

**LAND USE APPLICATION SUMMARY**

*Property Location:* 3041 Holmes Avenue S  
*Project Name:* 3041 Holmes Avenue S  
*Prepared By:* [Kimberly Holien](#), Senior Planner, (612) 673-2402  
*Applicant:* Jim Graves  
*Project Contact:* Pete Keely, Collage Architects  
*Request:* To construct a six-story, mixed-use building with nine dwelling units  
*Required Applications:*

<b>Rezoning</b>	Petition to rezone the property located at 3041 Holmes Avenue S from the R4, Multiple-family District to the OR2, High-Density Office Residence District, retaining the PO Pedestrian Oriented Overlay District.
<b>Conditional Use Permit</b>	To increase the maximum height in the OR2 district from four stories, 56 feet to six stories, 81 feet.
<b>Variance</b>	To decrease the required front yard setback along Holmes Avenue S from 15 feet to 3.34 feet.
<b>Variance</b>	To decrease the north interior side yard setback from 15 feet to 5.58 feet.
<b>Variance</b>	To decrease the east rear yard setback from 15 feet to one foot.
<b>Variance</b>	To decrease the corner side yard setback along 31 <sup>st</sup> Street W from 15 feet to one foot.
<b>Variance</b>	To increase the impervious surface maximum from 85 percent to 89.9 percent and to increase the maximum lot coverage from 70 percent to 84.8 percent.
<b>Site Plan Review</b>	For the construction of a six-story, mixed use building with nine dwelling units.

**SITE DATA**

<b>Existing Zoning</b>	R4, Multiple-Family District PO, Pedestrian Oriented Overlay District
<b>Lot Area</b>	11,450 square feet / .263 acres
<b>Ward(s)</b>	10
<b>Neighborhood(s)</b>	ECCO
<b>Designated Future Land Use</b>	Mixed Use
<b>Land Use Features</b>	Activity Center
<b>Small Area Plan(s)</b>	<a href="#">Uptown Small Area Plan (2008)</a>

<b>Date Application Deemed Complete</b>	December 14, 2015	<b>Date Extension Letter Sent</b>	N/A
<b>End of 60-Day Decision Period</b>	February 12, 2016	<b>End of 120-Day Decision Period</b>	N/A

## BACKGROUND

**SITE DESCRIPTION AND PRESENT USE.** The property is located at the corner of Holmes Avenue S and 31<sup>st</sup> Street W. The site currently contains a surface parking lot and a duplex. The residential structure will be demolished as part of the project.

**SURROUNDING PROPERTIES AND NEIGHBORHOOD.** The surrounding area contains a mix of commercial and residential uses. The east side of the subject block fronts on Hennepin Avenue and contains a series of two-story commercial buildings. The west side of the subject block contains residential uses of varying densities, a mixed use building and two commercial structures. The property immediately north of the site is a two-story residential building with 10 dwelling units. Other properties on this side of the block include another two-story apartment building, a two-story commercial building and a six-story, mixed-use building. South of the site, across 31<sup>st</sup> Street W, there is a three-story residential building with 26 units.

**PROJECT DESCRIPTION.** The applicant is proposing a six-story mixed-use building with nine dwelling units. The building is designed in three parts. There is the single-story base intended to align with the commercial buildings in the core of Uptown. The first floor will contain a 1,000 square foot commercial space at the corner of 31<sup>st</sup> Street W and Holmes Avenue S, a residential lobby, a fitness room, a residential library and parking. The ground level parking will be screened with active uses along the south elevation and is accessed from Holmes Avenue S. A bike repair and maintenance space for residents provides activity along the Holmes Avenue frontage. The mid-section of the building includes two dwelling units per floor. The second floor steps back and includes two dwelling units. The third through fifth floors step back slightly from the second and include two dwelling units each. The applicant refers to the sixth floor penthouse as the third building section. The sixth floor recesses again and includes one penthouse unit. All residential floors have outdoor patio and/or deck space for the residential units. The building will be constructed of high-quality materials, including stone with accents of granite, cast stone and metal.

The maximum height in the OR2 district is four stories or 56 feet, whichever is greater. The applicant is proposing a six story building with a maximum height of 81 feet. The applicant is seeking a conditional use permit to increase the height.

The front yard setback requirement in the OR2 district is 15 feet. The front yard for the subject property is along Holmes Avenue S. The applicant is proposing a minimum setback of 3.34 feet along this frontage and a variance has been requested accordingly. The required interior side yard and rear yard setbacks are each  $5+2x$  where "x" is equal to the number of stories above the first floor, with a maximum requirement of 15 feet. The applicant is proposing a 5.58 foot setback from the north property line and a one foot setback from the east (rear) property line. Variances have been requested accordingly. Finally, the corner side yard setback requirement is  $8+2x$  where "x" is equal to the number of stories above the first floor, not to exceed the front yard setback requirement. The minimum setback proposed along 31<sup>st</sup> Street W is one foot. A variance from 15 feet to one foot has been requested.

The Office Residence districts have maximum requirements related to the amount of impervious surface and lot coverage. The lot coverage maximum is 70 percent and the applicant is proposing a building footprint that occupies 84.8 percent of the site. A variance has been requested. The maximum amount of impervious surface allowed is 85 percent. The applicant is proposing impervious surfaces for 89.9 percent of the site and a variance has been requested.

**PUBLIC COMMENTS.** No correspondence had been received from the neighborhood group as of the writing of this report. Any correspondence received prior to the public meeting will be forwarded on to the Planning Commission for consideration.

## ANALYSIS

### REZONING

The Department of Community Planning and Economic Development has analyzed the application for a petition to rezone the property at 3041 Holmes Avenue S from R4 to OR2 district based on the following findings:

*1. Whether the amendment is consistent with the applicable policies of the comprehensive plan.*

The proposed zoning would be consistent with the applicable policies of The Minneapolis Plan for Sustainable Growth. The property is designated as mixed use on the future land use map and is located within an Activity Center. The following principles and policies outlined in the plan apply to this proposal:

**Land Use Policy 1.1: Establish land use regulations to achieve the highest possible development standards, enhance the environment, protect public health, support a vital mix of land uses, and promote flexible approaches to carry out the comprehensive plan.**

- I.1.5 Ensure that land use regulations continue to promote development that is compatible with nearby properties, neighborhood character, and natural features; minimizes pedestrian and vehicular conflict; promotes street life and activity; reinforces public spaces; and visually enhances development.

**Land Use Policy 1.4: Develop and maintain strong and successful commercial and mixed use areas with a wide range of character and functions to serve the needs of current and future users.**

- I.4.1 Support a variety of commercial districts and corridors of varying size, intensity of development, mix of uses, and market served.
- I.4.2 Promote standards that help make commercial districts and corridors desirable, viable, and distinctly urban, including: diversity of activity, safety for pedestrians, access to desirable goods and amenities, attractive streetscape elements, density and variety of uses to encourage walking, and architectural elements to add interest at the pedestrian level.
- I.4.3 Continue to encourage principles of traditional urban design including site layout that screens off-street parking and loading, buildings that reinforce the street wall, principal entrances that face the public sidewalks, and windows that provide “eyes on the street”.

**Land Use Policy 1.5: Promote growth and encourage overall city vitality by directing new commercial and mixed use development to designated corridors and districts.**

- I.5.1 Support an appropriate mix of uses within a district or corridor with attention to surrounding uses, community needs and preferences, and availability of public facilities.

**Land Use Policy I.8: Preserve the stability and diversity of the city's neighborhoods while allowing for increased density in order to attract and retain long-term residents and businesses.**

- I.8.1 Promote a range of housing types and residential densities, with highest density development concentrated in and along appropriate land use features.
- I.8.2 Advance land use regulations that retain and strengthen neighborhood character, including direction for neighborhood serving commercial uses, open space and parks, and campus and institutional uses.

**Land Use Policy I.12: Support Activity Centers by preserving the mix and intensity of land uses and by enhancing the design features that give each center its unique urban character.**

- I.12.1 Encourage a variety of commercial and residential uses that generate activity all day long and into the evening.
- I.12.2 Encourage mixed use buildings, with commercial uses located on the ground floor and secure entrances for residential uses.
- I.12.3 Encourage active uses on the ground floor of buildings in Activity Centers.
- I.12.4 Discourage uses that diminish the transit and pedestrian character of Activity Centers, such as automobile services, surface parking lots, and drive-through facilities.
- I.12.5 Encourage a height of at least two stories for new buildings in Activity Centers, in keeping with neighborhood character.
- I.12.6 Encourage the development of high- to very-high density housing within the boundaries of Activity Centers.

The proposed project would eliminate a surface parking lot within an Activity Center and replace it with a mixed-use building. The development activates a corner that is currently underdeveloped with a commercial use on the ground floor and residential units above. The commercial uses allowed in the OR2 district are compatible with adjacent commercial and residential uses in the general area.

The site is within the study area of the *Uptown Small Area Plan*. The guidance in the small area plan calls for medium density housing on the property and, in terms of intensity, urban-oriented development. The proposed zoning would be consistent with these policies. The nine units proposed equate to a density of 34 dwelling units per acre. This is considered medium density per the comprehensive plan.

2. *Whether the amendment is in the public interest and is not solely for the interest of a single property owner.*

The amendment would be in the interest of the property owner but also in the public interest. Rezoning from R4 to OR2 would allow for a broader range of goods and services within an Activity Center on a property that is designated for mixed-use. The current R4 zoning does not allow for any commercial uses. Rezoning to a district that allows for limited neighborhood-serving retail sales and service uses would expand the variety of uses allowed in the Activity Center and one-half block from a commercial corridor.

3. *Whether the existing uses of property and the zoning classification of property within the general area of the property in question are compatible with the proposed zoning classification, where the amendment is to change the zoning classification of particular property.*

The surrounding area contains a mix of commercial and residential uses. The east side of the subject block fronts on Hennepin Avenue and contains a series of two-story commercial buildings. All of these properties have C3A zoning. The west side of the subject block contains residential uses of varying densities and commercial uses. The north half of this side of the block is zoned C3A and the south half is zoned R4. The property immediately north of the site is a two-story residential building with 10 dwelling units. Other properties on this side of the block include another two-story apartment building, a two-story commercial building and a six-story, mixed-use building. The requested OR2 zoning would allow for development that is compatible with the surrounding area.

4. *Whether there are reasonable uses of the property in question permitted under the existing zoning classification, where the amendment is to change the zoning classification of particular property.*

There are a limited number of reasonable uses of the property permitted under the current R4 zoning district. The number of dwelling units proposed would be allowed under the current zoning, but the R4 district does not allow for any commercial uses. A zoning district that does not allow for commercial uses within an Activity Center Boundary severely limits the reasonable use of the property.

5. *Whether there has been a change in the character or trend of development in the general area of the property in question, which has taken place since such property was placed in its present zoning classification, where the amendment is to change the zoning classification of particular property.*

Historically the site had commercial zoning. Until 1991, it was zoned B3S-1. At that time, it was rezoned to the BI-1 district, which was an Office Residence district. In 1999, the site was re-zoned to ORI with the adoption of the new zoning code. In 2010, the site was downzoned to R4 as part of the Midtown Greenway Rezoning study and the Pedestrian Oriented Overlay district was added at that time. The most recent rezoning was partially based on guidance in the *Uptown Small Area Plan*. Staff had recommended R5 zoning for the site but the City Council adopted the R4 district. The guidance in the small area plan calls for medium density housing on the site and, in terms of intensity, urban-oriented development. However, the policies in this plan do not align with the Activity Center boundary and that boundary was never changed.

Since the *Uptown Small Area Plan* was adopted in 2008, there has not been much development in this specific area. However, a 6-story mixed-use building was approved a few parcels north of the site in 2008 and said building was constructed in 2009. Hennepin Avenue has also seen some new commercial development and redevelopment in that time.

## CONDITIONAL USE PERMIT

The Department of Community Planning and Economic Development has analyzed the application to increase the maximum height in the OR2 district based on the following findings:

1. *The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, comfort or general welfare.*

The request to increase the maximum height in the OR2 district from 4 stories or 56 feet to 6 stories, 81 feet will not be detrimental to or endanger the public health, safety, comfort or general welfare. The proposed project accommodates a medium-density, mixed-use development within an Activity Center. There are other buildings of relative comparable height located within the immediate vicinity, including the building to the north at 3021-27 Holmes Avenue S, which is also six stories in height and located mid-block. The applicant has provided shadow studies that illustrate the impact on surrounding properties, which would be minimal.

2. *The conditional use will not be injurious to the use and enjoyment of other property in the vicinity and will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.*

This property is located in a fully developed area and allowing additional height is not expected to be injurious to the use and enjoyment of other property in the vicinity nor should it impede on possible future development. The subject block is densely developed with commercial uses fronting along Hennepin Avenue and a combination of commercial and residential uses along Holmes Avenue S. The subject development site is located within an Activity Center with other compatible buildings in the immediate vicinity. Buildings on this block range from two to six stories in height. The building to the south, across 31<sup>st</sup> Street W, is three stories in height. The proposed building is in keeping with the scale and character of surrounding uses. Additionally, the proposed massing of the building will minimize any potential impact on adjacent properties. The upper floors of the building step back significantly from all edges of the building, with the exception of a 46-foot section along the north property line.

3. *Adequate utilities, access roads, drainage, necessary facilities or other measures, have been or will be provided.*

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4. *Adequate measures have been or will be taken to minimize traffic congestion in the public streets.*

The use is not expected to contribute to traffic congestion in the public streets. The site is within one-quarter mile of a bus transit stop with midday service headways of 15 minutes or less. As such, the residential portion of the building does not have a minimum parking requirement. The commercial space will accommodate a neighborhood-serving use. This use requires three parking stalls. A total of 18 parking stalls are proposed within the building and 18 bicycle parking spaces are provided.

5. *The conditional use is consistent with the applicable policies of the comprehensive plan.*

As noted above, the property is designated as mixed use on the future land use map in the comprehensive plan. It is also located within the boundaries of an Activity Center. The proposed development would be consistent with the following general land use policies of *The Minneapolis Plan for Sustainable Growth*:

**Land Use Policy 1.1: Establish land use regulations to achieve the highest possible development standards, enhance the environment, protect public health, support a vital mix of land uses, and promote flexible approaches to carry out the comprehensive plan.**

- I.1.5 Ensure that land use regulations continue to promote development that is compatible with nearby properties, neighborhood character, and natural features; minimizes pedestrian and vehicular conflict; promotes street life and activity; reinforces public spaces; and visually enhances development.

**Land Use Policy 1.3: Ensure that development plans incorporate appropriate transportation access and facilities, particularly for bicycle, pedestrian, and transit.**

- 1.3.1 Require safe, convenient, and direct pedestrian connections between principal building entrances and the public right-of-way in all new development and, where practical, in conjunction with renovation and expansion of existing buildings.

**Land Use Policy 1.5: Promote growth and encourage overall city vitality by directing new commercial and mixed use development to designated corridors and districts.**

- 1.5.1 Support an appropriate mix of uses within a district or corridor with attention to surrounding uses, community needs and preferences, and availability of public facilities.

**Land Use Policy 1.8: Preserve the stability and diversity of the city's neighborhoods while allowing for increased density in order to attract and retain long-term residents and businesses.**

- 1.8.1 Promote a range of housing types and residential densities, with highest density development concentrated in and along appropriate land use features.
- 1.8.2 Advance land use regulations that retain and strengthen neighborhood character, including direction for neighborhood serving commercial uses, open space and parks, and campus and institutional uses.

**Land Use Policy 1.12: Support Activity Centers by preserving the mix and intensity of land uses and by enhancing the design features that give each center its unique urban character.**

- 1.12.1 Encourage a variety of commercial and residential uses that generate activity all day long and into the evening.
- 1.12.2 Encourage mixed use buildings, with commercial uses located on the ground floor and secure entrances for residential uses.
- 1.12.3 Encourage active uses on the ground floor of buildings in Activity Centers.
- 1.12.4 Discourage uses that diminish the transit and pedestrian character of Activity Centers, such as automobile services, surface parking lots, and drive-through facilities.
- 1.12.5 Encourage a height of at least two stories for new buildings in Activity Centers, in keeping with neighborhood character.
- 1.12.6 Encourage the development of high- to very-high density housing within the boundaries of Activity Centers.

**Housing Policy 3.1: Grow by increasing the supply of housing.**

- 3.1.1 Support the development of new medium- and high-density housing in appropriate locations throughout the city.

**Environment Policy 6.9: Be a steward of clean water by protecting and enhancing its surface and groundwater systems.**

- 6.9.2 Continue to implement the city's floodplain and shoreland Ordinances, and the Mississippi River Critical Area plan.

**Urban Design Policy 10.4: Support the development of residential dwellings that are of high quality design and compatible with surrounding development.**

- 10.4.1 Maintain and strengthen the architectural character of the city's various residential neighborhoods.
- 10.4.2 Promote the development of new housing that is compatible with existing development in the area and the best of the city's existing housing stock.

**Urban Design Policy 10.5: Support the development of multi-family residential dwellings of appropriate form and scale.**

- 10.5.2 Medium-scale, multi-family residential development is more appropriate along Commercial Corridors, Activity Centers, Transit Station Areas and Growth Centers outside of Downtown Minneapolis.

**Urban Design Policy 10.6: New multi-family development or renovation should be designed in terms of traditional urban building form with pedestrian scale design features at the street level.**

- 10.6.1 Design buildings to fulfill light, privacy, and view requirements for the subject building as well as for adjacent properties by building within required setbacks.
- 10.6.4 Orient buildings and building entrances to the street with pedestrian amenities like wider sidewalks and green spaces.
- 10.6.5 Street-level building walls should include an adequate distribution of windows and architectural features in order to create visual interest at the pedestrian level.
- 10.6.6 Integrate transit facilities and bicycle parking amenities into the site design.

The applicant is proposing a mixed use building with nine dwelling units in an Activity Center corridor. The density proposed is medium density. This number of units would support the above policies for growing the city. The six-story building is designed with significant setbacks on the upper floors to reduce the impact on adjacent properties and be in keeping with the scale and character of the surrounding area. There are no low-density residential uses immediately adjacent to the building that would be impacted by the increased height.

The site is also within the study area of the *Uptown Small Area Plan*. Specifically, the site is located within the Core Activity Center area. The plan calls for heights of 3-5 stories in this area to be sensitive to the existing conditions and provide transitions to approved taller buildings. While it is in the Activity Center, the small area plan calls for medium-density development on the site. In terms of development intensity, the plan calls for urban-oriented development. The following additional policies of the Uptown Small Area plan that specifically relate to height apply:

- Concentrate density and intensity in the Core.
- Encourage buildings in the Core to fit within a sculpted envelope that maximizes sunlight to the Greenway, Lake Street, and Lagoon Avenue.
- Encourage all buildings on Lake Street and Lagoon Avenue, east of Hennepin Avenue, to contain storefronts.

- Set buildings back on the north side of Lagoon Avenue and Lake Street to create broad sidewalks.
- Encourage buildings south of Lake Street to step down to meet the neighborhood scale.

The proposed project would provide medium density housing as called for in the plan, with one small commercial space on the ground floor to activate the street. The upper floors of the building are setback a minimum of 12.6 feet and up to 19 feet from the south property line to provide transition to the properties south of the site. The building would not impact access to sunlight on any of the streets noted above.

6. *The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.*

If the requested land use applications are approved, the proposal will comply with all provisions of OR2 District.

### **Additional Standards to Increase Maximum Height**

In addition to the conditional use permit standards, the Planning Commission shall consider, but not be limited to, the following factors when determining the maximum height of principal structures in commercial districts:

1. *Access to light and air of surrounding properties.*

The proposed building is designed with significant setbacks on the upper floors to minimize the impact on light and air for surrounding properties. Above the first floor, the building steps back between 12 feet and 19 feet from the south property line, 13.5 feet from the west property line, 11.2 feet from the east property line and 26 feet from the north property line in the northeast and southeast corners. Additional setbacks are provided on the 6<sup>th</sup> floor. The 6<sup>th</sup> floor is setback approximately 26.5 feet from the west property line, 25.3 feet from the south property line, and 22.5 feet from the east property line. The only building section that does not step back from the floor below is a 46-foot section along the north property line.

2. *Shadowing of residential properties, significant public spaces, or existing solar energy systems.*

Based on the shadow studies provided by the applicant, the 10-unit residential building north of the site would be impacted by shadowing. However, this building would likely be shadowed by any development on the subject site that is greater than three stories in height. The applicant is proposing to setback the northeast and southeast corners of the building significantly to reduce the shadowing impact on this residential building. There are no other residential uses, public spaces or solar energy systems that would be impacted by the increase in height.

3. *The scale and character of surrounding uses.*

The surrounding area contains a mix of residential and commercial uses of varying size. All buildings along Hennepin Avenue on the east side of the block are two stories in height and built lot line to lot line. Buildings on the west side of the block range from two to six stories and include residential and commercial uses. The building south of the site, across 31<sup>st</sup> Street W, is three stories in height and contains 26 dwelling units. To the west of the site there is a large surface parking lot associated with the Sons of Norway building. The proposed building would be generally consistent with the scale and character of surrounding uses.

4. *Preservation of views of landmark buildings, significant open spaces or water bodies.*

The proposed building will not block any views of landmark building, significant open spaces or water bodies.

## VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance of the front yard and corner side yard variances based on the following findings:

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

**Both Variances:** The front yard setback requirement in the OR2 district is 15 feet. The front yard for the subject property is along Holmes Avenue S. The applicant is proposing a minimum setback of 3.34 feet along this frontage and a variance has been requested accordingly. The corner side yard setback requirement is  $8+2x$  where "x" is equal to the number of stories above the first floor, not to exceed the front yard setback requirement. The minimum setback proposed along 31st Street W is one foot. A variance from 15 feet to one foot has been requested.

Practical difficulties exist regarding the placement of the building along the south and west property lines due to circumstances unique to the parcel. The subject site is located in an Activity Center and within the Pedestrian Oriented Overlay (PO) district. The policies for Activity Centers and regulations in the PO district call for buildings to be located at the corner to reinforce the street wall and provide activate the public realm. These circumstances have not been created by the applicant

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

**Both Variances:** The proposed front yard and corner side yard setback variances will result in reasonable use of property. The building placement is consistent with the intent of the Pedestrian Oriented Overlay district. The purpose of the PO district is to preserve and encourage the pedestrian character of commercial areas and to promote street life and activity by regulating building orientation and design and accessory parking facilities, and by prohibiting certain high impact and automobile-oriented uses. The proposed building placement along the front yard is intended to maximize the interaction with the public streets and sidewalks. The proposed setbacks are also consistent with adopted Urban Design policies for multi-family development by providing a building that is designed in a traditional urban building form with pedestrian-scale design features at the street level.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

**Both Variances:** The proposed front yard and corner side yard setbacks will not alter the essential character of the locality or be injurious to the use and enjoyment of other property in the vicinity. All of the buildings on the east side of the block are built lot line to lot line and there is no established setback pattern on the west side of the block. The residential building immediately north of the site is setback approximately 15 feet from the front property line. The commercial building immediately east of the site is located up to the south property line. Above the first floor the minimum front yard setback is 13.3 feet and the minimum corner side yard setback is 12.6 feet,

with most of the building setback 19.3 feet from the corner side property line above the first floor. The building complies with both setbacks on the sixth floor.

## VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance of the north interior side yard and rear yard variances based on the following findings:

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

**Both Variances:** The required interior side yard and rear yard setbacks are each  $5+2x$  where “x” is equal to the number of stories above the first floor, with a maximum requirement of 15 feet. The applicant is proposing a 5.58 foot setback from the north property line and a one foot setback from the east (rear) property line.

The circumstances upon which the interior side yard and rear yard setback variances are requested are unique to the parcel of land due to the need to provide a desired mixed use building within an Activity Center on a relatively small site. While the height of the building is partially responsible for the degree of variance requested, the proposed height is appropriate given its location in an Activity Center. These circumstances create practical difficulties in siting the building that have not been created by the property owner.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

**Both Variances:** The interior side yard and rear yard setbacks proposed by the applicant will allow for the property to be developed in a reasonable manner that is in keeping with the spirit and intent of the zoning ordinance and the comprehensive plan. The purpose of yard requirements is to provide for orderly development and use of land and to minimize conflicts among land uses by regulating the dimension and use of yards in order to provide adequate light, air, open space and separation of uses. The north property line abuts an alley that is primarily used by commercial properties. The location of the alley and setbacks on upper floors provide for adequate separation between uses. Above the first floor, the building is setback 11.2 feet from the rear property line and the sixth floor is setback 22.5 feet from the rear property line. The buildings that are closest to the rear property line are all commercial buildings that will maintain adequate access to light and air.

The proposed building massing along the north property line also allows for adequate separation between uses. The building will be setback approximately 5.58 feet on the ground floor in this location. A 46-foot section of building wall maintains the 5.58 foot setback on all floors. This section of the building will have the most impact on the property to the north. However, above the ground floor, the northeast and northwest corners of the building step back a minimum of 20 additional feet to provide relief to the residential property north of the site. While the proposed setback of the aforementioned 46-foot section will have an impact on the amount of light and air the neighboring building receives, the minimum total separation between the north wall of the proposed building and the south wall of the building at 3037 Holmes Avenue S is 10.5 feet. This allows for adequate separation of uses in this urban environment.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

**Both Variances:** The interior side yard and rear yard setbacks will not alter the essential character of the locality or be injurious to the use and enjoyment of other property in the vicinity. All of the buildings on the east side of the block are built lot line to lot line and there is no established setback pattern on the west side of the block. As noted above, the building steps back on the upper floors to provide relief to adjacent properties. The setbacks will not be detrimental to the public health, safety, comfort or general welfare.

## VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance of the impervious surface and lot coverage maximums based on the following findings:

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

**Both Variances:** The Office Residence districts have maximum requirements related to the amount of impervious surface and lot coverage. The lot coverage maximum is 70 percent and the applicant is proposing a building footprint that occupies 84.8 percent of the site. The maximum amount of impervious surface allowed is 85 percent. The applicant is proposing impervious surfaces for 89.9 percent of the site. Variances have been requested.

The circumstances upon which the impervious surface and lot coverage variances are requested are unique to the parcel of land due to the need to provide a desired mixed use building within an Activity Center on a relatively small site. The proposed building footprint allows for active uses along 31<sup>st</sup> Street and enclosed parking. Further, much of the excess impervious surface consists of wider walkways along the public street as called for the *Uptown Small Area Plan*. These circumstances create practical difficulties in siting the building that have not been created by the property owner.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

**Lot coverage:** The requested variance to lot coverage would allow for the property to be developed in a reasonable manner with a mixed-use, medium density building. The request would also be in keeping with the spirit and intent of the ordinance and the comprehensive plan. In general, lot controls are established to provide for orderly development and use of land and to minimize conflicts among land uses by regulating the dimension and use of yards in order to provide adequate light, air, open space and separation of uses. While the proposed lot coverage exceeds the maximum allowance, it still allows for separation between uses and adequate access to light, air and open space due to the configuration of the building and the fact that the lot is on a corner.

**Impervious surface:** The requested variance to impervious surface would allow for the property to be developed in a reasonable manner with a mixed-use, medium density building. The request would also be in keeping with the spirit and intent of the ordinance and the comprehensive plan. In addition to allowing for orderly development and use of land, the purpose of the impervious surface limitations is to prevent soil erosion, minimize off-site stormwater runoff, and encourage natural filtration function. For the impervious surface, the proposed development exceeds the maximum by 4.9 percent or 563 square feet. Of the 563 feet, 434 square feet is comprised of pervious pavers. While pervious pavers are still counted as impervious surface per the zoning code, they do allow for filtration and reduce the amount of off-site stormwater runoff, in keeping with the intent of the ordinance. If these pavers were counted as pervious surface, the site would only exceed the

maximum by 129 square feet. The applicant is also providing 660 square feet of permeable pavers within the right-of-way directly adjacent to the site.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

**Both Variances:** The request lot coverage and impervious surface variances will not alter the essential character of the locality or be injurious to the use and enjoyment of other property in the vicinity. The site is within the boundaries of an Activity Center on a block that is densely developed. All of the buildings on the east side of the block are built lot line to lot line with virtually no pervious surface. As noted above, the applicant is providing pervious pavers to reduce the amount of runoff and provide for on-site filtration, mitigating any impact on adjacent properties. The variances will not be detrimental to the public health, safety, comfort or general welfare.

## SITE PLAN REVIEW

The Department of Community Planning and Economic Development has analyzed the application based on the required [findings](#) and [applicable standards](#) in the site plan review chapter:

### ***1. Conformance to all applicable standards of Chapter 530, Site Plan Review.***

#### **BUILDING PLACEMENT AND DESIGN**

##### **Building placement – Meets requirements**

- While the OR2 district requires a 15-foot setback, the first floor of the building is located within eight feet of the front lot line along Holmes Avenue S and the corner side lot line along 31<sup>st</sup> Street W. A variance to the required front and corner side yard setbacks has been evaluated above.
- The placement of the building reinforces the street wall, maximizes natural surveillance and visibility, and facilitates pedestrian access and circulation.
- The area between the building and lot line includes amenities such landscaping and decorative pavers. The landscaping is provided both at grade and within raised, limestone planter beds.
- All on-site accessory parking is located within the building and accessed from Holmes Avenue S.

##### **Principal entrances – Requires alternative compliance**

- The building is oriented so that at least one principal entrance faces the front property line. The primary residential entrance is located in the center of the building, facing 31<sup>st</sup> Street W. The entrance into the commercial space is also facing 31<sup>st</sup> Street W. Alternative compliance is requested to have the entrance facing the corner side yard in lieu of the front yard.
- Both principal entrances are clearly defined and emphasized through the use of glass, a change of materials and an awning.

##### **Visual interest – Requires alternative compliance**

- The building walls provide architectural detail and contain windows in order to create visual interest.
- The proposed building is divided into smaller, indefinable sections through the use of generous step-backs on the upper floors.
- The building contains a section of blank wall in excess of 25 feet on the first floor of the north elevation. Alternative compliance is requested.

**Exterior materials – Meets requirements**

- The applicant is proposing stone veneer as the building’s primary exterior material with granite, cast stone and metal accents. These are all durable materials.
- The application is consistent with the City’s policy of allowing no more than three exterior materials per elevation, excluding windows, doors, and foundation materials.
- Plain face concrete block is not proposed as a primary exterior material.
- The exterior materials and appearance of the rear and side walls of the building are similar to and compatible with the front of the building. All four sides of the building will have the same stone as the primary exterior material.

**Windows – Meets requirements**

- For this mixed-use building, the zoning code requires that no less than 30 percent of the walls on the first floor are windows with clear or lightly tinted glass with a visible light transmittance ratio of six-tenths (0.6) or higher. Because the site is in the Pedestrian Oriented Overlay district, that requirement is increased to 40 percent for the first floor. No less than ten percent of the walls on each floor above the first that face a public street, public sidewalk, public pathway, or on-site parking lot, shall be windows. The required ground floor windows may not be blocked by shelving, mechanical equipment, or other similar fixtures and must allow views into and out of the building between four and seven feet above the adjacent grade. The project is in compliance with the minimum window requirement (see Table 3).
- All windows are vertical in proportion and are evenly distributed along the building walls.

**Table 1. Percentage of Windows per Applicable Elevation**

	Code Requirement		Proposed	
	Requirement	Area	Percentage	Area
1st floor (south)	40% minimum	355 sq. ft.	59.9%	532 sq. ft.
1 <sup>st</sup> floor (west)	40% minimum	291 sq. ft.	40.1%	292 sq. ft.
2nd floor and above (south)	10% minimum	72.8 sq. ft.	34%	247.5 sq. ft.
2nd floor and above (west)	10% minimum	58 sq. ft.	29%	168 sq. ft.

**Ground floor active functions – Requires alternative compliance**

- The ground floor on the south elevation, facing 31<sup>st</sup> Street W, contains active functions for 100 percent of the ground floor. The ground floor of the west elevation, facing Holmes Avenue, contains active functions for only 53.6 percent of the ground floor. Alternative compliance is requested.

**Roof line – Meets requirements**

- The principal roof line of the building is flat, consistent with other commercial buildings on this block.

**Parking garages – Meets requirements**

- All of the proposed parking enclosed within the building at grade. Vehicles are screened from view and windows are provided into the parking garage along Holmes Avenue S to meet the requirements of the Pedestrian Oriented Overlay district. The parking is lined with active uses along 31<sup>st</sup> Street W.

**ACCESS AND CIRCULATION**

**Pedestrian access – Meets requirements**

- There are clear and well-lit walkways at least four feet in width connecting building entrances to the adjacent public sidewalk and on-site parking facilities.

**Transit access – Not applicable**

- No transit shelters are proposed as part of this development and none are adjacent to the site.

**Vehicular access – Meets requirements**

- Vehicular access and circulation has been designed to minimize conflicts with pedestrian traffic and with surrounding residential uses. The applicant is proposing a curb cut from Holmes Avenue S into the ground floor parking area. The curb cut is proposed in this location instead of from the alley because this alley primarily serves commercial uses with trash pick-up and deliveries occurring in the alley. While staff would typically prefer the parking to be accessed from the alley, in this case Public Works has expressed concern about alley access due to the heavy amount of commercial traffic in the alley. Providing the residential entry from Holmes Avenue S will minimize conflicts between residential and commercial/service traffic.
- The applicant has requested a variance to the maximum amount of impervious surface allowed on site. However, this is being mitigated through the use of pervious pavers to allow for additional on-site filtration.

**LANDSCAPING AND SCREENING**

**General landscaping and screening – Requires alternative compliance**

- The overall composition and location of landscaped areas complement the scale of development and its surroundings. Landscaping is primarily provided along the building foundation and between the building and the north property line
- At least 20 percent of the site not occupied by the building is landscaped. The applicant is proposing approximately 1,155 square feet of landscaping on site, or approximately 66 percent of the site not occupied by buildings (see Table 4).
- The site requires at least one canopy tree per 500 square feet of the required landscaped area, including all required landscaped yards. The site requires one canopy tree. The applicant is proposing five canopy trees. However, they are all located within the right-of-way directly adjacent to the site. Alternative compliance is requested.
- The applicant is proposing at least one shrub per 100 square feet of the required landscaped area, including all required landscaped yards. The shrub requirement for the site is three and the applicant is proposing 51 shrubs.
- The remainder of the required landscaped area is covered with turf grass, native grasses, perennial flowering plants, and vines. Landscaped beds are also provided within the right-of-way.

**Table 2. Landscaping and Screening Requirements**

	<b>Code Requirement</b>	<b>Proposed</b>
<b>Lot Area</b>	--	11,450 sq. ft.
<b>Building Footprint</b>	--	9,715 sq. ft.
<b>Remaining Lot Area</b>	--	1,735 sq. ft.
<b>Landscaping Required</b>	347 sq. ft.	1,155 sq. ft.

<b>Canopy Trees (1:500 sq. ft.)</b>	1 trees	0 trees
<b>Shrubs (1:100 sq. ft.)</b>	3 shrubs	51 shrubs

**Parking and loading landscaping and screening – *Not applicable***

- There is no surface parking proposed for the site, so the site is not subject to the screening and landscaping requirements for parking areas per section 530.170.

**ADDITIONAL STANDARDS**

**Concrete curbs and wheel stops – *Not applicable***

- All parking stalls are located within the building and therefore this provision is not applicable to the development.

**Site context – *Meets requirements***

- There are no significant open spaces, water bodies, significant buildings or other elements near the site that will be obstructed by the proposed building.
- This building should have minimal shadowing effects on public spaces and adjacent properties, as evaluated above in the conditional use permit findings. The building to the north will be shadowed by the proposed building. However, this building would likely be shadowed by any development over three stories on the subject site and the upper floors have been stepped back to minimize the impact.
- This building has been designed to minimize the generation of wind currents at ground level by providing generous recesses on the upper floors.

**Crime prevention through environmental design – *Meets requirements***

- The site plan employs best practices to increase natural surveillance and visibility, to control and guide movement on the site, and to distinguish between public and non-public spaces.
- The proposed site, landscaping, and buildings promote natural observation and maximize the opportunities for people to observe adjacent spaces and public sidewalks.
- The landscaping, walkways, lighting, and building features are located to clearly guide pedestrian movement on or through the site and to control and to distinguish between public and private spaces.

**Historic preservation – *Meets requirements***

- This site is neither historically designated nor is it located in a historic district. The applicant applied for an historic review letter for the existing residential structure. Said letter determined that the existing residential structure is not historic and does not require any additional study prior to demolition.

**2. Conformance with all applicable regulations of the zoning ordinance.**

The proposed use for the commercial tenant space has not been identified, but it will be a neighborhood-serving retail sales and service use as allowed in the OR2 district. The residential use is permitted.

**Off-street Parking and Loading – *Meets requirements***

- The site is within one-quarter mile of a bus transit stop with midday service headways of 15 minutes or less. As such, the residential portion of the building does not have a minimum parking

requirement. The commercial space will accommodate a neighborhood-serving use. It is 1,000 square feet in area and therefore not subject to a minimum parking requirement. A total of 18 parking stalls are proposed within the building and 18 bicycle parking spaces are provided.

- The minimum bicycle parking requirement is one for every two dwelling units. In this case, four spaces would be required and 18 are provided within the building. While bicycle parking is not required for the commercial space, staff is recommending a minimum of three short-term bike parking spaces as a condition of approval.
- The project does not have a loading requirement. Any required loading functions will occur within the alley or within the public street with approval from Public Works.

**Table 3. Vehicle Parking Requirements Per Use (Chapter 54I)**

Use	Minimum	Reductions	Total with Reductions	Maximum Allowed	Proposed
General Retail Sales and Services	0	25 percent per PO	0	4	--
Residential Dwellings	9	Transit Incentives (9)	0	--	--
	--	--	<b>0</b>	--	<b>18</b>

**Table 4. Bicycle Parking Requirements (Chapter 54I)**

Use	Minimum	Short-Term	Long-Term	Proposed
General Retail Sales and Services	--	Not less than 50%	--	--
Residential Dwellings	4	--	Not less than 90%	18
	<b>4</b>	--	--	<b>18</b>

**Building Bulk and Height – Requires conditional use permit**

- The building requires a conditional use permit for height, as evaluated above.

**Table 5. Building Bulk and Height Requirements**

	Code Requirement	Proposed
Lot Area	--	11,450 sq. ft. / .26 acres
Gross Floor Area	--	31,066 sq. ft.
Floor Area Ratio (Minimum)	--	2.71
Floor Area Ratio (Maximum)	3.0	
Building Height (Maximum)	4 stories or 56 feet, whichever is less	6 stories, 81 ft.

**Lot Requirements – Requires variance(s)**

- The applicant is proposing nine units on the site, which equates to 34 dwelling units per acre. This is considered medium density per the comprehensive plan.
- The applicant has requested variances to the maximum amount of impervious surface and lot coverage. Those variances are evaluated above.

**Table 6. Lot Requirements Summary**

	Code Requirement	Proposed

<b>Dwelling Units (DU)</b>	--	9 DUs
<b>Density (DU/acre)</b>	--	35 DU/acre
<b>Lot Area (Minimum)</b>	--	1,272 sq. ft. per DU
<b>Impervious Surface Area (Maximum)</b>	85%	89.91%
<b>Lot Coverage (Maximum)</b>	70%	84.8%
<b>Lot Width (Maximum)</b>	--	97.61 ft.

**Yard Requirements – Requires variance(s)**

- The applicant has requested variances to all yard requirements, as evaluated above.

**Table 7. Minimum Yard Requirements**

<b>Setback</b>	<b>Zoning District</b>	<b>Overriding Regulations</b>	<b>Total Requirement</b>	<b>Proposed</b>
<b>Front</b> (west)	15 ft.	--	15 ft.	3.34 ft.
<b>Interior Side</b> (North)	15 ft.	--	15 ft.	5.58 ft.
<b>Corner Side</b> (South)	15 ft.	--	15 ft.	1 ft.
<b>Rear</b> (east)	15 ft.	--	15 ft.	1 ft.

**Signs – Choose an item.**

- All signs are subject to Chapter 543, On-Premise Signs. The applicant will be required to submit a separate sign permit application for any signage that is proposed.
- No signage is shown on the application at this time. Uses in the OR2 district are allowed 1.5 square foot of signage for each one foot of primary building wall. Signs for neighborhood-serving retail sales and service uses are limited to 30 square feet. Projecting signs are limited to 12 square feet. The maximum height of signs is 14 feet.

**Screening of Mechanical Equipment – Meets requirements**

- All mechanical equipment is subject to the screening requirements of Chapter 535 and district requirements.

535.70. Screening of mechanical equipment.

- a) In general. All mechanical equipment installed on or adjacent to structures shall be arranged so as to minimize visual impact using one (1) of the following methods. All screening shall be kept in good repair and in a proper state of maintenance.
  - l) Screened by another structure. Mechanical equipment installed on or adjacent to a structure may be screened by a fence, wall or similar structure. Such screening structure shall comply with the following standards:
    - a. The required screening shall be permanently attached to the structure or the ground and shall conform to all applicable building code requirements.

- b. The required screening shall be constructed with materials that are architecturally compatible with the structure.
    - c. Off-premise advertising signs and billboards shall not be considered required screening.
  - 2) Screened by vegetation. Mechanical equipment installed adjacent to the structure served may be screened by hedges, bushes or similar vegetation.
  - 3) Screened by the structure it serves. Mechanical equipment on or adjacent to a structure may be screened by a parapet or wall of sufficient height, built as an integral part of the structure.
  - 4) Designed as an integral part of the structure. If screening is impractical, mechanical equipment may be designed so that it is balanced and integrated with respect to the design of the building.
- b) Exceptions. The following mechanical equipment shall be exempt from the screening requirements of this section:
  - 1) Minor equipment not exceeding one (1) foot in height.
  - 2) Mechanical equipment accessory to a single or two-family dwelling.
  - 3) Mechanical equipment located in an I2 or I3 District not less than three hundred (300) feet from a residence or office residence district.
- The applicant is proposing rooftop mechanical equipment in the northwest and northeast corners of the building. This equipment will have a metal screen that is three feet in height.

**Refuse Screening – Meets requirements**

- All refuse and recycling storage containers are subject to the screening requirements in [Chapter 535](#).

**535.80. Screening of refuse and recycling storage containers.**

Refuse, recycling storage, and compost containers shall be enclosed on all four (4) sides by screening compatible with the principal structure not less than two (2) feet higher than the refuse container or shall be otherwise effectively screened from the street, adjacent residential uses located in a residence or office residence district and adjacent permitted or conditional residential uses. Single and two-family dwellings and multiple-family dwellings of three (3) and four (4) units shall not be governed by this provision.

- All refuse and recycling storage containers are located within the building. Trash removal operations will occur within the alley.

**Lighting – Meets requirements**

- Existing and proposed lighting must comply with [Chapter 535](#) and Chapter 541 of the zoning code, including:

**535.590. Lighting.**

- a) In general. No use or structure shall be operated or occupied as to create light or glare in such an amount or to such a degree or intensity as to constitute a hazardous condition, or as to unreasonably interfere with the use and enjoyment of property by any person of normal sensitivities, or otherwise as to create a public nuisance.
- b) Specific standards. All uses shall comply with the following standards except as otherwise provided in this section:
  - 1) Lighting fixtures shall be effectively arranged so as not to directly or indirectly cause illumination or glare in excess of one-half (1/2) footcandle measured at the closest

property line of any permitted or conditional residential use, and five (5) footcandles measured at the street curb line or nonresidential property line nearest the light source.

- 2) Lighting fixtures shall not exceed two thousand (2,000) lumens (equivalent to a one hundred fifty (150) watt incandescent bulb) unless of a cutoff type that shields the light source from an observer at the closest property line of any permitted or conditional residential use.
  - 3) Lighting shall not create a sensation of brightness that is substantially greater than ambient lighting conditions as to cause annoyance, discomfort or decreased visual performance or visibility to a person of normal sensitivities when viewed from any permitted or conditional residential use.
  - 4) Lighting shall not create a hazard for vehicular or pedestrian traffic.
  - 5) Lighting of building facades or roofs shall be located, aimed and shielded so that light is directed only onto the facade or roof.
- No lighting plan has been submitted at this time. All lighting will be required to comply with the applicable standards of Section 535.590.

#### **PO Overlay District Standards – Meets requirements**

- The proposal is in compliance with the applicable standards of the Pedestrian Oriented Overlay District.

#### **3. Conformance with the applicable policies of The Minneapolis Plan for Sustainable Growth.**

*The Minneapolis Plan for Sustainable Growth* identifies the site as mixed use on the future land use map and the site is located within the boundaries of an Activity Center. Staff finds that the proposal is consistent with the applicable policies of the comprehensive plan. Please see the conditional use permit sections above for a detailed analysis.

#### **4. Conformance with applicable development plans or objectives adopted by the City Council.**

The site is located within the boundaries of the *Uptown Small Area Plan* adopted by the City Council in 2008. Specifically, the site is located within the Core Activity Center area. While it is in the Activity Center, the small area plan calls for medium-density development on the site. In terms of development intensity, the plan calls for urban-oriented development. For height, the plan calls for heights of 3-5 stories in this area to be sensitive to the existing conditions and provide transitions to approved taller buildings. The plan calls for varied building heights with an articulated street wall. The following policies of the *Uptown Small Area Plan* apply:

##### **Land Use Recommendations:**

- Create transitions between the Core and the neighborhoods by encouraging medium-density housing.

##### **Built Form Recommendations:**

- Concentrate density and intensity in the Core.
- Encourage buildings in the Core to fit within a sculpted envelope that maximizes sunlight to the Greenway, Lake Street, and Lagoon Avenue.
- Encourage all buildings on Lake Street and Lagoon Avenue, east of Hennepin Avenue, to contain storefronts.
- Set buildings back on the north side of Lagoon Avenue and Lake Street to create broad sidewalks.

- Encourage buildings south of Lake Street to step down to meet the neighborhood scale.

**Pedestrian and Bicycle Recommendations:**

- Ensure that new development (residential and commercial) provides an adequate number of bicycle parking stalls.

The proposed project would provide medium density housing as called for in the plan, with one small commercial space on the ground floor to activate the street. The upper floors of the building are setback a minimum of 12.6 feet and up to 19 feet from the south property line to provide transition to the properties south of the site. The building height is varied through the use of step-backs and the ground floor is articulated along 31<sup>st</sup> Street. The proposed project is generally consistent with the policies of the small area plan.

**5. Alternative compliance.**

The Planning Commission or zoning administrator may approve alternatives to any site plan review requirement upon finding that the project meets one of three criteria required for alternative compliance. Alternative compliance is requested for the following requirements:

- **Blank walls.** The building contains of blank wall in excess of 25 feet on the first floor of the north elevation. Alternative compliance is requested. Staff recommends granting alternative compliance in this location. The primary exterior material is a high-quality stone veneer. Requiring a material change in this location may detract from the intent of the architecture and the overall design of the building. Tall plantings are provided along this section of blank wall to provide visual interest and soften the overall appearance.
- **Entrance.** The building is required to be oriented so that at least one principal entrance faces the front property line. The primary residential entrance is located in the center of the building, facing 31<sup>st</sup> Street W. The entrance into the commercial space is also facing 31<sup>st</sup> Street W. Due to the underlying platting, this is actually the corner side yard. Alternative compliance is requested to have the entrance facing the corner side yard in lieu of the front yard. Staff recommends granting alternative compliance as this is a corner lot with two frontages. The applicant is proposing the entrances along 31<sup>st</sup> Street W to tie into the commercial activity on the east side of the block.
- **Ground floor active functions.** Active functions are only provided for 53.6 percent of the first floor along Holmes Avenue S, where 70 percent is required. Staff recommends granting alternative compliance. The use is short of active functions by 14 feet along this frontage. The 31<sup>st</sup> Street W frontage is 100 percent active as an alternative. As noted above, the access into the parking is from Holmes Avenue S due to commercial service functions in the alley. Public Works has stated that alley access is not preferred in this instance. As such, 19 feet of the Holmes Avenue frontage serves as an access point. This is consistent with the character of other uses along Holmes Avenue S.
- **Trees.** The site requires one canopy tree. The applicant is proposing five canopy trees. However, they are all located within the right-of-way directly adjacent to the site. Staff recommends granting alternative compliance to allow the canopy tree required to be satisfied within the right-of-way.

**FOR REZONINGS ONLY**

**ZONING PLATE NUMBER.** 24

**LEGAL DESCRIPTION.** Lots 7 and 8, Block 27, CALHOUN PARK, Hennepin County, Minnesota.

## RECOMMENDATIONS

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt staff findings for the applications by Pete Keely of Collage Architects for the property located at 3041 Holmes Avenue S:

**A. Rezoning the property located at address from the R4 zoning district to the OR2 zoning district, retaining the PO Overlay District.**

Recommended motion: **Approve** the application for a rezoning.

**B. Conditional Use Permit to increase the height in the OR2 district from four stories or 56 feet to six stories, 81 feet.**

Recommended motion: **Approve** the application for a conditional use permit, subject to the following conditions:

1. The conditional use permit shall be recorded with Hennepin County as required by Minn. Stat. 462.3595, subd. 4 before building permits may be issued or before the use or activity requiring a conditional use permit may commence. Unless extended by the zoning administrator, the conditional use permit shall expire if it is not recorded within two years of approval.
2. The setbacks shown on the floor plans shall be provided on all floors.

**C. Variance to decrease the required front yard setback along Holmes Avenue S from 15 feet to 3.34 feet.**

Recommended motion: **Approve** the application for a variance.

**D. Variance to decrease the north interior side yard setback from 15 feet to 5.58 feet.**

Recommended motion: **Approve** the application for a variance.

**E. Variance to decrease the east rear yard setback from 15 feet to one foot.**

Recommended motion: **Approve** the application for a variance.

**F. Variance to decrease the corner side yard setback along 31<sup>st</sup> Street W from 15 feet to one foot.**

Recommended motion: **Approve** the application for a variance.

**G. Variance to increase the maximum amount of impervious surface from 85 percent to 89.9 percent.**

Recommended motion: **Approve** the application for a variance, subject to the following condition:

1. A minimum of 434 square feet of permeable pavers shall be provided on-site to mitigate the overall amount of impervious surface.

**H. Variance to increase the maximum lot coverage from 70 percent to 84.8 percent.**

Recommended motion: **Approve** the application for a variance.

**I. Site Plan Review for a new six-story, mixed-use building with nine dwelling units.**

Recommended motion: **Approve** the application for site plan review, subject to the following conditions:

1. All site improvements shall be completed by January 11, 2018, unless extended by the Zoning Administrator, or the permit may be revoked for non-compliance.
2. CPED staff shall review and approve the final site, elevation, landscaping, and lighting plans before building permits may be issued.
3. The plant materials, and installation and maintenance of the plant materials, shall comply with sections 530.200 and 530.210 of the zoning code.
4. A minimum of three short-term bicycle parking spaces shall be provided for the commercial use.

## ATTACHMENTS

1. Written description and findings submitted by applicant
2. PDR Report
3. Zoning map
4. Site plan
5. Plans
6. Building elevations
7. Renderings
8. Shadow studies
9. Photos
10. Correspondence



12.14.2015

City of Minneapolis  
Community Planning & Economic Development  
250 S Fourth Street Rm. #300  
ATTN: Kimberly Hollein

**RE: 3041 Holmes Avenue South.**

**Project Description:** The project sits on the property at 3041 Holmes Avenue South. There is currently a single-family home on the site, and a parking lot. The proposed project demolishes the house, and the parking lot to construct the new development. The proposed development is a mixed-use, nine unit luxury condominium building with a first floor commercial. The building represents a density of 35 units per acre which aligns with the small area plan indicating a preferred use of 20-50 DU/Acre. There are six floors in the structure. The first floor contains commercial use, parking and amenity spaces for the residential use. Floors 2-5 contain two condominium units per floor, and the sixth floor contains one residential unit. The building will be a luxury residential building with a high level of finishes, and individually customized units. Each unit has light access in three or four directions providing superior light quality.

**Zoning:** The site is zoned R4 and is in a pedestrian Overlay district. The site is also identified in the Uptown Small Area Plan as part of the 'Activity Center'. The applicant is requesting a rezoning to OR2. The Uptown Small Area Plan indicates preferred use at this location to be mixed-use with housing and commercial. The proposed rezoning would help the property comply with the small area plan by allowing a first floor zoning use.

**Building Design:** The building design is broken into three parts. There is a one story base that comes close to the property lines with a small setback for planting. This base is intended to align with the massing of the one and two-story structures in the commercial core. This base is filled with store-front, glass and the look of a commercial property. The base level will contain a commercial space of 1,074 square feet with an unidentified tenant at this time. Also on the first floor will be the residential entry lobby, a fitness room and a small club room. The second part is the mid-section of the building that contains two luxury units per floor. This portion of the building steps back from the one-story base. The third section is the top floor penthouse that also steps back reducing the impact of the height. Where the building steps back outdoor living area is provided for private residential use. The building will be

constructed of high-quality materials. The structure is post-tensioned concrete, and the exterior is stone veneer on all sides with accents of granite, cast stone, and metal.

**Height:** The Proposed Building is a six story building and 81 feet in height. The building steps back above the first floor and again above the fifth floor, with both setbacks reducing the impact of the height. The mass of the building, and the majority of the height is pushed back to the northeast corner further reducing the impact toward the neighborhood, and locating the height more closely to the Hennepin Avenue side. R4 Zoning allows for 4 stories and 56 feet in height and can be increased by a conditional use permit per zoning code 546.110. The height allowed in the OR2 is also 4 stories and 56'. The applicant is requesting a Conditional Use Permit for the additional height.

C.U.P. Conditions:

- (1) The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, comfort or general welfare.
  - The conditional use is not a detriment, nor does it adversely affect public health safety, general welfare or comfort.
- (2) The conditional use will not be injurious to the use and enjoyment of other property in the vicinity and will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.
  - The 81' height does not block access to light and air of surrounding properties, there is currently a residential multi-family property on the north side of the proposed development. The property to the north currently has a thirty foot structure directly to the south on the site of the proposed development that currently shadows the property. Other adjacent properties are commercial properties, and other residences are to the south of the property and not effected by shadows. Shadow studies have been provided. The improvement of properties in the vicinity would not be impacted by the additional height.
- (3) Adequate utilities, access roads, drainage, necessary facilities or other measures, have been or will be provided.
  - The site is an existing lot with existing infrastructure that can accommodate the new development.
- (4) Adequate measures have been or will be taken to minimize traffic congestion in the public streets.
  - The development density with the additional height is less than allowed by the existing ordinance and less than the existing condition, thus it should minimize traffic impacts to public streets.
- (5) The conditional use is consistent with the applicable policies of the comprehensive plan.
  - The Uptown small area plan indicates heights allowable up to and above the proposed height. The proposed project is in the activity center of the small area plan, and is consistent with those policies.

(6) The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.

- The conditional use would conform to applicable regulations of the district.

**Floor Area Ratio:** The proposed building contains 31,006 square feet of use. The allowable F.A.R. for R4 is 1.5 with a 20% bonus for enclosed parking, and for OR2 is 2.5 or 3.0 with 20 % bonus for enclosed parking. The site area is 11,450 sq.ft. with an allowable F.A.R. of 30,450 sq.ft. with the rezoning. (1<sup>st</sup> floor = 2,634 sf, 2-5 floors = 5,695 sf, 6<sup>th</sup> floor = 4,107 sf)

**Parking:** Parking is located on the first floor of the building and is wrapped by residential amenities on the 31<sup>st</sup> Street side. A total of 18 stalls are provided with one visitor stall. There are three proposed garages on the alley side of the project that serve as individual garages. The alley is 22' wide in this location. The visitor stall is an enclosed stall that will be controlled by residents through electronic access. All Parking is enclosed.

**Variations Required:** These variations are requested within the applicants understanding of the intent of the Small Area Plan. The small area plan indicates this parcel for mixed-use, and a transition from the activity center to the neighborhood. As such the OR2 zoning is indicated as a transitional zoning from higher density into a neighborhood. The variations are also a transition between the requirements of the C3A zoning on both adjacent sides of the parcel, and the R4 district across the street on both sides. The proposed setbacks and coverages are intended as a transition.

1. **Front, Side, and Rear Yard Setback:** The required front yard and side yard setback is 15' , corner side yard is 18'and the rear yard is 15' The proposed setback is 1'at the front yard, 3' at the corner side yard, 1' at the side yard, and 5'-6" at the rear yard.
  - The project is located within the Activity Center of the Uptown Small Area Plan, and a Pedestrian Overlay District. The Small Area Plan indicates preferred use at this location to be mixed-use with commercial at the first floor. Commercial uses are typically pulled up to the sidewalk in the activity center.
  - The proposed plan uses the property in a reasonable manner that will be in keeping with the spirit of the Small Area Plan. The plan indicates active uses and building placement at the back of sidewalks. Typical commercial frontage is at the back of sidewalk and thus the proposed plan is more in keeping with the intent of a pedestrian activity center per the small area plan. Adjacent zoning indicates maximum setbacks of eight feet. The placement near the sidewalk promotes active use and continues the street front buildings in the Activity Center. The mass of the building above the first floor is setback 13' at the front yard, and 14' at the corner side yard, and 11' at the side yard (alley). Additionally the building above the first floor steps back along the north property line 26'. At the

approximate western and eastern third of the north property line. The top floor steps back approximately 12' from the east, south and west sides.

- The variance will not alter the essential character of the area and is not detrimental to health and safety. The essential character of the activity center is a walkable, active pedestrian neighborhood with buildings directly to the edge of sidewalks. The proposed project continues the existing pattern of the activity center with building placement in close proximity to the sidewalk. The setback transitions from one foot on the east side of the property to 6' on the west side of the property increasing the amount of landscaping buffer as the commercial uses transition into more residential uses. The buildings in the activity center are in close proximity side to side, which continues the walkable nature of the area. The proposed building follows this pattern with the eastern side near the alley maximizing the street frontage.

**2-3 Lot Coverage and Impervious Surface Area:** The proposed development by extending the first floor to the sidewalk does cover additional area than allowed. The design does step the building back for additional setbacks and green space as it transitions from east to west. Given the extension of the first floor of the building additional portions of the lot are covered. By bringing the building closer to the property line it is in keeping with the intent of the Small Area Plan, and does add coverage to the lot area. This is in keeping with the Activity Center, and the C3A commercial zoning directly to the east and the north which have higher percentages of lot coverage and impervious surface. The property is directly adjacent to the Activity Center which is C3A. Based on the Small Area Plan, this site is in the Activity Center, and as such seems to be closely related to the commercial zoning. The proposed coverage is a transition between the C3A lot coverage, and the 85% of the OR2.

(1) Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.

- This building is identified in the Small Area Plan as part of the Activity Center. The Activity center is mostly commercial zoning with greater lot coverages, and impervious coverages. The building extends closer to the sidewalk creating a larger footprint and greater lot coverage area in part to address the intent of the Activity Center as indicated in the small area plan which highlights a greater use, coverage and density in The C3A district directly next-door. The Activity Center has a maximum setback, and the proposed project is intended to relate to the commercial district adjacent. Additional ground floor area was needed to accommodate enough commercial use toward the street to be practical.

(2) The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.

- Given the extension of the first floor of the building additional portions of the lot are covered. By bringing the building closer to the property line it is in keeping with the intent of the Small Area Plan, and does add coverage to the lot area. This is in keeping with the Activity Center, and the C3A commercial zoning directly to the east and the north which have higher percentages of lot coverage and impervious surface. The property is directly adjacent to the Activity Center which is C3A. Based on the Small Area Plan, this site is in the Activity Center, and as such seems to be closely related to the commercial zoning. The proposed coverage is a transition between the C3A lot coverage, and the 85% of the OR2.

(3) The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.

- The proposed variances does don alter the essential character, and is part of the intent of the Small area plan. The proposed variance is not detrimental to the safety and welfare of the public, or utilizing nearby properties, as the use, access, and condition of safety remains the same. Additional measures to the plan have been added to improve the general condition of the sidewalk, and pedestrian way.

**Building Metrics per zoning:**

	R4 Zoning	OR2 Zoning	Proposed
Front setback	15'	15'	1'
Corner side yard setback	18'	18'	1'
Rear and interior side setback	15'	15'	5'-6"
density	11	-	9
FAR	20,610	34,350	31,066*
Height (stories/ feet)	4/56' (84' with CUP)	4/56' (84'with CUP)	6/81'
Lot coverage	70%	70%	85%
Impervious surface	85%	85%	85%

\* The total square footage is 38107 s.f, the total area indicated for FAR is without the parking area. 11,450sq.ft. lot area

**Process:** The applicant met with the ECHO Neighborhood planning and zoning group on two separate occasions once on May 29, 2015, and with the Land-Use committee on September 21, 2015. The meetings were open to, and well attended by the public. The applicant revised the initial proposal after

the meetings. Originally the project was proposed to contain a restaurant. This would have required a rezoning to C3A, and although this would have been similar to the adjacent properties, the signatures for this rezoning were never obtained. The neighborhood expressed considerable concerns over traffic and parking in the neighborhood with the restaurant. Specifically there were concerns over traffic impacts to the intersection at 31<sup>st</sup> and Hennepin, and although valet parking was proposed, there were concerns over patrons parking in the neighborhood. The current proposal has eliminated the proposed restaurant, and has provided a commercial tenant space keeping it mixed-use.

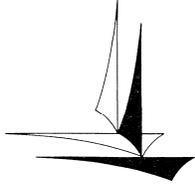
Please let me know if any of the items need additional information or clarifications.

Sincerely,

COLLAGE ARCHITECTS

A handwritten signature in black ink, appearing to read 'Pete Keely', with a stylized flourish extending to the right.

Pete Keely, A.I.A.  
*President*



Minneapolis Development Review  
 250 South 4<sup>th</sup> Street  
 Room 300  
 Minneapolis, MN 55415

## Preliminary Development Review Report

Development Coordinator Assigned: **DONALD ZART**  
**(612) 673-2726**  
**don.zart@minneapolismn.gov**

<b>Status *</b>
<b>RESUBMISSION REQUIRED</b>

<b>Tracking Number:</b>	PDR 1001328
<b>Applicant:</b>	GRAVES HOSPITALITY 1934 HENNEPIN AVE SOUTH, SUITE 201 MINNEAPOLIS, MN 55403
<b>Site Address:</b>	3041 HOLMES AVE S
<b>Date Submitted:</b>	26-JUN-2015
<b>Date Reviewed:</b>	10-JUL-2015

### Purpose

The purpose of the Preliminary Development Review (PDR) is to provide Customers with comments about their proposed development. City personnel, who specialize in various disciplines, review site plans to identify issues and provide feedback to the Customers to assist them in developing their final site plans.

The City of Minneapolis encourages the use of green building techniques. For additional information please check out our green building web page at: [http://www.ci.minneapolis.mn.us/mdr/GreenBuildingOptions\\_home.asp](http://www.ci.minneapolis.mn.us/mdr/GreenBuildingOptions_home.asp).

**DISCLAIMER:** *The information in this review is based solely on the preliminary site plan submitted. The comments contained in this report are preliminary ONLY and are subject to modification.*

### Project Scope

Proposed six story luxury apartments (9 units) over restaurant.

### Review Findings (by Discipline)

#### Fire Safety

- Provide required fire suppression system throughout building.
- Fire department connection must be located on the address side of building and within 150 feet of a fire hydrant.
- Provide required fire alarm system throughout building.
- Maintain fire apparatus access at all times.

#### Business Licensing

- Please contact Don Zart (612)673-2726 regarding the Health Department Plan Review that is required for the restaurant.

\*Approved: You may continue to the next phase of developing your project.

\*Resubmission Required: You cannot move forward or obtain permits until your plans have been resubmitted and approved.

## □ Zoning - Planning

- The project requires the following land use applications:
  - A conditional use permit to increase height from 4 stories, 56 feet to 6 stories, 81 feet
  - A variance to decrease the front yard setback along Holmes Avenue from 10 feet to 3.4 feet for the first 25 feet from the north property line
  - A variance to decrease the north interior side yard setback from 15 feet to 5.6 feet
  - A variance to decrease the east side yard setback from 15 feet to 11.8 feet to allow for residential windows
  - A variance to the standards of the Pedestrian Oriented Overlay district to reduce the amount of window coverage on the west elevation from 40 percent to approximately 12.9 percent.
  - Site Plan Review
  - Staff recommends adding windows to the west elevation to achieve 40 percent. Please note that windows are measured between two feet and 10 feet above grade.
  - There are blank walls on the north and east elevations in excess of 25 feet that will require alternative compliance

## □ Parks - Forestry

- Contact Craig Pinkalla (cpinkalla@minneapolisparcs.org), Telephone (612)-499-9233 regarding removal or protection of trees during construction in the city right of way.
- Please ensure the landscaping, civil and architectural plans match for tree species and placement.
- Opening of 125 sq. ft. /tree required for open Blvd. Otherwise 500cu. ft. structural soil/tree is required. Based on current landscape plan tree locations on 31st will require at least 250 cu. ft./tree of structural soil under the paver covered area in addition to approx. 8' x 8' openings shown.
- Maple is over represented at the neighborhood level. Different genus should be selected. Furnished list of genera that are below goals for neighborhood.
- Planting elevation should be included showing planting detail and profile showing structural soil.(min. width 5' min. depth 3')
- Current value of existing trees is \$2789.70 - \$2400 (allowance of \$400.00/tree for 6 trees to be planted) = \$389.70 net value lost payable to MPRB prior to start of construction. Contact Craig Pinkalla for invoice.
- Effective January 1, 2014, the City of Minneapolis and the Minneapolis Park and Recreation Board adopted an update to the existing Parkland Dedication Ordinance.
- The adopted City of Minneapolis Parkland Dedication ordinance is located in Section 598.340 of the City's Land Subdivision ordinance:
- <http://library.municode.com/index.aspx?clientId=11490>
- As adopted, the fee in lieu of dedication for new residential units is \$1,500 per unit (affordable units excluded per ordinance) and for commercial and industrial development it is \$200 per development employee (as defined in ordinance). Any dedication fee (if required) must be paid at the time of building permit issuance. There is also an administration fee that is 5% of the calculated park dedication fee.
- As proposed, for your project 6 story building with restaurant, the calculated dedication fee is as follows:
 

• Park Dedication	=	\$10,647
• 5% of \$6000	=	\$ 603
• Total	=	\$11,250
- This is a preliminary calculation based on your current proposal; a final calculation will be made at the time of building permit submittal.
- For further information, please contact Don Zart at (612)673-2726.

## □ Water

- Because the proposed building exceeds five (5) stories; combination domestic water and fire service lines are not be permitted; separate domestic water and fire service lines shall be provided. Please contact Rock Rogers at (612) 673-2286, to review domestic and fire service design, connections, and sizes.

## □ Right of Way

- Note to the Applicant: The proposed impacts to the Public right-of-way depicted on Sheets C-0.0 thru C-5.0, do not match impacts depicted elsewhere in the plans including the Landscaping Plan (Sheet L100) and the Architectural Site Plan (Sheet AS100). All proposed work depicted throughout the site plan on various sheets shall match.
- The proposed landscaping, retaining walls, and planters will require an encroachment permit application. An encroachment permit shall be required for all streetscape elements in the Public right-of-way such as: plants & shrubs, planters, tree grates and other landscaping elements, sidewalk furniture (including bike racks and bollards), and sidewalk elements other than standard concrete walkways such as pavers, stairs, raised landings, retaining walls, access ramps, and railings (NOTE: railings may not extend into the sidewalk pedestrian area). Please contact Bob Boblett at (612) 673-2428 for further information.
- Note to the Applicant: Any elements of an earth retention system and related operations (such as construction crane boom swings) that fall within the Public right-of-way will require an encroachment permit application. If there are to be any earth retention systems which will extend outside the property line of the development then a plan must be submitted showing details of the system. All such elements shall be removed from the Public right-of-way following construction with the exception of tie-backs which may remain but must be uncoupled and de-tensioned. Please contact Bob Boblett at (612) 673-2428 for further information.
- In addition, any elements of an earth retention system and related excavations that fall within the Public right-of-way will require a "Right-of-Way Excavation Permit". This permit is typically issued to the General Contractor just prior to the start of construction. However, it is the Applicant's responsibility to insure that all required permits have been acquired by its consultants, contractors, sub-contractor's prior to the start of work.
- The double entrance doors along W. 31st St. are shown with doors swinging into the Public right-of-way. Per the Minneapolis Code of Ordinances, out-swinging doors are permitted to encroach a maximum of 4" into the Public right-of-way. The Applicant should consider designs that provide for in-swinging doors or recessed doorways to prevent out-swinging doors beyond the maximum allowable encroachment.

## □ Street Design

- Note to the Applicant: The proposed impacts to the Public right-of-way depicted on Sheets C-0.0 thru C-5.0 do not match impacts depicted elsewhere in the plans including the Landscaping Plan (Sheet L100) and the Architectural Site Plan (Sheet AS100). All proposed work depicted throughout the site plan on various sheets shall match.
- The site plan includes notes related to the proposed curb cut along Holmes Ave. S. that are incorrect and do not follow Minneapolis standards. Truncated domes are not to be installed on either side of drive approach, and grades on the sidewalk at the drive approach shall not be depressed. All driveway aprons shall be designed and constructed to City standards. All driveway aprons shall be shown graphically correct on all related plan sheets. For detailed information related to City of Minneapolis standard specifications, details, and standard plates refer to the following: <http://www.minneapolismn.gov/publicworks/plates/index.htm>. The Site plan does include all of the correct City Standard plates (see Sheet C-5.0); all related plan sheets shall reference the standard plates on Sheet C-5.0.

## □ Construction Code Services

- Verify intake and exhaust clearance requirements to P/L. Three feet intake/exhaust garage. 10 ft mechanical air intakes (typical).
- Verify structural and public works requirements for the landing including frost protection at restaurant entry on west 31st St side that extends over property line.
- Verify that storm and sanitary drainage separation are proper for garage entry area. Exterior rainwater should not be discharged to the sanitary drain system. Verify flammable waste interceptor location and venting locations with mechanical requirements.
- Verify soils for site including elevation depth of existing structures and proposed new with required compaction and/or groundwater levels.
- Ensure 60% of entrances are accessible

- Contact the Met Council regarding a SAC determination. For more information go to this link [http://www.minneapolismn.gov/www/groups/public/@regservices/documents/webcontent/convert\\_281675.pdf](http://www.minneapolismn.gov/www/groups/public/@regservices/documents/webcontent/convert_281675.pdf)

#### ❑ Addressing

- The proposed address for the residential address is 3041 Holmes Ave S.
- The proposed address for the restaurant entry is 1434 31st St W.
- When assigning suite sequences the following guidelines are as follows:
  - The first one to two digits of the suite sequence number will designate the floor number of the site.
  - The last two digits of the suite sequence number will designate the unique ID for the unit (condo, suite, unit, or apartment).
  - Suite sequence digit numbers will be assigned to dwelling, commercial and retail units, not common areas. For example, laundry rooms, saunas, workout rooms, etc., would not be assigned numbers.
  - Please provide each condo, suite, unit or apartment number.
- This building is also considered to have a parking ramp per MCO Chapter 108. As such, within 5 years of the date of the certificate of occupancy being issued, the parking ramp will be required to have annual inspections and apply for a Ramp Operating Certificate.

#### ❑ Sidewalk

- Note to the Applicant: The proposed impacts to the Public right-of-way depicted on Sheets C-0.0 thru C-5.0 do not match impacts depicted elsewhere in the plans including the Landscaping Plan (Sheet L100) and the Architectural Site Plan (Sheet AS100). All proposed work depicted throughout the site plan on various sheets shall match.
- The Landscaping Plan (Sheet L100) and the Architectural Site Plan (Sheet AS100) indicate that the existing landscaped (green) boulevard along W. 31st St. is to be replaced with a brick paver design; per City Ordinance removal of an existing landscaped boulevard requires a Special Boulevard Permit. The Special Boulevard Permit (Sidewalk) is a permit for private treatments by property owners in the City Right Of Way as described in the Boulevard Ordinance. The Special Boulevard Permit requires City Council approval. Some commonly requested property owner treatments include special sidewalk or boulevard paving and certain plantings not allowed by the ordinance without this permit. Please contact Sidewalk Inspections at 673-2420 for further information.
- The site plans indicate (as part of the proposed streetscape), seating areas between the sidewalk and boulevard along W. 31st St.. The intention of the seating is not clear (public seating or an extension of a sidewalk café); the Applicant shall provide a narrative explaining the purpose for the seating. Additional approvals for Sidewalk Cafés are required through Licensing; please contact Don Zart for additional information.
- Sidewalk widths along both Holmes Ave. S. and W. 31st St., and shall be shown consistently throughout the plan set; the Landscape and Site Plan sidewalk widths are different. Please correct the Site Plan drawing to show all sidewalk widths at a minimum of 6 feet wide.
- Sod is not recommended on either side of the drive approach on Holmes Avenue South.

#### ❑ Traffic and Parking

- Note to the Applicant: The proposed impacts to the Public right-of-way depicted on Sheets C-0.0 thru C-5.0 do not match impacts depicted elsewhere in the plans including the Landscaping Plan (Sheet L100) and the Architectural Site Plan (Sheet AS100). All proposed work depicted throughout the site plan on various sheets shall match.
- The nature of the proposed development is such that traffic impacts will be an issue; please contact Allan Klugman at (612) 673-2743 to discuss the requirements of a Travel Demand Management Plan (TDMP).
- The site plan proposes a streetscape, sidewalk café, and a Valet Drop-off area that conflicts with existing on-street parking meters. Approval of these proposed amenities will require further review and separate approvals through the Traffic Department; the Applicant shall contact Paul Miller at (612) 673-3603 to arrange for a follow-up meeting with the Traffic Department and CPED.

- The Applicant shall note the location of any existing Metro Transit "bus stops" on the site plan.
- Current ordinance states that all maneuvers associated with loading, parking or sanitation pick up for a private development shall occur on private property. Please provide a narrative explaining the trash removal operations and show turning maneuvers for all vehicles that will be using the loading dock/parking entrance areas. Per City Ordinance the Applicant shall provide for (and identify) a solid waste collection point (SWCP) on the site plans. The location of the SWCP is subject to the review and approval of the Public Works Department.
- **Street Lighting:** Please contact Bill Prince at (612) 673-3901 regarding existing and proposed street lighting. All street lighting (existing and proposed) shall be shown clearly on the site plan. Prior to site plan approval, the Applicant shall contact Bill Prince at (612) 673-3901 to determine street lighting requirements. Note: If decorative street lighting exists on the proposed site it must be preserved or replaced at existing levels. Street lighting will be strongly encouraged in areas immediately adjacent to existing lighting systems, in high density areas such as Uptown and the University of Minnesota, and along major pedestrian corridors and business nodes as identified in the Minneapolis Street Lighting Policy.

#### **□ Environmental Health**

- If impacted soil is encountered during site activities call the MN State Duty officer at (615) 649-5451.
- If dewatering is required during site construction see below for city permit requirements. Subgrade structures should be designed to prevent infiltration of groundwater without the need for a permanent dewatering system being installed. If a continuously operating permanent dewatering system is needed it must be approved as part of the sanitary sewer and storm drain site plan approval prior to construction beginning.
- No construction, demolition or commercial power maintenance equipment shall be operated within the city between the hours of 6:00 p.m. and 7:00 a.m. on weekdays or during any hours on Saturdays, Sundays and state and federal holidays, except under permit. Contact Environmental Services at 612-673-3867 for permit information.
- Permits and approval are required from Environmental Services for the following activities: Temporary storage of impacted soils on site prior to disposal or reuse; Reuse of impacted soils on site; Dewatering and discharge of accumulated storm water or ground water, underground or aboveground tank installation or removal, well construction or sealing. Contact Tom Frame at 612-673-5807 for permit applications and approvals.
- A review of the project, permits issued and an inspection from Environmental Service for identification of equipment and site operations that require annual registration with the City of Minneapolis will occur for this project.

#### **□ Historical Preservation Committee**

- There is no preservation flag. The wrecking of any existing structure requires a historic review by Zoning.

#### **□ Sewer Design**

##### **Groundwater:**

- Please identify the lowest floor elevation on the grading plan and provide a copy of any geotechnical reports for the site. It must be adequately demonstrated that pumping of groundwater will not be necessary in order to keep the below grade areas dry. If any groundwater discharges are proposed they must clearly identified and quantified for review.

##### **Stormwater Management:**

- The proposed project is located within the Minnehaha Creek Watershed District, which has a separate review process from that of the City. Please note it may be necessary to obtain approvals or permits from Minnehaha Creek Watershed District.

##### **Utility Connections:**

- There may be several existing sanitary and storm sewer service connections to the site. Please note these service connections are the responsibility of the property owner. If any damage occurs due to failure of any service the property owner is liable for the damage. If the services are proposed to be removed at this time,

please note this on the plan. Existing utility service location information is available through the City's Utility Connections Office, 612-673-2451.

- It is preferred that the sanitary sewer connection be made at the existing manhole just downstream of the current proposed connection location. Please evaluate if this is feasible, if not please contact Jeremy Strehlo, 612-673-3973, for further requirements for the proposed connection directly to the main.
- There is an unidentified existing manhole in the boulevard along W. 31st St. which is not shown on the plans and is conflict with numerous proposed sidewalk/streetscape features. The Applicant identify the manhole and accommodate it on future plans.
- Please provide justification for the sizing of the proposed 12" storm sewer connection. The size of the connection should be minimized as much as possible, while providing sufficient capacity. It is preferred that a maximum 10" storm sewer service be provided so the connection to the 15" main can be made by core drilling the main and installing a saddle tee fitting. Please evaluate if this is feasible, if not please contact Jeremy Strehlo, 612-673-3973, for further requirements for the proposed connection.

**Erosion Control:**

- Please provide details for the proposed erosion and sediment control devices (silt fence, inlet protection, etc.)

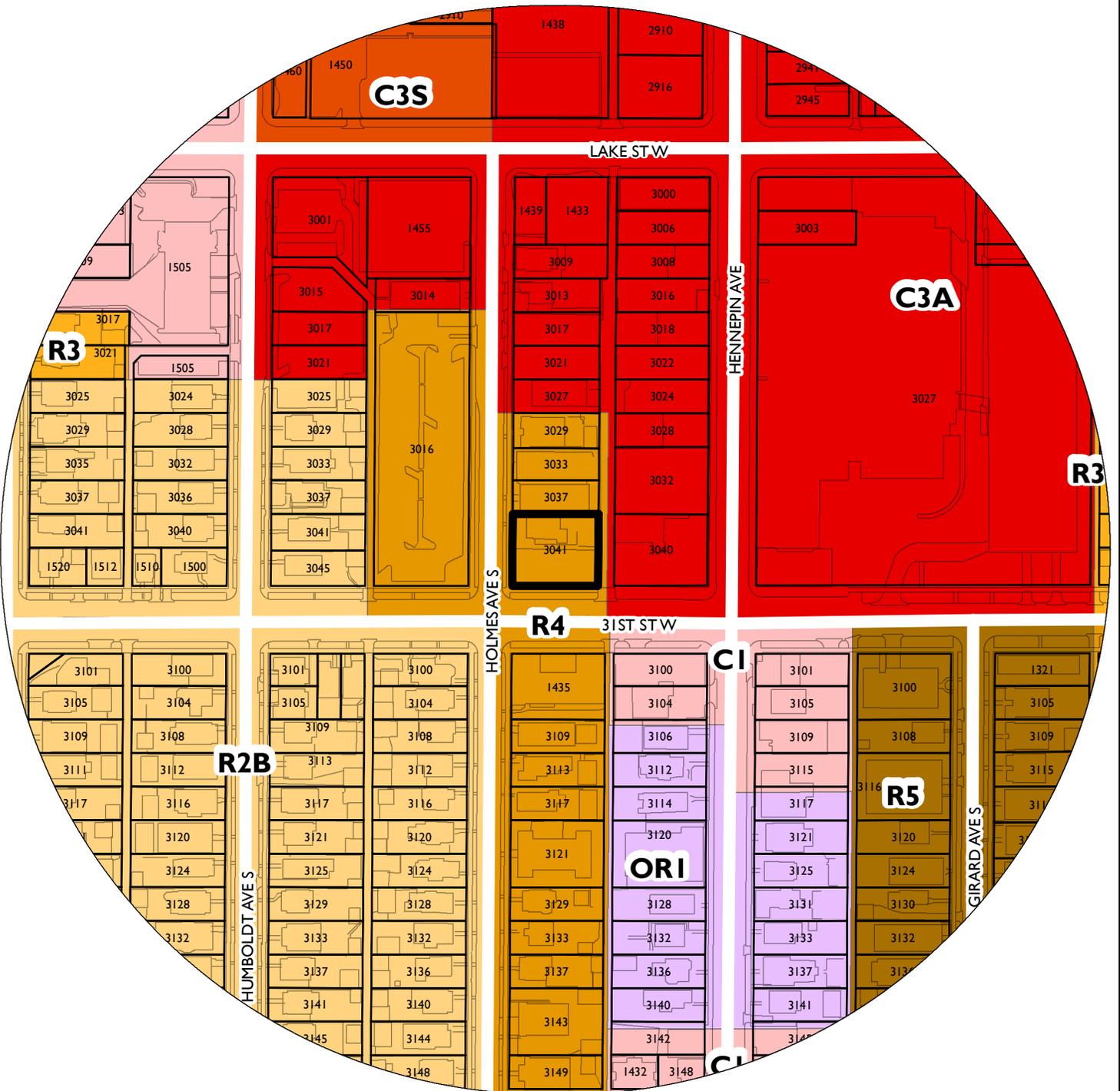
**Non Stormwater Discharges:**

- Detail all mechanical and non-stormwater discharges. Non-stormwater discharges are not permitted unless approved by the City of Minneapolis. Non-stormwater discharges not declared and approved will not be permitted. If there currently are none and nothing is proposed declare this status on the plans.
- For comments or questions on Public Works Surface Water & Sewers Division related requirements please contact Jeremy Strehlo, (Professional Engineer) at (612) 673-3973, or [jeremy.strehlo@minneapolismn.gov](mailto:jeremy.strehlo@minneapolismn.gov)

END OF REPORT

NAME OF APPLICANT

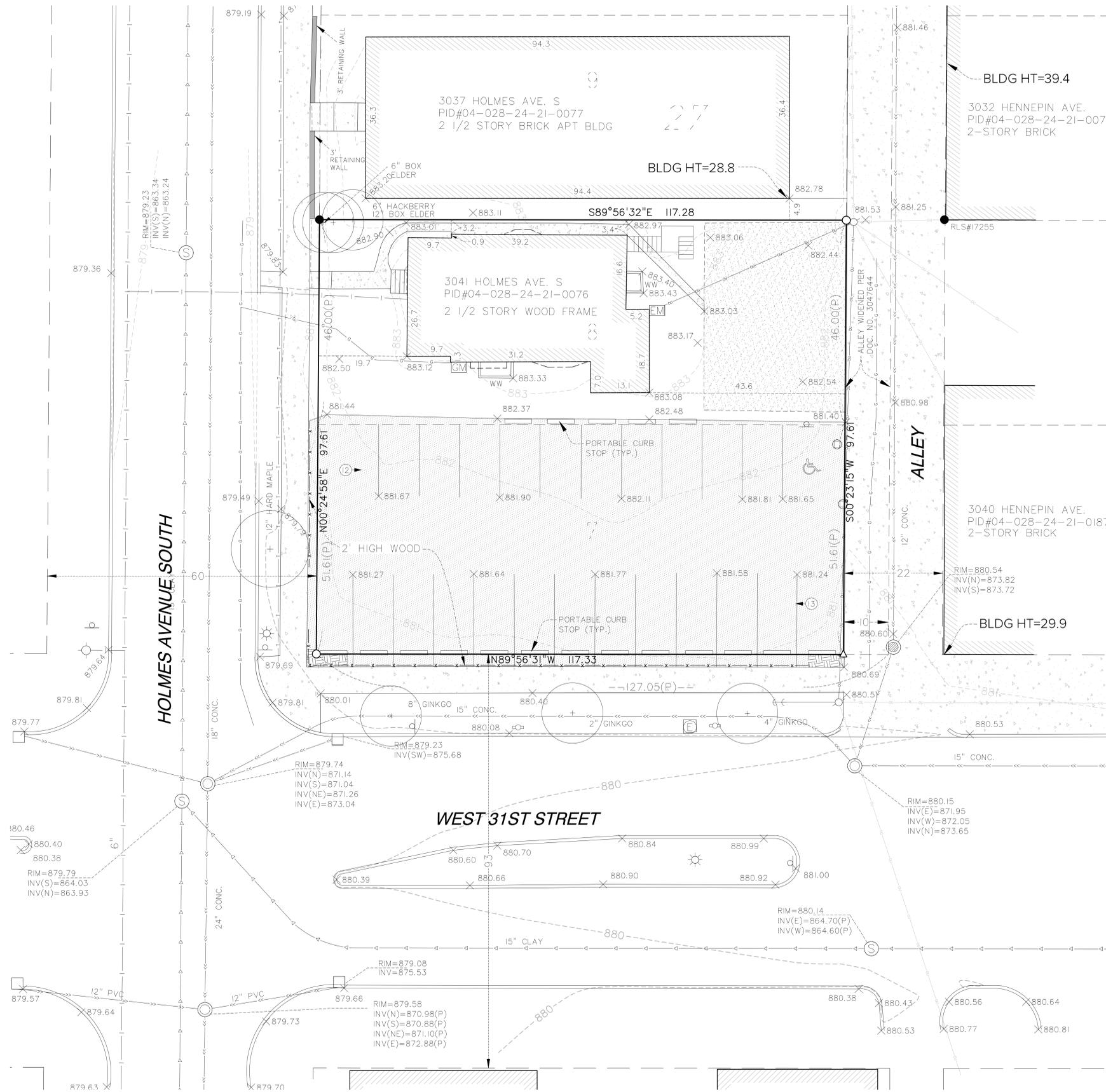
WARD



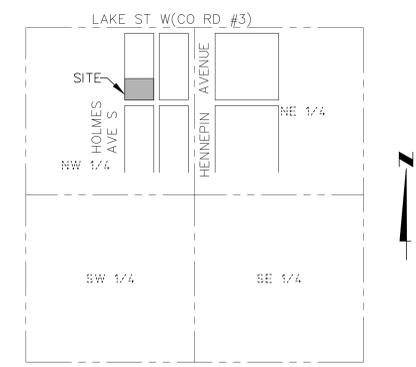
PROPERTY ADDRESS  
**3041 Holmes Ave S**

FILE NUMBER  
**BZZ-7520**

Drawing name: X:\2015\1500021\plan sheets\Site\1500021econ.dwg Dec 29, 2015 - 1:15pm



VICINITY MAP



NOT TO SCALE  
SECTION 04, T28, R24

LEGAL DESCRIPTION

Lots 7 and 8, Block 27, CALHOUN PARK, Hennepin County, Minnesota  
(Property is Abstract)

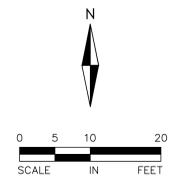
NOTES

- This survey and the property description shown herein are based upon information found in the commitment for title insurance prepared by First American Title Insurance Company, Commitment No. 1379623, dated February 09, 2015.
- The locations of underground utilities are depicted based on information from Gopher State One Call system for a "Boundary Survey locate". The information was provided by a combination of available maps, proposed plans or city records and field locations which may not be exact. Verify all utilities critical to construction or design.
- The orientation of this bearing system is based on the Hennepin County Coordinate System NAD83. Coordinates are Hennepin County ground feet, based on the Minnesota Coordinate System, Southern Zone, NAD83, 1986 (non HARN values). Coordinate values dated January, 2005.
- All distances are in feet.
- The area of the above described property is 11,450 square feet or 0.26 acres.
- Bench Mark 1: City of Minneapolis Monument #359 has an elevation of 874.33 feet NGVD29.
- Bench Mark 2: City of Minneapolis Monument #377 has an elevation of 875.79 feet NGVD29.
- Survey related items per Schedule B, Section II of the Title Commitment:  
• Item 9 is an alley opening per Doc. No. 3047644 and is depicted on the survey.

LEGEND

- SET CAPPED IRON #18425
- △ SET PK NAIL
- FOUND IRON MONUMENT AS NOTED
- HYDRANT
- SANITARY MANHOLE
- SIGN
- CATCH BASIN
- LIGHT
- STORM MANHOLE
- TREE
- POWER POLE
- PARKING METER
- BOLLARD
- EM ELECTRIC METER
- GM GAS METER
- PARKING COUNT
- ×905.41 SPOT ELEVATION
- WW WINDOW WELL
- (P) PER PLAT
- GASMAIN
- SANITARY SEWER
- STORM SEWER
- WATERMAIN
- OVERHEAD UTILITIES
- UNDERGROUND TELEPHONE
- FENCE
- BUILDING OVERHANG
- CONCRETE
- BITUMINOUS SURFACE
- GRAVEL SURFACE
- LANDSCAPED AREA

FOR REVIEW ONLY  
**PRELIMINARY**  
NOT FOR CONSTRUCTION



**GRAVES UPTOWN**  
31ST AND HOLMES  
MINNEAPOLIS, MN 55405



DATE: 3/31/15  
I HEREBY CERTIFY THAT THIS PLAN SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.

*Dennis Olmsted*  
DENNIS OLMSTED  
REGISTRATION NO: 18425

**Collage | architects**  
Architect  
Pete Keely  
651.472.0050  
705 Raymond Avenue #200  
St. Paul, Minnesota 55114

**Alliant Engineering, Inc.**  
Civil Engineer  
Mark Kronbeck  
612.767.9338

**b.e. landscape designs**  
LANDSCAPE ARCHITECT  
BEN ERICKSON  
612.382.0992  
**Palanisami & Associates, Inc.**  
Structural Engineer  
Swami Palanisami  
763.533.9403

DATE: **AUGUST 31, 2015**

LAND USE APPLICATION

MARK	DATE	DESCRIPTION
8-19-15	CPED SUBMITTAL	
8-31-15	BID SET	
10-21-15	PBR COMMENTS	
11-30-15	GENERAL LAND USE APPLICATION	
12-30-15	LAND USE APPLICATION RESUBMITTAL	

PROJECT NO: 215-0021  
DRAWN BY: ELL  
CHKD BY: MK

EXISTING CONDITIONS

**C-0.0**



**GRAVES UPTOWN**  
31ST AND HOLMES  
MINNEAPOLIS, MN 55405

**GH GRAVES HOSPITALITY**  
DEVELOPMENT EXPERTISE. MANAGEMENT SAVVY.



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ENGINEERING  
233 Park Ave S, Ste 300  
Minneapolis, MN 55415  
612.758.3080 MAIN  
612.758.3099 FAX  
www.alliant-inc.com

DATE:

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CLARK WICKLUND  
REGISTRATION NO: 40922

**Collage | architects**  
Architect  
Pete Keely  
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St. Paul, Minnesota 55114

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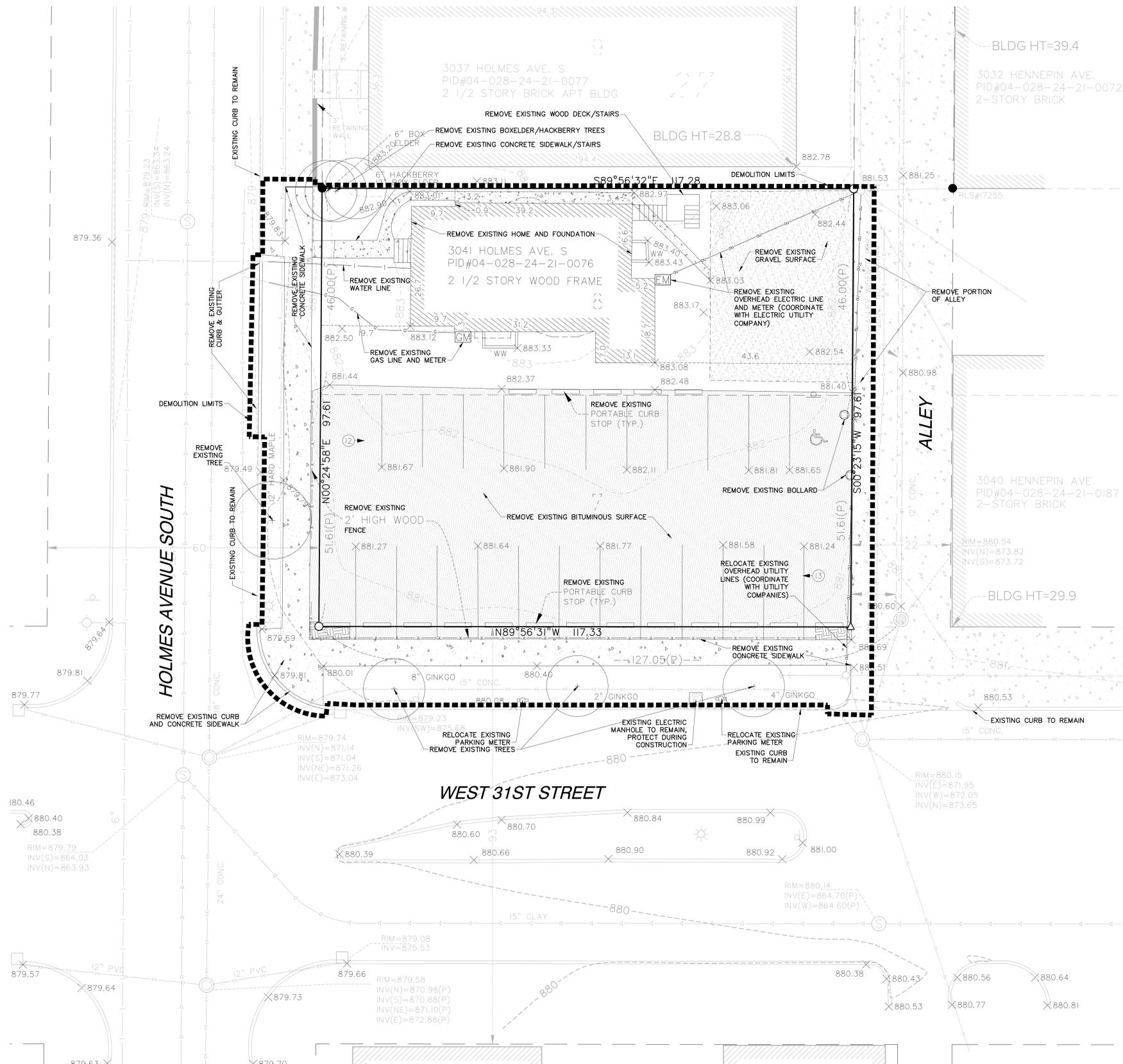
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DRAWN BY: ELL  
CHK'D BY: MK

SHEET TITLE  
**DEMOLITION PLAN**

**C-1.0**



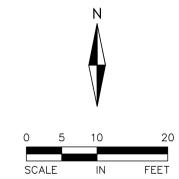
**DEMOLITION NOTES:**

- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
- ALL DIMENSIONS, GRADES, EXISTING AND PROPOSED INFORMATION SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO INFORMATION SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- NOTIFY GOPHER STATE ONE CALL 48 HOURS PRIOR TO START OF CONSTRUCTION.
- PRIOR TO STARTING CONSTRUCTION, ALL PERIMETER EROSION CONTROL DEVICES MUST BE INSTALLED IN ACCORDANCE WITH GRADING & EROSION CONTROL PLAN AND THE CITY OF MINNEAPOLIS.
- DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY LOCATING AND PROTECTING ALL UTILITY LINES PRIOR TO DIGGING AND DEMOLITION. OWNER AND ENGINEER SHALL NOT BE HELD RESPONSIBLE FOR PUBLIC OR PRIVATE UTILITY LOCATIONS.
- DEMOLITION CONTRACTOR IS RESPONSIBLE FOR PROPER DISPOSAL OF ALL DEMOLISHED MATERIALS.
- DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR THE DEMOLITION AND REMOVAL OF ALL EXISTING STRUCTURES AND OBJECTS THAT INTERFERE WITH THE PROPOSED CONSTRUCTION AS SHOWN IN THIS DRAWING PACKAGE. MATERIALS SALVAGED FOR REUSE ON-SITE SHALL NOT BE STORED ON ANY PUBLIC RIGHT OF WAY.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE CITY OF MINNEAPOLIS.
- ALL WORK WITHIN THE PUBLIC R.O.W. SHALL COMPLY WITH THE CITY OF MINNEAPOLIS ENGINEERING DESIGN STANDARDS.
- CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES, SUCH AS EXISTING CUTTER GRADES AT THE PROPOSED DRIVEWAYS CONNECTIONS, PRIOR TO THE START OF SITE WORK. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES OF VARIATIONS FROM THE PLANS.
- CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL IN ACCORDANCE WITH MN MUTCD AND/OR ANNOT TEMPORARY TRAFFIC CONTROL ZONE LAYOUTS MANUAL, DURING DEMOLITION OF EXISTING CURB CUT ACCESSES ON PUBLIC R.O.W.
- CONTRACTOR SHALL BE HELD FULLY RESPONSIBLE TO PREVENT AND ELIMINATE ANY DUST NUISANCE OCCASIONED BY AND DURING CONSTRUCTION, UNTIL THE PROJECT HAS BEEN COMPLETED.
- CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES AND STRUCTURES FROM HAZARDS ASSOCIATED WITH HIS CONSTRUCTION ACTIVITIES AND SHALL BE RESPONSIBLE FOR ALL DAMAGES TO PROPERTIES AND STRUCTURES THAT OCCUR AS A RESULT OF THESE ACTIVITIES.
- CONTRACTOR SHALL NOT IMPEDE EXISTING TRAFFIC CIRCULATION TO ADJACENT RESIDENCES AND BUSINESSES.
- ANY DAMAGED PUBLIC R.O.W. PAVEMENT AND CURBING SHALL BE REPLACED WITH THE EQUIVALENT PAVEMENT SECTION.
- CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF THE EXISTING BITUMINOUS. BITUMINOUS SHALL BE SAWCUT OR JACK HAMMERED FOR STRAIGHT EDGES. TACK SHALL BE USED ON BITUMINOUS EDGE PRIOR TO PATCHING, MATCH EXISTING GRADES.
- CONTRACTOR SHALL COORDINATE PRIVATE/PUBLIC UTILITIES RELOCATES, SUCH AS TRAFFIC SIGNAL HANDHOLES, AND WIRING, ETC.

**DEMOLITION LEGEND:**

- SET CAPPED IRON #18425
- △ SET PK NAIL
- FOUND IRON MONUMENT AS NOTED
- HYDRANT
- SANITARY MANHOLE
- SIGN
- CATCH BASIN
- LIGHT
- STORM MANHOLE
- TREE
- POWER POLE
- PARKING METER
- BOLLARD
- EM ELECTRIC METER
- GM GAS METER
- ⑬ PARKING COUNT
- ×905.41 SPOT ELEVATION
- (P) PER PLAT
- GASMAIN
- SANITARY SEWER
- STORM SEWER
- WATERMAIN
- OVERHEAD UTILITIES
- UNDERGROUND TELEPHONE
- FENCE
- BUILDING OVERHANG
- CONCRETE
- BITUMINOUS SURFACE
- GRAVEL SURFACE
- DEMOLITION LIMITS

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PROJECT NO: 215-0021  
DRAWN BY: ELL  
CHK'D BY: MK

SHEET TITLE

**SITE PLAN**

**C-2.0**

**GENERAL NOTES:**

- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY.
- ALL WORK WITHIN THE RIGHT OF WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS AND STANDARDS OF THE CITY OF MINNEAPOLIS.
- CONTRACTOR IS RESPONSIBLE FOR DEMOLITION & REMOVAL OF ALL EXISTING STRUCTURES WHICH INTERFERE WITH NEW WORK AS SHOWN.
- CONCRETE SIDEWALK AND CURB & GUTTER SHALL BE REMOVED TO THE NEAREST CONSTRUCTION JOINT OUTSIDE THE REMOVAL LIMITS.
- ALL DIMENSIONS, GRADES, EXISTING AND PROPOSED INFORMATION SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO INFORMATION SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- ALL DIMENSIONS SHOWN ARE TO FACE OF CURB, CENTER OF STRUCTURE, EDGE OF SIDEWALK OR EXTERIOR OF BUILDING.
- ALL CONCRETE SIDEWALK ADJACENT TO BUILDING SHALL BE SEPARATED BY A 1/2" EXPANSION JOINT.
- PROTECT EXISTING CONCRETE SIDEWALKS DURING ALL PHASES OF CONSTRUCTION. CONTRACTOR TO REPLACE ANY CRACKED OR BROKEN PANELS CAUSED BY SITE CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL & DISPOSAL OF THE EXISTING BITUMINOUS. BITUMINOUS SHALL BE SAW CUT OR JACK HAMMERED FOR STRAIGHT EDGES. TACK SHALL BE USED ON BITUMINOUS EDGE PRIOR TO PATCHING. MATCH EXISTING GRADES.
- CONTRACTOR SHALL PROTECT ADJOINING PROPERTIES & STRUCTURES FROM HAZARDS ASSOCIATED WITH HIS CONSTRUCTION ACTIVITIES & SHALL BE RESPONSIBLE FOR ALL DAMAGES TO PROPERTIES & STRUCTURES THAT OCCUR AS A RESULT OF THESE ACTIVITIES.
- CONTRACTOR SHALL NOT IMPEDE EXISTING TRAFFIC CIRCULATION TO ADJACENT PROPERTIES.
- CONTRACTOR SHALL PERFORM SWEEPING ON PRIVATE PARKING AREAS AND PUBLIC STREETS AT LEAST ONCE A WEEK, ONCE A DAY IF NEEDED.
- CONTRACTOR SHALL BE HELD FULLY RESPONSIBLE TO PREVENT AND ELIMINATE ANY DUST NUISANCE OCCASIONED BY AND DURING CONSTRUCTION, UNTIL THE PROJECT HAS BEEN COMPLETED AND ACCEPTED. SUCH DUST CONTROL MEASURES MAY INCLUDE SWEEPING, WATER SPRINKLING, CALCIUM CHLORIDE APPLICATIONS, TREATMENT WITH BITUMINOUS MATERIALS OR ANY OTHER METHODS, WHICH WILL PROVIDE AND MAINTAIN DUST-FREE CONDITIONS ON THE PROJECT.
- ALL DIMENSIONS ARE TO FACE OF BUILDING AND/OR FACE OF CURB.
- REFER TO ARCHITECTURAL DRAWINGS FOR CONCRETE WALLS AND CONCRETE STOOPS ADJACENT TO PROPOSED BUILDING.
- ALL EXISTING CURB CUTS TO BE REPLACED WITH CONCRETE CURB AND GUTTER EQUIVALENT TO THAT WHICH CURRENTLY EXISTS.
- CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES, PRIOR TO THE START OF SITE GRADING. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES OF VARIATIONS FROM THE PLANS.
- STREET LIGHTING INSTALLED AS PART OF THE PROJECT SHALL BE INSPECTED BY THE CITY. CONTRACTORS SHALL ARRANGE FOR INSPECTIONS WITH THE TRAFFIC DEPARTMENT. PLEASE CONTACT DAVE FRENHALL AT (612) 673-5759 FOR FURTHER INFORMATION. ANY LIGHTING INSTALLATIONS NOT MEETING CITY SPECIFICATIONS WILL BE REQUIRED TO BE REINSTALLED AT OWNER EXPENSE.
- AN OBSTRUCTION PERMIT IS REQUIRED ANYTIME CONSTRUCTION WORK IS PERFORMED IN THE PUBLIC RIGHT-OF-WAY. PLEASE CONTACT SCOTT KRAMER AT (612) 673-2383 REGARDING DETAILS OF SIDEWALK AND LANE CLOSURES. LOG ON TO HTTP://MINNEAPOLIS.MN.ROWAY.NET/ FOR A PERMIT.
- CONTACT ALLAN KLUCMAN AT (612) 673-2743 PRIOR TO CONSTRUCTION FOR THE TEMPORARY REMOVAL/TEMPORARY RELOCATION OF ANY CITY OF MINNEAPOLIS SIGNAL SYSTEM THAT MAY BE IN THE WAY OF CONSTRUCTION.
- ALL COSTS FOR RELOCATION AND/OR REPAIR OF CITY TRAFFIC FACILITIES SHALL BE BORNE BY THE CONTRACTOR AND/OR PROPERTY OWNER.
- CONTACT DOUG MADAY AT (612) 673-5755 PRIOR TO CONSTRUCTION FOR THE REMOVAL OF ANY CITY OF MINNEAPOLIS RIGHT OF WAY SIGNS THAT MAY BE IN THE WAY OF CONSTRUCTION.

**SNOW REMOVAL:**

SNOWFALLS OVER 2-3 INCHES SHALL BE HAULED OFF-SITE AND PROPERLY DISPOSED OF.

**SITE LIGHTING:**

EXTERIOR LIGHTING SHALL MEET CHAPTER 535.590 LIGHTING REQUIREMENTS OF THE MINNEAPOLIS ZONING CODE.

**SITE DATA:**

EXISTING ZONING = R5  
PROPOSED ZONING = C1  
LOT AREA = 11,450 SF / 0.26 ACRES

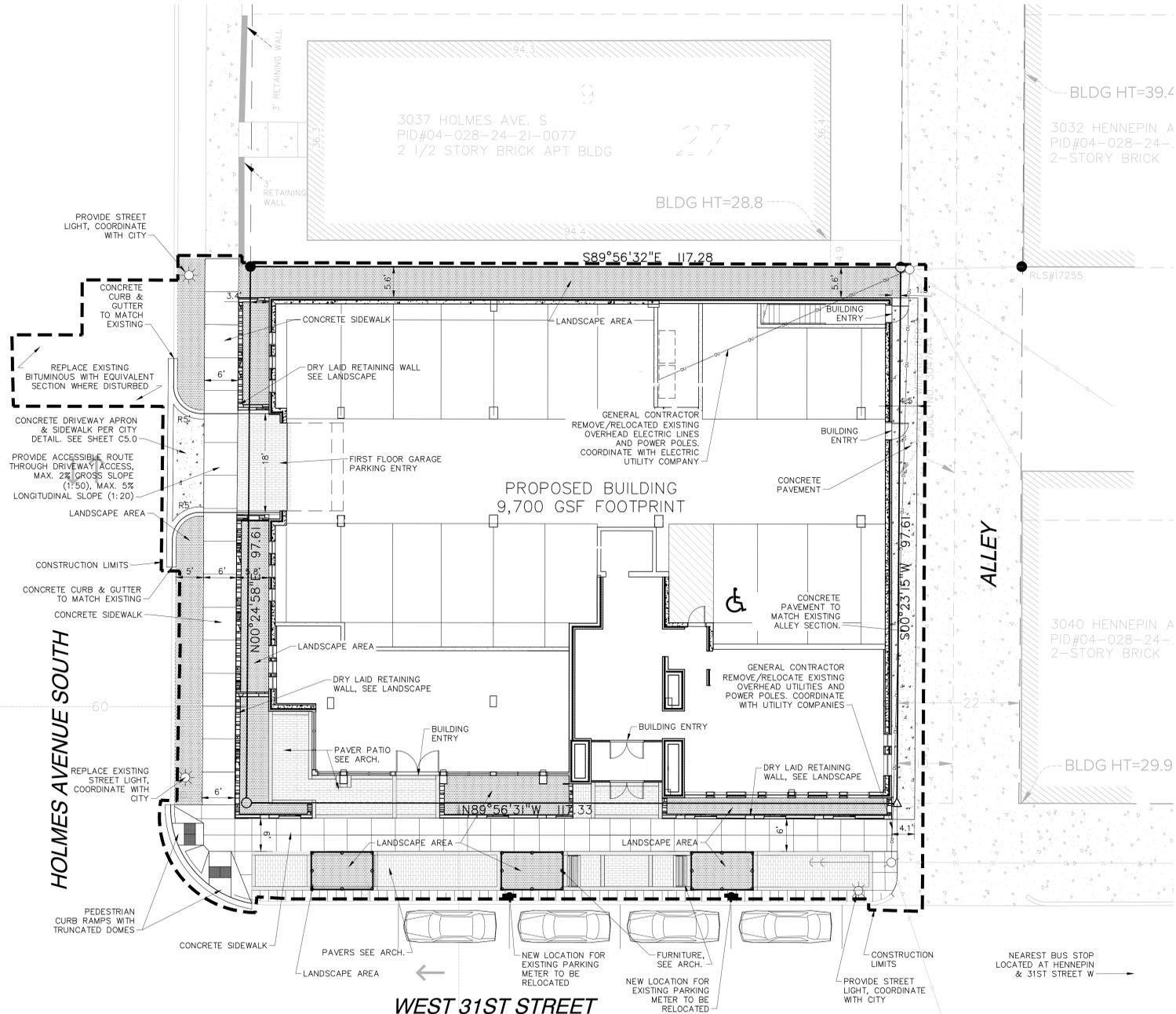
SITE CALCULATIONS	LOT AREA	BUILDING FOOTPRINT	NET LOT AREA	IMPERVIOUS COVERAGE OF NET LOT	PERVIOUS COVERAGE OF NET LOT
EXISTING	11,450 SF	1,526 SF	9,924 SF	7,872 SF 79%	2,052 SF 21%
PROPOSED	11,450 SF	9,700 SF	1,750 SF	683 SF 39%	1067 SF 61%

**PARKING DATA:**

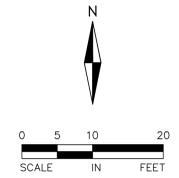
PARKING PROVIDED: 18 INDOOR RESIDENT STALLS  
1 INDOOR VISITOR STALL  
19 TOTAL STALLS

**SITE LEGEND:**

- PROPERTY LINE
- B624 CURB AND GUTTER (IN R.O.W.)
- - - LIMITS OF CONSTRUCTION
- ↓ ↑ DIRECTION OF TRAFFIC
- ▨ CONCRETE SIDEWALK/PAVEMENT
- ▨ LANDSCAPE AREAS, SEE LANDSCAPE PLAN
- ☀ STREET LIGHT



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DATE: AUGUST 31, 2015

**LAND USE APPLICATION**

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PROJECT NO: 215-0021  
DRAWN BY: ELL  
CHK'D BY: MK

SHEET TITLE  
**GRADING AND EROSION CONTROL PLAN**

**C-3.0**

**GRADING NOTES:**

1. ALL PAVEMENTS SHALL SLOPE AWAY FROM EXISTING AND PROPOSED BUILDINGS.
2. THE CONTRACTOR SHALL KEEP THE ADJACENT ROADWAYS FREE OF DEBRIS AND PREVENT THE OFF-SITE TRACKING OF SOIL IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY/COUNTY.
3. NOTIFY GOPHER STATE ONE CALL, AT (800)252-1166, 48 HOURS PRIOR TO START OF CONSTRUCTION.
4. ALL IMPROVEMENTS TO CONFORM WITH CITY AND COUNTY CONSTRUCTION STANDARDS SPECIFICATION, LATEST EDITION.
5. 50' OF BITUMINOUS OR ROCK CONSTRUCTION ENTRANCES SHALL BE PROVIDED AT ALL CONSTRUCTION ACCESS POINTS.
6. CONTRACTOR TO KEEP A COPY OF THE FINAL DRAINAGE REPORT ON SITE AT ALL TIMES.
7. SURVEYOR TO VERIFY BENCHMARK ELEVATION PRIOR TO START OF CONSTRUCTION.
8. REFER TO GEOTECHNICAL REPORT AND PROJECT MANUAL, FOR SOIL CORRECTION REQUIREMENTS AND TESTING REQUIREMENTS.
9. STRIP TOPSOIL PRIOR TO ANY CONSTRUCTION. REUSE STOCKPILE ON SITE.
10. REFER TO SITE DESIGN CRITERIA SECTION OF PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
14. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.

**EROSION PREVENTION AND SEDIMENT CONTROL NOTES:**

- 1) CONTRACTOR MUST NOTIFY CITY OF MINNEAPOLIS ENGINEERING AND DESIGN (612-673-2738) 48 HOURS PRIOR TO ANY LAND DISTURBANCES. FAILURE TO DO SO MAY RESULT IN THE REVOCATION OF PERMIT AND A STOP WORK ORDER BEING ISSUED.
- 2) Install perimeter erosion control at the locations shown on the plans prior to beginning construction. (Hay Bales are not an acceptable perimeter control)
- 3) Before beginning construction, install a TEMPORARY ROCK CONSTRUCTION ENTRANCE at each point where vehicles exit the construction site. Use 3 inch or greater diameter rock in a layer at least 6 inches thick across the entire width of the entrance. Extend the rock entrance at least 50 feet into the construction zone. Use a geotextile fabric beneath the aggregate in order to prevent migration of soil into the rock from below
- 4) Remove all soils and sediments tracked or otherwise deposited onto public and private pavement areas. Removal shall be on a daily basis when tracking occurs. Sweeping may be ordered by at any time if conditions warrant. Sweeping shall be maintained throughout the duration of the construction and done in a manner to prevent dust being blown to adjacent properties.
- 5) Install inlet protection at all public and private catch basin inlets, which receive runoff from the disturbed areas. Catch basin inserts are required in undisturbed areas. Staked silt fence or other approved BMP's in disturbed areas. NOTE: HAY BALES OR FILTER FABRIC UNDER THE GRATES ARE NOT EFFECTIVE OR AN ACCEPTABLE FORM OF INLET PROTECTION.
- 6) Locate soil or dirt stockpiles no less than 25 feet from any public or private roadway or drainage channel. If remaining for more than seven days, stabilize the stockpiles by mulching, vegetative cover, tarps, or other means. Control erosion from all stockpiles by placing silt fence barriers around the piles. Temporary stockpiles located on paved surface must be no less than two feet from the drainage/gutter line and shall be covered if left more than 24 hours.
- 7) Maintain all temporary erosion and sediment control devices in place until the contributing drainage area has been stabilized. Inspect temporary erosion and sediment control devices on a daily basis and replace deteriorated, damaged, or rotted erosion control devices immediately.
- 8) Temporarily or permanently stabilize all denuded areas which have been finish-graded, and all denuded areas in which grading or site building construction operations are not actively underway against erosion due to rain, wind and running water within 14 days. Use seeding and mulching, erosion control matting, and/or sodding and staking in green space areas. Use early application of gravel base on areas to be paved.
- 9) Remove all temporary synthetic, structural, non-biodegradable erosion and sediment control devices after the site has undergone final stabilization and permanent vegetation has been established, minimum vegetation establishment is 70% cover, maintain all temporary erosion control devices until 70% established cover is achieved.
- 10) Ready mixed concrete and concrete batch plants prohibited within the public right of way, designate concrete mixing/washout locations in the erosion control plan. Under no circumstances may washout water drain onto the public right of way or into the public storm sewer.

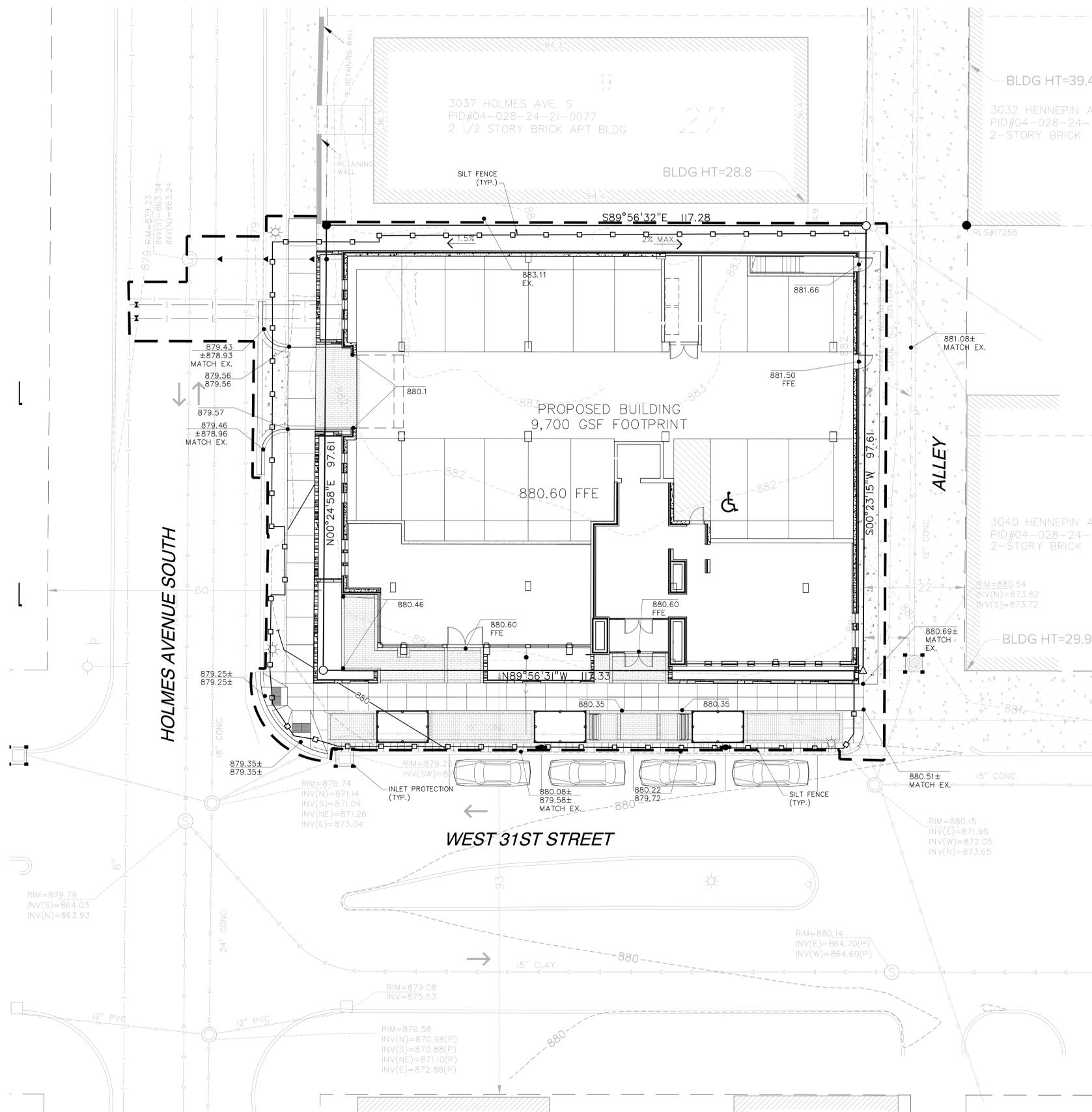
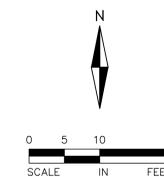
**AREA OF DISTURBANCE:**

DISTURBANCE AREA = 15,502 SF / 0.356 ACRES  
(AN NPDES/SDS PERMIT IS NOT REQUIRED WHEN DISTURBING LESS THAN 1.0 ACRES.)

**GRADING LEGEND:**

- 880 --- EXISTING CONTOUR
- 880 --- PROPOSED CONTOUR
- 880.5  
880.0 PROPOSED SPOT ELEVATION
- 880.5  
880.0 TOP OF CURB ELEVATION  
GUTTER ELEVATION
- PROPOSED STORM SEWER
- PROPOSED WATERMAIN
- EXISTING SANITARY SEWER
- EXISTING GAS LINE
- EXISTING UNDERGROUND ELECTRIC
- EXISTING STORM SEWER
- EXISTING SANITARY SEWER
- ← 2.00% DIRECTION OF DRAINAGE
- FFE FIRST FLOOR ELEVATION
- LGE LOWEST GARAGE FLOOR ELEVATION
- INLET PROTECTION
- PROPERTY LINE
- SILT FENCE

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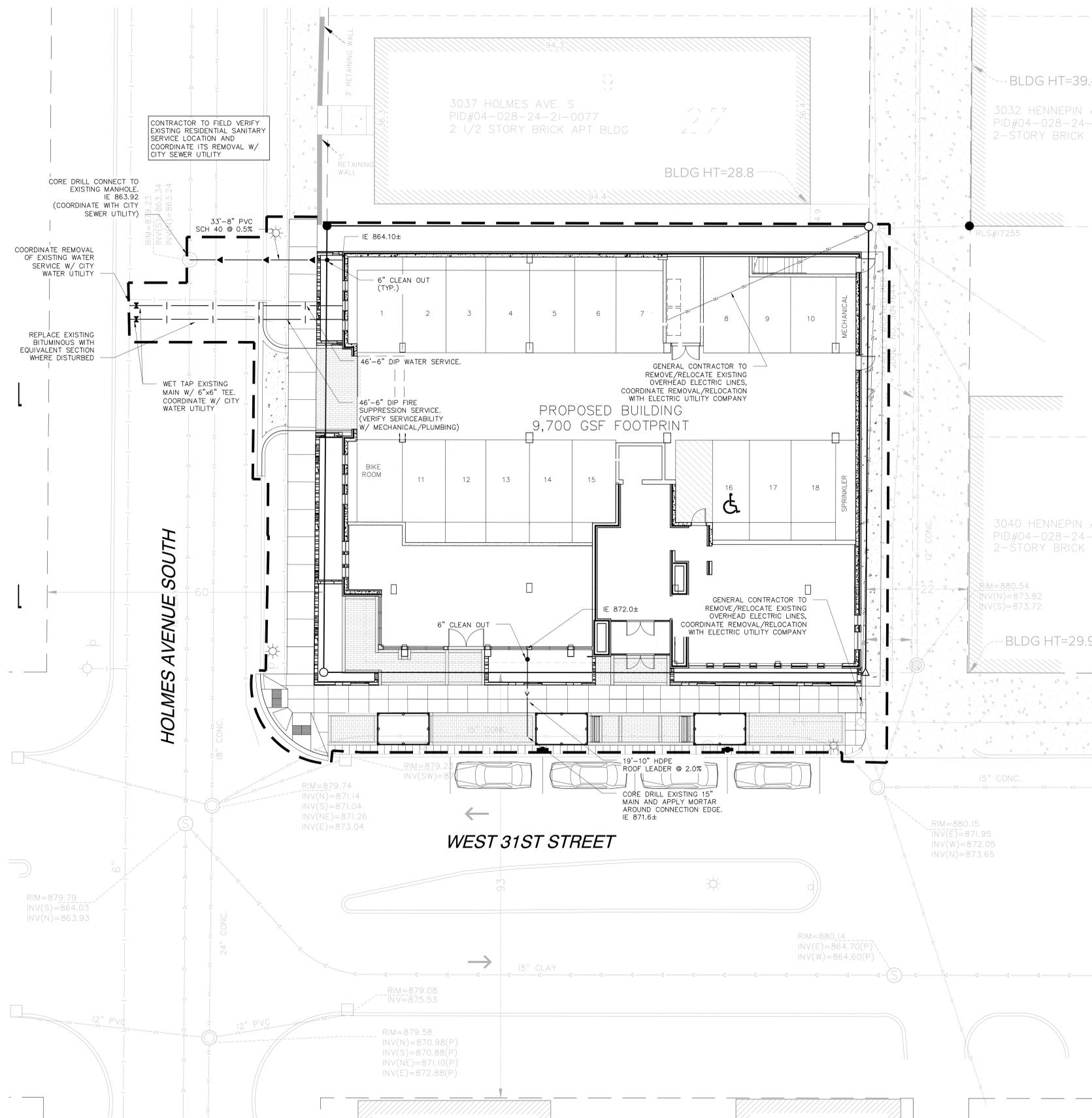
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PROJECT NO: 215-0021  
DRAWN BY: ELL  
CHK'D BY: MK

SHEET TITLE

**UTILITY AND STORMWATER MANAGEMENT PLAN**

**C-4.0**



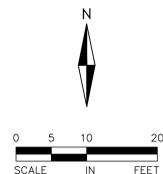
**UTILITY NOTES:**

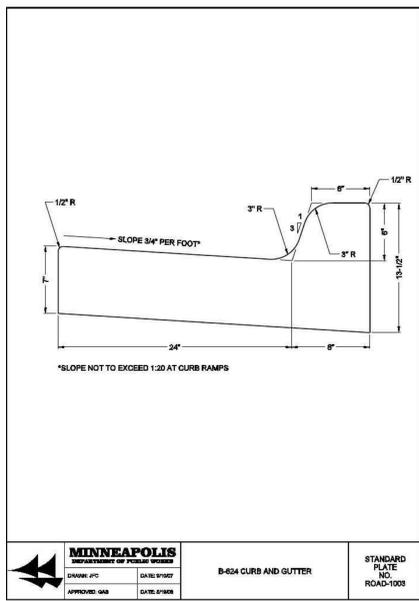
- EXISTING UTILITIES, SERVICE LOCATIONS AND ELEVATIONS SHALL BE VERIFIED IN THE FIELD AND WITH THE CITY OF MINNEAPOLIS PRIOR TO CONSTRUCTION.
- MAINTAIN 18" VERTICAL SEPARATION AT ALL PIPE CROSSINGS.
- CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS PRIOR TO THE START OF CONSTRUCTION.
- UTILITY CONTRACTOR TO PROVIDE POLYSTYRENE INSULATION FOR ALL STORM SEWER AND WATERMAIN CROSSINGS WHERE VERTICAL OR HORIZONTAL SEPARATION IS LESS THAN 6".
- ALL UTILITY WORK WITHIN THE R.O.W. SHALL COMPLY WITH THE CITY OF MINNEAPOLIS ENGINEERING DESIGN STANDARDS.
- NOTIFY GOPHER ONE 48 HOURS IN ADVANCE OF ANY UTILITY WORK.
- PROVIDE TEMPORARY TRAFFIC CONTROL IN COMPLIANCE WITH MNDOT "TEMPORARY TRAFFIC CONTROL ZONE LAYOUTS-FIELD MANUAL" LATEST VERSION, FOR ANY UTILITY CONSTRUCTION WITHIN PUBLIC R.O.W.
- ALL SANITARY SEWER LINES SHALL HAVE A MINIMUM COVER OF 8.0'.
- ALL SEWER SERVICES SHALL BE 8" PVC, SDR 35, ASTM 3034 USE BENDS & FITTINGS AS REQUIRED.
- THRUST BLOCKS SHALL BE PLACED AT FITTINGS, TEES, BENDS, CROSSES, PLUGS, ETC.,
- EXACT LOCATIONS OF ROOF DRAINS TO BE COORDINATED WITH FINAL ARCHITECTURAL PLANS.
- COORDINATE CONNECTIONS TO EXISTING CITY OF MINNEAPOLIS SANITARY SEWER AND WATERMAIN WITH CITY UTILITY DEPARTMENT.
- WATER SERVICE SIZES FOR DOMESTIC AND FIRE PROTECTION SHALL BE VERIFIED WITH MECHANICAL/PLUMBING.
- NO NON-STORMWATER DISCHARGE IS PROPOSED FROM THE SITE.
- CONTRACTOR TO COORDINATE EXISTING RESIDENTIAL SANITARY SERVICE REMOVAL W/ CITY SEWER UTILITY.

**UTILITY LEGEND:**

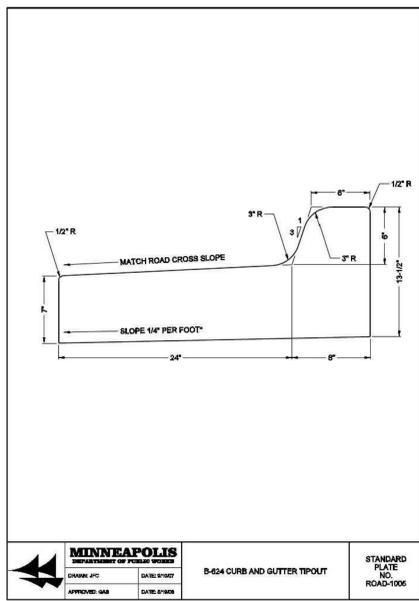
- >— PROPOSED STORM SEWER
- >— PROPOSED SANITARY SEWER
- |— PROPOSED WATERMAIN
- PROPOSED CATCH BASIN
- PROPOSED SANITARY/STORM MANHOLE
- PROPOSED GATE VALVE
- PROPOSED HYDRANT
- >— EXISTING STORM SEWER
- >— EXISTING SANITARY SEWER
- |— EXISTING WATERMAIN
- EXISTING SANITARY MANHOLE
- EXISTING STORM MANHOLE/CATCH BASIN
- EXISTING HYDRANT
- - - CONSTRUCTION LIMITS
- — — PROPERTY LINE

FOR REVIEW ONLY  
**PRELIMINARY**  
NOT FOR CONSTRUCTION

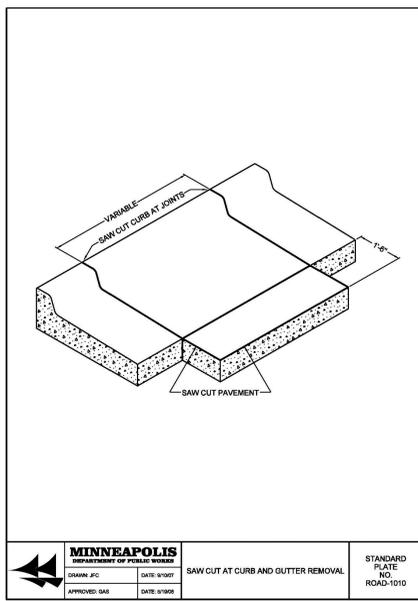




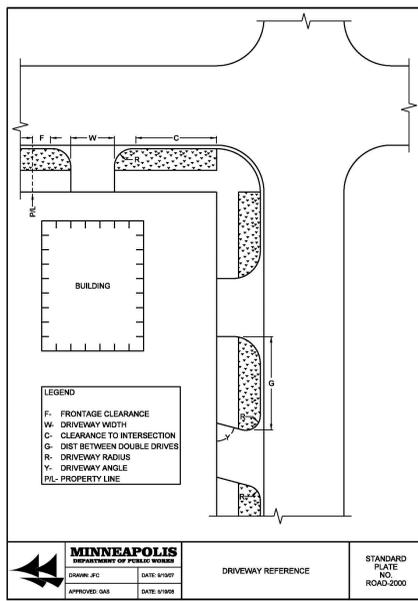
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DRAWN: JFC DATE: 8/19/07	
APPROVED: GAB DATE: 8/19/08	



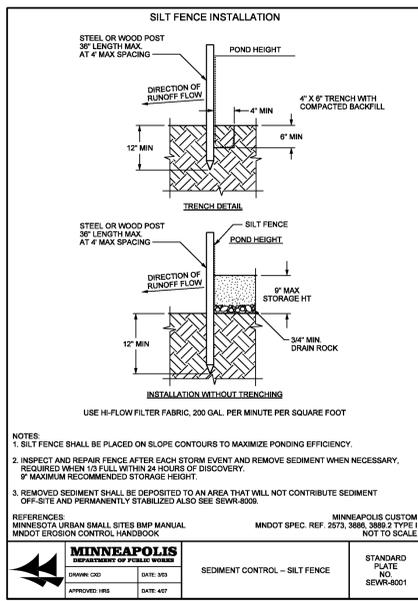
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DRAWN: JFC DATE: 8/19/07	
APPROVED: GAB DATE: 8/19/08	



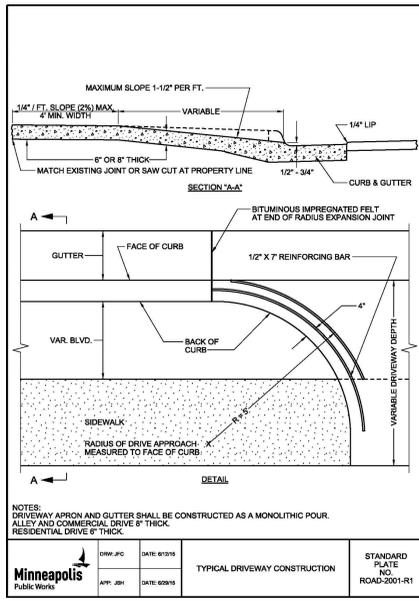
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DRAWN: JFC DATE: 8/19/07	
APPROVED: GAB DATE: 8/19/08	



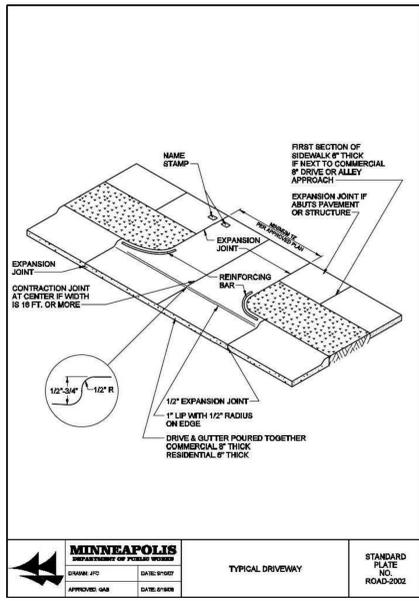
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DRAWN: JFC DATE: 8/19/07	
APPROVED: GAB DATE: 8/19/08	



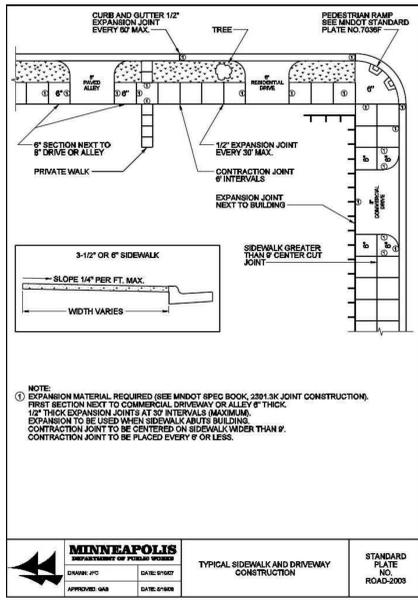
<b>MINNEAPOLIS</b> DEPARTMENT OF PUBLIC WORKS	<b>STANDARD</b> PLATE NO. SEWR-0001
DRAWN: CSD DATE: 3/03	
APPROVED: HRS DATE: 4/07	



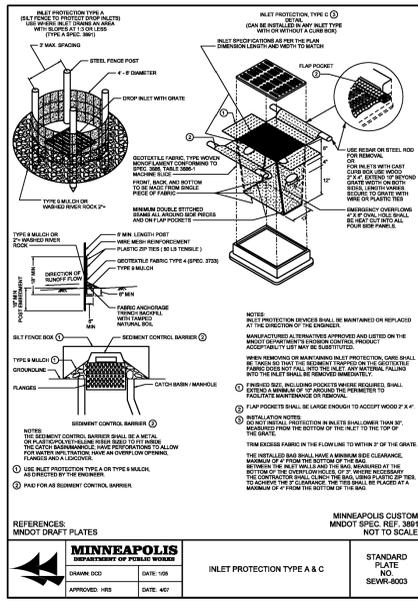
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DRAWN: JFC DATE: 8/19/07	
APPROVED: GAB DATE: 8/19/08	



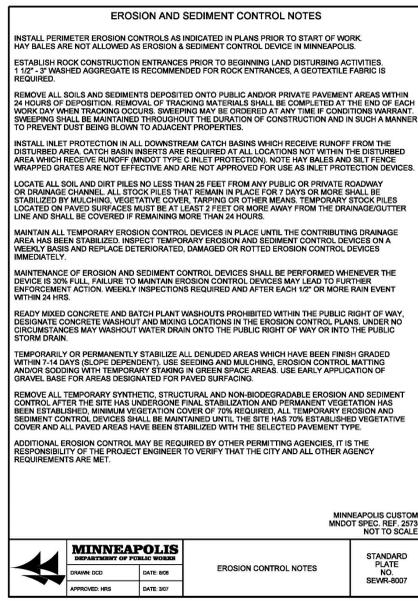
<b>MINNEAPOLIS</b> DEPARTMENT OF PUBLIC WORKS	<b>STANDARD</b> PLATE NO. ROAD-2002
DRAWN: JFC DATE: 8/19/07	
APPROVED: GAB DATE: 8/19/08	



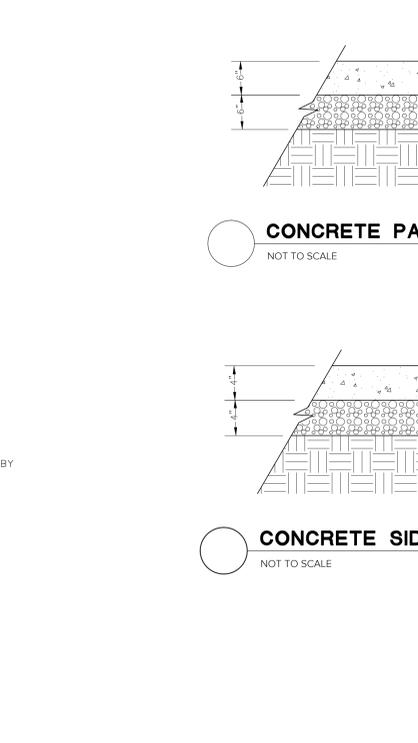
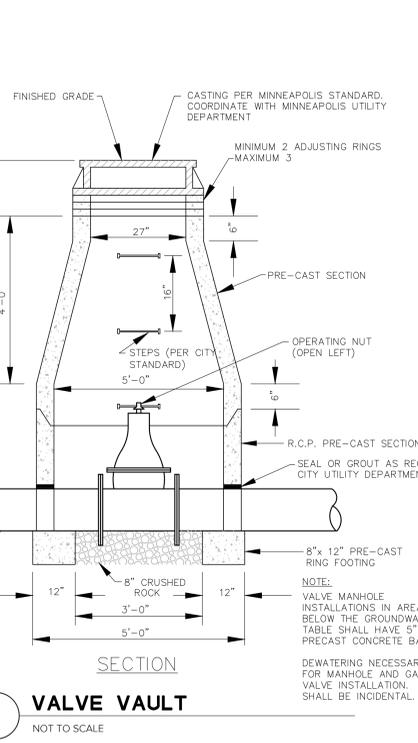
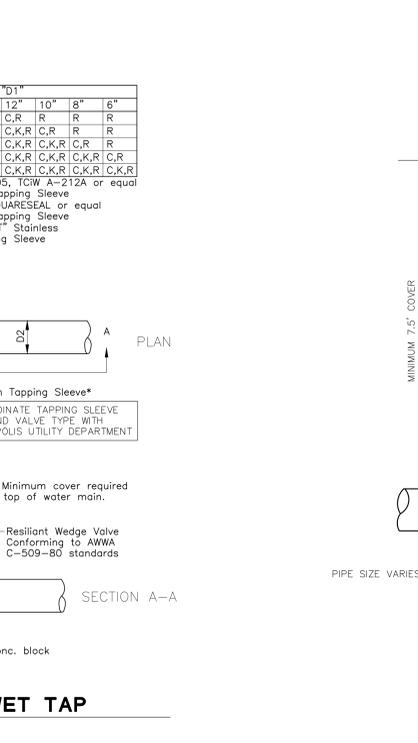
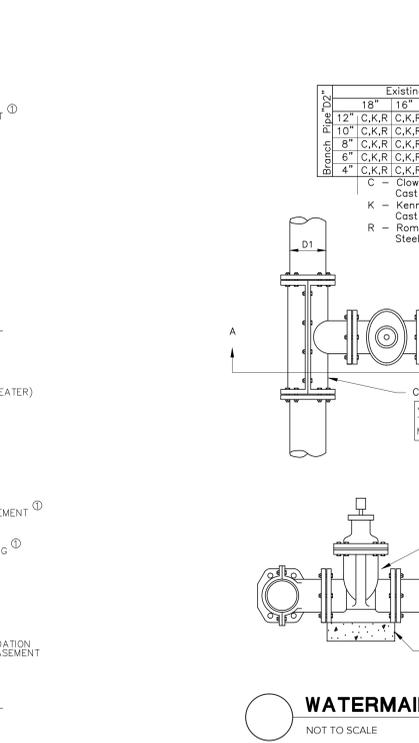
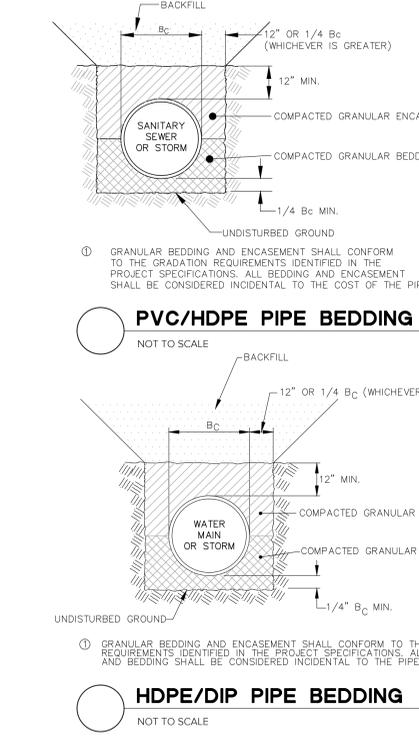
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DRAWN: JFC DATE: 8/19/07	
APPROVED: GAB DATE: 8/19/08	



<b>MINNEAPOLIS</b> DEPARTMENT OF PUBLIC WORKS	<b>STANDARD</b> PLATE NO. SEWR-0003
DRAWN: CSD DATE: 10/08	
APPROVED: HRS DATE: 4/07	



<b>MINNEAPOLIS</b> DEPARTMENT OF PUBLIC WORKS	<b>STANDARD</b> PLATE NO. SEWR-0007
DRAWN: CSD DATE: 10/08	
APPROVED: HRS DATE: 10/07	



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**Palanisami & Associates, Inc.**  
Structural Engineer  
Swami Palanisami  
763.533.9403

DATE: **AUGUST 31, 2015**

**LAND USE APPLICATION**

MARK	DATE	DESCRIPTION
5-19-15	CPED	SUBMITTAL
8-31-15	BD	SET
10-21-15	PDR	COMMENTS
11-30-15	GENERAL	LAND USE APPLICATION
12-30-15	LAND USE APPLICATION	RESUBMITTAL

PROJECT NO: 215-0021  
DRAWN BY: ELL  
CHK'D BY: MK

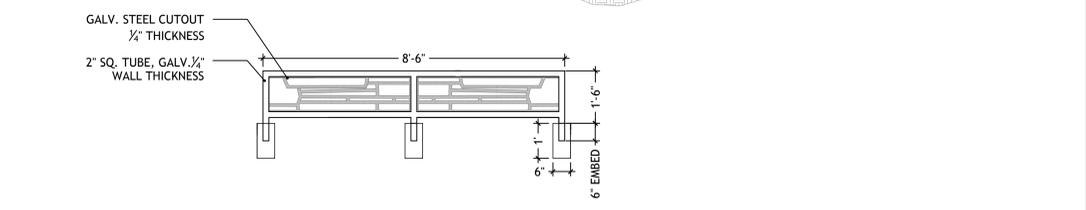
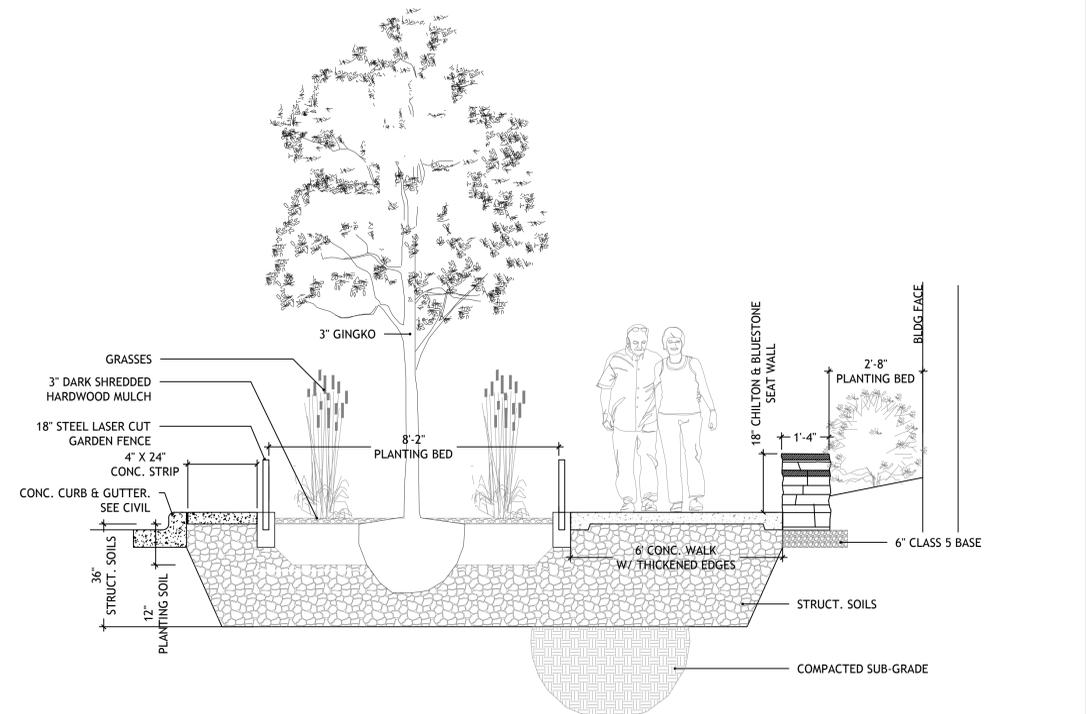
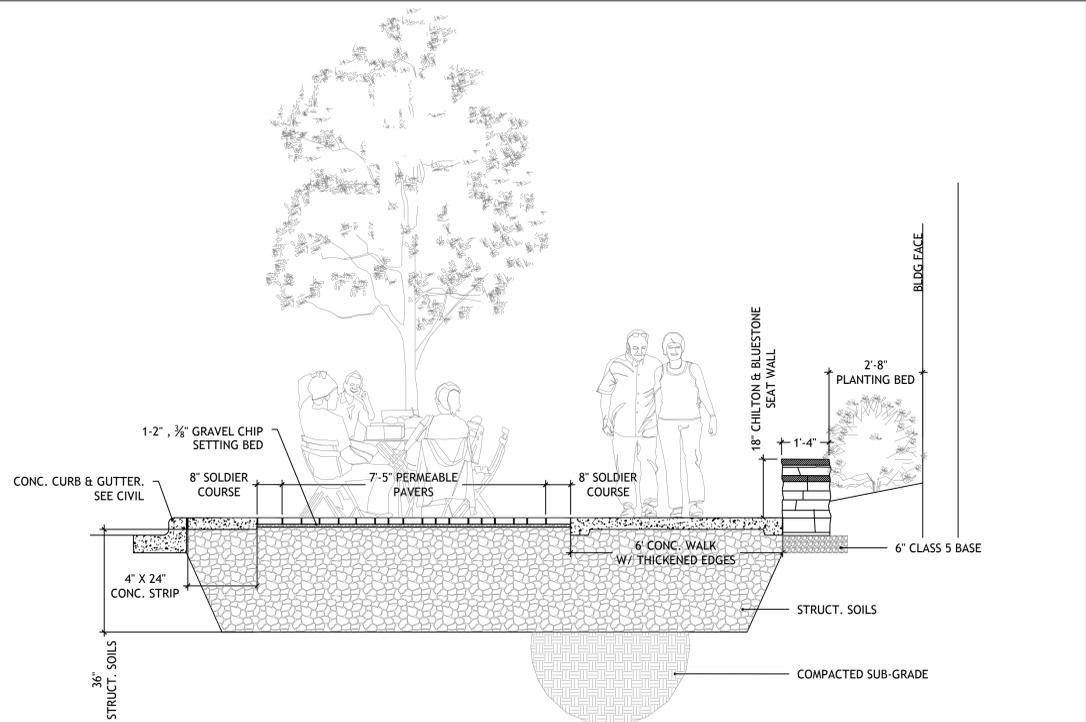
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**C-5.0**

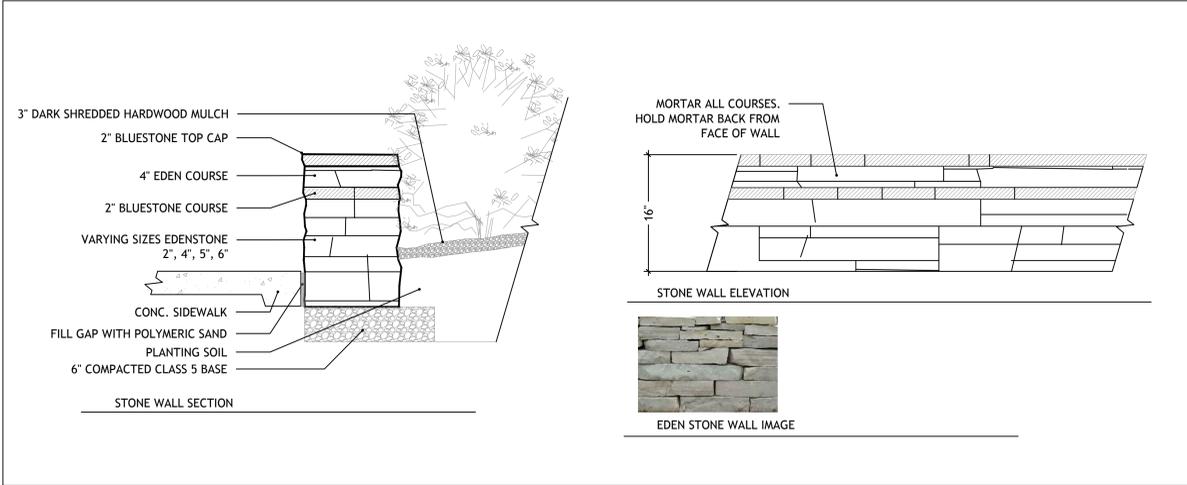
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PRELIMINARY  
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Drawing name: X:\2015\1500021\plan sheets\Site\150021detail.dwg Dec 29, 2015 1:16pm





**1** LANDSCAPE SECTIONS  
L200 SCALE: 1/4" = 1'-0"



**2** STONE WALL SECTION & ELEVATION  
L200 SCALE: 1" = 1'-0"

**Graves- Plant Schedule**

QTY	COMMON NAME	BOTANICAL NAME	SIZE	CONT	REMARKS
<b>Large Deciduous Trees</b>					
3	Ginkgo 'Princeton Sentry'	<i>Ginkgo biloba 'Princeton Sentry'</i>	3"	BB/ CONT	15' hgt. min.
2	Honeylocust 'Skyline'	<i>Gleditsia triacanthos in. 'Skyline'</i>	2.5"	BB/ CONT	
<b>Evergreen Trees</b>					
5	Arborvitae 'Techny'	<i>Thuja occidentalis 'Techny'</i>	6' HGT	BB/ CONT	
<b>Deciduous / Coniferous Shrubs</b>					
14	Arborvitae 'Globe'	<i>Thuja occidentalis 'Globe'</i>	#5	cont	
16	Shrub Rose 'All the Rage'	<i>Rosa sp. 'All the Rage'</i>	#5	cont	
15	Fragrant Sumac 'Gro Low'	<i>Rhus aromatica 'Gro Low'</i>	#5	cont	
<b>Perennials/ Grasses</b>					
16	Daylily 'Daring Deception'	<i>Hemerocallis 'Daring Deception'</i>	#1	cont	
40	Feather Reed Grass 'Karl Foerster'	<i>Calamagrostis acutiflora</i>	#1	cont	
24	Hosta 'Blue Umbrellas'	<i>Hosta sp. 'Blue Umbrellas'</i>	#1	cont	
23	Hakone Grass	<i>Hakonechloa macra 'Aureola'</i>	#1	cont	
18	Tiger Lily 'Tiny Dino'	<i>Lilium sp. 'Tiny Dino'</i>	#1	cont	
12	Panicum 'Prairie Fire'	<i>Panicum virgatum 'Prairie Fire'</i>	#1	cont	
12	Sedum 'Autumn Joy'	<i>Sedum sp. 'Autumn Joy'</i>	#1	cont	
24	Tigerlily 'Tiny Ghost'	<i>Lilium sp. 'Tiny Ghost'</i>	#1	cont	
<b>Vines</b>					
13	Boston Ivy	<i>Parthenocissus tricuspidata</i>	#1	cont	train to walls
<b>Bulbs</b>					
100	Siberian Squill	<i>Scilla sp.</i>			plant in beds around bldg

**3** PLANT SCHEDULE  
L200 NTS



**GRAVES UPTOWN**  
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**GH GRAVES HOSPITALITY**  
DEVELOPMENT EXPERTISE. MANAGEMENT SAVVY.

DATE: XXXX/15  
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REGISTRATION NO: 23570

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**Palanisami & Associates, Inc.**  
Structural Engineer  
Swami Palanisami  
763.533.9403

DATE: DECEMBER 30, 2015

LAND USE APPLICATION  
RESUBMISSION

MARK	DATE	DESCRIPTION

PROJECT NO: 15-001  
DRAWN BY: JJ / SB / CH  
CHKD BY: PK

SHEET TITLE  
**LANDSCAPE  
DETAILS**

L200



**GRAVES UPTOWN**  
31ST AND HOLMES  
MINNEAPOLIS, MN 55405



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RESUBMISSION**

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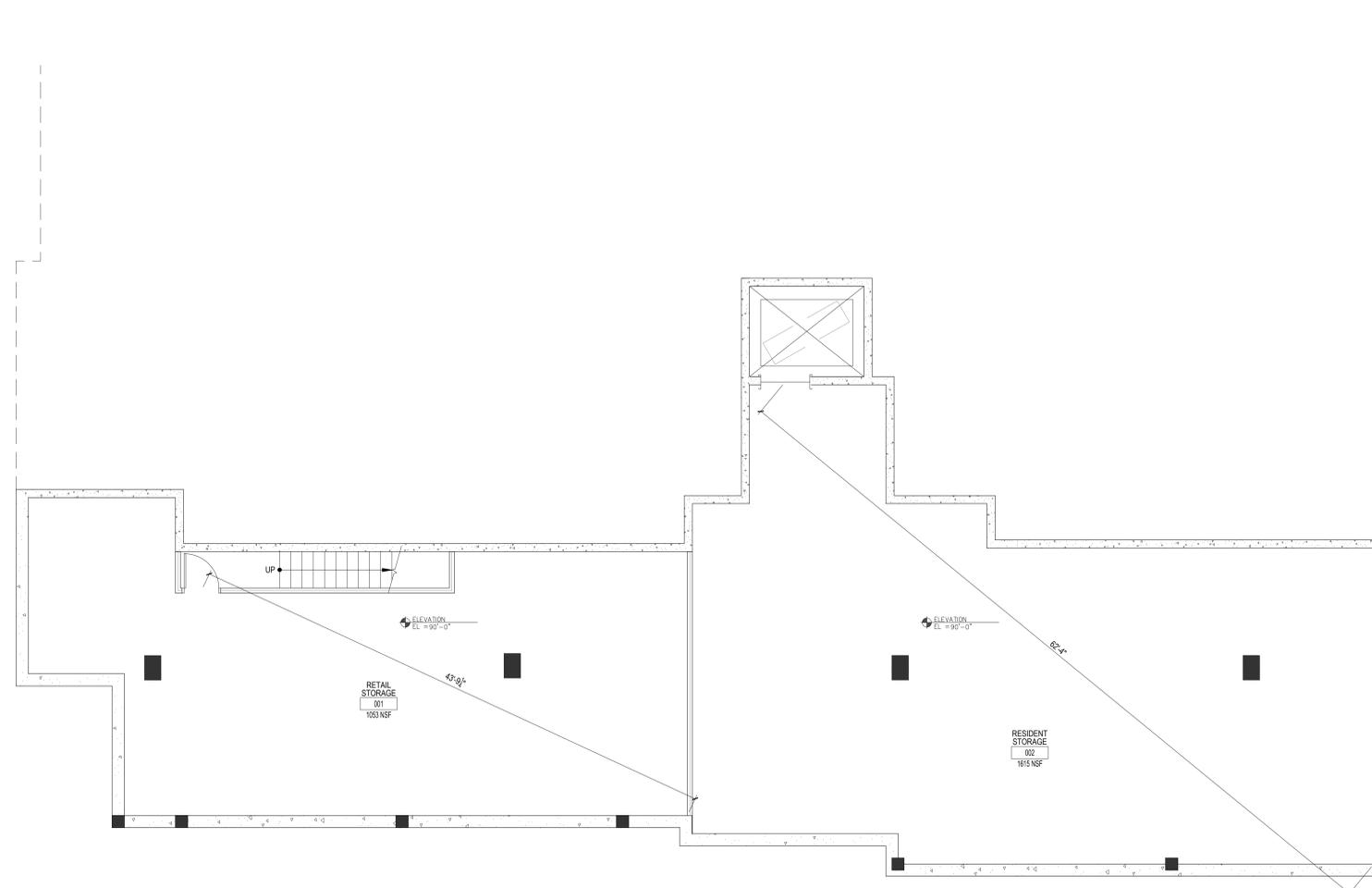
PROJECT NO: 15-001  
DRAWN BY: JJ / SB / CN  
CHKD BY: PK

SHEET TITLE

**BASEMENT FLOOR  
PLAN**

A100

- GENERAL NOTES
- ALL EXTERIOR DIMENSIONS ARE TO OUTSIDE FACE OF METAL STUD OR OUTSIDE FACE OF CMU UNLESS OTHERWISE NOTED.
  - VERIFY SLAB EDGE LOCATIONS, BRICK AND MASONRY FACE WITH ARCHITECTURAL AND STRUCTURAL DETAILS.
  - INTERIOR WALL DIMENSIONS ARE TO CENTERLINE OF WALLS UNLESS NOTED OTHERWISE. WHERE CLEAR DIMENSIONS ARE INDICATED, THESE DIMENSIONS SHALL BE MAINTAINED.
  - ROUGH OPENING DIMENSIONS OF WINDOWS, DOORS AND OTHER COMPONENTS SHALL BE VERIFIED WITH ACTUAL DIMENSIONS OF SUPPLIED COMPONENTS.
  - DO NOT SCALE DRAWINGS. IF DIMENSION IS NOT CLEAR, NOT GIVEN, OR PRESENTS A CONFLICT, NOTIFY THE ARCHITECT IMMEDIATELY.
  - PROVIDE CONTROL JOINTS AT FLOORS AND WALLS PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
  - INSTALL ALL ELEMENTS AND MATERIALS TO MEET MANUFACTURER'S RECOMMENDATIONS. IF ARCHITECTURAL DRAWINGS CONFLICT WITH MANUFACTURER'S RECOMMENDATIONS, NOTIFY ARCHITECT IMMEDIATELY.
  - PROVIDE SEALED JOINTS AT MOISTURE CONTROL MEMBRANE.
  - PROTECT MATERIALS ON-SITE DURING CONSTRUCTION FROM MOISTURE AND OTHER DAMAGE.
  - INSULATE GAPS AT FRAMING BETWEEN WINDOWS, DOORS AND OTHER MATERIALS WITH RIGID INSULATION.
  - WOOD IN CONTACT WITH CONCRETE TO BE TREATED WOOD.
  - PROVIDE WOOD BLOCKING BEHIND ALL WALL HUNG CASEWORK, MILLWORK, SHELVING, FIXTURES AND ELSEWHERE AS NOTED OR AS NECESSARY BASED ON MANUFACTURER'S RECOMMENDATIONS.
  - GENERAL CONTRACTOR TO VERIFY WITH MECHANICAL, ELECTRICAL AND PLUMBING SUBCONTRACTORS AS TO LOCATIONS FOR EQUIPMENT, FIXTURES, METERS, DUCTWORK, ETC. NOTIFY ARCHITECT IMMEDIATELY OF ANY CONFLICTS BETWEEN ARCHITECTURAL DRAWINGS AND M.E.P. SUBCONTRACTORS.
  - CONSTRUCT RATED ASSEMBLIES AT ALL LOCATIONS INDICATED IN CODE REVIEW AND PER DRAWINGS, INCLUDING ALL CEILING AND FLOOR ASSEMBLIES. PROVIDE RATED ENCLOSURE WHERE FIXTURES OR EQUIPMENT PENETRATES THE ASSEMBLY.
  - PROVIDE FIRE STOPPING AT ALL PENETRATIONS OF RATED ASSEMBLIES. ANY DISTURBANCE OF ASSEMBLY SHALL BE REPAIRED.
  - FIRE-BLOCK ALL CONCEALED WALL SPACES, INCLUDING 10'-0" VERTICALLY AND HORIZONTALLY.
  - DO NOT PENETRATE STAIR OR ELEVATOR ENCLOSURE UNLESS SERVING STAIR OR ELEVATOR.
  - FINISH FLOOR ELEVATION CHANGE AT DOORS OR MATERIAL TRANSITIONS NOT TO EXCEED 1/2".
  - SEE SHEET A001 FOR ALL WALL TYPES.





**GRAVES UPTOWN**  
31ST AND HOLMES  
MINNEAPOLIS, MN 55405

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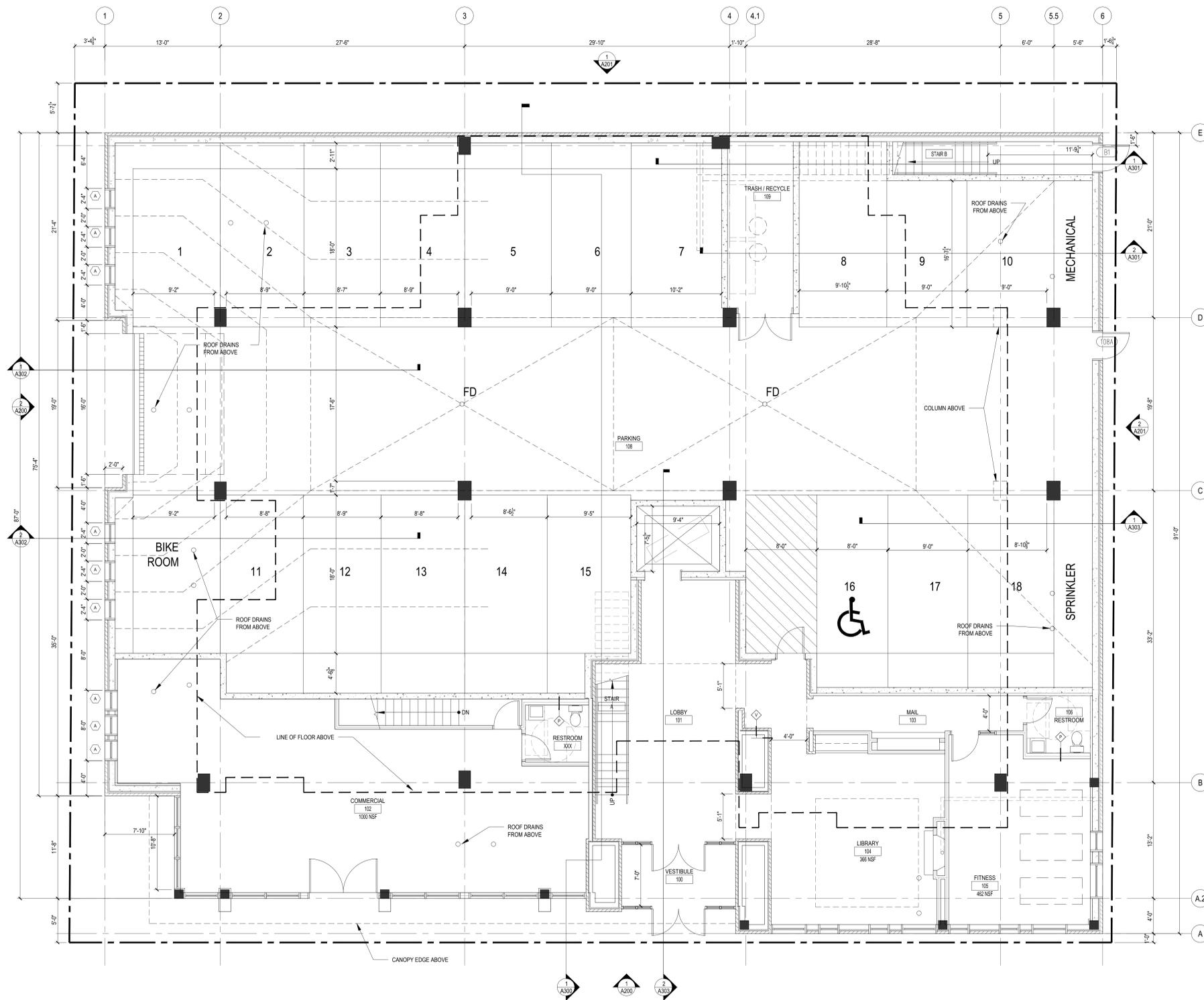
**LAND USE APPLICATION**  
RESUBMISSION

MARK	DATE	DESCRIPTION

PROJECT NO: 15-001  
DRAWN BY: JJ / SB / CN  
CHKD BY: PK

SHEET TITLE  
**FIRST FLOOR PLAN**

A101



- GENERAL NOTES**
- ALL EXTERIOR DIMENSIONS ARE TO OUTSIDE FACE OF METAL STUD OR OUTSIDE FACE OF CMU UNLESS OTHERWISE NOTED.
  - VERIFY SLAB EDGE LOCATIONS, BRICK AND MASONRY FACE WITH ARCHITECTURAL AND STRUCTURAL DETAILS.
  - INTERIOR WALL DIMENSIONS ARE TO CENTERLINE OF WALLS UNLESS NOTED OTHERWISE. WHERE CLEAR DIMENSIONS ARE INDICATED, THESE DIMENSIONS SHALL BE MAINTAINED.
  - ROUGH OPENING DIMENSIONS OF WINDOWS, DOORS AND OTHER COMPONENTS SHALL BE VERIFIED WITH ACTUAL DIMENSIONS OF SUPPLIED COMPONENTS.
  - DO NOT SCALE DRAWINGS. IF DIMENSION IS NOT CLEAR, NOT GIVEN, OR PRESENTS A CONFLICT, NOTIFY THE ARCHITECT IMMEDIATELY.
  - PROVIDE CONTROL JOINTS AT FLOORS AND WALLS PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
  - INSTALL ALL ELEMENTS AND MATERIALS TO MEET MANUFACTURER'S RECOMMENDATIONS. IF ARCHITECTURAL DRAWINGS CONFLICT WITH MANUFACTURER'S RECOMMENDATIONS, NOTIFY ARCHITECT IMMEDIATELY.
  - PROVIDE SEALED JOINTS AT MOISTURE CONTROL MEMBRANE.
  - PROTECT MATERIALS ON-SITE DURING CONSTRUCTION FROM MOISTURE AND OTHER DAMAGE.
  - INSULATE GAPS AT FRAMING BETWEEN WINDOWS, DOORS AND OTHER MATERIALS WITH RIGID INSULATION.
  - WOOD IN CONTACT WITH CONCRETE TO BE TREATED WOOD.
  - PROVIDE WOOD BLOCKING BEHIND ALL WALL HUNG CASEWORK, MILLWORK, SHELVING, FIXTURES AND ELSEWHERE AS NOTED OR AS NECESSARY BASED ON MANUFACTURER'S RECOMMENDATIONS.
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  - CONSTRUCT RATED ASSEMBLIES AT ALL LOCATIONS INDICATED IN CODE REVIEW AND PER DRAWINGS, INCLUDING ALL CEILING AND FLOOR ASSEMBLIES. PROVIDE RATED ENCLOSURE WHERE FIXTURES OR EQUIPMENT PENETRATES THE ASSEMBLY.
  - PROVIDE FIRE STOPPING AT ALL PENETRATIONS OF RATED ASSEMBLIES. ANY DISTURBANCE OF ASSEMBLY SHALL BE REPAIRED.
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  - FINISH FLOOR ELEVATION CHANGE AT DOORS OR MATERIAL TRANSITIONS NOT TO EXCEED 1/4".
  - SEE SHEET A001 FOR ALL WALL TYPES.

**1 FIRST FLOOR PLAN**  
SCALE: 3/16" = 1'-0"



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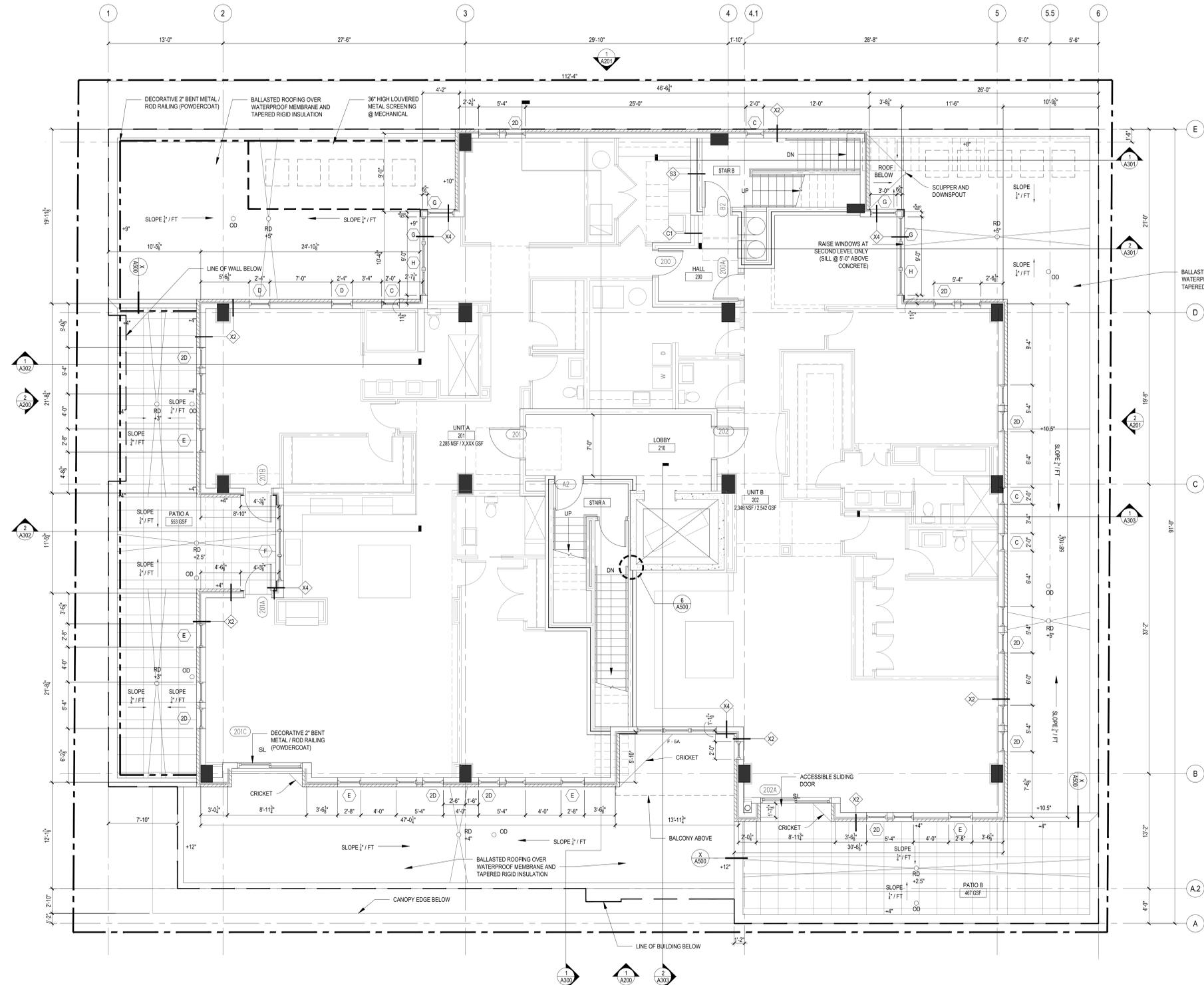
**LAND USE APPLICATION**  
**RESUBMISSION**

MARK	DATE	DESCRIPTION

PROJECT NO: 15-001  
DRAWN BY: JJ / SB / CN  
CHK'D BY: PK

SHEET TITLE  
**SECOND FLOOR PLAN**

A102



- GENERAL NOTES**
- ALL EXTERIOR DIMENSIONS ARE TO OUTSIDE FACE OF METAL STUD OR OUTSIDE FACE OF CMU UNLESS OTHERWISE NOTED.
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  - WOOD IN CONTACT WITH CONCRETE TO BE TREATED WOOD.
  - PROVIDE WOOD BLOCKING BEHIND ALL WALL HUNG CASEWORK, MILLWORK, SHELVING, FIXTURES AND ELSEWHERE AS NOTED OR AS NECESSARY BASED ON MANUFACTURER'S RECOMMENDATIONS.
  - GENERAL CONTRACTOR TO VERIFY WITH MECHANICAL, ELECTRICAL AND PLUMBING SUBCONTRACTORS AS TO LOCATIONS FOR EQUIPMENT, FIXTURES, METERS, DUCTWORK, ETC. NOTIFY ARCHITECT IMMEDIATELY OF ANY CONFLICTS BETWEEN ARCHITECTURAL DRAWINGS AND M.E.P. SUBCONTRACTORS.
  - CONSTRUCT RATED ASSEMBLIES AT ALL LOCATIONS INDICATED. CODE REVIEW AND PER DRAWINGS, INCLUDING ALL CEILING AND FLOOR ASSEMBLIES, PROVIDE RATED ENCLOSURE WHERE FIXTURES OR EQUIPMENT PENETRATES THE ASSEMBLY.
  - PROVIDE FIRE STOPPING AT ALL PENETRATIONS OF RATED ASSEMBLIES. ANY DISTURBANCE OF ASSEMBLY SHALL BE REPAIRED.
  - FIRE-BLOCK ALL CONCEALED WALL SPACES, INCLUDING 10'-0" VERTICALLY AND HORIZONTALLY.
  - DO NOT PENETRATE STAIR OR ELEVATOR ENCLOSURE UNLESS SERVING STAIR OR ELEVATOR.
  - FINISH FLOOR ELEVATION CHANGE AT DOORS OR MATERIAL TRANSITIONS NOT TO EXCEED 1/2".
  - SEE SHEET A001 FOR ALL WALL TYPES.

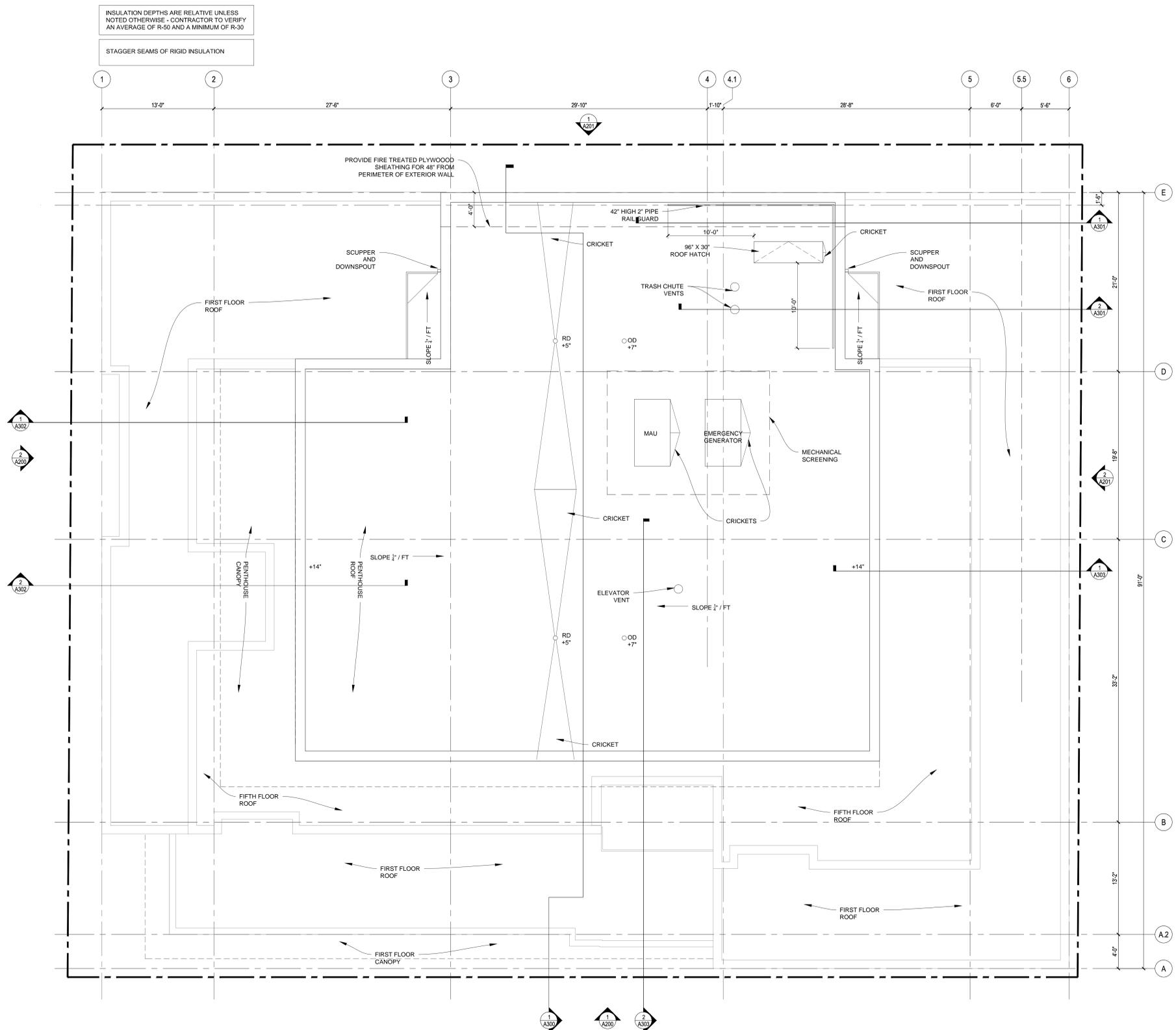
**1 SECOND FLOOR PLAN**  
SCALE 3/16" = 1'-0"





- GENERAL NOTES
- ALL EXTERIOR DIMENSIONS ARE TO OUTSIDE FACE OF METAL STUD OR OUTSIDE FACE OF CMU UNLESS OTHERWISE NOTED.
  - VERIFY SLAB EDGE LOCATIONS, BRICK AND MASONRY FACE WITH ARCHITECTURAL AND STRUCTURAL DETAILS.
  - INTERIOR WALL DIMENSIONS ARE TO CENTERLINE OF WALLS UNLESS NOTED OTHERWISE. WHERE CLEAR DIMENSIONS ARE INDICATED, THESE DIMENSIONS SHALL BE MAINTAINED.
  - ROUGH OPENING DIMENSIONS OF WINDOWS, DOORS AND OTHER COMPONENTS SHALL BE VERIFIED WITH ACTUAL DIMENSIONS OF SUPPLIED COMPONENTS.
  - DO NOT SCALE DRAWINGS. IF DIMENSION IS NOT CLEAR, NOT GIVEN, OR PRESENTS A CONFLICT, NOTIFY THE ARCHITECT IMMEDIATELY.
  - PROVIDE CONTROL JOINTS AT FLOORS AND WALLS PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
  - INSTALL ALL ELEMENTS AND MATERIALS TO MEET MANUFACTURER'S RECOMMENDATIONS. IF ARCHITECTURAL DRAWINGS CONFLICT WITH MANUFACTURER'S RECOMMENDATIONS, NOTIFY ARCHITECT IMMEDIATELY.
  - PROVIDE SEALED JOINTS AT MOISTURE CONTROL MEMBRANE.
  - PROTECT MATERIALS ON-SITE DURING CONSTRUCTION FROM MOISTURE AND OTHER DAMAGE.
  - INSULATE GAPS AT FRAMING BETWEEN WINDOWS, DOORS AND OTHER MATERIALS WITH RIGID INSULATION.
  - WOOD IN CONTACT WITH CONCRETE TO BE TREATED WOOD.
  - PROVIDE WOOD BLOCKING BEHIND ALL WALL HUNG CASEWORK, MILLWORK, SHELVING, FIXTURES AND ELSEWHERE AS NOTED OR AS NECESSARY BASED ON MANUFACTURER'S RECOMMENDATIONS.
  - GENERAL CONTRACTOR TO VERIFY WITH MECHANICAL, ELECTRICAL AND PLUMBING SUBCONTRACTORS AS TO LOCATIONS FOR EQUIPMENT, FIXTURES, METERS, DUCTWORK, ETC. NOTIFY ARCHITECT IMMEDIATELY OF ANY CONFLICTS BETWEEN ARCHITECTURAL DRAWINGS AND M.E.P. SUBCONTRACTORS.
  - CONSTRUCT RATED ASSEMBLIES AT ALL LOCATIONS INDICATED IN CODE REVIEW AND PER DRAWINGS, INCLUDING ALL CEILING AND FLOOR ASSEMBLIES. PROVIDE RATED ENCLOSURE WHERE FIXTURES OR EQUIPMENT PENETRATES THE ASSEMBLY.
  - PROVIDE FIRE STOPPING AT ALL PENETRATIONS OF RATED ASSEMBLIES. ANY DISTURBANCE OF ASSEMBLY SHALL BE REPAIRED.
  - FIRE-BLOCK ALL CONCEALED WALL SPACES, INCLUDING 10'-0" VERTICALLY AND HORIZONTALLY.
  - DO NOT PENETRATE STAIR OR ELEVATOR ENCLOSURE UNLESS SERVING STAIR OR ELEVATOR.
  - FINISH FLOOR ELEVATION CHANGE AT DOORS OR MATERIAL TRANSITIONS NOT TO EXCEED 1/2".
  - SEE SHEET A001 FOR ALL WALL TYPES.

- GENERAL UNIT PLAN NOTES
- ALL INTERIOR WALL ARE TYPE 'A' UNLESS OTHERWISE NOTED.
  - NOTIFY ARCHITECT IMMEDIATELY IF DIMENSIONAL DISCREPANCIES OCCUR.
  - REFER TO OVERALL BUILDING PLANS FOR THE FOLLOWING:
    - EXTERIOR WALL TYPES
    - EXTERIOR DOORS & WINDOW SIZES & LOCATIONS
    - EXTERIOR WALL DIMENSIONS
    - INTERIOR DEMISING WALL TYPES
  - PROVIDE ROD & SHELF AT ALL CLOSETS UNLESS NOTED OTHERWISE.
  - PROVIDE BASE AND FLOOR FINISHES BEHIND REFRIGERATOR AND AT REMOVABLE VANITIES.
  - CAULK/SEAL VANITY COUNTERTOPS TO WALL AND ALL PLUMBING FIXTURES TO WALL AND COUNTER.
  - MAINTAIN 40" CLEAR IN FRONT OF COUNTER TO ADJACENT SURFACE OR OBSTRUCTION.
  - PROVIDE WOOD BLOCKING BEHIND ALL WALL HUNG CASEWORK, MILLWORK, SHELVING, FIXTURES & ELSEWHERE AS NOTED OR AS NECESSARY BASED ON MANUFACTURER'S RECOMMENDATIONS.
  - GENERAL CONTRACTOR TO VERIFY WITH MECHANICAL SUBCONTRACTORS AS TO LOCATIONS FOR EQUIPMENT, ETC. NOTIFY ARCHITECT OF ANY NECESSARY MODIFICATIONS.
  - VERIFY LOCATIONS OF ALL MECHANICAL AND PLUMBING, IF CONFLICTS ARISE, NOTIFY ARCHITECT IMMEDIATELY.
  - VERIFY ALL FIXTURES AND EQUIPMENT FIT IN PLANS PRIOR TO INSTALLATION AND THAT FIXTURES MAINTAIN REQUIRED CLEARANCES AND CLEAR AREA AS INDICATED WITH DIMENSIONS OR [ ]
  - CONSTRUCT RATED ASSEMBLIES AT ALL LOCATIONS INDICATED IN CODE REVIEW & PER DRAWINGS INCLUDING ALL CEILING & FLOOR ASSEMBLIES.
  - PROVIDE FIRE STOPPING AT ALL PENETRATIONS OF RATED ASSEMBLIES. ANY DISTURBANCE OF ASSEMBLY SHALL BE REPAIRED.
  - SEE SHEET A001 FOR ALL WALL TYPES.
  - FIELD VERIFY ALL DIMENSIONS & ADJUST CABINET SIZING TO FIT FIELD CONDITIONS. PROVIDE FINISHED END PANELS TO MATCH CABINETRY AT ALL EXPOSED LOCATIONS. PROVIDE FILLERS WHERE NECESSARY TO ALLOW PROPER CABINET CLEARANCES & TO FILL OPENING COMPLETELY.
  - PROVIDE CABINET MANUFACTURER'S STANDARD TOE KICK AT CABINETS. STAIN TO MATCH CABINET.
  - RSF = REMOVE SINK FRONT.
  - ALL DWELLING UNITS TO HAVE CONCEALED WALL BLOCKING PROVIDED FOR FUTURE GRAB BARS. SEE DETAIL 11A700
  - SEE DETAIL 11A701 FOR KITCHEN ISLAND PLANS AND ELEVATION.
  - PAINT ELECTRICAL BOX TO MATCH WALL.
  - CONTRACTOR TO VERIFY CLEARANCES TO ALL COMBUSTIBLE MATERIALS FROM FIREPLACES OR MECHANICAL EQUIPMENT AND MEET MANUFACTURER'S RECOMMENDATIONS.



INSULATION DEPTHS ARE RELATIVE UNLESS NOTED OTHERWISE - CONTRACTOR TO VERIFY AN AVERAGE OF R-50 AND A MINIMUM OF R-30

STAGGER SEAMS OF RIGID INSULATION

1 ROOF PLAN  
A104 SCALE: 3/16" = 1'-0"



**GRAVES UPTOWN**  
31ST AND HOLMES  
MINNEAPOLIS, MN 55405



DATE: XXXX/15

I HEREBY CERTIFY THAT THIS PLAN SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

PETER KEELY  
REGISTRATION NO: 23570

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705 Raymond Avenue #200  
St. Paul, Minnesota 55114

**Alliant Engineering, Inc.**  
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Mark Kronbeck  
612.767.9338

**b.e. landscape designs**  
LANDSCAPE ARCHITECT  
BEN ERICKSON  
612.382.0902

**Palanisami & Associates, Inc.**  
Structural Engineer  
Swami Palanisami  
763.533.9403

DATE: DECEMBER 30, 2015

LAND USE APPLICATION  
RESUBMISSION

MARK	DATE	DESCRIPTION

PROJECT NO: 15-001  
DRAWN BY: JJ / SB / CN  
CHKD BY: PK

SHEET TITLE  
**ROOF PLAN**

A105



**GRAVES UPTOWN**  
31ST AND HOLMES  
MINNEAPOLIS, MN 55405

**GH GRAVES HOSPITALITY**  
DEVELOPMENT EXPERTISE. MANAGEMENT SAVVY.

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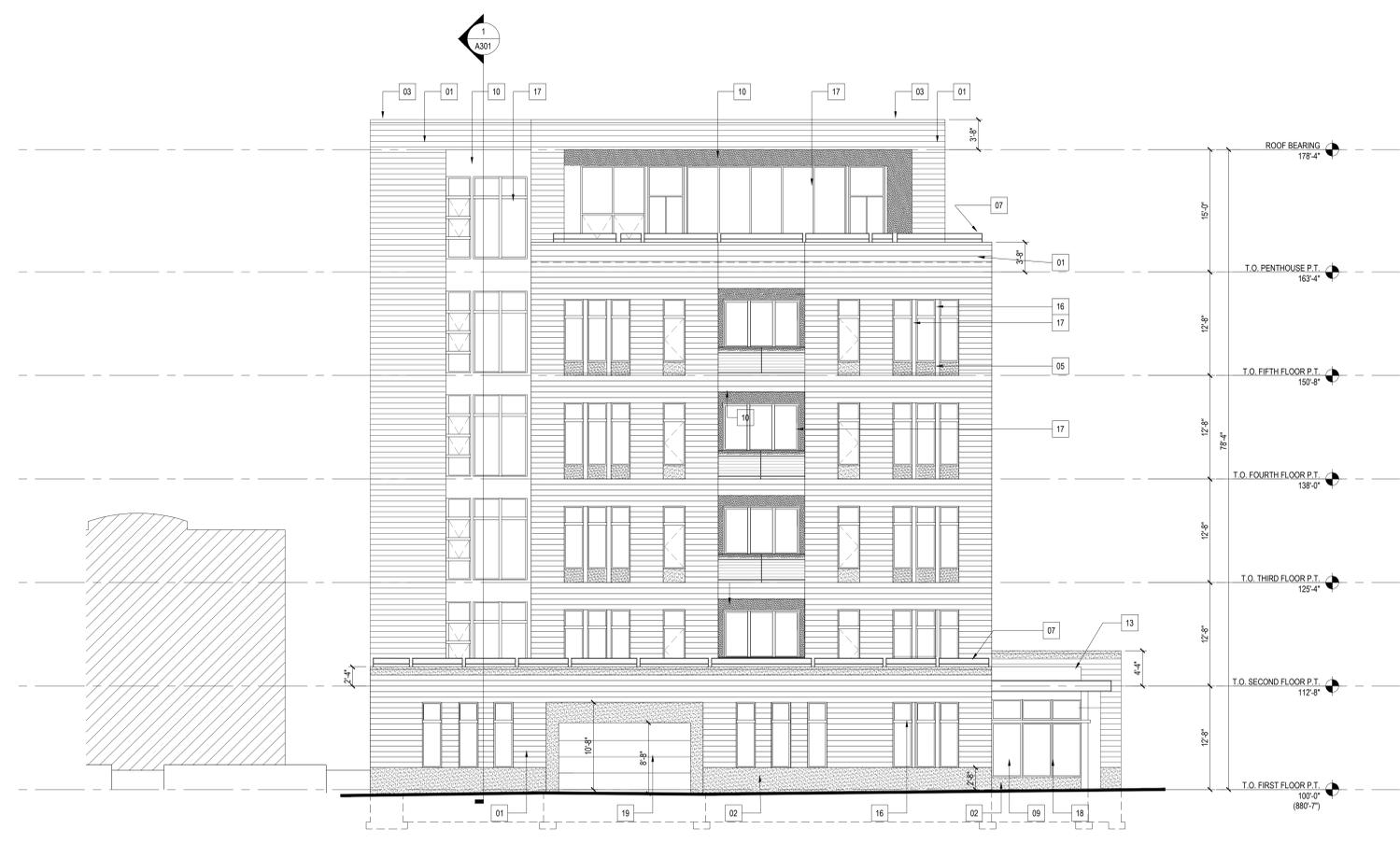
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SHEET TITLE  
**ELEVATIONS**

A200



**MATERIAL INDEX**

- 01 MANKATO KASOTA STONE - 8X48 HONED FINISH
- 02 GRANITE BASE
- 03 MANKATO KASOTA STONE PARAPET #1 - LIGHT
- 04 GRANITE PARAPET #2 - DARK
- 05 GRANITE SILL BLOCK - DARK
- 06 MANKATO KASOTA STONE SILL - LIGHT
- 07 2" BENT METAL / WELDED ROD GUARDRAIL - POWDERCOAT
- 08 METAL I-BEAM / CEDAR CANOPY - POWDERCOAT
- 09 METAL I-BEAM CANOPY COLUMNS - POWDERCOAT
- 10 VMZINC METAL PANEL #1 - ROUGE/RED
- 11 VMZINC METAL PANEL #2 - QUARTZ-ZINC
- 12 STAINLESS STEEL METAL TRIM
- 13 PREFINISHED METAL PARAPET CAP
- 14 PREFINISHED METAL TRIM - MATCH WINDOW COLOR
- 15 STEEL WINDOW / DOOR SYSTEM - (PORTELLA ARCH. SERIES)
- 16 BLACK ALUM. WINDOWS - EFCO 450X (RESIDENTIAL WDWS & DRS)
- 17 ANODIZED ALUM. WINDOWS - EFCO 450X (PENTHOUSE WDWS)
- 18 ANODIZED ALUM. STOREFRONT
- 19 GARAGE DOOR - WOOD PANELS @ GARAGE ENTRY
- 20 BENT METAL PLANTER - POWDERCOAT
- 21 CONCRETE PEDESTAL PAVER DECKING
- 22 CONTROL JOINT
- 23 EXPANSION JOINT
- 24 FABRIC AWNINGS - POWDERCOAT STEEL FRAME

**2 WEST ELEVATION**  
A200 1/8" = 1'-0"



**1 SOUTH ELEVATION**  
A200 1/8" = 1'-0"



**GRAVES UPTOWN**  
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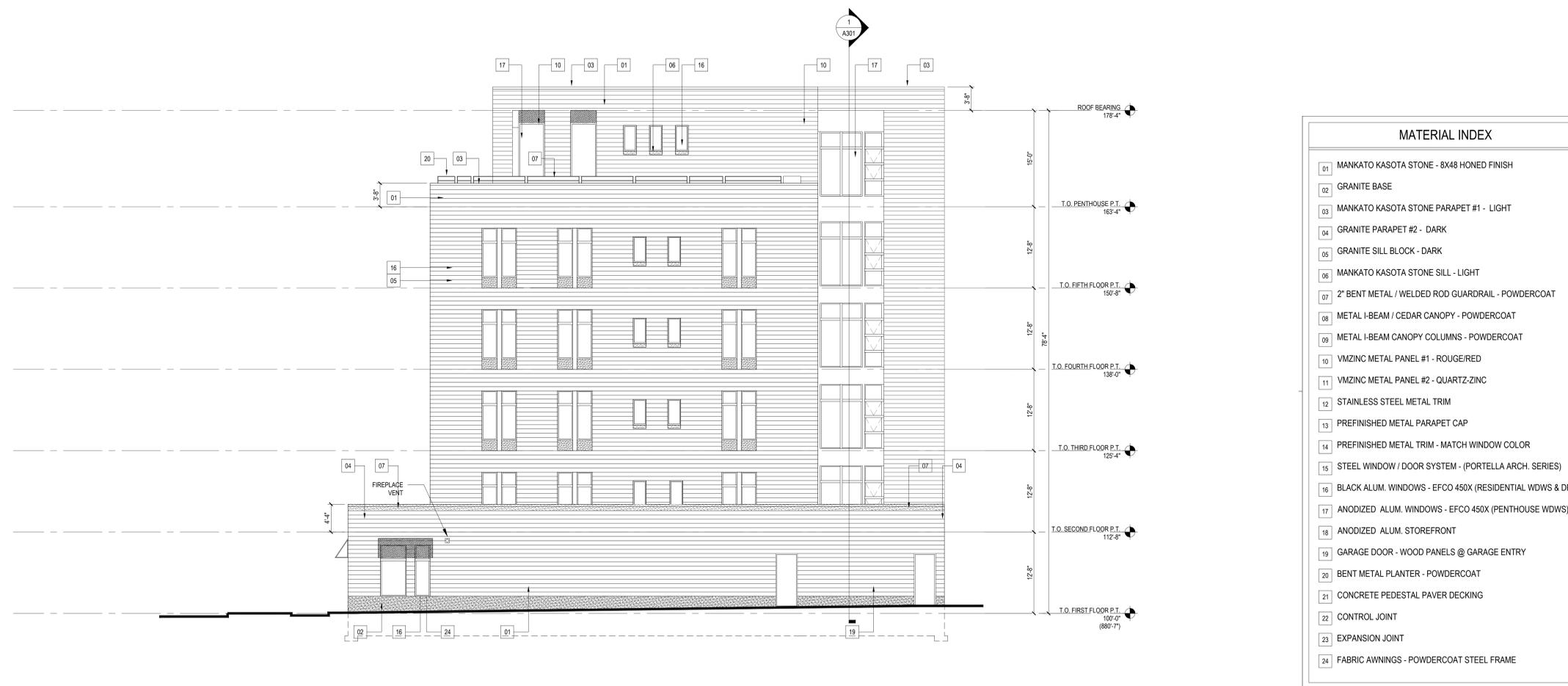
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DRAWN BY: JJ / SB / CN  
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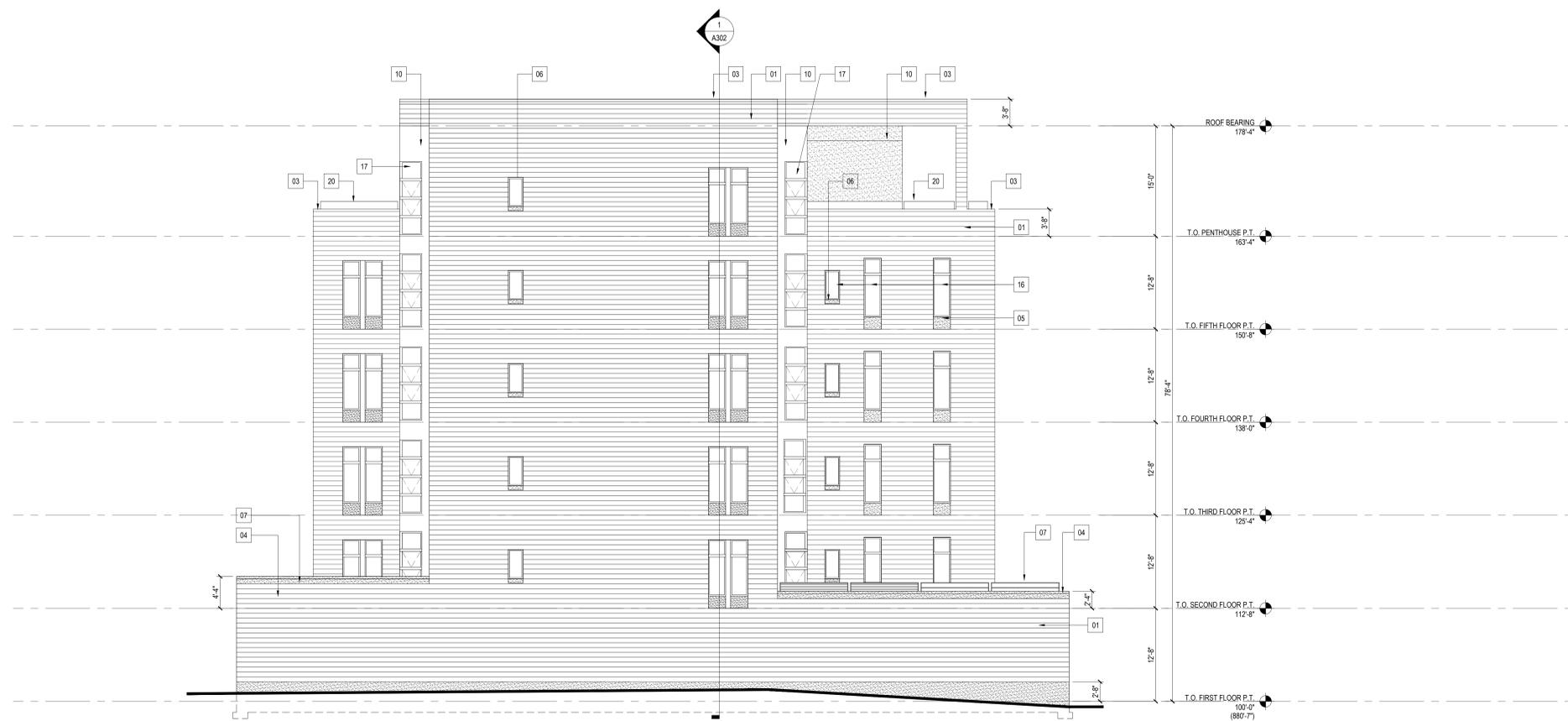
SHEET TITLE

ELEVATIONS

A201



2 EAST ELEVATION  
A201 1/8" = 1'-0"



1 NORTH ELEVATION  
A201 1/8" = 1'-0"



Collage | architects



GRAVES HOSPITALITY  
DEVELOPMENT EXPERTISE. MANAGEMENT SAVVY.





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DEVELOPMENT EXPERTISE. MANAGEMENT SAVVY.



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**Collage | architects**



**GRAVES HOSPITALITY**  
DEVELOPMENT EXPERTISE. MANAGEMENT SAVVY.





**MARCH 21, 2015 8:00AM**



**MARCH 21, 2015 12:00PM**



**MARCH 21, 2015 4:00PM**



**JUNE 21, 2015 8:00AM**



**JUNE 21, 2015 12:00PM**



**JUNE 21, 2015 4:00PM**

**SUN STUDIES: NTS**



**GRAVES UPTOWN**  
Minneapolis, MN  
11.30.2015



**SEPT 21, 2015 8:00AM**



**SEPT 21, 2015 12:00PM**



**SEPT 21, 2015 4:00PM**



**DEC 21, 2015 10:00AM**



**DEC 21, 2015 12:00PM**



**DEC 21, 2015 2:00PM**



**GRAVES UPTOWN**  
Minneapolis, MN  
11.30.2015



GRAVES UPTOWN  
Minneapolis, MN  
11.30.2015





GRAVES UPTOWN  
Minneapolis, MN  
11.30.2015

## Peter Keely

---

**From:** Peter Keely <pkeely@collagearch.com>  
**Sent:** Monday, November 30, 2015 1:32 PM  
**To:** Lisa Bender (Lisa.bender@minneapolismn.gov)  
**Cc:** 'Ben.Somogyi@minneapolismn.gov'  
**Subject:** FW: 3041 Holmes Avenue So.  
**Attachments:** Holmes Project Description.pdf

Councilmember Bender,

We are proceeding with the project on 3041 Holmes as previously discussed, and as reviewed by the neighborhood. Although the project is essentially the same, there are a few minor changes. The restaurant has been removed, and it is now a commercial space of approximately 1700 sq.ft. A tenant has not been identified.

The underground parking has been removed, and is now located on the first level with commercial and residential uses in front of the garage.

Based on these changes we will be requesting a rezoning from R4 to OR2 to allow for the mixed-use commercial. With that rezoning there will also be a variance for yard setbacks, for lot coverage, and for drive aisle width to maneuver in the alley. I have attached a copy of the application description for a better understanding of the requests. I will also send you a fully updated set of plans and images for the project later today. The building will still be nine luxury condominiums, in a six story building constructed mostly of stone with metal and glass and looks nearly identical to the images presented earlier. These were most recently presented at the ECCO land-use committee on September 21<sup>st</sup>. We have contacted Monica Smith at ECCO to give her an update as well.

My understanding is that this will go to the planning commission on January 11<sup>th</sup>.

I would be happy to answer any questions regarding the application.

Thank you.



**Pete Keely**  
705 RAYMOND AVENUE #200  
St. Paul, MN 55114  
P: 651.472.0051  
M: 612.720.9552

## Peter Keely

---

**From:** Peter Keely <pkeely@collagearch.com>  
**Sent:** Monday, November 30, 2015 1:26 PM  
**To:** 'nrp@eastcalhoun.org'  
**Cc:** 'Jim Graves'  
**Subject:** 3041 Holmes Avenue So.  
**Attachments:** Holmes Project Description.pdf

Monica,

We are proceeding with the project on 3041 Holmes as discussed and reviewed at the neighborhood meetings. Although the project is essentially the same, there are a few minor changes.

The restaurant has been removed, and it is now a commercial space of approximately 1700 sq.ft. A tenant has not been identified.

The underground parking has been removed, and is now located on the first level with commercial and residential uses in front of the garage.

Based on these changes we will be requesting a rezoning from R4 to OR2. With that rezoning there will also be a variance for yard setbacks, for lot coverage, and for drive aisle width to maneuver in the alley. I have attached a copy of the application description for a better understanding. I will also send you a fully updated set of plans and images for the project later today. The building will still be nine luxury condominiums, in a six story building constructed mostly of stone with metal and glass and looks nearly identical to the images presented earlier.

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