

LAND USE APPLICATION SUMMARY

Property Location: 2323 11th Avenue South
Project Name: Phillips Community Center Aquatics Facility
Prepared By: Hilary Dvorak, Principal Planner, (612) 673-2639
Applicant: Minneapolis Park and Recreation Board
Project Contact: Linda McCracken-Hunt, FAIA, Studio Five Architects
Request: For an approximately 8,600 square foot addition to the Phillips Community Center Aquatics Facility.

Required Applications:

Variance	To reduce the front yard setback along 11 th Avenue South from the required 30 feet to 13 feet for the parking lot.
Variance	To reduce the front yard setback along 13 th Avenue South from the required 26 feet to 20 feet for the building addition and to six feet for a transformer.
Variance	To reduce the corner side yard setback along East 24 th Street from the required eight feet to five feet for the parking lot.
Variance	To reduce the north interior side yard setback from the required seven feet to four feet for a trash enclosure.
Variance	To increase the impervious surface maximum from 60 percent to 74 percent.
Variance	To reduce the minimum parking requirement from 106 spaces to 92 spaces.
Site Plan Review	For an approximately 8,600 square foot addition to the Phillips Community Center Aquatics Facility.

SITE DATA

Existing Zoning	R2B Two-family District
Lot Area	123,331 square feet / 2.83 acres
Ward(s)	6
Neighborhood(s)	Ventura Village, adjacent to Midtown Phillips
Designated Future Land Use	Park and Open Space
Land Use Features	Not applicable
Small Area Plan(s)	Not applicable

Date Application Deemed Complete	November 10, 2015	Date Extension Letter Sent	Not applicable
End of 60-Day Decision Period	January 9, 2016	End of 120-Day Decision Period	Not applicable

BACKGROUND

SITE DESCRIPTION AND PRESENT USE. The property is located on the north side of East 24th Street between 11th Avenue South and 13th Avenue South. The property is occupied by the Phillips Community Center.

SURROUNDING PROPERTIES AND NEIGHBORHOOD. The site is surrounded by residential developments of varying densities, offices, commercial establishments, the Minneapolis College of Art and Design and the Minneapolis Institute of Art. The site is located in the Ventura Village neighborhood.

PROJECT DESCRIPTION. The applicant is proposing to construct an addition to the existing Phillips Community Center Aquatics Facility. The building today is used as a community center as the existing pool in the building has been closed since 2008. The project scope would include the renovation of the existing six-lane pool and the addition of a second four-lane teaching pool. The new pool would have a ramped entry. With two pools the facility could provide activities from learn-to-swim programs to competitive swim meets.

The project would also include the renovation of the existing shower and locker facilities and spectator seating area, the creation of family changing rooms and the creation of a new lobby and reception area with support spaces, a small community room, public restrooms and two new family changing areas.

The parking lot will also be expanded as part of this project. The proposed addition would be built over an existing parking area so the applicant is proposing to remove green space on the west side of the property in order to expand the parking lot.

RELATED APPROVALS. Not applicable.

PUBLIC COMMENTS. No public comment letters have been received for this project. Any correspondence received prior to the public meeting will be forwarded on to the Planning Commission for consideration.

ANALYSIS

VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance to reduce the front yard setback along 11th Avenue South from the required 30 feet to 13 feet for the parking lot based on the following findings:

- 1. Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

The required front yard setback in the R2B zoning district is 20 feet except it is increased when the established front yard of the closest principal building originally designed for residential purposes located on the same block face on either side of the property exceeds the front yard required by the zoning district. The adjacent residential property to the north on 11th Avenue South is set back 30 feet from the front property line. The applicant is proposing to construct the parking lot 13 feet from the front property line along 11th Avenue South.

Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The project requires a parking variance of 14 spaces. If the front yard setback were adhered to the entire row of parking would need to be eliminated which would increase the parking variance request. While the applicant is the one proposing the addition, the renovation of the existing pool and the construction of a second pool is a community asset.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The applicant is proposing to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan. The intent of yard controls is to provide for the orderly development and use of land and to minimize conflicts among land uses by regulating the dimension and use of yards in order to provide adequate light, air, open space and separation of uses.

There is approximately 20 feet of open space located between the north property line and the parking lot that will serve as a buffer for the residential properties to the north. There is an existing solid wood fence located along the north property line which will also help buffer the parking lot from the residential properties. The fence is set back 30 feet from the front property line along 11th Avenue South. The applicant isn't proposing to plant any shrubs or perennials in the front yard adjacent to the residential properties. CPED is recommending that landscaping be planted between the front property line and where the solid wood fence is located to help screen the parking lot. The landscaping shall meet the landscaping and screening standards of Chapter 530, Site Plan Review.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

Granting of this variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. In addition, granting of the variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.

The additional parking spaces are necessary for the proposed expansion of the Phillips Community Center Aquatics Facility. Although the parking lot will be located in the required front yard, all of the adjacent residential properties have street-facing garages with driveways leading to them from 11th Avenue South.

VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance to reduce the front yard setback along 13th Avenue South from the required 26 feet to 20 feet for the building addition and to six feet for a transformer based on the following findings:

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

The required front yard setback in the R2B zoning district is 20 feet except it is increased when the established front yard of the closest principal building originally designed for residential purposes located on the same block face on either side of the property exceeds the front yard required by the zoning district. The adjacent residential property to the north on 13th Avenue South is set back

26 feet from the front property line. The applicant is proposing to construct the building addition 20 feet from the front property line along 13th Avenue South and locate a transformer six feet from the front property line along 13th Avenue South.

Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The proposed addition will be built on the south side of the existing building which is located 20 feet from the front property line along 13th Avenue South. The addition will have no impact on the residential properties located on 13th Avenue South.

The existing electrical transformer is located on the south side of the building where the proposed addition will be constructed. It needs to be relocated before construction can commence as it is the main power source for the entire building. The applicant is proposing to locate the transformer between the front property line along 13th Avenue South and the existing building. The transformer would be six feet from the front property line and over 180 feet from the adjacent residential property on 13th Avenue South. Across 13th Avenue South from the site is a parking lot with green space around it.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The applicant is proposing to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan. The intent of yard controls is to provide for the orderly development and use of land and to minimize conflicts among land uses by regulating the dimension and use of yards in order to provide adequate light, air, open space and separation of uses.

The building addition will be located as close to the front property line as the existing building and the transformer will be located over 180 feet from the adjacent residential property on 13th Avenue South.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

Granting of this variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. In addition, granting of the variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.

The building addition will be constructed where an existing surface parking lot is located. The addition will improve the aesthetics of the property. While the transformer will be located in a required front yard the applicant is proposing to wrap it so it is visually more appealing. CPED is recommending that the transformer be wrapped. The design of the wrap shall be reviewed and approved by CPED. In addition, CPED is recommending that perennial grasses be planted around the transformer for additional screening.

VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance to reduce the corner side yard setback along East 24th Street from the required eight feet to five feet for the parking lot based on the following findings:

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

The required corner side yard setback in the R2B zoning district is $8+2x$, where x equals the number of stories above the first floor. The building is two stories in height so the required corner side yard setback is ten feet. However, the parking lot is only subject to a corner side yard setback of eight feet. The applicant is proposing to construct the parking lot five feet from the corner side property line along East 24th Street. It should be noted that it is only those parking spaces located to the west of the westernmost driveway along East 24th Street that would not comply with the required setback.

Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The property line along East 24th Street jogs north ten feet just west of the 12th Avenue South alignment. If this jog did not occur, no setback variance would be necessary. In addition, the project requires a parking variance of 14 spaces. If the corner side yard setback were adhered to the entire row of parking would need to be eliminated which would increase the parking variance request. While the applicant is the one proposing the addition, the renovation of the existing pool and the construction of a second pool is a community asset.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The applicant is proposing to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan. The intent of yard controls is to provide for the orderly development and use of land and to minimize conflicts among land uses by regulating the dimension and use of yards in order to provide adequate light, air, open space and separation of uses.

In addition to the five feet of green space on the property there is an additional ten feet of right-of-way that serves as a buffer between the parking lot and the public sidewalk. The applicant is proposing to plant shrubs along East 24th Street that will meet the screening requirements of Chapter 530, Site Plan Review.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

Granting of this variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. In addition, granting of the variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.

The additional parking spaces are necessary for the proposed expansion of the Phillips Community Center Aquatics Facility. The applicant is proposing to landscape between the parking lot and the property line so vehicles will be screened from the public sidewalk.

VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance to reduce the north interior side yard setback from the required seven feet to four feet for a trash enclosure based on the following findings:

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

The required interior side yard setback in the R2B zoning district is 5+2x, where x equals the number of stories above the first floor. The building is not located in the required interior side yard but the trash enclosure is. Since this is not a permitted obstruction it is subject to the yard requirements. The building is two stories in height so the required interior side yard setback is seven feet. The applicant is proposing to construct a trash enclosure four feet from the north interior side property line.

Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The trash receptacles are currently located on the south side of the building where the addition will be constructed. The south side of the building is currently more the back of house operations but once the addition is constructed it will become the main entryway into the building. Given this the trash enclosure needs to be relocated in response to the changes taking place inside the building.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The applicant is proposing to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan. The intent of yard controls is to provide for the orderly development and use of land and to minimize conflicts among land uses by regulating the dimension and use of yards in order to provide adequate light, air, open space and separation of uses. There is an existing solid wood fence located along the north property line which will screen the trash enclosure from the adjacent residential property.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

Granting of this variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. In addition, granting of the variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties. As stated above, there is an existing solid wood fence located along the north property line that will provide screening. In addition, the trash enclosure will be four-sided, constructed out of wood and will be two feet taller than the containers themselves.

VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance to increase the impervious surface maximum from 60 percent to 74 percent based on the following findings:

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

The maximum impervious surface allowance in the R2B zoning district is 60 percent. The applicant is applying for a variance to increase the maximum impervious surface allowance to 74 percent.

Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The project requires a parking variance of 14 spaces. If the maximum impervious surface

allowance were adhered many of the proposed parking spaces would need to be eliminated which would increase the parking variance request. While the applicant is the one proposing the addition, the renovation of the existing pool and the construction of a second pool is a community asset.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The applicant is proposing to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan. The intent of yard controls is to provide for the orderly development and use of land and to minimize conflicts among land uses by regulating the dimension and use of yards in order to provide adequate light, air, open space and separation of uses.

Although the maximum impervious surface allowance is being exceeded the amount of landscaping required by Chapter 530, Site Plan Review is being exceeded by 50 percent. In addition, stormwater runoff from the parking lot will be directed to an underground infiltration system.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

Granting of this variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. In addition, granting of the variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.

The additional parking spaces are necessary for the proposed expansion of the Phillips Community Center Aquatics Facility. As stated above, the maximum impervious surface allowance is being exceeded the amount of landscaping required by Chapter 530, Site Plan Review is being exceeded by 50 percent.

VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance to reduce the minimum parking requirement from 106 spaces to 92 spaces based on the following findings:

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

The minimum parking requirement for the use is 106 spaces. There is no parking requirement for a park except when the facility is akin to an indoor recreation area. In consultation with the Zoning Administrator the parking requirement for the development is 46 spaces for the spectator seating area, 12 spaces for the two basketball courts, 23 spaces for the two pools and 25 spaces for the office spaces, teen center, dining area and kitchen. There will be a total of 92 parking spaces on the site. The applicant is applying for a variance to reduce the minimum amount of parking on the site to 92 spaces.

Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The applicant has maximized the amount of parking spaces that can be provided on the site. The applicant has indicated that the number of events a year that would utilize the spectator seating area is between ten and 16. The parking requirement for this specific use within the building

is 46 spaces. On most days the parking requirement for the use will be met as this aspect of the building will not be utilized.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The applicant is proposing to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan. The intent of parking regulations are established to recognize the parking needs of uses and structures, to enhance the compatibility between parking areas and their surroundings, and to regulate the number, design, maintenance, use and location of off-street parking spaces and the driveways and aisles that provide access and maneuvering space. The regulations promote flexibility and recognize that excessive off-street parking conflicts with the city's policies related to transportation, land use, urban design, and sustainability.

The applicant has maximized the amount of parking spaces that can be provided on the site. While the applicant is the one proposing the addition, the renovation of the existing pool and the construction of a second pool is a community asset. There is no minimum bicycle parking requirement for a park; however, the applicant is proposing to provide 12 bicycle parking spaces on the site.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

Granting of this variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. In addition, granting of the variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.

The applicant has indicated that the number of events a year that would utilize the spectator seating area is between ten and 16. The parking requirement for this specific use within the building is 46 spaces. On most days the parking requirement for the use will be met as this aspect of the building will not be utilized.

SITE PLAN REVIEW

The Department of Community Planning and Economic Development has analyzed the application based on the required [findings](#) and [applicable standards](#) in the site plan review chapter:

I. Conformance to all applicable standards of Chapter 530, Site Plan Review.

Building Placement and Design – Requires alternative compliance

- The proposed building addition will reinforce the street wall, maximize natural surveillance and visibility and facilitate pedestrian access and circulation. The building addition will be located closer to the front and corner side property lines than the existing building, there will be an additional principal entrance facing the East 24th Street and there will be windows on all sides of the building addition that increase opportunities for people to observe adjacent spaces.
- The front yard setback along 13th Avenue South is 26 feet and the corner side yard setback along East 24th Street is ten feet. The applicant is applying for a variance to locate the building 20 feet from the front property line. The building will be set back 35 feet from the corner side property line. Alternative compliance is required.

- Between the building addition and the front and corner side property lines there will be landscaping, bike racks and the parking lot.
- The existing on-site accessory parking lot is located between the building and the front property line along 11th Avenue South and the corner side property line along East 24th Street. This same condition will remain after the building addition is complete although the parking lot towards 11th Avenue South will be expanded and the parking lot towards East 24th Street will be reduced. Alternative compliance is required.
- There are no areas of the building addition that are over 25 feet in length and void of windows, entries, recesses or projections, or other architectural elements.
- The exterior materials of the building addition will include ribbed and flat pre-cast concrete panels with exposed aggregate, metal and glass. Some of the glass will be glazed with a film in various colors. All sides of the building addition will be similar to and compatible with one another. In order to construct the addition, the brick on the wall where the addition will be located needs to be removed. The applicant is proposing to cover the exposed portion of the existing wall with EIFS. CPED does not believe that EIFS is a durable material. Alternative compliance is required.
- Plain face concrete block is not proposed to be used as an exterior building material.
- The windows in the building addition are vertical in nature and are evenly spaced across the building walls except along East 24th Street. The minimum window percentages are not being met on the walls on the first floor of the addition facing the East 24th Street or 13th Avenue South. Alternative compliance is required. See Table I.
- The entire ground floor of the building addition facing 11th Avenue South, East 24th Street and 13th Avenue South contain active functions.
- The principal roof line of the building addition will be flat; however, the parapet wall along East 24th Street is proposed to be sloped for architectural interest. The existing building has a flat roof.

Table I. Percentage of Windows Required for Elevations Facing a Public Street, Sidewalk, Pathway, or On-Site Parking

	Code Requirement		Proposed	
Nonresidential Uses				
1st Floor facing 11 th Avenue South	30% minimum	146 sq. ft.	33%	160 sq. ft.
1st Floor facing East 24 th Street	30% minimum	350 sq. ft.	14%	162 sq. ft.
1st Floor facing 13 th Avenue South	30% minimum	146 sq. ft.	20%	100 sq. ft.

Access and Circulation – Meets requirements

- All of the building entrances will be connected to the parking lot and the public sidewalks along 11th Avenue South, East 24th Street and 11th Avenue South by walkways at least four feet in width.
- The applicant is not proposing to integrate a transit shelter into the development.
- There will be 92 surface parking spaces provided on the site. Access to the surface parking lot will be from either 11th Avenue South or East 24th Street.
- The site does not have access to a public alley.
- The maximum impervious surface allowance in the R2B zoning district is 60 percent. The applicant is applying for a variance to increase the maximum impervious surface allowance to 74 percent.

Landscaping and Screening – Requires alternative compliance

- The zoning code requires at least one canopy tree for each 500 square feet of required green space and at least one shrub for each 100 square feet of required green space be planted on the site. The tree and shrub requirement is 31 and 153 respectively. The applicant is proposing to plant 13 canopy trees and 129 shrubs on the site. In addition, the applicant is proposing to plant seven ornamental trees and 77 perennials on the site. Alternative compliance is required.
- The zoning code requires that a seven-foot wide landscaped yard be provided when a parking or loading facility is fronting along a public street, public sidewalk or public pathway. A landscaped yard is required along 11th Avenue South and East 24th Street. The applicant is proposing to provide a 13-foot deep landscaped yard along 11th Avenue South and a landscaped yard between five and 15 feet deep along East 24th Street. Alternative compliance is required.
- Screening three feet in height and 60 percent opaque is required when a parking or loading facility is fronting along a public street, public sidewalk or public pathway. The applicant is proposing to plant shrubs along East 24th Street that will meet the screening requirements of Chapter 530, Site Plan Review. However, no screening is proposed along 11th Avenue South. CPED is recommending that screening be provided along 11th Avenue South to help buffer the parking lot from the public sidewalk. The screening provided shall meet the landscaping and screening standards of Chapter 530, Site Plan Review.
- The zoning code requires that a seven-foot wide landscaped yard be provided when a parking or loading facility is abutting or across an alley from a residence or office residence district or a permitted or conditional residential use. A landscaped yard is required along the north property line. The applicant is proposing to provide a 20-foot deep landscaped yard along the north property line.
- Screening six feet in height and 95 percent opaque is required when a parking or loading facility is abutting or across an alley from a residence or office residence district or a permitted or conditional residential use. There are six existing trees and an existing solid wood fence located along the north property line. The fence is set back 30 feet from the front property line along 11th Avenue South. The applicant is not proposing to plant any additional trees or shrubs in this required yard. CPED is recommending that landscaping be planted between the front property line and where the solid wood fence is located to help screen the parking lot. The landscaping shall meet the landscaping and screening standards of Chapter 530, Site Plan Review. Alternative compliance is required.
- Not less than one tree shall be provided for every 25 linear feet of parking lot frontage. The parking lot has 193 feet of street frontage on 11th Avenue South which would require eight trees. The applicant is proposing to have four trees along 11th Avenue South. The parking lot has 248 feet of street frontage on East 24th Street which would require ten trees. The applicant is proposing to have four trees along East 24th Street. Alternative compliance is required.
- In parking lots of 10 spaces or more, no parking space shall be located more than 50 feet from an on-site deciduous tree. All of the parking spaces are located within 50 feet of an on-site deciduous tree.
- Tree islands in parking lots must have a minimum width of seven feet in any direction. All of the proposed tree islands in the parking lot measure at least seven feet in every direction.

Table 2. Landscaping and Screening Requirements

	Code Requirement	Proposed
Lot Area	--	123,331 sq. ft.
Building footprint	--	46,849 sq. ft.
Remaining Lot Area	--	76,482 sq. ft.
Landscaping Required	15,296 sq. ft.	32,409 sq. ft.
Canopy Trees (1: 500 sq. ft.)	31 trees	13 trees
Shrubs (1: 100 sq. ft.)	153 shrubs	129 shrubs

Additional Standards – Meets requirements

- The parking lot will be defined with six-inch by six-inch curbing. Stormwater runoff will be directed to an underground infiltration system.
- The proposed building addition will not block views of any landmark buildings, significant open spaces or water bodies.
- The proposed building addition will not shadow public spaces or adjacent residential properties.
- The proposed building addition will not generate wind currents at the ground level.
- The site plan complies with crime prevention design elements as the new entrance is oriented towards the street, walkways direct people to and from the public sidewalks to the building entrances, there will be windows on all sides of the building addition that increase opportunities for people to observe adjacent spaces and there will be lights located near all of the building entrances and in the surface parking lot.
- The building is not locally designated and the site is not located in a local historic district.

2. Conformance with all applicable regulations of the zoning ordinance.

The proposed use is *permitted* in the R2B Two-family District.

Off-street Parking and Loading – Requires variance(s)

- The applicant has applied for a variance to reduce the minimum parking requirement from 106 spaces to 92 spaces.

Table 3. Vehicle Parking Requirements Per Use (Chapter 54I)

	Minimum Vehicle Parking	Applicable Reductions	Total Minimum Requirement	Maximum Parking Allowed	Proposed
Spectator seating area	46	--	46	As determined by the Zoning Administrator	92
2 basketball courts	12	--	12		
2 pools	23	--	23		
Office, teen center, dining and kitchen	25	--	25		
Total	106	--	106	106	92

Table 4. Bicycle Parking and Loading Requirements (Chapter 541)

	Minimum Bicycle Parking	Minimum Short-Term	Minimum Long-Term	Proposed	Loading Requirement	Proposed
Park, public	None	--	--	12 short-term	None	1 small
Total	None	--	--	12 short-term	None	1 small

Building Bulk and Height – Meets requirements

Table 5. Building Bulk and Height Requirements

	Code Requirement	Proposed
Lot Area	--	123,331 sq. ft. / 2.83 acres
Gross Floor Area (GFA)	--	58,633 sq. ft.
Minimum Floor Area Ratio (GFA/Lot Area)	--	--
Maximum Floor Area Ratio (GFA/Lot Area)	.5	.48
Maximum Building Height	2.5 stories or 35 ft., whichever is less	2 stories or 25 ft.

Lot Requirements – Requires variance(s)

- The applicant has applied for a variance to increase the impervious surface maximum from 60 percent to 74 percent.

Table 6. Lot Requirements Summary

	Code Requirement	Proposed
Dwelling Units (DU)	--	0 DUs
Density (DU/acre)	--	0 DU/acre
Minimum Lot Area	20,000 sq. ft.	123,331 sq. ft.
Maximum Impervious Surface Area	60%	74%
Maximum Lot Coverage	45%	40%
Minimum Lot Width	100 ft.	200 ft. or more on each street frontage

Yard Requirements – Requires variance(s)

- The applicant has applied for variances to reduce the required front yard setbacks along both 11th Avenue South and 13th Avenue South, the corner side yard setback along East 24th Street and the north interior side yard setback.

Table 7. Minimum Yard Requirements

	Zoning District	Overriding Regulations	Total Requirement	Proposed
Front, 11th Avenue South	30 ft.	--	30 ft.	13 ft.
Front, 13th Avenue South	26 ft.	--	26 ft.	20 ft.
Corner Side, East 24th Street)	10 ft.	--	10 ft. 8 ft. for parking lots	5 ft.
Interior side (north)	7 ft.	--	7 ft.	4 ft.

Signs – Not applicable

- Signs are subject to Chapter 543 of the Zoning Code. Parks are allowed one wall identification sign not exceeding 32 square feet. The maximum height of a wall sign is limited to 14 feet or top of wall, whichever is less. On a corner lot, two such signs per building are allowed. In addition, one monument sign not exceeding 32 square feet in area and eight feet in height is allowed. Either the wall sign or the monument sign, but not both, may include a dynamic changeable copy sign. The dynamic changeable copy sign portion of the sign shall not exceed 16 square feet. Either the wall sign or the monument sign, but not both, may be illuminated. Dynamic changeable copy signs shall be allowed accessory to parks only when located on the same zoning lot as an enclosed recreation center.
- Signs in the R2B zoning district cannot be varied. At this time the applicant is going to continue to work with CPED to bring the signage into conformance with the requirements of Chapter 543, On-Premise Signs.

Screening of Mechanical Equipment – Meets requirements

- There will be mechanical equipment located on the roof of the building. The applicant is proposing to screen the rooftop equipment with building materials similar to the exterior materials of the building itself. CPED is recommending that whichever material is picked meets the requirements of Chapter 535, Regulations of General Applicability.
- There will also be mechanical equipment located on the ground along 13th Avenue Southeast. The applicant has applied for a variance to allow the equipment in the required front yard. In lieu of screening the applicant is proposing to wrap the equipment so it is visually more appealing. CPED is recommending that the transformer be wrapped. The design of the wrap shall be reviewed and approved by CPED. CPED is also recommending that perennial grasses be planted around the transformer for additional screening.

Refuse Screening – Meets requirements

- The applicant is proposing to have the trash and recycling containers housed in an enclosure located along the north property line. The four-sided enclosure will be constructed out of wood and will be two feet taller than the containers themselves.

Lighting – Meets requirements

- The lighting plan showing footcandles was submitted as part of the application materials. The lighting levels are in conformance with the standards of Chapter 535, Regulations of General Applicability. CPED is recommending that exterior lighting fixture details be provided to ensure that the height of the lights are in conformance with the standards of Chapter 535, Regulations of General Applicability.

Fences – Not applicable

- The applicant is not proposing to have any fencing on the site.

Specific Development Standards – Not applicable

Overlay District Standards – Not applicable

3. Conformance with the applicable policies of *The Minneapolis Plan for Sustainable Growth*.

The Minneapolis Plan for Sustainable Growth identifies the site as park and open space on the future land use map. The proposed development is consistent with the following principles and policies outlined in the comprehensive plan:

Urban Design Policy 10.8: Strengthen the character and desirability of the city's urban neighborhood residential areas while accommodating reinvestment through infill development.

- 10.8.8 Appropriate non-residential land uses, such as institutional, public and suitable commercial uses, should be integrated into low density residential areas through proper building location and design, landscaping, and other site improvements.

Urban Design Policy 10.13: Work with institutional and public partners to assure that the scale and form of new development or expansion will occur in a manner most compatible with the surrounding area.

- 10.13.3 Encourage institutional uses and public buildings and facilities to incorporate architectural and site design that is reflective of their civic importance and that identifies their role as focal points for the community.

- 10.13.4 Promote active uses at the ground floor level.

Urban Design Policy 10.18: Reduce the visual impact of automobile parking facilities.

- 10.18.1 Require that parking lots meet or exceed the landscaping and screening requirements of the zoning code, especially along transit corridors, adjacent to residential areas, and areas of transition between land uses.

- 10.18.2 Parking lots should maintain the existing street face in developed areas and establish them in undeveloped areas through the use of fencing, walls, landscaping or a combination thereof along property lines.

- 10.18.3 Locate parking lots to the rear or interior of the site.

- 10.18.4 Provide walkways within parking lots in order to guide pedestrians through the site.

4. Conformance with applicable development plans or objectives adopted by the City Council.

Not applicable.

5. Alternative compliance.

The Planning Commission or zoning administrator may approve alternatives to any site plan review requirement upon finding that the project meets one of three criteria required for alternative compliance. Alternative compliance is requested for the following requirements:

- **Building Placement.** The corner side yard setback along East 24th Street is ten feet. The building will be set back 35 feet from the corner side property line. The building is currently set back 96 feet from the corner side property line. The building addition will bring the building closer to conformance with the standards of Chapter 530, Site Plan Review. CPED is recommending that the City Planning Commission grant alternative compliance.
- **Parking Lot Location.** The existing on-site accessory parking lot is located between the building and the front property line along 11th Avenue South and the corner side property line along East 24th Street. This same condition will remain after the building addition is complete although the parking lot towards 11th Avenue South will be expanded and the parking lot towards East 24th Street will be reduced. The project requires a parking variance of 14 spaces. If the parking lot was not expanded towards 11th Avenue South a greater parking variance would be needed. CPED is recommending that the City Planning Commission grant alternative compliance.
- **Evenly Spaced Windows.** The windows in the building addition are evenly spaced except along East 24th Street. The windows on this side of the building are concentrated on the west half of the addition. However, there are several windows on the east half of the addition that are glazed with film in various colors. For privacy issues the applicant is proposing to group the windows together. CPED is recommending that the City Planning Commission grant alternative compliance.
- **Windows.** The windows in the building addition are vertical in nature and are evenly spaced across the building walls. The minimum window percentages are not being met on the walls on the first floor of the addition facing the East 24th Street or 13th Avenue South. On the East 24th Street elevation there is 14 percent windows and on the 13th Avenue South elevation there is 20 percent windows. If the glass with the film on them was included in the overall calculation there would be 18 percent windows on the East 24th Street elevation and 23 percent windows on the 13th Avenue South elevation. For privacy and moisture-related issues the applicant is not proposing to incorporate the full 30 percent windows on either of these elevations. CPED is recommending that there be at least 20 percent clear glass on the East 24th Street elevation and that the City Planning Commission grant alternative compliance to allow only 20 percent clear glass on the 13th Avenue South elevation.
- **Durable Materials.** In order to construct the addition, the brick on the wall where the addition will be located needs to be removed. The applicant is proposing to cover the exposed portion of the existing wall with EIFS. The portion of the existing wall that will be coated in EFIS is located on the upper portion of the wall and is confined to the area just above where the addition will be constructed. CPED is recommending that the City Planning Commission grant alternative compliance to allow EFIS on just that portion of the existing building above where the addition will be constructed.
- **Trees and Shrubs.** The zoning code requires at least one canopy tree for each 500 square feet of required green space and at least one shrub for each 100 square feet of required green space be planted on the site. The tree and shrub requirement is 31 and 153 respectively. The applicant is proposing to plant 13 canopy trees and 129 shrubs on the site. In addition, the applicant is proposing to plant seven ornamental trees and 77 perennials on the site. The applicant is proposing to remove several existing trees in order to accommodate the building addition and expanded

parking lot. There is additional room on the site to add additional trees and shrubs. CPED is recommending that there be at least 20 canopy trees provided on the site. In addition, CPED is recommending that the minimum shrub requirement of 153 be met on site.

- **Landscaped Yards.** The zoning code requires that a seven-foot wide landscaped yard be provided when a parking or loading facility is fronting along a public street, public sidewalk or public pathway. The landscaped yard along East 24th Street, west of the westernmost driveway, is five feet deep. The property line along East 24th Street jogs north ten feet just west of the 12th Avenue South alignment. If this jog did not occur, the landscaped yard could be provided. In addition, the project requires a parking variance of 14 spaces. If the landscaped yard were adhered a greater parking variance would be needed. CPED is recommending that the City Planning Commission grant alternative compliance.
- **Required Screening.** Screening six feet in height and 95 percent opaque is required when a parking or loading facility is abutting or across an alley from a residence or office residence district or a permitted or conditional residential use. There are six existing trees and an existing solid wood fence located along the north property line. The fence is set back 30 feet from the front property line along 11th Avenue South. The applicant is not proposing to plant any additional trees or shrubs in this required yard. CPED is recommending that landscaping be planted between the front property line and where the solid wood fence is located to help screen the parking lot. The landscaping shall meet the landscaping and screening standards of Chapter 530, Site Plan Review. In the remaining area where there are no existing trees, CPED is recommending that additional shrubs be planted.
- **Trees Around Parking Lots.** Not less than one tree shall be provided for every 25 linear feet of parking lot frontage. The parking lot has 193 feet of street frontage on 11th Avenue South which would require eight trees. The applicant is proposing to have four trees along 11th Avenue South. However, between the on-site trees and the trees in the right-of-way there are six trees along 11th Avenue South. The parking lot has 248 feet of street frontage on East 24th Street which would require ten trees. The applicant is proposing to have four trees along East 24th Street. However, between the on-site trees and the trees in the right-of-way there are nine trees along East 24th Street. CPED is recommending that one additional tree be planted along 11th Avenue South and that alternative compliance be granted for the amount of trees along East 24th Street.

RECOMMENDATIONS

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt staff findings for the applications by the Minneapolis Park and Recreation Board for the properties located at 2323 11th Avenue South:

A. Variance of the front yard setback.

Recommended motion: **Approve** the application for a variance to reduce the front yard setback along 11th Avenue South from the required 30 feet to 13 feet for the parking lot, subject to the following conditions:

- I. Landscaping shall be planted between the front property line and where the solid wood fence is located to help screen the parking lot. The landscaping shall meet the landscaping and screening standards of Chapter 530, Site Plan Review.

B. Variance of front yard setback.

Recommended motion: **Approve** the application for a variance to reduce the front yard setback along 13th Avenue South from the required 26 feet to 20 feet for the building addition and to six feet for a transformer, subject to the following conditions:

1. The transformer shall be wrapped. The design of the wrap shall be reviewed and approved by CPED.
2. Perennial grasses shall be planted around the transformer for additional screening.

C. Variance of corner side yard setback.

Recommended motion: **Approve** the application for a variance to reduce the corner side yard setback along East 24th Street from the required eight feet to five feet for the parking lot, subject to the following conditions:

1. Landscaping shall be planted between the corner side property line and the parking lot. The landscaping shall meet the landscaping and screening standards of Chapter 530, Site Plan Review.

D. Variance of interior side yard setback.

Recommended motion: **Approve** the application for a variance to reduce the north interior side yard setback from the required seven feet to four feet for a trash enclosure, subject to the following conditions:

1. The trash enclosure shall be designed so it meets the standards of Chapter 535, Regulations of General Applicability

E. Variance of the maximum impervious surface.

Recommended motion: **Approve** the application for a variance to increase the impervious surface maximum from 60 percent to 74 percent.

F. Variance of the minimum parking requirement

Recommended motion: **Approve** the application for a variance to reduce the minimum parking requirement from 106 spaces to 92 spaces, subject to the following conditions:

1. There shall be a minimum of 12 bicycle parking spaces provided on the site.

G. Site Plan Review for an addition to an existing park building.

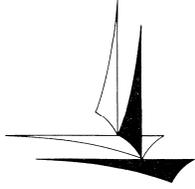
Recommended motion: **Approve** the application for an approximately 8,600 square foot addition to the Phillips Community Center Aquatics Facility, subject to the following conditions:

1. Approval of the final site plan, landscaping plan, elevations and lighting plan by the Department of Community Planning and Economic Development.
2. All site improvements shall be completed by December 7, 2017, unless extended by the Zoning Administrator, or the permit may be revoked for non-compliance.
3. Screening shall be provided along 11th Avenue South to help buffer the parking lot from the public sidewalk. The screening provided shall meet the landscaping and screening standards of Chapter 530, Site Plan Review.
4. Landscaping shall be planted between the front property line and where the solid wood fence is located to help screen the parking lot. The landscaping shall meet the landscaping and screening standards of Chapter 530, Site Plan Review.
5. The transformer shall be wrapped. The design of the wrap shall be reviewed and approved by CPED.
6. Perennial grasses shall be planted around the transformer for additional screening.
7. All mechanical equipment shall be screened as required by the standards of Chapter 535, Regulations of General Applicability.

8. Exterior lighting fixture details shall be provided to ensure that the height of the lights are in conformance with the standards of Chapter 535, Regulations of General Applicability.
9. There shall be at least 20 percent clear glass on the East 24th Street elevation.
10. EFIS may be used on just that portion of the existing building above where the addition will be constructed.
11. There shall be at least 20 canopy trees provided on the site. In addition, the minimum shrub requirement of 153 shall be met on site.
12. Additional shrubs shall be planted in the landscaped yard along the north property line where there aren't any existing trees. The landscaping shall meet the landscaping and screening standards of Chapter 530, Site Plan Review.
13. One additional tree, for a total of five, shall be planted between the front property line and the parking lot along 11th Avenue South.

ATTACHMENTS

1. PDR report from November 4, 2015
2. Written description and findings submitted by applicant
3. Zoning map
4. Plans
5. Correspondence



Minneapolis Development Review
250 South 4th Street
Room 300
Minneapolis, MN 55415

Preliminary Development Review Report

Development Coordinator Assigned: **PATRICIA MURZYN**
(612) 673-5827
patricia.murzyn@minneapolismn.gov

Status *

Tracking Number:	PDR 1001381
Applicant:	MINNEAPOLIS PARK AND RECREATION BOARD 2117 WEST RIVER PARKWAY MINNEAPOLIS, MN 55411
Site Address:	2323 11TH AVE S
Date Submitted:	28-OCT-2015
Date Reviewed:	04-NOV-2015

Purpose

The purpose of the Preliminary Development Review (PDR) is to provide Customers with comments about their proposed development. City personnel, who specialize in various disciplines, review site plans to identify issues and provide feedback to the Customers to assist them in developing their final site plans.

The City of Minneapolis encourages the use of green building techniques. For additional information please check out our green building web page at: http://www.ci.minneapolis.mn.us/mdr/GreenBuildingOptions_home.asp.

DISCLAIMER: *The information in this review is based solely on the preliminary site plan submitted. The comments contained in this report are preliminary ONLY and are subject to modification.*

Project Scope

Phillips Community Center Aquatics Facility new teaching pool addition, and renovation of their existing pool.

Review Findings (by Discipline)

Zoning - Planning

- Applications needed:
 - Setback variances
 - Impervious surface variance
 - Parking variance
 - Sign variances
 - Site plan review

***Approved:** You may continue to the next phase of developing your project.

***Resubmission Required:** You cannot move forward or obtain permits until your plans have been resubmitted and approved.

❑ Right of Way

- The plan as submitted meets the requirements of the Public Works Right-Of-Way Division.

❑ Street Design

- The plan as submitted meets the requirements of the Public Works Street Design Division.

❑ Sidewalk

- The plan as submitted meets the requirements of the Public Works Sidewalk Inspections Division.
- Note to the Applicant: Any currently existing concrete infrastructure in the public right of way that is defective, and any sidewalks or other concrete infrastructure that is damaged during construction must be removed and replaced. Please contact City of Minneapolis Public Works Sidewalk Inspections at 612 673 2420 for further information including permitting requirements.

❑ Traffic and Parking

- The pedestrian cross walks on E. 24th St. at the main parking lot entrance are not aligned correctly for safe pedestrian use; it is recommended that the driveway for the main two-way access point on E. 24th St. be aligned with the intersection or moved away from the intersection by 30' in order to provide for properly aligned cross-walks and adequate room for room for ADA compliant pedestrian ramps.
- The one-way access point on 24th is a concern; the drop-off queue length is small and could result in back-up on to the City roadway system.
- The one-way access on 11th Ave. S. should probably be designed as two-way access; as the one-way will simply be violated by drivers who do not want to wait at the intersection signal lights.
- Note to the Applicant: The construction of this development will likely require the use of Public right-of-way (roadway and sidewalks) for construction purposes. A request for an estimate of street use and obstruction permit fees can be made to the City's Traffic Department; please contact Scott Kramer at (612) 673-2383 for further information.
 - Please add the following notes to the site plan:
 - Street lighting installed as part of the Project shall be inspected by the City. Contractors shall arrange for inspections with the Traffic Department, please contact Dave Prehall at (612) 673-5759 for further information. Any lighting installations not meeting City specifications will be required to be reinstalled at Owner expense.
 - An obstruction permit is required anytime construction work is performed in the Public right-of-way. Please contact Scott Kramer at (612) 673-2383 regarding details of sidewalk and lane closures. Log on to <http://minneapolis.mn.roway.net/>. for a permit.
 - Contact Allan Klugman at (612) 673-2743 prior to construction for the temporary removal/temporary relocation of any City of Minneapolis signal system that may be in the way of construction.
 - All costs for relocation and/or repair of City Traffic facilities shall be borne by the Contractor and/or Property Owner.
 - Contact Doug Maday at (612) 673-5755 prior to construction for the removal of any City of Minneapolis right of way signs that may be in the way of construction.

❑ Water

- The plan as submitted meets the requirements of the Public Works Water Maintenance & Distribution Division.

❑ Sewer Design

- Stormwater Management: The project is subject to the stormwater treatment requirements of Chapter 54 of the Minneapolis Code of Ordinances. Please provide the necessary documentation and analysis demonstrating compliance with Chapter 54, including stormwater calculations, BMP maintenance plans, etc.
- Please identify the square footage of the area proposed to be disturbed with the project, and the existing and proposed impervious square footages within the disturbed area.

- Please provide a copy of any geotechnical reports for the site. In the absence of field measured infiltration rates, the design infiltration rates from the MN Stormwater Manual (http://stormwater.pca.state.mn.us/index.php/Design_infiltration_rates.) should be used for the design of the infiltration practice.
- An operations and maintenance plan is required for the stormwater treatment devices. The O&M plan shall define the maintenance regimen, including type and interval of maintenance and party to conduct such maintenance. Please provide a copy of the O&M Plan.
- Please add the following note to the appropriate plan sheet: The Contractor, property owner or responsible party shall contact Minneapolis Surface Waters and Sewers 48 hours prior to any excavation or construction related to or in the location of the proposed Stormwater Management BMP (Contact Paul Chellsen, 673-2406 or paul.chellsen@minneapolismn.gov).
- Please add the following note to the appropriate plan sheet: Upon the project's completion the General Contractor, Property Owner or Responsible Party shall provide to the Department of Public Works a Final Stormwater Management Report including record drawings. This report will serve as a means of verification that the intent of the approved stormwater management design has been met. This final report shall substantiate that all aspects of the original design have been adequately provided for by the construction of the project.
- Table 3A of the Stormwater Management Report is identified as the peak runoff comparison for the 2-year rain event. This does not appear to be for a 2-year event. Please clarify. The runoff rate to the north must be maintained at or below the existing levels.
- Please provide a copy of the MIDS calculator output referenced in the Stormwater Management Report.
- Utility Connections: Please show the existing storm sewer connection on the Utility Plan along with relevant information on the service (pipe type, size, inverts, etc.).
- The proposed underground infiltration system is located above the existing water service to the building. It is highly recommended that infiltration practices above the water service not be conducted.
- The existing storm sewer on west side of the property should be shown on the plans. This pipe should either be removed or abandoned in place, per City standards. It appears one CB located on the line is proposed to be abandoned in place. Records indicate there is another structure possibly located within the property.
- Please identify the location of the existing roof drains on the building.
- Non Stormwater Discharges: Detail all mechanical and non-stormwater discharges. Non-stormwater discharges are not permitted unless approved by the City of Minneapolis. Non-stormwater discharges not declared and approved will not be permitted. If there currently are none and nothing is proposed declare this status on the plans.
- For comments or questions on Public Works Surface Water & Sewers Division related requirements please contact Jeremy Strehlo, (Professional Engineer) at (612) 673-3973, or jeremy.strehlo@minneapolismn.gov.

☐ Fire Safety

- Maintain fire suppression and fire alarm protection throughout new addition.
- Maintain fire apparatus access at all times.
- For questions concerning these comments please contact Mike raeker at 612-673-2624

☐ Addressing

- Addressing review is not required for the proposed addition and renovation project.

☐ Business Licensing

- There is no Minneapolis Business Licensing review required for the proposed project.

☐ Construction Code Services

- The plans has submitted meets the Preliminary Development Review requirements for Construction Code Services.

❑ Parks - Forestry

- Contact Craig Pinkalla (612-499-9233 cpinkalla@minneapolisparcs.org.) regarding any questions related to planting, removal or the process for protection of trees during construction in the city right of way.
- The proposed project is a Minneapolis Park and Recreation Board (MPRB) building so it will not trigger a Park Dedication fee review.

❑ Historical Preservation Committee

- There is no HPC flag on this property. HPC review is not required at this time.

❑ Environmental Health

- If impacted soil is encountered during site activities work will need to stop and notification provided to the MN State Duty officer at (615) 649-5451.
- If dewatering is required during site construction see below for city permit requirements. The scope of work calls for underground parking. The highest groundwater level expected for this site should be determined and used in establishing the lowest level for underground parking. The underground parking and other subgrade structures should be designed to prevent infiltration of groundwater without the need for a permanent dewatering system being installed. If a continuously operating permanent dewatering system is needed it must be approved as part of the sanitary sewer and storm drain site plan approval prior to construction beginning.
- No construction, demolition or commercial power maintenance equipment shall be operated within the city between the hours of 6:00 p.m. and 7:00 a.m. on weekdays or during any hours on Saturdays, Sundays and state and federal holidays, except under permit. Contact Environmental Services at 612-673-3867 for permit information.
- Permits and approval are required from Environmental Services for the following activities: Temporary storage of impacted soils on site prior to disposal or reuse; Reuse of impacted soils on site; Dewatering and discharge of accumulated storm water or ground water, underground or aboveground tank installation or removal, well construction or sealing. Contact Tom Frame at 612-673-5807 for permit applications and approvals.
- A review of the project, permits issued and an inspection from Environmental Service for identification of equipment and site operations that require annual registration with the City of Minneapolis will occur for this project.

END OF REPORT



Minneapolis
Park & Recreation Board

Phillips Community Center Aquatics Facility



Submittal to the City of Minneapolis

Administrative Site Plan Review

General Land Use Application

Preliminary Development Review

October 23, 2015

STUDIO FIVE
architects

Linda McCracken-Hunt, FAIA
Principal/CEO

612-801-2196 lindamh@studiofivearch.com

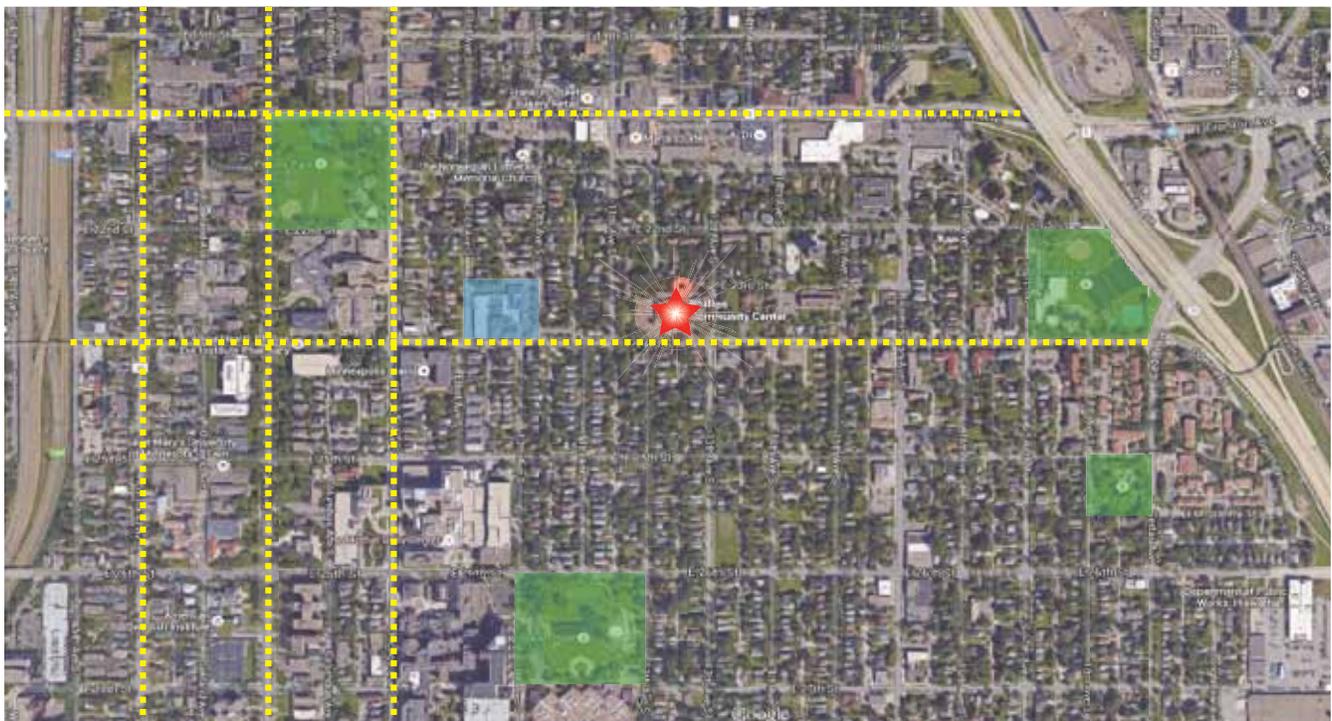


Site Description and Present Use

The site is bordered by 13th Avenue South to the east, East 24th Street to the south, and 11th Avenue South to the west in south Minneapolis. The existing Phillips Community Center is a 2-story building with a footprint of 38,283 sf, taking up approximately 31% of the site. The existing site includes 68 parking spaces to the south and west of the building. There is a small playground on the west side of the site.

Surrounding Properties and Neighborhood

The site is surrounded by single family dwellings to the north, south, east and west. Commercial development occurs approximately 5 blocks to the west on Chicago Avenue South, and 3 blocks to the north on East Franklin Avenue.



Neighborhood Plan



View from E 24th Street toward the west side of the Site



View from E 24th Street toward the existing building



View from E 24th Street toward the Site



southeast corner of the existing building, location of new addition



East side of site, looking west, location of new addition



East side of site



West side of site, existing parking lot entry



West side of site, looking west



West side of existing building



West side of existing building, from 11th Avenue South



Neighborhood view across 11th Avenue South



Neighborhood view across E 24th Street



The Minneapolis Park and Recreation Board hired Studio Five Architects to design an addition and renovation to the Phillips Community Center at 2323 11th Avenue South in Minneapolis. This project results from legislation passed by the State of Minnesota in support of learn-to-swim activities in the city of Minneapolis. This state funding of \$1,175,000 is combined with funding from multiple other sources to support the project.

The existing pool in the Phillips Community Center was closed in 2008. The renovation and addition of the Phillips Community Center Aquatics Facility will result in two pools that can serve a variety of needs, from learn-to-swim programs to competitive swim meets.

The project scope includes a new addition:

- a 4-lane teaching pool with ramped entry and infrastructure to support a future spa/hot tub,
- two multi-family changing rooms to serve a variety of needs from general locker rooms to team rooms
- Lobby, reception area, staff area, administrative and support spaces
- Small community room
- Public toilets

Renovated space in the existing Phillips Community Center includes:

- renovation of the existing pool and natatorium
- renovation of the abandoned locker and shower facilities
- creation of family changing rooms in underutilized space
- removal of office and conference rooms previously constructed over an abandoned spectator seating area, restoration of the spectator seating area for new use



Building Placement and Design- Requires alternative compliance

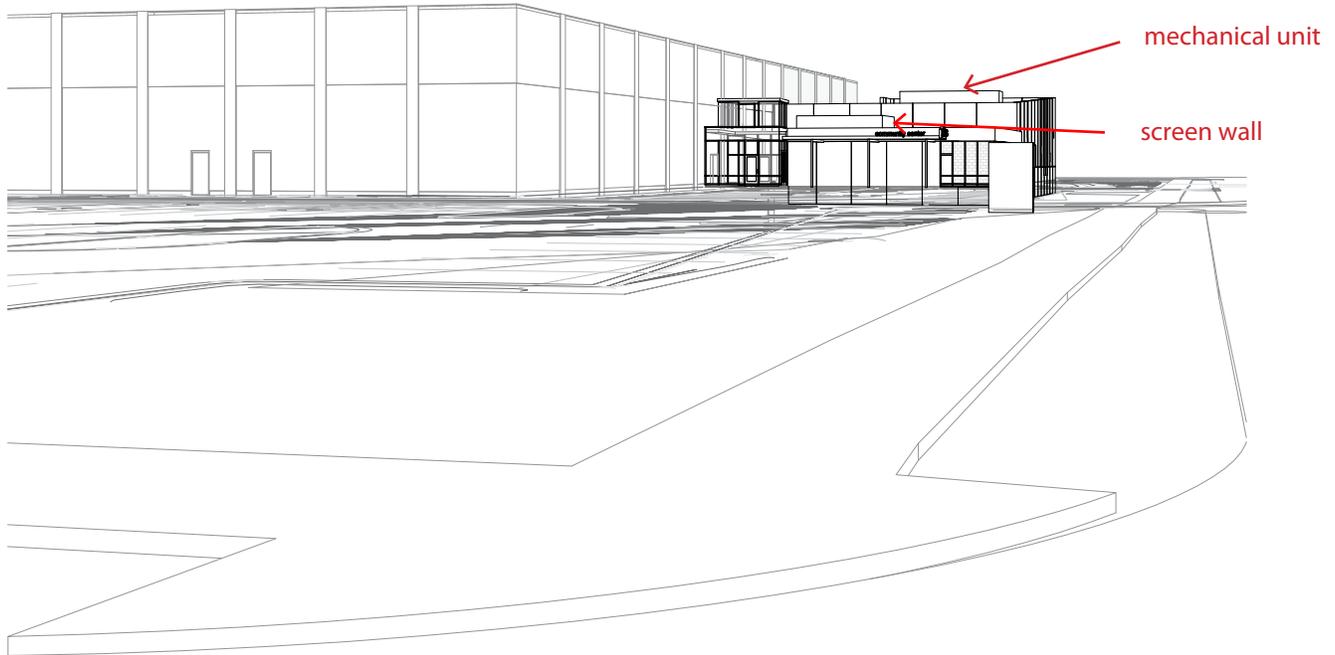
- The existing building and new addition reinforce the street walls to which they are adjacent, providing natural surveillance and facilitate pedestrian circulation.
- The proposed addition is located to the south of the existing building, adding a new south entrance to the facility that aligns with the existing main corridor. The new one-story addition will align with the existing building, approximately 20 feet setback from the east property line on 13th Avenue South. The new addition will reinforce the street wall created by the existing building. The houses to the north of the site are set back 26 feet from the property line. *Alternative compliance is needed.*
- The paved area at the new entrance will be patterned concrete walks with inset planting areas. Bike racks are provided. Refer to the Site Plan for more information.
- The new addition provides a new entrance to the community center. The new entrance faces East 24th Street.
- There are no areas of the new addition that are over 25 feet in length void of windows, entries, recesses or projections, or other architectural elements.
- The percentage of Windows required for Elevations facing a Public Street, Sidewalk, Pathway, or On-Site Parking is 28.4%, which does not meet the 30% minimum requirement. The elevations also include 4 doors that are fully glazed doors that add natural light and visibility into and out of the facility, enhancing the interior corridors and pool spaces with light and views. With the doors included in the equation, we are at 32.8% vision glazing. *Alternative compliance is needed.*
- A majority of the glass shown in the elevations is clear or lightly tinted glass with a visible light transmittance ratio of 0.6 or higher. The elevations show some small colored glass windows; this is a colored film applied to clear or lightly tinted glass. The colored films have differing light transmittance ratios that range from 0.35 to 0.62. *Alternative compliance is needed.*
- The exterior materials of the addition include glass, precast concrete, and metal. The exterior materials are compatible with the existing brick building. The precast panels will have a warm color that is compatible with the existing red brick. The addition's lower scale and openness are in contrast to the large brick facades with minimal openings. The addition is an improvement over the existing conditions.
- The existing building's south wall, above the new addition, will need to be rebuilt in order to address thermal, vapor, and air barrier connectivity between the existing building and the new addition. The proposed exterior material for the wall above the addition is EIFS, colored and textured to match the smooth precast concrete panels. The EIFS will be at a height of 13 feet to 30 feet above grade and will not be accessible by pedestrians.
- The windows are vertical in nature, with panes of colored glass as well as lightly tinted clear glass. Small highlighted windows of various colors dot the façade for interest both inside and outside the building.
- The addition has a flat roof, with a slanted parapet wall, higher on the east side, to help screen the mechanical equipment on the roof. This roof line is similar to surrounding commercial buildings in the area. Surrounding buildings adjacent to the site are single-family housing with pitched roofs.
- The building height is in scale with the neighborhood.



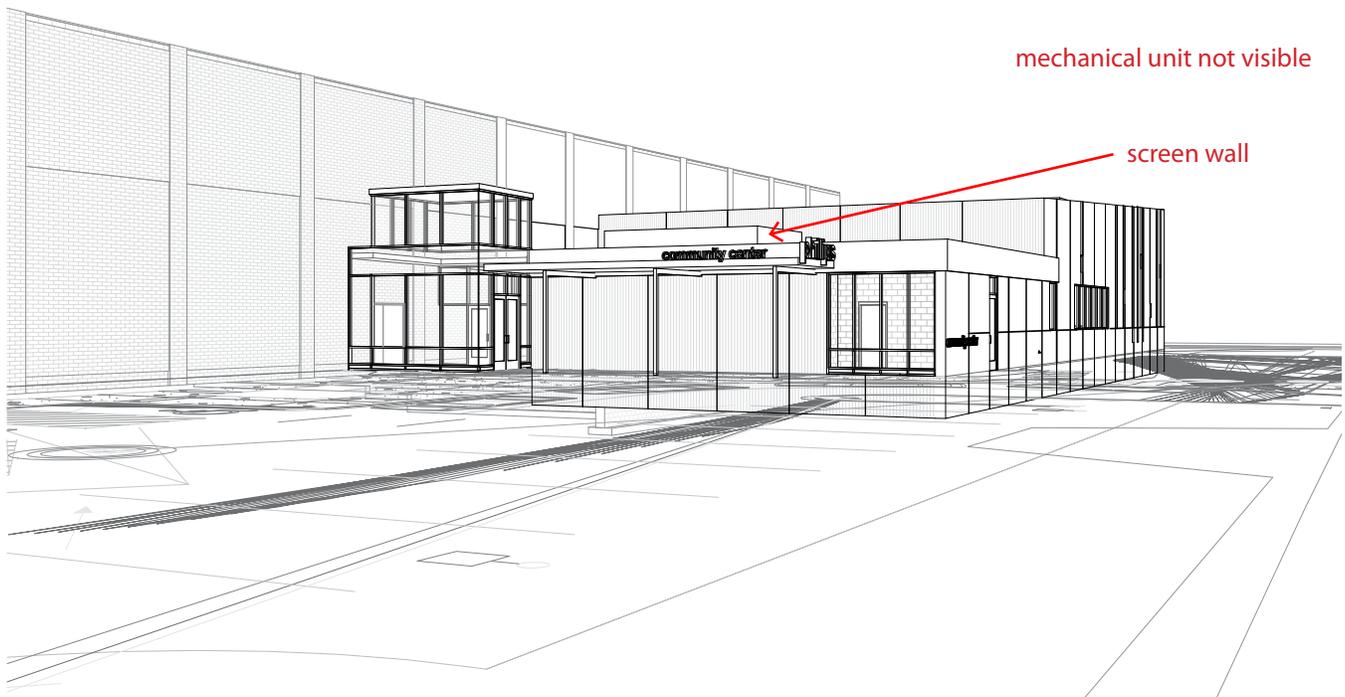
Precast Panels:
Color and Texture illustration for the
ribbed texture shown on elevations



Precast Panels:
Smooth illustration for the smooth
texture shown on elevations



View of mechanical unit on the higher roof and screen wall covering the mechanical unit on the lower roof. View is from the corner of 11th Avenue South and East 24th Street



View of screen wall on the lower roof. Mechanical unit on the higher roof is not visible. View is from the entrance drive on East 24th Street



Access and Circulation – Requires alternative compliance

- Pedestrian Access: There are walkways of at least four feet in width that connect the building entrances to the public sidewalks.
- Transit Access: There are no transit shelters proposed as a part of this project.
- Vehicle Access: Vehicular access and circulation is designed to minimize conflicts with pedestrian traffic and with surrounding residential uses.
- Reduction of impervious surface: The site has 90,910 square feet, or 74%, of the site as impervious surface. The site minimizes the use of impervious surfaces as much as possible, while accommodating the on-site parking needed. The entry plaza has cutouts in the surface for plantings to minimize the amount of impervious surface. Below grade stormwater storage is also provided on site.

Landscape and Screening – Requires alternative compliance

- Our site plan illustrates that at least 20% of the site not occupied by building is landscaped. *Meets requirements.*
- Parking landscaping and screening: Screening is shown that is 3 feet in height, and 60% opaque throughout the year. The required landscaped yard at 7 feet wide does not fit along the south side on the western half of the site due to the jogged property line and insufficient space between the back of the parking lot curb and the property line. *Requires alternative compliance.*
- We are not providing screening on the west side along 11th Ave S to provide adequate area for snow storage space. The west side will be used for snow storage. Due to the limited space in this area, snow storage would kill hedge plantings and/or damage ornamental fencing. *Requires alternative compliance.*
- The southwest corner of the site and the areas running north and east are currently bermed high enough to meet screening standards. *Meets requirements.*
- The site has good tree and canopy cover from mature trees in the right-of-way boulevard and preserved trees between the parking lot and sidewalk. The result is a tree-lined property with extensive canopy cover extending from the street into the site. This provides a good enclosure that visually tempers the impacts of the parking lot on the public realm. The proposed condition will result in 8 trees (7 existing and 1 new) covering 200 linear feet (1 tree per 25 feet ratio) of landscape area and turf grass ground cover. *Meets requirements.*
- The number of shrubs meet requirements. *Meets requirements.*
- Interior landscaping of parking lots: parking spaces are located within 50 feet from the center of an on-site deciduous tree. Tree islands within the interior of the parking lot have a minimum width of 7 feet. *Meets requirements.*
- Ecological Function: Stormwater management principles are in place in the site plan, including below grade stormwater storage and a recessed turf area for stormwater storage. *Meets requirements.*

Additional Standards – Meets requirements

- Continuous concrete curb and gutter are provided for on-site retention and filtration.
- The proposed addition will not block views of any landmark buildings, significant open spaces, or water bodies.
- The proposed addition will cast minimal shadows on the site.
- The proposed addition will not generate significant wind currents.
- The site plan complies with crime prevention design elements. The organization of the site, including the buildings, landscaping and walkways allows views into and out of the site from the public right-of-way. The site layout guides people into and out of the site. There are light fixtures that provide ample lighting levels.
- The site is neither historically designated nor located in a historic district.



Off-Street Parking and Loading - Requires a Variance

- The parking count for the project was determined by Hilary Dvorak, by examining the existing and new program uses. Dvorak's calculation determined a total parking need of 106 spaces, of which 46 spaces are for the spectator seating area overlooking the renovated pool. The renovated pool is planning to hold some small community-scale swim events on an occasional basis that would include spectators. Typical use of the spectator seating area is more likely to be parents watching their kids' swim classes or club practices. For regular daily, weekly, and monthly use, the amount of parking provided, 95 spaces, should be adequate to meet the facility's demand. The area is also well served by mass transit options to support the facility. The site plan provides for 95 parking spaces, compared to the 106 required.

Bicycle Parking -Meets requirements

- Bicycle parking is provided per Chapter 541 for Community Centers, which requires 6 spaces. New bike racks meeting the requirements are located at the new entrance. In addition, existing bike racks remain at the building's west entrance.

Fences – Meets requirements

- There are no fences proposed to be located within the site boundaries.

Screening of Mechanical Equipment - Meets requirements

- The mechanical equipment on the roof of the addition is screened in the two locations shown, per the requirements of Chapter 535, Regulations of General Applicability. Refer to the building elevations.

Refuse Screening - Requires a Variance

- The solid waste collection point will be enclosed and screened per Zoning Code requirements. The solid waste collection point is located on the north edge of the site for ease of access from the parking lot and the west building entrance. The location is 3.3 feet into the rear yard setback to the north. Refer to Site Plan and elevations.

Lighting – Meets requirements

- A Lighting Plan showing footcandles levels was submitted as a part of the application materials.



- The proposed addition requires the relocation of the existing electrical transformer and its disconnect switch. The existing transformer is located south of the existing building in the location of the proposed new addition. The transformer enters the existing building on the south side and connects with the electrical switchgear. The transformer will be relocated to the southeast corner of the existing building. This allows the transformer and its exterior disconnect switch to be relocated prior to the start of construction of the new addition. This location also allows the existing electrical service to remain in place inside the building, and make the connection overhead through the renovated pool area. The location of the transformer on the southeast corner of the existing building is a good location on the site plan, as it is away from building entrances, and is separated from the sidewalk with an existing retaining wall. We are proposing a “wrap” on the transformer in lieu of a screened enclosure, due to the tight conditions between the existing building and the retaining wall. *Requires a Variance for its location in the setback.*

Existing Transformers on the south side of the building



Proposed location to relocate the transformers on the east side of the existing building.



“Wrap” concept on the transformer, graphic image to be determined





Yard Requirements - Requires a Variance

The following conditions require a setback variance:

- The west edge of the site, bordering 11th Avenue South, has a 30-foot front yard setback requirement to match the houses north of the site. In order to provide the parking spaces shown on the site plan, we need to project into the front yard setback on the west side of the site approximately 17 feet, with a setback of approximately 13 feet. *Requires a Variance.*
- The east edge of the site, bordering 13th Avenue South, has a 26-foot front yard setback requirement to match the houses north of the site. The existing building and proposed addition on the east edge of the site are set back approximately 20 feet from the east property line on 13th Avenue South. The new addition aligns with the existing building. *Requires a Variance.*
- The south edge of the site, bordering East 24th Street, has an odd property line condition that jogs the property line away from the street. This jog in the property line causes us to request a variance on the 10 foot side yard setback for the parking. *Requires a Variance.*
- The solid waste collection point and its enclosure are located 3.3 feet into the rear yard setback on the north side of the site. *Requires a Variance.*
- The relocation of the electrical transformer places it in the setback, as described earlier in this document. *Requires a Variance.*
- The monument sign is located 5 feet into the corner side yard setback on East 24th Street, as a result of the odd property line condition that jogs away from the street. *Requires a Variance.*



Signage - Requires a Variance



Two existing signs shown above, on two locations on the existing building, will be removed,



Existing Waite House sign to remain

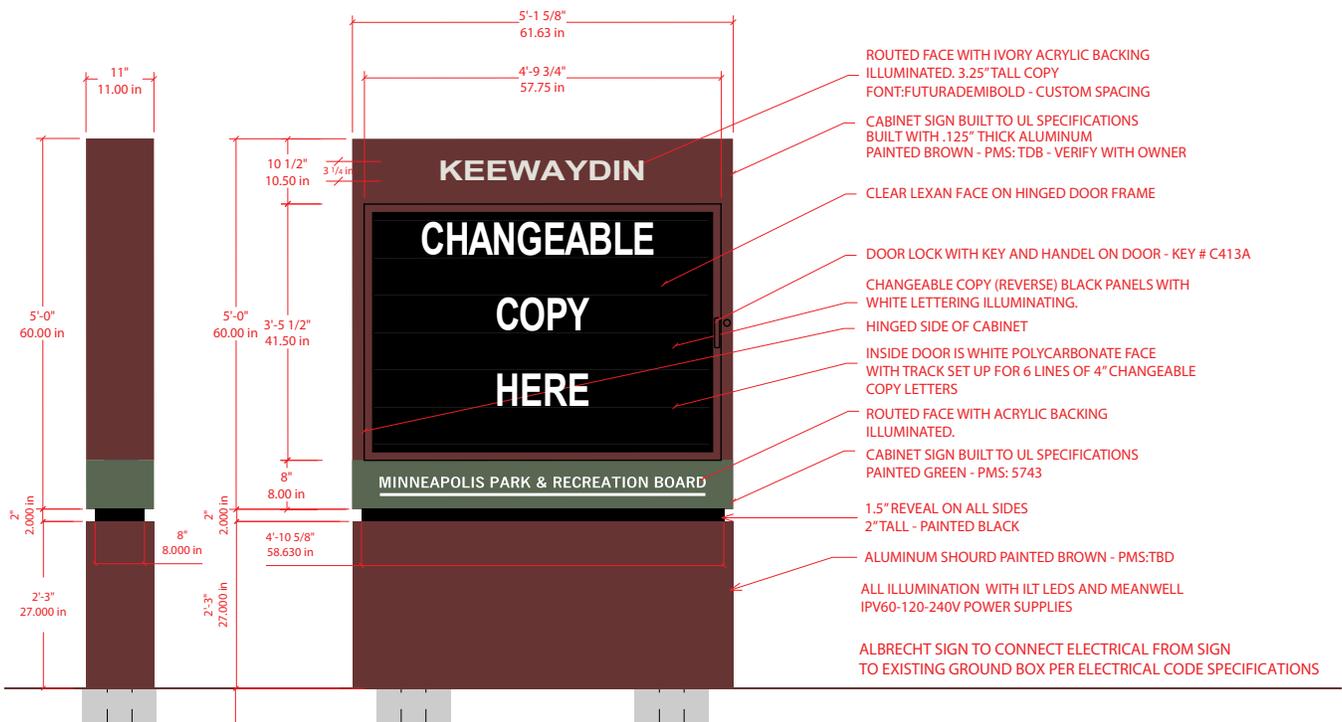
The project is governed by Chapter 543, Library & Park. The project can have three signs (2 on the building (corner lot) and 1 monument sign).

The existing building has four signs mounted on the wall; two at the top of the building, a third sign at the east entrance for the Waite House tenant, and a fourth sign at the west entrance for the Recreation Center entrance. The Minneapolis Park and Recreation Board intends to remove the two signs noted to the left, and keep the two smaller signs at the east and west entrances.

A new monument sign is proposed to be added on the site per the drawing below. Refer to the Site Plan for sign location.

Signage is also located on the canopy of the new addition. Refer to building elevations.

The signage adjustment will not significantly increase or lead to sign clutter in the area. The sign adjustment will allow signage that relates in size, shape, material, color, illumination and character to the function and architectural character of the building.





Minneapolis
Park & Recreation Board

Phillips Community Center Aquatics Facility



Submittal to the City of Minneapolis
Additional Information Requested

November 10, 2015

STUDIO FIVE
architects

Linda McCracken-Hunt, FAIA
Principal/CEO
612-801-2196 lindamh@studiofivearch.com



The project team submitted applications, drawings, and written narratives to Hilary Dvorak on October 26, 2015 for city approval of the Minneapolis Park and Recreation Board's Phillips Community Center Aquatics Facility development located at 2323 11th Avenue South. The submittal was deemed to be incomplete. The following items are addressed in this document and accompanying drawings:

1. Provide written responses for the three findings for each variance request.
2. The sign section of the application is confusing. Please provide a list of each sign indicating its location, size, and overall height.
3. Provide a picture of the signs that are to remain on the building.
4. Confirm on the landscape plan if the materials are on site or in the public right-of-way. If the counts include those materials in the public right-of-way, please provide two tables.
5. Submit a material sample board including samples of the different glass windows.
6. Since the windows are colored, provide more information about them. Specifically the light transmittance ratio of each color.
7. The fees for the project were not complete (this has been taken care of)

Following are our responses.



Parking Setback on 11th Avenue South: Requested variance to reduce the front yard setback requirement from 30 feet to 13 feet

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

Practical difficulties do exist in complying with the ordinance. If we meet the front yard setback, our on-site parking count will be significantly less than as shown. Our parking count is already short of the amount required by the City, and is requesting a parking variance.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

We are applying for a parking variance from the 106 spaces to the 95 spaces shown on the site plan. The City has identified a required parking count of 106 spaces, which includes a need for 46 parking spaces for the spectator seating for events. Events are expected to be infrequent at only 10-16 events a year. In the standard setup of swim lessons and other non-event uses, the proposed parking count of 95 spaces will be more than adequate.

Our proposed site plan shows parking for 95 spaces, including the encroachment into the front yard setback on 11th Avenue South as shown. The site has good tree and canopy cover from mature trees in the right-of-way boulevard and preserved trees between the parking lot and sidewalk. The result is a tree-lined property with extensive canopy cover extending from the street into the site. This provides a good enclosure that visually tempers the impacts of the parking lot on the public realm.

It should be noted that our snow storage plan is to place the snow on the west side of the site, between the parking lot and 11th Avenue South on MPRB property, as shown on the drawings provided.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

The proposed variance providing for more on-site parking will positively affect the residents living in the vicinity, as it will address parking concerns and cause fewer cars to be parked on the street. The good tree and canopy cover help to not alter the essential character of the neighborhood.



Parking Setback on 13th Avenue South: Requested variance to reduce the front yard setback requirement from 26 feet to 20 feet

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

Practical difficulties do exist in complying with the ordinance. The 26-foot front yard setback is set to align with the adjacent homes to the north of the project site. The existing building is set back 20 feet, which places it in the setback, requiring a variance. The new addition aligns with the existing building, to be a cohesive whole. The new addition also requires a variance.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

We understand the setback alignment with the neighboring homes to the north. The existing building is located in the setback. While the east side of the site is a front yard, it feels like a side yard when standing on the site. The MPRB will use the property in a reasonable manner.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

The proposed variance will not alter the essential character of the neighborhood, as the existing building has been in this location within the setback since 1925. The building edge is separated from the public sidewalk with a change in grade and a retaining wall, defining public space from private space appropriately. The health, safety, and welfare of the general public and those using the park property or neighboring properties will not be adversely affected by approval of this variance.



Parking Setback on East 24th Street: Requested variance to reduce the corner side yard setback requirement from 10 feet to 5.8 feet

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

Practical difficulties do exist in complying with the ordinance. The south edge of the site bordering East 24th Street has an odd property line condition that jogs the property line away from the street. This jog in the property line causes the project to request a variance. If the variance is not provided, the parking count on site will be reduced even further, which will negatively impacts the site and the neighborhood, per the parking variance that follows.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The jog in the property line is an artificial line that is not apparent to those on site. The parking to the east of the jog in the property line meets the required setback. The spirit and intent of the ordinance is being met with this variance.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

The proposed variance will not alter the essential character of the locality; the parking setback will be consistent with the parking setback to the east that meets the setback requirement. The proposed variance will not be detrimental to the health, safety, or welfare of the general public or those using the property or nearby properties. By allowing this variance, more parking is provided on site, minimizing the parking needed on the street to meet demand. Additional street parking negatively affects neighboring homes and properties.



The Solid Waste Collection Point and its Enclosure: Rear Yard Setback on the North side of the Site: Requested variance to reduce the rear yard setback requirement from 7 feet to 4.7 feet

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

Practical difficulties do exist in complying with the ordinance. The site has two front yards and a side yard that feels like it is a front yard. There is no real “back yard” to help screen the solid waste collection point and still provide functional access to it. We have determined that the best location for the solid waste collection point (SWCP) is along the rear yard line. In order to keep the existing sidewalk and building entrance, and maximize the parking available on site to get as close to the parking requirement as is reasonably possible, the SWCP needs to be located as shown.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The solid waste collection point is shown to minimize its impact on the neighboring property to the north, by placing the SWCP at the rear of the adjacent property. The waste handler accesses the SWCP from the parking lot. The enclosure around the SWCP meets City requirements.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

The variance amount is less than two and one half feet in distance, in a location that is at the rear of the adjacent property. The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety or welfare of the general public or of those utilizing the property or nearby properties.



Electrical Transformer: Requested variance to allow the placement of the electrical transformer in the front yard setback on 13th Avenue South

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

Practical difficulties do exist in complying with the ordinance. The proposed addition requires the relocation of the existing electrical transformer and its disconnect switch. The existing transformer is located south of the existing building in the location of the new addition. The transformer enters the existing building on the south side and connects with the electrical switchgear on that end of the building. This transformer is the power source for the entire existing building, and needs to be kept in operation during construction.

A number of options were explored to place the transformer. Moving it toward East 24th Street put the transformer visibly in the front yard, more susceptible to potential vandalism and dangerous to work around during construction. Placing the transformer to the west of the new addition places it adjacent to the new front entrance, which did not feel appropriate. The project team feels that the best location for the transformer is to the east of the existing building. This location allows the transformer to be relocated prior to the start of construction, keeping the power source to the existing building safe for the building and for the construction of the new addition. This location feels like a “side yard” due to the location of the existing building and the raised grade and retaining wall that separate the building from the public sidewalk.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

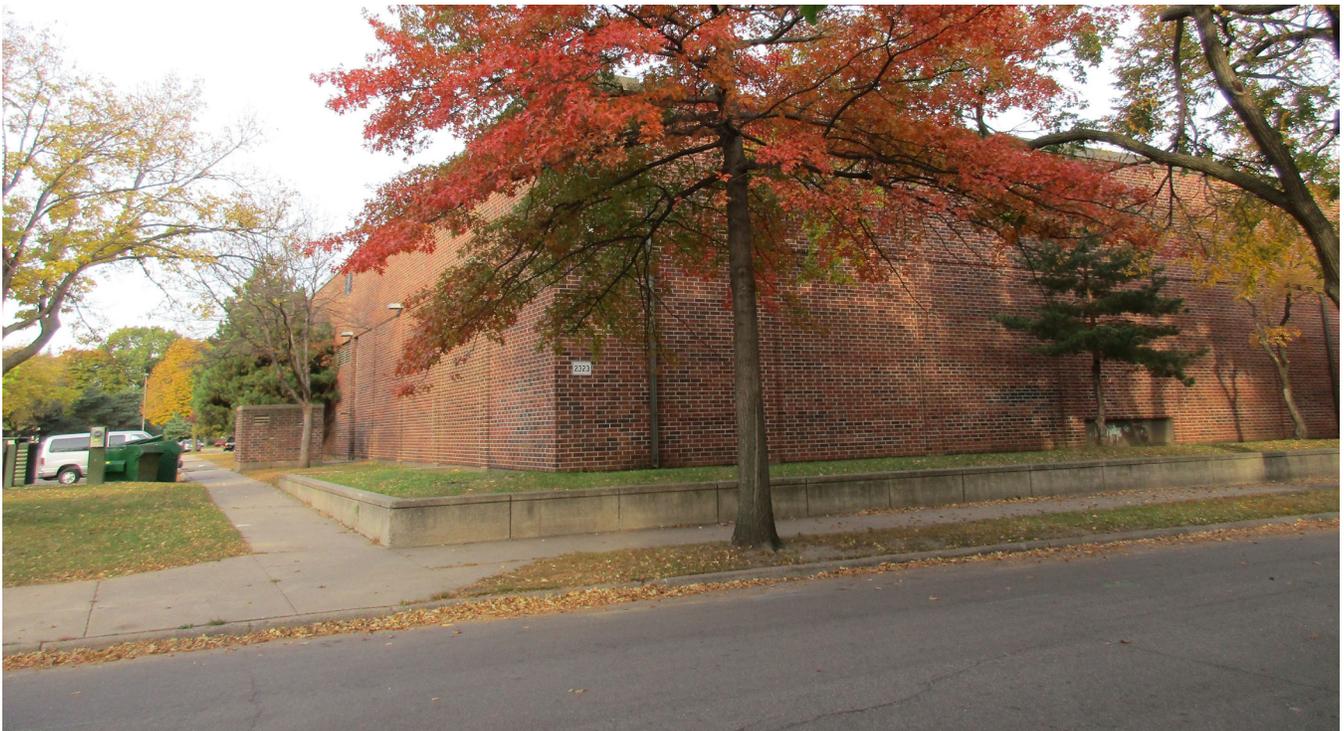
The location of the transformer on the southeast corner of the existing building is a good location on the site, as it is away from building entrances, and is separated from the sidewalk with a retaining wall. We are proposing a “wrap” on the transformer in lieu of a screened enclosure to maximize the perceived distance between the existing building and the retaining wall and the sidewalk.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. This location is consistent with the “side yard” feel of the site, the existing building setback, and the retaining wall separation from the sidewalk. If granted, the proposed variance will be a health, safety and welfare betterment than other options available.



Existing Transformers on the south side of the building



Proposed location to relocate the transformers on the east side of the existing building.

“Wrap” concept on the transformer,
graphic image to be determined





Monument Sign Location into the corner side yard setback on East 24th Street: Requested variance to reduce the corner side yard setback requirement from 10 feet to 0 feet

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

Practical difficulties do exist in complying with the ordinance. The south edge of the site bordering East 24th Street has an odd property line condition that jogs the property line away from the street. This jog in the property line causes the project to request a variance.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The jog in the property line is an artificial line that is not apparent to those on site. The monument sign placed in this location will appear to meet the required setback. The spirit and intent of the ordinance is being met with this variance.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. The proposed location of the monument sign will assist visitors to the site by identifying the building name near its entrance, and provide a presence on East 24th Street.



Impervious Surface Requirement: Requesting a variance from 60% impervious surface to 74% impervious surface

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

Practical difficulties do exist in complying with the ordinance. The Site Plan does not meet the 60% maximum allowable coverage because we are trying to provide as much parking as possible to get close to the parking requirement. The more parking we provide, the more impervious surface we have.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The Site Plan has 90,910 sf of impervious surface, which is 74% of the site area, which is more than the 60% allowable. The area not occupied by buildings is 76,493 sf. The required landscape yard is 20% minimum of area not occupied by buildings, and our site plan has a proposed landscaped yard of 42%.

The site minimizes the amount of impervious surface as much as possible, while accommodating the on-site parking needed. The entry plaza has cutouts in the concrete surface for plantings to minimize the amount of impervious surface. We have addressed stormwater management with below grade stormwater storage on site.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. The below grade stormwater storage system will address the management of stormwater on site in our impervious areas properly. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.



Parking Requirement: Requested variance to reduce the parking count from 106 spaces to 95 spaces

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

Practical difficulties do exist in complying with the ordinance. The site cannot accommodate the 106 spaces required.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

We are applying for a parking variance from the 106 spaces to the 95 spaces shown on the site plan. The City has identified a required parking count of 106 spaces, which includes a need for 46 parking spaces for the spectator seating for events. Events are expected to be infrequent at only 10-16 events a year. In the standard setup of swim lessons and other non-event uses, the proposed parking count of 95 spaces will be more than adequate.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

This variance relates to parking setback variances that are also being requested. The parking count is being balanced with parking setbacks to maximize the amount of parking provided without negatively impacting the locality, neighborhood, the general public or those utilizing the property or nearby properties.



Signage Variance: Refer to the following pages for photos and locations of signs and refer to the attached revised building elevations that show the revised signage

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

Practical difficulties do exist in complying with the ordinance. The existing building is large and has multiple entrances to meet multiple needs and tenants, and existing signage is needed to identify the entrances. The new addition adds a building entrance that will serve as the MPRB primary entrance, that also needs wayfinding signage.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The following signage variances are requested:

Zoning chapter 543.200 identifies specific sign standards that govern the size, height, and illumination of signage. Per Table 543-1, Library / Park, we are allowed 2 building signs (corner lot) and 1 monument sign.

Building signs

Each building sign may be 32 sf maximum size. Therefore we are allowed $32 + 32 = 64$ sf of building signs. We have 93.0 sf of building signage, which exceeds the allowable area. *A variance is being requested for the allowable signage area.*

Each sign may be mounted at a maximum distance of 14' above grade, or top of wall, whichever is less. The existing Waite House sign is at 14' above grade. The new signs are less than 14' above grade. The existing Community Center sign A to remain is at 29'-4" above grade. *A variance is being requested for the allowable sign height at the existing sign A only.*

The Zoning Code allows 2 building signs. We are proposing a total of 4 signs.

The existing Waite House entrance sign on the east side of the building counts as 1 sign.

The existing Community Center entrance sign on the west side of the building counts as 1 sign.

The new addition entrance has 2 signs that together total $20 + 12$ sf = 32 sf. 32 sf is allowed by zoning for a building sign. *A variance is requesting the number of 4 signs total.*

Monument sign

The monument sign meets city height and size required.

The changeable copy area is 16.7 sf. The Zoning Code allows a changeable copy area of 16 sf. *The project is requesting a variance for the size of changeable copy area.*

Sign illumination

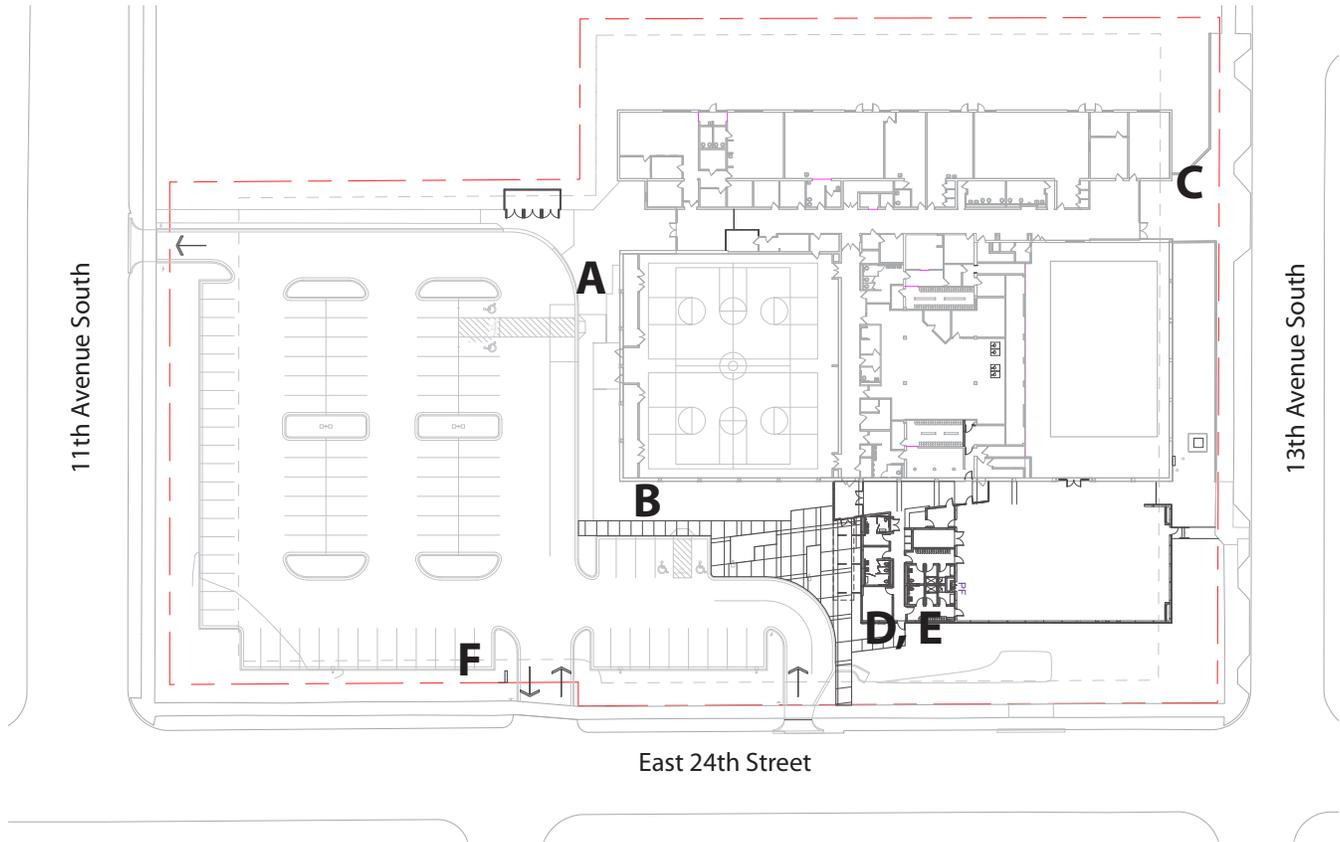
Per the Zoning Code, either the building signs or the monument sign may be illuminated, but not both.

We are proposing to illuminate the monument sign and the building signs at the new addition entrance. The existing signs will remain as is. *A variance is requested for sign illumination.*

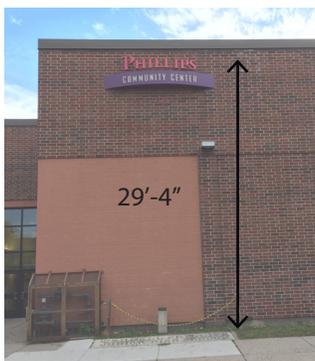
3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. The proposed variances will assist visitors to the site by clearly identifying the three building entrances. The sign illumination will be subtle and not adversely affect the neighborhood, the general public or those utilizing the property or nearby properties.

Signage Locations



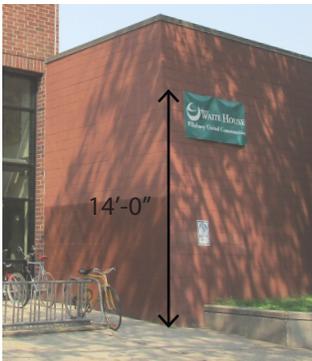
Signage Details



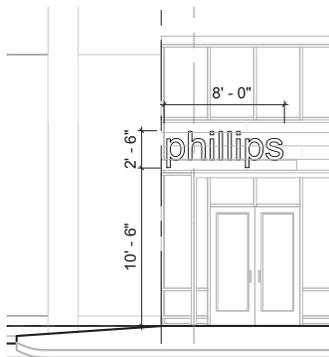
- A.** EXISTING SIGN TO REMAIN.
Not illuminated
 $12.25' \times 3.67' h = 44.96 \text{ sf}$
29'-4" top of sign above grade > 14' allowed
A variance is requested for the allowable sign height for this sign only.



B. TWO EXISTING SIGNS TO BE REMOVED

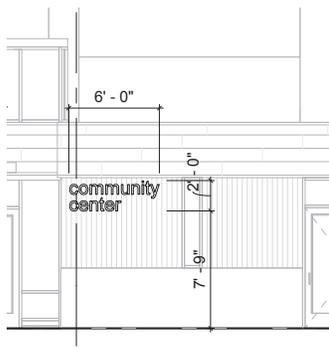


C. EXISTING SIGN TO REMAIN.
Fabric banner
6' x 2.67' h = 16 sf
14'-0" top of sign above grade = 14' allowed



D. NEW SIGN
Internally illuminated
South elevation of canopy
8.0' x 2.5' h = 20.0 sf
13'-0" top of sign above grade < 14' allowed

Copy to be determined
A variance is requested to illuminate this sign



E. NEW SIGN
Internally illuminated
South elevation of addition
6.0' x 2.0' h = 12.0 sf
9'-6" top of sign above grade < 14' allowed

Copy to be determined
A variance is requested to illuminate this sign



F. NEW MONUMENT SIGN

Internally illuminated

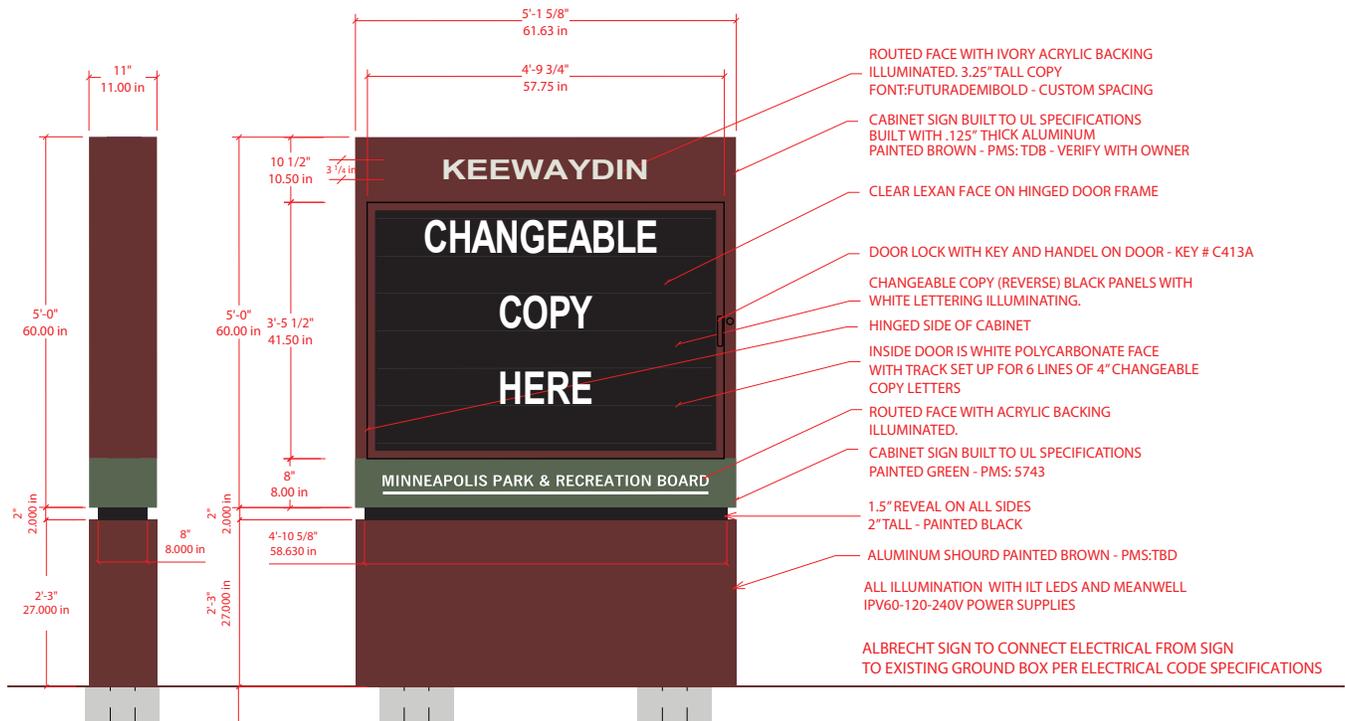
See Civil drawings for site location

61.63" x 60" h / 144 = 25.68 sf

57.75" x 41.5" h / 144 = 16.64 sf changeable copy

7'-5" top of sign above grade < 8' allowed

A variance is requested to illuminate this sign



SIGNAGE AREA CALCULATIONS

Building Signs

A. Existing to remain	45.0 sf
B. Existing to be removed	0.0 sf
C. Waite House	16.0 sf
D. Community Center	20.0 sf
E. Community Center	12.0 sf

Building signs total sf 93.0 sf

Exceeds 32 + 32 = 64 sf allowed

A variance is requested for signage area

Monument Sign 25.7 sf

F. Community Center - total sf

Less than 32 sf allowed

16.6 sf

G. Community Center - changeable sf

Exceeds 16 sf allowed

A variance is requested for allowable area



Building Elevations

We have included revised building elevations, in black and white and color, to illustrate the changes made to the exterior signage since our October 26, 2015 submittal. The elevations correspond to the signage discussed in this document.

Landscape Plan

We have attached an updated Landscape Plan to this document that shows the property line. All of the landscape materials are on site as shown on the Landscape Plan.

Material Sample Board

We have also included a material sample board, including samples of the different glass windows. The colored glass windows will be done with a film applied to the glass.

Colored Film on Glass and its Characteristics

Per the manufacturer, the light transmittance of each color is not available. The proposed colored films have an average of 35% visible light transmittance. The areas of colored film are limited on the exterior elevations, refer to the submittal drawings. Refer to the sample board for the actual colored films proposed.

From: Peter Huyser [<mailto:peter@decorativefilm.com>]
Sent: Thursday, October 29, 2015 10:56 AM
To: Wendy Muench
Subject: RE: Light transmission of vinyl films

Hi Wendy
We do not have specific VLT on each film. The average is 35% VLT
The SXO films are suitable for this application
Kind regards
Peter

Peter J. Huyser



www.decorativefilm.com

Decorative Films, LLC

3955 Dartmouth Ct, Frederick, MD 21703 | USA

T: 888.657.5224 | F: 240.363.4818

SOLYX® SimGlas® 3M Fasara Glass Finishes

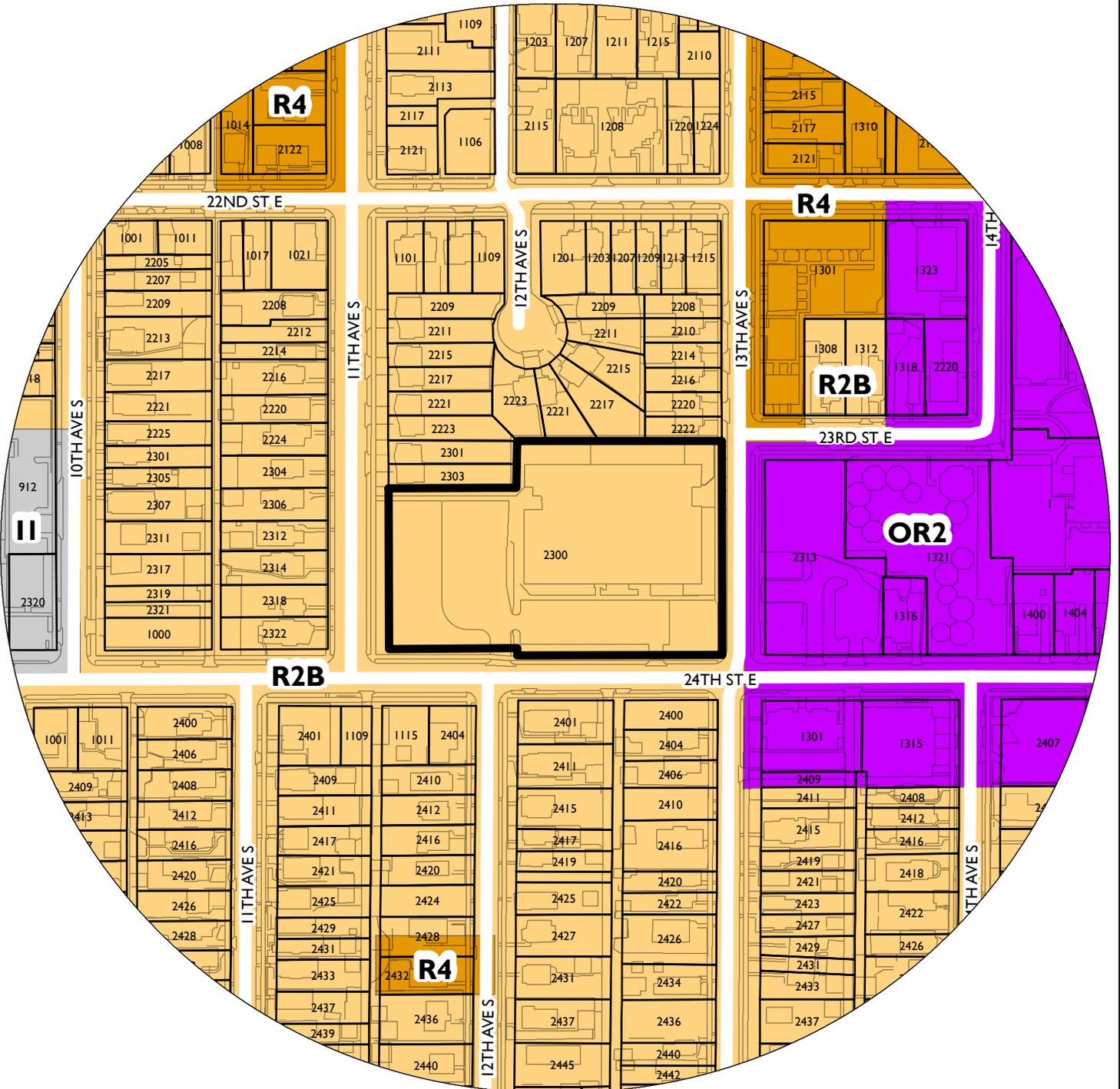


Minneapolis Park and Recreation Board

6th

NAME OF APPLICANT

WARD



PROPERTY ADDRESS

2323 11th Avenue South

FILE NUMBER

BZZ-7489

LEGEND

- Denotes iron monument set marked with P.L.S. No. 44900
- Denotes found iron monument
- BE Denotes building entrance
- BTL Denotes beaver tail curb
- CB Denotes catch basin
- CBX Denotes communication box
- CMH Denotes communication manhole
- DG Denotes drain grate
- DIP Denotes ductile iron pipe
- EB Denotes electric box
- EM Denotes electric meter
- FP Denotes flag pole
- G Denotes gutter
- GARB Denotes garbage/refuse receptacle
- GAS V Denotes gas valve
- GM Denotes gas meter
- GP Denotes guard post
- GRL Denotes guard rail
- HCR Denotes handicap ramp
- HCS Denotes handicap sign
- HYD Denotes fire hydrant
- INV Denotes structure invert
- LP Denotes light pole
- MC Denotes metal grate
- MH Denotes manhole
- OHE Denotes overhead electric line
- OHU Denotes overhead utility line
- (P) Denotes per plan/not field verified
- PKS Denotes parking sign
- PP Denotes power pole
- PPLP Denotes power and light pole
- PPU Denotes power pole with underground utility
- PVC Denotes polyvinyl chloride pipe
- RCP Denotes reinforced concrete pipe
- RD Denotes roof drain
- SANC Denotes sanitary cleanout
- SAN S Denotes sanitary sewer
- ST S Denotes storm sewer
- TCS Denotes traffic control sign
- TL Denotes traffic light
- TRANS Denotes transformer box
- UGC Denotes underground communication line
- UGE Denotes underground electric line
- W Denotes water line
- WMH Denotes water manhole
- EVG Denotes evergreen tree
- SHB Denotes shrub
- TR Denotes deciduous tree

BENCH MARKS (BM)

NGVD 1929 Datum

- 1.) Top of top nut of fire hydrant at the southeast quadrant of 12th Avenue & 24th Street.
Elevation = 854.96 feet
- 2.) Top of top nut of fire hydrant at the southeast quadrant of 13th Avenue & 23rd Street.
Elevation = 853.73 feet

DESCRIPTION OF PROPERTY SURVEYED

(Per Old Republic National Title Insurance Company Commitment for Title Insurance Application No. ORTE741912, effective date March 16, 2015)

Lots 4 to 8 inclusive, Block 1, Wright & Fiskes Addition to Minneapolis, according to the recorded plat thereof, and situate in Hennepin County, Minnesota.

Lots 1 to 10 inclusive, Block 13, Eliot's Addition to Minneapolis, according to the recorded plat thereof, and situate in Hennepin County, Minnesota.

That part of vacated 12th Avenue South dedicated in Eliots Addition to Minneapolis as Holly Street lying between the extensions across it of the South line of Lot 3, Block 1 and the South line of said Block 1, Wright & Fiskes Addition to Minneapolis, That part of vacated 23rd Street dedicated in Eliots Addition to Minneapolis as Lime Street. lying between the extensions across it of the East and West lines of said Block 13 except the North 1/2 thereof.

Torrens Property
Being registered land as is evidenced by Certificate of Title No. 703567

PLAT RECORDING INFORMATION

The plat of Wright & Fiskes Addition to Minneapolis was filed of record on March 7, 1876.

The plat of Eliot's Addition to Minneapolis was filed of record on May 29, 1857.

TITLE COMMITMENT

Old Republic National Title Insurance Company Commitment for Title Insurance Application No. ORTE741912, effective date March 16, 2015, was relied upon as to matters of record.

Schedule B Exceptions:

- 1.) Exceptions are indicated on survey with circled numbers where applicable.
- 8.) Subject to covenants, conditions and restrictions as contained in Section 3 of the deed filed as Hennepin County Recorder Document BNo. 4093292 as to Lots 4 to 8 inclusive, Block 1, Wright & Fiskes Addition to Minneapolis but free from the deed's provisions for forfeiture and right of reentry as shown by the Certificate of Completion and Release of Forfeiture files as Hennepin County Recorder Document No. 4806973.
- 9.) Subject to an easement for utility purposes in favor of Minnegasco, Inc., reserved in Resolution filed as Hennepin County Recorder Document No. 4127318 as to all of the above described part of vacated 12th Avenue South being a 30 foot wide strip of land lying between the South line of East 22nd Street and the Easterly extension of the South line of Lot 8, Block 1, Wright & Fiskes Addition.
- 10.) Subject to an easement for utility purposes in favor of the City of Minneapolis reserved in Resolution filed as Hennepin County Recorder Document No. 4127318 as to all of the above described part of vacated 12th Avenue South being a 30 foot wide strip of land lying between the South line of East 22nd Street and the Easterly extension of the South line of Lot 8, Block 1, Wright & Fiskes Addition;
- 11.) Covenants, conditions and restrictions of that certain Declaration filed May 9, 2003 as Document No. 3734446.

GENERAL NOTES

- 1.) Survey coordinate basis: Hennepin County Corodinate Basis

Utility Authorities:

- CENTER POINT ENERGY - MINGAS02 (612)-342-5200
- CITY OF MINNEAPOLIS - MINNE01 (612)-673-5600
- COMCAST - COMCST03 (612)-522-8141
- MINNEAPOLIS PARK AND REC - MPLSPK01 (612)-499-9090
- XCEL ENERGY - XCEL07 (800)-848-7558
- CENTURYLINK - CTL0L (855)-742-6062

SURVEYOR'S CERTIFICATION

To: Minneapolis Park & Recreation Board & Old Republic National Title Insurance Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 4, 7(a), 7(b)(1), 8, 9, 11(b) and 13 of Table A thereof. The field work was completed on April 16th, 2015.

Dated this 16th day of October, 2015.

SUNDE LAND SURVEYING, LLC.

By: *Arlene J. Carlson*
Arlene J. Carlson, P.L.S., Minn. Lic. No. 44900



▲ Add UGE and bldg area revised	JMD	10/16/2015
Revision	By	Date
Originally dated 4/21/2015		

Drawing Title:

**ALTA/ACSM LAND TITLE SURVEY FOR:
MINNEAPOLIS PARK & RECREATION BOARD
PHILLIPS COMMUNITY CENTER**

SUNDE LAND SURVEYING
www.sunde.com

Main Office: 9001 East Bloomington Freeway (35W) • Suite 118
Bloomington, Minnesota 55420 • 3435
952-881-2455 (Fax: 952-888-9526)
West Office: Mandan, North Dakota 701-663-5562

Project: 2015-038 Bk/Pg: 857/55 Date: 04/21/2015
Township: 29 Range: 24 Section: 35
File: 2015038001-R1.dwg Sheet: 1 of 1

ZONING NOTES

- 1.) Zoning information obtained from the City of Minneapolis web site on April 13th, 2015.

The subject property is zoned R2B - Two-family District (low density).

- 2.) We have shown the current zoning classification of the property in the zoning notes section of the survey based on our own research; however, we have not included item 6(a) in the survey certification because zoning information has not been provided to us by the insurer as called for in the 2011 ALTA requirements.

- 3.) Parking: 66 Regular Spaces
2 Handicap Spaces
68 Total Spaces

AREA

Area = 123,331 square feet or 2.83 acres

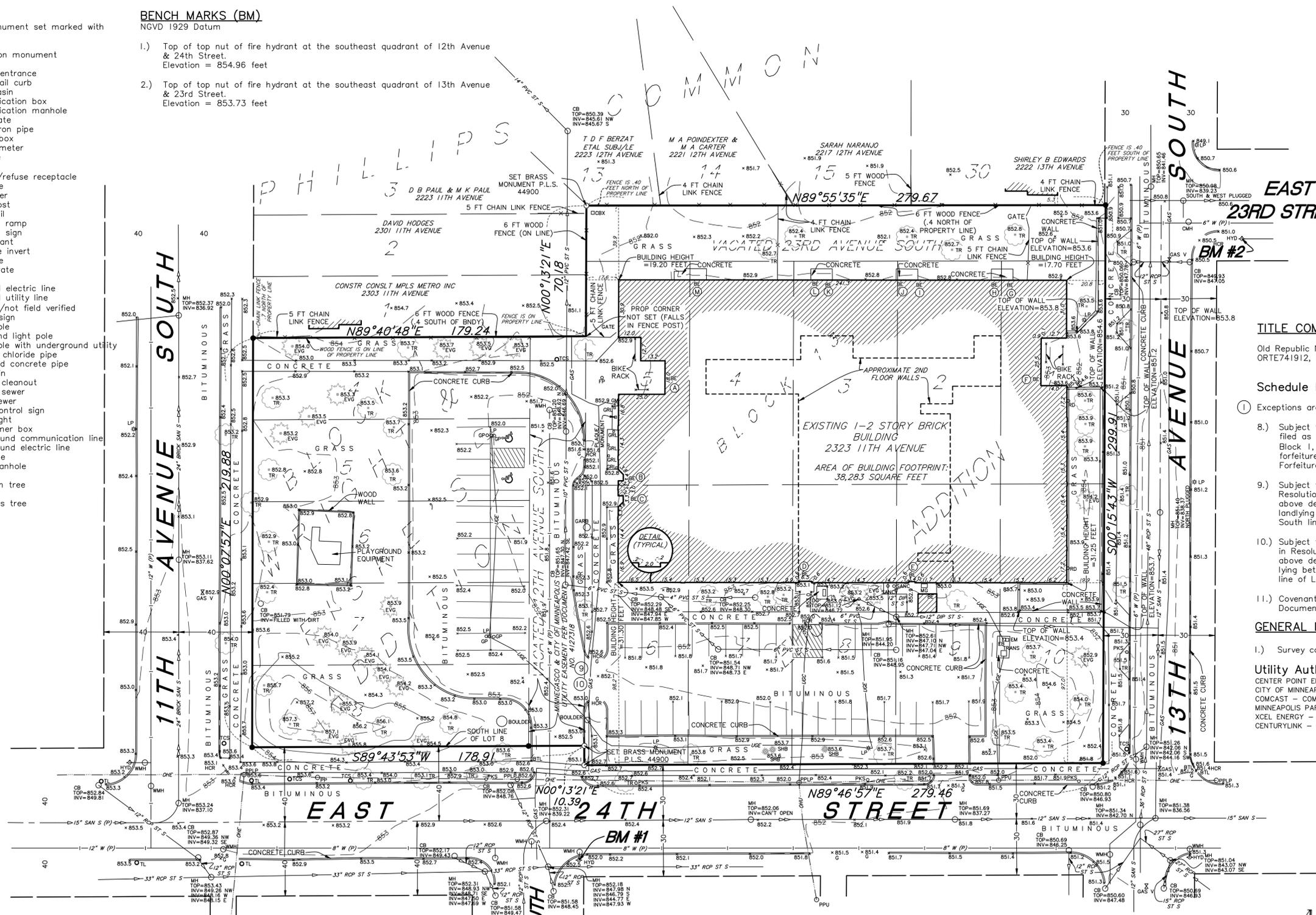
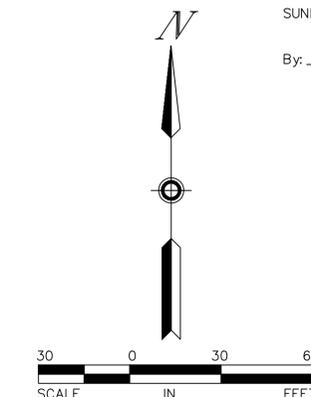
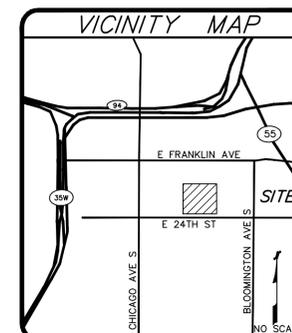
UTILITY NOTES

- 1.) Utility information from plans and markings was combined with observed evidence of utilities to develop a view of the underground utilities shown hereon. However, lacking excavation, the exact location of underground features cannot be accurately, completely and reliably depicted. Where additional or more detailed information is required, excavation may be necessary.
- 2.) Other underground utilities of which we are unaware may exist. Verify all utilities critical to construction or design.
- 3.) Some underground utility locations are shown as marked onsite by those utility companies whose locators responded to our Gopher State One Call, ticket number 150902616.
- 4.) Contact GOPHER STATE ONE CALL at 651-454-0002 (800-252-1166) for precise onsite location of utilities prior to any excavation.

FIRST FLOOR ELEVATIONS

Entrances are indicated on survey with circled letters where applicable

ENTRANCE	ELEVATION	DESCRIPTION
A	853.17	TOP OF TILE
B	853.15	CONC OUTSIDE OF DOOR
C	853.10	CONC OUTSIDE OF DOOR
D	853.18	CONC OUTSIDE OF DOOR
E	853.17	CONC OUTSIDE OF DOOR
F	853.17	TOP OF LINOLEUM
G	853.16	CONC OUTSIDE OF DOOR
H	853.18	CONC OUTSIDE OF DOOR
I	853.18	CONC OUTSIDE OF DOOR
J	853.17	CONC OUTSIDE OF DOOR
K	853.19	CONC OUTSIDE OF DOOR
L	853.19	CONC OUTSIDE OF DOOR
M	853.17	CONC OUTSIDE OF DOOR





Minneapolis Park & Recreation Board

Phillips Community Center Aquatics Facility

2323 11th Avenue South Minneapolis, MN 55404 T: 763.367.7600

PROJECT DIRECTORY:

STUDIO FIVE architects 322 First Avenue North, Suite 600 Minneapolis, MN 55401-1348 T: 612.338.0625

Nelson-Rudie Engineers Mechanical, Electrical & Structural Engineering 9100 49th Ave. N Minneapolis, MN 55428 T: 763.367.7600

USAquatics Aquatic Design Consultants 124 Bridge Ave. E Delano, MN 55328 T: 763.972.5897

Judd Allen Group Thermal Modelling 6110 Blue Circle Dr., Ste. 239 Minnetonka, MN 55343 T: 952.224.5050

Elan Design Lab Civil Engineers 901 North 3rd Street, Suite 120 Minneapolis, MN 55401 T: 612.260.7980

Aune Fernandez Landscape Architects Landscape Architecture & Design 705 Raymond Ave., Suite 200 Saint Paul, MN 55114 T: 651.341.361

DOCUMENTS ISSUED:

PDR SUBMITTAL NOT FOR CONSTRUCTION

REVISIONS:

Table with 2 columns: DATE, DESCRIPTION

REGISTRATION:

I hereby certify that this plan was prepared by me or under my direct supervision and I am a duly licensed Professional Engineer under the laws of the State of Minnesota.

Stephen M. Johnston, PE License No: 18914 Date: 10/23/15

DEMOLITION PLAN

Table with 2 columns: COMM. NO., SCALE, DATE, DRAWN

C101

EAST 23RD STREET

13TH AVENUE SOUTH

11TH AVENUE SOUTH

EAST 24TH STREET

12TH AVE. SOUTH

EXISTING 2-STORY BRICK BUILDING 2323 11TH AVENUE AREA OF BUILDING FOOTPRINT: 38,283 SQUARE FEET

DEMOLITION NOTES

- 1. BACKGROUND INFORMATION AND TOPOGRAPHIC SURVEY FOR RECONSTRUCTION AREA PROVIDED BY SUNDE LAND SURVEYING, BLOOMINGTON, MINNESOTA ON AUGUST 3, 2015, EXPRESSLY FOR THIS PROJECT. ELAN DESIGN LAB CANNOT GUARANTEE THE ACCURACY OR COMPLETENESS OF THIS INFORMATION. VERIFY ALL FIELD CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. IF ANY DISCREPANCIES OR UNKNOWN UTILITIES ARE FOUND THAT IMPACT DESIGN OR IMPAIR CONSTRUCTION, THE ENGINEER AND OWNER SHOULD BE IMMEDIATELY NOTIFIED.
2. CONTRACTOR SHALL BRING ANY CHANGED OR UNFORESEEN CONDITIONS THAT COULD RESULT IN ADDITIONAL COSTS TO THE ATTENTION OF THE OWNER AND ENGINEER AS SOON AS THEY ARE DISCOVERED SO THAT THEY CAN BE PROPERLY DOCUMENTED. FAILURE TO NOTIFY OR COVERING UNWITNESSED WORK SHALL RESULT IN REJECTION OF CLAIMS FOR ADDITIONAL COMPENSATION.
3. PROTECT ALL STRUCTURES AND LANDSCAPE NOT LABELED FOR DEMOLITION FROM DAMAGE DURING CONSTRUCTION. ANY ON-SITE OR OFF-SITE AREAS DISTURBED DIRECTLY OR INDIRECTLY DUE TO CONSTRUCTION SHALL BE RETURNED TO A CONDITION EQUAL TO OR BETTER THAN THE EXISTING CONDITION. CONTRACTOR IS SOLELY RESPONSIBLE FOR ANY CIVIL PENALTIES RESULTING FROM THEIR WORK UNDER THIS CONTRACT.
4. NO DEMOLITION MATERIALS SHALL BE DISPOSED OF ON-SITE. ALL DEBRIS SHALL BE HAULED OFF-SITE TO A DISPOSAL AREA APPROVED BY APPROPRIATE GOVERNMENTAL AUTHORITIES FOR THE HANDLING OF DEMOLITION DEBRIS. WORK SITE SHALL BE LEFT IN A CONDITION THAT MINIMIZES EROSION POTENTIAL ON A NIGHTLY BASIS.
5. LIMIT CONSTRUCTION ACTIVITIES TO THE CONSTRUCTION LIMITS SHOWN ON THE PLAN. ALL CONSTRUCTION ACTIVITIES SHALL COMPLY WITH LOCAL ORDINANCES.
6. CONSTRUCTION ENTRANCE AND SILT FENCE SHALL BE IN PLACE AS SOON AS DEMOLITION OPERATIONS ALLOW. SEE SHEET C3.1 FOR ALL EROSION CONTROL MEASURES AND APPROPRIATE STAGING.
7. PROVIDE NECESSARY BARRICADES, SUFFICIENT LIGHTS, SIGNS AND OTHER TRAFFIC CONTROL METHODS AS MAY BE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC AND MAINTAIN THROUGHOUT THE LIFE OF THE PROJECT.
8. BUILDING DEMOLITION: REMOVE EXISTING STRUCTURE, COLUMNS, CANOPIES, FOOTINGS, FOUNDATIONS AND ANY ASSOCIATED CONSTRUCTION IN ITS ENTIRETY. EXISTING MATERIALS SHALL BE REMOVED FROM THE SITE IN ACCORDANCE WITH ALL LOCAL, COUNTY, STATE AND FEDERAL REQUIREMENTS. ABATEMENT OF ANY MATERIALS DETERMINED BY THE ENVIRONMENTAL ENGINEER TO BE HAZARDOUS SHALL BE REMOVED IN ACCORDANCE WITH APPROPRIATE REQUIREMENTS.
9. REMOVE ALL EXISTING PAVING AND BASE MATERIAL THAT CONFLICTS WITH PROPOSED PAVING, GRADING, STRUCTURES, ETC.

LEGEND

- REMOVE BITUMINOUS PAVEMENT
REMOVE CONCRETE PAVEMENT
REMOVE BUILDING
REMOVE BITUMINOUS PAVEMENT
REMOVE UTILITY
REMOVE TREE SEE TREE PRESERVATION PLAN FOR REMOVAL INFORMATION

- 10. REMOVE ALL EXISTING SURFACE SITE FEATURES INCLUDING, BUT NOT LIMITED TO, CONCRETE AND BITUMINOUS PAVING, CONCRETE AND BITUMINOUS CURBING, WALKWAYS, FENCING, RETAINING WALLS, SCREEN WALLS, CONCRETE APRONS, SITE LIGHTING AND RELATED FOUNDATIONS, SITE SPECIFIC SIGNAGE AND RELATED FOUNDATIONS, BOLLARDS, LANDSCAPING, AND STAIRWAYS WITHIN THE CONSTRUCTION LIMITS UNLESS NOTED OTHERWISE.
11. COORDINATE WITH ALL PRIVATE UTILITY OWNERS FOR THE TERMINATION OF EXISTING ELECTRIC, TELEPHONE, CABLE, ETC. SERVICES TO THE SITE. RE-USE OF ANY EXISTING SERVICES TO BE AT THE DISCRETION OF THE UTILITY OWNER.
12. RELOCATION OF UTILITY POLES SHALL BE COORDINATED WITH THE LOCAL UTILITY COMPANIES. ELECTRIC HANDHOLES, PULLBOXES, POWERPOLES, GUYLINES, AND STRUCTURES DISTURBED BY CONSTRUCTION ACTIVITIES TO BE RESTORED IN ACCORDANCE WITH SPECIFIC OWNER REQUIREMENTS.
13. CONTACT CENTER POINT ENERGY FOR CONNECTION OF GAS LINES.





Minneapolis
Park & Recreation Board

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Minneapolis, MN 55404
T: 763.367.7600

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architects

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NOT FOR CONSTRUCTION

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DATE	DESCRIPTION
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REGISTRATION:

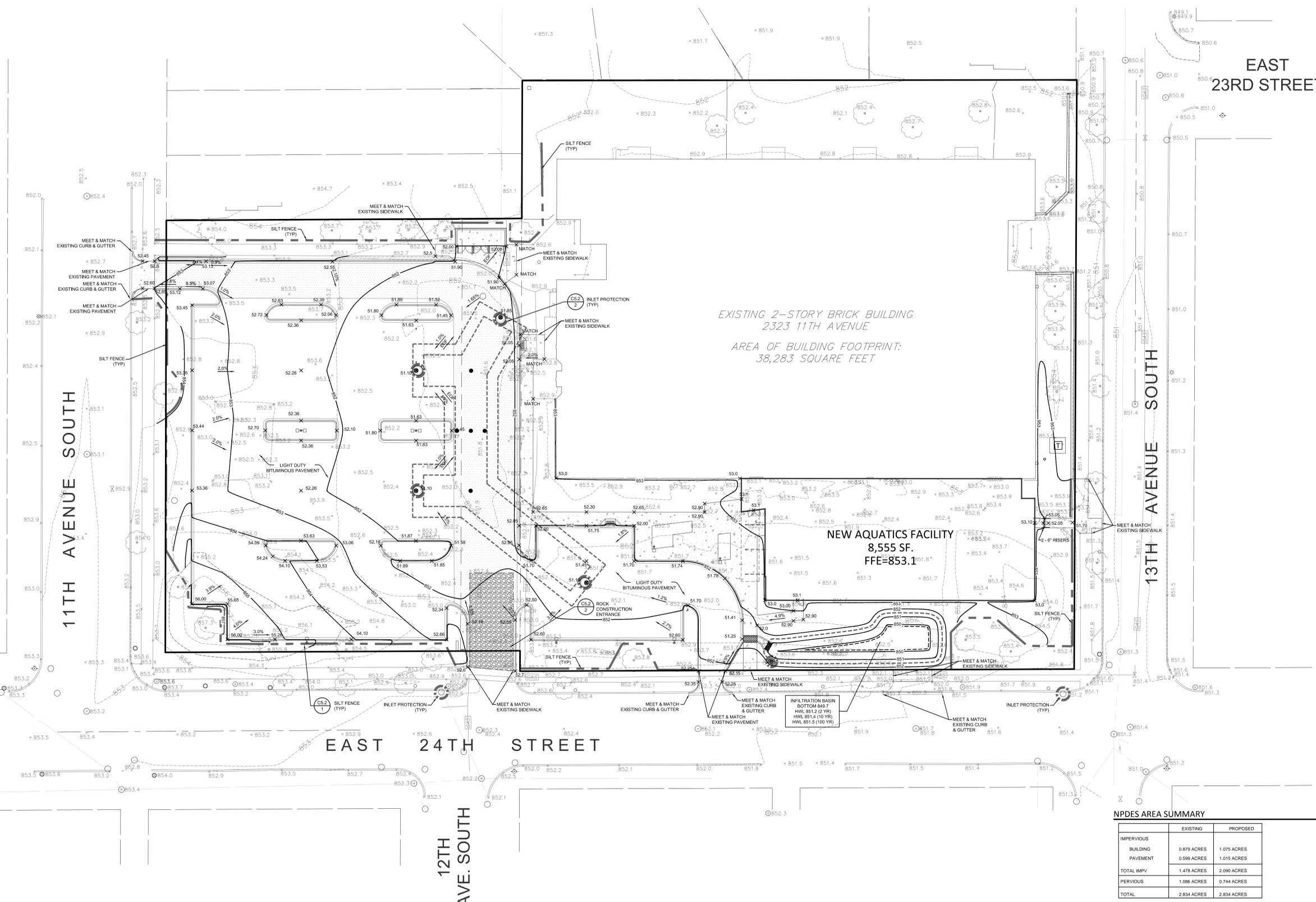
I hereby certify that this plan was prepared by me or under my direct supervision and I am a duly licensed Professional Engineer under the laws of the State of Minnesota.

Stephen M. Johnston, PE
License No: 18914 Date: 10/23/15

GRADING & EROSION CONTROL PLAN

COMM. NO.	1331.00
SCALE	1" = 20'-0"
DATE	10/23/15
DRAWN	PS

C301



NPDES AREA SUMMARY

	EXISTING	PROPOSED
IMPERVIOUS BUILDING	0.879 ACRES	1.075 ACRES
PAVEMENT	0.598 ACRES	1.015 ACRES
TOTAL IMPV	1.478 ACRES	2.090 ACRES
PERVIOUS	1.086 ACRES	0.744 ACRES
TOTAL	2.564 ACRES	2.834 ACRES

SURFACE INFILTRATION BASIN CONSTRUCTION NOTES

- REMOVE EXISTING FILL SOIL TO EXPOSE UNDERLYING SM, SP, OR SP-SM SOIL IF NECESSARY FILL TO PROPOSED GRADE MINUS 0.25 FEET WITH SP SOIL.
- DO NOT PLACE FINAL SOIL MIXTURE UNTIL SITE IS PAVED AND LANDSCAPING IS COMPLETE.
- FOLLOWING SITE STABILIZATION REMOVE ALL SILT AND CONTAMINATED SP SOIL.
- RETURN INFILTRATION BASIN TO MINUS 0.25 FROM FINAL GRADE WITH SP SOIL.
- FILL REMAINING 0.25 FEET WITH A MIXTURE OF SANDY LOAM AND COMPOST.
- VERIFY MINIMUM INFILTRATION RATE OF 0.45 INCHES PER HOUR WITH DOUBLE RING INFILTRMETER.
- INSTALL SOD PER PLAN.
- SEE SHEET C4-1 FOR UNDERGROUND BASIN NOTES.

LEGEND

- SILT FENCE
- STORM STRUCTURE PROTECTION
- HEAVY DUTY BITUMINOUS PAVEMENT

GRADING NOTES

- BACKGROUND INFORMATION AND TOPOGRAPHIC SURVEY FOR RECONSTRUCTION AREA PROVIDED BY SLIDE LAND SURVEYING, BLOOMINGTON, MINNESOTA ON AUGUST 3, 2015, EXPRESSLY FOR THIS PROJECT. ELAN DESIGN LAB CANNOT GUARANTEE THE ACCURACY OR COMPLETENESS OF THIS INFORMATION. VERIFY ALL FIELD CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. IF ANY DISCREPANCIES OR UNKNOWN UTILITIES ARE FOUND THAT IMPACT DESIGN OR IMPAIR CONSTRUCTION, THE ENGINEER AND OWNER SHOULD BE IMMEDIATELY NOTIFIED.
 - VERIFY ALL FIELD CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. IF ANY DISCREPANCIES OR UNKNOWN UTILITIES ARE FOUND THAT IMPACT DESIGN OR IMPAIR CONSTRUCTION, THE ENGINEER AND OWNER SHOULD BE IMMEDIATELY NOTIFIED.
 - ALL WORK TO COMPLY WITH CURRENT MINNESOTA DEPARTMENT OF TRANSPORTATION (MNDOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION UNLESS NOTED.
 - ALL UNDOCUMENTED FILL AND TOPSOIL SHALL BE REMOVED FROM WITHIN THE PROPOSED BUILDING PAD. A GEOTECHNICAL ENGINEER OR THEIR DESIGNATED REPRESENTATIVE SHALL OBSERVE THE PROJECT EXCAVATIONS TO VERIFY THAT UNSUITABLE MATERIALS HAVE BEEN PROPERLY REMOVED FROM PROPOSED STRUCTURAL AREAS THAT ADEQUATE BEARING SUPPORT IS PROVIDED BY THE EXPOSED SOILS AND THAT STRUCTURAL FILL IS PLACED APPROPRIATELY. THE EXPOSED SOIL AT THE BASE OF FOOTINGS SHALL BE COMPACTED TO 98 PERCENT PROCTOR DRY DENSITY (ASTM D998).
 - ON-SITE NON-ORGANIC SOIL IS GENERALLY SUITABLE FOR STRUCTURAL FILL. SILTY OR ORGANIC SOILS SHALL NOT BE USED FOR STRUCTURAL FILL. PLACEMENT OF STRUCTURAL FILL SHALL BE OBSERVED AND TESTED BY AN EXPERIENCED TECHNICIAN OR ENGINEER TO VERIFY THAT PROPER COMPACTION HAS BEEN ACHIEVED. STRUCTURAL FILL SHALL BE MOISTURE CONDITIONED (DRIED OR WETTED AS APPROPRIATE) PRIOR TO PLACEMENT. MOISTURE CONDITIONED ENGINEERED FILL SHALL BE PLACED AND COMPACTED IN LOOSE LIFTS OF 8 INCHES OR LESS. EACH LIFT OF FILL SHOULD BE COMPACTED BY LARGE VIBRATORY EQUIPMENT UNTIL THE IN-PLACE SOIL DENSITY IS EQUAL TO OR GREATER THAN THE CRITERIA ESTABLISHED WITHIN THE FOLLOWING TABULATION.
- | TYPE OF CONSTRUCTION | COMPACTION CRITERIA (% RESPECTIVE PROCTOR) |
|---|--|
| NON-ENGINEERED FILL (GREEN SPACE) | 95 |
| ENGINEERED FILL BELOW FOUNDATIONS | 98 |
| ENGINEERED FILL BELOW FLOOR SLABS | 98 |
| ENGINEERED FILL PLACED AS PAVEMENT | 100 |
| ENGINEERED FILL PLACED MORE THAN 3 FEET BELOW PAVEMENT AGGREGATE BASE | 100 |
| ENGINEERED FILL PLACED IN UPPER 3 FEET BELOW PAVEMENT AGGREGATE BASE | 100 |
| UTILITY TRENCHES | 100 |
- SIDEWALKS SHALL BE BENCHED OR SLOPED TO PROVIDE SAFE WORKING CONDITIONS AND STABILITY FOR ENGINEERED FILL PLACEMENT. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ASSESSING THE STABILITY OF AND EXECUTING PROJECT EXCAVATIONS USING SAFE METHODS. THE CONTRACTOR IS ALSO RESPONSIBLE FOR NAMING THE "COMPLETIVE INDIVIDUAL" AS PER SUBPART P OF 29 CFR 1926.6 FEDERAL REGISTER, OSHA. IF SOIL CORRECTION IS REQUIRED IT SHALL EXTEND 3 FEET OUTSIDE OF THE PAVEMENT OR BUILDING LIMITS PLUS ONE FOOT HORIZONTAL FOR EVERY VERTICAL FOOT OF CORRECTION.
 - THE CONTRACTOR SHALL PROTECT THE SUBGRADE FROM INCLEMENT WEATHER TO MAINTAIN STABILITY. FOLLOWING REMOVAL OF TOPSOIL, PAVEMENT, AND ANY UNSUITABLE SOILS, THE RESULTING SUBGRADE SHOULD BE SCARIFIED AND RE-COMPACTED TO A DEPTH OF 12 INCHES. A PROOF-ROLL TEST SHOULD THEN BE PERFORMED TO DETERMINE SOFT OR UNSTABLE SUBGRADE AREAS. IF RUTTING OR LOCALIZED UNSTABLE SUBGRADE AREAS ARE OBSERVED, THOSE AREAS SHOULD BE SUBCUT, MOISTURE CONDITIONED, AND RE-COMPACTED OR REMOVED TO A STABLE DEPTH. THE PROOF ROLL SHOULD BE PERFORMED WITH A TANGENT ANGLE DUMP TRUCK LOADED TO GROSS CAPACITY (AT LEAST 20 TONS). ACCEPTANCE CRITERIA OF THE PROOF ROLL SHALL BE LIMITED TO RUT FORMATION NO MORE THAN ONE INCH (1") DEPTH (FRONT OR REAR AXLES) AND NO PUMPING (ROLLING) OBSERVED DURING THE VISUAL INSPECTION. PROOF ROLL TESTS SHOULD BE OBSERVED BY AN EXPERIENCED TECHNICIAN OR ENGINEER PRIOR TO PLACEMENT OF THE AGGREGATE BASE COURSE TO VERIFY THE SUBGRADE WILL PROVIDE ADEQUATE PAVEMENT SUPPORT.
 - PAVEMENT
 - HEAVY DUTY BITUMINOUS PAVEMENT
 - 2.0" BITUMINOUS WEAR (MNDOT 2360 TYPE 9.5 WEARING COURSE MIXTURE (2.8) SPWEA3408)
 - TACK COAT (MNDOT 2357)
 - 3.0" BITUMINOUS NON-WEAR (MNDOT 2360 TYPE 12.5 NON-WEARING COURSE MIXTURE (2.8) SPWNW3308)
 - 6" AGGREGATE BASE (MNDOT 3138 CLS, CL6, OR CL7C) COMPACTED SUBGRADE
 - CONCRETE PAVEMENT
 - 8.0" CONCRETE WALK (SEE BELOW)
 - 6" AGGREGATE BASE (MNDOT 3138 CLS, CL6, OR CL7C) COMPACTED SUBGRADE
 - 4.0" CONCRETE WALK
 - 6" AGGREGATE BASE (MNDOT 3138 CLS, CL6, OR CL7C) COMPACTED SUBGRADE
 - BITUMINOUS PAVEMENT
 - 2.0" BITUMINOUS WEAR (MNDOT 2360 TYPE 9.5 WEARING COURSE MIXTURE (2.8) SPWEA3408)
 - TACK COAT (MNDOT 2357)
 - 2.0" BITUMINOUS NON-WEAR (MNDOT 2360 TYPE 12.5 NON-WEARING COURSE MIXTURE (2.8) SPWNW3308)
 - 6" AGGREGATE BASE (MNDOT 3138 CLS, CL6, OR CL7C) COMPACTED SUBGRADE
 - CONCRETE MIX NO. 3432 (MNDOT 2461.3) SHALL BE USED FOR HAND PLACED FORMED CURB AND GUTTER, MEDIANS, DRIVEWAYS, CROSS GUTTERS, SIDEWALKS, PEDESTRIAN RAMPS AND MEDIANS. CONCRETE MIX NO. 3422 (MNDOT SPECIFICATION 2461.3) SHALL BE USED FOR AN EXTRUSION MACHINE PLACEMENT OF CONCRETE IN THE PRODUCTION OF CONCRETE. AN AIR ENTRAINING AGENT SHALL BE ADDED TO THE MIX ACCORDING TO MNDOT 2461.4.
 - FORM COATING MATERIAL SHALL MEET MNDOT 3962.
 - CONCRETE INSTALLATION SHALL CONFORM WITH MNDOT 2531.
 - SITE CONCRETE FINISHING - CONCRETE SHALL BE STRUCK TRUE TO CROSS SECTION AS SHOWN ON THE PLANS. NO ADDITIONAL WATER MAY BE ADDED TO AID IN THE FINISHING PROCESS. A LIGHT BROOM FINISH WILL BE REQUIRED AT RIGHT ANGLES TO THE CENTER LINE ON ALL CONCRETE WORK UNLESS DIRECTED OTHERWISE. ALL EXPOSED EDGES AND JOINTS IN CURB/GUTTER, SIDEWALK AND STEPS SHALL BE ROUNDED WITH A SUITABLE FINISH TOOL. BEFORE FINAL FINISHING, THE CONTRACTOR SHALL CHECK THE CONCRETE WITH A TEN (10) FOOT STEEL STRAIGHT EDGE TO ENSURE THERE IS NO VARIATION GREATER THAN 3/16" FROM THE STRAIGHT EDGE ON TANGENT LINES OR GRADES. IF DEVIATIONS GREATER THAN 3/16" ARE FOUND THE WORK WILL BE CONSIDERED AS UNACCEPTABLE AND WILL BE REQUIRED TO BE REMOVED AND REPLACED AT NO EXPENSE TO THE OWNER.
 - CONCRETE CURING SHALL BE PERFORMED BY APPLYING A MEMBRANE CURING COMPOUND (TYPE 2, WHITE PIGMENTED, MNDOT 3754) TO THE EXPOSED SURFACE OF THE CONCRETE WITHIN ONE (1) HOUR AFTER FINISHING THE CONCRETE SURFACES, WHEN THE FORMS ARE REMOVED IN LESS THAN 72 HOURS AFTER PLACING THE CONCRETE. THE CURING COMPOUND SHALL BE APPLIED IMMEDIATELY TO THE EXPOSED SURFACES, OR THE TRENCHES SHALL BE BACKFILLED IMMEDIATELY WITH SUITABLE BACKFILL MATERIAL. THE RATE OF APPLICATION OF CURING COMPOUND SHALL BE 150 SQUARE FEET PER GALLON. THE COMPOUND SHALL APPEAR AS WHITE AS A SHEET OF PAPER AFTER APPLICATION ON THE CONCRETE SURFACE.
 - PREPARED EXPANSION JOINTS SHALL MEET MNDOT 3702, AND SHALL BE PROVIDED AT THE FOLLOWING LOCATIONS: AT THE BEGINNING AND END OF ALL CURB AND GUTTER RAILS, WHERE NEW CONCRETE SURROUNDS, ADJUNCTIONS, OR ABUTS ANY EXISTING FIXED OBJECTS SUCH AS FIRE HYDRANTS, BUILDING FOUNDATIONS, CONCRETE DRIVEWAYS, SIDEWALKS, AND OTHER RIGID STRUCTURES. AFTER EACH LOAD OF CONCRETE WHEN PLACING CURB AND EVERY 100 FEET WHEN PLACING SIDEWALK. CONTRACTION JOINTS WILL NOT BE SEALED BUT WILL BE REQUIRED AT A SPACING OF 10 FEET ON CURB AND GUTTER AND ON SIDEWALK CONSTRUCTION AS SHOWN ON THE PLAN. CONTRACTION JOINTS WILL BE CUT TO A DEPTH 1/3 THE THICKNESS OF THE CONCRETE. SURFACE AND BACK OF ALL CURBS, CONTRACTION JOINTS SHALL BE PLACED SO THAT NO SLAB IS LARGER THAN 100 SQUARE FEET IN AREA. THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTING CONTRACTION JOINTS THAT PREVENT CONCRETE FROM CRACKING AT OTHER LOCATIONS.
 - CONCRETE TESTING INCLUDING SLUMP, AIR ENTRAINMENT, TEMPERATURE AND COMPRESSIVE STRENGTH SHALL BE PERFORMED ON THE FIRST LOAD OF THE DAY FOR ALL CONCRETE POURS OF AT LEAST 4 CUBIC YARDS. AN ADDITIONAL TEST SHALL BE PERFORMED FOR EACH 100 CUBIC YARDS OR PORTION THEREOF.
 - AGGREGATE BASE FINAL SHAPING AND COMPACTION OF THE AGGREGATE BASE SHALL BE DONE JUST PRIOR TO CONSTRUCTION OF THE PLANT MIX BITUMINOUS SURFACE. THE FINISHED SURFACE OF THE BASE SHALL SHOW NO VARIATION GREATER THAN 1/2 INCH FROM A TEN (10) FOOT STRAIGHT EDGE.
 - PLANT MIXED BITUMINOUS MIXTURE SHALL BE SPREAD WITHOUT SEGREGATION, AT THE SPECIFIED RATE TO THE CROSS SECTION SHOWN IN THE PLANS AND PER MNDOT 3151.
 - THE THICKNESS OF EACH BITUMINOUS COURSE SHALL BE WITHIN 1/4 INCH OF THE THICKNESS AS SHOWN ON THE PLANS. THE TOTAL THICKNESS OF ALL BITUMINOUS COURSES SHALL BE WITHIN 1/2 INCH.
 - ADJUST ALL SURFACE COURSES TO NOT GREATER THAN 1/4" ABOVE ADJACENT CURB FRONT EDGES WHERE WATER FLOWS TO CURB, AND FLUSH WHERE WATER FLOWS AWAY FROM CURB, OR 1/4" ABOVE MANHOLE FRAMES, VALVE BOXES OR OTHER FIXED STRUCTURES.
 - PRIOR TO CONSTRUCTING THE BITUMINOUS BINDER AND/OR WEARING COURSES, THE CONTRACTOR SHALL SWEEP THE PARKING LOT. THE SWEEPER SHALL BE A SELF-PROPELLED PICK-UP (WITH WATER) SWEEPER. A SIDE-THROW SWEEPER WILL NOT BE ALLOWED.
 - TACK COAT SHALL CONFORM TO MNDOT 2357.2.A.
 - BITUMINOUS PAVEMENTS SHALL BE COMPACTED TO 92% OF THE MAXIMUM THEORETICAL DENSITY. THE OWNER MAY AT THEIR OPTION PERFORM AGGREGATE AND BITUMINOUS TESTING. THE COST OF ALL FAILING TESTS MAY BE BACK-CHARGED TO THE CONTRACTOR.





Minneapolis
Park & Recreation Board

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DOCUMENTS ISSUED:

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REVISIONS:

DATE	DESCRIPTION
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REGISTRATION:

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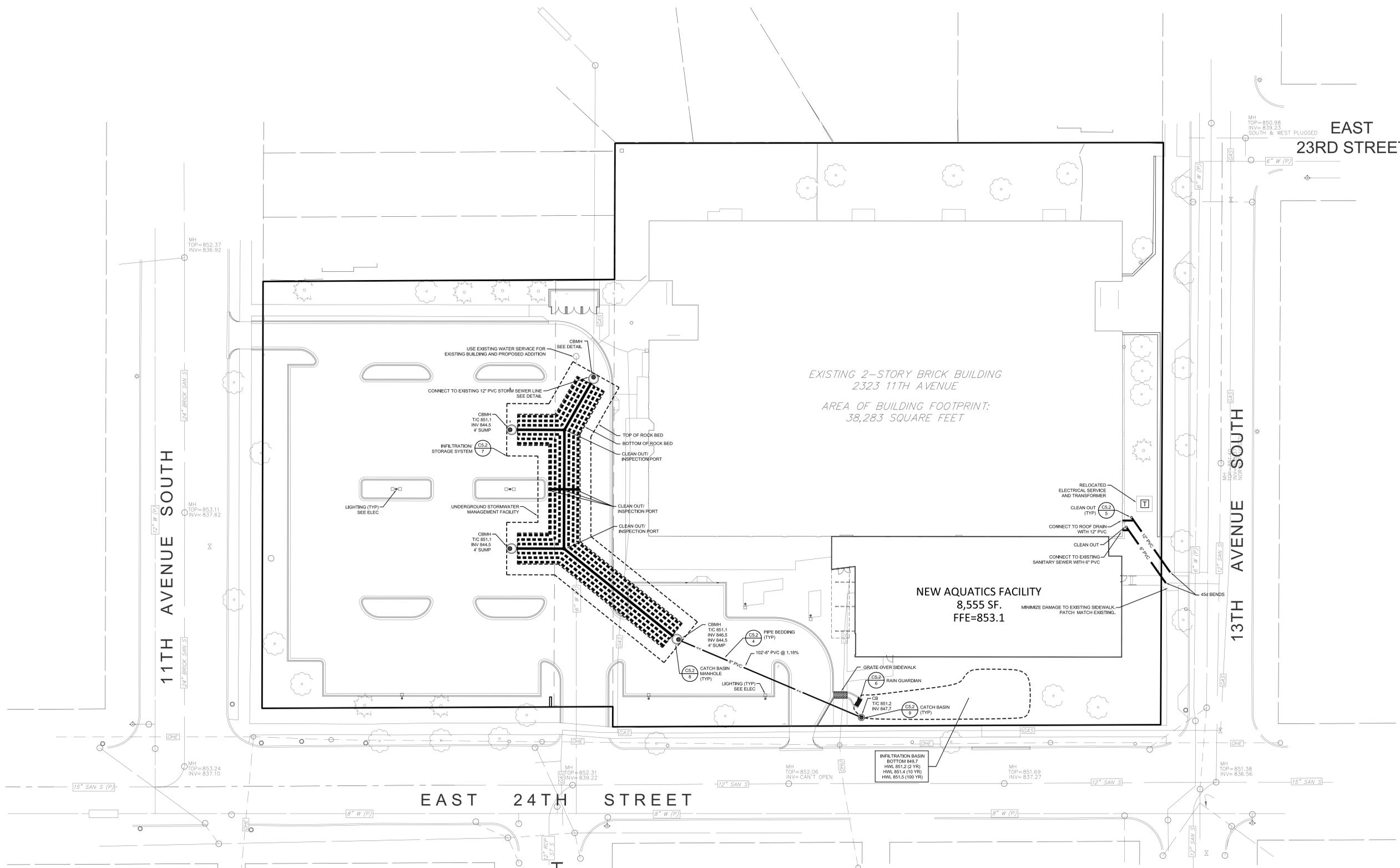
Stephen M. Johnston, PE
License No: 18914 Date: 10/23/15

UTILITY PLAN

GRAPHIC NO.	1331.00
SCALE:	1" = 20'-0"
DATE:	10/23/15
DRAWN:	PS



C401



UTILITY NOTES

- BACKGROUND INFORMATION AND TOPOGRAPHIC SURVEY FOR RECONSTRUCTION AREA PROVIDED BY SUNDE LAND SURVEYING, BLOOMINGTON, MINNESOTA ON AUGUST 3, 2015, EXPRESSLY FOR THIS PROJECT. ELAN DESIGN LAB CANNOT GUARANTEE THE ACCURACY OR COMPLETENESS OF THIS INFORMATION. VERIFY ALL FIELD CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. IF ANY DISCREPANCIES OR UNKNOWN UTILITIES ARE FOUND THAT IMPACT DESIGN OR IMPAIR CONSTRUCTION, THE ENGINEER AND OWNER SHOULD BE IMMEDIATELY NOTIFIED.
- VERIFY ALL CONNECTIONS TO EXISTING UTILITY SERVICES PRIOR TO CONSTRUCTION. ANY DISCREPANCIES BETWEEN LOCATED UTILITIES AND THE EXISTING CONDITIONS PLAN SHOULD BE NOTED AND FORWARDED TO THE ENGINEER.
- CONTRACTOR TO PROVIDE ADEQUATE MEANS AND METHODS TO ASSURE ADJACENT PROPERTY IS NOT DAMAGED DURING UTILITY INSTALLATION.
- PIPE LENGTHS SHOWN ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
- UTILITY SERVICE LOCATIONS WITHIN BUILDING ARE SHOWN CORRECT AS OF THE DATE OF THIS PLAN. THE CONTRACTOR SHALL VERIFY LOCATIONS BY COMPARING THIS PLAN WITH THE MECHANICAL PLANS PRIOR TO ANY UTILITY CONSTRUCTION.
- PIPE MATERIALS: (TO BE VERIFIED)

SAN SEWER	PVC SDR 26
STORM SEWER	PVC
UNDERGROUND DETENTION	CMP, HDPE, OR PVC
- ALL UTILITY CONSTRUCTION TO CONFORM WITH STATE, CITY ENGINEER'S ASSOCIATION OF MINNESOTA (CEAM), AND CITY OF MINNEAPOLIS STANDARD SPECIFICATIONS.
- ADJUST ALL STRUCTURES, PUBLIC AND PRIVATE, TO PROPOSED GRADES WHERE DISTURBED. COMPLY WITH ALL REQUIREMENTS OF UTILITY OWNERS. STRUCTURES BEING RESET TO PAVED AREAS TO MEET OWNERS REQUIREMENTS FOR TRAFFIC LOADING.
- COORDINATE WITH ELECTRIC CONTRACTOR TO PROVIDE CONDUITS AS NECESSARY FOR SITE LIGHTING. SEE ELECTRICAL PLAN FOR ADDITIONAL SITE ELECTRICAL INFORMATION.
- THE PRIMARY ELECTRIC TRANSFORMER AND METER IS PROVIDED AND INSTALLED BY XCEL ENERGY. THE SECONDARY ELECTRIC SHALL BE INSTALLED FROM MECHANICAL ROOM TO THE TRANSFORMER AND IS THE RESPONSIBILITY OF THE CONTRACTOR.
- COORDINATE TELEPHONE WITH QWEST TO PROVIDE SERVICE. CONTRACTOR TO PROVIDE A 3" PVC CONDUIT WITH PULL-STRING FROM EXISTING SERVICE TO THE BUILDING.
- COORDINATE INSTALLATION OF NEW GAS SERVICE WITH CENTER POINT ENERGY AT (612) 321-4838. NEW SERVICE TO BE INSTALLED AFTER THE SLAB/FOUNDATION IS COMPLETED BUT PRIOR TO INSTALLATION OF GRAVEL BASE FOR SIDEWALK. THE GAS METER WILL BE SUPPLIED BY CENTER POINT ENERGY. THE CONTRACTOR IS RESPONSIBLE FOR THE GAS SERVICE FROM THE METER TO THE MECHANICAL ROOM.
- PROVIDE LANDSCAPE SLEEVE PER IRRIGATION PLAN PREPARED BY LANDSCAPE CONTRACTOR. EXTEND SLEEVES 3' BEYOND THE EDGE CURB OR PAVEMENT.



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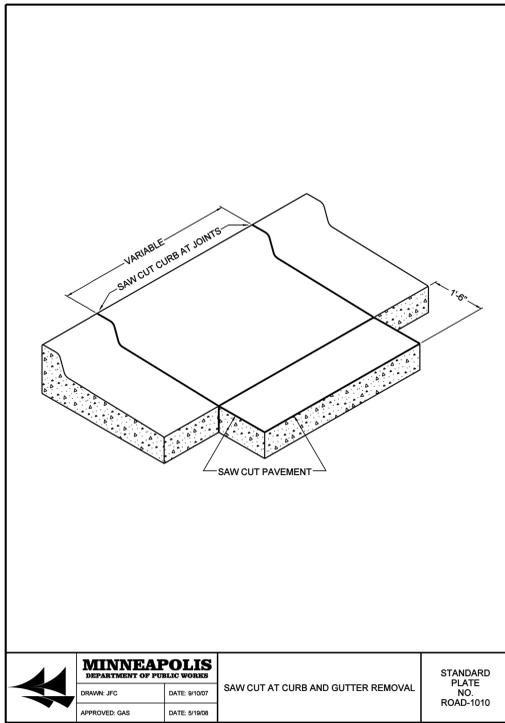
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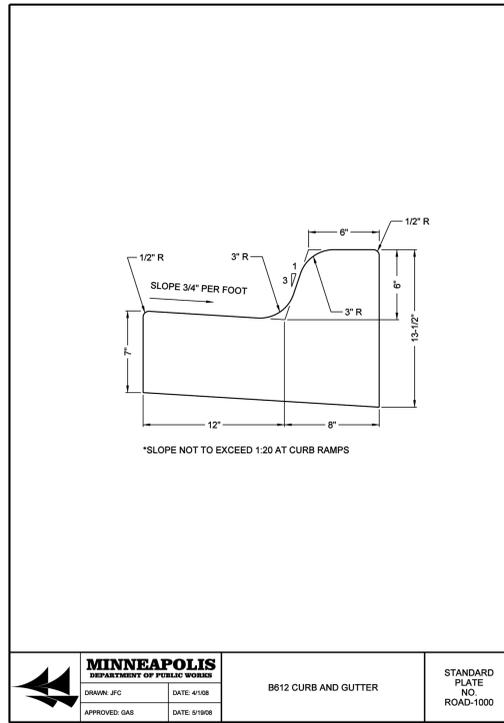
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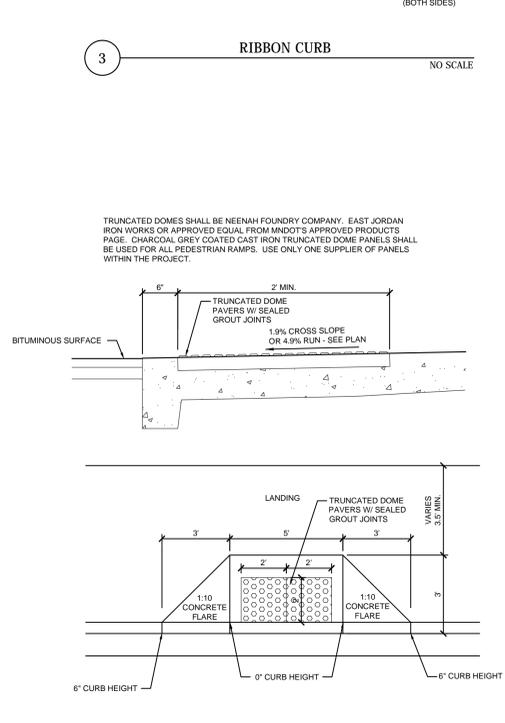
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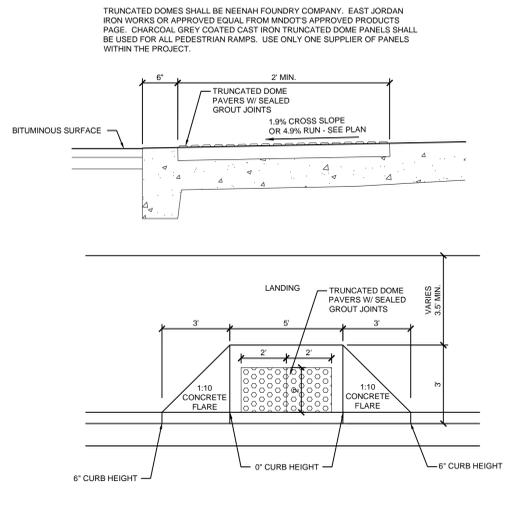
1 SAW CUT AT CURB AND GUTTER REMOVAL
NO SCALE



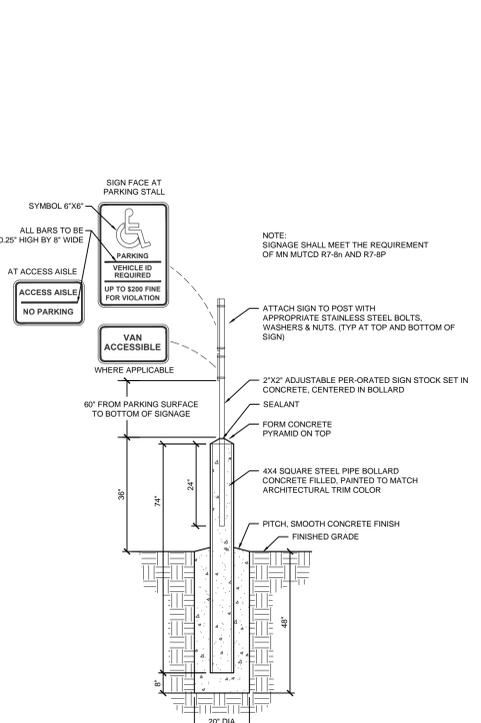
2 B612 CONCRETE CURB & GUTTER
NO SCALE



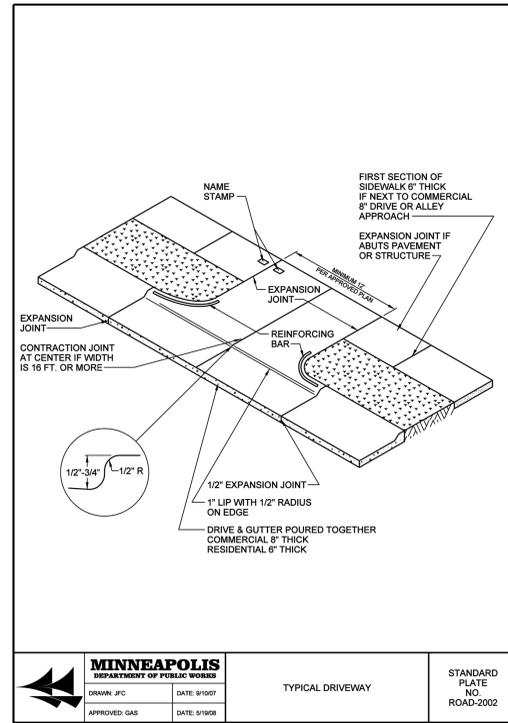
3 RIBBON CURB
NO SCALE



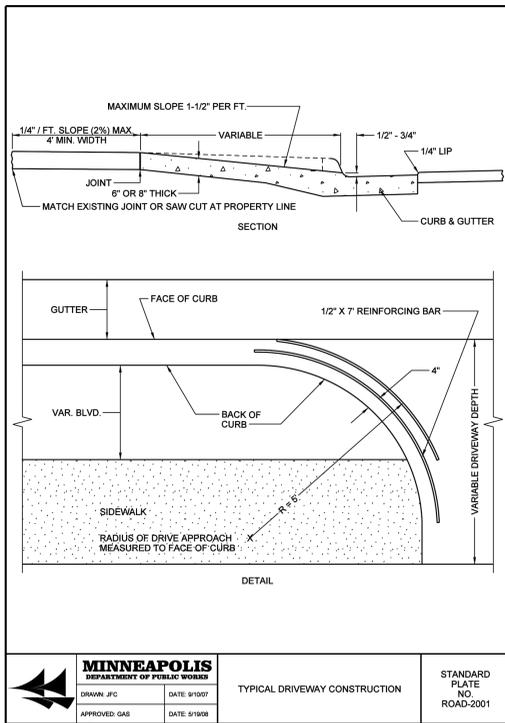
4 ACCESSIBILITY CURB RAMP
NO SCALE



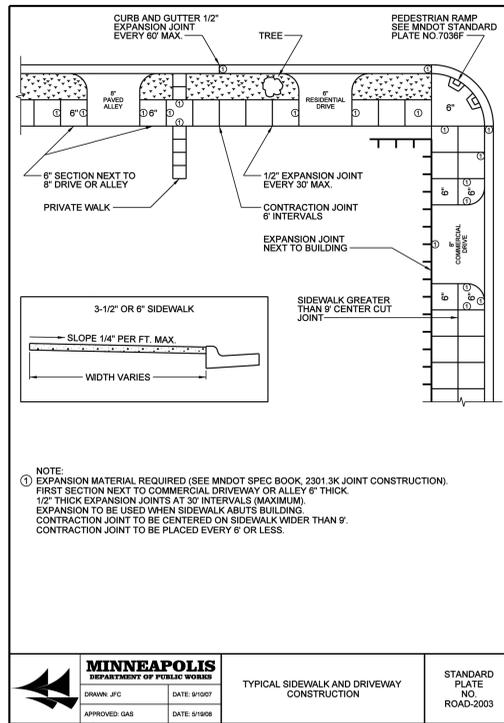
5 ACCESSIBILITY SIGNAGE
NO SCALE



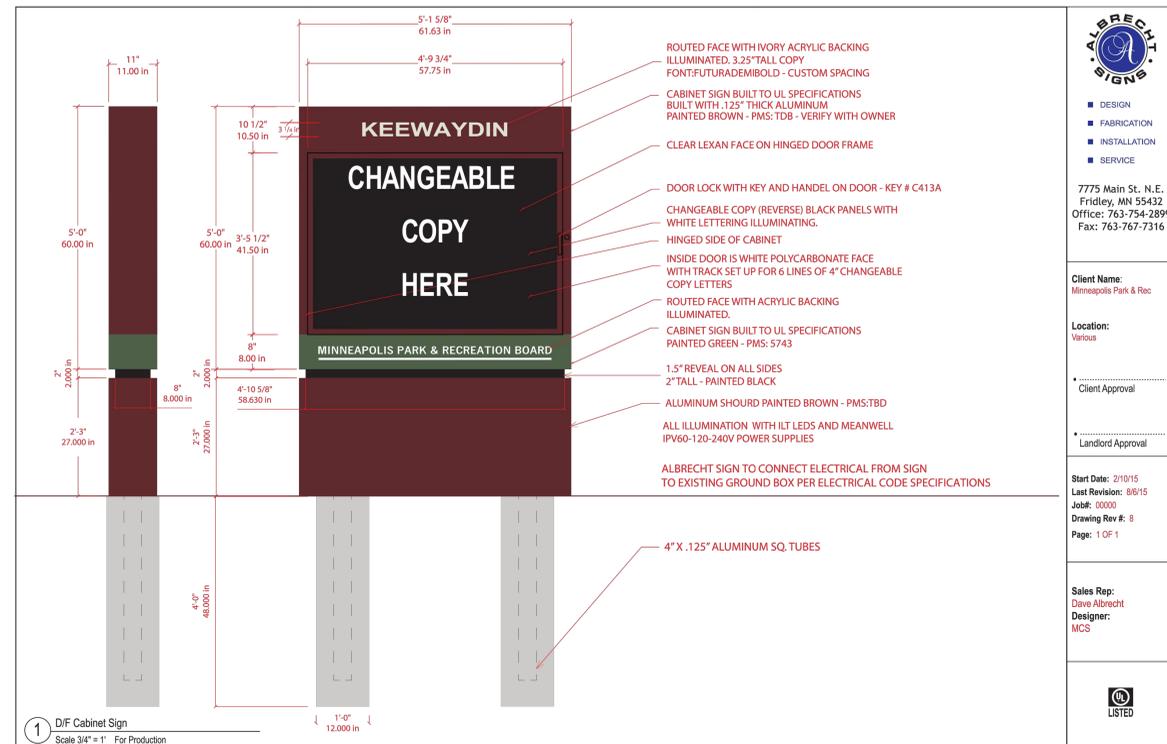
6 TYPICAL DRIVEWAY
NO SCALE



7 TYPICAL DRIVEWAY CONSTRUCTION
NO SCALE



8 TYPICAL SIDEWALK AND DRIVEWAY CONSTRUCTION
NO SCALE



9 SIGN MONUMENT
NO SCALE

DOCUMENTS ISSUED:

PDR SUBMITTAL
NOT FOR CONSTRUCTION

REVISIONS:

DATE	DESCRIPTION
------	-------------

REGISTRATION:

I hereby certify that this plan was prepared by me or under my direct supervision and I am a duly licensed Professional Engineer under the laws of the State of Minnesota.

Stephen M. Johnston, PE
License No: 18914 Date: 10/23/15

DETAILS

COMM. NO.	1331.00
SCALE	PER SHEET
DATE	10/23/15
DRAWN	PS



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GENERAL NOTES

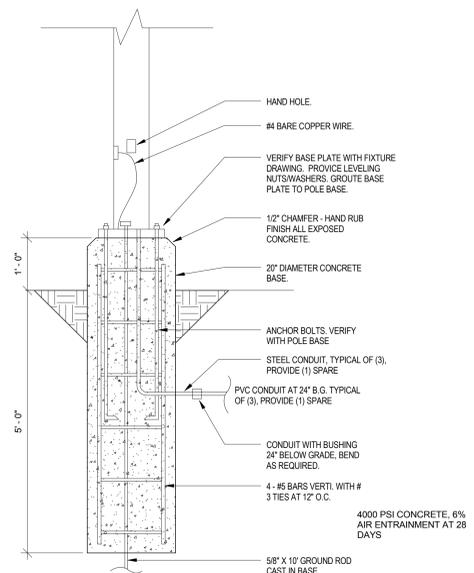
- A. CIRCUIT ALL ELECTRICAL DEVICES ON THIS PLAN TO PANEL HPI UNLESS NOTED OTHERWISE.
- B. COORDINATE WITH LANDSCAPE FOR EXACT LIGHT FIXTURE LOCATIONS.
- C. EXTERIOR LIGHTING TO BE CONTROLLED BY PHOTOCELL/TIMELOCK. SEE ARCHITECTURAL ELEVATIONS FOR EXACT LOCATIONS.
- D. SEE LIGHT FIXTURE SCHEDULE ON THIS SHEET.

KEYNOTES

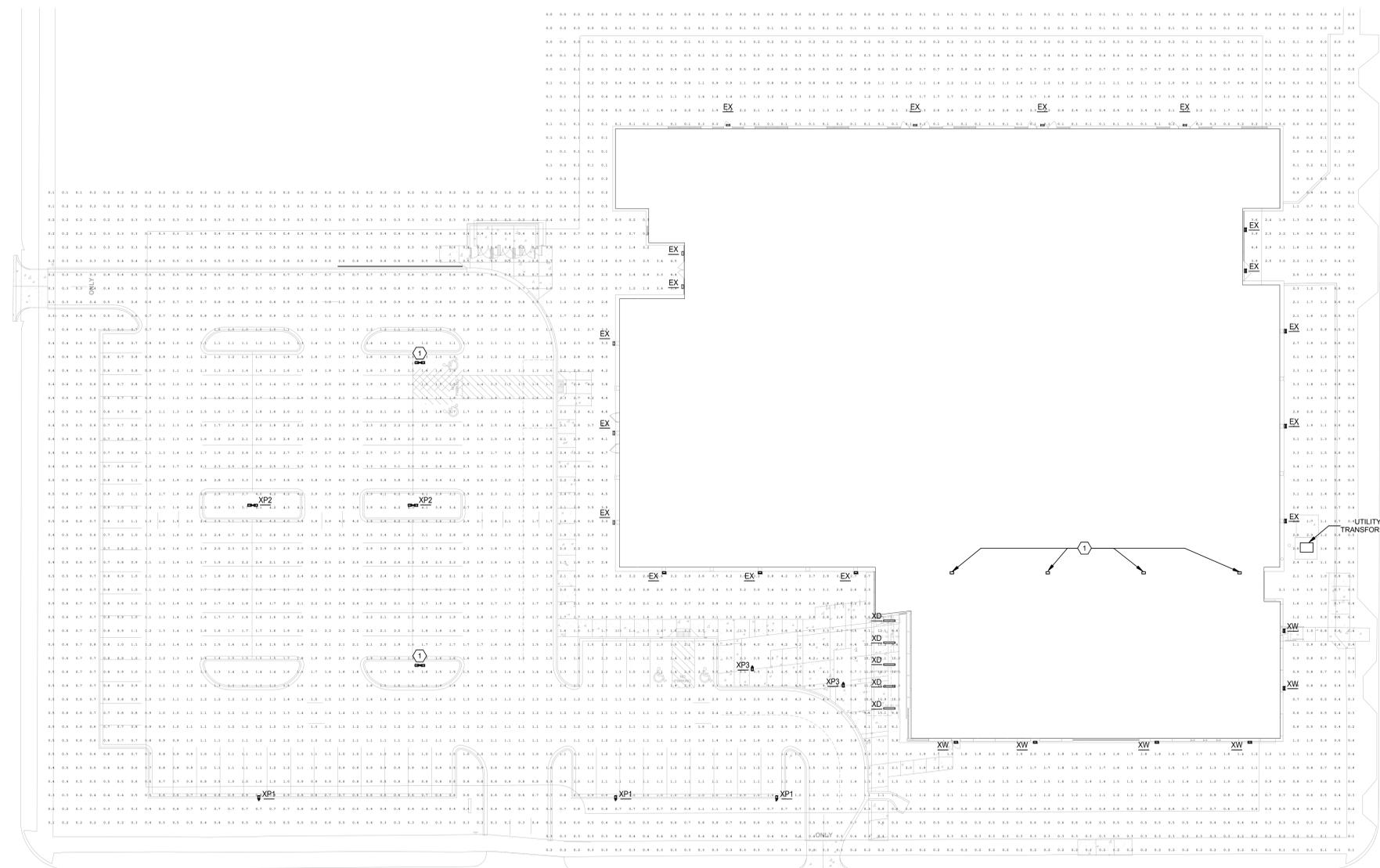
- ① DISCONNECT & REMOVE EXISTING WALL MOUNTED LIGHTING.

LIGHT FIXTURE SCHEDULE

ID	FIXTURE TYPE	MOUNTING TYPE	VOLTAGE	LAMPS	DESCRIPTION	MANUFACTURER CATALOG NUMBER	NOTES
EX	EXISTING LIGHTING TO REMAIN		277 V				
XD	4' WET LOCATION SURFACE CANOPY LIGHT	SURFACE	277 V	LED, 4000K	500 LUMENS, FINISH TO BE DETERMINED, SATIN LENS	AXIS LIGHTING BEAM SERIES	
XP1	SINGLE HEAD SQUARE POLE MOUNTED LIGHT	POLE	480 V	30C LED, 4000K	TYPE 3 MEDIUM DISTRIBUTION, 30' POLE, MOTION SENSOR & BI-LEVEL 30% DIMMING	LITHONIA D-SERIES DSX1	
XP2	DUAL HEAD SQUARE POLE MOUNTED LIGHT	POLE	480 V	60C LED, 4000K	TYPE 4 MEDIUM DISTRIBUTION, 30' POLE, MOTION SENSOR & BI-LEVEL 30% DIMMING	LITHONIA D-SERIES DSX1	
XP3	SINGLE HEAD SQUARE POLE SIDEWALK LIGHT	POLE	480 V	30C LED, 4000K	TYPE 5 MEDIUM DISTRIBUTION, 10' POLE, MOTION SENSOR & BI-LEVEL 30% DIMMING	LITHONIA D-SERIES DSX1	
XW	EXTERIOR WALL SCENCE	WALL	277 V	1 LIGHT BAR LED	MCGRAW EDISON	(ST-E01-LED-E1-BL3-BK-7030)	



2 POLE BASE DETAIL
E001 NO SCALE



1 ELECTRICAL SITE PLAN WITH PHOTOMETRICS
E001 1" = 20'-0"

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REGISTRATION:

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Jeffrey A. Piehl
License No: 43926 Date:

ELECTRICAL
SITE PLAN WITH
PHOTOMETRICS

CDMA NO.	15094
SCALE:	As indicated
DATE:	10/23/15
DRAWN:	PTL

E001



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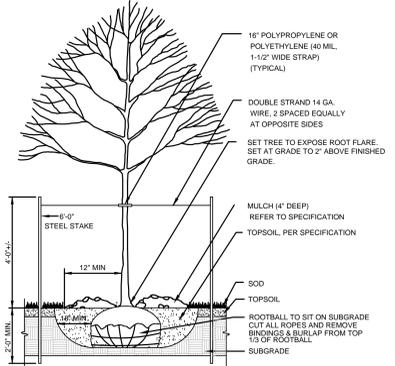
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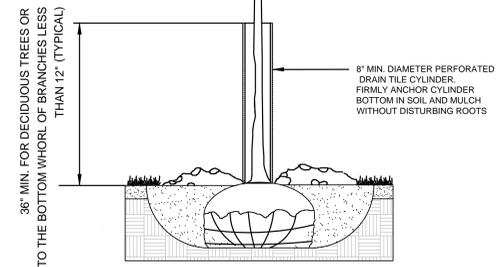
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- IT IS THE CONTRACTOR'S OPTION TO STAKE TREES; HOWEVER, THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING TREES IN A PLUMB POSITION THROUGHOUT THE GUARANTEE PERIOD.
- SCARIFY BOTTOM AND SIDES OF HOLE PRIOR TO PLANTING.
- DO NOT PLANT TOO DEEP. EXPOSE TOP OF ROOT FLARE AND PULL MULCH 6" AWAY FROM TRUNK.

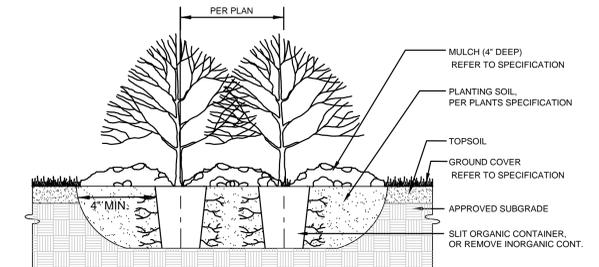


2 TREE PLANTING DETAIL
Scale: NTS

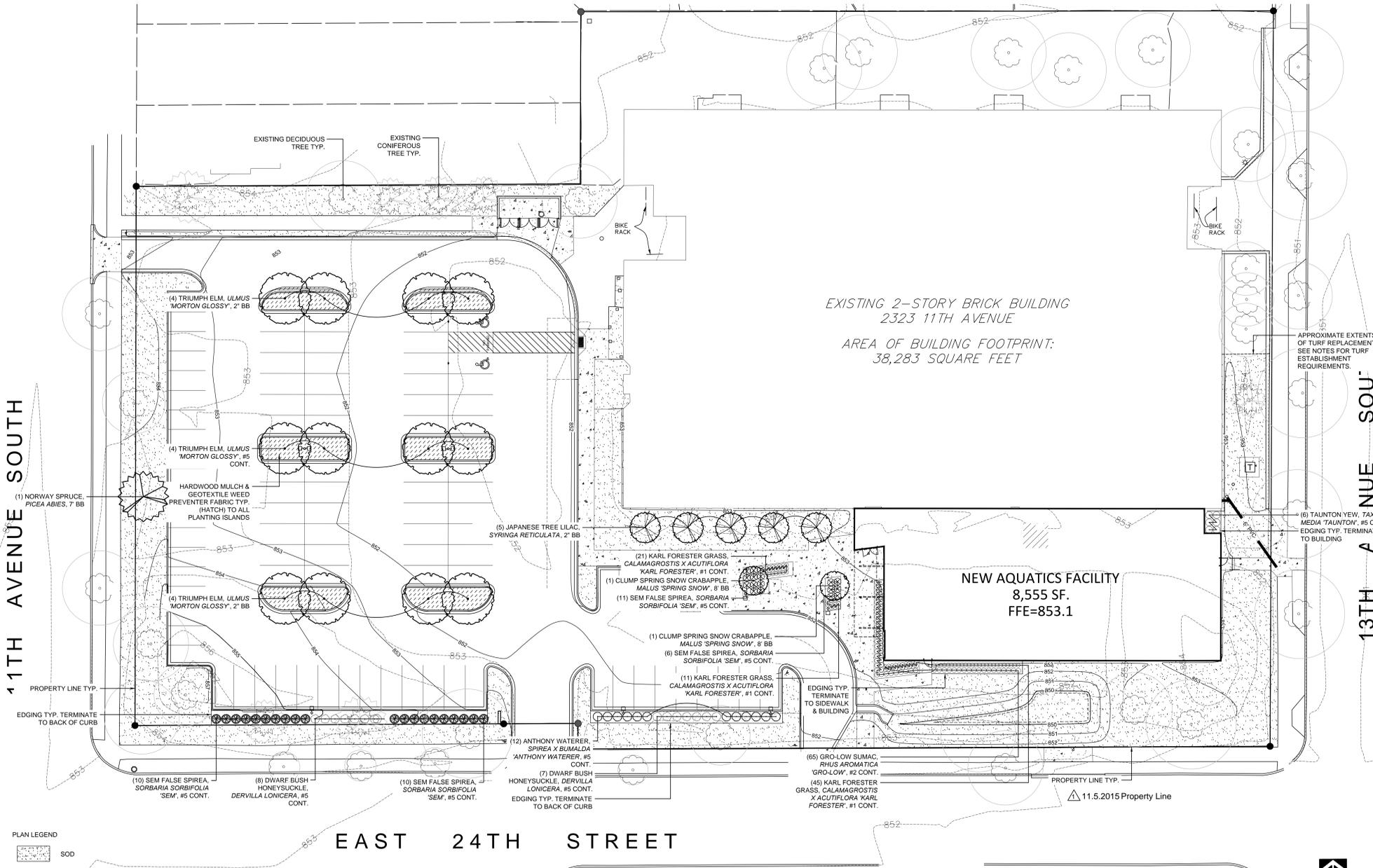


3 CRITTER PROTECTION
Scale: NTS

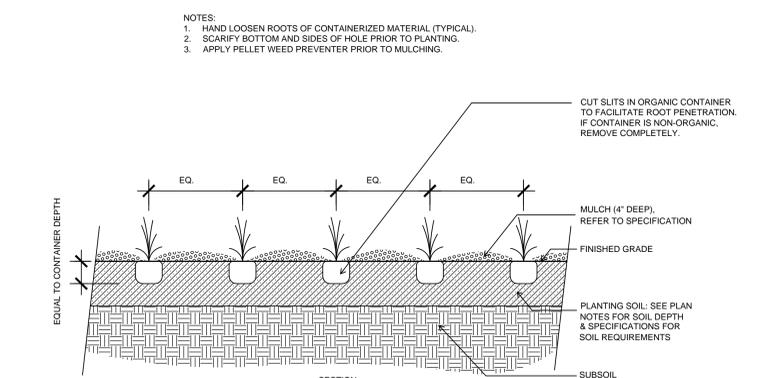
- HAND LOOSEN ROOTS OF CONTAINERIZED MATERIAL (TYPICAL).
- SCARIFY BOTTOM AND SIDES OF HOLE PRIOR TO PLANTING.
- SHRUBS TO SIT ON SUBGRADE.
- APPLY PELLET WEED PREVENTER PRIOR TO MULCHING.



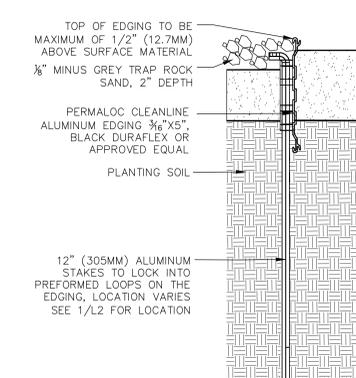
4 SHRUB PLANTING DETAIL
Scale: NTS



1 PLANTING PLAN
Scale: 1" = 20'



5 PERENNIAL PLANTING DETAIL
Scale: NTS



6 EDGING
Scale: NTS

PLANTING SCHEDULE (ALL PLANTINGS ARE WITHIN THE PROPERTY)

TREES		QUANTITY	SIZE
COMMON NAME / BOTANICAL NAME			
TRIUMPH ELM / ULMUS 'MORTON GLOSSY'	12	2" BB	
NORWAY SPRUCE / PICEA ABIES	1	7" BB	
JAPANESE TREE LILAC / SYRINGA RETICULATA	5	2" BB	
CLUMP SPRING SNOW CRABAPPLE / MALUS 'SPRING SNOW'	2	8" BB	
SHRUBS		QUANTITY	SIZE
COMMON NAME / BOTANICAL NAME			
DWARF BUSH HONEYSUCKLE / DERVILLA LONICERA	15	#5 CONT.	
SEM FALSE SPIREA / SORBARIA SORBIFOLIA 'SEM'	37	#5 CONT.	
GRO-LOW SUMAC / RHUS AROMATICA 'GRO-LOW'	65	#5 CONT.	
ANTHONY WATERER / SPIREA X BUMALDA 'ANTHONY WATERER'	12	#5 CONT.	
PERENNIALS		QUANTITY	SIZE
COMMON NAME / BOTANICAL NAME			
KARL FORESTER GRASS / CALAMAGROSTIS X ACUTIFLORA 'KARL FORESTER'	77	#1 CONT.	

NOTES

- CONFIRM ALL QUANTITIES, SHAPES AND LOCATIONS OF BEDS, AND ADJUST AS REQUIRED TO CONFORM TO THE SITE CONDITIONS. CONFIRM ANY ADJUSTMENTS WITH THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION CHANGE.
- LOCATE ALL UTILITIES. NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICTS WITH NEW CONSTRUCTION.
- THE CONTRACTOR SHALL REMOVE FROM THE SITE ALL SOD/TURF WHICH HAS BEEN REMOVED FOR NEW PLANT BEDS. ANY PLANT STOCK NOT PLANTED ON DAY OF DELIVERY SHALL BE HELED IN AND WATERED UNTIL INSTALLATION. PLANTS NOT MAINTAINED IN THIS MANNER WILL BE REJECTED.
- THE CONTRACTOR SHALL AVOID DAMAGING EXISTING TREES. DO NOT STORE OR DRIVE HEAVY MATERIALS OVER TREE ROOTS. DO NOT DAMAGE TREE BARK OR BRANCHES. DAMAGED TREES ARE SUBJECT TO REPLACEMENT AT THE CONTRACTOR'S EXPENSE. FINES MAY BE PLACED ON THE CONTRACTOR BASED ON THE CITY OF MINNEAPOLIS FORESTER'S DISCRETION AS A RESULT OF DAMAGE TO EXISTING TREES CAUSED BY THE CONTRACTOR OR CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR SHALL KEEP PAVEMENTS, FIXTURES AND BUILDINGS CLEAN AND UNSTAINED. ANY DAMAGE TO EXISTING FACILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. THE PROJECT SITE SHALL BE KEPT CLEAR OF CONSTRUCTION WASTES AND DEBRIS.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING SOIL QUANTITIES TO COMPLETE THE WORK SHOWN ON THE PLAN. MULCH, PLANTING SOIL AND OTHER MISCELLANEOUS PLANTING COMPONENTS SHALL BE CONSIDERED INCIDENTAL TO THE RELATED PLAN. VERIFY ALL QUANTITIES.
- CONTRACTOR IS RESPONSIBLE FOR WATERING AND ALL PLANT CARE UNTIL FINAL ACCEPTANCE BY THE OWNER.
- PLANT MATERIAL SHALL BE PROTECTED AND MAINTAINED UNTIL THE INSTALLATION OF PLANTINGS IS COMPLETE. INSPECTION HAS BEEN MADE AND PLANTING IS ACCEPTED EXCLUSIVE OF THE GUARANTEE.
- MAINTENANCE SHALL INCLUDE WATERING, WEEDING, MULCHING, REMOVAL OF DEAD MATERIAL PRIOR TO GROWING SEASON, RE-SETTING PLANTS AND PROPER GRADE, AND KEEPING PLANTS IN A PLUMB POSITION. AFTER ACCEPTANCE, THE OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES. HOWEVER, THE CONTRACTOR SHALL CONTINUE TO BE RESPONSIBLE FOR KEEPING THE TREES PLUMB THROUGHOUT THE GUARANTEE PERIOD.
- WATERING: MAINTAIN A WATERING SCHEDULE WHICH WILL THOROUGHLY WATER ALL PLANTS EVERY 4 DAYS AND SOD EVERY OTHER DAY UNTIL ACCEPTANCE BY THE OWNER. IN EXTREMELY HOT, DRY WEATHER, WATER MORE OFTEN AS REQUIRED BY INDICATIONS OF HEAT STRESS SUCH AS WILTING LEAVES OR BURNT SOD. CHECK MOISTURE UNDER MULCH PRIOR TO WATERING TO DETERMINE NEED. CONTRACTOR SHALL MAKE THE NECESSARY ARRANGEMENTS FOR WATER.
- ALL SODDED AREAS AND ALL DISTURBED AREAS ARE TO BE FILLED WITH 6" SANDY LOAM TOPSOIL BORROW MN DOT SPECIFICATION 3877.2D TO FINISHED GRADE AND SODDED. EXISTING SOILS MAY BE USED IF THEY MEET THE MN DOT SPECIFICATION. SEE CORRESPONDING SPECIFICATIONS FOR SOIL AND SOD REQUIREMENTS.
- THE CONTRACTOR SHALL INFORM THE PROJECT LANDSCAPE ARCHITECT OF THE DATES FOR SOD PLACEMENT FOR APPROVAL PRIOR TO THE PLACEMENT OF SOD.
- IF DISTURBED AREAS CANNOT BE SODDED DUE TO PERMISSIBLE SODDING DATES OR BY DETERMINATION BY THE PROJECT LANDSCAPE ARCHITECT THE CONTRACTOR SHALL APPLY GREEN COLORED TYPE 5 HYDROMULCH, SEE TURF & GRASSES SPECIFICATIONS FOR SODDING AND HYDROMULCHING REQUIREMENTS.
- FOR ALL PLANTING AREAS INCLUDING SHRUB AND PERENNIAL BEDS AND PARKING LOT ISLAND PLANTING AREAS:
 - THE CONTRACTOR SHALL PROVIDE 18" OF ROOTING TOPSOIL BORROW MN DOT SPECIFICATION 3877.2E.
 - THE CONTRACTOR SHALL PROVIDE 4" OF MN DOT TYPE 6 HARDWOOD MULCH MN DOT SPECIFICATION 3882.2F.
- ALL DAMAGE AS A RESULT OF INSTALLING PLANT MATERIAL TO EXISTING CONDITIONS SHALL BE REPAIRED AND CONSIDERED INCIDENTAL TO THE PLANTING WORK.

DOCUMENTS ISSUED:

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REVISIONS:

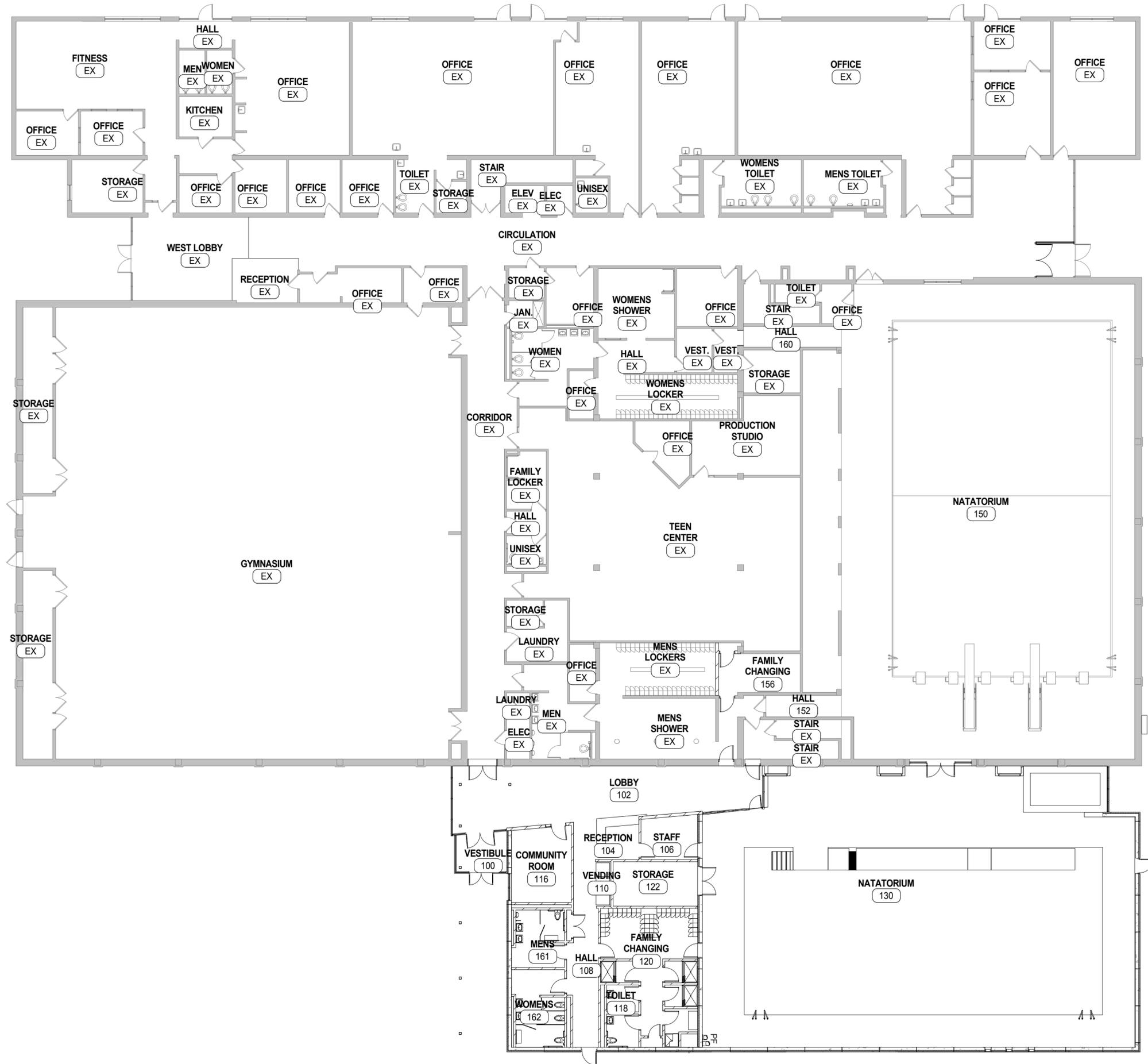
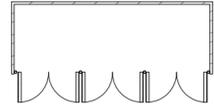
DATE	DESCRIPTION
11.5.2015 Property Line	

REGISTRATION:

I hereby certify that this plan was prepared by me or under my direct supervision and I am a duly licensed Landscape Architect under the laws of the State of Minnesota.

Carlos Fernandez
License No: 45414 Date: 10/23/15

COMM. NO. 1331.00
SCALE:
DATE: 10/23/15
DRAWN: C/JF





Minneapolis
Park & Recreation Board

**Phillips Community
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DOCUMENTS ISSUED:

**ISSUED FOR
CITY SUBMITTAL
10/23/15**

**NOT FOR
CONSTRUCTION**

REVISIONS:

#	DATE	DESCRIPTION
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2		

REGISTRATION:

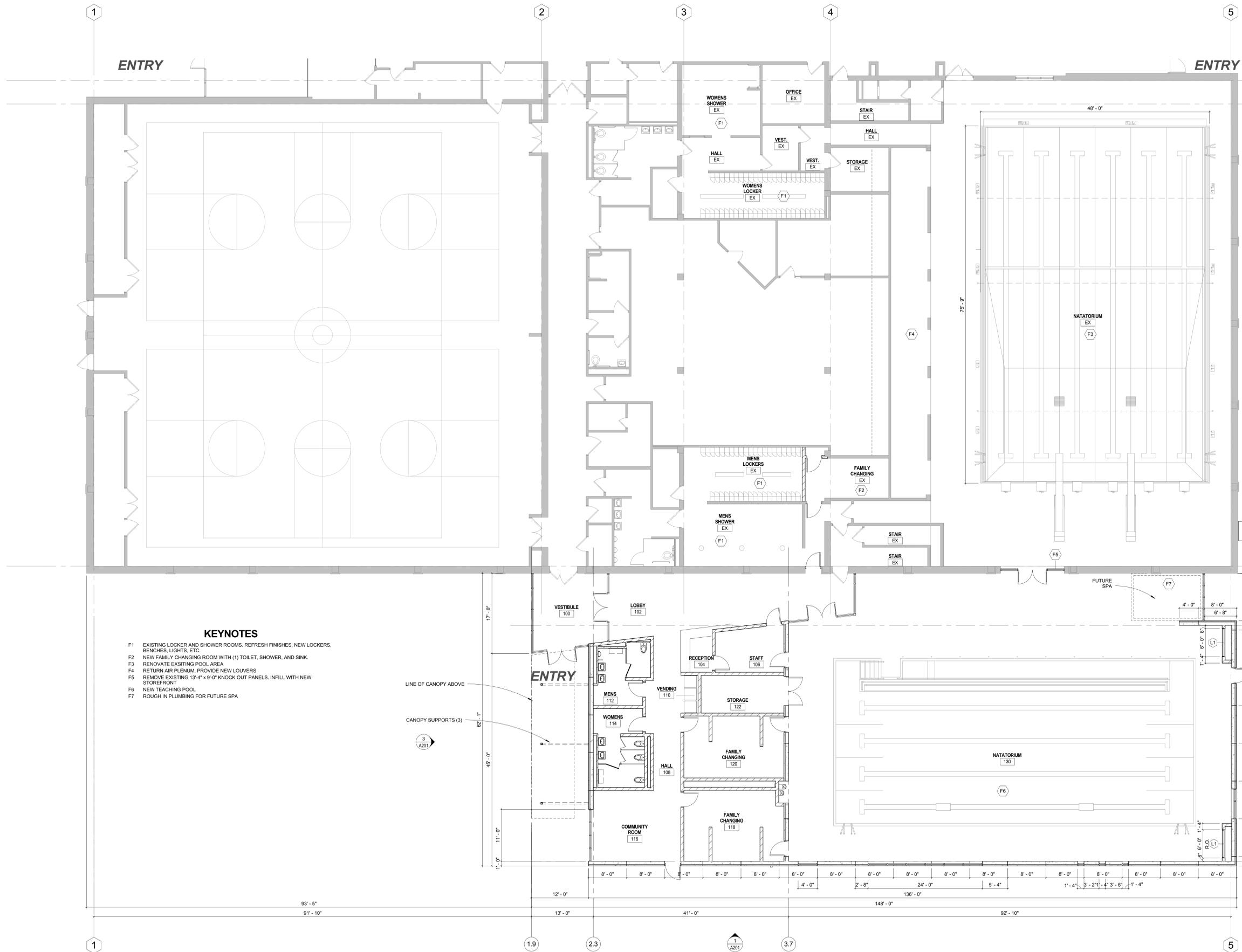
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and I am a duly licensed Architect under the laws of the State of Minnesota.

Linda McCracken-Hunt, FAIA
License No: 15430 Date:

**MAIN FLOOR
PLAN**

CDMA NO.	1331.00
SCALE:	1/8" = 1'-0"
DATE:	10/23/15
DRAWN:	SDW

A101

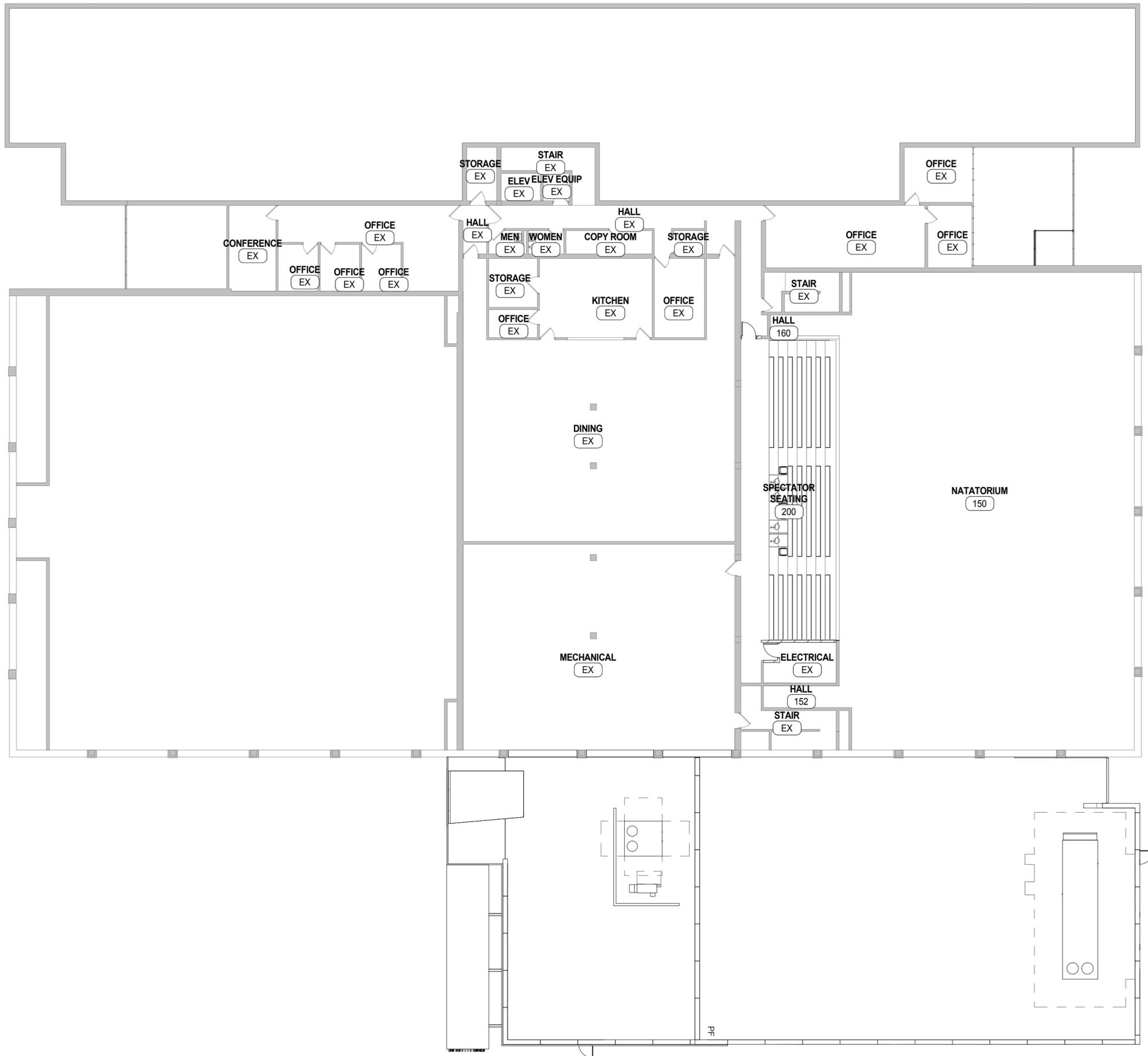


- KEYNOTES**
- F1 EXISTING LOCKER AND SHOWER ROOMS. REFRESH FINISHES, NEW LOCKERS, BENCHES, LIGHTS, ETC.
 - F2 NEW FAMILY CHANGING ROOM WITH (1) TOILET, SHOWER, AND SINK.
 - F3 RENOVATE EXISTING POOL AREA
 - F4 RETURN AIR FLENUM. PROVIDE NEW LOUVERS
 - F5 REMOVE EXISTING 13'-4" x 9'-0" KNOCK OUT PANELS. INFILL WITH NEW STOREFRONT
 - F6 NEW TEACHING POOL
 - F7 ROUGH IN PLUMBING FOR FUTURE SPA

LINE OF CANOPY ABOVE
CANOPY SUPPORTS (3)

1 FLOOR PLAN - MAIN LEVEL
1/8" = 1'-0"

10/23/2015 2:12:52 PM





Minneapolis
Park & Recreation Board

**Phillips Community
Center Aquatics Facility**

2323 11th Avenue South
Minneapolis, MN 55404
T: 763.367.7600

PROJECT DIRECTORY:

STUDIO FIVE
architects
322 First Avenue North, Suite 600
Minneapolis, MN 55401-1348
T: 612.339.0655



Nelson-Rudie Engineers
Mechanical, Electrical & Structural Engineering
9100 49th Ave. N.
Minneapolis, MN 55428
T: 763.367.7600



USAquatics
Aquatic Design Consultants
124 Bridge Ave. E.
Delano, MN 55328
T: 763.972.5897



Elan Design Lab
Civil Engineers
901 North 3rd Street, Suite 120
Minneapolis, MN 55401
T: 612.260.7980



Aune Fernandez Landscape Architects
Landscape Architecture & Design
705 Raymond Ave. Suite 200
Saint Paul, MN 55114
T: 651.341.361



Judd Allen Group
Thermal Modeling
6110 Blue Circle Dr. Ste. 239
Minnetonka, MN 55343
T: 952.224.5050

DOCUMENTS ISSUED:

**ISSUED FOR
CITY SUBMITTAL
10/23/15**

**NOT FOR
CONSTRUCTION**

REVISIONS:

#	DATE	DESCRIPTION
2	10/23/15	REVISED FOR CITY SUBMITTAL

REGISTRATION:

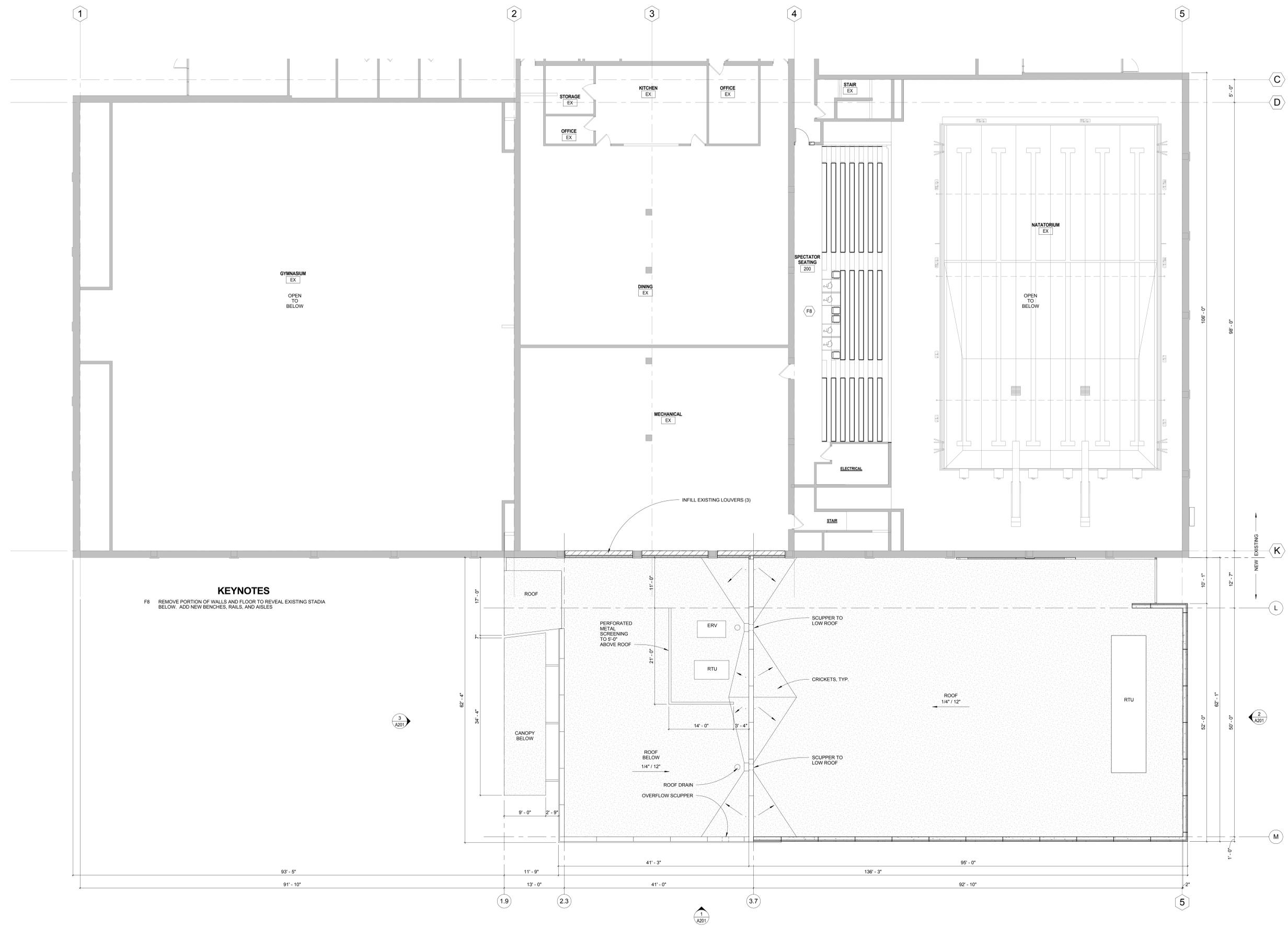
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and I am a duly licensed Architect under the laws of the State of Minnesota.

Linda McCracken-Hunt, FAIA
License No: 15430 Date:

**UPPER FLOOR
PLAN**

CDMA NO.	1331.00
SCALE:	1/8" = 1'-0"
DATE:	10/23/15
DRAWN:	SDW

A102



KEYNOTES

F8 REMOVE PORTION OF WALLS AND FLOOR TO REVEAL EXISTING STADIA BELOW. ADD NEW BENCHES, RAILS, AND AISLES

1 FLOOR PLAN - UPPER LEVEL
1/8" = 1'-0"



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**BUILDING
ELEVATIONS**

CDR# NO.	1331.00
DATE	11/06/15

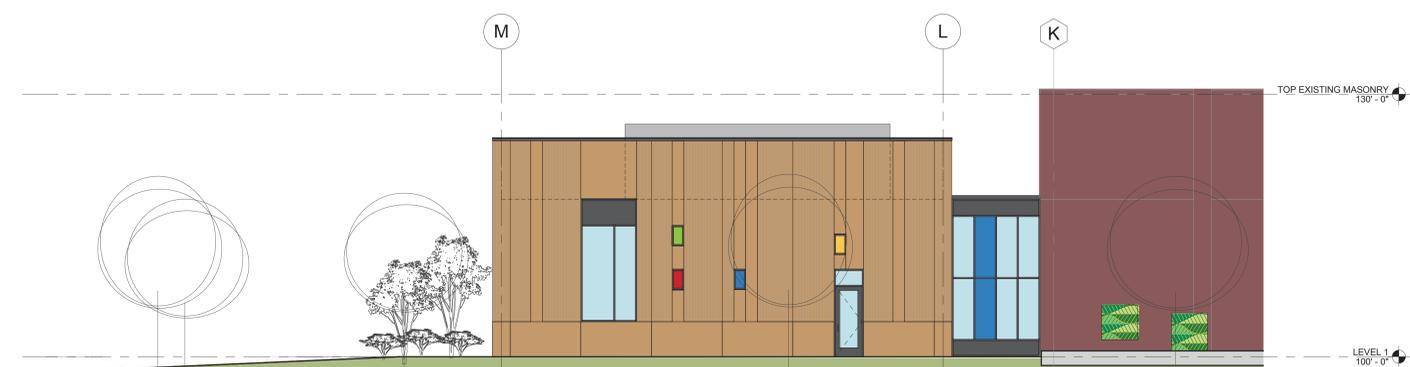
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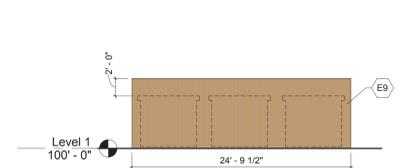
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1/8" = 1'-0"



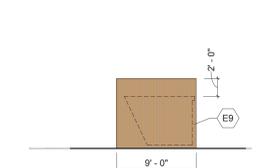
3 WEST ELEVATION
1/8" = 1'-0"



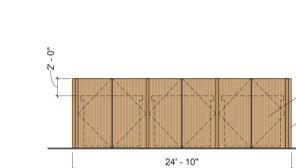
2 EAST ELEVATION
1/8" = 1'-0"



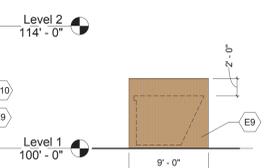
4 TRASH ENCLOSURE - NORTH
1/8" = 1'-0"



5 TRASH ENCLOSURE - EAST
1/8" = 1'-0"



6 TRASH ENCLOSURE - SOUTH
1/8" = 1'-0"



7 TRASH ENCLOSURE - WEST
1/8" = 1'-0"

KEYNOTES

- E1 INSULATED PRECAST PANEL
- E2 PREFINISHED METAL
- E3 ALUMINUM STOREFRONT
- E4 PAINTED STEEL CANOPY STRUCTURE
- E5 PREFINISHED METAL COPING
- E6 COLORED GLAZING
- E8 METAL SPANREL PANEL
- E9 WOOD TRASH ENCLOSURE
- E10 WOOD SLATS ON STEEL FRAME GATE
- E11 EIFS
- E12 PERFORATED PREFINISHED METAL SCREENING
- E13 INTERNALLY ILLUMINATED SIGNAGE, COPY TO BE DETERMINED
- E14 SIGNAGE, COPY TO BE DETERMINED
- E15 MECHANICAL EQUIPMENT
- E16 ELECTRICAL DISCONNECT
- E17 ELECTRICAL TRANSFORMER
- E18 ROOF LINE BEHIND PARAPET



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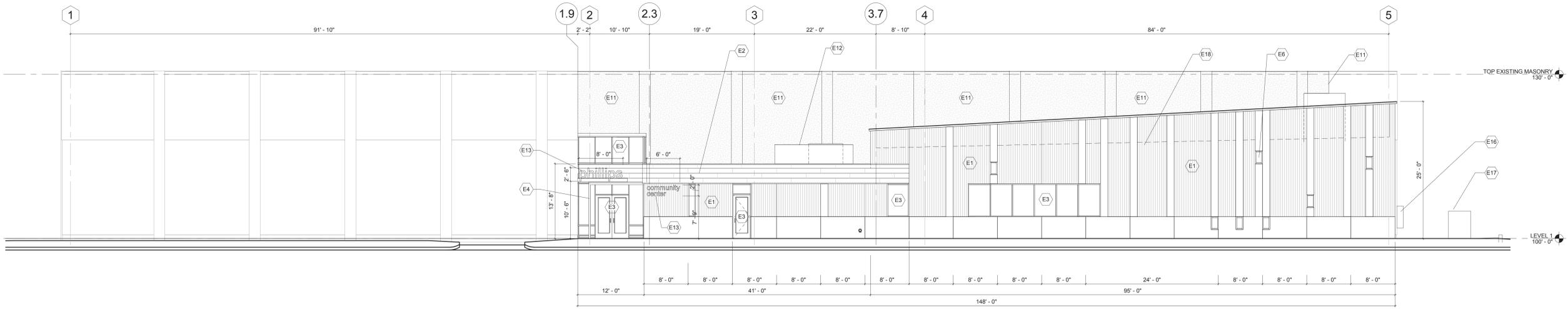
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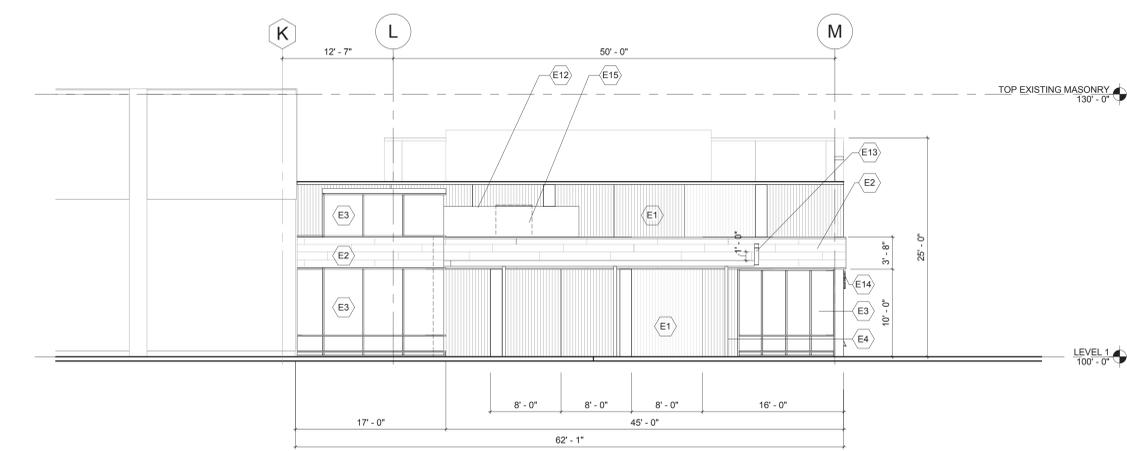
**BUILDING
ELEVATIONS**

CSBM NO. 1331.00
DATE: 11/06/15

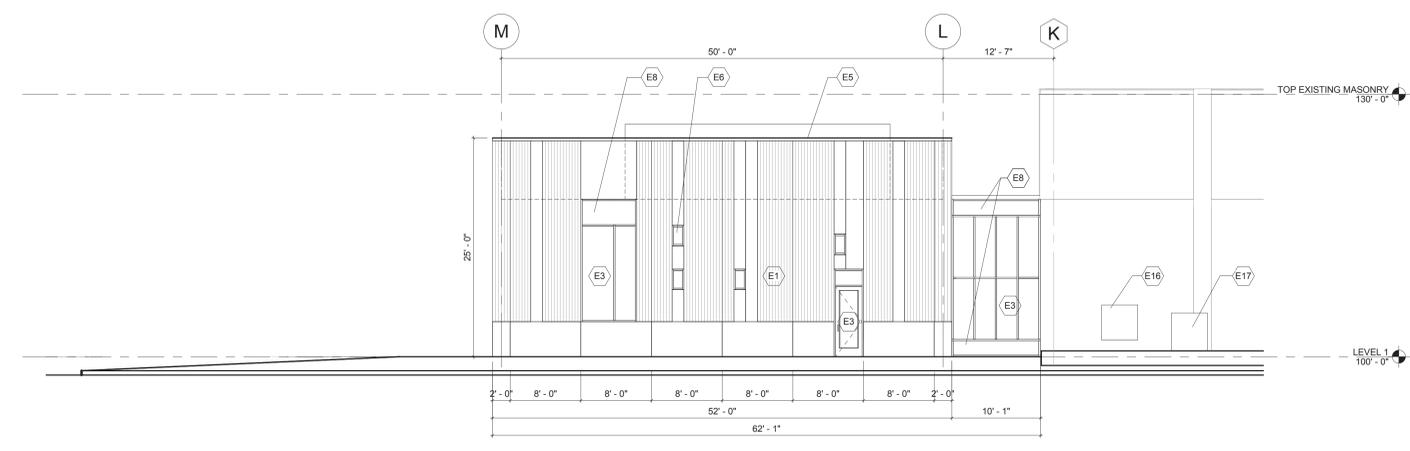
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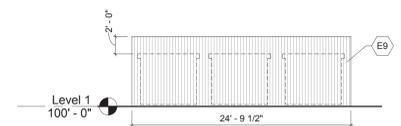
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1/8" = 1'-0"



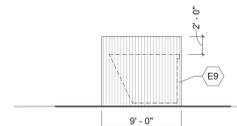
3 WEST ELEVATION
1/8" = 1'-0"



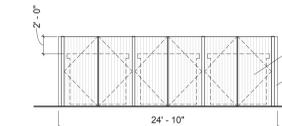
2 EAST ELEVATION
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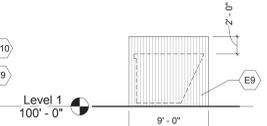
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**Minneapolis
Park & Recreation Board**

Administrative Offices
2117 West River Road
Minneapolis, MN 55411-2227

Operations Center
3800 Bryant Avenue South
Minneapolis, MN 55409-1000

Phone
612-230-6400

Fax
612-230-6500

www.minneapolisparcs.org

October 22, 2015

Adbi Warsame, Council Member
Minneapolis City Hall, Room 307
350 South 5th Street
Minneapolis, MN 55415

Re: Phillips Community Center Aquatics Facility – Proposed Project

Dear Council Member Warsame:

The Minneapolis Park and Recreation Board (MPRB) is proposing a renovation and addition for a new aquatics facility at the Phillips Community Center located at 2323 11th Avenue South. This project is a result of a great deal of community involvement thus far and is financially supported from the State of Minnesota, MPRB, Hennepin County, Minneapolis Public Schools, the immediate neighborhood organizations, and multiple other funders coordinated by Minneapolis Swims. The project budget totals \$5,466,000.

The existing pool in the Phillips Community Center was closed in 2008. The renovation and addition of the Phillips Community Center Aquatics Facility will result in two pools that can serve a variety of needs, from learn-to-swim programs to competitive swim meets.

Renovated space in the existing Phillips Community Center proposed:

- Renovation of the existing 6-lane pool and natatorium,
- Renovation of the abandoned locker and shower facilities,
- New of family changing rooms, and
- Restoration of the original spectator seating area

The new addition proposes:

- 4-lane teaching pool with ramped entry and infrastructure to support a future spa/hot tub,
- Two locker/changing rooms to serve a variety of needs from general locker rooms to families to swim teams,
- Lobby, reception area, staff area, administrative and support spaces,
- Small community room, and
- Public toilets

President
Liz Wielinski

Vice President
Scott Vreeland

Commissioners
Brad Bourn
John Erwin
Meg Forney

Steffanie Musich
Jon C. Olson
Anita Tabb
M. Annie Young

Superintendent
Jayne Miller

Secretary to the Board
Jennifer B. Ringold



The project requires Administrative Site Plan Review with the City of Minneapolis Community Planning and Economic Development (CPED). This letter is notification of our upcoming submittal to CPED.

MPRB staff is coordinating with CPED staff regarding the submittal process. City of Minneapolis staff has notified us of 6 variances are required to proceed with the proposed project. Most are related to the tight site constraints.

- Relocating the building electrical transformer from the south side of the existing building where the new addition will be located, to the east side of the existing pool.
- Providing 95 parking spaces which is 11 less than the city requirement of 106 due to site size constraints.
- The trash enclosure on the north side of the parking lot encroaches on the site set back by approximately 3 feet due to the existing parking lot location and site constraints.
- Proposed addition aligns with existing building, 20 ft from property line. Set back from east on 13th Avenue requires 26 foot setback to align with houses on adjacent property.
- To meet proposed parking count (which less than required), parking stalls are set back 13 feet from property line. Set back from west on 11th Avenue requires 30 foot setback to align with houses on adjacent property.
- To meet proposed parking count (which less than required), parking stalls are set back 6 feet from property line. Set back from south on 24th Street requires 10 foot corner side yard setback.

If you should have any questions regarding the proposed project at Phillips Community Center please don't hesitate to contact me.

Kind regards,



Dana, Murdoch, Design Project Manager
Minneapolis Park and Recreation Board
dmurdoch@minneapolisparcs.org
612-230-6446

Attachment: Phillips Community Center Aquatics Facility Schematic Design, dated September 21, 2015



**Minneapolis
Park & Recreation Board**

Administrative Offices
2117 West River Road
Minneapolis, MN 55411-2227

Operations Center
3800 Bryant Avenue South
Minneapolis, MN 55409-1000

Phone
612-230-6400

Fax
612-230-6500

www.minneapolisparcs.org

October 22, 2015

Ventura Village Neighborhood Organization
P.O. Box 580757
Minneapolis, MN 55458

Re: Phillips Community Center Aquatics Facility – Proposed Project

Ventura Village Neighborhood Organization:

The Minneapolis Park and Recreation Board (MPRB) is proposing a renovation and addition for a new aquatics facility at the Phillips Community Center located at 2323 11th Avenue South. This project is a result of a great deal of community involvement thus far and is financially supported from the State of Minnesota, MPRB, Hennepin County, Minneapolis Public Schools, the immediate neighborhood organizations (including Ventura Village), and multiple other funders coordinated by Minneapolis Swims. The project budget totals \$5,466,000.

The existing pool in the Phillips Community Center was closed in 2008. The renovation and addition of the Phillips Community Center Aquatics Facility will result in two pools that can serve a variety of needs, from learn-to-swim programs to competitive swim meets.

Renovated space in the existing Phillips Community Center proposed:

- Renovation of the existing 6-lane pool and natatorium,
- Renovation of the abandoned locker and shower facilities,
- New of family changing rooms, and
- Restoration of the original spectator seating area

The new addition proposes:

- 4-lane teaching pool with ramped entry and infrastructure to support a future spa/hot tub,
- Two locker/changing rooms to serve a variety of needs from general locker rooms to families to swim teams,
- Lobby, reception area, staff area, administrative and support spaces,
- Small community room, and
- Public toilets

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If you should have any questions regarding the proposed project at Phillips Community Center please don't hesitate to contact me.

Kind regards,



Dana, Murdoch, Design Project Manager
Minneapolis Park and Recreation Board
dmurdoch@minneapolisparcs.org
612-230-6446

Attachment: Phillips Community Center Aquatics Facility Schematic Design, dated September 21, 2015



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October 22, 2015

Midtown Phillips Neighborhood Organization
2828 10th Avenue South, Office 1205F
Minneapolis, MN 55407

Re: Phillips Community Center Aquatics Facility – Proposed Project

Midtown Phillips Neighborhood Organization:

The Minneapolis Park and Recreation Board (MPRB) is proposing a renovation and addition for a new aquatics facility at the Phillips Community Center located at 2323 11th Avenue South. This project is a result of a great deal of community involvement thus far and is financially supported from the State of Minnesota, MPRB, Hennepin County, Minneapolis Public Schools, the immediate neighborhood organizations (including Midtown Phillips Neighborhood Organization), and multiple other funders coordinated by Minneapolis Swims. The project budget totals \$5,466,000.

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If you should have any questions regarding the proposed project at Phillips Community Center please don't hesitate to contact me.

Kind regards,



Dana, Murdoch, Design Project Manager
Minneapolis Park and Recreation Board
dmurdoch@minneapolisparcs.org
612-230-6446

Attachment: Phillips Community Center Aquatics Facility Schematic Design, dated September 21, 2015