

LAND USE APPLICATION SUMMARY

Property Location: 2838 Fremont Avenue South
Project Name: Flux Clubroom and Deck
Prepared By: Lisa Steiner, City Planner, (612) 673-3950
Applicant: Brent Rogers, Saturday Properties
Project Contact: Gretchen Camp & Mike Kuntz, BKV Group
Request: To amend a previously approved site plan review application for a new clubroom and rooftop deck at the sixth floor.

Required Applications:

Site Plan Review	For a sixth-floor clubroom and roof deck addition.
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SITE DATA

Existing Zoning	R6 Multiple-Family District
Lot Area	79,821 square feet / 1.83 acres (including lot north of the alley)
Ward	10
Neighborhood	Lowry Hill East
Designated Future Land Use	Urban Neighborhood
Land Use Features	None
Small Area Plan	<u>Midtown Greenway Land Use and Development Plan (2007)</u> <u>Uptown Small Area Plan (2008)</u>

Date Application Deemed Complete	November 10, 2015	Date Extension Letter Sent	Not applicable
End of 60-Day Decision Period	January 9, 2016	End of 120-Day Decision Period	Not applicable

BACKGROUND

SITE DESCRIPTION AND PRESENT USE. The subject site is bound by Fremont Avenue South to the east, Girard Avenue South to the west, and the Midtown Greenway to the south. The property is composed of two parcels, both zoned R6 Multiple-Family, which are separated by an existing public alley. A 216-unit multi-family apartment building, “Flux,” was constructed on the site in 2011. The building varies in height from 8 stories/ 84 feet at the tallest portion of the structure facing the Midtown Greenway (south property line) to 2 stories/ 23 feet adjacent to the north property line. The U-shaped building is oriented around a large central courtyard which has various amenities including walkways, plantings, and a pool. Landscaping and a dog run are located on the northern parcel across the alley.

SURROUNDING PROPERTIES AND NEIGHBORHOOD. The surrounding properties are primarily residential uses of varying densities. North of the site are single- and two-family dwellings. Across Fremont Avenue South are multi-family dwellings. The Midtown Greenway is located directly south of the subject property and a pedestrian bridge is present connecting Girard Avenue South to properties south of the greenway.

PROJECT DESCRIPTION. The applicant is proposing the construction of an approximately 500 square foot clubroom and an approximately 500 square foot outdoor rooftop deck with a grill, fireplace and seating. The clubroom and roof deck would be located at the northeast corner of the existing building at the sixth level, on top of a portion of the building that is only five stories in height. This amenity space is intended to provide another option for residents than the large courtyard and pool area. This rooftop addition and deck was accommodated for structurally when the building was constructed in 2011 but was not proposed when the previous land use applications were approved.

Because the property is subject to previous land use approvals, the construction of the clubroom and rooftop deck constitutes more than a minor change to the approved site plan, and thus requires amendment of the site plan. The requirements for application and approval of a site plan amendment are the same as the requirements for the original application and approval.

RELATED APPROVALS. In 2010, multiple land use applications (listed in the table below) were approved by the Planning Commission to allow for the construction of the existing multi-family apartment complex.

Planning Case #	Application	Action
BZZ-4743	<ul style="list-style-type: none"> • Conditional Use Permit to allow 237 residential dwelling units. • Conditional Use Permit to increase the maximum permitted height to 8 stories or 84 feet at the tallest portion of the proposed structure. • Variance of the front yard setback adjacent to Girard Avenue South from 15 feet, 2 inches (due to a front yard increase) to 11 feet, 5 inches at the closest point for patios and balconies that exceed 50 square feet in size. • Variance of the front yard setback adjacent to Fremont Avenue South from 26 feet, 7 inches (due to a front yard increase) to 14 feet, 9 inches at the closest point for the proposed structure and to 12 feet, 7 inches at the closest point for patios and balconies that exceed 50 square feet in size. • Variance of the interior side yard setback adjacent to the north property line from 19 feet to 17 feet for patios and balconies that exceed 50 	All applications approved on <u>April 12, 2010</u>

	<p>square feet in size.</p> <ul style="list-style-type: none"> • Variance of the interior side yard setback adjacent to the south property line from 19 feet to 16 feet, 7 inches for patios and balconies that exceed 50 square feet in size. • Variance to allow walkways greater than 6 feet in width within the front yard setback adjacent to Girard Avenue South and Fremont Avenue South and within the interior side yards adjacent to the north and south property lines. • Variance of the minimum lot area per dwelling unit to allow 237 dwelling units from 334 square feet per dwelling unit to 296 square feet per dwelling unit or a variance of approximately 11.4%. • Site Plan Review for an 8-story, 237 unit multi-family residential development on the vacant former Acme Tag and Label Company property. 	
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PUBLIC COMMENTS. No comments have been received as of the writing of this report. Any correspondence received prior to the public meeting will be forwarded on to the Planning Commission for consideration.

ANALYSIS

SITE PLAN REVIEW

The Department of Community Planning and Economic Development has analyzed the application based on the required findings and applicable standards in the site plan review chapter:

I. Conformance to all applicable standards of Chapter 530, Site Plan Review.

Building Placement and Design – Meets requirements

- The placement of the existing building reinforces the street wall. The proposed rooftop clubroom and deck would add approximately 500 square feet of bulk to the sixth level facing Fremont Avenue South.
- The building is subject to greater yard requirements and thus is placed further than 8 feet from the property lines facing the public streets. The rooftop addition does not alter the ground floor of the existing building.
- No changes are proposed between the building and the lot lines. The areas between the buildings and the public streets have shrubs and trees along both street frontages, as well as in between the required setbacks and adjacent property lines within the interior side yards.
- The principal entrance to the building is located along Fremont Avenue South, with another entry on Girard Avenue South. The proposed rooftop clubroom would be accessed internally from the sixth level of the building.
- On-site accessory parking is located in a two-story underground parking garage which is accessed off of Fremont Avenue South.
- The existing building has architectural details and windows to create visual interest and increase security of adjacent outdoor spaces. The rooftop clubroom addition would incorporate windows on exterior walls for visual interest.
- The rooftop addition would not have blank walls over 25 feet in length.
- The rooftop addition is proposed to be clad in durable fiber cement panels matching the existing fiber cement panels on the building in spacing, texture, color and reveals.

- Since matching fiber cement panels will be utilized, the materials and appearance of the proposed rooftop clubroom would be similar to and compatible with all sides of the existing building.
- No plain face concrete block is proposed.
- Approximately 75 square feet of windows are proposed on the rooftop addition facing Fremont Avenue South. Additionally, a large operable glass wall system is proposed along the north wall of the rooftop clubroom addition facing the deck area. The proposed windows exceed the requirement that 10% of walls on upper floors be windows. The existing building also meets the window requirements.
- The existing building complies with the requirement that inactive functions cannot exceed 30% of linear street frontage. The rooftop addition and deck will not alter the ground floor of the building.
- The roof of the addition will be flat like the rest of the existing building. This is similar to surrounding buildings.
- The existing parking garage is underground.

Access and Circulation – Meets requirements

- Well-lit walkways at least four feet in width connect the existing building and adjacent public sidewalk.
- No transit shelters are present or proposed.
- Vehicular access and circulation has been designed to minimize conflicts with pedestrians and surrounding residential uses. The underground parking garage is accessed off of Fremont Avenue South.
- The rooftop clubroom and deck will not change the amount of impervious surface on the site.

Landscaping and Screening – Meets requirements

- The composition and location of the existing landscaped areas complement the scale of the development and the surroundings.
- The existing building complies with and even exceeds the landscaping and screening requirements; the proposed rooftop deck and clubroom would not change the landscaping requirements.

Table I. Landscaping and Screening Requirements

	Code Requirement	Proposed
Lot Area	--	70,228 sq. ft.
Building footprint	--	35,004 sq. ft.
Remaining Lot Area	--	35,224 sq. ft.
Landscaping Required	7,045 sq. ft.	17,600 sq. ft.
Canopy Trees (1: 500 sq. ft.)	14 trees	77 trees
Shrubs (1: 100 sq. ft.)	70 shrubs	695 shrubs

Additional Standards – Meets requirements

- There is no surface parking on the site. All parking is provided in a two-story underground garage accessed off of Fremont Avenue South.
- The proposed rooftop clubroom addition and deck would not block views of important city elements or alter the generation of wind currents at the ground. The new bulk added would be an approximately 24 foot by 20 foot addition atop a portion of the building that currently steps down to five stories. Any change in shadowing of public spaces or adjacent properties would be very minimal.

- The rooftop addition would incorporate windows on both the north and east sides which will allow for additional surveillance of the street and the rooftop deck area.
- The site does not include any locally designated historic structures or significant historic buildings.

2. Conformance with all applicable regulations of the zoning ordinance.

The proposed use is *permitted* in the R6 Multiple-Family District.

Off-street Parking and Loading – Meets requirements

- The parking requirement for this site is one space per dwelling unit. With the transit incentive, this project would now qualify for a 50 percent reduction in required parking due to its proximity to transit. There are 216 dwelling units in the existing building and 220 existing parking spaces. The rooftop clubroom and deck addition does not increase the parking requirement, which would now be 108 due to the transit reduction.
- The bicycle parking requirement is one space per 2 dwelling units. The building has a bicycle parking requirement of 108 spaces. The building has 237 bicycle parking spaces.
- The existing building has one 16 foot by 40 foot loading space which meets the requirement of one small loading space.

Building Bulk and Height – Meets requirements

- The maximum floor area ratio for multiple-family dwellings in the R6 District is 3.0. Because all required parking is provided within the building, the building is eligible for a 20 percent density bonus. Therefore, the maximum floor area ratio for this site is 3.6. With the proposed addition, the gross floor area is increased by 460 square feet. The floor area ratio would remain at 3.15.
- A conditional use permit was approved for the existing building to increase the height from the district maximum 6 stories/84 feet to 8 stories/ 84 feet. Because the rooftop addition is proposed to be located at the sixth level in a portion of the building which is only 5 levels in height, it does not increase the height of the building.

Table 5. Building Bulk and Height Requirements

	Code Requirement	Proposed
Lot Area	--	70,228 sq. ft. / 1.61 acres (excludes north parcel separated by alley)
Gross Floor Area (GFA)	--	221,341 sq. ft.
Maximum Floor Area Ratio (GFA/Lot Area)	3.6	3.15
Maximum Building Height	District: 6 stories/ 84 feet Approved CUP: 8 stories /84 feet	8 stories/ 84 feet (No change)

Lot Requirements – Meets requirements

- The existing building meets the lot requirements. The proposed rooftop addition not does impact the lot requirements.

Table 2. Lot Requirements Summary

	Code Requirement	Proposed
Dwelling Units (DU)	--	216 DUs
Density (DU/acre)	--	118 DU/acre
Minimum Lot Area	5,000 sq .ft.	70,228 sq. ft.
Maximum Impervious Surface Area	85%	75%
Maximum Lot Coverage	70%	49%

Yard Requirements – Meets requirements

- In 2010, the development received yard variances of all sides as noted above in the “related approvals” section. The proposed rooftop addition is located within the existing envelope of the building and complies with the yard requirements.

Table 3. Minimum Yard Requirements

	Yard Requirement	2010 approved variances	Proposed location of rooftop addition
Front – Fremont (West)	26 ft. 7 in (established)	14 ft. 9 in. for structure and 12 ft. 7 in. for patios and balconies	32 ft.
Front - Girard (East)	15 ft. 2 in. (established)	11 feet, 5 inches at the closest point for patios and balconies	215 ft.
Interior Side (North)	19 ft.	17 feet for patios and balconies	54 ft.
Interior Side (South)	19 ft.	16 feet, 7 inches for patios and balconies	160 ft.

Signs – Meets requirements

- No changes to the existing signs are proposed. The building currently has one 10 square foot illuminated wall sign on the west elevation, one illuminated 9 square foot wall sign on the east elevation, and one non-illuminated 17 square foot monument sign at the southwest corner of the property. These have received the required sign permits.

Screening of Mechanical Equipment – Meets requirements

- All mechanical equipment is subject to the screening requirements of [Chapter 535](#) and district requirements. No change is proposed to mechanical equipment.

Refuse Screening – Meets requirements

- All refuse and recycling storage containers are subject to the screening requirements in [Chapter 535](#). There is an existing trash and recycling room located on the north side of the structure adjacent to the public alley.

Lighting – Meets requirements

- Existing and proposed lighting must comply with [Chapter 535](#) and Chapter 541 of the zoning code. The rooftop deck will be lit with wall sconces which will meet the lighting standards.

Fences – Meets requirements

- No new fences are proposed. Fences must comply with the requirements in [Chapter 535](#).

Specific Development Standards – Not applicable

3. Conformance with the applicable policies of *The Minneapolis Plan for Sustainable Growth*.

The Minneapolis Plan for Sustainable Growth identifies the site as Urban Neighborhood on the future land use map. The proposed development is consistent with the following principles and policies outlined in the comprehensive plan:

Land Use Policy 1.2: Ensure appropriate transitions between uses with different size, scale, and intensity.

- 1.2.1 Promote quality design in new development, as well as building orientation, scale, massing, buffering, and setbacks that are appropriate with the context of the surrounding area.

Housing Policy 3.2: Support housing density in locations that are well connected by transit, and are close to commercial, cultural and natural amenities.

- 3.2.1 Encourage and support housing development along commercial and community corridors, and in and near growth centers, activity centers, retail centers, transit station areas, and neighborhood commercial nodes.

Urban Design Policy 10.4: Support the development of residential dwellings that are of high quality design and compatible with surrounding development.

- 10.4.1 Maintain and strengthen the architectural character of the city's various residential neighborhoods.

Urban Design Policy 10.6: New multi-family development or renovation should be designed in terms of traditional urban building form with pedestrian scale design features at the street level.

- 10.6.1 Design buildings to fulfill light, privacy, and view requirements for the subject building as well as for adjacent properties by building within required setbacks.
- 10.6.3 Provide appropriate physical transition and separation using green space, setbacks or orientation, stepped down height, or ornamental fencing to improve the compatibility between higher density and lower density residential uses.
- 10.6.4 Orient buildings and building entrances to the street with pedestrian amenities like wider sidewalks and green spaces.
- 10.6.5 Street-level building walls should include an adequate distribution of windows and architectural features in order to create visual interest at the pedestrian level.

Urban Design Policy 10.7: Maintain and preserve the quality and unique character of the city's existing housing stock.

- 10.7.3 Encourage adaptive reuse, retrofit and renovation projects that make the city's housing stock competitive on the regional market.

4. Conformance with applicable development plans or objectives adopted by the City Council.

The *Midtown Greenway Land Use and Development Plan* was adopted by the City Council in 2007 and the *Uptown Small Area Plan* was adopted in 2008. Both plans incorporate guidance for this site. The *Midtown Greenway* plan designated the subject site as a high-density housing site on the future land use plan as well as a Transit-Oriented Development District. The *Uptown* plan suggests that height on the north side

of the Greenway should be lower than that in the core of Uptown in order to provide a transition into the residential area to the north.

The addition of an approximately 500 square foot rooftop clubroom addition and deck area at the sixth level of the existing building would be consistent with the guidance in both plans. The existing building steps down towards the lower density residential uses to the north. The nearest single-family residential property to the north would be about 120 feet from the clubroom and deck as it is buffered by the parcel north of the alley which is part of the existing development. Multi-family residential buildings are located across Fremont Avenue South from the proposed rooftop clubroom and deck addition. Staff finds that the proposal would be consistent with the applicable guidance in the adopted small area plans.

5. Alternative compliance.

The Planning Commission or zoning administrator may approve alternatives to any site plan review requirement upon finding that the project meets one of three criteria required for alternative compliance. When originally approved by the Planning Commission, the existing building only required alternative compliance for a blank wall; the plans were subsequently amended to eliminate the blank wall. The rooftop addition meets all site plan review requirements and does not require any alternative compliance.

RECOMMENDATIONS

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt staff findings for the application by BKV Group for the property located at 2838 Fremont Avenue South:

A. Site Plan Review for an addition.

Recommended motion: **Approve** the application to amend a previously approved site plan for a new rooftop clubroom and deck addition, subject to the following conditions:

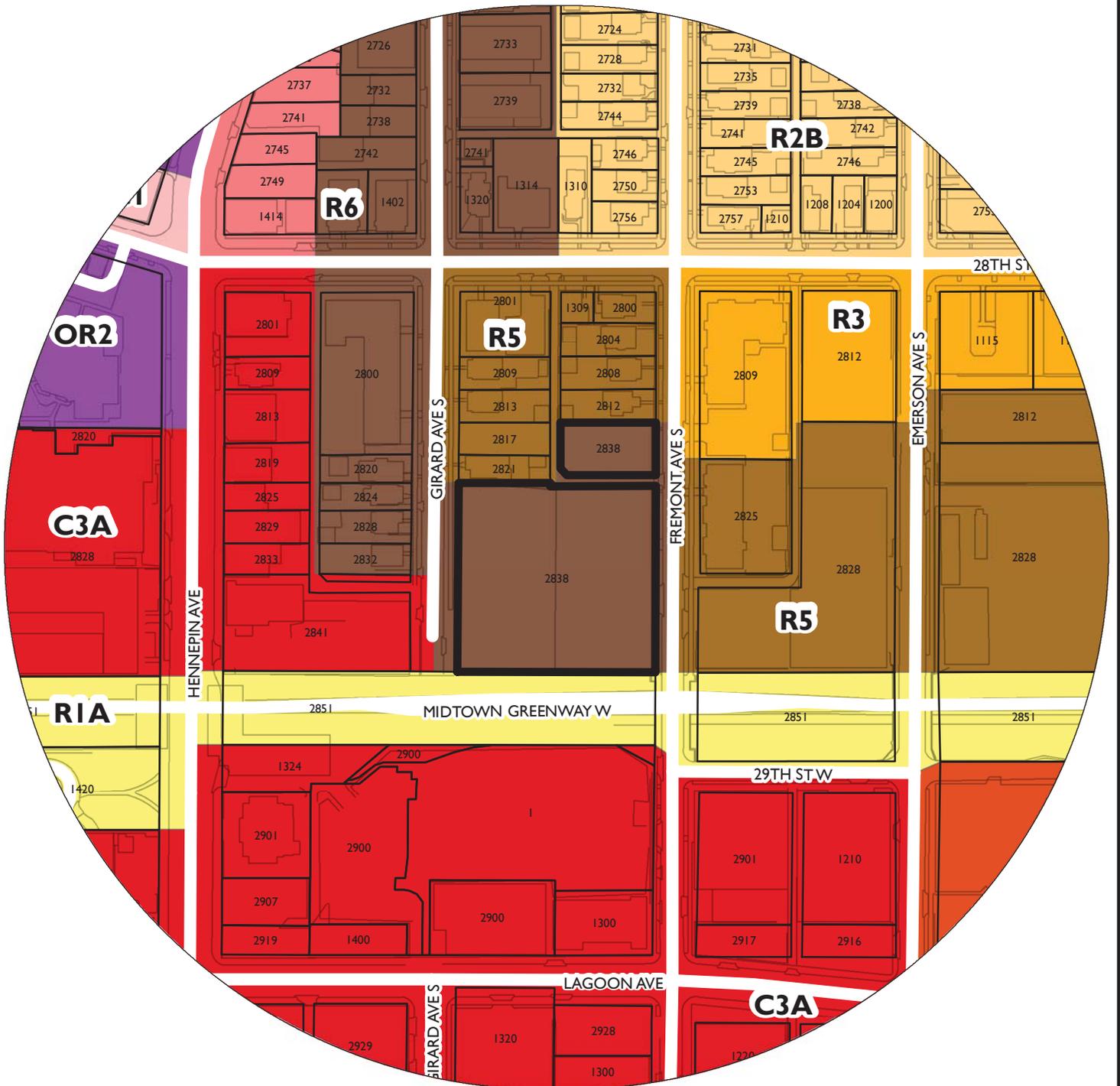
1. CPED staff shall review and approve the final plans before building permits may be issued.
1. All site improvements shall be completed by December 7, 2017, unless extended by the Zoning Administrator, or the permit may be revoked for non-compliance.
2. The conditions of approval for BZZ-4743 shall remain in effect.

ATTACHMENTS

1. Zoning map
2. Written description and findings submitted by applicant
3. Aerial photos
4. Plans and elevations
5. Photos
6. Correspondence

NAME OF APPLICANT

WARD



PROPERTY ADDRESS

2838 Fremont Avenue South

FILE NUMBER

BZZ-7500

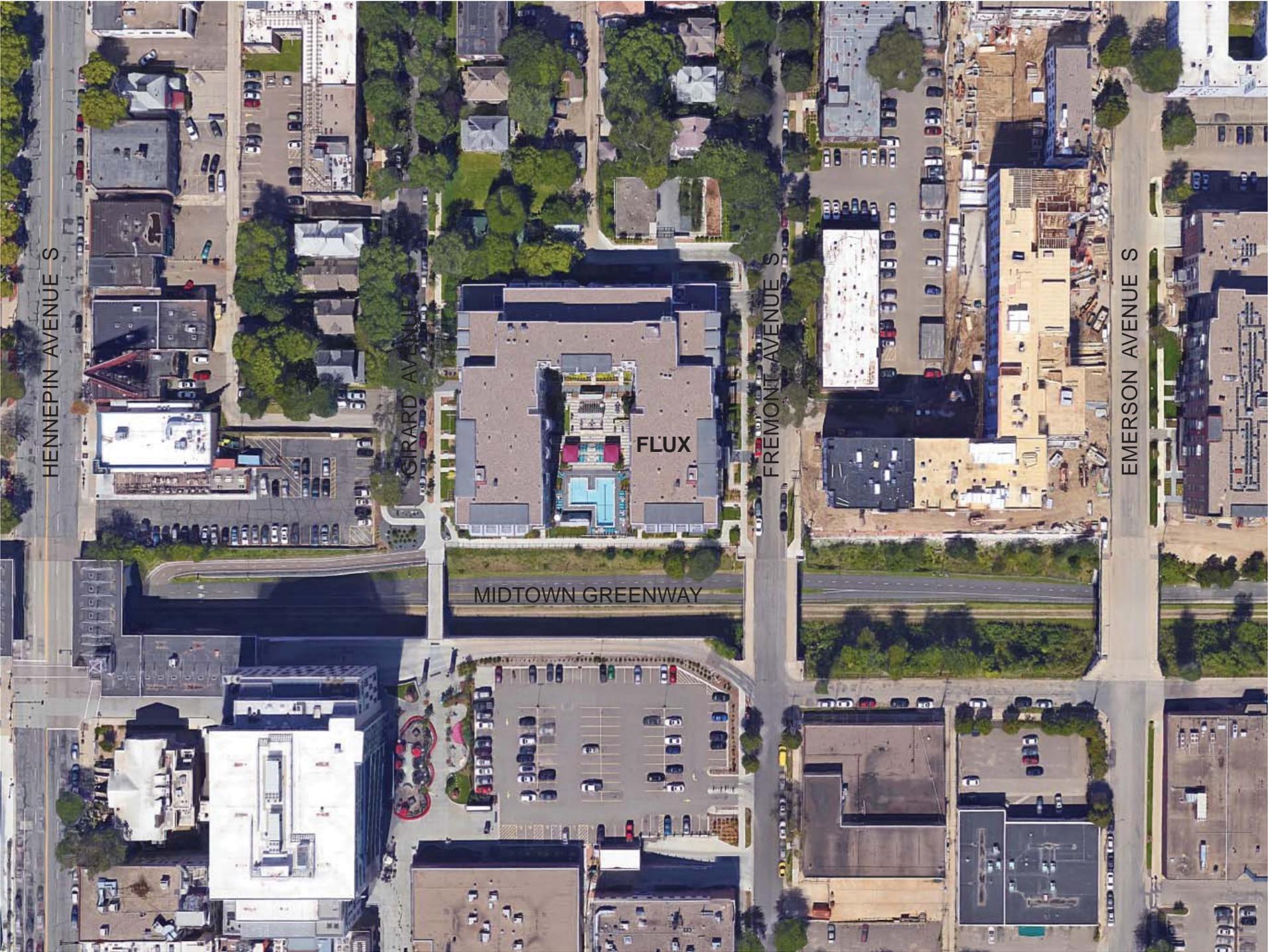
Flux Apartments – Roof Deck

The Flux site is bounded by Fremont Avenue to the east, Girard Avenue to the west, and the Midtown Greenway to the south. Just blocks away from the heart of Uptown and fronting the revitalized Midtown Greenway corridor, Flux offers a truly multi-modal lifestyle with easy access to recreational, commercial, and social amenities. The objective of the redevelopment was to create a distinctive and sustainable project that builds on the energy and diversity of the local community and nearby Greenway. The plan consists of market-rate rental housing with a variety of dwelling unit choices, below-grade parking, community rooms, and open spaces. The project location offers residents an abundance of convenient services with direct access to recreational, commercial and social amenities.

This 216-unit market-rate project combines a variety of dwelling types, including street-level walk-ups, terrace units, flats and penthouse units (ranging in size from 545 sf studios to 1,300 sf two-bedrooms) into a sophisticated and upscale spa and resort-like atmosphere. Here, indoor and outdoor spaces blend to create an open, engaging social community for residents. Amenities include a cyber café, culinary kitchen, pub and billiards room, yoga and fitness center, and outdoor features such as a bar, fireplace, pool, spa, grilling stations, cabanas, bocce court, and a 5,000 sf community dog park.

The owners of Flux are proposing a roof deck amenity for the building. This roof deck was accommodated for in the original structural design of the building but was not built due to budget constraints at the time. In order to compete with the new projects in the neighborhood that have been constructed after Flux was built in 2011, most of which have similar rooftop amenities, the owners would like to build out a modest-sized rooftop amenity.

The new club room is less than 500 sq ft and also includes an outdoor deck with a grill, fireplace and some seating. This roof deck is intended to be an intimate space for residents to enjoy year-round and to get away from the ground-level commotion of the large courtyard and pool area at Flux.



HENNEPIN AVENUE S

GIRARD AVENUE S

FREMONT AVENUE S

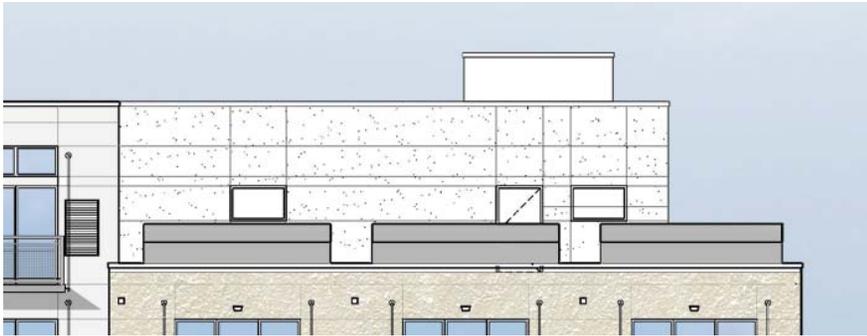
EMERSON AVENUE S

MIDTOWN GREENWAY

FLUX

LOCATION OF
PROPOSED
ROOF ADDITION
AND DECK





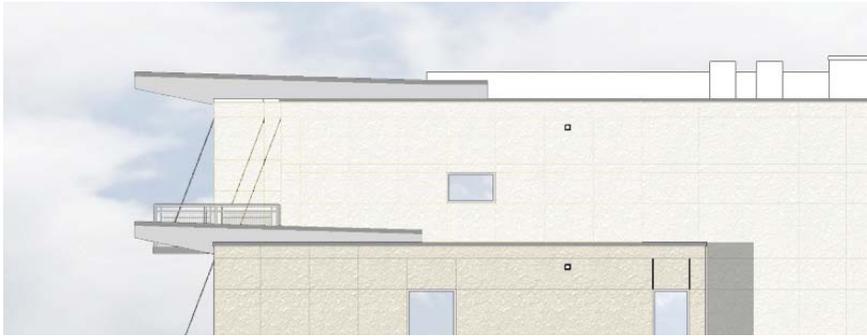
EXISTING CONDITION - EAST ELEVATION RENDERING



PROPOSED ROOF DECK - EAST ELEVATION RENDERING



EAST ELEVATION RENDERING



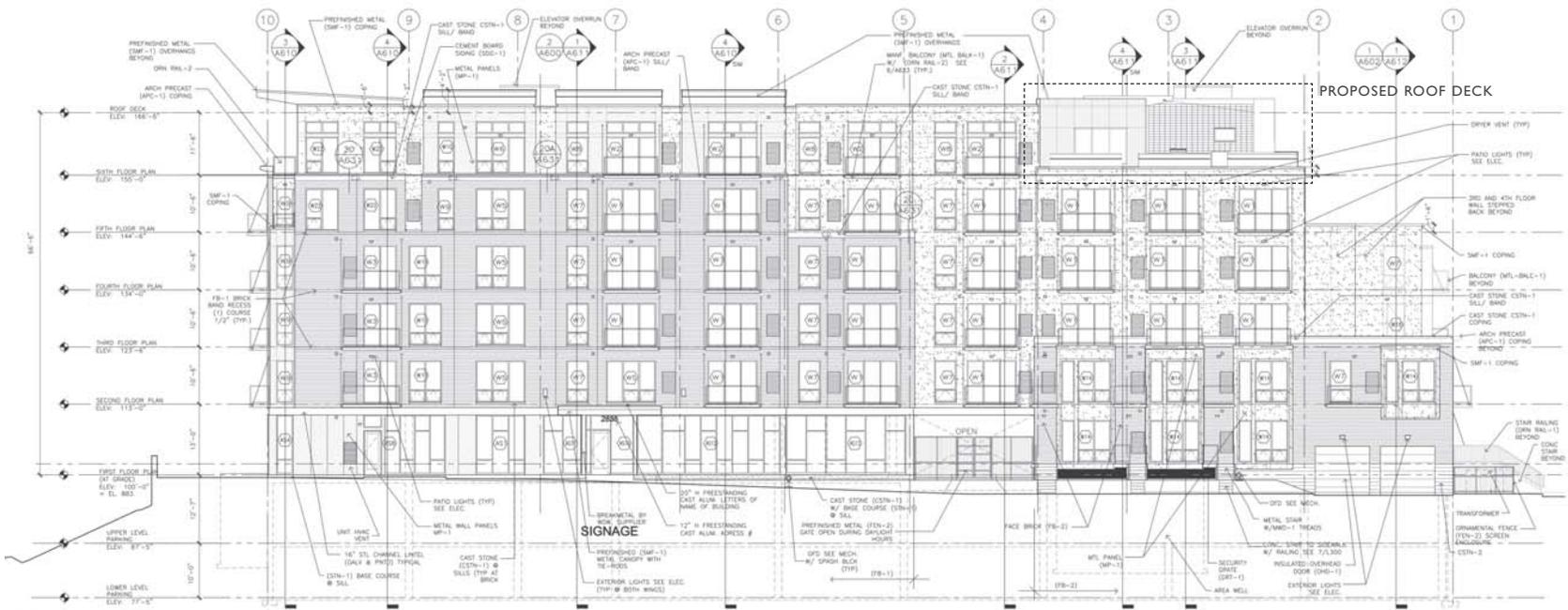
EXISTING CONDITION - NORTH ELEVATION RENDERING



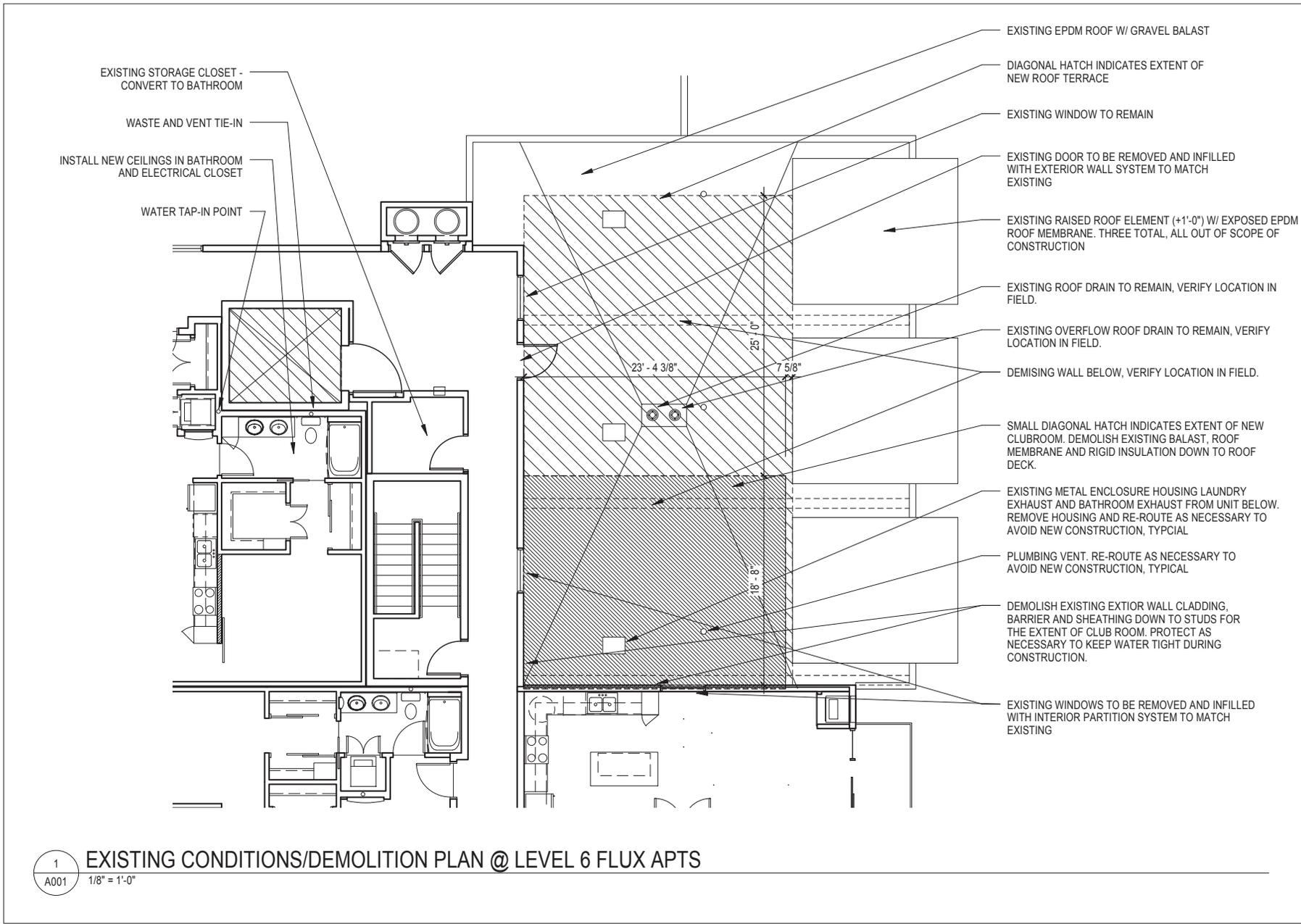
PROPOSED ROOF DECK - NORTH ELEVATION RENDERING



NORTH ELEVATION RENDERING



EAST ELEVATION



EXISTING STORAGE CLOSET -
CONVERT TO BATHROOM

WASTE AND VENT TIE-IN

INSTALL NEW CEILINGS IN BATHROOM
AND ELECTRICAL CLOSET

WATER TAP-IN POINT

EXISTING EPDM ROOF W/ GRAVEL BALAST

DIAGONAL HATCH INDICATES EXTENT OF
NEW ROOF TERRACE

EXISTING WINDOW TO REMAIN

EXISTING DOOR TO BE REMOVED AND INFILLED
WITH EXTERIOR WALL SYSTEM TO MATCH
EXISTING

EXISTING RAISED ROOF ELEMENT (+1'-0") W/ EXPOSED EPDM
ROOF MEMBRANE. THREE TOTAL, ALL OUT OF SCOPE OF
CONSTRUCTION

EXISTING ROOF DRAIN TO REMAIN, VERIFY LOCATION IN
FIELD.

EXISTING OVERFLOW ROOF DRAIN TO REMAIN, VERIFY
LOCATION IN FIELD.

DEMISING WALL BELOW, VERIFY LOCATION IN FIELD.

SMALL DIAGONAL HATCH INDICATES EXTENT OF NEW
CLUBROOM. DEMOLISH EXISTING BALAST, ROOF
MEMBRANE AND RIGID INSULATION DOWN TO ROOF
DECK.

EXISTING METAL ENCLOSURE HOUSING LAUNDRY
EXHAUST AND BATHROOM EXHAUST FROM UNIT BELOW.
REMOVE HOUSING AND RE-ROUTE AS NECESSARY TO
AVOID NEW CONSTRUCTION, TYPICAL

PLUMBING VENT. RE-ROUTE AS NECESSARY TO
AVOID NEW CONSTRUCTION, TYPICAL

DEMOLISH EXISTING EXTERIOR WALL CLADDING,
BARRIER AND SHEATHING DOWN TO STUDS FOR
THE EXTENT OF CLUB ROOM. PROTECT AS
NECESSARY TO KEEP WATER TIGHT DURING
CONSTRUCTION.

EXISTING WINDOWS TO BE REMOVED AND INFILLED
WITH INTERIOR PARTITION SYSTEM TO MATCH
EXISTING

1 EXISTING CONDITIONS/DEMOLITION PLAN @ LEVEL 6 FLUX APTS

A001 1/8" = 1'-0"

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Architect under the laws of the State of Minnesota

Michael J. Krych
Michael J. Krych

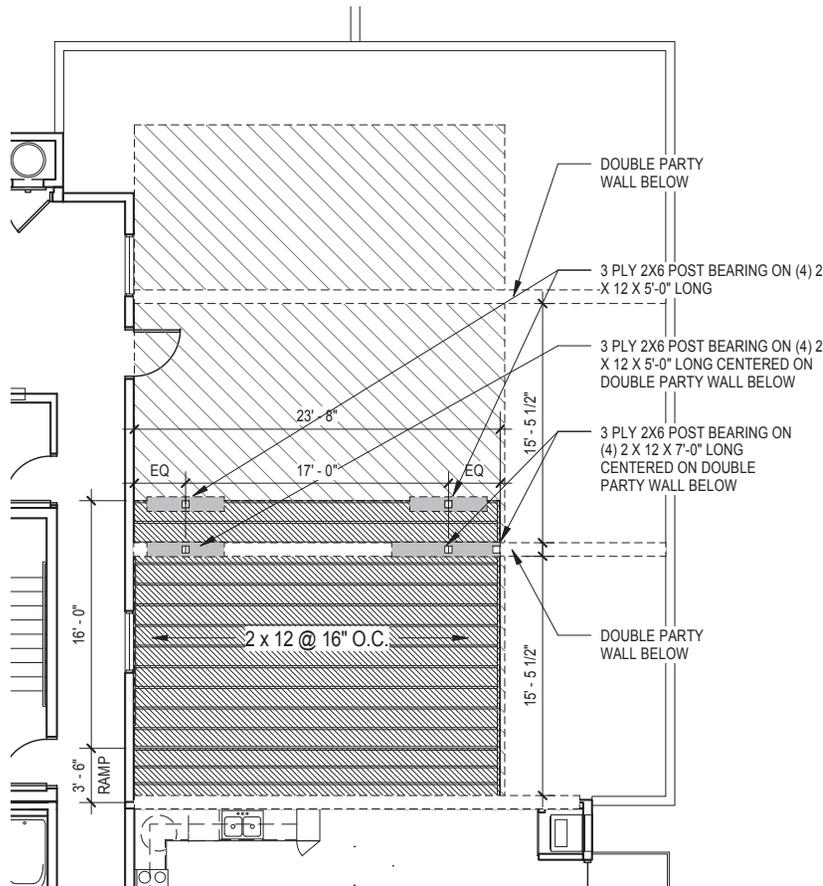
#23555 10/06/2015
License Number Date

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota

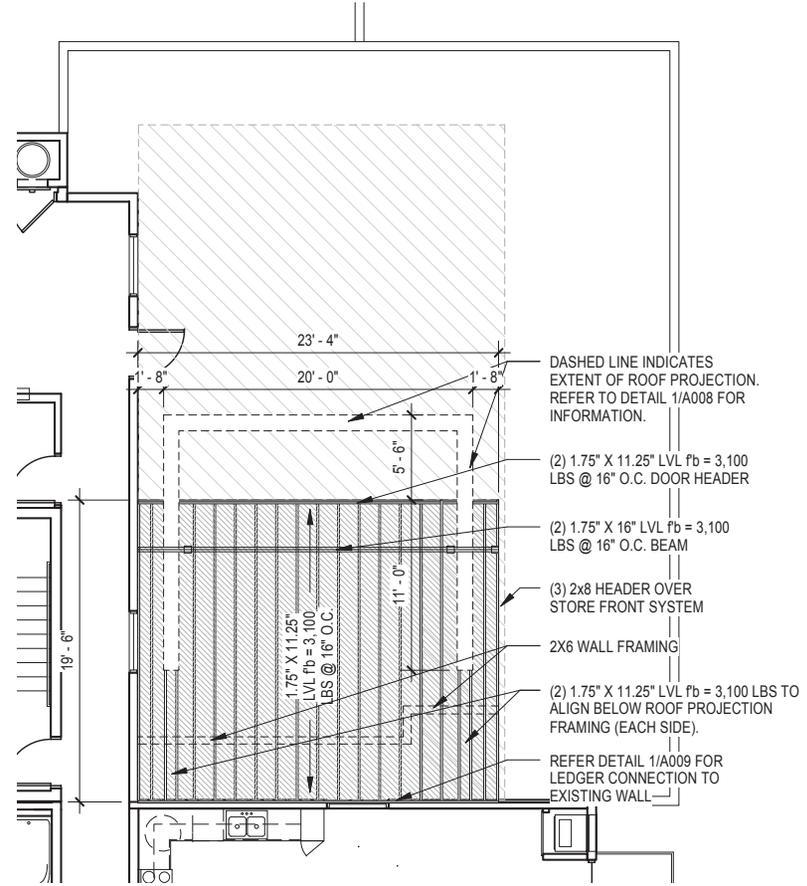
Bradley E. Beverson
Bradley E. Beverson

#25498 10/06/2015
License Number Date

DATE	10/06/2015
DRAWN BY	MFK
CHECKED BY	MFK
COMMISSION NO.	1629.12
SHEET TITLE	FRAMING PLANS



1 Framing Plan at Roof Deck
A002 1/8" = 1'-0"



2 Framing Plan at Clubroom Roof
A002 1/8" = 1'-0"

GENERAL NOTES:

- NEW EXTERIOR WALL AND ROOF ASSEMBLIES AND FINISHES SHALL MATCH EXISTING CONDITIONS AND RATINGS EXCEPT WHERE MODIFIED ON THE CODE PLAN.
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS.
- ALL DIMENSIONS ARE TO FACE OF STUD
- GENERAL CONTRACTOR SHALL PROVIDE ALL MECHANICAL, ELECTRICAL AND PLUMBING DESIGN BASED ON EXISTING CONDITIONS. ARCHITECT MAY LOCATE PORTIONS OF THE MECHANICAL, ELECTRICAL AND PLUMBING DESIGN FOR COORDINATION PURPOSES ONLY. BKV SHALL APPROVE ALL MECHANICAL, ELECTRICAL AND PLUMBING DESIGNS PRIOR TO THE COMMENCEMENT OF WORK.
- EXISTING ROOF DECK IS REINFORCED AND DESIGNED FOR 100 LBS/SF DEAD LOAD AND 100 LBS/LIVE LOAD. REFER TO FRAMING PLAN FOR NEW STRUCTURAL INFORMATION.

BATHROOM CONVERSION:

- TIE INTO WASTE, VENT, AND EXHAUST FROM BATHROOM BELOW.
- TAP INTO WATER (BEFORE UMS METER) FROM LAUNDRY CLOSET BELOW
- DROP CEILINGS IN BATHROOM AND ELECTRICAL ROOM BELOW TO CONCEAL PIPING TO NEW BATHROOM

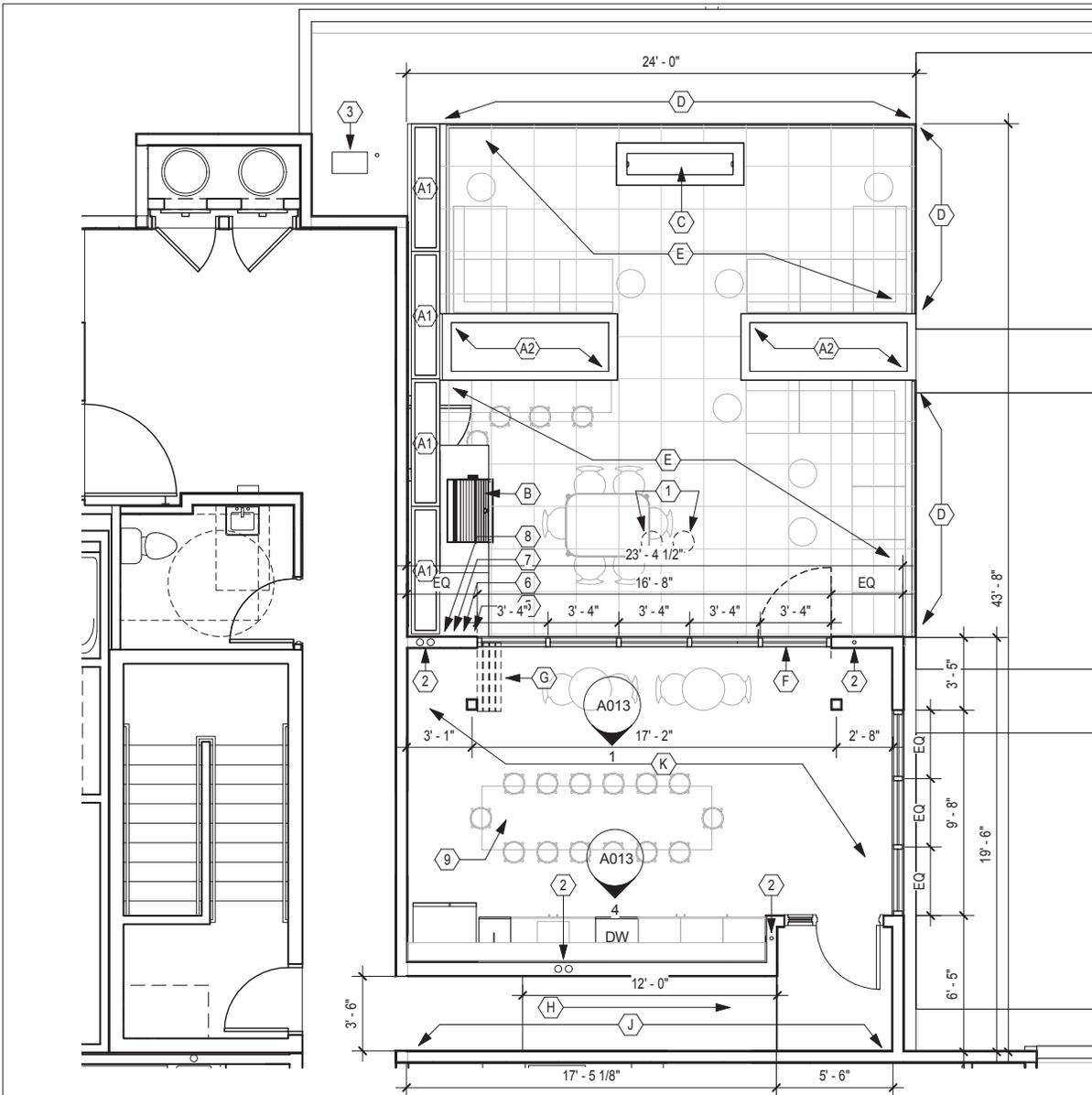
PLAN KEYNOTES:

ARCHITECTURAL ITEMS

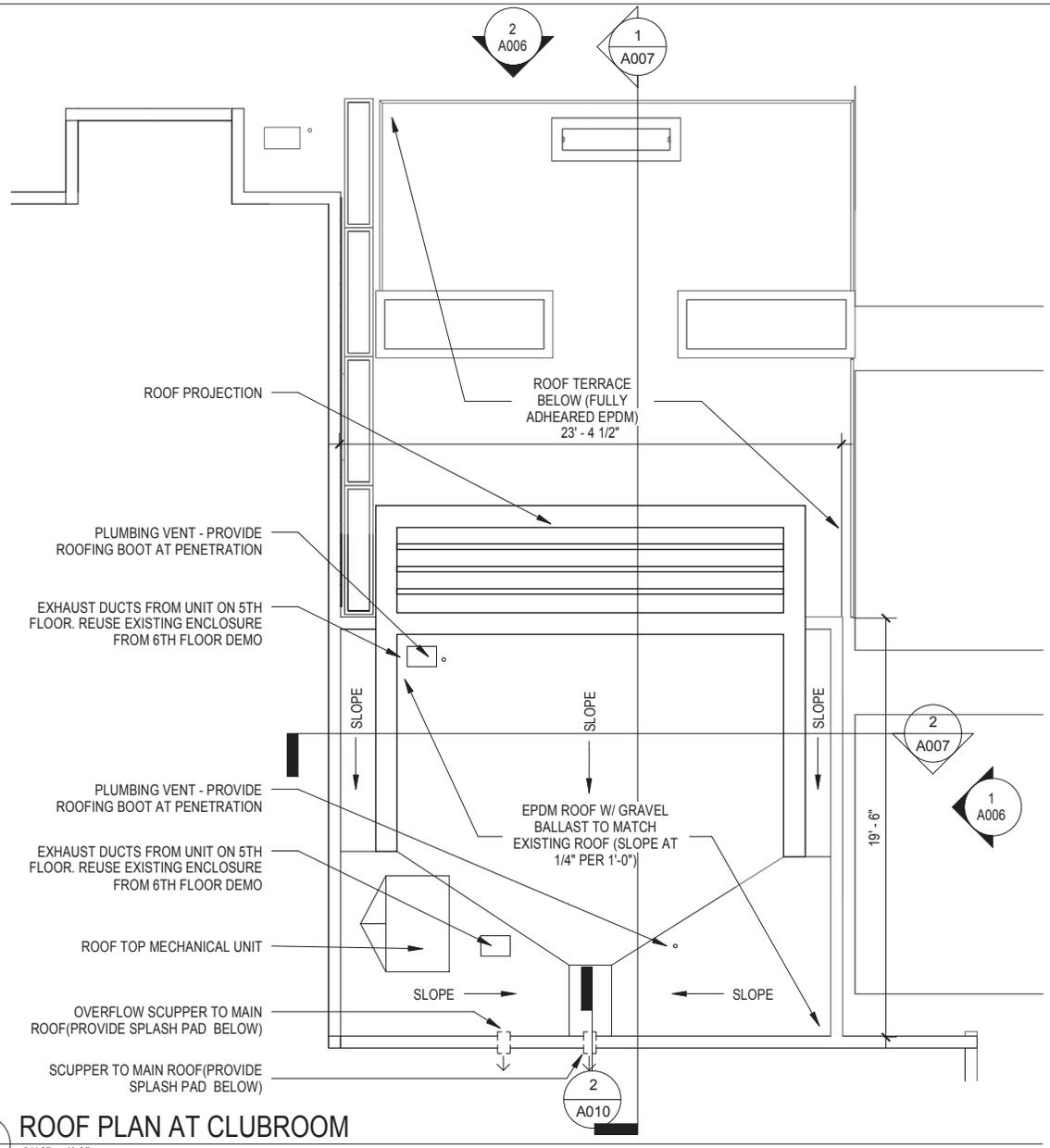
- A1. 42" TALL PREFABRICATED PLANTERS W/ MAX 12" OF SOIL. PROVIDE RIGID INSULATION BELOW SOIL. PLANTERS SHALL BE FASTENED TO CONCRETE TERRACE PAVERS TO BE PERMANENT.
- A2. CUSTOM IPE PLANTER. REFER TO SHEET A10 FOR DETAILS.
- B. GAS GRILL AND COUNTER AT 34" TALL TO MEET ACCESSIBILITY REQUIREMENTS.
- C. PREFABRICATED GAS FIREPLACE.
- D. 42" GAURD RAIL FASTENED TO TERRACE PAVERS. REFER TO DETAIL 3/A008.
- E. 24" X 24" CONCRETE TERRACE PAVERS ON ADJUSTABLE PEDISTAL SYSTEM.
- F. SINGLE SWING DOOR AS PART OF OPERABLE WINDOW WALL SYSTEM.
- G. STACKING PLACEMENT OF OPERABLE WINDOW WALL SYSTEM WHEN IN OPEN POSITION.
- H. 1:12 ACCESSIBLE RAMP WITH HANDRAILS ON EACH SIDE. 36" CLEAR BETWEEN HANDRAILS.
- J. UNIT SEPARATION WALL ADJACENT TO CLUBROOM SHALL USE RESILIENT CHANNELS AND TWO LAYERS OF 5/8" GYP BD TO ACHIEVE A MINIMUM STC OF 50.
- K. CLUBROOM FLOOR ASSEMBLY SHALL INCLUDE 1" GYP-CRETE WITH ACOUSTI-MAT II HP.

MEP ITEMS

- 1. EXISTING ROOF DRAIN AND OVERFLOW ROOF DRAIN BELOW TERRACE PAVERS. VERIFY LOCATION IN FIELD.
- 2. RE-ROUTE EXISTING DRYER AND BATH EXHAUST IN WALL. COORDINATE W/ MECHANICAL CONTRACTOR.
- 3. RE-ROUTE EXISTING DRYER AND BATH EXHAUST TO ROOF BOX. REUSE ROOF EXISTING ROOF BOX. COORDINATE W/ MECHANICAL CONTRACTOR.
- 4. RE-ROUTE EXISTING PLUMBING VENT, VERIFY W/ PLUMBING CONTRACTOR.
- 5. HOSE BIB W/ BACKFLOW PREVENTER.
- 6. NATURAL GAS TIMER BUTTON.
- 7. NATURAL GAS EMERGENCY SHUTOFF.
- 8. EXTERIOR POWER RECEPTICLE.
- 9. INTERIOR POWER FLOOR RECEPTICLE.



1 FLOOR PLAN @ CLUBROOM/ROOF TERRACE
A003 3/16" = 1'-0"



GENERAL ROOF NOTES:

1. INSTALL ALL ROOFING AND FLASHING MATERIALS IN STRICT ACCORDANCE TO MANUFACTURER'S REQUIREMENTS.
2. PROVIDE CRICKETS AT THE HIGH SIDE OF ALL ROOF HATCHES, SKYLIGHTS, EQUIPMENT PLATFORMS, ELEVATOR OVERRUNS, ETC.
3. PROVIDE WALKWAY PADS FROM ROOF HATCH TO AND SURROUNDING ALL MECHANICAL EQUIPMENT AND ROOF DRAINS AND AS INDICATED ON ROOF PLANS.
4. PROVIDE PRECAST CONCRETE SPLASHBLOCKS WHERE DOWNSPOUTS DISCHARGE ONTO OTHER ROOFS.
5. ALL ROOF INSULATION AT FLAT ROOFS TO BE TAPERED TO DRAIN AT 1/4" PER FOOT UNLESS INDICATED OTHERWISE.
6. REFER TO ALL FLOOR PLAN SHEETS FOR DIMENSIONS NOT SHOWN ON ROOF PLAN
7. COORDINATE ALL ROOF PENETRATIONS AND EQUIPMENT WITH MECHANICAL, ELECTRICAL OR OTHER CONTRACTORS.
8. +X - DESIGNATES THICKNESS OF ROOF INSULATION
9. NO PROVISIONS HAVE BEEN MADE FOR ROOF TOP ANTENNAE, SATELLITES, LIGHTNING PROTECTION, ETC.
10. SEE ROOF PLAN FOR ROOF TYPES AND SYSTEMS

1
A004
3/16" = 1'-0"
ROOF PLAN AT CLUBROOM



Architecture
Interior Design
Landscape Architecture
Engineering

**Boarman
Kroos
Vogel
Group
Inc.**

222 North Second Street
Minneapolis, MN 55401
Telephone: 612.339.3752
Facsimile: 612.339.6212
www.bkvgroup.com

CONSULTANTS

PROJECT TITLE

FLUX ROOFTOP
ADDITION

PERMIT SET

CERTIFICATION

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Architect under the laws of the State of Minnesota

Michael J. Krych
Michael J. Krych

#23555 10/06/2015
License Number Date

DATE	10/06/2015
DRAWN BY	MFK
CHECKED BY	MJK
COMMISSION NO.	1629.12
SHEET TITLE	ROOF PLAN

SHEET NUMBER

A004

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C:\Revit Local\1629-04_Flux Rooftop_Amenity_A MEP_Option2_rkuntz.rvt
10/6/2015 1:35:39 PM

17"x11"

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Michael J. Krych

#23555 10/06/2015
License Number Date

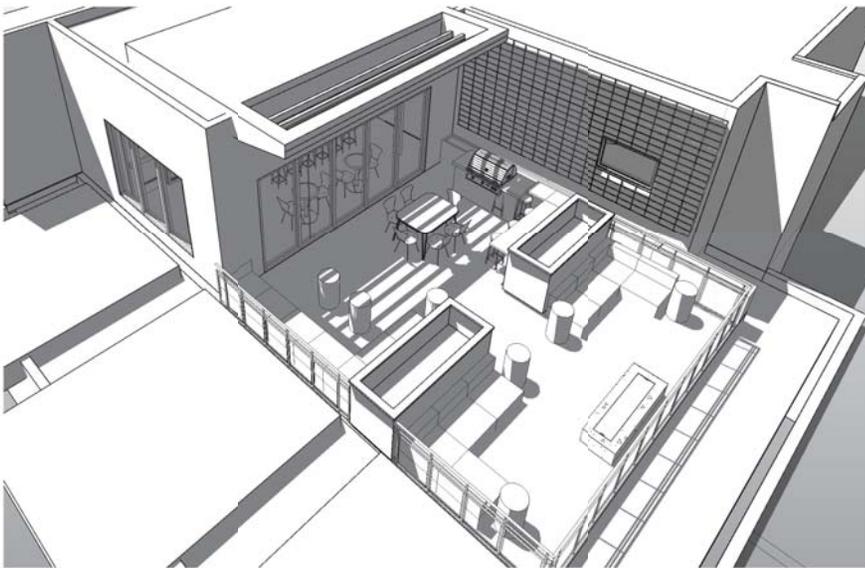
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DRAWN BY	MFK
CHECKED BY	MFK
COMMISSION NO.	1629.12

SHEET TITLE
PERSPECTIVE VIEWS

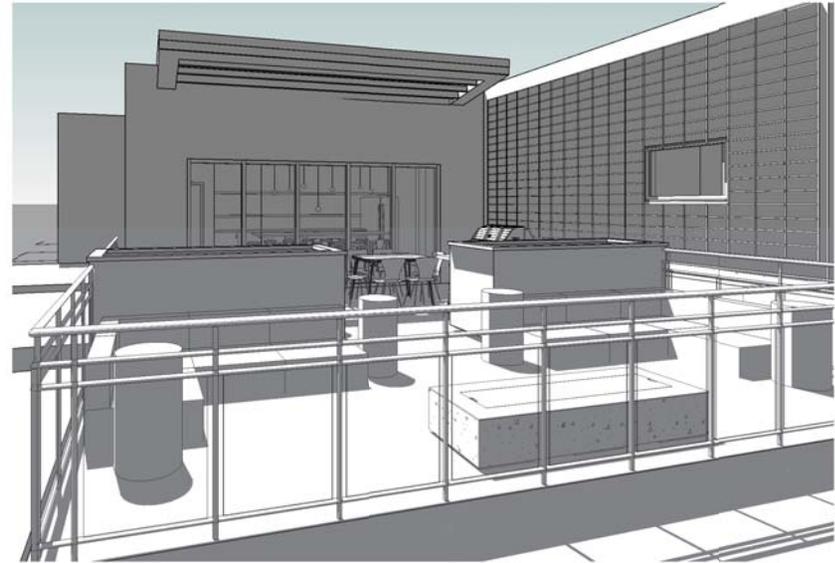
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A005

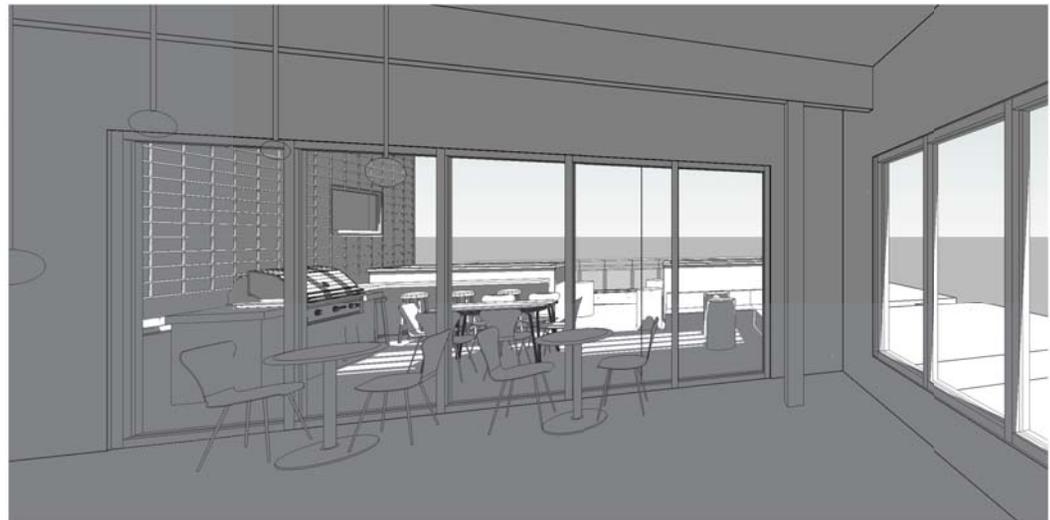
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BIRD'S EYE PERSPECTIVE OF ROOF TERRACE ADDITION



EYE LEVEL PERSPECTIVE OF NORTH END OF TERRACE



VIEW TOWARD DOWN TOWN FROM INSIDE

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Michael J. Krych
Michael J. Krych

#23555 10/06/2015
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COMMISSION NO.	1629.12

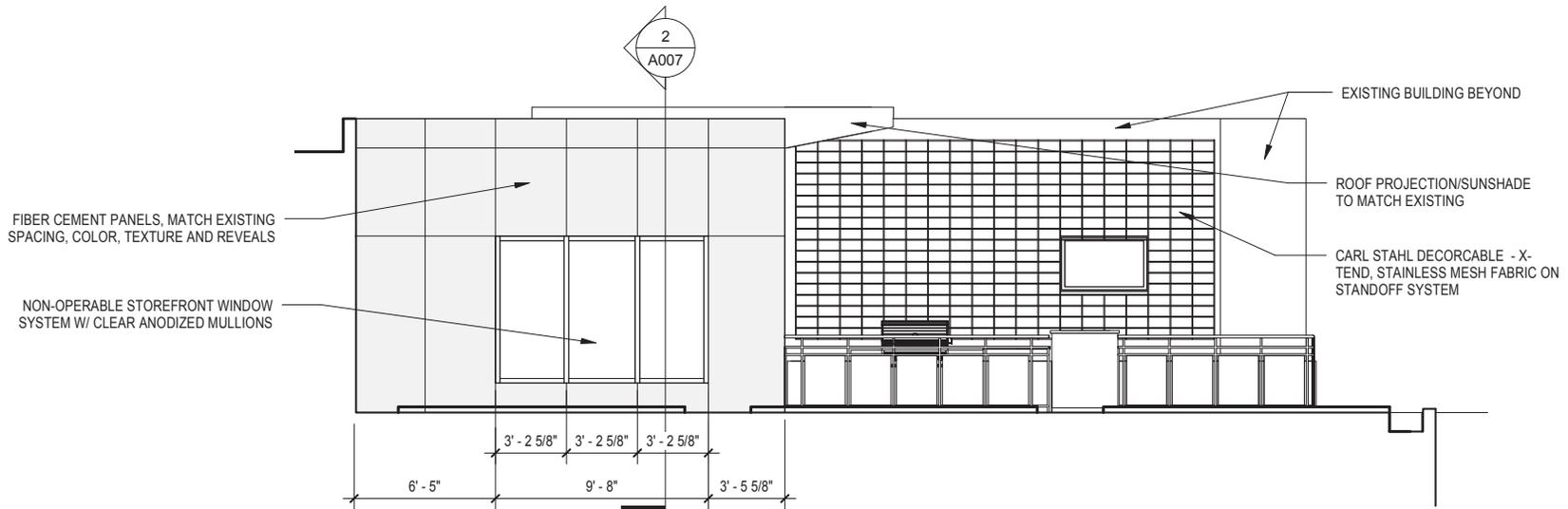
SHEET TITLE

ELEVATIONS

SHEET NUMBER

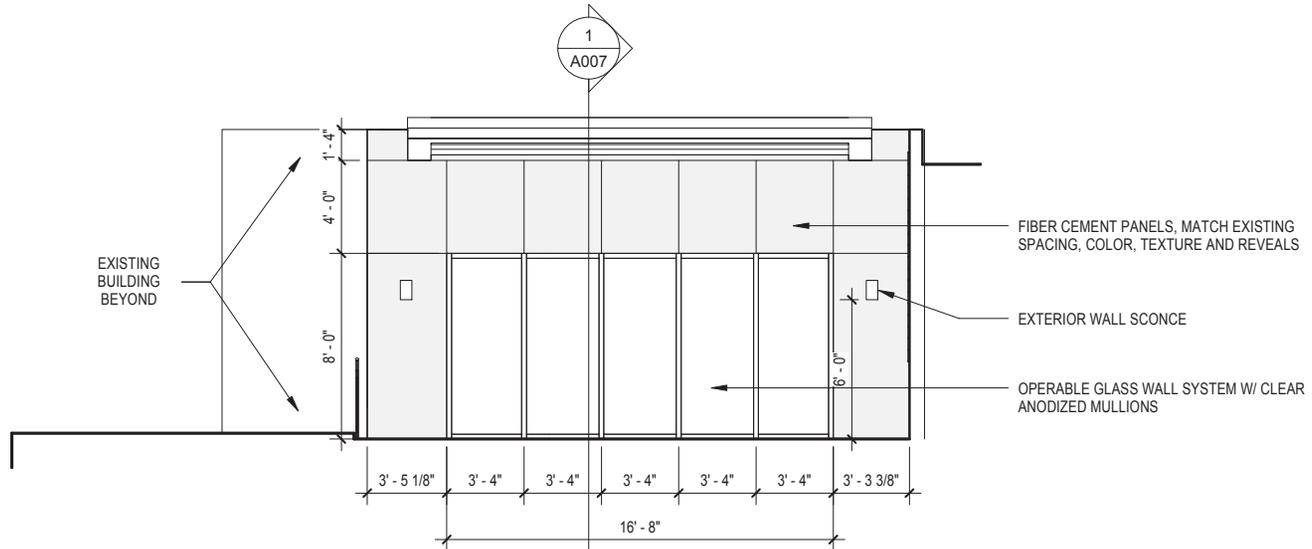
A006

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1
A006 3/16" = 1'-0"

EAST ELEVATION



2
A006 3/16" = 1'-0"

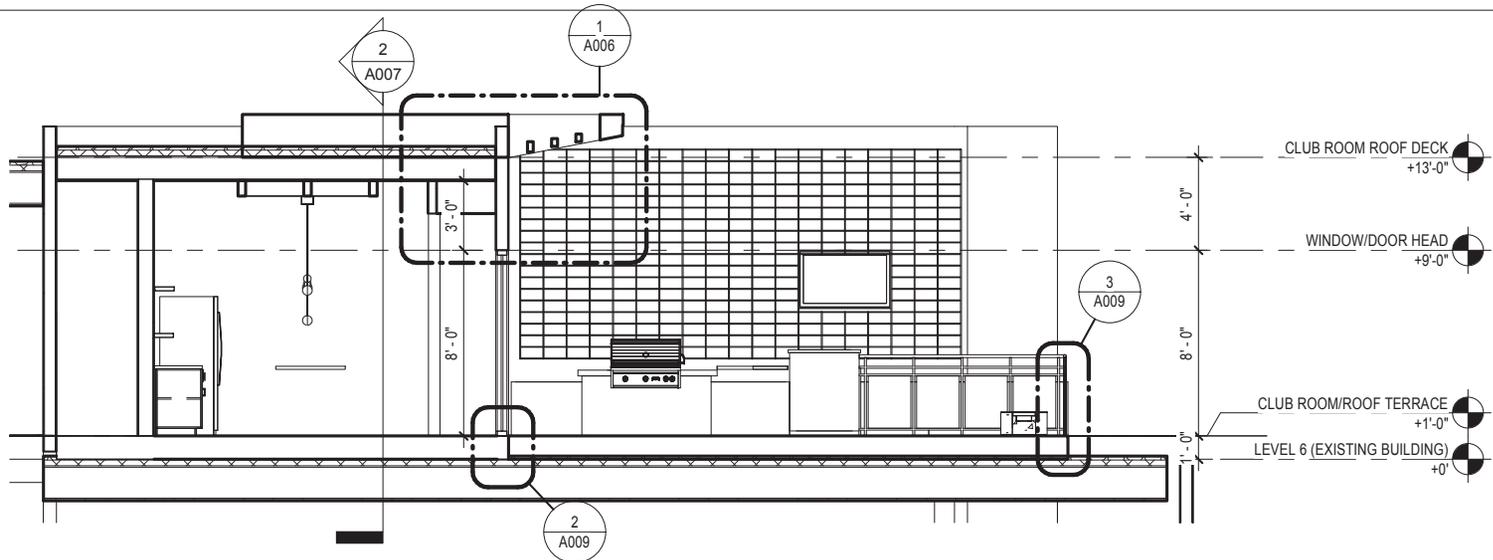
NORTH ELEVATION

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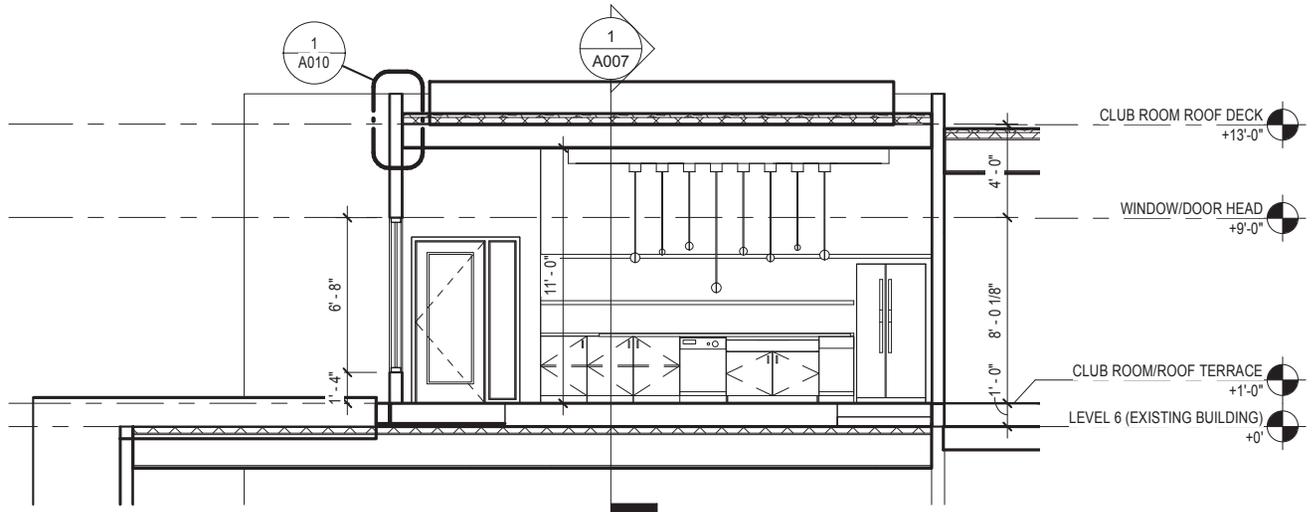
Michael J. Krych
Michael J. Krych

#23555 10/06/2015
License Number Date

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COMMISSION NO.	1629.12



1 NORTH/SOUTH SECTION LOOKING WEST
A007 3/16" = 1'-0"



2 EAST/WEST SECTION LOOKING SOUTH
A007 3/16" = 1'-0"

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Michael J. Krych
Michael J. Krych

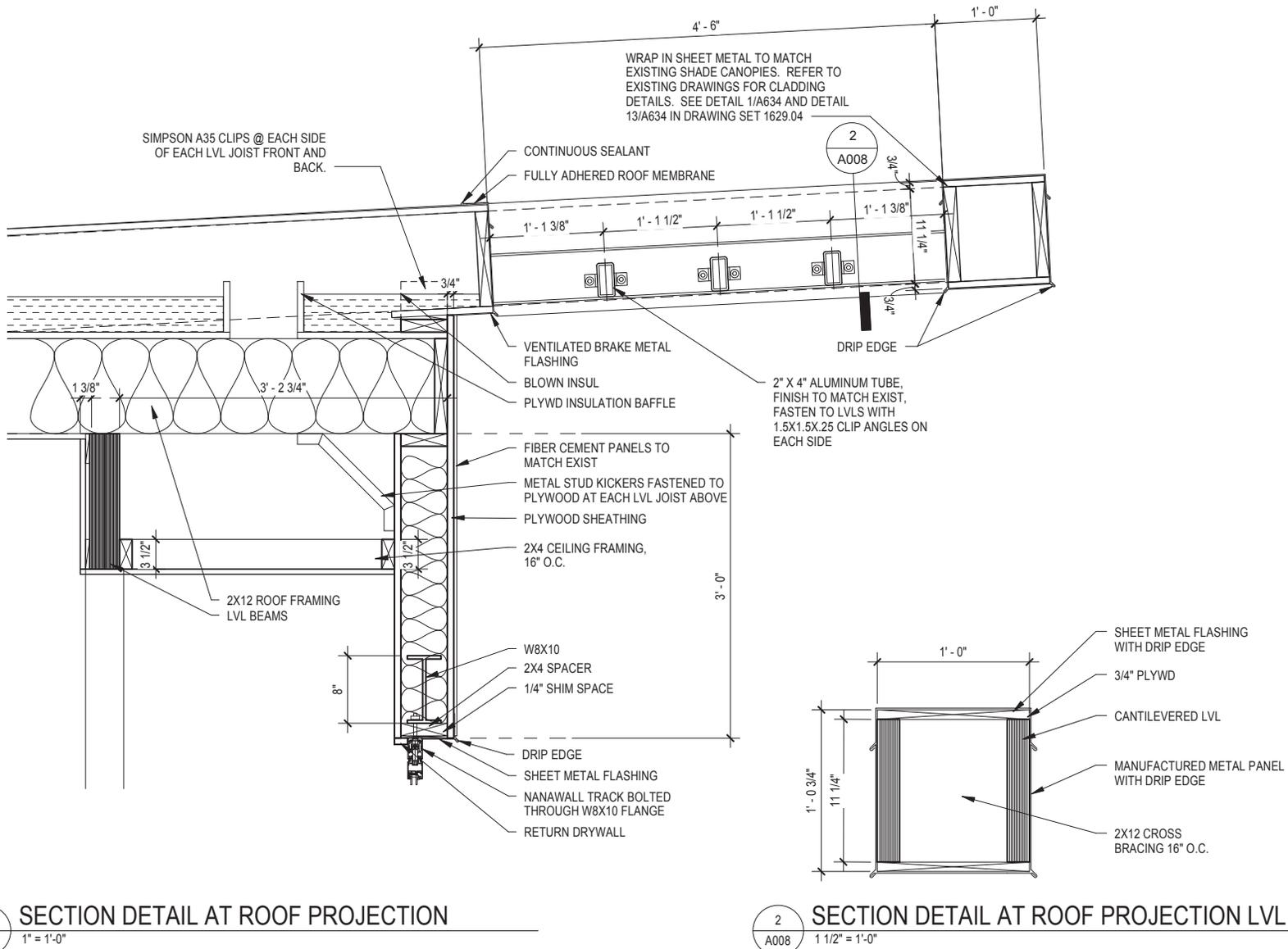
#23555 10/06/2015
License Number Date

DATE	10/06/2015
DRAWN BY	MFK
CHECKED BY	MFK
COMMISSION NO.	1629.12
SHEET TITLE	DETAILS

SHEET NUMBER

A008

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PROJECT TITLE

FLUX ROOFTOP
ADDITION

PERMIT SET

CERTIFICATION

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Michael J. Krych
Michael J. Krych

#23555 10/06/2015
License Number Date

CERTIFICATION

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota

Bradley E. Everson
Bradley E. Everson

#25498 10/06/2015
License Number Date

DATE	10/06/2015
DRAWN BY	MFK
CHECKED BY	MFK
COMMISSION NO.	1629.12

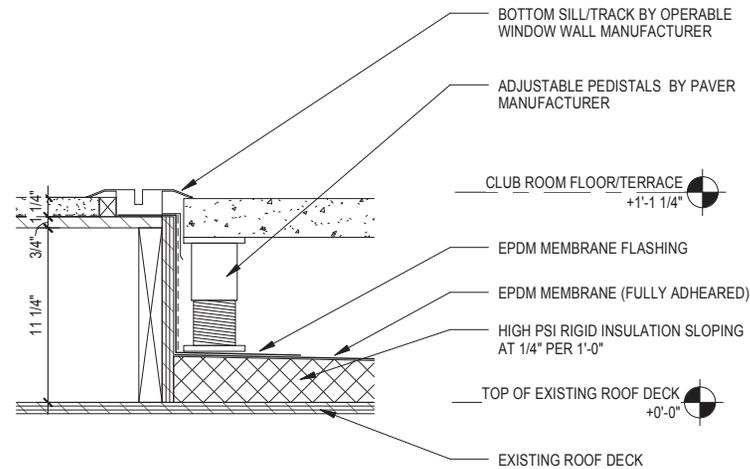
SHEET TITLE

DETAILS

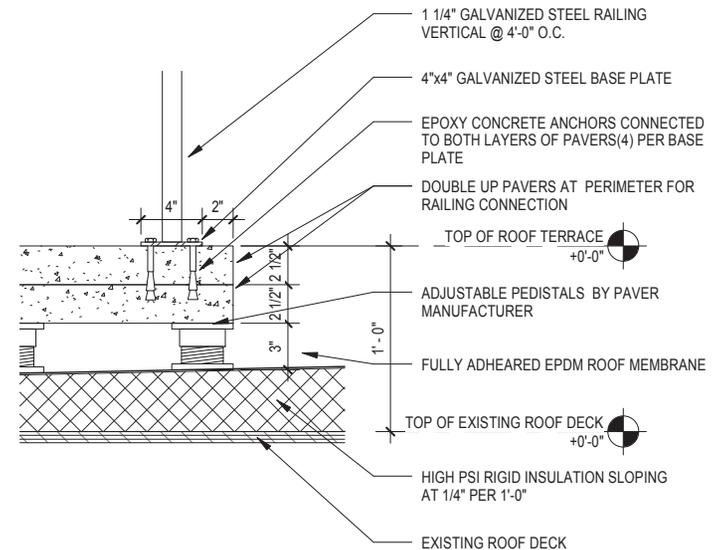
SHEET NUMBER

A009

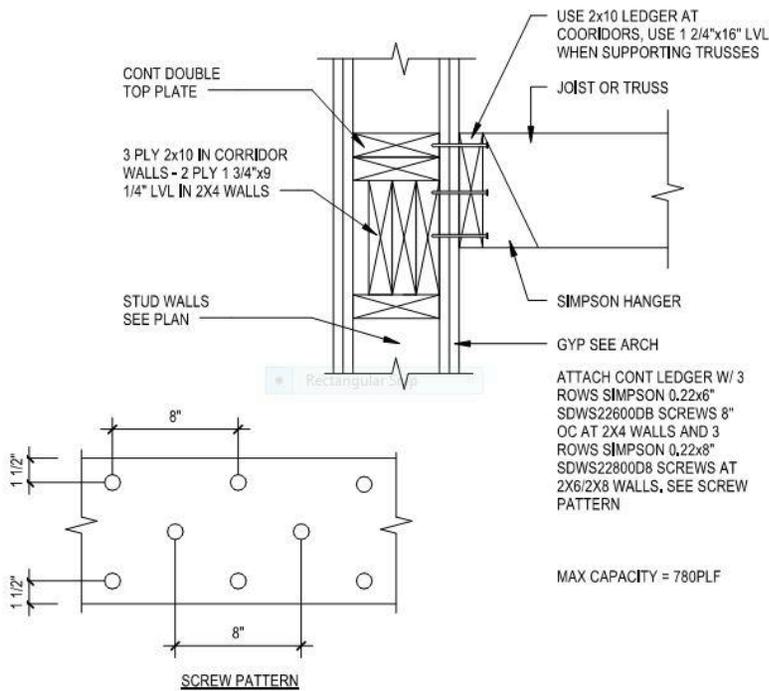
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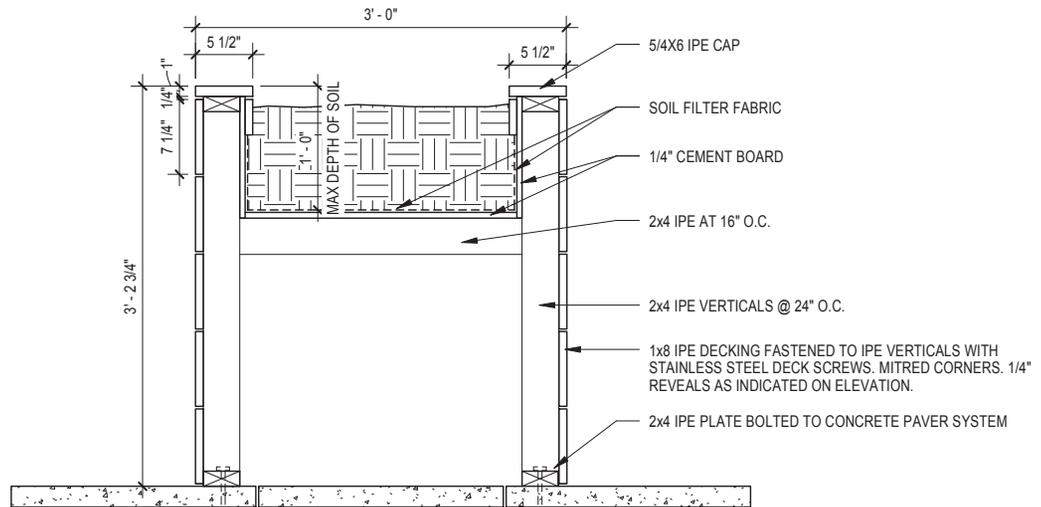
2 SECTION DETAIL AT DOOR TRACK/TERRACE TRANSITION
A009 1 1/2" = 1'-0"



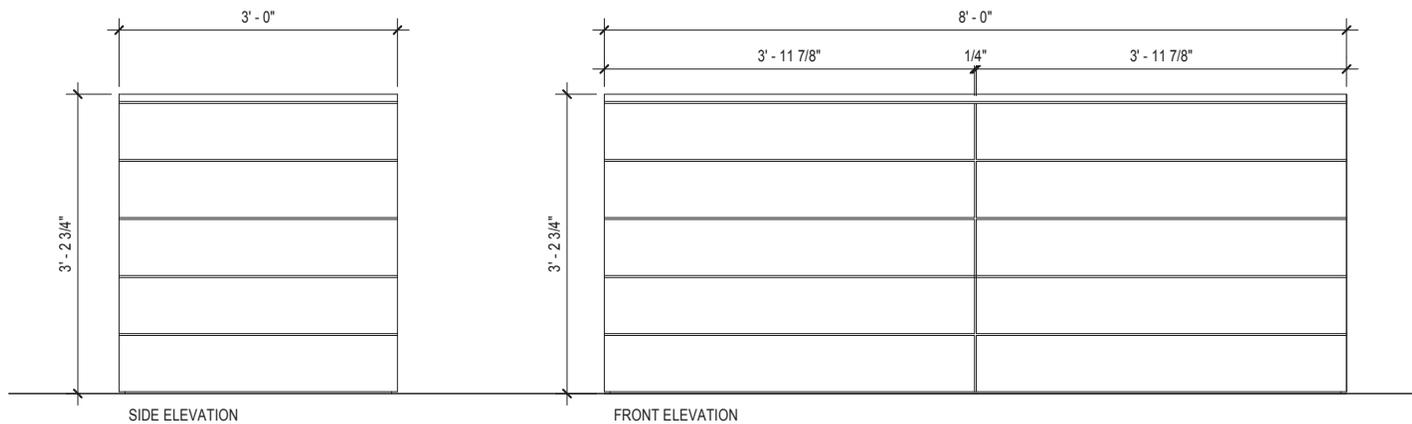
3 SECTION DETAIL AT RAILING/PAVER CONNECTION
A009 1 1/2" = 1'-0"



1 STRUCTURAL LEDGER DETAIL
A009 1 1/2" = 1'-0"

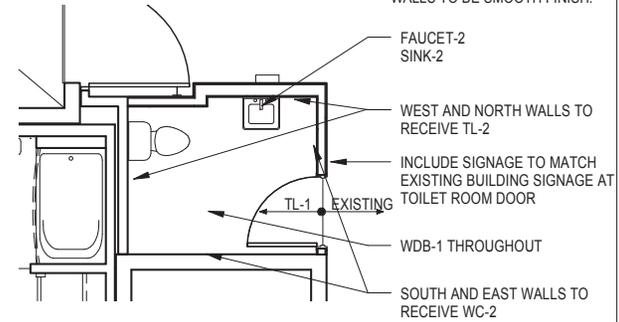


1 SECTION DETAIL AT PLANTER
A011 1" = 1'-0"

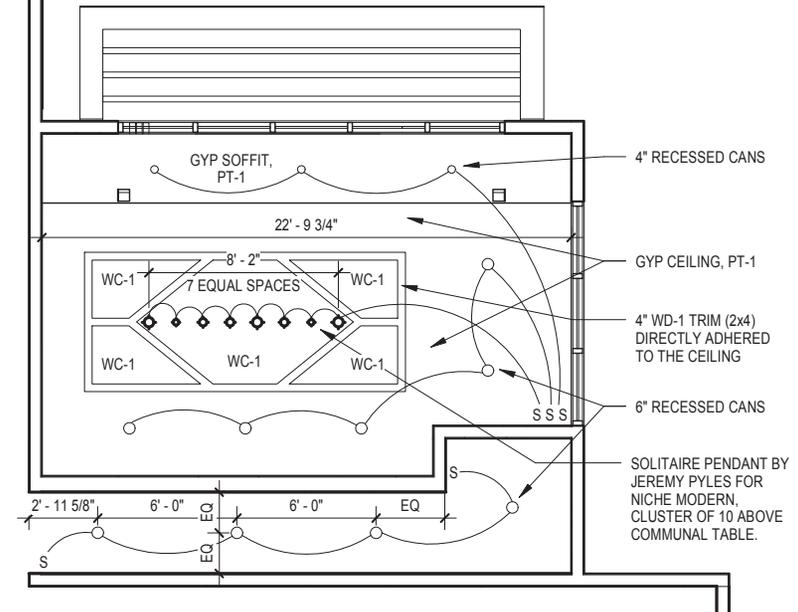


2 ELEVATIONS AT PLANTER
A011 3/4" = 1'-0"

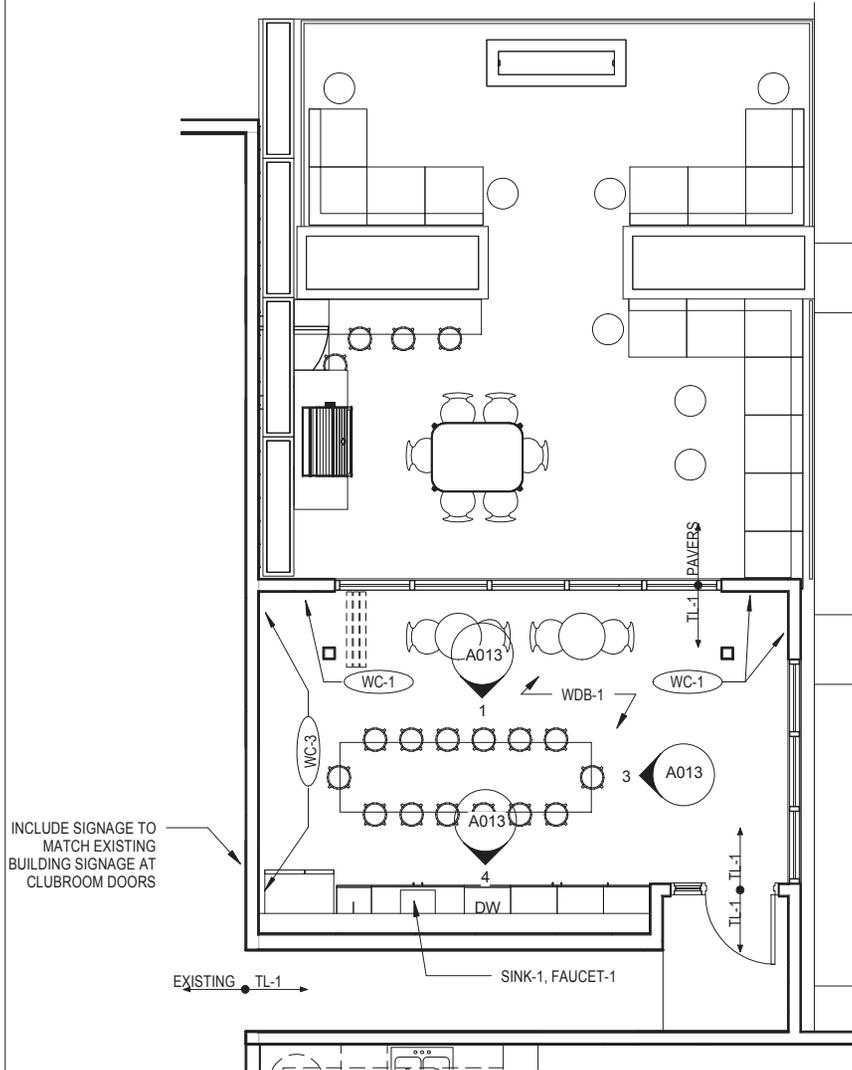
GENERAL NOTES
ALL FINISHES AND PAINT ON
WALLS TO BE SMOOTH FINISH.



3 TOILET ROOM FINISH PLAN
A012 3/16" = 1'-0"



2 CLUBROOM RCP
A012 3/16" = 1'-0"



1 FINISH AND FURNITURE PLAN
A012 3/16" = 1'-0"

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10/6/2015 1:35:43 PM



VIEW LOOKING NORTHEAST



FREMONT AVENUE ELEVATION



FREMONT AVENUE ELEVATION

Gretchen Camp

From: Brent Rogers <brogers@saturdayproperties.com>
Sent: Wednesday, October 28, 2015 4:02 PM
To: Lisa.Bender@minneapolismn.gov; lhena@thewedge.org
Cc: Gretchen Camp; Jaime Perron
Subject: Flux- Site Plan review for clubroom expansion
Attachments: 3C845167-E8B6-439B-8C97-B50015AB15C0[32].x-apple-msg-attachment; Flux Roof Deck_drawings.pdf

Dear Councilmember Bender and LHENA-

On behalf of BIT Uptown Apartments, LLC (Owner of Flux), Saturday Properties (property management agent) is applying for a site plan review for Flux apartments. The owners of Flux are proposing a roof deck amenity for the building. This roof deck was accommodated for in the original structural design of the building was not built due to budget constraints. In order to compete with the new projects in the neighborhood that have been constructed after Flux was built in 2011, most of which have similar rooftop amenities, the owners would like to build out a modest-sized rooftop amenity.

The new club room is less than 500 sq ft with an outdoor grill, fireplace, and some seating. I have attached a few drawings of the design for your review. This roof deck is intended to be an intimate space for residents to enjoy year-round and to get away from the ground-level commotion of the large courtyard and pool area at Flux.

Our CPED planner is Lisa Steiner, and we will submit our site plan review application to her early next week. It will be reviewed by the Planning Commission in early December. If you have any questions, please don't hesitate to contact me.

Sincerely,

Brent

Brent Rogers



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Minneapolis, MN 55413
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www.saturdayproperties.com