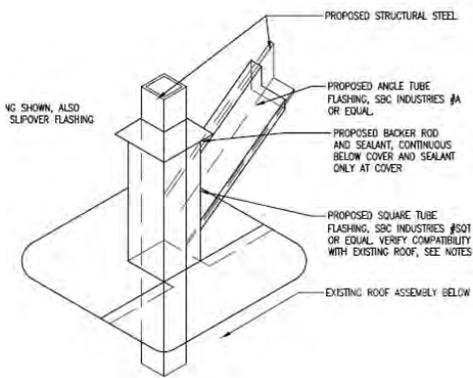
I've attached some screen shots from the construction drawings detailing the structural considerations of this project. If you need any more information to support a recommendation of approval of the CUP, please let me know.

Thanks!  
Brian





4 PARAPET DETAIL  
SCALE: 1" = 1'-0"



4 PARAPET DETAIL  
SCALE: 1" = 1'-0"

**Brian Kabat**  
*Site Acquisition Consultant*  
**Buell Consulting, Inc.**  
 (425) 281-8215  
[bkabat@gmail.com](mailto:bkabat@gmail.com)  
[www.buellconsulting.com](http://www.buellconsulting.com)



**Quality Saves Money**

On Thu, Oct 15, 2015 at 8:11 AM, Smith, Mei-Ling C. <[Mei-Ling.Smith@minneapolismn.gov](mailto:Mei-Ling.Smith@minneapolismn.gov)> wrote:

Hi Brian,

I was wondering if it is possible that the proposed shelter can a) be moved back to be in line with the existing structure on the roof and b) can be reduced in height by a few feet? These conditions of approval were proposed in our staff meeting yesterday, during which we discussed a recommendation for your project. These options have worked for similar projects in the past to help reduce the visibility of the structure while maintaining its functionality.