



CPED STAFF REPORT

Prepared for the Zoning Board of Adjustment
BOA Agenda Item #5
December 3, 2015
BZZ-7496

LAND USE APPLICATION SUMMARY

Property Location: 184 Seymour Avenue Southeast
Project Name: 184 Seymour Avenue Southeast Retaining Walls
Prepared By: [Janelle Widmeier](#), Senior City Planner, (612) 673-3156
Applicant: Amy Hargens
Project Contact: Jack Dorcey, Landscape Design Studios
Request: Construct retaining walls that would not retain natural grade.
Required Applications:

Variance	To reduce the minimum interior side yard requirement adjacent to the north lot line to allow a 12.5 foot tall retaining wall not retaining natural grade.
Variance	To reduce the minimum interior side yard requirement adjacent to the south lot line to allow a 12.5 foot tall retaining wall not retaining natural grade.
Variance	To reduce the minimum rear yard requirement adjacent to the west lot line to allow a 12.5 foot tall retaining wall not retaining natural grade.

SITE DATA

Existing Zoning	R2B Two-Family District UA University Area Overlay District
Lot Area	6,510 square feet
Ward(s)	2
Neighborhood(s)	Prospect Park
Designated Future Land Use	Urban Neighborhood
Land Use Features	Not applicable.
Small Area Plan(s)	Stadium Village University Avenue Station Area Plan (2012)

Date Application Deemed Complete	October 23, 2015	Date Extension Letter Sent	Not applicable
End of 60-Day Decision Period	December 22, 2015	End of 120-Day Decision Period	Not applicable

BACKGROUND

SITE DESCRIPTION AND PRESENT USE. The existing single-family dwelling was permitted for construction in 1913. The dilapidated, detached 10 foot by 14 foot garage adjacent to the alley was permitted for construction in 1921. There is an existing parking pad located at the front of the dwelling with curb access from Seymour Avenue.

SURROUNDING PROPERTIES AND NEIGHBORHOOD. The surrounding properties are predominately single-family dwellings. The subject property abuts a dead-end, unimproved public alley. Interstate 94 is also one-half block away.

PROJECT DESCRIPTION. The applicant is proposing to install a retaining wall in the rear 34 feet of the property located at 184 Seymour Avenue Southeast. In this area, there is a detached garage and the grade slopes down 14 feet towards the public alley. The garage is proposed to be demolished. With the construction of the 12.5 foot retaining wall, backfill would be added for the purpose of creating a flatter, larger and more usable back yard. Along the alley, the wall would be 12.5 foot tall and the height would taper where the natural grade rises. On top of the retaining wall, a 4 foot tall, open and decorative aluminum fence would also be installed.

The retaining wall would abut the north and south interior side and the west rear lot lines. The minimum yard requirement adjacent to the interior side lot lines is 6 feet. The minimum yard requirement adjacent to the rear lot lines is 5 feet. Walls that retain natural grade are permitted obstructions in required yards. However, walls that do not retain natural grade are not permitted obstructions. Because the proposed wall would not be retaining natural grade, yard variances are required to allow the wall.

PUBLIC COMMENTS. Correspondence from the neighborhood group was received and is attached to this report. Any additional correspondence received prior to the public meeting will be forwarded on to the Board of Adjustment for consideration.

ANALYSIS

VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for **1) a variance to reduce the minimum interior side yard requirement adjacent to the north lot line, 2) a variance to reduce the minimum interior side yard requirement adjacent to the south lot line, and 3) a variance to reduce the minimum rear yard requirement adjacent to the west lot line to allow a 12.5 foot tall retaining wall not retaining natural grade** based on the following findings:

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

All variances: The minimum interior side yard setback requirements adjacent to the north and south lot lines are 6 feet. The minimum rear yard setback requirement adjacent to the west lot line is 5 feet. A retaining wall is proposed to be installed in the rear 34 feet of the subject property in the required yards. In this area, the grade slopes down 14 feet towards the public alley. Along the alley, the wall would be 12.5 foot tall and the height would taper where the natural grade rises. In

required yards, retaining walls are not permitted obstructions when they do not retain natural grade. The ordinance allows walls that retain natural grade.

Reasons stated by the applicant for requesting the variances include difficulty in maintaining the slope and to allow for the removal of the existing dilapidated garage in order to address rodent, raccoon, trespassing, and vagrancy issues. The garage holds up part of the slope. Replacing it with a retaining wall would also prevent compromising the stability of the neighboring retaining walls.

For a 12.5 foot tall retaining wall not retaining natural grade, CPED staff did not find that practical difficulties exist in complying with the ordinance because of circumstances unique to the property that were not created by the applicant. Although properties with substantial slopes are relatively unique within the city, properties with significant slopes are common in the immediate area. Therefore the steep slope is not a circumstance unique to this property. The slope also does not prevent reasonable use of the property. Although the grade changes significantly at the rear of the property, the remainder of the site is relatively flat. The need for a 12.5 foot tall wall would be created by backfilling on top of the natural grade. To make the slope more manageable, a terraced wall would more closely follow the topography without exceeding a height that would not be allowed for a fence, similar to the neighbor's property to the south. Stairs could be incorporated to facilitate ease of access to provide maintenance. A terraced wall may still require yard variances to account for some smaller portions not retaining natural grade, but would be more in keeping with the spirit and intent of the ordinance.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

All variances: In general, yard controls are established to provide for the orderly development and use of land and to minimize conflicts among land uses by regulating the dimension and use of yards in order to provide adequate light, air, open space and separation of uses. When a wall does not retain natural grade it is more akin to a fence in relation to impacts to adjacent properties. Fence standards are established to promote the public health, safety and welfare, encourage an aesthetic environment and allow for privacy, while maintaining access to light and air. Solid fences in interior side and rear yards are allowed to be up to 6 feet in height. The proposed wall height would greatly exceed what would be allowed for a fence. The total length of the wall would be 117 feet. Of that, approximately 80 feet would extend 6 or more feet above natural grade. A wall supporting significant modifications to grade has the potential to impact privacy of adjacent properties and reduce natural surveillance and visibility of the adjacent public alley. As proposed, the request would not be reasonable or consistent with the intent of the ordinance and the comprehensive plan. A terraced retaining wall could accomplish similar objectives stated by the applicant without creating adverse impacts.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

All variances: The granting of the variances would likely affect the character of the area and be injurious to the use or enjoyment of other property in the vicinity. When a wall does not retain natural grade it is more akin to a fence in relation to impacts to adjacent properties. Solid fences in interior side and rear yards are allowed to be up to 6 feet in height. The proposed wall height would greatly exceed what would be allowed for a fence. The total length of the wall would be 117 feet. Of that, approximately 80 feet would extend 6 or more feet above natural grade. A 12.5 foot tall wall supporting a significant modification of grade has the potential to impact privacy of adjacent properties and the character of the area. Properties with significant slopes are common in the

immediate area. Allowing tall retaining walls for significant grade modifications would also affect the character of the area. The granting of the variances would not be detrimental to the health or welfare of the public or those utilizing the property provided the proposed additions are constructed to current building codes. However, reduced visibility of the adjacent public alley has the potential to affect the safety of the surrounding area.

RECOMMENDATIONS

The Department of Community Planning and Economic Development recommends that the Zoning Board of Adjustment adopt staff findings for the applications by Amy Hargens for the property located at 184 Seymour Avenue Southeast:

A. Variance of the north interior side yard requirement.

Recommended motion: **Deny** the variance to reduce the minimum interior side yard requirement adjacent to the north lot line to allow a 12.5 foot tall retaining wall not retaining natural grade.

B. Variance of the south interior side yard requirement.

Recommended motion: **Deny** the variance to reduce the minimum interior side yard requirement adjacent to the south lot line to allow a 12.5 foot tall retaining wall not retaining natural grade.

C. Variance of the west rear yard requirement.

Recommended motion: **Deny** the variance to reduce the minimum rear yard requirement adjacent to the west lot line to allow a 12.5 foot tall retaining wall not retaining natural grade.

ATTACHMENTS

1. Written description and findings submitted by applicant
2. Zoning map
3. Site survey
4. Site plan
5. Engineered drawings
6. Photos and renderings
7. Wall materials
8. Public comments

Landscape Design Studios, llc
2482 Mayfair Avenue, White Bear Lake, MN 55110



Property Owner: Amy Hargens
Landscape Designer: Jack Dorcey, Landscape Design Studios
Property Address: 184 Seymour Ave SE
Minneapolis, MN 55415

2015 Variance Request for Retaining Wall along 184 Seymour Ave SE Property Lines

Dear Neighbors of Prospect Park;

I am a landscape designer working at 184 Seymour Ave SE.

We are hoping to improve the landscape, and one important goal is to tame the hillside on the west side of the property, which slopes 16-18' down to the back alley, and has been full of volunteer growth vegetation (buckthorn, boxelder, grape vine, etc.) for the past 40+ years. The back slope is no longer maintainable by the homeowner, and the existing concrete garage is an unusable eyesore.

What we would like to proceed with is a retaining wall system that can retain the hillside and create a larger more usable back yard. This will enable the hillside to be properly retained to prevent erosion, and also will make it more easily maintained in the future.

The City of Minneapolis does not allow walls to be built in the set back on properties, so we are applying for a variance in order to enable us to build a wall to properly retain the grade and establish a stabilized back yard, with new landscape work to enhance the look of the yard.

Please refer to the existing conditions photos and the concept rendering attached.

Sincerely,

Jack Dorcey
Owner
Landscape Design Studios LLC
651-239-7038
jack@landscapedesignstudios.com

c/o Amy Hargens, 612-578-7008, alhargens@gmail.com

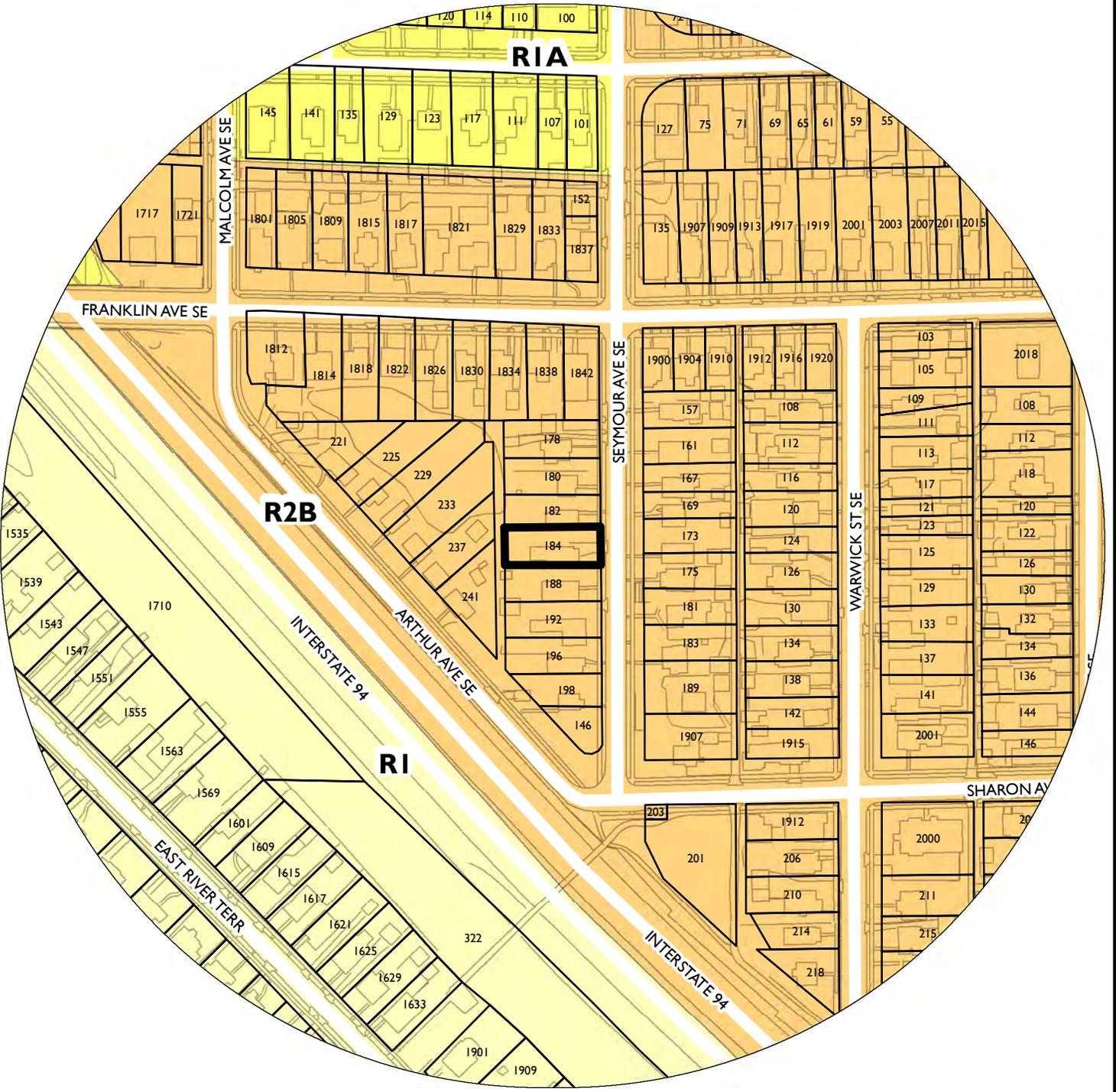
Statement of Proposed Use and Description of the Project:

We propose to build a retaining wall on the setback area of the property of 184 Seymour Ave SE, in Minneapolis, Minnesota. The existing conditions of the site have a steep hill grade, about 20 degrees, off of the back yard to the alley in the back yard. The hill is too steep to be properly maintained by the homeowner. We also propose removing an existing concrete garage that faces the alley and is falling apart. The retaining wall will remove the issues of the slope and the maintainability of the yard. The retaining wall will be 12' tall, the same height of existing garage, and we purpose it be allowed to be built on the property setbacks.

Variance Findings:

1. The property has a steep slope on the back third of the property. The slope is 15' high and extends 40' into the property.
 - a. Built on the rear property line is concrete garage that is beginning to fall apart. The homeowner wants to remove this garage because it is unusable as a garage because of its size, has no power to the structure, and has no access to the house from the alley. The garage is 12' tall and is built into the hillside. Removing the garage will require restoring the hill. The neighboring property to the south has existing retaining wall built on the property line and use the garage as a retaining wall for the property. If the The garage has proven to be a safety issue because it has become a home for rodents and raccoons. The garage also has become an attraction to groups seeking shelter, groups like the homeless and partying teens.
 - b. Without the variance the wall will have to be set back from the property lines five feet. The wall will be built, but the hill left on the sides, and behind the wall will be left unmaintainable by the homeowner. When the garage is removed it will undermine the existing stability of the southern neighbors existing retaining walls. The new purposed wall will ensure the structural integrity of the neighboring walls.
2. The purposed retaining wall will raise the grade of the existing yard, allowing the homeowner to better use, and maintain the property. Ms. Hargens has own the home since 1972, and raised her family there. Over the past few years she has found the hillside too steep for her to further maintain. She has taken pride in maintaining a beautiful yard. She would like to continue maintaining the yard to the level of standards she has for herself, and that her neighbors have become accustomed. The purposed retaining wall will provide a clean maintained look to many years to come.
3. The retaining wall will be in keeping with the existing character of the neighborhood.
 - a. Many homes have existing retaining walls that back up to the alley. Most of those walls are built on what would be the set back of the property. Both neighboring properties have walls built on the set back area. With many of the walls in the area deteriorating it would be a drastic change to require new walls to be pushed off of setbacks.
 - b. The purposed wall will increase the safety of the neighborhood. The alley behind the property dead ends into a wooded area. There is generally very little traffic along the alley, and that has drawn the interest of vagrants. The existing garage is a welcome hiding place for homeless people, and others looking for a shelter out of the site of authorities. The new wall will keep the area without hiding spots. The over grown nature of the hillside has also been known as a dumping ground for years. The existing garage is also housing many rodents and raccoons. These vermin have caused problems for the neighbors over the years.

- c. With many of her neighbors showing support for the project it is clear that the general wellbeing of the neighborhood will be taken care of with the completion of the project. The project will provide a clean and safe environment for everyone whose property backs up to the alley.



PROPERTY ADDRESS

184 Seymour Avenue Southeast

FILE NUMBER

BZZ-7496

ADVANCE SURVEYING & ENGINEERING CO.

5300 S. Hwy. No. 101 Minnetonka, MN 55345 Phone (952) 474 7964 Fax (952) 225 0502 WWW.ADVSUR.COM

SURVEY FOR: **AMY HARGENS**

SURVEYED: October 20, 2015

DRAFTED: October 20, 2015

LEGAL DESCRIPTION:

Lot 4, Block 3, Carter and Stone's Addition to Minneapolis, Hennepin County, Minnesota.

PROPERTY ADDRESS:

184 Seymour Avenue SE, Minneapolis, Minnesota.

SCOPE OF WORK & LIMITATIONS:

1. Showing the length and direction of boundary lines of the above legal description. The scope of our services does not include determining what you own, which is a legal matter. Please check the legal description with your records or consult with competent legal counsel, if necessary, to make sure that it is correct, and that any matters of record, such as easements, that you wish shown on the survey, have been shown.
2. Showing the location of existing improvements we deemed important.
3. Setting new monuments or verifying old monuments to mark the corners of the property.
4. Showing and tabulating hard cover area and the area of the lot for your review and for the review of such governmental agencies that may have jurisdiction over hard cover requirements.
5. While we show proposed improvements to your property, we are not as familiar with your plans as you are nor are we as familiar with the requirements of governmental agencies as their employees are. We suggest that you review the survey to confirm that the proposals we show are what you intend and submit the survey to such governmental agencies that may have jurisdiction over your project and gain their approvals if you can before beginning construction or planning improvements to the property.
6. Showing elevations on the site at selected locations to give some indication of the topography of the site. We have also provided a benchmark for your use in determining elevations for construction on this site. The elevations shown relate only to the benchmark provided on this survey. Use that benchmark and check at least one other feature shown on the survey when determining other elevations for use on this site or before beginning construction.

STANDARD SYMBOLS & CONVENTIONS:

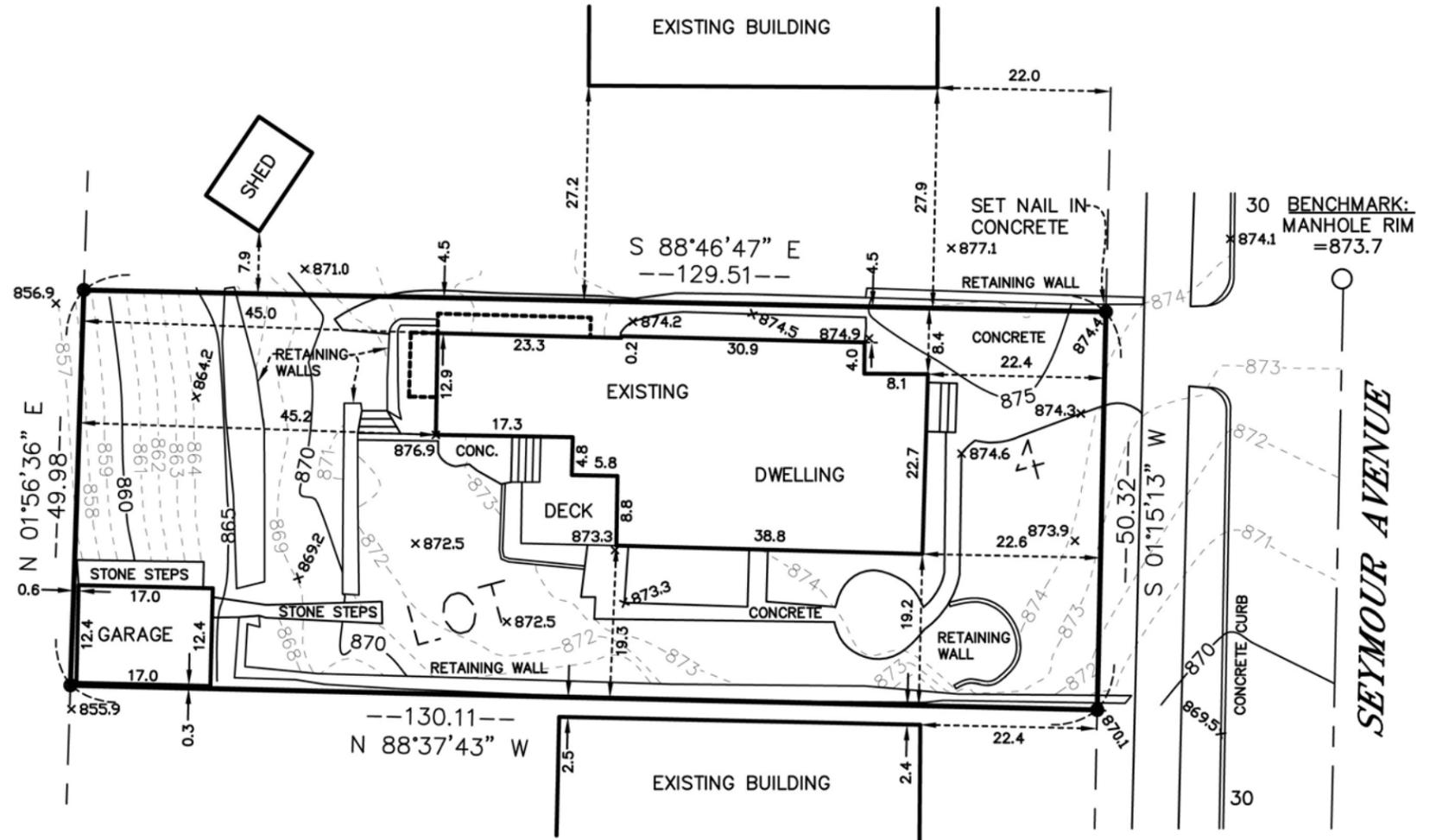
"•" Denotes 1/2" ID pipe found, unless otherwise noted.

CERTIFICATION:

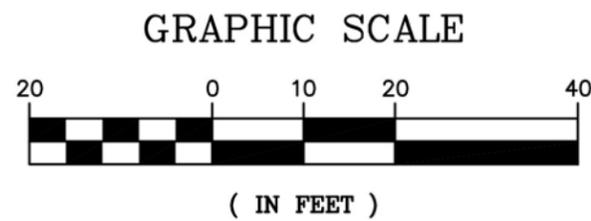
I hereby certify that this plan, specification, report or survey was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer and Licensed Land Surveyor under the laws of the state of Minnesota.

Signature: *James H. Parker* Typed Name: James H. Parker Reg. No.: 9235

Date: October 20, 2015



EXISTING HARDCOVER	
House	1,324 Sq. Ft.
Existing Deck	144 Sq. Ft.
Concrete Surfaces	953 Sq. Ft.
Garage	210 Sq. Ft.
Retaining Walls	415 Sq. Ft.
TOTAL EXISTING HARDCOVER	3,046 Sq. Ft.
AREA OF LOT	6,510 Sq. Ft.
PERCENTAGE OF HARDCOVER TO LOT	46.8%



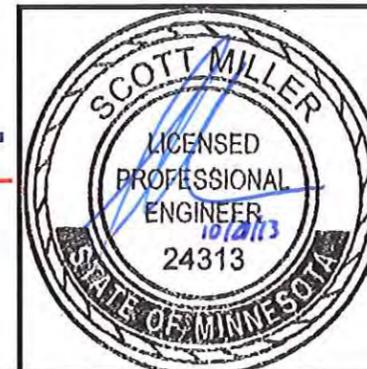
DWG. NO. 151072 10 20 15 MK

HARGENS RESIDENCE MINNEAPOLIS, MINNESOTA

JOB NO. 15358

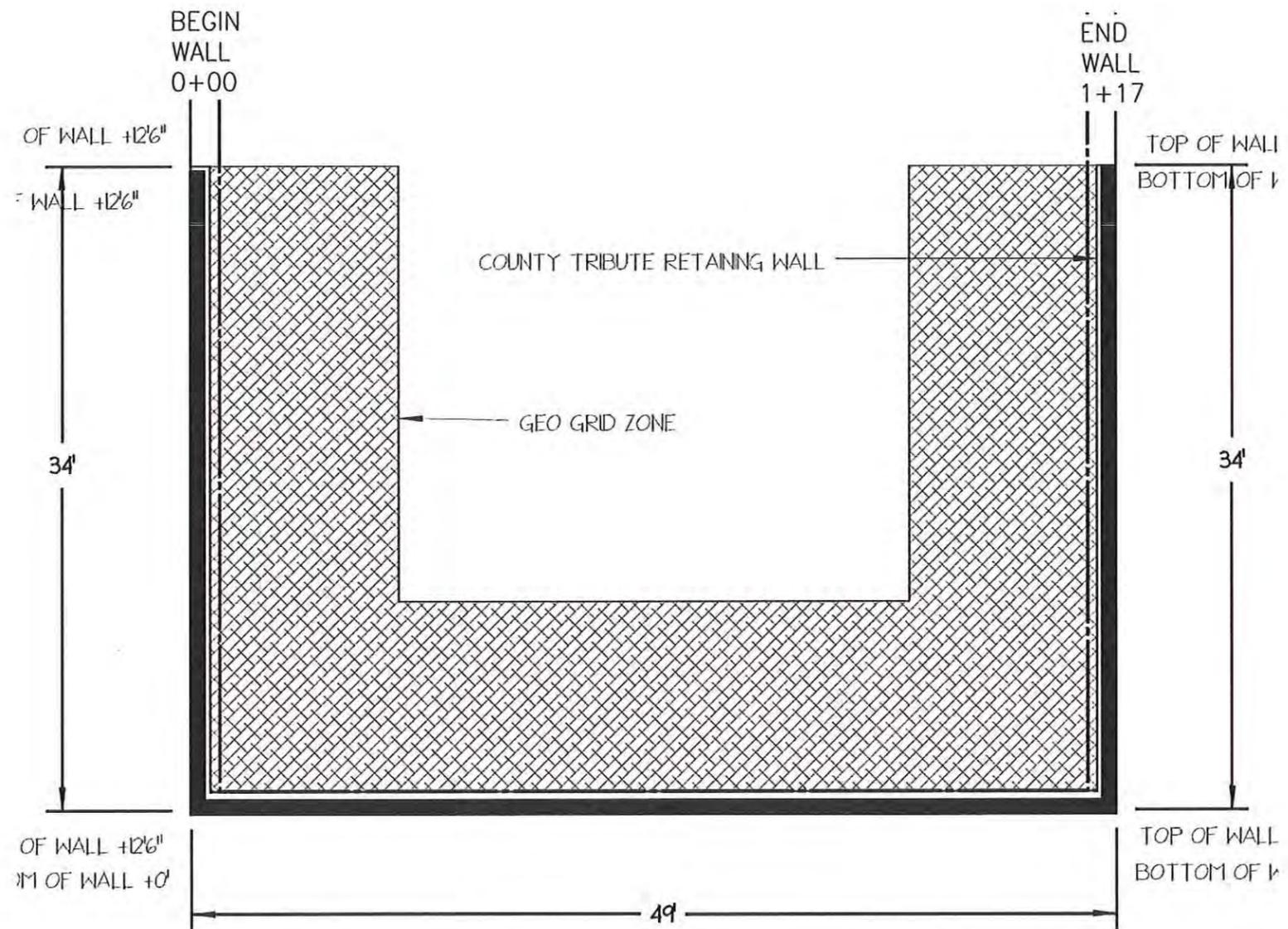
PREPARED FOR:

**LANDSCAPE DESIGN STUDIOS
2482 MAYFAIR AVENUE
WHITE BEAR LAKE, MN 55110**



HARGENS RESIDENCE
MINNEAPOLIS, MINNESOTA

WALL PACKAGE



NOT TO SCALE

LAYOUT WALL PER CIVIL PLANS CONSIDERING
WALL FACE BATTER OF 1(H):8(V)

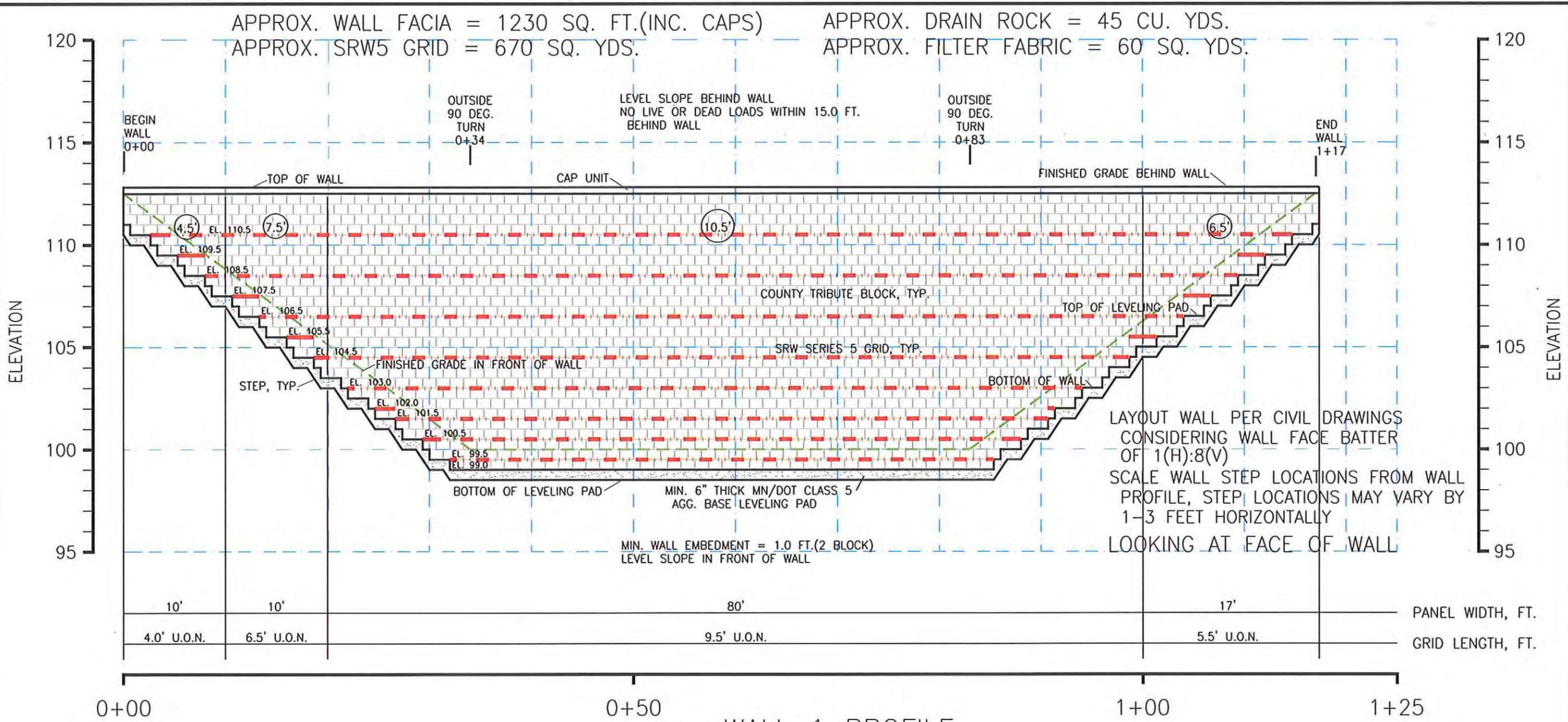


HARGENS RESIDENCE
MINNEAPOLIS, MINNESOTA

WALL LAYOUT

APPROX. WALL FACIA = 1230 SQ. FT.(INC. CAPS)
 APPROX. SRW5 GRID = 670 SQ. YDS.

APPROX. DRAIN ROCK = 45 CU. YDS.
 APPROX. FILTER FABRIC = 60 SQ. YDS.



WALL 1 PROFILE

SCALE: HORIZ. 1" = 10'
 VERT. 1" = 5'

- KEY
- X' GRID LENGTH IN FT. FOR THIS LAYER ONLY
 - SRW SERIES 5 GRID, TYP.
 - U.O.N. - UNLESS OTHERWISE NOTED ON PROFILE IN CIRCLE ON GRID LAYER

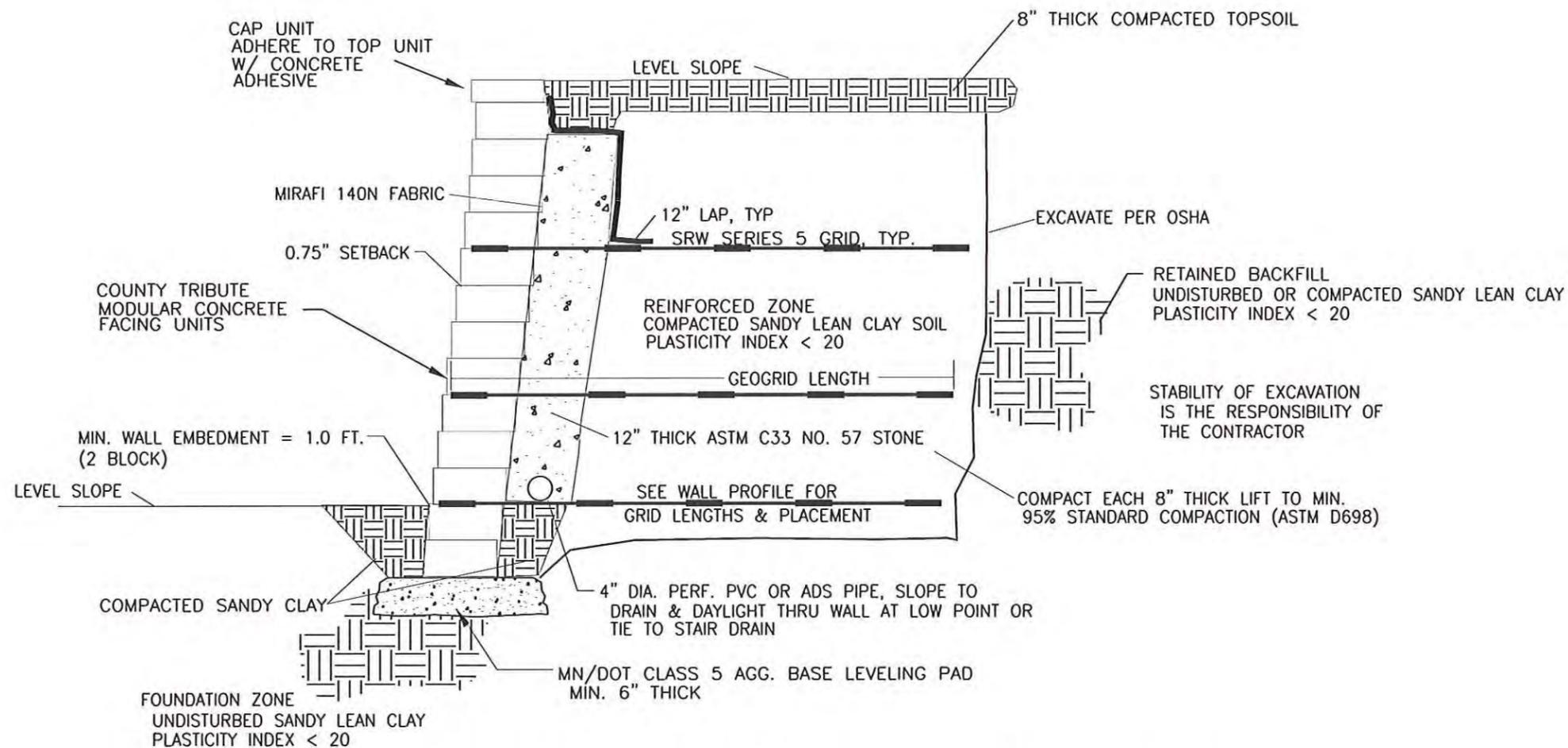


HARGENS RESIDENCE
 MINNEAPOLIS, MINNESOTA

WALL PROFILE

DRAWN BY: CMM DATE: 10/04/15 SHEET 3 OF 11

NO WATER SHALL BE ALLOWED TO FLOW OVER THE WALL
 ROUTE ALL SURFACE WATER AND ROOF DRAINS
 AROUND OR THRU THE WALL FACE
 NO LIVE OR DEAD LOADS WITHIN 15.0 FT. BEHIND WALL



TYPICAL COUNTY TRIBUTE BLOCK REINFORCED WALL SECTION

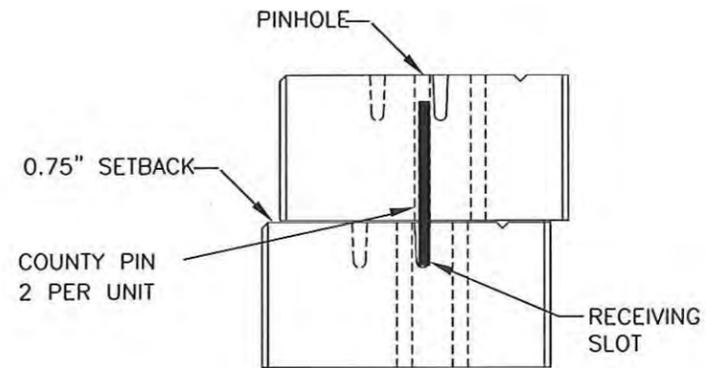
SCALE: NONE



HARGENS RESIDENCE
 MINNEAPOLIS, MINNESOTA

WALL DETAILS

DRAWN BY: CMM DATE: 10/04/15 SHEET: 4 OF 11



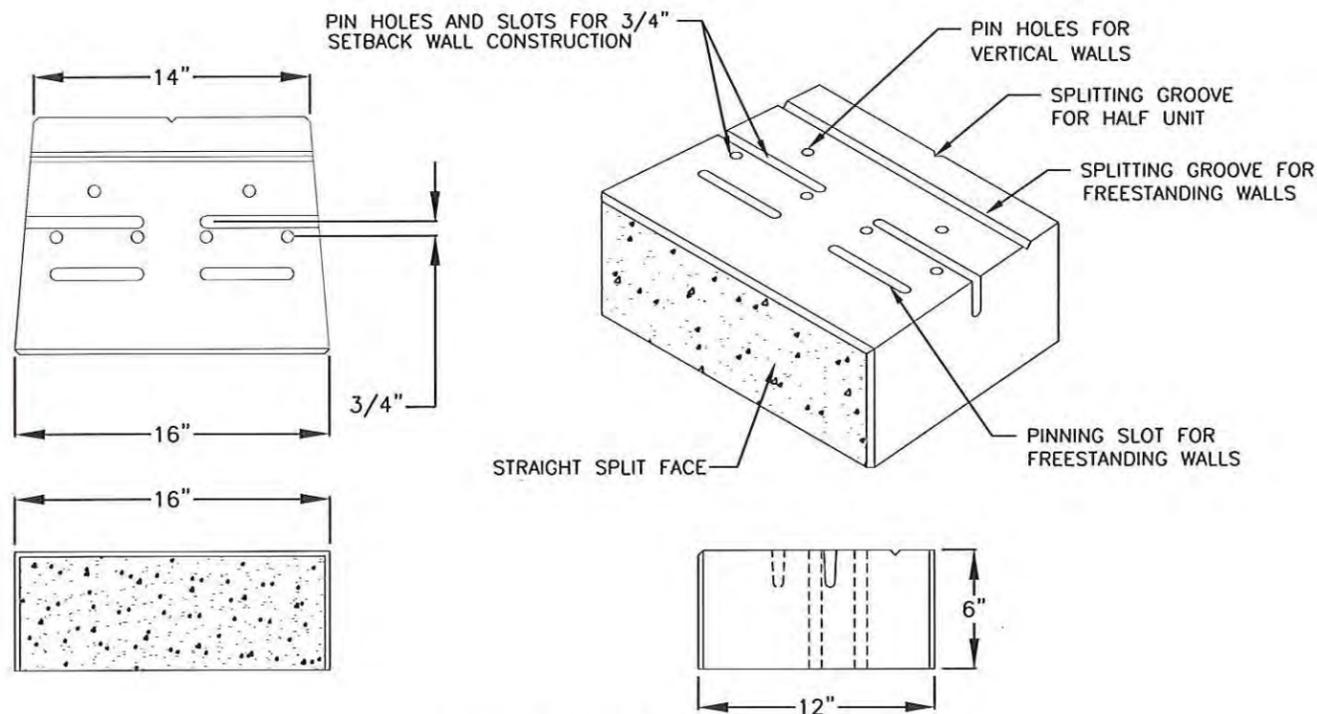
PINNING DETAIL

CROSS SECTION
SCALE: NONE



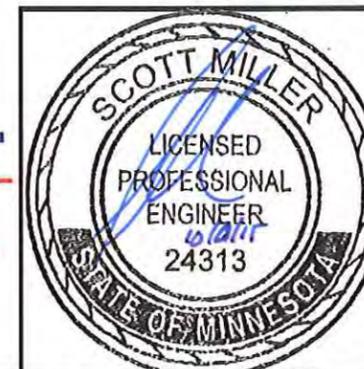
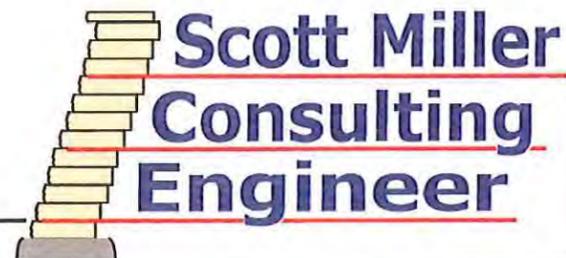
COUNTY PIN

PIN DIMENSIONS
SCALE: NONE



COUNTY TRIBUTE UNIT

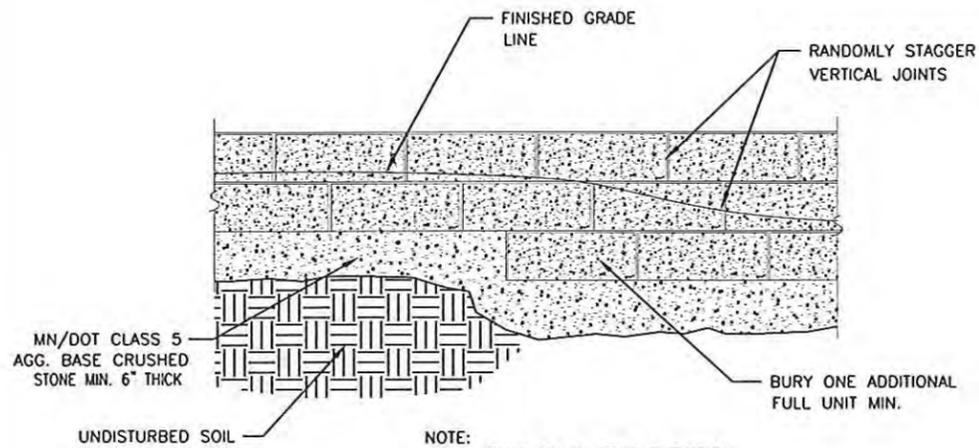
UNIT DIMENSIONS
SCALE: NONE



HARGENS RESIDENCE
MINNEAPOLIS, MINNESOTA

WALL DETAILS

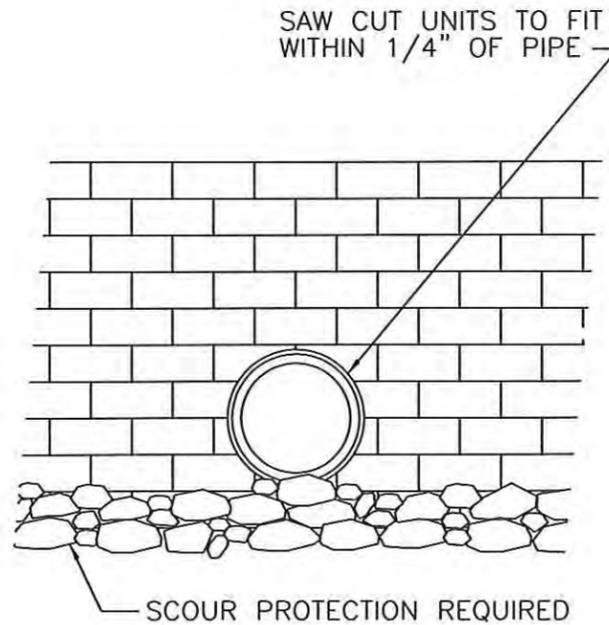
DRAWN BY: CMM DATE: 10/04/15 SHEET: 5 OF 11



NOTE:
 -LIMIT CHANGES IN BASE ELEVATION TO 6" PER STEP TO AVOID DIFFERENTIAL SETTLEMENT
 -STEP OFTEN ENOUGH TO MAINTAIN MINIMUM REQUIRED EMBEDMENT

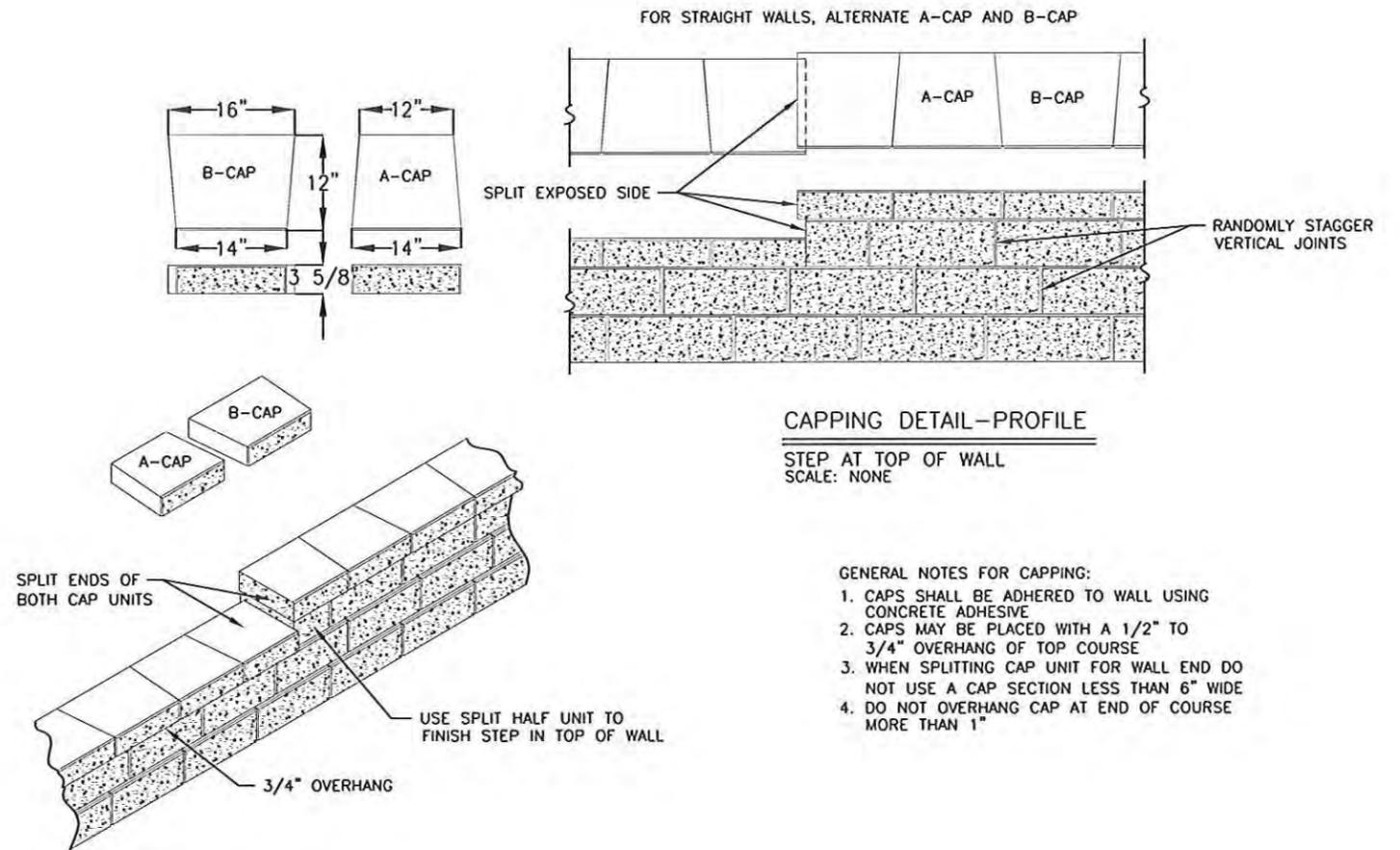
STEPPING BASE DETAIL

SCALE: NONE



PIPE DETAIL <12" DIA.

SCALE: NONE

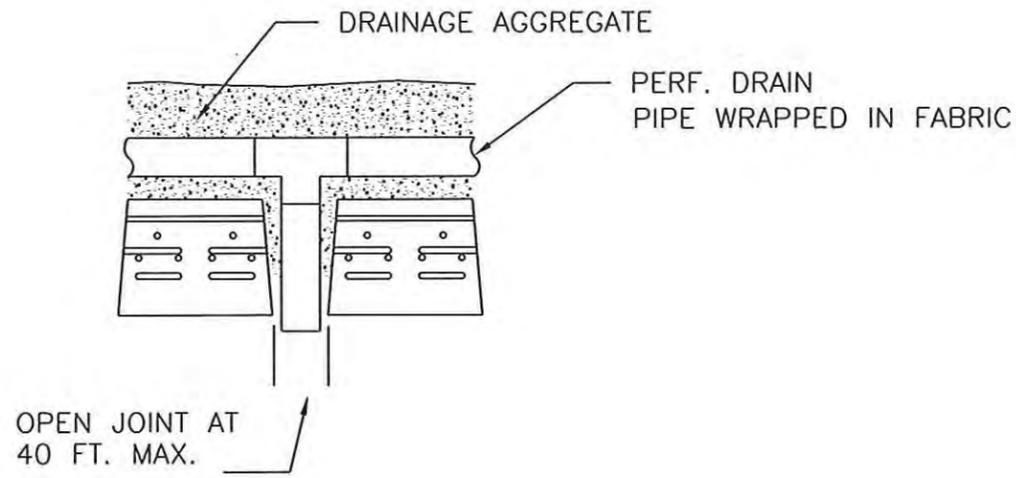


CAPPING DETAIL-PROFILE

STEP AT TOP OF WALL
 SCALE: NONE

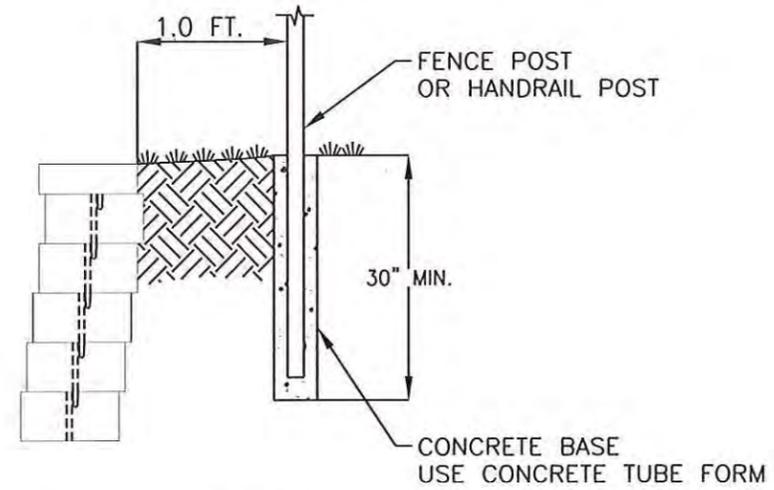
GENERAL NOTES FOR CAPPING:

1. CAPS SHALL BE ADHERED TO WALL USING CONCRETE ADHESIVE
2. CAPS MAY BE PLACED WITH A 1/2" TO 3/4" OVERHANG OF TOP COURSE
3. WHEN SPLITTING CAP UNIT FOR WALL END DO NOT USE A CAP SECTION LESS THAN 6" WIDE
4. DO NOT OVERHANG CAP AT END OF COURSE MORE THAN 1"



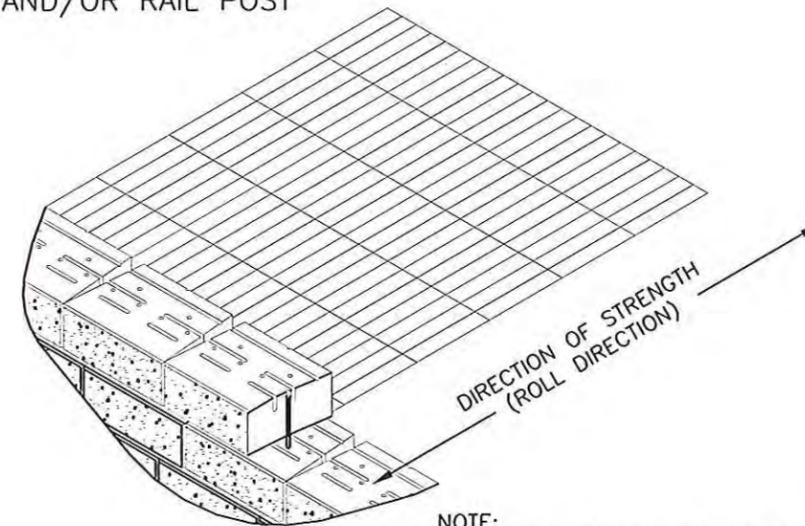
DRAIN DETAIL

SCALE: NONE



POST & RAIL DETAIL

TYPICAL HANDRAIL AND/OR RAIL POST
SCALE: NONE



NOTE:

1. FOLLOW GEOSYNTHETIC GRID MANUFACTURER'S INSTALLATION INSTRUCTIONS AND SPECIFICATIONS
2. GEOGRID LENGTH AND ELEVATION PLACEMENT SHALL BE DETERMINED BY PROJECT ENGINEER

GEOSYNTHETIC INSTALLATION DETAIL

SCALE: NONE



HARGENS RESIDENCE
MINNEAPOLIS, MINNESOTA

WALL DETAILS

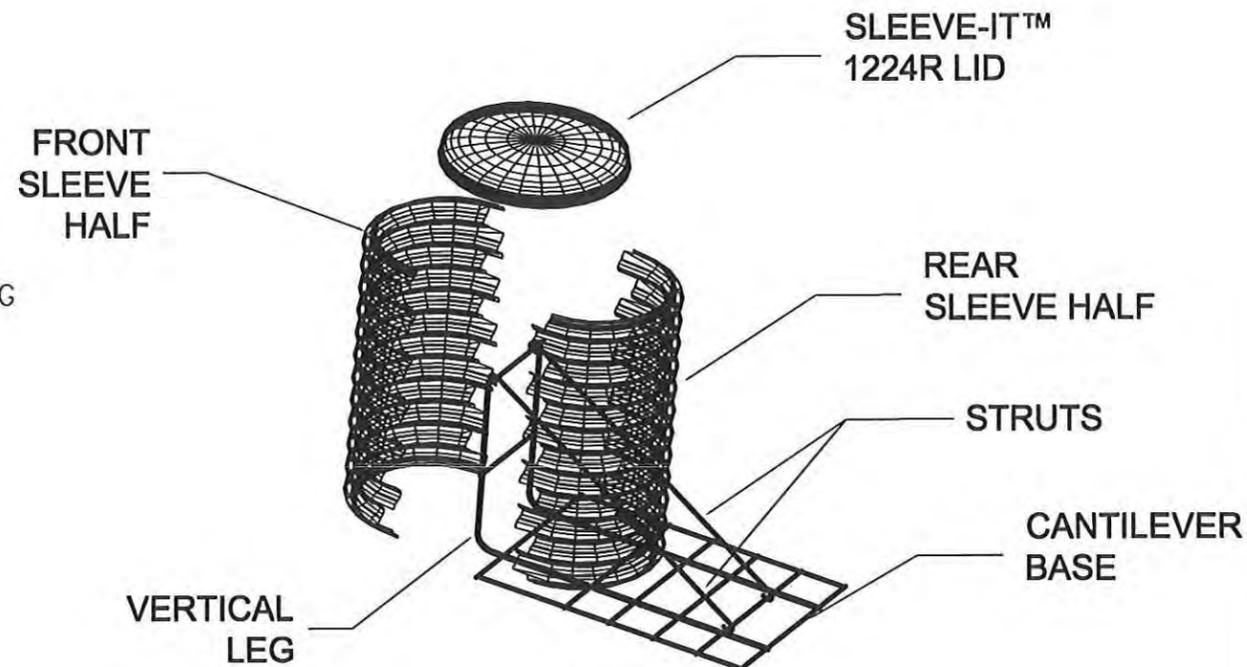
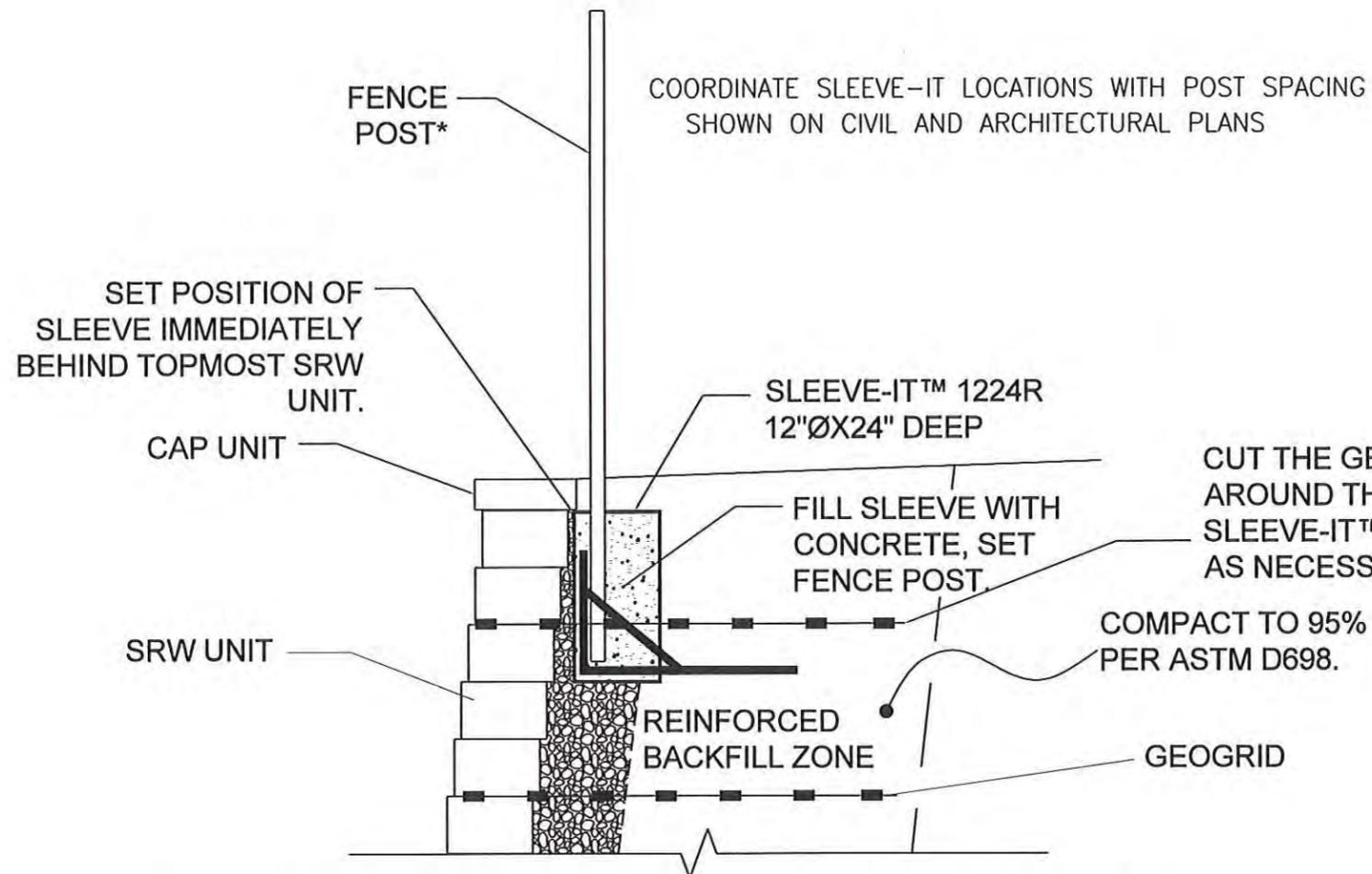
DRAWN BY: CMM

DATE: 10/04/15

SHEET: 7 OF 11

USE THIS DETAIL FOR CHAIN LINK FENCES UP TO 8.0 FT. IN HEIGHT, PRIVACY FENCES UP TO 6.0 FT. IN HEIGHT WITH MAX. 4"x4" POSTS. THIS DETAIL SHOULD NOT BE USED FOR GUARD RAIL POSTS

FENCE DESIGN AND LOCATION BY OTHERS



*FENCING SYSTEMS APPROVED FOR USE WITH SLEEVE-IT™ 1224R ARE LIMITED TO THE FOLLOWING HEIGHTS: CHAIN LINK - UP TO 8-FT, PRIVACY - UP TO 6-FT (WOODEN, PVC, METAL). POST SIZE 4"X4" MAX.

SLEEVE-IT FENCE POST ALTERNATE DETAIL

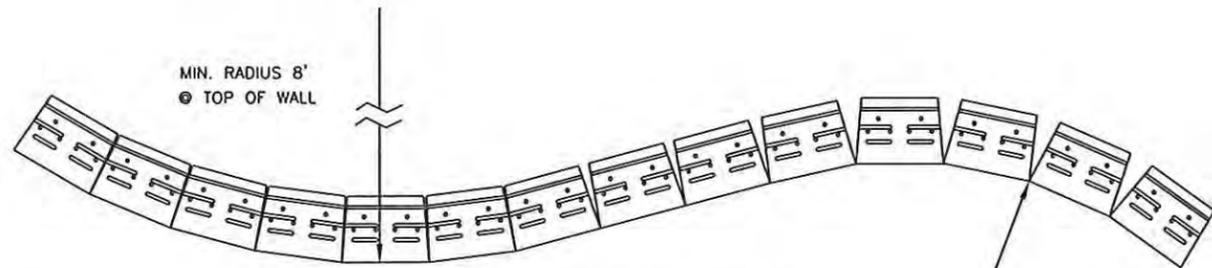
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HARGENS RESIDENCE
MINNEAPOLIS, MINNESOTA

WALL DETAILS

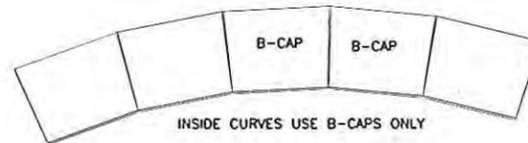
DRAWN BY: CMM DATE: 10/04/15 SHEET: 8 OF 11



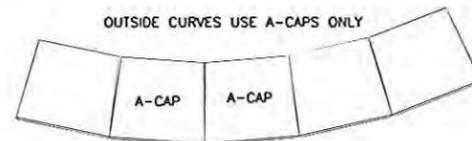
NOTE:
FOLLOW GEOGRID MANUFACTURER'S INSTRUCTIONS
FOR REINFORCEMENT PLACEMENT AT CURVES
AND CORNERS.
DO NOT PLACE OVERLAPPING GEOSYNTHETIC LAYERS
DIRECTLY ON TOP OF EACH OTHER. PROVIDE 3" (MIN.)
OF SOIL FILL BETWEEN OVERLAPPING LAYERS.

CURVE DETAIL
TYPICAL CURVES
SCALE: NONE

RECOMMEND MIN.
RADIUS 6'
@ BOTTOM OF WALL



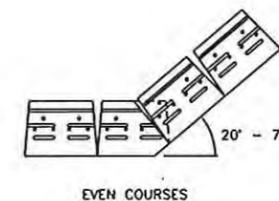
INSIDE CURVES USE B-CAPS ONLY



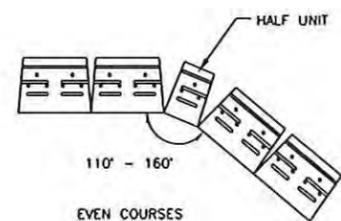
OUTSIDE CURVES USE A-CAPS ONLY

CAPPING DETAIL-PLAN VIEW

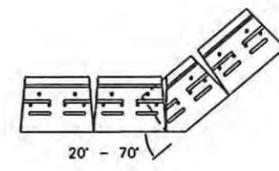
CURVES
SCALE: NONE



EVEN COURSES

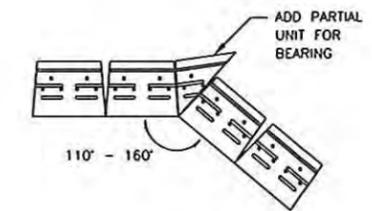


EVEN COURSES



20° - 70°

ODD COURSES

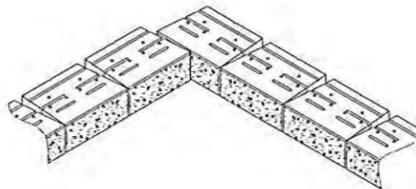


110° - 160°

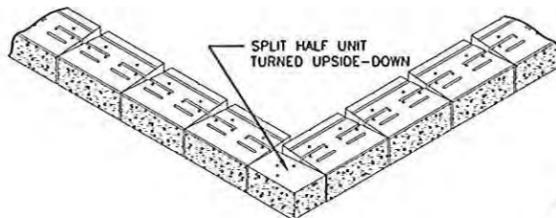
ODD COURSES

CORNER DETAIL
OBLIQUE ANGLE-OUTSIDE
SCALE: NONE

CORNER DETAIL
OBLIQUE ANGLE-INSIDE
SCALE: NONE

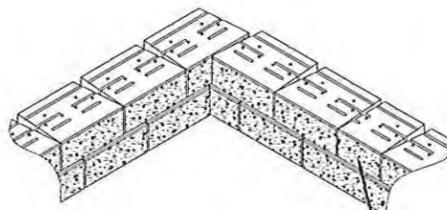


BASE COURSE

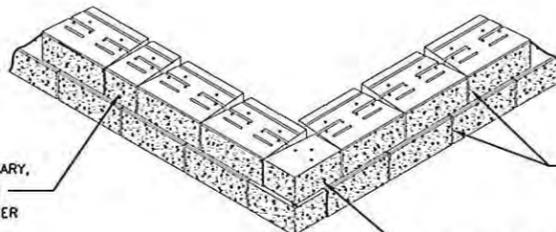


SPLIT HALF UNIT
TURNED UPSIDE-DOWN

NOTE:
FOR ALL COURSES,
ALWAYS START CONSTRUCTION AT CORNERS
AND WORK OUT INTO MIDDLE OF WALL



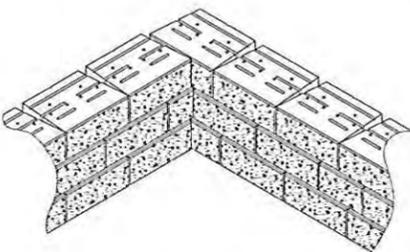
SECOND COURSE



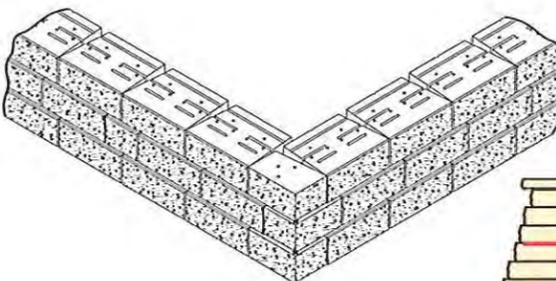
USE OTHER HALF UNIT
IN OPPOSITE DIRECTION

IF PARTIAL UNITS ARE NECESSARY,
"HIDE" CUT UNITS AT LEAST 2
FULL UNITS AWAY FROM CORNER

DO NOT MAINTAIN
RUNNING BOND



INSIDE 90° CORNER

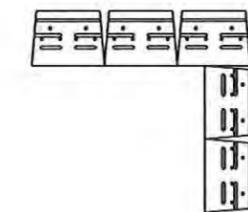


OUTSIDE 90° CORNER

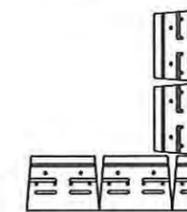
INSTALLATION SEQUENCE



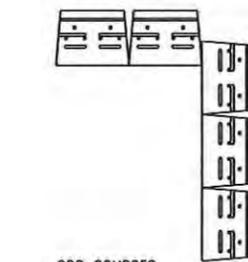
EVEN COURSES



EVEN COURSES



ODD COURSES



ODD COURSES

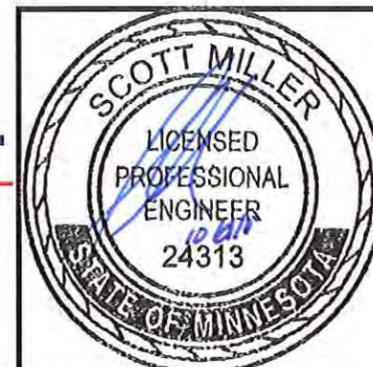
CORNER DETAIL
90° -OUTSIDE
SCALE: NONE

CORNER DETAIL
90° -INSIDE
SCALE: NONE

P.O. Box 94529 North Little Rock, AR 72190

Tel: 501.374.3546 Fax: 501.374.3547 E-mail: segwalls@gmail.com

Scott Miller
Consulting
Engineer



HARGENS RESIDENCE
MINNEAPOLIS, MINNESOTA

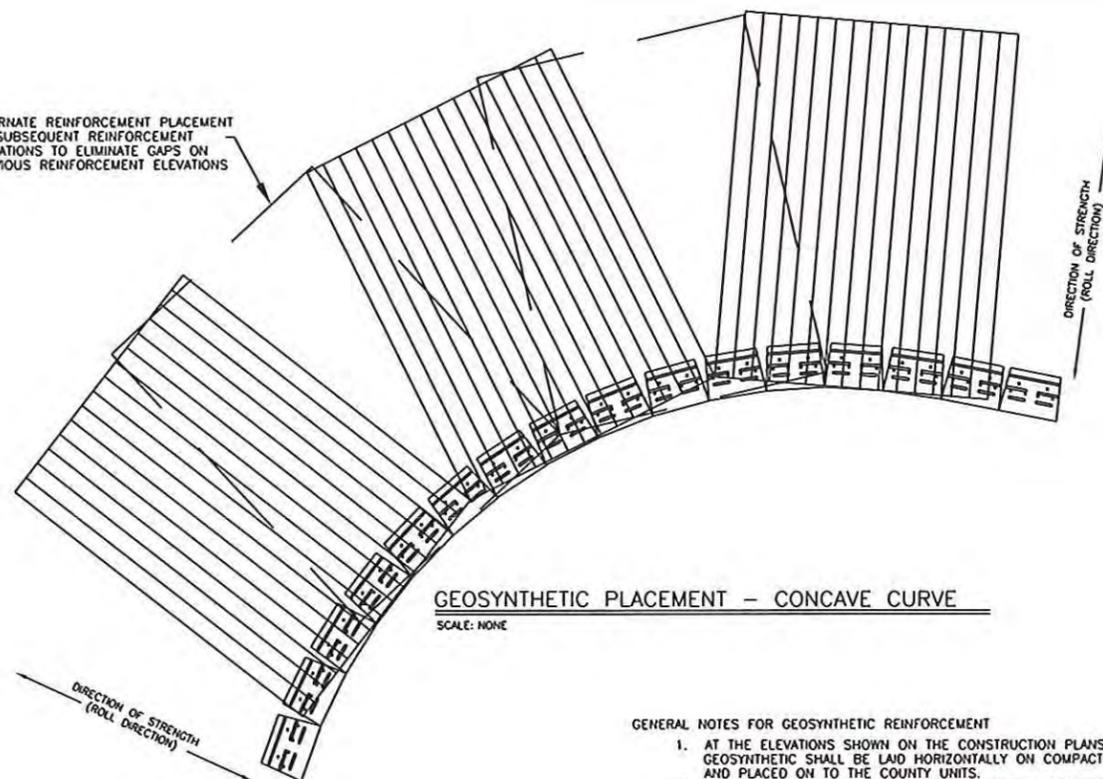
WALL DETAILS

DRAWN BY: CMM

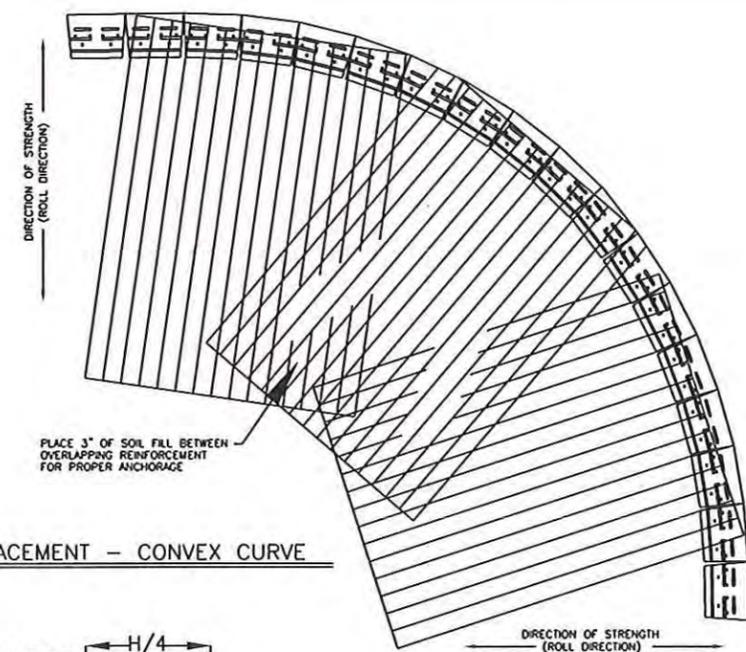
DATE: 10/04/15

SHEET: 9 OF 11

ALTERNATE REINFORCEMENT PLACEMENT ON SUBSEQUENT REINFORCEMENT ELEVATIONS TO ELIMINATE GAPS ON PREVIOUS REINFORCEMENT ELEVATIONS



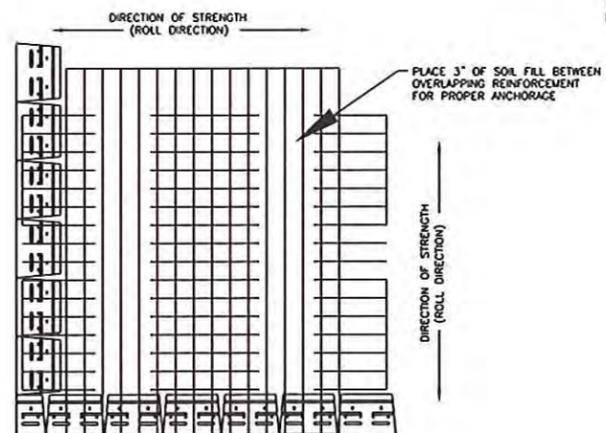
GEOSYNTHETIC PLACEMENT – CONCAVE CURVE
SCALE: NONE



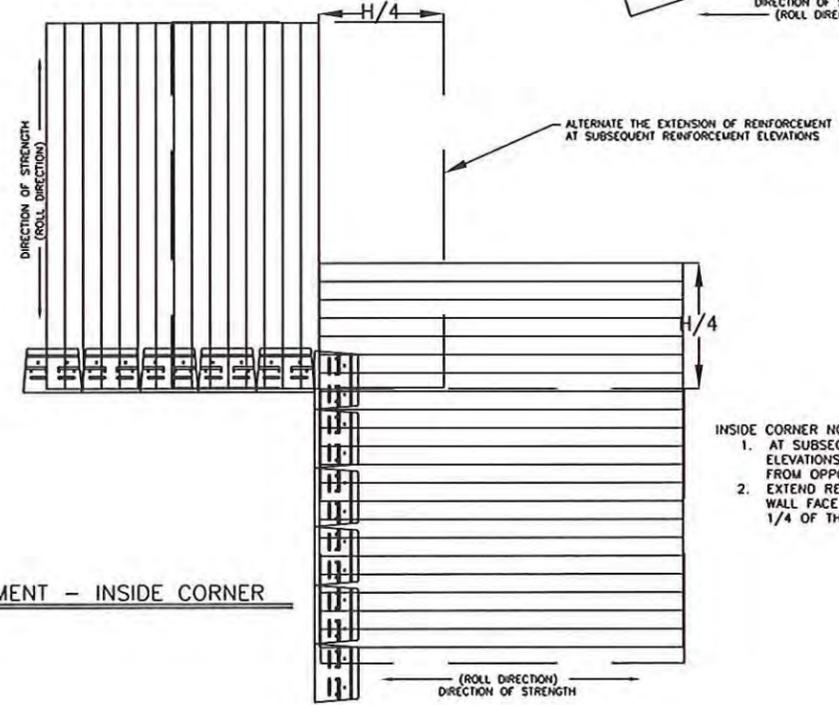
GEOSYNTHETIC PLACEMENT – CONVEX CURVE
SCALE: NONE

GENERAL NOTES FOR GEOSYNTHETIC REINFORCEMENT

1. AT THE ELEVATIONS SHOWN ON THE CONSTRUCTION PLANS, THE GEOSYNTHETIC SHALL BE LAID HORIZONTALLY ON COMPACTED SOIL FILL AND PLACED ON TO THE COUNTY UNITS.
2. CORRECT ORIENTATION (ROLL DIRECTION) OF THE GEOSYNTHETIC SHALL BE VERIFIED BY THE CONTRACTOR TO BE IN ACCORDANCE WITH THE GEOSYNTHETIC MANUFACTURER'S RECOMMENDATIONS.
3. THE GEOSYNTHETIC SHALL BE IN TENSION AND FREE OF WRINKLES PRIOR TO PLACEMENT OF SOIL FILL.
4. NOMINAL TENSION SHALL BE APPLIED TO THE GEOSYNTHETIC AND SECURED IN PLACE WITH STAPLES, STAKES OR BY HAND TENSIONING UNTIL THE GEOSYNTHETIC IS COVERED BY SIX INCHES OF SOIL FILL.

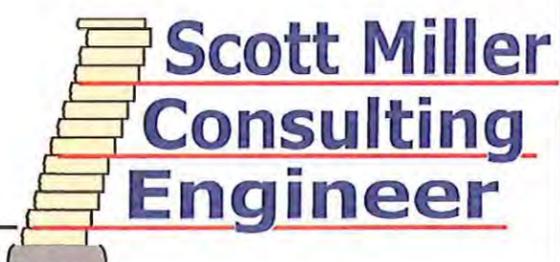


GEOSYNTHETIC PLACEMENT – OUTSIDE CORNER
SCALE: NONE



GEOSYNTHETIC PLACEMENT – INSIDE CORNER
SCALE: NONE

- INSIDE CORNER NOTES:**
1. AT SUBSEQUENT REINFORCEMENT ELEVATIONS EXTEND REINFORCEMENT FROM OPPOSITE WALL FACE
 2. EXTEND REINFORCEMENT BEYOND WALL FACE A DISTANCE EQUAL TO 1/4 OF THE HEIGHT OF THE WALL (H)

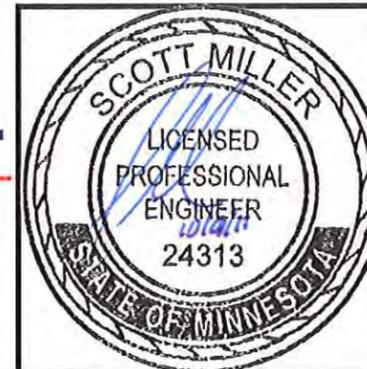
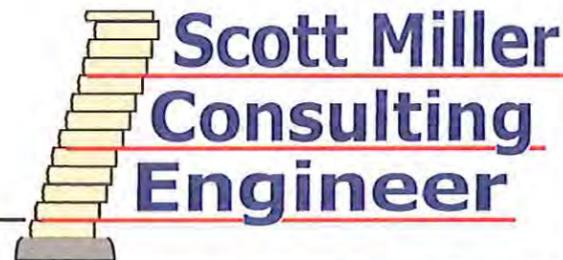


HARGENS RESIDENCE
MINNEAPOLIS, MINNESOTA

WALL DETAILS

NOTES:

1. REINFORCED ZONE- COMPACTED SANDY LEAN CLAY SOIL WITH A PLASTICITY INDEX LESS THAN 20 WITH AN EFFECTIVE FRICTION ANGLE = 26 DEGREES, MOIST UNIT WEIGHT = 125 PCF, COHESION = 0 PSF.
2. LEVELING PAD- MINIMUM 6" THICK COMPACTED MN/DOT CLASS 5 AGG. BASE CRUSHED STONE.
3. FOUNDATION ZONE- UNDISTURBED HARD SANDY LEAN CLAY SOIL WITH A PLASTICITY INDEX LESS THAN 20 WITH AN EFFECTIVE FRICTION ANGLE = 26 DEGREES, MOIST UNIT WEIGHT = 125 PCF, COHESION = 0 PSF.
4. RETAINED ZONE- UNDISTURBED OR COMPACTED SANDY LEAN CLAY SOIL WITH A PLASTICITY INDEX LESS THAN 20 WITH AN EFFECTIVE FRICTION ANGLE = 26 DEGREES, MOIST UNIT WEIGHT = 125 PCF, COHESION = 0 PSF.
5. MINIMUM WALL EMBEDMENT = 1.0 FT. (2 BLOCK).
6. A GEOTECHNICAL REPORT WAS NOT SUPPLIED FOR THE PROJECT AND THE SOIL PROPERTIES USED WERE ASSUMED FOR THE SITE BASED ON OTHER SITES IN THE GENERAL AREA. THE FIELD SOIL PROPERTIES MUST BE VERIFIED BY THE TESTING AGENCY OF RECORD EMPLOYED BY THE OWNER AND THE WALL DESIGNER NOTIFIED OF SOILS DIFFERENT THAN THOSE NOTED HEREIN.
7. WALL BATTER WILL BE 0.75-INCH PER BLOCK COURSE.
8. THESE PLANS ARE BASED ON PROJECT PLAN BY HARDSCAPES UNLIMITED DATED SEPTEMBER 2015. THE TOP AND BOTTOM OF WALL ELEVATIONS AND SLOPES IN THE VICINITY OF THE WALLS MUST BE VERIFIED BY THE WALL INSTALLER BEFORE BEGINNING WALL CONSTRUCTION. THE WALL DESIGNER MUST REVIEW ANY CHANGES TO THE WALL DIMENSIONS OR SLOPES AROUND THE WALL.
9. THE WALL DESIGNER ASSUMES NO LIABILITY FOR INFORMATION PROVIDED BY OTHERS OR NOT VERIFIED.
10. ALL FILL MUST BE PLACED IN MAXIMUM 8.0 INCH THICK LIFTS AND COMPACTED TO A MINIMUM OF 95% STANDARD COMPACTION (ASTM D698). THE COMPACTION OF EACH LIFT OF SOIL FILL MUST BE VERIFIED BY THE TESTING AGENCY OF RECORD EMPLOYED BY THE OWNER WITH AT LEAST ONE TEST PER 2500 SQ. FT. OF FILL PLACED PER LIFT.
11. MAXIMUM WALL BEARING PRESSURE = 1800 PSF.
12. THE LONG-TERM STATIC GROUNDWATER LEVEL IS ASSUMED TO WELL BELOW THE BOTTOM OF THE WALL (GREATER THAN 6.0 FEET)
13. ALL QUANTITIES DO NOT INCLUDE ANY WASTE OR OVERLAP REQUIRED AND ARE BASED ON IN-PLACE COMPACTED VOLUMES. THE INSTALLER MUST VERIFY ALL QUANTITIES.
14. WALL HEIGHTS SHOWN MUST NOT BE EXCEEDED WITHOUT THE CONSULTATION AND APPROVAL OF THE WALL DESIGNER.
15. ALL FACIA BLOCK MUST BE COUNTY TRIBUTE BLOCK UNITS.
16. ALL REINFORCING GEOGRID MUST BE SRW SERIES 5 GEOGRID AS SHOWN ON THE WALL PROFILES AND DRAWINGS.
17. ALL UTILITIES BEHIND, IN FRONT AND UNDER THE WALL SHOULD BE INSTALLED BEFORE COMMENCING WALL CONSTRUCTION TO LIMIT DISTURBANCE AND DAMAGE TO THE GRID AND UNDERMINING OF THE WALL. THE COMPACTION OF ALL UTILITY BACKFILL UNDER THE BLOCK AND GRID ZONES MUST BE VERIFIED TO BE AT LEAST 95% STANDARD COMPACTION (ASTM D698).
18. THE SLOPES BEHIND AND IN FRONT OF THE WALL ARE SHOWN ON THE WALL DRAWINGS AND SHALL NOT BE EXCEEDED WITHOUT THE CONSULTATION AND APPROVAL OF THE WALL DESIGNER.
19. CARE MUST BE TAKEN WHEN INSTALLING ANY UTILITIES, STRUCTURES OR LANDSCAPING BEHIND THE WALL SO AS NOT TO DAMAGE THE GEOGRID OR WALL FACE. ANY DAMAGED GEOGRID OR WALL FACE DISTORTION MUST BE REPLACED.
20. ALL ROOF DRAINS AND SURFACE WATER MUST BE ROUTED AROUND OR PIPED THROUGH THE WALL FACE. NO SURFACE WATER SHALL BE ALLOWED TO FLOW OVER THE WALL FACE DURING OR AFTER WALL CONSTRUCTION.
21. ANY SPRINGS, SEEPS OR OTHER WATER SOURCES NOTED IN THE WALL EXCAVATION MUST BE IMMEDIATELY REPORTED TO THE WALL DESIGNER FOR REMEDIAL ACTION.
22. NO LIVE OR DEAD LOADS WITHIN 15.0 FT. BEHIND THE WALL.
23. ALL FILTER FABRIC MUST BE MIRAFI 140N NON-WOVEN FABRIC OR APPROVED EQUIVALENT.
24. FACTORS OF SAFETY USED IN THE WALL DESIGN: SLIDING = 1.5, OVERTURNING = 2.0, BEARING CAPACITY = 2.0, GLOBAL STABILITY ANALYSIS = 1.3



HARGENS RESIDENCE MINNEAPOLIS, MINNESOTA		
WALL NOTES		
DRAWN BY: CMM	DATE: 10/04/15	SHEET: 11 OF 11

P.O. Box 94529 North Little Rock, AR 72190

Tel: 501.374.3546 Fax: 501.374.3547 E-mail: segwalls@gmail.com

Existing Site Conditions



Existing Garage



Overgrowth on the hill



Existing Site Conditions



Existing 12' tall garage

Proposed Retaining Wall



Current View



Proposed View



Current View



Proposed View

Neighbor to the South



The property to the south of the Hargens residence has several retaining walls. The existing retaining walls are built to the property line, and rely on the existing garage to hold their structural integrity. The new wall will work with the existing walls to maintain the strength they have currently. The neighbors walls sit within the property set backs.

Neighbor to the North



The property to the north of the Hargens residence has an old retaining wall that is also built to the property lines.

Neighborhood Retaining Walls Built within the setback, right on the property line



Proposed Retaining Wall Material



The proposed wall will be constructed out of County Material Tribute Retaining Wall Block. The wall block meets and exceeds all industry standards. The color chosen is Rustic Cedar Blend. The block was chosen for its strength as well as its aesthetic beauty. Pictures are of County Tribute wall block used on project designed by Jack Dorsey of Landscape Design Studios.



**PROSPECT
PARK**
ASSOCIATION

To: Joseph Giant, City Planner

From: Prospect Park Association Zoning and Project Review Committee

Date: November 9, 2015

Subject: Hargans Residence Variance Request for Retaining Wall on Property Setback
Letter of Support

Dear Mr. Giant:

On behalf of the Prospect Park Association (PPA) Zoning & Project Review Committee we are writing to express our support for a variance to enable Amy Hargans to proceed with the construction of a retaining wall in the west side of her property to be located with the setback area.

After hearing Amy Hargans and her representative Mr. Jack Dorsey of Landscape Design Studios make a presentation of their need for a variance to the PPA Zoning & Project Review Committee, the Committee overwhelmingly voted to support the proposed retaining wall and the variance needed to place it within the 5' setback area on the west side of the property. As we were informed, the existing conditions of the steep grade on the west side of the property make it extraordinarily difficult for Ms. Hargans to maintain it particularly as she ages.

We were also informed that neighbors to the north and south support her project.

If you have any questions regarding this letter of support, please feel free to contact me at jonewix@aol.com, or 612-349-9353.

Sincerely,

John W. Wicks, AIA
PPA Zoning and Project Review Chairperson

Oct 14, 2015

Planning Commission
Public Service Center
250 S 4th St, Room 300
Minneapolis, MN 55415

Dear Planning Committee Member,

I am writing this letter in support of the variance that Amy Hargens is seeking for the property at 184 Seymour Ave. I own a home on Arthur Ave. I do not for see any issue with the building of this wall. I think the wall will be a great improvement over the current old stone garage that is deteriorating. It's also difficult to maintain the current hill, which has erosion and overgrown with weeds.

Sincerely,

Tammy Earley

237 Arthur Ave SE

Oct 14, 2015

Planning Commission

Public Service Center
250 S 4th St, Room 300
Minneapolis, MN 55415

Dear Planning Committee Member,

I am writing this letter to let you on the planning commission know that I am in support of the variance that Amy Hargens is seeking for the property at 184 Seymour Ave. I live just to the south of this property and firmly believe that the project will have no adverse effect on my property or the community as a whole. The building of the retaining wall at the rear of the property will improve the general appearance of the alley behind the property and views from my property looking north. Removal of the existing garage will improve the safety and security.

Sincerely



Elisabeth V Hoff

188 Seymour Avenue SE

Minneapolis, MN 55414

Support for building of retaining wall by my neighbor at 184 Seymour Ave SE.

I am in full support of my neighbor building a wall in her backyard, and believe it will add to the beauty of the neighborhood, and help with land management. I believe that careful thought has gone into this project, and it will be done professionally.

Paul Kuhn
180 Seymour Ave SE
Minneapolis, MN 55414

October 15, 2015

Planning Commission
Public Service Center
250 S 4th St, Room 300
Minneapolis, MN 55415

Re: Variance for the property at 184 Seymour Ave. SE

Dear Planning Committee Members,

I am writing this letter in a hearty support of the variance that Amy Hargens is seeking.

This project will have no adverse effect on my property or the community as a whole. In fact, I hope that the *fresh, new back yard foundation wall and landscaping* will spark a new trend of vitality to the neglected alley which it fronts on.

This same alley leads to a pocket of woods - overgrown and deteriorating. Over the years it has attracted those seeking seclusion - the homeless, groups of partying teens, folks seeking a free garbage dump - to name a few.

So, I am looking forward to Amy's project and sincerely hope that you will find the variance acceptable.

Respectfully,

Jo Walstedt
178 Seymour Ave SE
Minneapolis, MN 55414

October 15, 2015

Lori Reese
192 Seymour Ave SE
Mpls, MN 55414

Planning Commission, Mpls
Public Service Center
250 S 4th St Room 300
Mpls, MN 55415

To Whom It May Concern:

We are in support Amy Hargens proposed landscaping and new wall in our alley at 184 Seymour Ave SE. It is a dead end alley with 1 side being a hill, which is Amy's side. It is a steep hill, so it gets neglected.

Here are my 3 reasons/concerns I hope this feature will address:

1. There are lots of weeds that the wall would help eliminate.
2. Sometimes people wander back there since it isn't a path well traveled. So beautifying it will help for safety as well.
3. The biggest factor is that this should be a big help for the erosion issue, and maintaining water on her property.

I am happy that Amy wants to invest in our neighborhood and make it an even better place to live and call home

Sincerely

Lori Reese and family

Planning Commission

Public Service Center

250 S. 4th St. Room 300

Minneapolis MN 55415

Dear Planning Committee Member,

I am writing this letter to let you on the planning commission know that I am in support of the variance that Amy Hargens is seeking for the property at 184 Seymour Ave. SE, Minneapolis MN 55414.

The back yard of Amy's home faces what is known as a dead-end alley. Not open to the public, but open to those that have a garage that one must use the alley to gain access. Amy's garage is also accessed through this alley, but has not been used for many, many years as it is a crumbling eye sore, and holds dangers of its own. From time to time proof of transients spending the night in it has been obvious. Also it has become home to several animals such as raccoons. I also see that the hill is eroding; this in its own right can easily be considered a danger. One does not know when this hill may collapse.

I would like to see her garage gone and a wall that supports the hill as soon as possible.

Thank you,

Verlaine Hutchins

*198 Seymour Ave SE
Minneapolis, MN 55414*



Variance

Carol Brown Hauser <cbhauser@comcast.net>
To: alhargens@gmail.com

Thu, Oct 15, 2015 at 10:53 PM

We the Hauser family, at 169 Seymour Ave SE, support our neighbor Amy Hargens in her quest to obtain a variance from the City of Minneapolis to build a retaining wall the entire width of her back yard along the alley. We believe it not only will be an aesthetic improvement, but also a safety one.

We have been Amy's neighbors for over 26 years, owning our home across the street from hers. Amy consistently has made improvements to her home and yard consistently over the years. The wall, we believe, also is an improvement to her property and hopefully will decrease noise from I-94 and the wall recently built by MNDOT in her backyard.

Thank you.

Most Sincerely, Tony and Carol Hauser

October 15, 2015

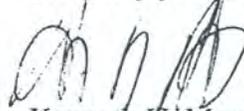
Planning Commission
Public Service Center
250 S 4th St, Room 300
Minneapolis, MN 55415

Dear Planning Committee Member,

I am writing this letter to let you on the planning commission know that I am in support of the variance that Amy Hargens is seeking for the property at 184 Seymour Ave SE. I know that the project will have no adverse effect on my property or the community as a whole.

The building of the retaining wall at the rear of the property will improve the general appearance of the alley behind the property, and improve the safety by removing the existing garage. And as a practical matter, building the retaining wall to the property line, rather than leaving five feet of unretained slope, will reduce the cost to the neighbors of improving their back yards by providing an existing wall which they could incorporate into their future retaining walls or garages.

Sincerely yours,

A handwritten signature in black ink, appearing to read 'Kenneth U. Mowll', written over a faint, illegible stamp or background.

Kenneth U. Mowll
183 Seymour Ave SE
Minneapolis, MN 55414