

**LAND USE APPLICATION SUMMARY**

*Property Location:* 2432 Sheridan Avenue South  
*Project Name:* 2432 Sheridan Avenue South Additions  
*Prepared By:* [Janelle Widmeier](#), Senior City Planner, (612) 673-3156  
*Applicant:* Karen Peterson  
*Project Contact:* Phil Rader  
*Request:* Additions to a single-family dwelling.  
*Required Applications:*

<b>Variance</b>	To reduce the minimum interior side yard requirement adjacent to the north lot line from 6 feet to 5 feet and 4.8 feet to allow two one-story additions.
<b>Variance</b>	To allow an attached garage to extend 9.5 feet from the front of a dwelling to allow an expansion of the existing attached garage.

**SITE DATA**

<b>Existing Zoning</b>	RIA Single-Family District SH Shoreland Overlay District
<b>Lot Area</b>	8,318 square feet
<b>Ward(s)</b>	7
<b>Neighborhood(s)</b>	Kenwood Isles Area Association
<b>Designated Future Land Use</b>	Urban Neighborhood
<b>Land Use Features</b>	Not applicable.
<b>Small Area Plan(s)</b>	Not applicable.

<b>Date Application Deemed Complete</b>	November 2, 2015	<b>Date Extension Letter Sent</b>	Not applicable
<b>End of 60-Day Decision Period</b>	January 1, 2016	<b>End of 120-Day Decision Period</b>	Not applicable

## BACKGROUND

**SITE DESCRIPTION AND PRESENT USE.** The existing single-family dwelling was permitted for construction in 1956 with an attached garage.

**SURROUNDING PROPERTIES AND NEIGHBORHOOD.** The surrounding properties are predominately single-family dwellings. The Kenilworth Trail is located directly west of the subject property.

**PROJECT DESCRIPTION.** The applicant is proposing an addition on the north side of the dwelling to expand the kitchen area and an addition at the front of the dwelling to expand the existing one car garage. The minimum interior side yard requirement is 6 feet. The proposed side kitchen addition would be set back 5 feet from the north interior side lot line. The proposed front garage addition would be set back 4.8 feet from the north interior side lot line. The proposed front addition would add 5 feet to the front of the garage. Attached accessory uses designed or intended for the parking of vehicles accessory to single-family dwelling are not allowed to extend no more than 5 feet closer to the front lot line than the façade of a habitable portion of the first story of the dwelling when the garage door faces the front lot line. With the front addition, the garage would extend 9.5 feet beyond the front of the dwelling. Variances of these requirements are requested.

**PUBLIC COMMENTS.** Correspondence from the neighborhood group was received and is attached to this report. Any additional correspondence received prior to the public meeting will be forwarded on to the Board of Adjustment for consideration.

## ANALYSIS

### VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance to reduce the minimum interior side yard requirement adjacent to the north lot line from 6 feet to 5 feet and 4.8 feet to allow two one-story additions based on the following [findings](#):

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

The minimum required interior side yard setback is 6 feet because the lot is 50 feet wide. Practical difficulties exist in complying with the ordinance because of circumstances unique to the property that were not created by the applicant. The north wall of the existing attached garage is set back 4.4 feet from the north lot line. Because the existing garage does not fit most vehicles and in order to allow for additional storage and the ability to maneuver around a parked vehicle, the applicant is proposing to enlarge the garage and extend it closer to the street. Decreasing the width of the garage addition to comply with the yard requirement would result in insufficient width for reasonable usage of the garage. As proposed, the garage addition would align with the existing north wall. The garage wall angles slightly; therefore the applicant is requesting that the yard requirement be reduced to 4.8 feet where the expansion is proposed. Where the kitchen addition is proposed, the existing setback from the north lot line is 13 feet. The proposed setback for the addition is 5 feet. The existing layout of the living spaces of the dwelling and the location of the attached garage limits where expansion can occur.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

In general, yard controls are established to provide for the orderly development and use of land and to minimize conflicts among land uses by regulating the dimension and use of yards in order to provide adequate light, air, open space and separation of uses. The applicant is proposing two one-story additions that would increase the footprint of the building by 195 square feet. The garage addition would be a continuation of an existing wall. The kitchen addition would be located behind the existing garage and would be setback at 5 feet to retain slightly more space. In general, an interior side yard is required to be a minimum of 5 feet for new construction on narrower lots 42 feet or less in width. The adjacent property to the north is closest to the proposed additions. At the closest point, the adjacent dwelling is set back 32.6 feet from the shared lot line and is separated by a driveway. The requested side yard reductions would not have adverse effects on the adjacent property. The request is reasonable and consistent with the intent of the ordinance and the comprehensive plan.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

The granting of the variance would not affect the character of the area or be injurious to the use or enjoyment of other property in the vicinity. The additions are relatively small. The garage addition would be a continuation of an existing wall. The kitchen addition would be located behind the existing garage and would be setback at 5 feet to retain slightly more space. The additions would be compatible with the existing dwelling. They would be clad in cedar lap siding of the same exposure of and painted to match the existing lap siding. A hip roof is also proposed to tie into the existing. The granting of the variance would not be detrimental to the health, safety or welfare of the public or those utilizing the property provided the proposed additions are constructed to current building codes.

#### **Additional Standards for Variances within the SH Shoreland Overlay District**

In addition, the Zoning Board of Adjustment shall consider, but not be limited to, the following [factors](#) when considering conditional use permit or variance requests within the SH Shoreland Overlay District:

1. *Prevention of soil erosion or other possible pollution of public waters, both during and after construction.*

The site is located between Cedar Lake and Lake of the Isles. The area of the site impacted by construction is limited by the size of the additions, which would be located on an area of the site that is relatively flat. The applicant has indicated that an erosion control barrier would be installed and maintained around the limits of construction throughout the construction process. Post-construction, a concrete walk and driveway would be installed to prevent erosion. The subject site would not be significantly altered to adversely affect the water quality of the lakes.

2. *Limiting the visibility of structures and other development from protected waters.*

Due to existing topography, the location of development, and vegetation, the additions would not be visible from the nearby protected waters.

3. *The suitability of the protected water to safely accommodate types, uses and numbers of watercraft that the development may generate.*

This standard is not applicable for the proposed development.

## VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance to allow an attached garage to extend 9.5 feet from the front of a dwelling to allow an expansion of the existing attached garage, based on the following [findings](#):

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

Practical difficulties exist in complying with the ordinance due to circumstances unique to the property. A small attached one-car garage facing the front lot line already exists. It currently extends 4.5 feet from the front of the dwelling. The 5 foot deep expansion would result in the garage extending 9.5 feet from the front of the dwelling. Existing site conditions limit where a garage can be located. The site is not adjacent to an alley. Extending the attached garage to the rear is not feasible due to the location of the basement foundation. There is also not sufficient room on either side of the dwelling to provide driveway access to the rear of the property. Because the existing garage does not fit most vehicles and in order to allow for additional storage and the ability to maneuver around a parked vehicle, the applicant is proposing to extend it closer to the street. Although the garage would extend more than 5 feet from the front habitable portion of the dwelling, the addition would comply with the angled established front yard requirement.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The regulations for attached garages are intended to preserve and promote the traditional residential character of neighborhoods. The proposed addition would expand an under-sized, front-facing garage. The addition would not increase the width of the garage, which occupies 33 percent of the front façade (attached garages are not allowed to be wider than 60 percent of a front façade). A garage cannot be located elsewhere on the property for the aforementioned reasons. Although the garage would extend more than 5 feet from the front habitable portion of the dwelling, the addition would comply with the angled established front yard requirement. The request is reasonable and consistent with the intent of the ordinance and the comprehensive plan.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

The granting of the variance would not affect the character of the area or be injurious to the use or enjoyment of other property in the vicinity. The proposed addition would expand an under-sized, front-facing garage. The addition would not increase the width of the garage. The exterior of the addition would be compatible with the existing structure. The addition would be clad in cedar lap siding of the same exposure of and painted to match the existing lap siding. A hip roof is also proposed to tie into the existing. If granted, the proposed variance will not be detrimental to the

health, safety or welfare of the public or those utilizing the property provided the proposed addition is constructed to current building codes.

**Additional Standards for Variances within the SH Shoreland Overlay District**

In addition, the Zoning Board of Adjustment shall consider, but not be limited to, the following [factors](#) when considering conditional use permit or variance requests within the SH Shoreland Overlay District:

1. *Prevention of soil erosion or other possible pollution of public waters, both during and after construction.*

The site is located between Cedar Lake and Lake of the Isles. The area of the site impacted by construction is limited by the size of the addition, which would be located on an area of the site that is relatively flat. The applicant has indicated that an erosion control barrier would be installed and maintained around the limits of construction throughout the construction process. Post-construction, a concrete walk and driveway would be installed to prevent erosion. The subject site would not be significantly altered to adversely affect the water quality of the lakes.

2. *Limiting the visibility of structures and other development from protected waters.*

Due to existing topography, the location of development, and vegetation, the addition would not be visible from the nearby protected waters.

3. *The suitability of the protected water to safely accommodate types, uses and numbers of watercraft that the development may generate.*

This standard is not applicable for the proposed development.

**RECOMMENDATIONS**

The Department of Community Planning and Economic Development recommends that the Zoning Board of Adjustment adopt staff findings for the applications by Karen Peterson for the property located at 2432 Sheridan Avenue South:

**A. Variance to reduce the minimum interior side yard requirement.**

Recommended motion: **Approve** the variance to reduce the minimum interior side yard requirement adjacent to the north lot line from 6 feet to 5 feet and 4.8 feet to allow two one-story additions, subject to the following conditions:

1. Approval of the final site, elevation and floor plans by the Department of Community Planning and Economic Development.
2. All site improvements shall be completed by December 3, 2017, unless extended by the Zoning Administrator, or the permit may be revoked for non-compliance.

**B. Variance to allow an attached garage to extend more than 5 feet from the front of a dwelling.**

Recommended motion: **Approve** the variance to allow an attached garage to extend 9.5 feet from the front of a dwelling, subject to the following conditions:

1. Approval of the final site, elevation and floor plans by the Department of Community Planning and Economic Development.
2. All site improvements shall be completed by December 3, 2017, unless extended by the Zoning Administrator, or the permit may be revoked for non-compliance.

## **ATTACHMENTS**

1. Written description and findings submitted by applicant
2. Zoning map
3. Site survey
4. Site plan
5. Floor plans
6. Building elevations
7. Photos
8. Public comments

## Statement of Proposed Use and Project Description

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### **Karen Peterson**

2432 Sheridan Avenue South  
Minneapolis, MN 55405  
(651) 236-7306  
karenpeterson4@gmail.com

November 1st, 2015

### **Community Planning and Economic Development**

Development and Services Division  
250 South 4th Street, Room 300  
Minneapolis, MN 55415-1316

RE: Variance Application for 2432 Sheridan Avenue South      Property Id # 3202924130033

I am the new owner of the existing single family home at 2432 Sheridan Avenue South. I am excited to move into this wonderful neighborhood. The home is nearly perfect for me, however there are a few unique practical difficulties that exist with the current home that will need to be corrected for me to have full use of the property.

### **Statement of Proposed Use:**

The property is zoned as R1A with the additional SH/ Shoreland Overlay District designation. The existing lot is 8,318 sq. feet as indicated on the site survey. The existing home has 2,480 gross square feet and I am proposing to add 195 square feet. The home is and will remain a single family home. There will be no change in use of the property as a result of approval of these variances.

### **Project Description:**

This single family home was built in 1957 and is located in the Kenwood Neighborhood. The home is a single story with a partial finished walkout basement. There is an attached garage, which does not provide direct access to the home from the garage. The existing north wall of the garage does not comply with the current side yard setback requirements. I am proposing to add two small additions to the home.

The first addition would add 5'-0" to the length of the garage in the front of the home to give me safety by allowing me to park my car in the garage while creating the necessary circulation space around the car for accessibility. This garage addition would also provide additional storage space in the garage for yard maintenance equipment and my other storage needs. There are three items I would like to point out.

1. Even with the proposed expansion of the garage towards front, the home will still be behind the established front yard setback.
2. The existing garage is already projecting 4'-6" in front of the front of the home.
3. The existing garage is already located in the required side yard setback.

The second addition would enlarge the kitchen to the north and give me a direct access door from the garage to the home, providing me with increased safety, security, and accessibility.

Sincerely,



**Karen Peterson**

## Variance Requests

**Request #1** I would like a variance to Section 546.280, Table 546-4 to decrease the required side yard setback from 6'-0" down to 4'-10" (See page 5 for copy of table 546-4)

**Request #2** I would like a variance to section 535.90 to increase the allowable extension of the garage façade from the home façade from 5'-0" to 9'-6" (See page 4 for copy of section 535.90)

(1) Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property are not based on economic considerations alone.

- 1) The existing garage is too small to allow me to park a car and also have room for storage of yard maintenance equipment and my other storage items. The interior of the garage is only 11'-2" wide by 19'-0" deep, given that a standard size minivan is 16'-8" long this only leaves 2'-2" or roughly 1 foot in front and 1 foot back of the car creating an accessibility issue for me.
- 2) The existing garage does not have a direct connection to the home, which gives me concern for my safety, security, and again makes accessibility difficult if not impossible.
- 3) The existing north wall of the garage is situated only 4.1 feet from the north property line, as indicated on the site survey. Current zoning code section 546.280 requires the side yard setback to be 6'-0" for property with a lot width between 42 and 51.99 feet. This creates, an existing non-conforming condition, however per zoning code section 531.30 since the length of the non-conforming wall is less than 60% of the overall length of the home, I would not be allowed to extend this wall without a variance.

(2) The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.

There will be no change in use of the property and the proposed additions will make improvements to the home for safety, security and accessibility reasons. I believe that the unique conditions existed with the property before my purchase and the proposed additions comply with the spirit and intent of the ordinance and comprehensive plan.

(3) The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.

The additions will be constructed to match the style, materials, and finishes of the existing home. The existing front lot lines follow the curve of Sheridan Avenue and as such this home was set back farther than the two adjacent homes allowing us to make the front addition and still be behind the established front yard setback, maintaining established sight lines. The proposed additions will marginally increase the buildings height by 1'-2", however the single story building is and will remain well below the allowable building height.

## Variance Requests

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My architect has developed a design, which would add two small additions to the home to overcome the concerns I have for safety, security, storage, and accessibility.

The first addition would be an extension of the existing garage towards the front by 5'-0" creating a 24'-0" interior dimension so that a typical size car can be parked while maintaining room in front of the car to provide for ease of accessibility into the home and provide room for storage. The existing garage is extended 4'-6" in front of the house however, since the proposed 5'-0" extension would bring the garage front to 9'-6" which exceeded the required maximum of 5'-0". We are requesting that this maximum projection of a garage from the home be increased from 5'-0" to 9'-6".

Because of the rotation of the home relative to the property line the proposed garage addition would not decrease the already existing proximity of the garage to the property line. The existing northwest corner of the garage is at 4.41 feet from the property line, whereas the new proposed addition would be at 4.83' from the property line. In other words the proposed addition is actually farther from the property line than the existing conditions. Because the existing garage is only 12'-2" wide it is not feasible to decrease the width of the addition to conform to the required side yard setback.

The second addition would extend the home to the north and create a direct connection between the garage and the home. We would expand the kitchen into this addition and create a new door directly in front of the driver's side door of the car for ease of accessibility. This addition would encroach 1' into the required 6'-0" side yard setback. This home addition would also require the side yard setback to be increased, however since the proposed garage addition would be closer I am using that distance for the variance request.



## Variance Requests

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### 531.30. - Establishment of nonconforming rights; certificate of nonconforming use.

(2) *Nonconforming structures.* Where an application seeks a nonconforming use certificate to establish the legal nonconforming status of a structure only, or a use nonconforming as to parking only, and not to establish the legal nonconforming status of any use, the zoning administrator may issue or deny such certificate upon review of a certified survey, building permits, or other documentation deemed necessary or sufficient by the zoning administrator.

- a. *Single- and two-family dwellings nonconforming as to side and rear yards only.* A single- or two-family dwelling nonconforming as to side and rear yards only shall have all the rights of a conforming structure, provided the structure is located not closer than three (3) feet from the side and rear lot line, and provided further that the structure shall not be enlarged, altered or relocated in such a way as to increase its nonconformity. For the purposes of this section, the extension of a single- or two-family dwelling along the existing setback or the addition of a second story or half-story shall not be considered as increasing its nonconformity, **provided the portion of the structure within the required side or rear yard comprises at least sixty (60) percent of the length of the entire structure,** and provided further that the structure shall not be enlarged, altered or relocated within the required front yard and all other requirements of this zoning ordinance are met. If substantial alteration of a single- or two-family dwelling results in demolition of the structure, the entire structure shall be subject to the yard requirements applicable to a new structure, except as authorized by [section 531.40](#) related to buildings that are damaged or destroyed.



### 535.90. - General standards for residential uses.

- (d) *Attached garage facing the front lot line.* Attached accessory uses designed or intended for the parking of vehicles accessory to single- and two-family dwellings and multiple-family dwellings of three (3) and four (4) units **shall extend no more than five (5) feet closer to the front lot line than the façade of a habitable portion of the first story of the dwelling when the garage door or doors face the front lot line.** In addition, the width of the garage wall facing the front lot line, including basement-level garages, shall not exceed sixty (60) percent of the width of the entire structure.



## Variance Requests

### 546.280. - Yard requirements.

The minimum yard requirements for uses located in the **RIA** District shall be as specified in Table 546-4, **RIA** Yard Requirements.

**Table 546-4 RIA Yard Requirements**

Yards	Required Yards for Single-family Dwellings and Permitted Community Residential Facilities (Feet)	Required Yards for All Other Uses (Feet)
Front, subject to <a href="#">section 546.160(b)</a>	20	20
Rear	5	5+2X
Interior Side 	Lot width less than 42 ft.: 5 <i>Lot width 42 ft.—51.99 ft.: 6</i> Lot width 52 ft.—61.99 ft.: 7 Lot width 62 ft.—84.99 ft.: 8 Lot width 85 ft.—99.99 ft.: 10 Lot width 100 ft. or greater: 12 Minimum interior side yards greater than eight (8) feet shall apply only to principal structures	5+2X
Corner Side	8	8+2X

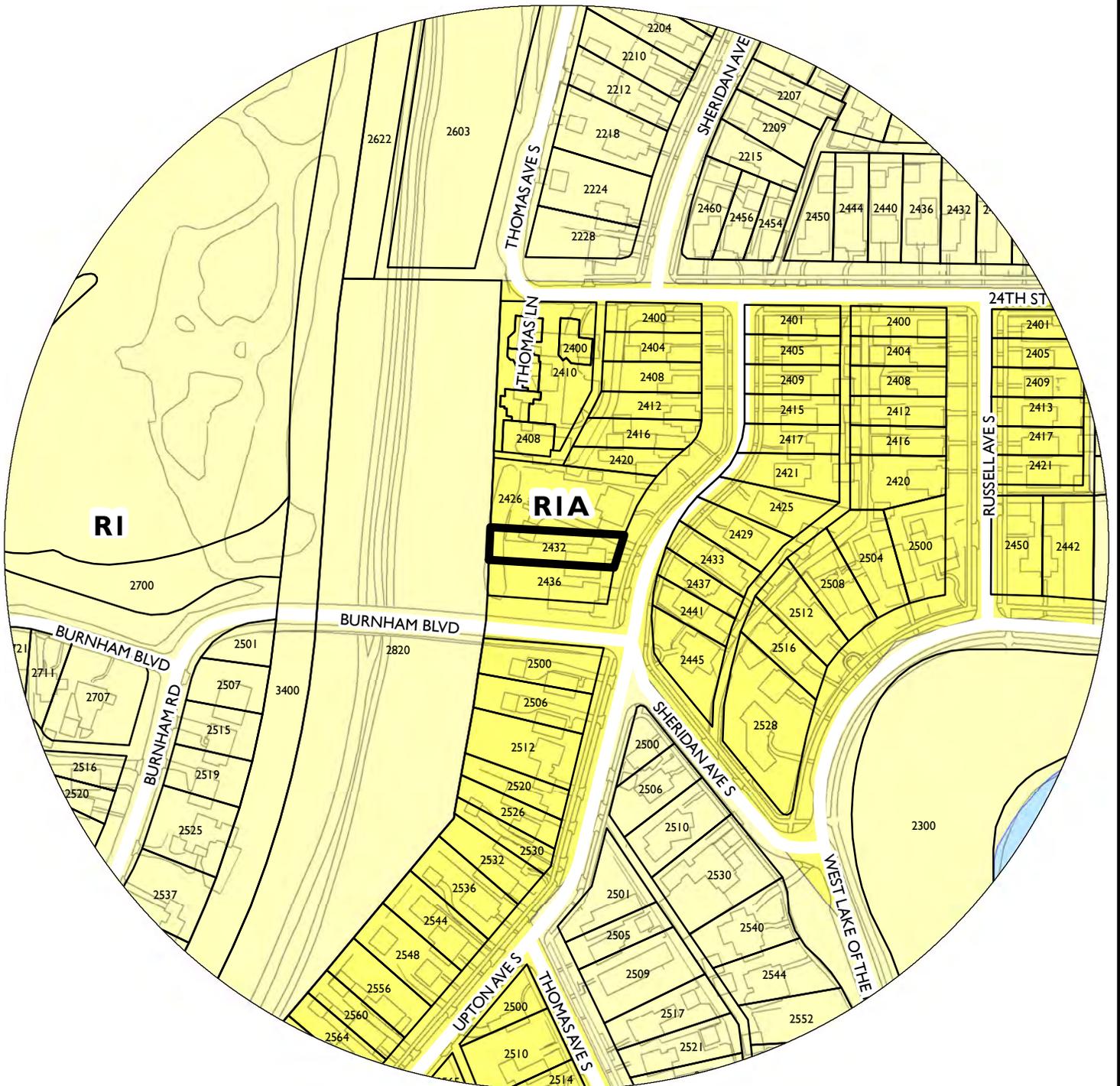
## Variance Requests

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SHORELAND OVERLAY DISTRICT OR MISSISSIPPI RIVER CRITICAL AREA OVERLAY DISTRICT VARIANCE: In addition, the following findings must be addressed for a variance required by the Shoreland Overlay District or the Mississippi River Critical Area Overlay District:

- (1) The prevention of soil erosion or other possible pollution of public waters, both during and after construction.
- (2) Limiting the visibility of structures and other development from protected waters.
- (3) The suitability of the protected water to safely accommodate the types, uses and numbers of watercraft that the development may generate.

- 1) The existing conditions / demolition site plan sheet X0.1 and the new construction site plan sheet A0.1 both require the contractors to install approved erosion control barrier in accordance with the requirements of the SH/Shoreland Overlay District. The plans also indicate the location on site for the erosion control barrier to be installed. These erosion control barriers will remain in place prior to the start of construction and throughout construction and only be removed after construction is completed and the affected areas of the site have been landscaped.
- 2) This property is not located close enough to block any views from any properties in the vicinity.
- 3) This property and associated land use has no associated watercraft and will not generate any.



RI

RIA



PROPERTY ADDRESS

2432 Sheridan Avenue South

FILE NUMBER

BZZ-7501

# PETERSON RESIDENCE

2432 SHERIDAN AVENUE SOUTH  
Minneapolis, Minnesota



## DRAWING INDEX

- T1.1 TITLE SHEET, INDEX OF DRAWINGS, CODE INFORMATION
- T1.2 GENERAL NOTES
- T1.3 EXISTING AND PROPOSED STREET VIEWS (VIEW 01)
- T1.4 EXISTING AND PROPOSED STREET VIEWS (VIEW 02)
- T1.5 PHOTOGRAPHS OF EXISTING PROPERTY
- T1.6 AERIAL VIEW OF HOME AND SURROUNDING AREA

## SITE SURVEY

- X0.1 EXISTING / DEMOLITION SITE PLAN
- X1.1 EXISTING / DEMOLITION BASEMENT FLOOR PLAN
- X1.2 EXISTING / DEMOLITION FIRST FLOOR PLAN
- X1.3 EXISTING / DEMOLITION ROOF PLAN

- A0.1 PROPOSED SITE PLAN
- A1.1 PROPOSED BASEMENT FLOOR PLAN
- A1.2 PROPOSED FIRST FLOOR PLAN
- A1.3 PROPOSED ROOF PLAN

- A2.1 ENLARGED PLAN AT KITCHEN

- A3.1 EAST AND NORTH EXTERIOR ELEVATIONS
- A3.2 WEST AND SOUTH EXTERIOR ELEVATIONS

- A4.1 EXTERIOR PERSPECTIVE VIEWS 01
- A4.2 EXTERIOR PERSPECTIVE VIEWS 02
- A4.3 EXTERIOR PERSPECTIVE VIEWS 03

- A5.1 BUILDING SECTION 01 & 02
- A5.2 BUILDING SECTION 03 & 04

- A6.1 NORTH & EAST INTERIOR ELEVATIONS @ KITCHEN
- A6.2 SOUTH & WEST INTERIOR ELEVATIONS @ KITCHEN

- A7.1 INTERIOR PERSPECTIVE VIEW 01
- A7.2 INTERIOR PERSPECTIVE VIEW 02
- A7.3 INTERIOR PERSPECTIVE VIEW 03
- A7.4 INTERIOR PERSPECTIVE VIEW 04
- A7.5 INTERIOR PERSPECTIVE VIEW 05

## CODE INFORMATION

SEE SHEET A1.1 FOR SITE SPECIFIC CODE INFORMATION

PROPOSED # OF STORIES:	1 + BASEMENT
FOUNDATION SIZE:	(EXISTING) 1,490 S.F. + 195 S.F. = 1,685 S.F. (PROPOSED)
BASEMENT: (UN-FINISHED)	(EXISTING) 358 S.F.
BASEMENT: (FINISHED)	(EXISTING) 850 S.F.
CRAWL SPACE: (UN-FINISHED)	(PROPOSED) 134 S.F.
FIRST FLOOR:	(EXISTING) 1,214 S.F. + 134 S.F. = 1,348 S.F. (PROPOSED)
EXTERIOR DECKS:	(EXISTING) 464 S.F. (-) 78 S.F. = 386 S.F. (PROPOSED)

TOTAL BEDROOMS	2 (1ST-FLOOR) + 1 (BASEMENT) = 3
FULL BATHS	1 (1ST FLOOR) + 1 (BASEMENT) = 2
HALF BATHS	0
ATTIC TYPE	UNFINISHED
GARAGE TYPE:	ATTACHED
GARAGE AREA (SQ.FT) :	(EXISTING) 243 S.F. + [61 S.F.ADDITION] = 304 S.F. (PROPOSED)
LOT SIZE:	8,650 S.F. PER PROPERTY LOOKUP - 8,318 PER SURVEYOR
LOT WIDTH :	50 FEET
LOT DEPTH :	183.3 FEET
LOT COVERAGE %	EXISTING = 30% IMPERVIOUS - PROPOSED = 32% IMPERVIOUS
LAND USE DESCRIPTION :	R1A / SINGLE FAMILY DISTRICT

## VARIANCE REQUESTS

- 01 DECREASE SIDE YARD SETBACK REQUIREMENT FROM 6'-0" TO 4'-10"
- 02 INCREASE PROJECTION OF GARAGE FROM HOUSE FROM 5'-0" TO 9'-6"

NOTE: ALL COSTS FOR GARAGE ADDITION SHOULD BE LISTED AS ALTERNATE #1

**Phil Rader**  
Architect  
5126 Washburn Avenue South  
Minneapolis, Minnesota 55410  
Phone: (612) 920-3955

ADDITION AND REMODEL  
**PETERSON RESIDENCE**  
2432 SHERIDAN AVENUE SOUTH  
MINNEAPOLIS, MN

Certification:  
I hereby certify that this plan, specification, or report was prepared by me, or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.  
Signed: *Phil Rader*  
Registration: 41379 Date: \_\_\_\_\_

Date: 11/01/2015  
Revision #: \_\_\_\_\_  
Commission: 2015-015  
Drawn By: PJR  
Checked By: PJR

Sheet Title:  
**TITLE SHEET**  
**INDEX OF DRAWINGS**  
**CODE INFORMATION**

Sheet Number:  
**T1.1**  
©2015 Phil Rader Architect, LTD.



2) PROPOSED STREET VIEW 01

NOT TO SCALE



1) EXISTING STREET VIEW 01

NOT TO SCALE

**Phil Rader**  
*Architect*  
 5126 Washburn Avenue South  
 Minneapolis, Minnesota 55410  
 Phone: (612) 920-3955

ADDITION AND REMODEL  
**PETERSON RESIDENCE**  
 2432 SHERIDAN AVENUE SOUTH  
 MINNEAPOLIS, MN

Certification:  
 I Herby certify that this plan, specification, or report was prepared by me, or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.  
 Signed: *PR*  
 Registration: 41379 Date: 11/01/2015

Date:	11/01/2015
Revision #:	
Commission:	2015-015
Drawn By:	PJR
Checked By:	PJR

Sheet Title:  
**EXISTING AND PROPOSED  
 STREET VIEWS  
 VIEW-01**

Sheet Number:  
**T1.3**  
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2) PROPOSED STREET VIEW 02

NOT TO SCALE



1) EXISTING STREET VIEW 02

NOT TO SCALE

**Phil Rader**  
*Architect*  
 5126 Washburn Avenue South  
 Minneapolis, Minnesota 55410  
 Phone: (612) 920-3955

ADDITION AND REMODEL  
**PETERSON RESIDENCE**  
 2432 SHERIDAN AVENUE SOUTH  
 MINNEAPOLIS, MN

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Revision #:	
Commission:	2015-015
Drawn By:	PJR
Checked By:	PJR

Sheet Title:  
**EXISTING AND PROPOSED  
 STREET VIEWS  
 VIEW-02**

Sheet Number:  
**T1.4**  
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1) PHOTOGRAPH 01  
NOT TO SCALE



2) PHOTOGRAPH 02  
NOT TO SCALE



3) PHOTOGRAPH 03  
NOT TO SCALE



4) PHOTOGRAPH 04  
NOT TO SCALE

**Phil Rader**  
*Architect*  
5126 Washburn Avenue South  
Minneapolis, Minnesota 55410  
Phone: (612) 920-3955

ADDITION AND REMODEL  
**PETERSON RESIDENCE**  
2432 SHERIDAN AVENUE SOUTH  
MINNEAPOLIS, MN

Certification:  
I Herby certify that this plan, specification, or report was prepared by me, or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.  
Signed: *PR*  
Registration: 41379 Date: 11/01/2015

Date:	11/01/2015
Revision #:	
Commission:	2015-015
Drawn By:	PJR
Checked By:	PJR

Sheet Title:  
**EXISTING PROPERTY  
PHOTOGRAPHS**

Sheet Number:  
**T1.5**  
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1) AERIAL VIEW OF 2432 SHERIDAN AVENUE SOUTH AND SURROUNDING AREA

NOT TO SCALE

**Phil Rader**  
*Architect*  
 5126 Washburn Avenue South  
 Minneapolis, Minnesota 55410  
 Phone: (612) 920-3955

ADDITION AND REMODEL  
**PETERSON RESIDENCE**  
 2432 SHERIDAN AVENUE SOUTH  
 MINNEAPOLIS, MN

Certification:  
 I Herby certify that this plan, specification, or report was prepared by me, or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.  
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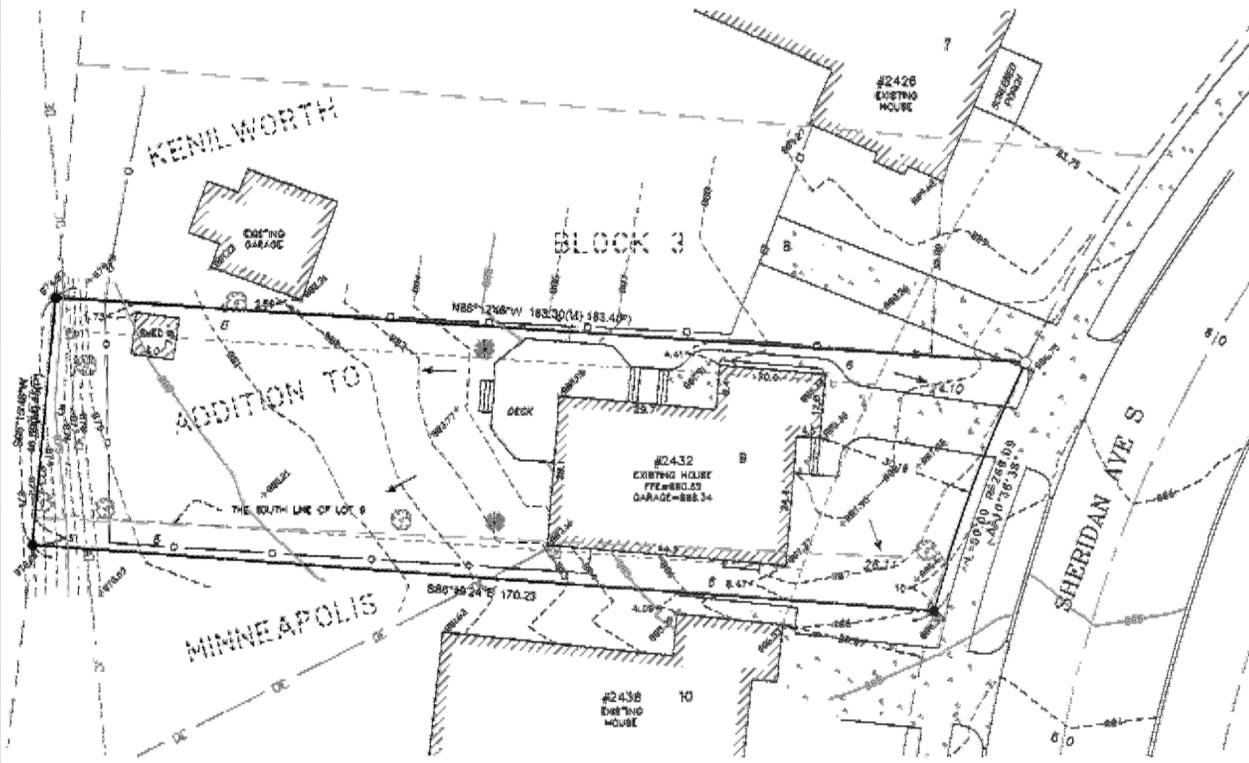
Date:	11/01/2015
Revision #:	
Commission:	2015-015
Drawn By:	PJR
Checked By:	PJR

Sheet Title:  
**AERIAL VIEW OF HOME  
 AND SURROUNDING AREA**

Sheet Number:  
**T1.6**  
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# CERTIFICATE OF SURVEY

Call 48 Hours before digging  
**GOPHER STATE ONE CALL**  
 Twin Cities Area 651-434-0002  
 MN. Toll Free 1-800-252-1166



### LEGEND

- DENOTES FOUND PROPERTY IRON
- DENOTES SET "X" IN CONCRETE
- DENOTES BOUNDARY LINE
- - - DENOTES LOT LINE
- - - DENOTES SETBACK LINE
- - - DENOTES EXISTING CONTOUR LINE
- X---X---X--- DENOTES EXISTING ELEVATION
- ▭ DENOTES CONCRETE SURFACE
- DENOTES DRAINAGE FLOW
- DENOTES CHAINLINK FENCE
- DENOTES WOOD FENCE
- DENOTES OVERHEAD ELECTRIC
- DENOTES ELECTRIC METER
- DENOTES DECIDUOUS TREE
- DENOTES CONIFEROUS TREE
- FTE DENOTES FINISH FLOOR ELEVATION
- (M) DENOTES MEASURED DISTANCE
- (P) DENOTES PLATTED DISTANCE

### NOTES

1. THE BASIS OF THE MEASURING SYSTEM IS ASSUMED.
2. NO SPECIFIC SOIL INVESTIGATION HAS BEEN COMPLETED.
3. CONTRACTOR SHALL VERIFY PROPOSED ELEVATIONS.
4. NO TITLE INFORMATION WAS PROVIDED FOR THIS SURVEY. THIS SURVEY DOES NOT PURPORT TO SHOW ALL EASEMENTS OF RECORD.
5. EXISTING UTILITIES AND SERVICES SHOWN HEREON OWNER LOCATED EITHER PHYSICALLY ON THE GROUND DURING THE SURVEY OR FROM EXISTING RECORDS MADE AVAILABLE TO US OR BY RESIDENT TESTIMONY. OTHER UTILITIES AND SERVICES MAY BE PRESENT. VERIFICATION AND LOCATION OF UTILITIES AND SERVICES SHOULD BE OBTAIN FROM THE OWNERS OF RESPECTIVE UTILITIES BY CONTACTING GOPHER STATE ONE CALL AT (651) 434-0002 PRIOR TO ANY DESIGN, PLANNING OR EXCAVATION.

**BUILDING SETBACKS**  
 ZONING: R1A - SINGLE-FAMILY DISTRICT  
 HOUSE: FRONT - 30 FT OR AVERAGE  
 BETWEEN ADJACENT HOUSES,  
 WHICHEVER IS GREATER  
 REAR/SIDE - 5 FT

**HARDCOVER**  
 EXISTING STRUCTURES 1,067 SQ. FT.  
 EXISTING PAVED SURFACES 326 SQ. FT.  
 TOTAL LOT AREA 8,318 SQ. FT.  
 EXISTING HARDCOVER 30.0 %

**REFERENCE BENCHMARK**  
 ELEVATION = 863.79 (INDVD 29) CITY OF  
 MINNEAPOLIS MONUMENT #450, SOUTH OF  
 THE INTERSECTION OF PENN AVE S & LAKE  
 OF THE ISLES PARKWAY

**LEGAL DESCRIPTION**  
 Lot 8 and that part of Lot 10 lying northerly of a line running from a point on the westerly line distant 8 feet southerly from the Northwest corner thereof to a point on the easterly line distant 10 feet southerly of the northeasterly corner thereof, Block 3, KENILWORTH ADDITION TO MINNEAPOLIS, Hennepin County, Minnesota, according to the recorded plat thereof

NO.	DATE	REVISION	BY

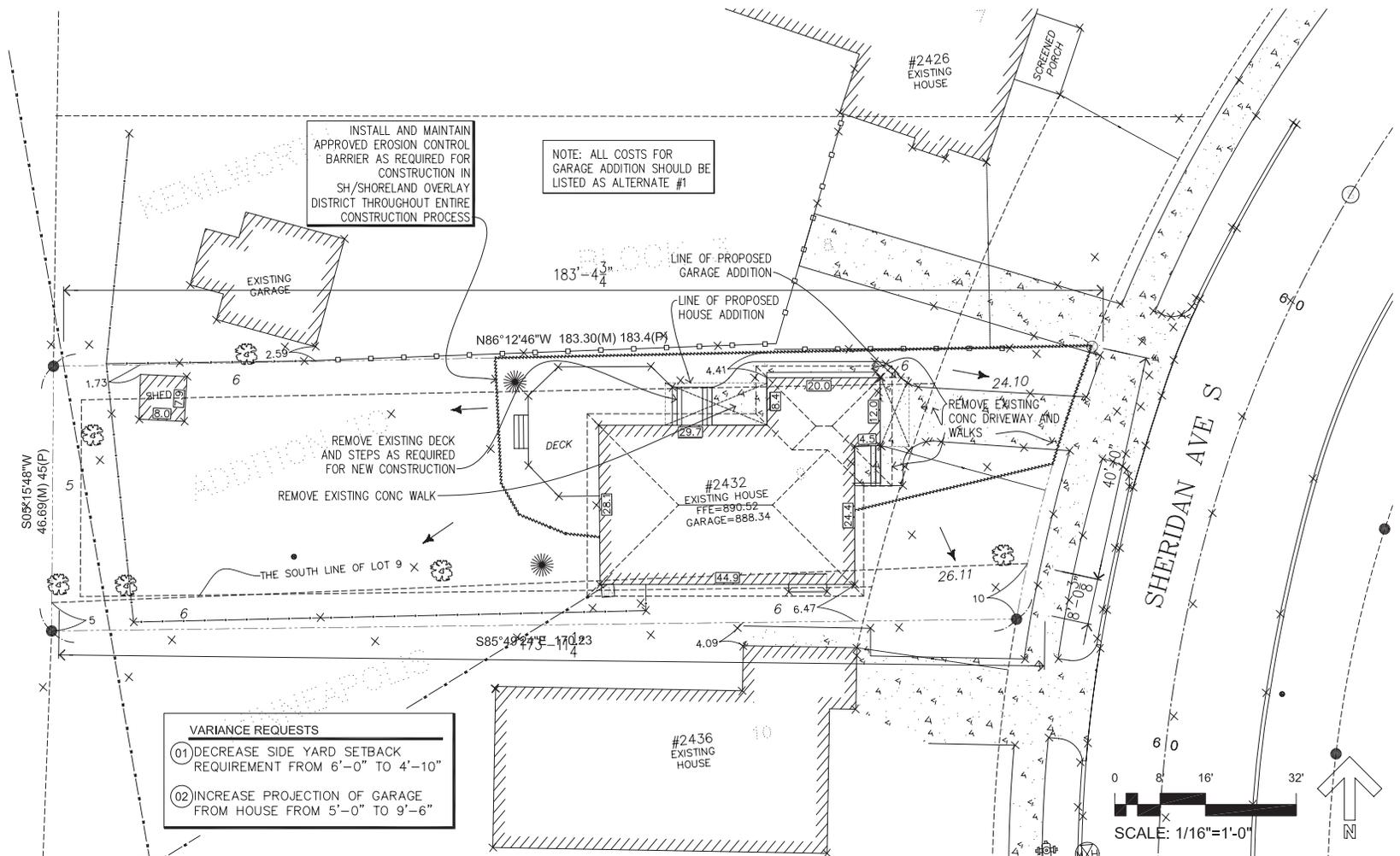
**EDS ENGINEERING DESIGN & SURVEYING**  
 6480 Weyzata Blvd. Minneapolis, MN 55426  
 OFFICE: (763) 545-2800 FAX: (763) 545-2801  
 EMAIL: info@eds.com WEBSITE: http://eds.com

I HEREBY CERTIFY THAT THIS SURVEY WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.  
*Wlad Swirski* DATE: 10/30/16  
 LICENSE NUMBER: 110,387

JOB NAME: KAREN PETERSON  
 LOCATION: 2432 SHERIDAN AVE S MINNEAPOLIS, MN 55408

FIELD WORK DATE: 10/12/16  
 FIELD BOOK NO.: 538-13

DRAWN BY: EP  
 CHECKED BY: VS  
 PROJECT NO.: 16-146  
 SHEET NO. 1 OF 1



**VARIANCE REQUESTS**

01) DECREASE SIDE YARD SETBACK REQUIREMENT FROM 6'-0" TO 4'-10"

02) INCREASE PROJECTION OF GARAGE FROM HOUSE FROM 5'-0" TO 9'-6"

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ADDITION AND REMODEL  
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MINNEAPOLIS, MN

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Registration: 41379 Date: 11/01/2015

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Revision #:

Commission: 2015-015

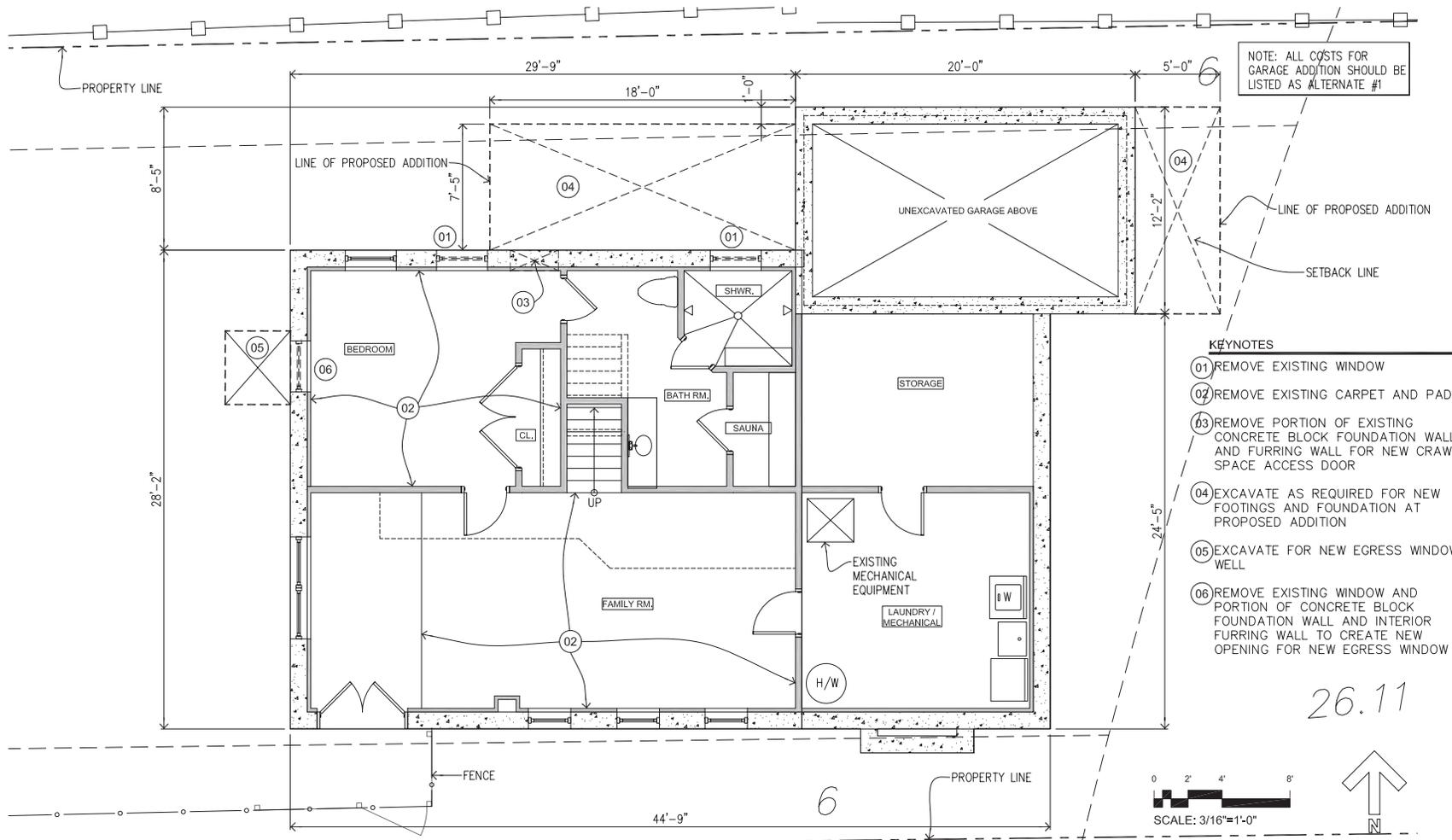
Drawn By: PJR

Checked By: PJR

Sheet Title:  
**AS-BUILT SURVEY DRAWINGS**  
**SITE PLAN**

Sheet Number:  
**X0.1**

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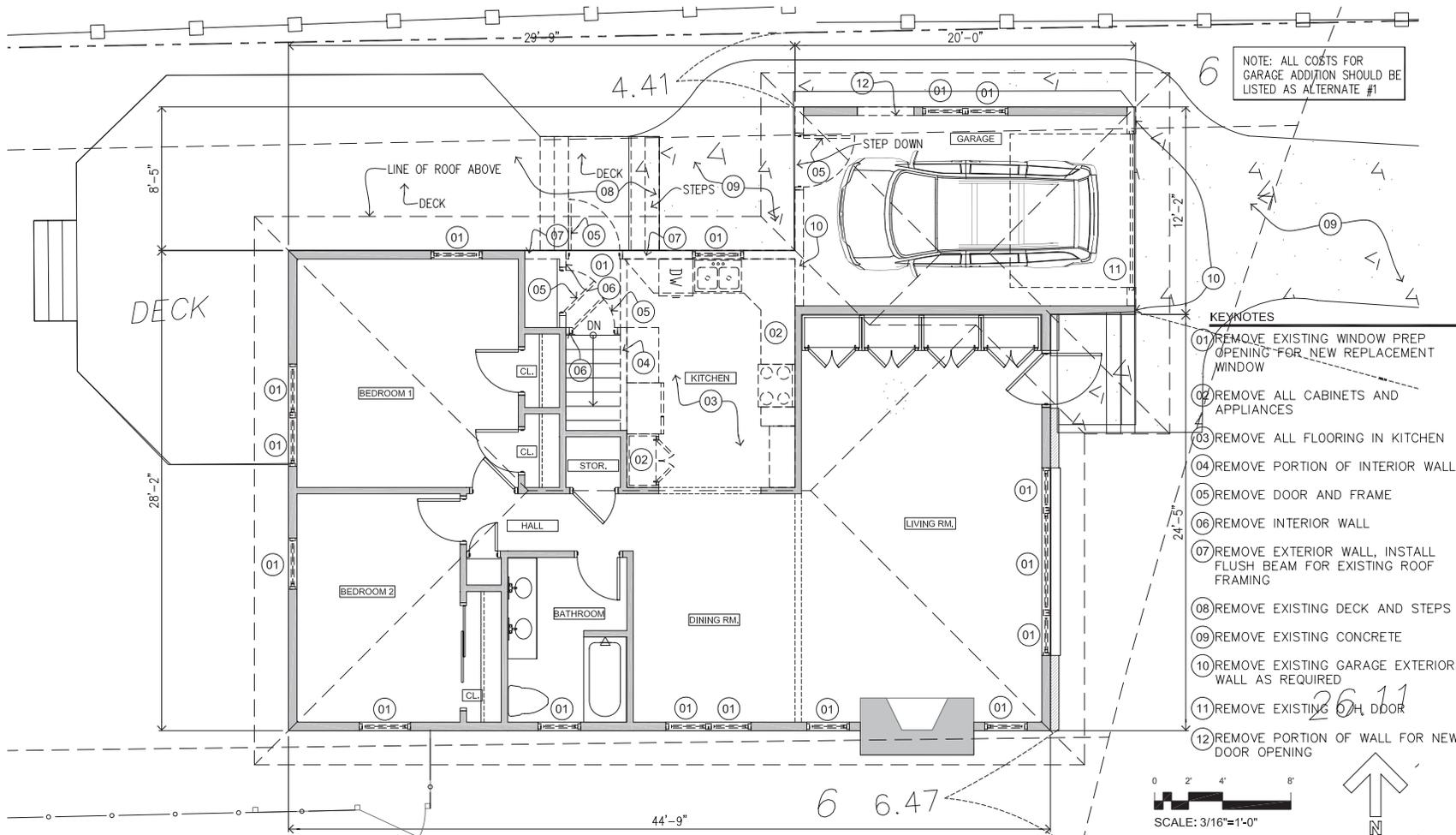
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 Registration: 41379 Date: 11/01/2015

Date: 11/01/2015  
 Revision: 2  
 Commission: 2015-015  
 Drawn By: PJR  
 Checked By: PJR

Sheet Title:  
**EXISTING / DEMOLITION  
 BASEMENT FLOOR PLAN**

Sheet Number:  
**X1.1**  
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NOTE: ALL COSTS FOR GARAGE ADDITION SHOULD BE LISTED AS ALTERNATE #1

- KEYNOTES**
- 01 REMOVE EXISTING WINDOW PREP OPENING FOR NEW REPLACEMENT WINDOW
  - 02 REMOVE ALL CABINETS AND APPLIANCES
  - 03 REMOVE ALL FLOORING IN KITCHEN
  - 04 REMOVE PORTION OF INTERIOR WALL
  - 05 REMOVE DOOR AND FRAME
  - 06 REMOVE INTERIOR WALL
  - 07 REMOVE EXTERIOR WALL, INSTALL FLUSH BEAM FOR EXISTING ROOF FRAMING
  - 08 REMOVE EXISTING DECK AND STEPS
  - 09 REMOVE EXISTING CONCRETE
  - 10 REMOVE EXISTING GARAGE EXTERIOR WALL AS REQUIRED
  - 11 REMOVE EXISTING DOOR
  - 12 REMOVE PORTION OF WALL FOR NEW DOOR OPENING



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ADDITION AND REMODEL  
**PETERSON RESIDENCE**  
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 MINNEAPOLIS, MN

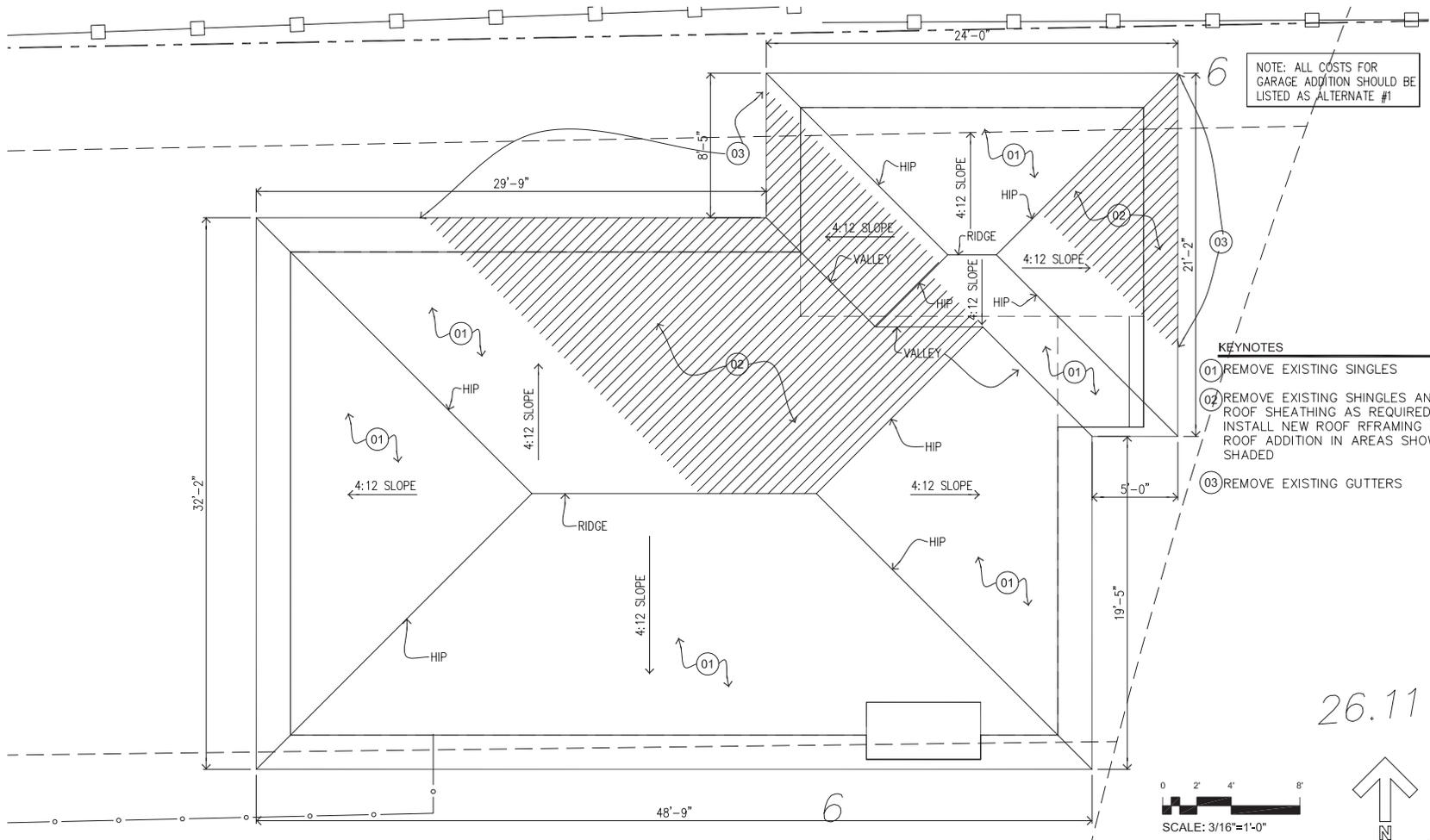
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 Registration: 41379 Date: 11/01/2015

Date: 11/01/2015  
 Revision #: \_\_\_\_\_  
 Commission: 2015-015  
 Drawn By: PJR  
 Checked By: PJR

Sheet Title:  
**EXISTING / DEMOLITION**  
**FIRST FLOOR PLAN**

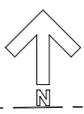
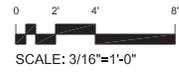
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**X1.2**  
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NOTE: ALL COSTS FOR GARAGE ADDITION SHOULD BE LISTED AS ALTERNATE #1

- KEYNOTES**
- 01 REMOVE EXISTING SINGLES
  - 02 REMOVE EXISTING SHINGLES AND ALL ROOF SHEATHING AS REQUIRED TO INSTALL NEW ROOF RFRAMING FOR ROOF ADDITION IN AREAS SHOWN SHADED
  - 03 REMOVE EXISTING GUTTERS

26.11



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Registration: 41379 Date: 11/01/2015

Date: 11/01/2015

Revision #:

Commission: 2015-015

Drawn By: PJR

Checked By: PJR

Sheet Title:  
**EXISTING / DEMOLITION**  
**ROOF PLAN**

Sheet Number:  
**X1.3**

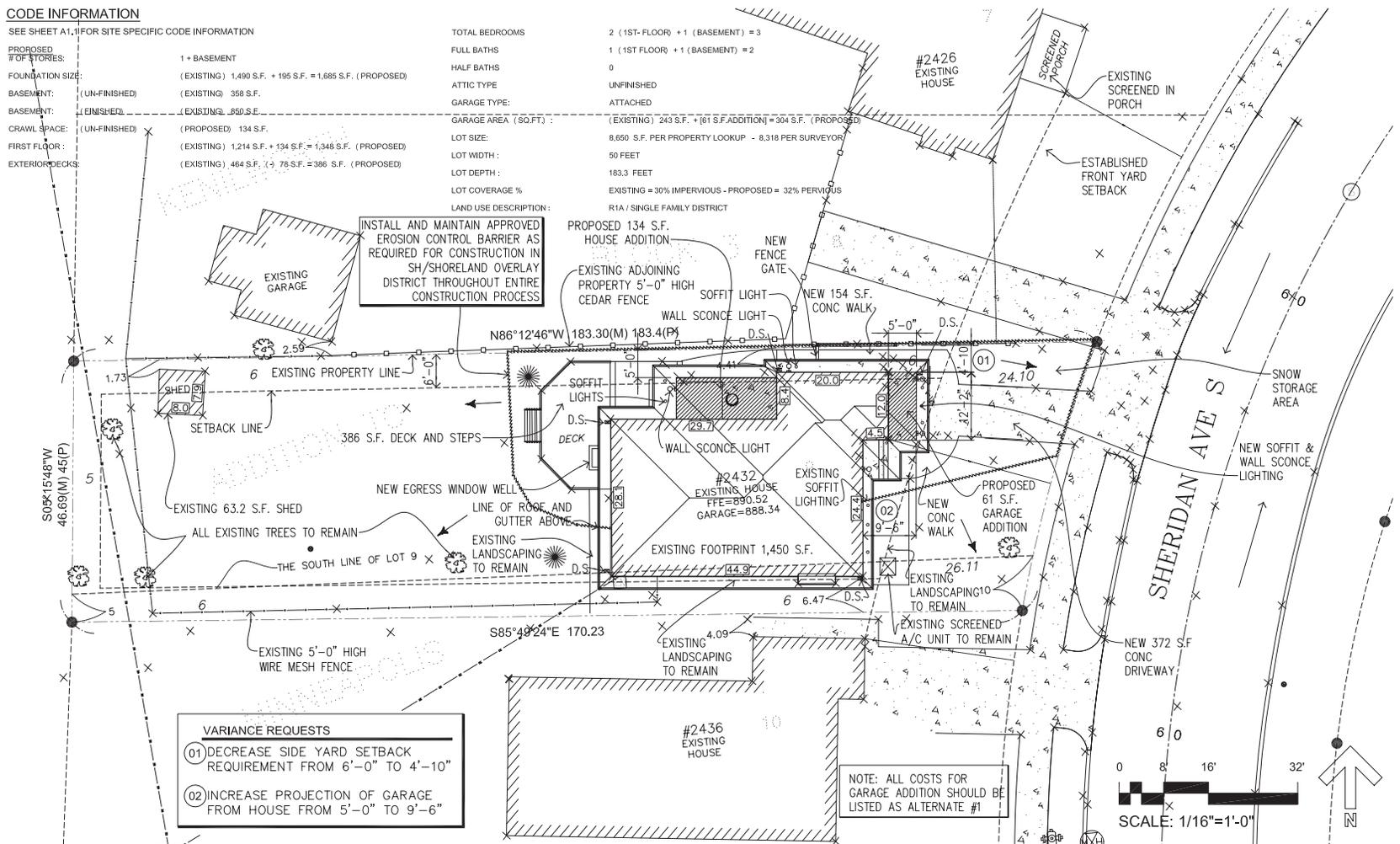
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**CODE INFORMATION**

SEE SHEET A1.1 FOR SITE SPECIFIC CODE INFORMATION

PROPOSED # OF STORIES:	1 + BASEMENT
FOUNDATION SIZE:	(EXISTING) 1,490 S.F. + 195 S.F. = 1,685 S.F. (PROPOSED)
BASEMENT:	(UN-FINISHED) (EXISTING) 358 S.F.
BASEMENT:	(FINISHED) (EXISTING) 590 S.F.
CRAWL SPACE:	(UN-FINISHED) (PROPOSED) 134 S.F.
FIRST FLOOR:	(EXISTING) 1,214 S.F. + 134 S.F. = 1,348 S.F. (PROPOSED)
EXTERIOR DECKS:	(EXISTING) 464 S.F. (+) 78 S.F. = 542 S.F. (PROPOSED)

TOTAL BEDROOMS	2 (1ST-FLOOR) + 1 (BASEMENT) = 3
FULL BATHS	1 (1ST FLOOR) + 1 (BASEMENT) = 2
HALF BATHS	0
ATTIC TYPE	UNFINISHED
GARAGE TYPE:	ATTACHED
GARAGE AREA (SQ.FT.) :	(EXISTING) 243 S.F. + [61 S.F. ADDITION] = 304 S.F. (PROPOSED)
LOT SIZE:	8,660 S.F. PER PROPERTY LOOKUP - 8,318 PER SURVEYOR
LOT WIDTH:	90 FEET
LOT DEPTH:	183.3 FEET
LOT COVERAGE %	EXISTING = 30% IMPERVIOUS - PROPOSED = 32% PERVIOUS
LAND USE DESCRIPTION:	R1A / SINGLE FAMILY DISTRICT



**VARIANCE REQUESTS**

(01) DECREASE SIDE YARD SETBACK REQUIREMENT FROM 6'-0" TO 4'-10"

(02) INCREASE PROJECTION OF GARAGE FROM HOUSE FROM 5'-0" TO 9'-6"

NOTE: ALL COSTS FOR GARAGE ADDITION SHOULD BE LISTED AS ALTERNATE #1

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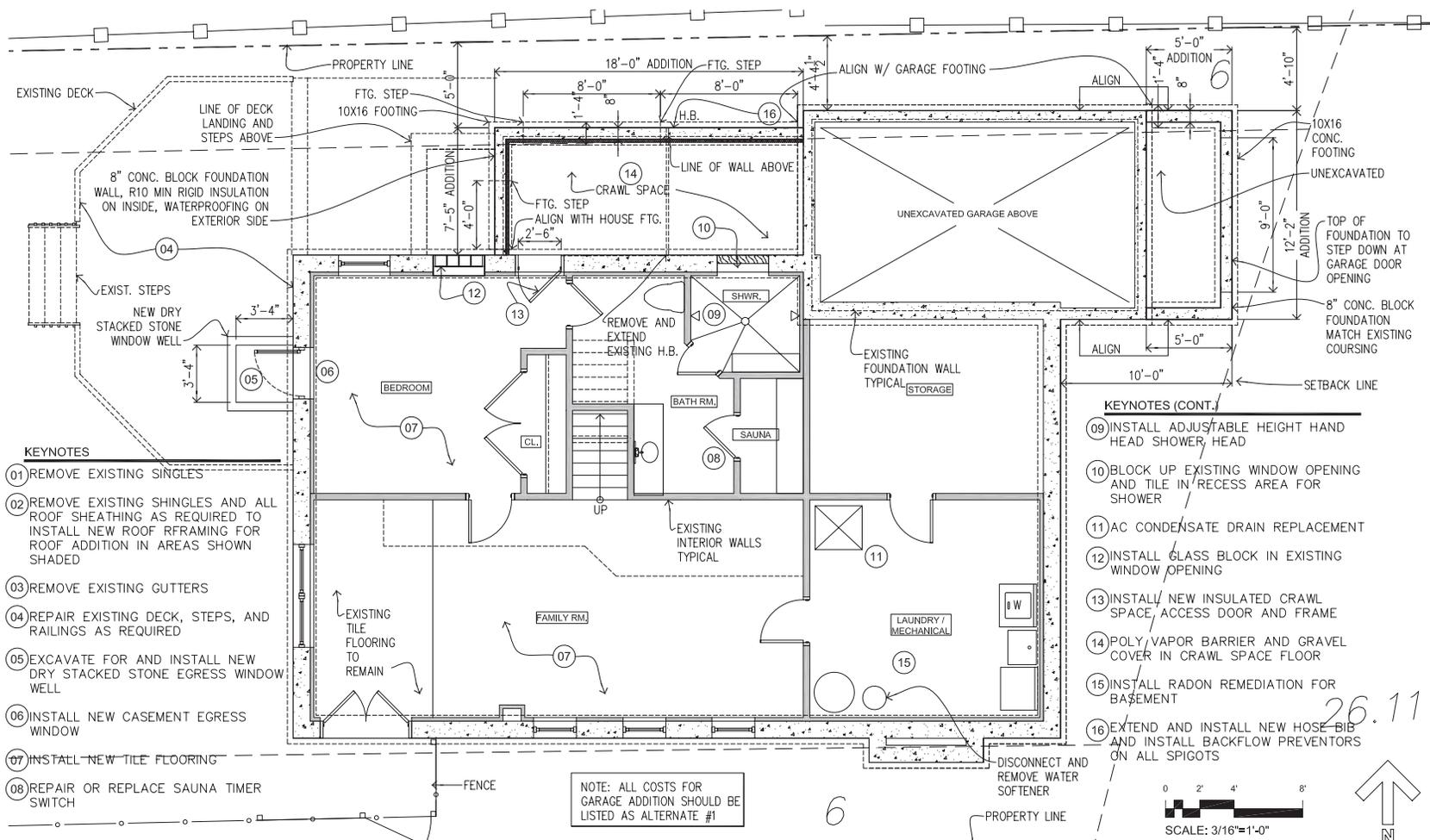
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Sheet Title:  
**PROPOSED SITE PLAN**

Sheet Number:  
**A0.1**

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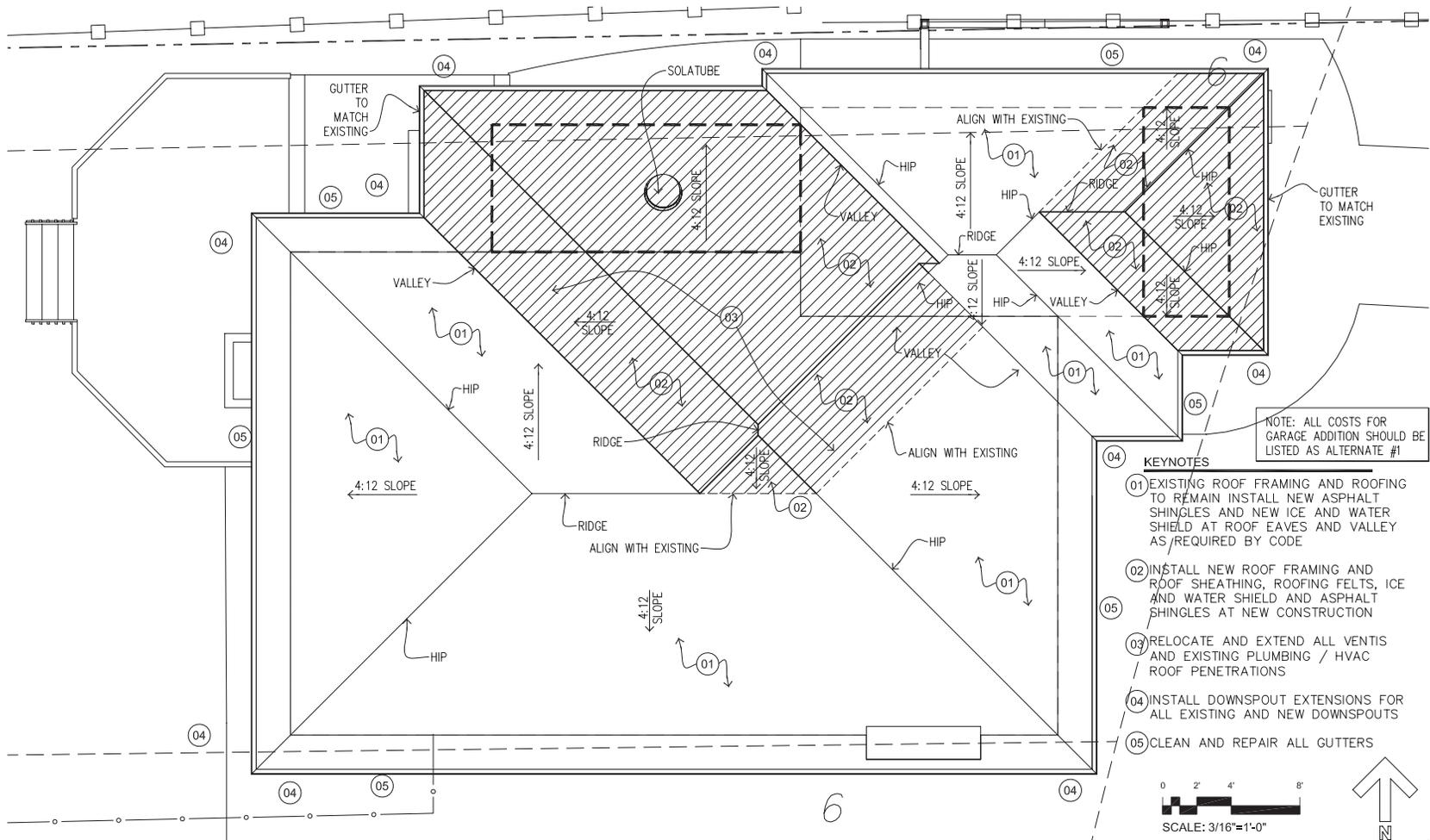
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Date: 11/01/2015  
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Sheet Title:  
**PROPOSED  
 BASEMENT PLAN**

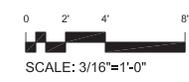
Sheet Number:  
**A1.1**  
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NOTE: ALL COSTS FOR GARAGE ADDITION SHOULD BE LISTED AS ALTERNATE #1

- KEYNOTES**
- 01 EXISTING ROOF FRAMING AND ROOFING TO REMAIN INSTALL NEW ASPHALT SHINGLES AND NEW ICE AND WATER SHIELD AT ROOF EAVES AND VALLEY AS REQUIRED BY CODE
  - 02 INSTALL NEW ROOF FRAMING AND ROOF SHEATHING, ROOFING FELTS, ICE AND WATER SHIELD AND ASPHALT SHINGLES AT NEW CONSTRUCTION
  - 03 RELOCATE AND EXTEND ALL VENTS AND EXISTING PLUMBING / HVAC ROOF PENETRATIONS
  - 04 INSTALL DOWNSPOUT EXTENSIONS FOR ALL EXISTING AND NEW DOWNSPOUTS
  - 05 CLEAN AND REPAIR ALL GUTTERS



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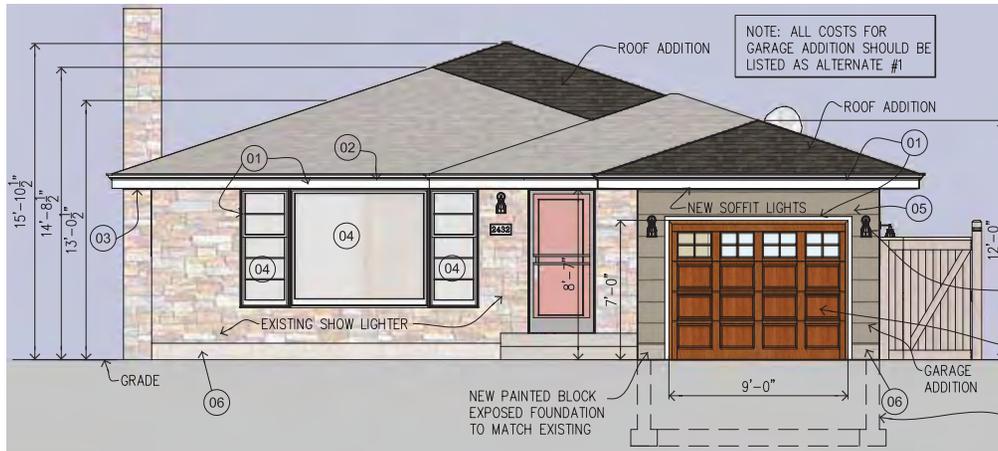
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Sheet Title:  
**PROPOSED ROOF PLAN**

Sheet Number:  
**A1.3**  
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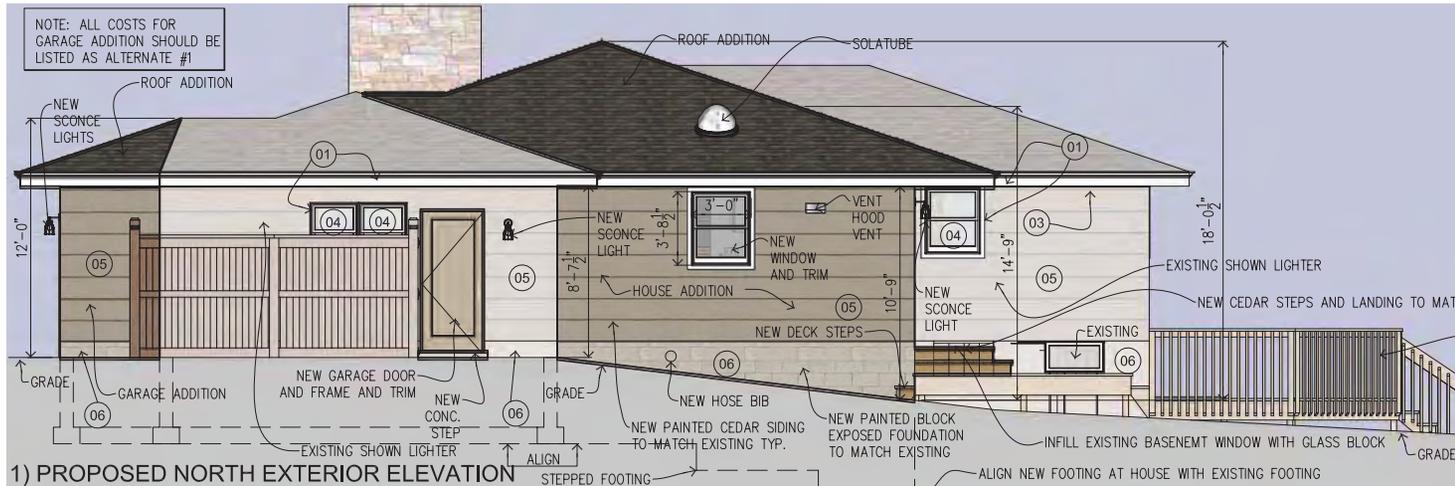


**KEYNOTES**

- 01 PAINT ALL EXISTING AND NEW DOOR, WINDOW, SOFFIT AND FACIA TRIM
- 02 REPAIR AS REQUIRED ALL SOFFIT AND FACIA
- 03 CLEAN OUT ALL EXISTING SOFFIT VENTS
- 04 REPLACE EXISTING WINDOW WITH REPLACEMENT WINDOW IN EXISTING OPENING
- 05 PAINT ALL EXISTING AND NEW CEDAR SIDING COLOR TO BE SELECTED BY OWNER
- 06 PAINT ALL EXISTING AND NEW EXPOSED FOUNDATION WALLS COLOR TO BE SELECTED BY OWNER

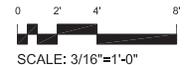
**2) PROPOSED EAST EXTERIOR ELEVATION**

3/16"=1'-0"



**1) PROPOSED NORTH EXTERIOR ELEVATION**

3/16"=1'-0"



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Date: 11/01/2015  
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Sheet Title:  
**EAST & NORTH EXTERIOR ELEVATIONS**

Sheet Number:  
**A3.1**  
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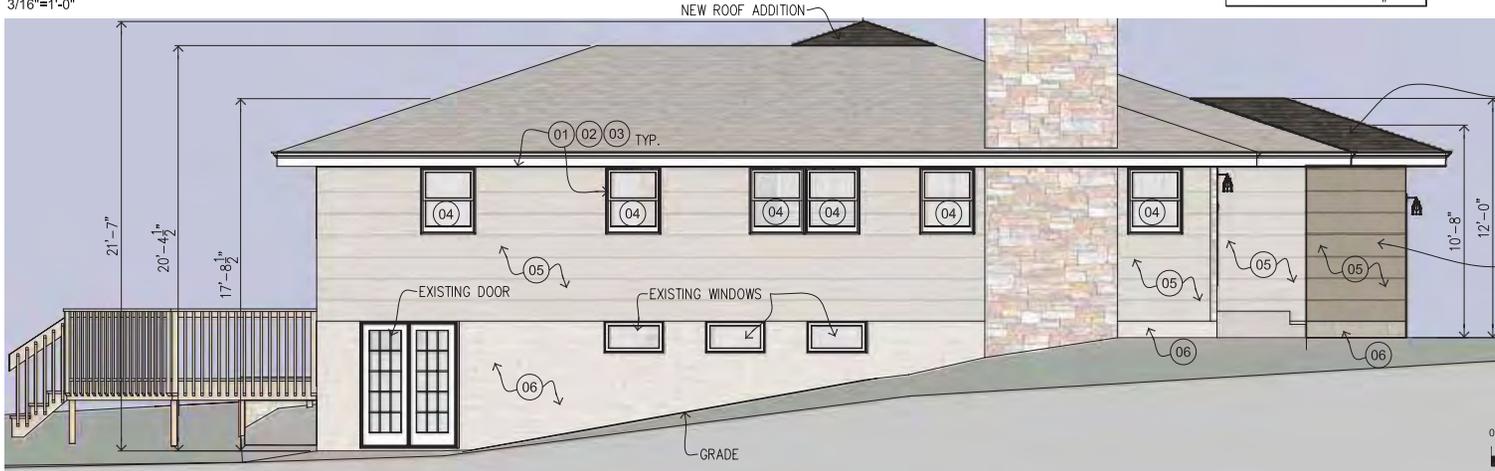
2) PROPOSED WEST EXTERIOR ELEVATION

3/16"=1'-0"

KEYNOTES

- 01 PAINT ALL EXISTING AND NEW DOOR, WINDOW, SOFFIT AND FACIA TRIM
- 02 REPAIR AS REQUIRED ALL SOFFIT AND FACIA
- 03 CLEAN OUT ALL EXISTING SOFFIT VENTS
- 04 REPLACE EXISTING WINDOW WITH REPLACEMENT WINDOW IN EXISTING OPENING
- 05 PAINT ALL EXISTING AND NEW CEDAR SIDING COLOR TO BE SELECTED BY OWNER
- 06 PAINT ALL EXISTING AND NEW EXPOSED FOUNDATION WALLS COLOR TO BE SELECTED BY OWNER

NOTE: ALL COSTS FOR GARAGE ADDITION SHOULD BE LISTED AS ALTERNATE #1



1) PROPOSED SOUTH EXTERIOR ELEVATION

3/16"=1'-0"

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Date: 11/01/2015  
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Sheet Title:  
**WEST & SOUTH EXTERIOR ELEVATIONS**

Sheet Number:  
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1) EXTERIOR PERSPECTIVE VIEW 01 FROM EAST LOOKING AT EAST ELEVATION SHOWING PROPOSED GARAGE ADDITION

NOT TO SCALE

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Sheet Title:  
**EXTERIOR  
 PERSPECTIVE VIEW 01**

Sheet Number:  
**A4.1**

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1) EXTERIOR PERSPECTIVE VIEW 02 FROM EAST LOOKING AT NORTH EAST CORNER OF PROPOSED GARAGE ADDITION

NOT TO SCALE

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Sheet Title:  
**EXTERIOR  
 PERSPECTIVE VIEW 02**

Sheet Number:  
**A4.2**

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1) EXTERIOR PERSPECTIVE VIEW 03 FROM NORTH LOOKING AT NORTH WEST CORNER OF PROPOSED HOME ADDITION

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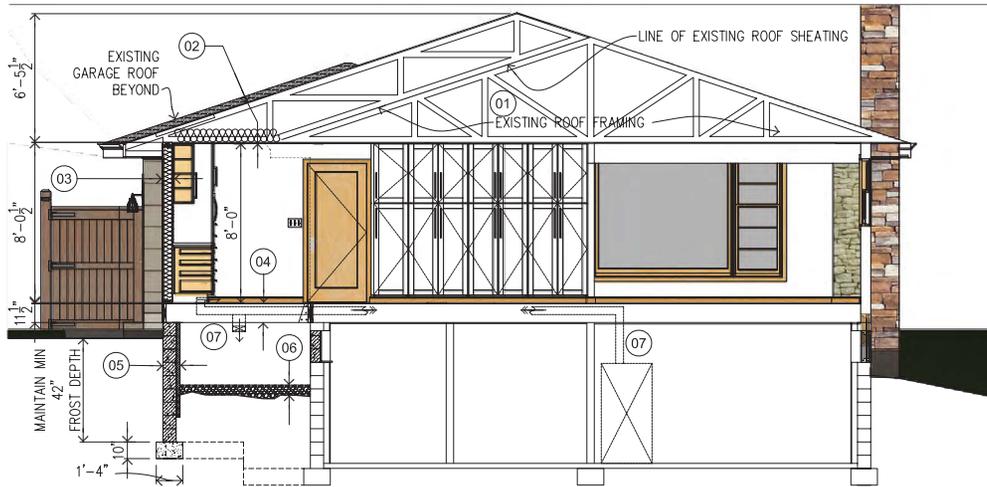
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Date: 11/01/2015  
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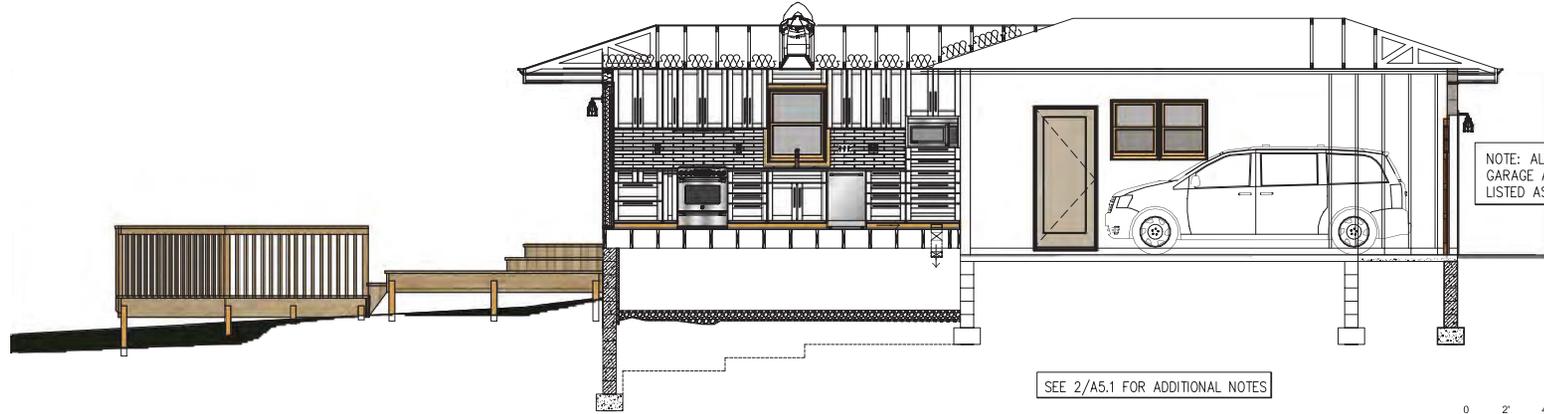
Sheet Title:  
**EXTERIOR  
 PERSPECTIVE VIEW 03**

Sheet Number:  
**A4.3**  
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- KEYNOTES**
- 01 INSTALL NEW ATTIC INSULATION IN EXISTING ATTIC
  - 02 NEW ROOF CONSTRUCTION: ASPHALT SHINGLES, 15LB ROOFING FELT, 5/8" SHEATHING, PRE-ENGINEERED ROOF TRUSSES OR PRE-ENGINEERED HAND FRAMING, R44 MIN INSULATION, VAPOR BARRIER, 5/8" PTD. GYP. BD CEILING
  - 03 NEW EXTERIOR WALL CONSTRUCTION: PAINTED CEDAR SHINGLES TO MATCH EXISTING, POLY BUILDING WRAP, 1/2" WALL SHEATHING, 2X6 STUDS @ 16" O.C. R19 MIN WALL INSULATION, POLY VAPOR BARRIER, 1/2" PAINTED GYP. BD INTERIOR
  - 04 NEW FLOOR CONSTRUCTION OVER CRAWL SPACE: STAINED WOOD FLOORING, 3/4" SUB FLOOR, 2X12'S @ 16" O.C. WITH 2X12 INSULATED RIM JOIST, AND JOIST HANGERS ATTACHED TO EXISTING RIM JOIST, SPRAY FOAM INSULATION AT RIM JOIST
  - 05 NEW FOUNDATION / FOOTING CONSTRUCTION: SPRAY OR ROLL APPLIED WATERPROOFING, 8" CONC. BLOCK, R10 RIGID INSULATION, 10X16 CONTINUOUS FOOTING STEPPED TO MATCH HEIGHT OF GARAGE FOOTING AT GARAGE AND TO MATCH HEIGHT OF HOUSE FOOTING AT HOUSE
  - 06 CRAWL SPACE FLOOR: POLY VAPOR BARRIER, LOOSE GRAVEL COVER
  - 07 EXTEND EXISTING MECHANICAL AIR SUPPLY TO KITCHEN ADDITION AND CRAWL SPACE

1) NORTH/SOUTH BUILDING SECTION LOOKING EAST AT EAST WALL OF KITCHEN  
3/16"=1'-0"



2) EAST/WEST BUILDING SECTION LOOKING NORTH AT NORTH WALL OF KITCHEN  
3/16"=1'-0"

**Phil Rader**  
Architect  
5126 Washburn Avenue South  
Minneapolis, Minnesota 55410  
Phone: (612) 920-3955

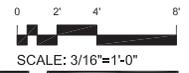
ADDITION AND REMODEL  
**PETERSON RESIDENCE**  
2432 SHERIDAN AVENUE SOUTH  
MINNEAPOLIS, MN

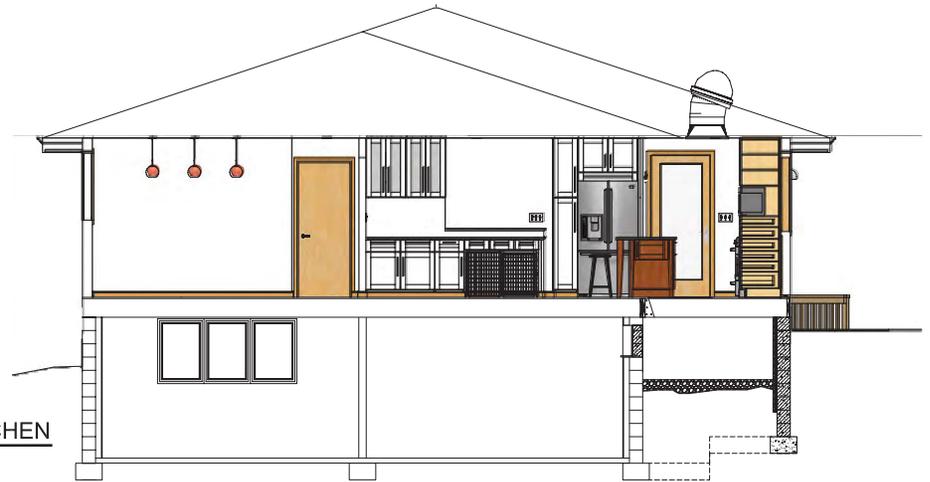
Certification:  
I hereby certify that this plan, specification, or report was prepared by me, or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.  
Signed: *Phil Rader*  
Registration: 41379 Date: 11/01/2015

Date: 11/01/2015  
Revision #: \_\_\_\_\_  
Commission: 2015-015  
Drawn By: PJR  
Checked By: PJR

Sheet Title:  
**BUILDING SECTION 01 &  
BUILDING SECTION 02**

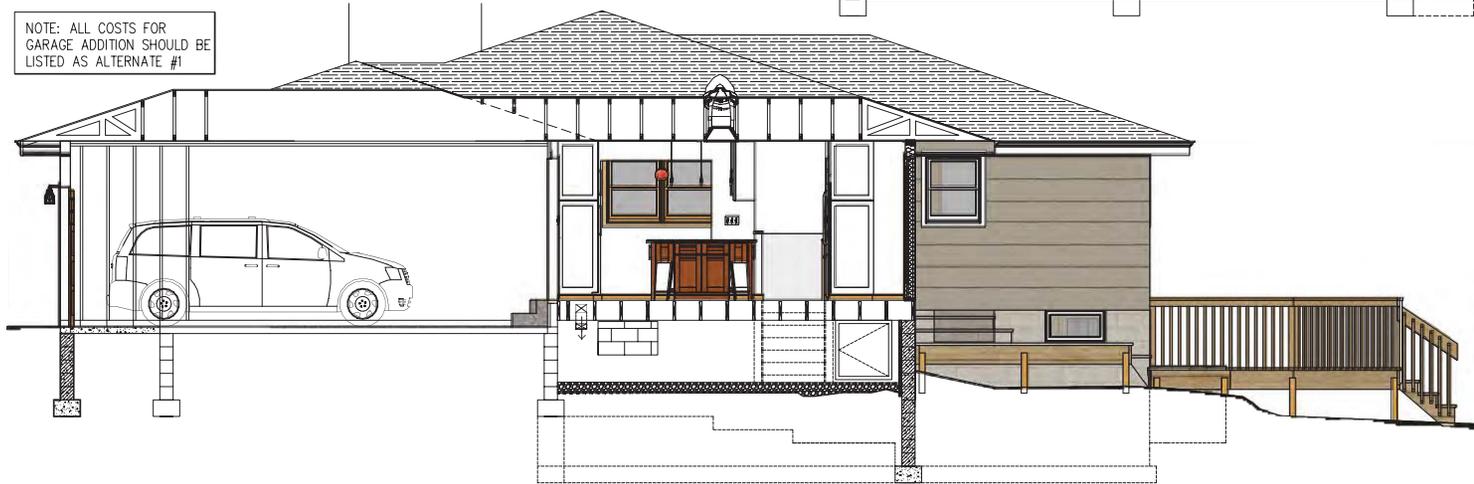
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**A5.1**  
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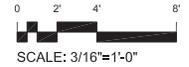


1) N/S BUILDING SECTION LOOKING WEST AT WEST WALL OF KITCHEN  
 3/16"=1'-0"

NOTE: ALL COSTS FOR GARAGE ADDITION SHOULD BE LISTED AS ALTERNATE #1



2) EAST/WEST BUILDING SECTION LOOKING SOUTH AT SOUTH WALL OF KITCHEN  
 3/16"=1'-0"



**Phil Rader**  
*Architect*  
 5126 Washburn Avenue South  
 Minneapolis, Minnesota 55410  
 Phone: (612) 920-3955

ADDITION AND REMODEL  
**PETERSON RESIDENCE**  
 2432 SHERIDAN AVENUE SOUTH  
 MINNEAPOLIS, MN

Certification:  
 I Herby certify that this plan, specification, or report was prepared by me, or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota

Signed: *[Signature]*  
 Registration: 41379 Date: 11/01/2015

Date: 11/01/2015  
 Revision #: \_\_\_\_\_  
 Commission: 2015-015  
 Drawn By: PJR  
 Checked By: PJR

Sheet Title:  
**BUILDING SECTION 03 &  
 BUILDING SECTION 04**

Sheet Number:  
**A5.2**  
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**Widmeier, Janelle A.**

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**From:** Jeanette Colby <jmcolby@earthlink.net>  
**Sent:** Tuesday, November 03, 2015 8:35 AM  
**To:** Widmeier, Janelle A.  
**Cc:** Goodman, Lisa R.; Phil Rader  
**Subject:** Variance Request at 2432 Sheridan Ave S

Dear Janelle,

At the Kenwood Isles Area Association meeting last night, Karen Peterson and her architect, Phil Radar, presented their plans to remodel the garage at 2432 Sheridan Ave. S., which requires a variance.

The KIAA board saw no problems or issues with this project, and voted unanimously to support the variance request.

Best regards,

Jeanette Colby

Chair, Kenwood Isles Area Association