



**LAND USE APPLICATION SUMMARY**

*Property Location:* 510 Cedar Avenue South  
*Project Name:* 510 Cedar Avenue South  
*Prepared By:* Hilary Dvorak, Principal Planner, (612) 673-2639  
*Applicant:* Garad Nor  
*Project Contact:* Jerry Anderson with Jamb Architects  
*Request:* To construct a new 10,100 square foot mixed-use building.  
*Required Applications:*

<b>Variance</b>	To reduce the minimum parking requirement from 10 to 0 spaces.
<b>Site Plan Review</b>	For a new 10,100 square foot mixed-use building.

**SITE DATA**

<b>Existing Zoning</b>	C3A Community Activity Center District PO Pedestrian Oriented Overlay District UA University Area Overlay District
<b>Lot Area</b>	3,771 square feet / .09 acres
<b>Ward(s)</b>	6
<b>Neighborhood(s)</b>	Cedar Riverside
<b>Designated Future Land Use</b>	Mixed Use
<b>Land Use Features</b>	Commercial Corridor (Cedar Avenue) Cedar Riverside Activity Center
<b>Small Area Plan(s)</b>	<u>Cedar-Riverside Small Area Plan (2008)</u> <u>Franklin-Cedar/Riverside Transit-Oriented Development Master Plan (2001)</u>

<b>Date Application Deemed Complete</b>	November 23, 2015	<b>Date Extension Letter Sent</b>	January 12, 2016
<b>End of 60-Day Decision Period</b>	January 21, 2016	<b>End of 120-Day Decision Period</b>	March 21, 2016

## BACKGROUND

**SITE DESCRIPTION AND PRESENT USE.** The property is located on Cedar Avenue, just south of Riverside Avenue. The site is currently vacant. On January 1, 2014, the former building was destroyed by fire after an explosion occurred.

**SURROUNDING PROPERTIES AND NEIGHBORHOOD.** The site is surrounded by commercial buildings and residential developments of varying densities. The site is located in the Cedar Riverside neighborhood

**PROJECT DESCRIPTION.** The applicant is proposing to construct a new mixed-use building on the property. The building will be three stories in height and just over 10,000 square feet in size. The building's exterior will be primarily brick and stone face block. There will be a principal entrance on the south end of the building which will provide access to a centralized elevator and stair tower. The building will be occupied by both commercial businesses and offices. No specific uses have been identified at this time.

For purposes of calculating the parking requirement for the building CPED has allocated the first floor of the building for food and beverage uses and the upper two floors for general retail sales and services uses or office space which have the same parking requirement.

**RELATED APPROVALS.** Not applicable.

**PUBLIC COMMENTS.** Public comment letters, including a letter from the West bank Business Association, are included with the report. Any additional correspondence received prior to the public meeting will be forwarded on to the Planning Commission for consideration.

## ANALYSIS

### VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance to reduce the minimum parking requirement from 10 to 0 spaces based on the following findings:

- 1. Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

The minimum parking requirement for general retail sales and services uses or offices is one space per 500 square feet of gross floor area in excess of 4,000 square feet and the minimum parking requirement for food and beverage uses is one space per 500 square feet of gross floor area up to 2,000 square feet plus one space per 300 square feet of gross floor area in excess of 2,000 square feet.

There is 6,750 square feet of general retail sales and services or office space in the building and 3,306 square feet of food and beverage space in the building. The minimum parking requirement for these uses is 14 spaces. However, in the PO Overlay the minimum parking requirement is reduced an additional 25 percent so the parking requirement for the building is 10 spaces.

Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The property is less than 4,000 square feet in size and is shaped like a triangle. In addition, the former mixed-use building that occupied the property for over 100 years had no parking.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The applicant is proposing to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan. Parking regulations are established to recognize the parking needs of uses and structures, to enhance the compatibility between parking areas and their surroundings, and to regulate the number, design, maintenance, use and location of off-street parking spaces and the driveways and aisles that provide access and maneuvering space. The regulations promote flexibility and recognize that excessive off-street parking conflicts with the city's policies related to transportation, land use, urban design, and sustainability.

The proposed development will be occupied by both commercial businesses and offices. The applicant has indicated that the business will cater to those who live in the surrounding neighborhood.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

Granting of this variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. In addition, granting of the variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties. While the applicant is not proposing to provide any parking on the property the site is well served by mass transportation. The site is located within walking distance of the Green Line light rail transit line and there is high-frequency bus service on both Cedar Avenue and Riverside Avenue.

## SITE PLAN REVIEW

The Department of Community Planning and Economic Development has analyzed the application based on the required findings and applicable standards in the site plan review chapter:

### **1. Conformance to all applicable standards of Chapter 530, Site Plan Review.**

## **BUILDING PLACEMENT AND DESIGN**

### **Building placement – Requires alternative compliance**

- The first floor of the building is located between zero and 11 feet from the front property line along Cedar Avenue. The portion of the building that is set back 11 feet from the front property line is in the southeast corner of the building where one of the principal entrances is located. Alternative compliance is required.
- The placement of the building reinforces the street wall, maximizes natural surveillance and visibility, and facilitates pedestrian access and circulation. The building will be located close to the front property line, there will be entrances at street level and there will be large windows on the street facing sides of the building that maximize the opportunities for people to observe adjacent spaces

- The majority of the building is located up to the front property line. Where the building is set back from the property line there is additional sidewalk area.
- There is no on-site parking.

**Principal entrances – Meets requirements**

- The building is oriented so that at least one principal entrance faces the front property line.
- Both of the principal entrances are clearly defined. They are both located at a corner of the building and are recessed into the building wall.

**Visual interest – Requires alternative compliance**

- The building walls provide architectural detail and contain windows in order to create visual interest.
- The back (or west) wall of the building contains areas that are blank and over 25 feet in length. Alternative compliance is required.

**Exterior materials – Meets requirements**

- The applicant is proposing brick and stone face block as the building’s primary exterior materials. Stucco will be used as an accent material between the windows. Each elevation would comply with the City’s durability standards for exterior materials.
- In addition, the building is consistent with the City’s policy of allowing no more than three exterior materials per elevation, excluding windows, doors, and foundation materials.
- Plain face concrete block is not proposed along any public streets, sidewalks, or adjacent to a residence or office residence district.
- The exterior materials and appearance of the rear and side walls of the building are similar to and compatible with the front of the building.

**Windows – Meets requirements**

- For nonresidential uses, the zoning code requires that no less than 30 percent of the walls on the first floor are windows with clear or lightly tinted glass with a visible light transmittance ratio of six-tenths (0.6) or higher. In addition, at least 40 percent of the first floor façade of a nonresidential use facing a public street or sidewalk is required to be windows or doors with clear or tinted glass in the Pedestrian Oriented Overlay District. No less than ten percent of the walls on each floor above the first that face a public street, public sidewalk, public pathway, or on-site parking lot, shall be windows. Based on the floor plans, all proposed shelving, mechanical equipment, and other similar fixtures allow views into and out of the building between four and seven feet above the adjacent grade. The project is in compliance with the minimum window requirement (see Table I).
- All windows are vertical in proportion and are evenly distributed along the building walls.

**Table I. Percentage of Windows per Applicable Elevation**

	Code Requirement		Proposed	
<b>Nonresidential Uses</b>				
1st floor facing Cedar Avenue	40% minimum	317 sq. ft.	41%	325 sq. ft.
2nd floor and above facing Cedar Avenue	10% minimum	99 sq. ft.	46%	455 sq. ft.

**Ground floor active functions – Meets requirements**

- The ground floor facing Cedar Avenue contains 100 percent (99 feet) active functions.

**Roof line – Meets requirements**

- The principal roof line of the building will be flat, which is similar to that of surrounding buildings.

**Parking garages – Not applicable**

- There is no parking garage proposed as part of this project.

**ACCESS AND CIRCULATION**

**Pedestrian access – Meets requirements**

- Both of the principal entrances can be accessed directly from the public sidewalk.

**Transit access – Not applicable**

- No transit shelters are proposed as part of this development.

**Vehicular access – Meets requirements**

- There is no on-site parking.
- There are no public alleys adjacent to the site.
- There is no maximum impervious surface requirement in the C3A zoning district. According to the materials submitted by the applicant, 100 of the site will be impervious.

**LANDSCAPING AND SCREENING**

**General landscaping and screening – Requires alternative compliance**

- At least 20 percent of the site not occupied by the building shall be landscaped. The applicant is not proposing any landscaping on site (see Table 2). Alternative compliance is required.
- The tree requirement for the site is one and the applicant is not proposing to provide any trees on the site. Alternative compliance is required.
- The shrub requirement for the site is one and the applicant is not proposing to provide any shrubs on the site. Alternative compliance is required.

**Table 2. Landscaping and Screening Requirements**

	<b>Code Requirement</b>	<b>Proposed</b>
<b>Lot Area</b>	--	3,371 sq. ft.
<b>Building Footprint</b>	--	3,306 sq. ft.
<b>Remaining Lot Area</b>	--	65 sq. ft.
<b>Landscaping Required</b>	13 sq. ft.	0 sq. ft.
<b>Canopy Trees (1:500 sq. ft.)</b>	1 tree	0 trees
<b>Shrubs (1:100 sq. ft.)</b>	1 shrub	0 shrubs

**Parking and loading landscaping and screening – Not applicable**

- There is no on-site parking.

**ADDITIONAL STANDARDS**

**Concrete curbs and wheel stops – Not applicable**

- There are no surface parking spaces proposed on the site.

**Site context – Meets requirements**

- There are no important elements of the city such as parks, greenways, significant buildings, and water bodies near the site that will be obstructed by the proposed building.
- The building should have minimal shadowing effects on public spaces and adjacent properties.
- The building has been designed to minimize the generation of wind currents at ground level.

**Crime prevention through environmental design – Meets requirements**

- The site plan complies with crime prevention design elements as the entrances are oriented towards the public sidewalk, building entrances can be accessed directly from the public sidewalk, there will be windows on all sides of the building that maximize the opportunities for people to observe adjacent spaces and the public sidewalks and there will be lights located near all of the building entrances.

**Historic preservation – Not applicable**

- This site is neither historically designated nor is it located in a historic district.

**2. Conformance with all applicable regulations of the zoning ordinance.**

The proposed use is permitted in the C3A Commercial Activity Center District.

**Off-street Parking and Loading – Choose an item.**

- The applicant has applied for a variance to reduce the minimum parking requirement from 10 to 0 spaces (see Table 3).

The minimum bicycle parking requirement is six spaces (see

- Table 4). The applicant isn't proposing to provide any bicycle parking spaces. CPED is recommending that there be a minimum of six bicycle parking spaces provided as part of the development.
- There is no off-street loading requirement for this development (see Table 5).

**Table 3. Vehicle Parking Requirements Per Use (Chapter 54I)**

<b>Use</b>	<b>Minimum</b>	<b>Reductions</b>	<b>Total with Reductions</b>	<b>Maximum Allowed</b>	<b>Proposed</b>
<b>General Retail Sales and Services/Offices</b>	6	PO Overlay (2)	4	34 PO Overlay (8) 26	0
<b>Food and beverages</b>	8	PO Overlay (2)	6	44 PO Overlay (11) 33	0
	<b>14</b>	<b>4</b>	<b>10</b>	<b>59</b>	<b>0</b>

**Table 4. Bicycle Parking Requirements (Chapter 541)**

Use	Minimum	Short-Term	Long-Term	Proposed
General Retail Sales and Services/Offices	3	Not less than 50% (General Retail Sales and Services) 2	Not less than 50% (Offices) 2	0
Food and beverages	3	Not less than 50% 2	--	0
	<b>6</b>	<b>4</b>	<b>2</b>	<b>0</b>

**Table 5. Loading Requirements (Chapter 541)**

Use	Loading Requirement	Minimum Requirement	Proposed
General Retail Sales and Services/Offices	None	0	0
Food and beverages	None	0	0
	<b>None</b>	<b>0</b>	<b>0</b>

**Building Bulk and Height – Meets requirements**

**Table 6. Building Bulk and Height Requirements**

	Code Requirement	Proposed
Lot Area	--	3,371 sq. ft. / XX acres
Gross Floor Area	--	10,056 sq. ft.
Floor Area Ratio (Minimum)	1.0	2.7
Floor Area Ratio (Maximum)	2.7	
Building Height (Maximum)	4 stories or 56 ft., whichever is less	3 stories or 39 ft.

**Lot Requirements – Meets requirements**

**Table 7. Lot Requirements Summary**

	Code Requirement	Proposed
Dwelling Units (DU)	--	0 DUs
Density (DU/acre)	--	0 DU/acre
Lot Area (Minimum)	Not applicable	3,771 sq. ft.
Impervious Surface Area (Maximum)	Not applicable	100%
Lot Coverage (Maximum)	Not applicable	89%
Lot Width (Maximum)	Not applicable	104 ft.

**Yard Requirements – Meets requirements**

**Table 8. Minimum Yard Requirements**

Setback	Zoning District	Overriding Regulations	Total Requirement	Proposed
<b>Front</b> (East)	0 ft.	--	0 ft.	Between 0 ft. and 11 ft.
<b>Interior Side</b> (North)	0 ft.	--	0 ft.	0 ft.
<b>Interior Side</b> (South)	0 ft.	--	0 ft.	0 ft.
<b>Rear</b> (West)	0 ft.	--	0 ft.	0 ft.

**Signs – Not applicable**

- All signs are subject to Chapter 543, On-Premise Signs. The applicant will be required to submit a separate sign permit application for any signage that is proposed.
- In the C3A zoning district there can be one-and-a-half square feet of signage for every one linear foot of primary building wall. Wall signs are limited to 180 square feet in size and projecting signs are limited to 48 square feet in size. There is no height limitation for either wall signs or projecting signs in the C3A zoning district. Freestanding monument signs are limited to 32 square feet in size and can be no taller than 8 feet. The zoning code limits the number of freestanding signs on a zoning lot to one.
- The applicant is not proposing any signage at this time.

**Screening of Mechanical Equipment – Choose an item.**

- All mechanical equipment is subject to the screening requirements of Chapter 535 and district requirements.
- The applicant is not showing any mechanical equipment either on the roof or on the ground. CPED is recommending that if mechanical equipment is provided either on the roof or on the ground that it be screened per the standards of Chapter 535, Regulations of General Applicability.

**Refuse Screening – Choose an item.**

- All refuse and recycling storage containers are subject to the screening requirements in Chapter 535.
- The applicant is not showing an area for refuse and recycling containers on the site. CPED is recommending that if the refuse and recycling area is not provided within the building that it be screened per the standards of Chapter 535, Regulations of General Applicability.

**Lighting – Choose an item.**

- Lighting must comply with Chapter 535 and Chapter 541 of the zoning code.
- A lighting plan showing footcandles was not submitted as part of the application materials. CPED is recommending that the final lighting plan conform to the standards of Chapter 535, Regulations of General Applicability.

**Fences – Not applicable**

- The applicant is not proposing to provide any fencing on the site.

**Specific Development Standards – Not applicable**

- No specific uses have been identified at this time.

**PO Overlay District Standards – Meets requirements**

- The proposal is in compliance with the PO Overlay District standards.

**UA Overlay District Standards – Not applicable**

- There are no dwelling units proposed in the development.

**3. Conformance with the applicable policies of The Minneapolis Plan for Sustainable Growth.**

The Minneapolis Plan for Sustainable Growth identifies the site as mixed use on the future land use map. The proposed development is consistent with the following principles and policies outlined in the comprehensive plan:

**Urban Design Policy 10.9: Support urban design standards that emphasize traditional urban form with pedestrian scale design features at the street level in mixed-use and transit-oriented development.**

- 10.9.1 Encourage both mixed-use buildings and a mix of uses in separate buildings where appropriate.
- 10.9.2 Promote building and site design that delineates between public and private spaces.

**Urban Design Policy 10.10: Support urban design standards that emphasize a traditional urban form in commercial areas.**

- 10.10.1 Enhance the city's commercial districts by encouraging appropriate building forms and designs, historic preservation objectives, site plans that enhance the pedestrian environment, and by maintaining high quality four season public spaces and infrastructure.
- 10.10.4 Orient new buildings to the street to foster safe and successful commercial nodes and corridors.
- 10.10.6 Require storefront window transparency to assure both natural surveillance and an inviting pedestrian experience.

**Urban Design Policy 10.11: Seek new commercial development that is attractive, functional and adds value to the physical environment.**

- 10.11.1 Require the location of new commercial development (office, research and development, and related light manufacturing) to take advantage of locational amenities and coexist with neighbors in mixed-use environments.
- 10.11.2 Ensure that new commercial developments maximize compatibility with surrounding neighborhoods.
- 10.11.3 Continue to curb the inefficient use of land by regulating minimum height, setbacks, build-to lines and parking through master planning methods and zoning code regulations.

- 10.11.4 Maximize the year round potential for public transit, biking, and walking in new developments.

CPED finds that the proposed development is in conformance with the above policies of *The Minneapolis Plan for Sustainable Growth*.

**4. Conformance with applicable development plans or objectives adopted by the City Council.**

The site is located within the boundaries of the *Cedar Riverside Small Area Plan* adopted by the City Council in 2008. The plan says that any new development should include a mix of uses to create more activity during the day and evening. Additionally, any new development should be designed to be friendly toward nearby residential uses by mitigating any negative impacts of noise and bulk of structures. Design of new structures should reflect the historic character of the corridor. CPED finds that the proposed development is in conformance with the policies of the *Cedar Riverside Small Area Plan*.

**5. Alternative compliance.**

The Planning Commission or zoning administrator may approve alternatives to any site plan review requirement upon finding that the project meets one of three criteria required for alternative compliance. Alternative compliance is requested for the following requirements:

- **Building placement.** The first floor of the building is located between zero and 11 feet from the front property line along Cedar Avenue. The portion of the building that is set back 11 feet from the front property line is in the southeast corner of the building where one of the principal entrances is located. The additional setback provides additional sidewalk area and helps to emphasize the entrance. CPED is recommending that the City Planning Commission grant alternative compliance.
- **Blank walls.** The back (or west) wall of the building contains areas that are blank and over 25 feet in length. Given the size of the site the west wall of the building is proposed to be located up to the west property line. In addition, this wall of the building abuts an access and maintenance easement which is located adjacent to another building. CPED is recommending that the City Planning Commission grant alternative compliance.
- **Landscaping.** Thirteen square feet of landscaping is required to be provided on the site. In addition, one tree and one shrub are also required. The applicant is not proposing to provide any landscaping on the site. Given the size of the site CPED is recommending that the City Planning Commission grant alternative compliance.

**RECOMMENDATIONS**

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt staff findings for the applications by Garad Nor for the property located at 510 Cedar Avenue South:

**A. Variance of the minimum parking requirement.**

Recommended motion: **Approve** the application to reduce the minimum parking requirement from 10 to 0 spaces.

**B. Site Plan Review for a new commercial building.**

Recommended motion: **Approve** the application for a new 10,100 square foot mixed-use building, subject to the following conditions:

1. All site improvements shall be completed by January 25, 2018, unless extended by the Zoning Administrator, or the permit may be revoked for non-compliance.
2. CPED staff shall review and approve the final site, elevation, landscaping, and lighting plans before building permits may be issued.
3. There shall be a minimum of six bicycle parking spaces (four short-term and two-long-term) provided as part of the development.
4. If mechanical equipment is provided either on the roof or on the ground it shall be screened per the standards of Chapter 535, Regulations of General Applicability.
5. The final lighting plan shall conform to the standards of Chapter 535, Regulations of General Applicability.
6. If the refuse and recycling area is not provided within the building it shall be screened per the standards of Chapter 535, Regulations of General Applicability.

## **ATTACHMENTS**

1. Written description and findings submitted by applicant
2. Zoning map
3. Site survey
4. Civil and architectural plans
5. Photos
6. Correspondence

### **510 Cedar Avenue South**

A new facility is being proposed at 510 Cedar Avenue in the Cedar Riverside Community to replace the existing 3 story building which perished in a fire on December 31<sup>st</sup> 2013. The new project proposed by Garad K. Nor will be a three story facility with full basement. It has a proposed 3,375 sf footprint to replace the original 2,295 sf footprint of the building which burned. Unlike its predecessor the new facility will not contain residential dwelling units, but rather will consist of small business – office and retail spaces which will reflect the local market and culture surrounding the site. The area is predominately pedestrian in nature and the small 3,800 sf site is overlaid by both a pedestrian overlay district and the university area overlay district. The original facility was constructed in 1887 and has operated in a completely pedestrian fashion up until the fire. The two main public facades of the building consist of three story glass and aluminum window walls which are framed by stucco panels in rich fall shades of browns and tans inset into a dark brick framework. Each level of the new building will be served by an elevator and each floor contains men's and women's toilets. The first floor at street level sports a main entry located at the southwest corner and a secondary entrance at the northeast corner off Cedar Avenue. Current interest in tenant space consists of restaurant/coffee shop, convenience/grocery store, a local law office as well as small office and retail outlets.

**Landscaping Alternative:**

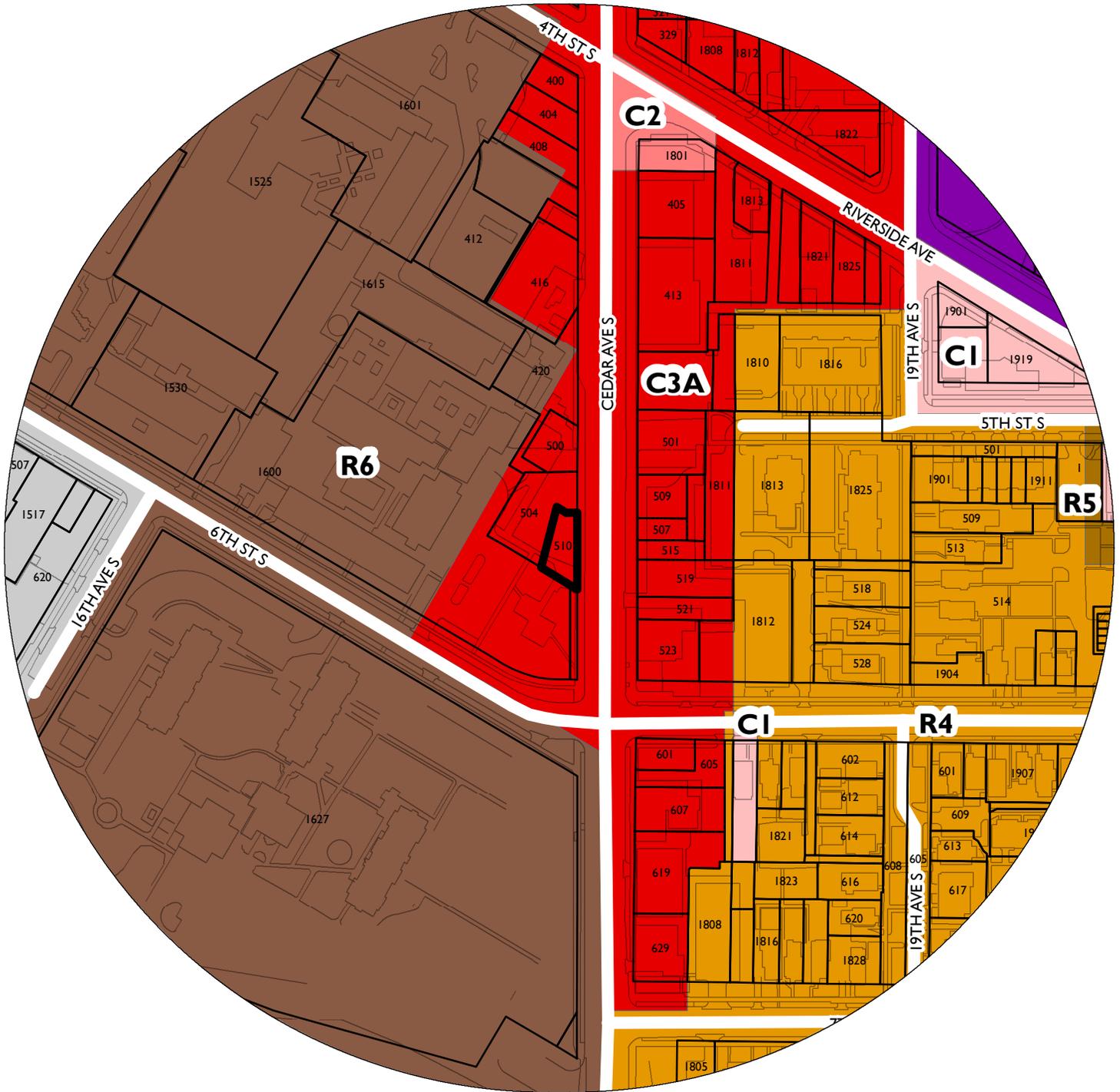
In that we are developing an extremely small urban site which contains no curb-cuts or on-site parking and in that all but 12 sf of the site (with the exception of the common maintenance easement) is impervious. We are proposing to use (3) large decorative concrete planters, (2) adjacent to the main entrance and (1) adjacent to the secondary entrance, both facing Cedar Avenue South. These planters shall flank the buildings entrances and are to be located entirely within the property limits and planted with colorful annuals and greenery. In keeping with the need for onsite storm water storage, we have developed a system which utilizes the roof, an underground cistern and a small rain garden located in the easement area to the west of the building. This area consists of approximately 154 sf of grass turf and does contribute to the landscaping requirement.

# 510 Cedar Avenue South

6th

NAME OF APPLICANT

WARD



PROPERTY ADDRESS

510 Cedar Avenue South

FILE NUMBER

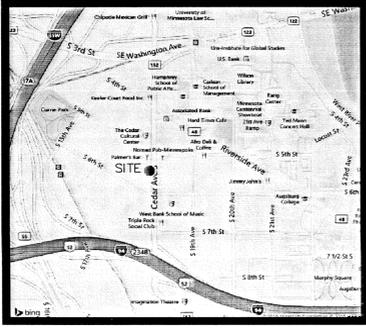
**BZZ-7487**

# CERTIFICATE OF SURVEY

for WADANI PROPERTIES, LLC  
of 510 CEDAR AVENUE SOUTH  
MINNEAPOLIS, MN 55454

## VICINITY MAP

PART OF SEC. 26, TWP. 29, RNG. 24



HENNEPIN COUNTY, MINNESOTA  
(NO SCALE)

LOT 2  
EXISTING BUILDING

BLOCK ONE

LOT 2  
EXISTING BUILDING

LOT 3  
EXISTING REMNANTS OF  
EXTERIOR FOUNDATION WALLS  
(BUILDING DESTROYED BY FIRE)

ONE

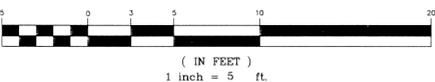
CEDAR AVENUE SOUTH

AUDITOR'S SUBDIVISION OF BLOCK 13  
OF ATWATER'S ADDITION TO MINNEAPOLIS



NORTH

GRAPHIC SCALE



## LEGEND

- DENOTES IRON MONUMENT FOUND AS LABELED
- DENOTES SET MARK IN CONCRETE
- DENOTES CATCH BASIN
- ⊙ DENOTES SANITARY SEWER MANHOLE
- x 952.36 DENOTES EXISTING SPOT ELEVATION
- ☆ DENOTES LIGHT POLE
- AC DENOTES AIR CONDITIONING UNIT
- DENOTES EXISTING SANITARY SEWER
- DENOTES EXISTING WATER MAIN
- DENOTES UNDERGROUND ELECTRIC LINE
- DENOTES UNDERGROUND GAS LINE
- DENOTES UNDERGROUND CABLE LINE
- DENOTES CONCRETE SURFACE
- DENOTES BITUMINOUS SURFACE
- DENOTES PARTY WALL DECLARATION AND EASEMENT FOR ACCESS AND MAINTENANCE PER DOCUMENT NO. 4341396
- FFE DENOTES FINISHED FLOOR ELEVATION

## NOTES

- Field survey was completed by E.G. Rud and Sons, Inc. on 05/18/15.
- Bearings shown are on an assumed datum.
- Curb shots are taken at the top and back of curb.
- This survey was prepared without the benefit of title work. Additional easements, restrictions and/or encumbrances may exist other than those shown hereon. Survey subject to revision upon receipt of a current title commitment or an attorney's title opinion.
- Utilities shown hereon are observed. Excavations were not made during the process of this survey to locate underground utilities and/or structures. The location of underground utilities and/or structures may vary from locations shown hereon and additional underground utilities and/or structures may be encountered. Contact Gopher State One Call Notification Center at (651) 454-0002 for verification of utility type and field location, prior to excavation. United Locating Services was used for utility locates. The Gopher State Ticket Number obtained by United Locating Services for this survey is 151331338.
- The boundary area of the surveyed premises contains 3,771 S.F. more or less.

## BENCHMARK

MNDOT STATION NAME: 2783 C  
ELEVATION = 840.264 (NAVD88)

## PROPERTY DESCRIPTION

(DESCRIPTION PER CERTIFICATE OF TITLE NO. 1222323)

That part of Lot 3, Block 1, Heller Addition, embraced within Lots 1, 2 and 4 of Auditor's Subdivision of Block Thirteen (13) of Atwater's Addition to Minneapolis.

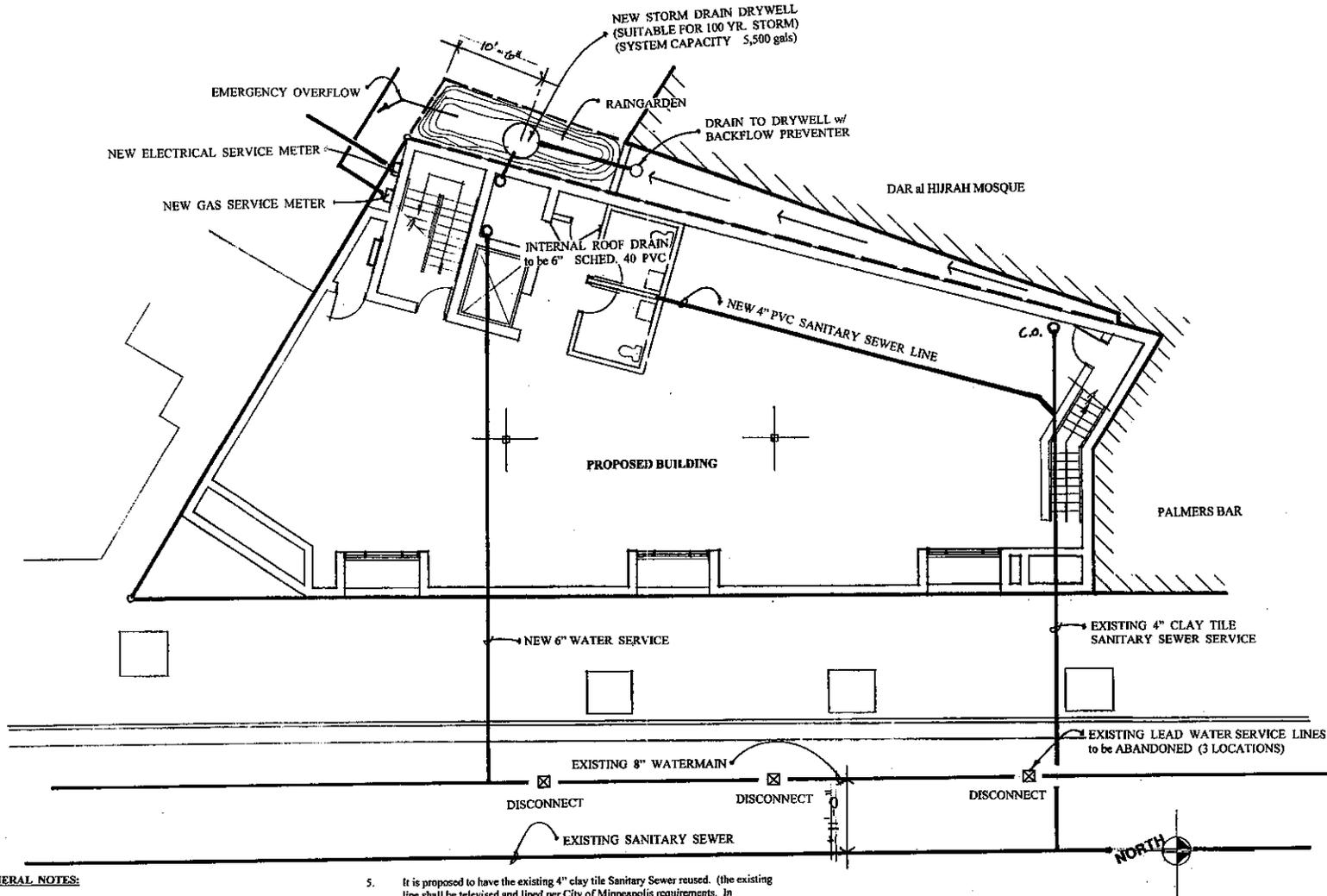
NOTE: Parcel surveyed is all of Lot 3, Block 1, HELLER ADDITION. (Parcel is both Abstract and Torrens)

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

BLAKE L. RIVARD  
Date: 05-27-15 License No. 19421

DRAWN BY: JEN	JOB NO: 15284BT	DATE: 05/27/15
CHECK BY: BLR	SCANNED <input type="checkbox"/>	
1		
2		
3		
NO.	DATE	DESCRIPTION
		BY

**E. G. RUD & SONS, INC.**  
EST. 1977  
Professional Land Surveyors  
6776 Lake Drive NE, Suite 110  
Lino Lakes, MN 55014  
Tel. (651) 361-8200 Fax (651) 361-8701  
www.egrud.com

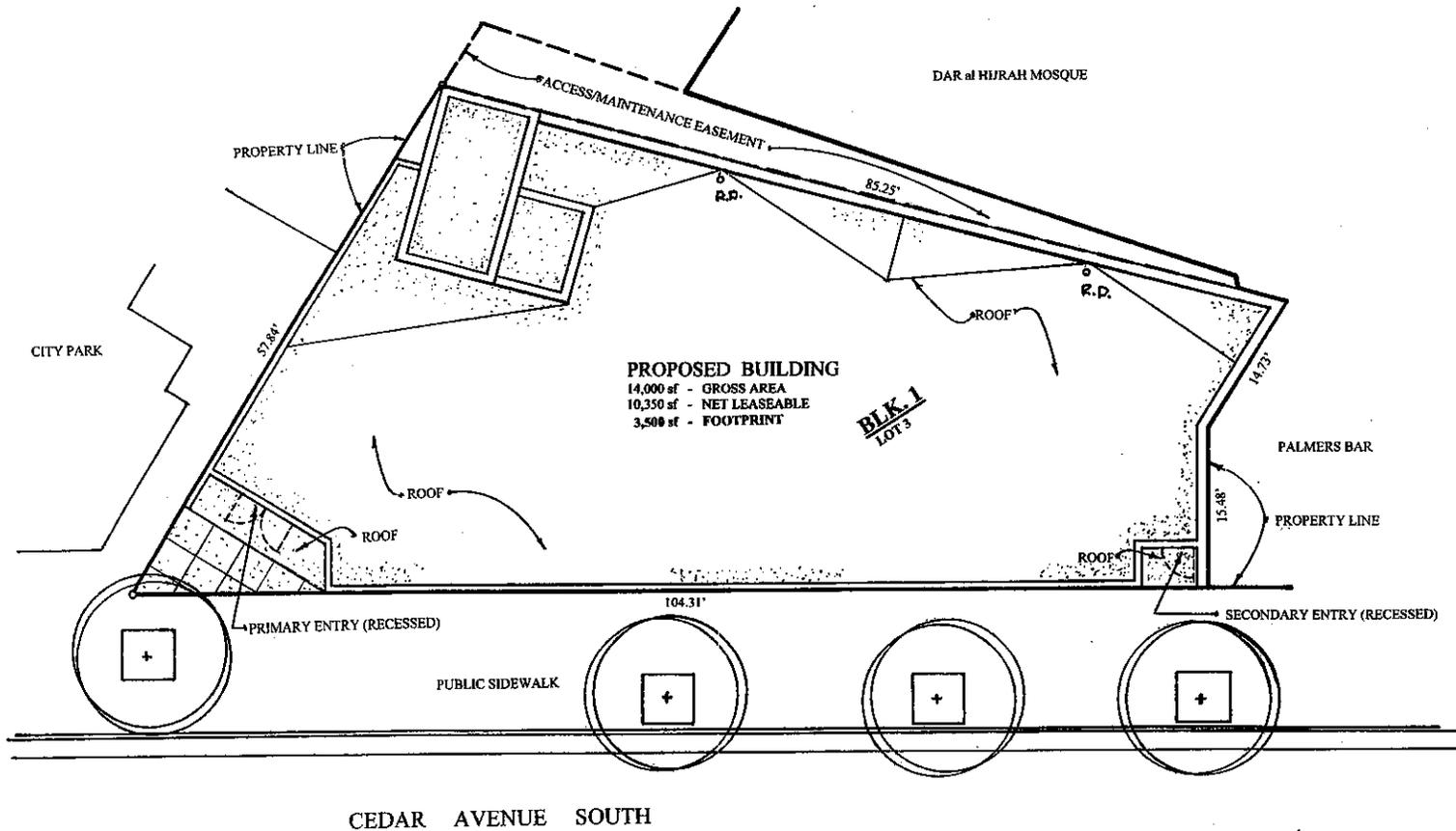


**GENERAL NOTES:**

1. See Site Plan (Sheet A1.1); Landscape Plan (Sheet LS1.1); Site Survey (Sheet C1.2); Aerial Photo (Sheet C1.1); Grading/Drainage Plan (Sheet C2.1) and Utility Plan (Sheet C3.1) for additional information not given on this plan.
2. All Contractors bidding this project shall visit the site to review conditions which may effect the work of their trade.
3. Water Service shall be provided using a new 6" Class 52 ductile iron pipe. (4" for future fire sprinkler, 2" domestic water). Install per City of Minneapolis requirements.
4. 3 existing Lead Pipe Water Services shall be disconnected and capped per City of Minneapolis requirements.
5. It is proposed to have the existing 4" clay tile Sanitary Sewer reused. (the existing line shall be televised and lined per City of Minneapolis requirements. In the event the existing line cannot be reused, install new Sanitary Sewer Service as required.
6. Storm Sewer Service is not available at the project location. Roof Storm Water runoff would be internally collected by roof drains and discharged w/ 6" sched. 40 PVC pipe into a drywell. Secondary surface water between the buildings would be collected and discharged into the drywell w/ a backflow preventer. Drywell overflow would be collected in a raingarden before emergency overflow would be released onto Cedar Avenue South. The roof, drywell and raingarden would be designed to hold a 100 yr. storm event (approximately 5,500 gals).
7. Electrical Service will be located in the Southwest corner of the building with the Meter located externally & the Service sized for the buildings connection load requirements as per the Mn. State Electrical Code and Excal Energy requirements.
8. Gas Service will be located in the Southwest corner of the building with the Meter Located externally & the Service sized for the buildings load requirements as per Centertpoint Energy requirements.
9. Contact Gopher State for U.G. utility locates prior to starting Construction.
10. Field verify locations, elevations, size and connection requirements for all utility lines which are shown to be existing.

**UTILITY PLAN**

1/8" = 1'-0"



**SITE DEVELOPMENT PLAN**

1/8" = 1'-0"



4,071 sf - SITE AREA (w/ EASEMENT - 91% IMPERVIOUS)  
 3,700 sf - SITE AREA (w/o EASEMENT - 97% IMPERVIOUS)

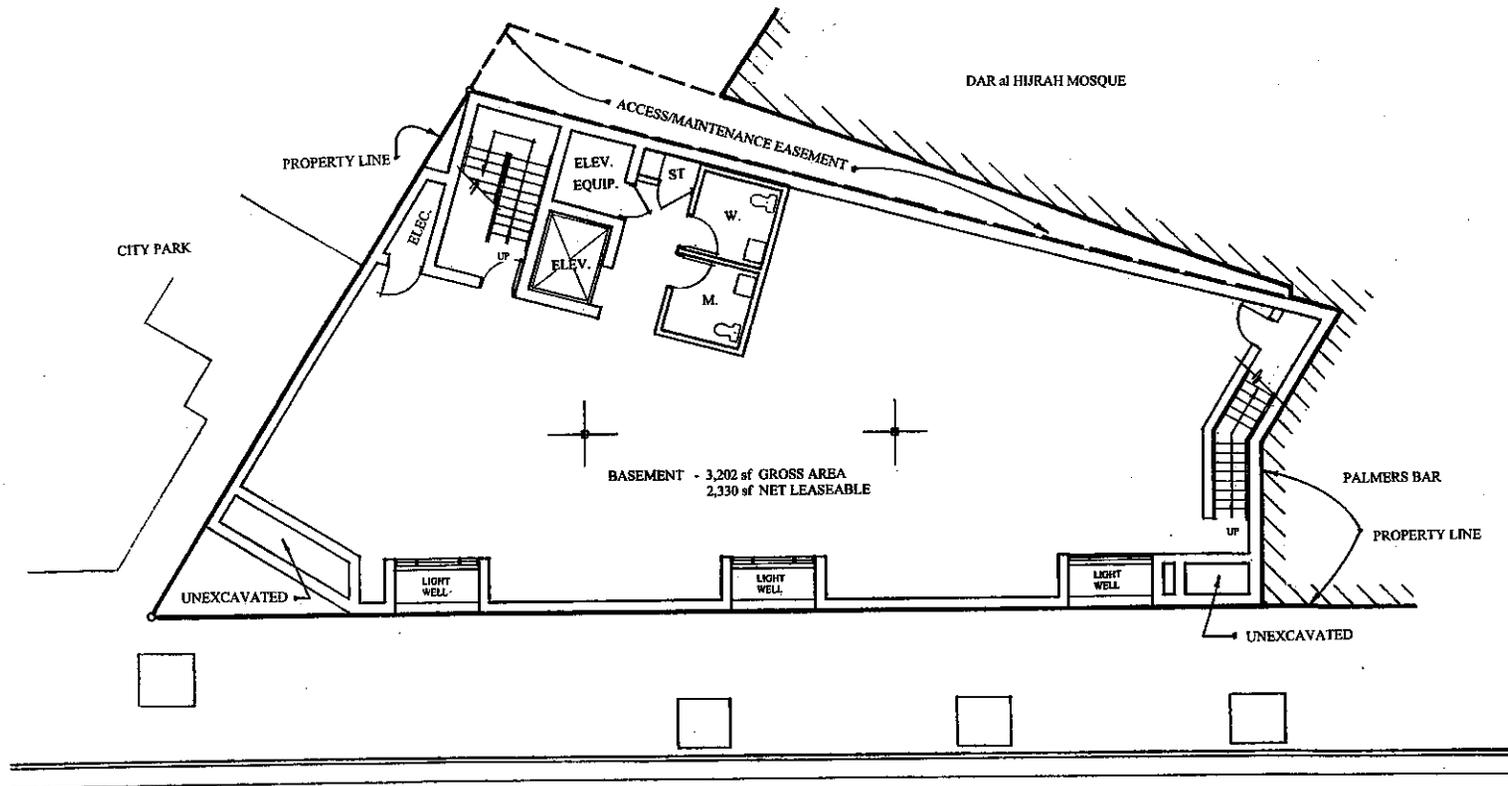
MERCANTILE/OFFICE COMPLEX  
 GARAD K. NOR - WADANI PROPERTIES, LLC  
 510 - 514 CEDAR AVENUE SOUTH - MINNEAPOLIS, MN.

Project No.  
 01404  
 Date:  
 9/17/15  
 Revisions:

Sheet No.  
 A1.1

Prepared by: [Name]  
 Checked by: [Name]  
 Date: 9/17/15  
 Scale: 1/8" = 1'-0"

**Jamb architects**  
 P.O. Box 310 Forest Lake, Minnesota 55025  
 (612) 670-0358



**BASEMENT FLOOR PLAN**  
1/8" = 1'-0"

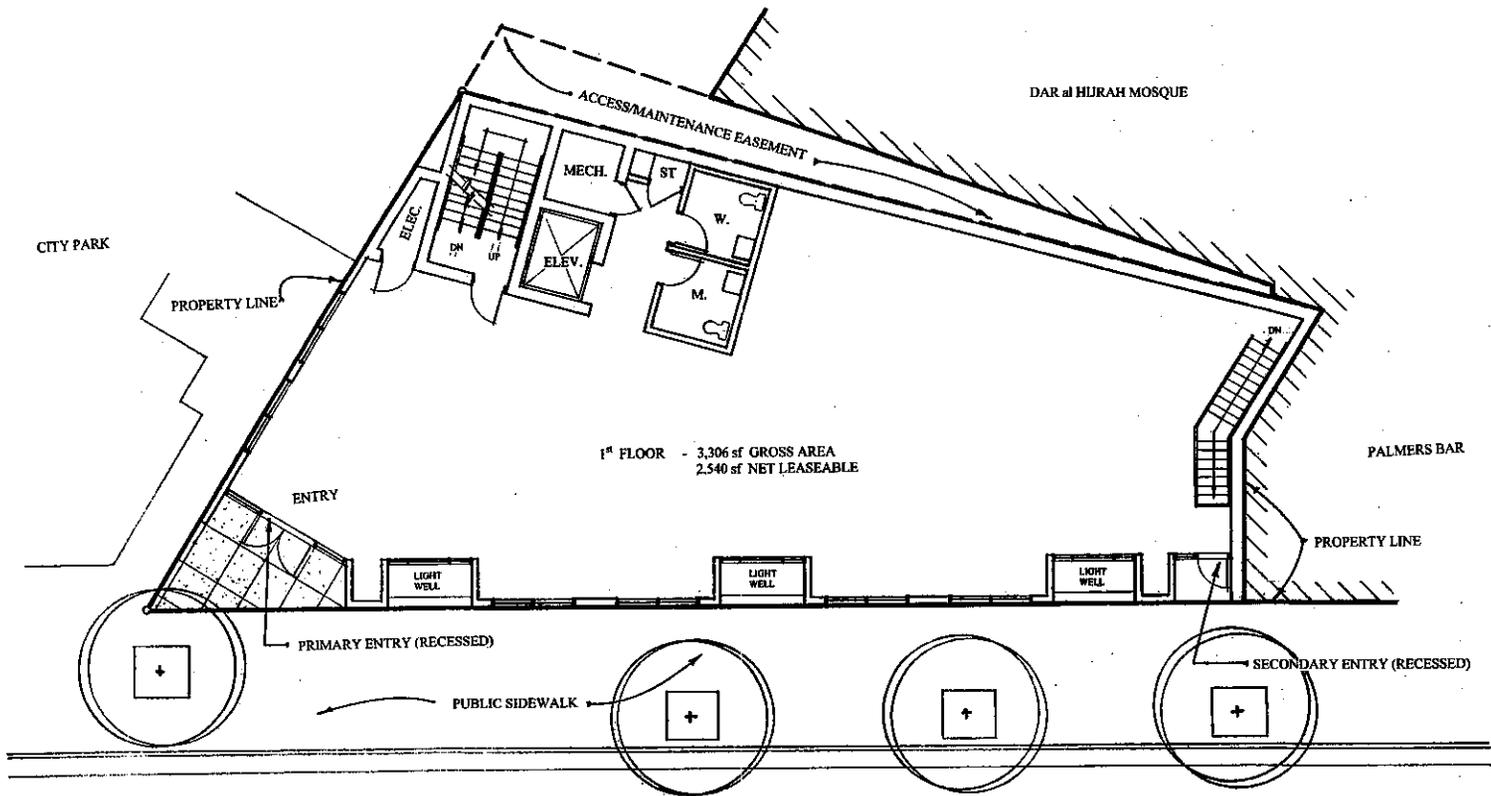


DESIGNED BY  
JAMES W. ANDERSON  
ARCHITECTS  
1100 W. WASHINGTON  
MINNEAPOLIS, MN 55401  
TEL: 612.670.0858  
WWW.JAMBARCHITECTS.COM

**MERCANTILE/OFFICE COMPLEX**  
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Project No.  
01404  
Date:  
9/17/15  
Revisions:

Sheet No.  
**A2.1**



**FIRST FLOOR PLAN**  
1/8" = 1'-0"



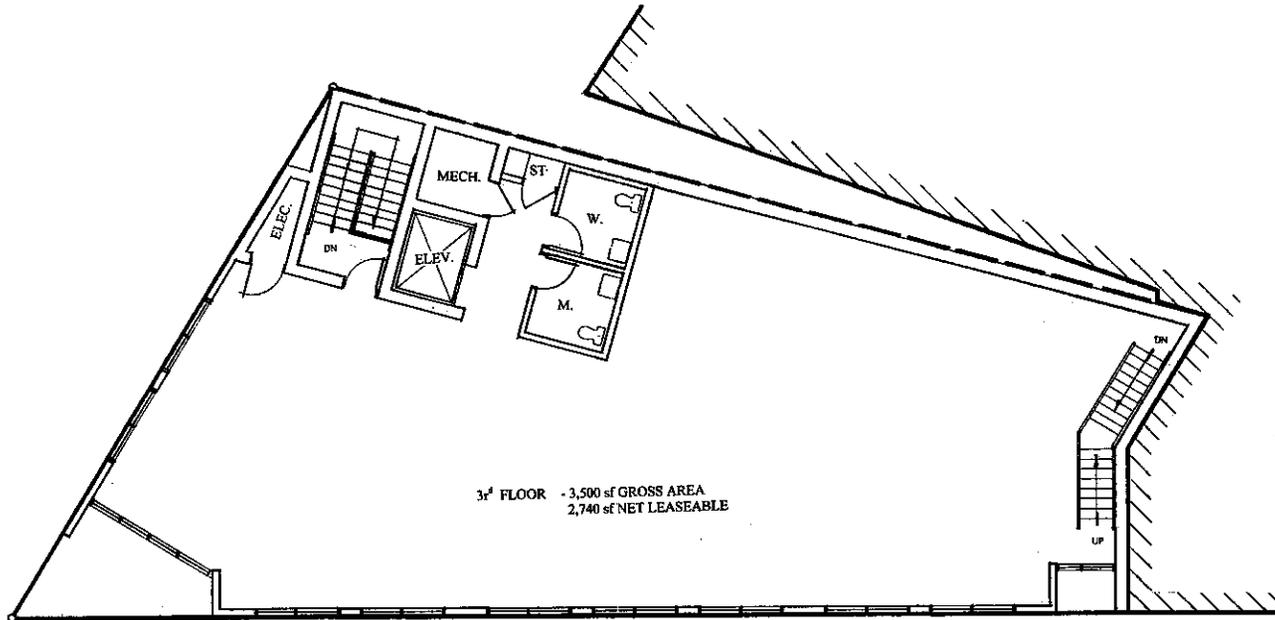
Professional Engineer  
No. 1000000000  
State of Minnesota  
J. Jomb  
Architect

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Project No.  
01404  
Date:  
3/17/15  
Revisions:

Sheet No.  
**A3.1**





3<sup>rd</sup> FLOOR - 3,500 sf GROSS AREA  
2,740 sf NET LEASEABLE

**THIRD FLOOR PLAN**  
1/8" = 1'-0"



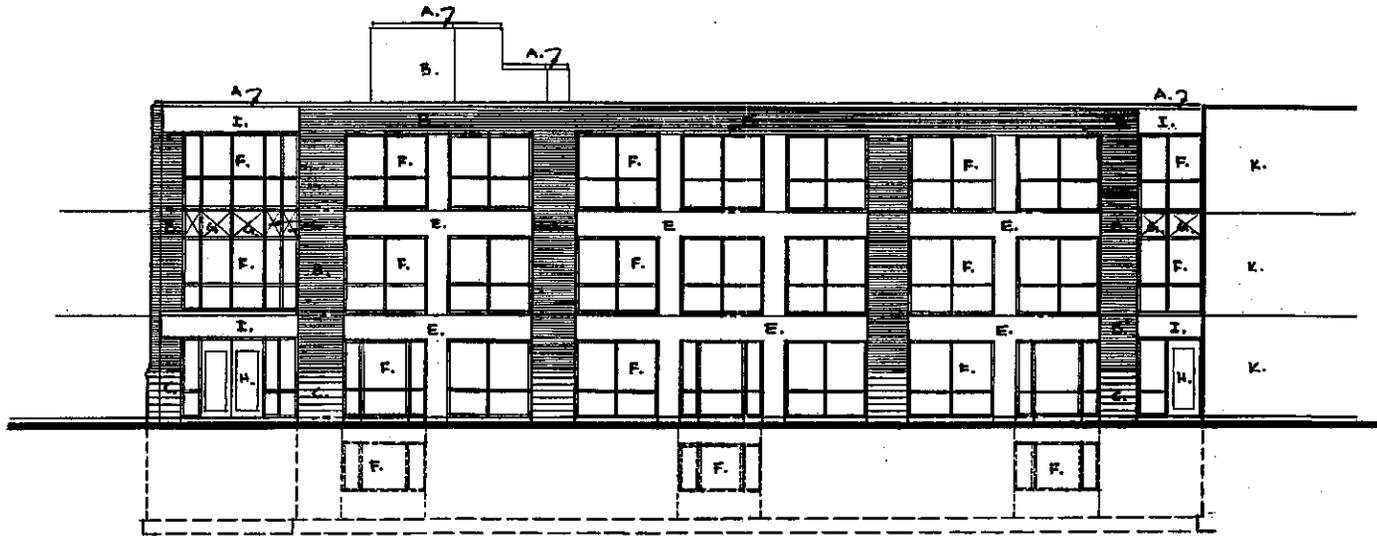
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510 - 314 CEDAR AVENUE SOUTH - MINNEAPOLIS, MN.

Project No.  
01404  
Date:  
9/17/15  
Revisions:

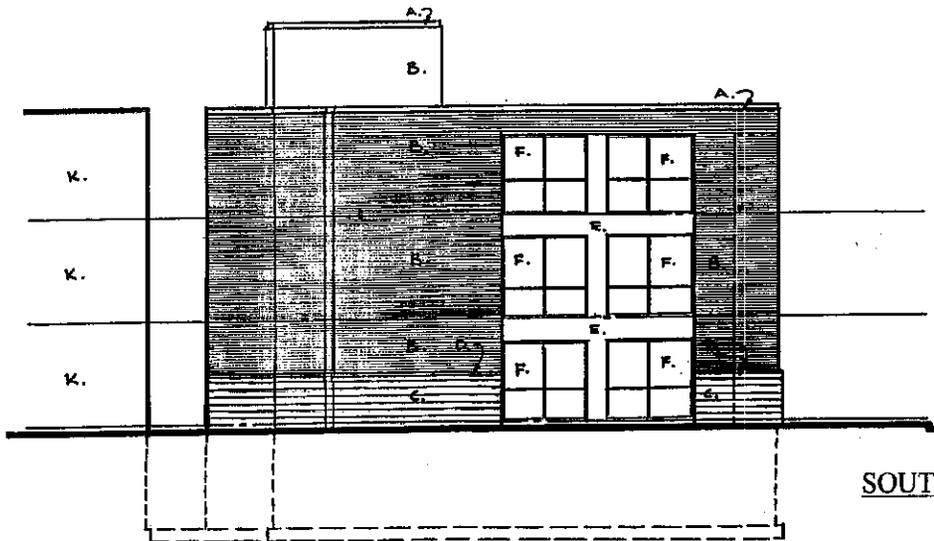
Sheet No.  
**A5.1**

THIS DOCUMENT IS THE PROPERTY OF JAMB ARCHITECTS AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OR DISTRIBUTION OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF JAMB ARCHITECTS IS STRICTLY PROHIBITED.  
DATE: 9/17/15 BY: WADANI

JAMB ARCHITECTS  
P.O. Box 310 Forest Lake, Minnesota 55025  
(612) 670-0358



**EAST ELEVATION**  
1/8" = 1'-0"



**SOUTH ELEVATION**  
1/8" = 1'-0"

**EXTERIOR FINISHES**

- A. Pre-finished Metal Fascia, Soffit & Trim (w/ metal drip edge)
- B. Unit Masonry (Face brick)
- C. Unit Masonry (Pre-colored stone face block)
- D. 4" Precast Concrete/Stone Sill
- E. 1" Cement Plaster (Pre-colored)
- F. Clear Anodized Aluminum Windows w/ 1" Insulated Clear Glass
- G. 1" Insulated Spandrel Panel (to match glass)
- H. Clear Anodized Aluminum Entry
- I. Pre-finished Metal Facing Panel (to match anodized aluminum)
- J. Hollow Metal Door & Frame (painted)
- K. Existing Building

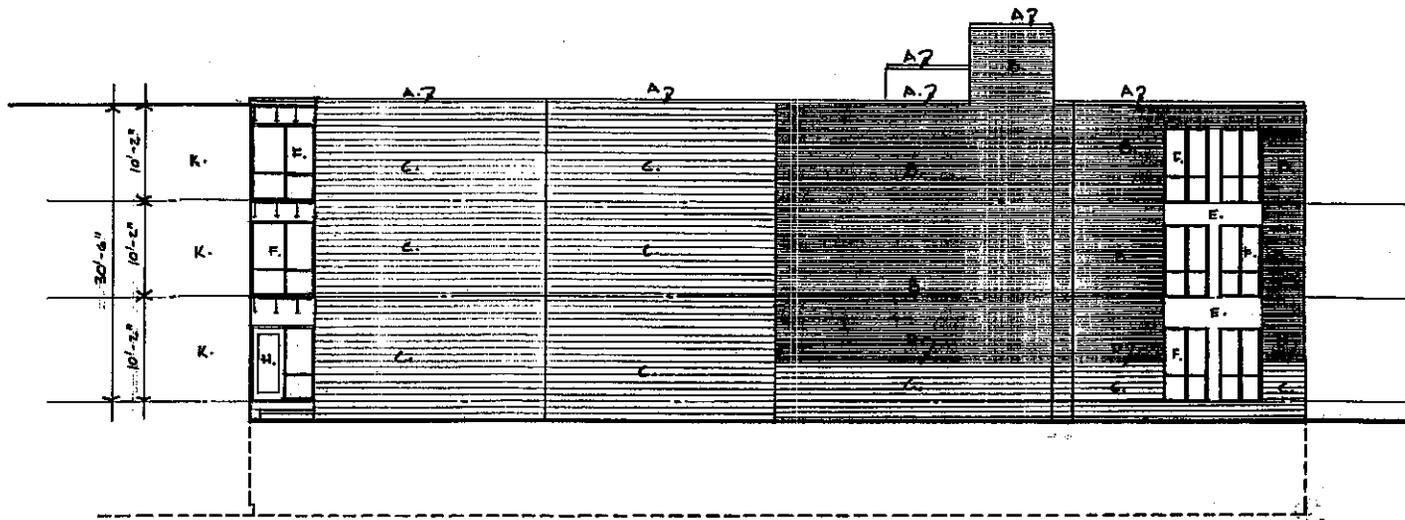
• Note: verify all materials, textures and color selections with the Owner

These drawings were prepared by Jemb Architects, Inc. under the supervision of the Professional Engineer, James W. Anderson, P.E. License No. 112227. The Engineer is not responsible for the design of the building or any other structure shown on these drawings.

**MERCANTILE/OFFICE COMPLEX**  
GARAD K. NOR - WADANI PROPERTIES, LLC  
510 - 514 CEDAR AVENUE SOUTH - MINNEAPOLIS, MN.

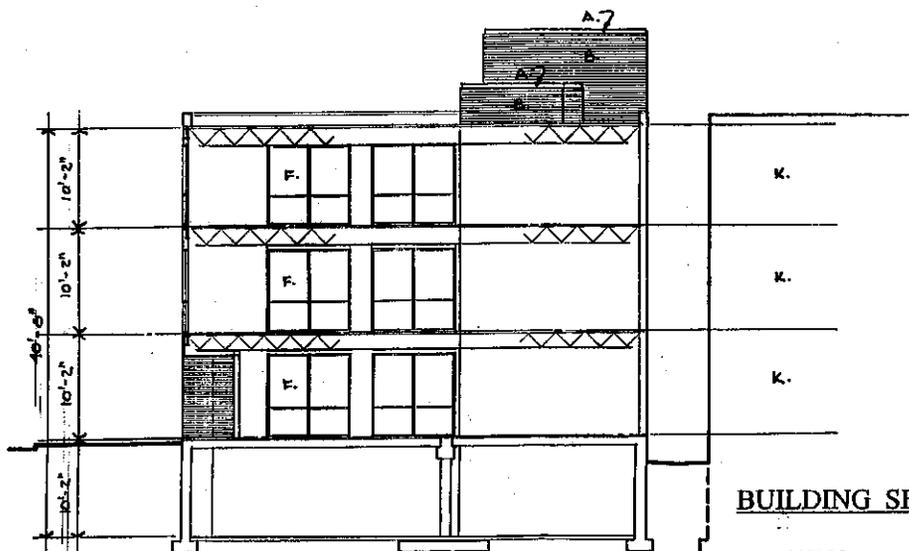
Project No. 01404  
Date 9/17/15  
Revisions

Sheet No. A6.1



**WEST ELEVATION**

1/8" = 1'-0"



**BUILDING SECTION "A"**

1/8" = 1'-0"

**EXTERIOR FINISHES**

- A. Pre-finished Metal Fascia, Soffit & Trim (w/ metal drip edge)
- B. Unit Masonry (Face brick)
- C. Unit Masonry (Pre-colored stone face block)
- D. 4" Precast Concrete/Stone Sill
- E. 1" Cement Plaster (Pre-colored)
- F. Clear Anodized Aluminum Windows w/ 1" Insulated Clear Glass
- G. 1" Insulated Spandrel Panel (to match glass)
- H. Clear Anodized Aluminum Entry
- I. Pre-finished Metal Facing Panel (to match anodized aluminum)
- J. Hollow Metal Door & Frame (painted)
- K. Existing Building

• Note: verify all materials, textures and color selections with the Owner

**Jomb architects**  
 P.O. Box 910 Forest Lake, Minnesota 55424  
 612.757.0200

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Project No. 01-001  
 Date: 9/17/15  
 Revision:

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Sheet No. **A7.1**

MERCANTILE/OFFICE COMPLEX  
 GARAD K. NOR - WADANI PROPERTIES, LLC  
 510 - 514 CEDAR AVENUE SOUTH - MINNEAPOLIS, MN  
 Jomb Architects





















Garad Nor &lt;garadnor@tawakal.net&gt;

**new building support letter from Abdi warsame looking for**

1 message

Garad Nor &lt;garadnor@tawakal.net&gt;

Sat, Oct 17, 2015 at 1:26 PM

To: abdi.salah@minneapolismn.gov, marcela.sotela@minneapolismn.gov

Thursday, 15 October 2015

Dear :City of Minneapolis

Att: City Council Abdi Warsame

I am very pleased to submit a new building project at 510 Cedar Avenue in Cedar Riverside Community to replace the existing 3 story building which perished in a fire on January 01, 2014

Wadani Property LLC owns this land and has completed all planning to rebuild this property and seeking an approval from City of Minneapolis to start the project.

The owner of Wadani Property, Mr. Garad Nor, has been working in the community in last twenty years and is an immigrant from East Africa. Mr. Nor is one of the few immigrant property owners in Cedar-Riverside Areas where a majority of the tenants and consumers are from East-African immigrants. Mr. Nor is one of the few business pioneers in the community and has helped to created many jobs in the community.

Wadani Property is here to inform you that it has no problem to rebuild its land as soon as possible. The new proposed building will be a three story building with full basement and shall have a 3500 SF footprint to replace the burned building.

Unlike its predecessor the new facility will not contain residential dwelling units, but rather will consist of small business, office and retail spaces which will reflect the local market and culture surrounding the site. The new project is designed in such a manner so as not to impose on the adjacent uses and properties associated with Palmers Bar or the mosque (al hijra ).

The area is predominately pedestrian in nature and the small 3800 SF site is overlaid by both a pedestrian overlay district and the university area overlay district. However we will require a variance for parking.

The original facility was constructed in 1887 and has operated in a completely pedestrian fashion up until the fire. The two main public facades of the building consist of three story glass and aluminium window walls which are framed by brick panels in rich fall shades of browns and tans. Each floor of the new building will be served by an elevator and stairs. Each floor will have both men's and women's restrooms.

The main floor at street level sports a main corner entry from the street at both the N. & S. end of the building. Current interest in tenant space consists of restaurant/coffee shop, convenience/grocery store as well as small law office.

Thank you for consideration

Garad k nor

2200 E. Franklin Avenue - #204

Minneapolis, Mn 55404

Garad K Nor  
President/CEO  
garadnor@tawakal.net

T: +612 332 0666 F: +612 339 0751 M: +971 56 6931 566  
2200E Franklin Avenu, Minneapolis, Mn 54404, USA

[www.tawakalusa.com](http://www.tawakalusa.com)



Garad Nor &lt;garadnor@tawakal.net&gt;

---

**hi Jamie update you**

1 message

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**Garad Nor** <garadnor@tawakal.net>  
To: West Bank <info@thewestbank.org>

Thu, Oct 15, 2015 at 4:23 PM

Jamie Schumacher  
*Executive Director*

West Bank Business Association  
1420 Washington Avenue South #2  
Minneapolis, MN 55454  
612-326-9652

Wednesday October 14, 2015

The purpose of this letter is to inform you that we have recently filed a new facility is being proposed at 510 Cedar Avenue in Cedar Riverside Community to replace the existing 3 story building which perished in a fire on January 01, 2014

The new proposed project will be a three story building with full basement and shall have a 3500 SF footprint to replace the burned building.

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The main floor at street level sports a main corner entry from the street at both the N. & S.END. Current interest in tenant space consists of restaurant/coffee shop, convenience/grocery store as well as small law office.

I want your support

You can contact me anytime at 612-636-1203

Thanks

Garad Nor

Wadani Properties LLC

2200 E Franklin Ave suite 204

MPLS, MN, 55404

**Garad K Nor**

President/CEO

garadnor@tawakal.net

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2200E Franklin Avenue, Minneapolis, Mn 54404, USA

[www.tawakalusa.com](http://www.tawakalusa.com)



Garad Nor &lt;garadnor@tawakal.net&gt;

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**update from Garad k nor**

1 message

**Garad Nor** <garadnor@tawakal.net>

Thu, Oct 15, 2015 at 4:38 PM

To: mohamed@westbankcc.org

Mohamed H. Mohamed, Executive  
Director West Bank Community  
Coalition 420 15th Avenue S. | Minneapolis, MN  
55454 Direct: (612) 260-4741 |  
Office: (612) 339-2882

Wednesday October 14, 2015

The purpose of this letter is to inform you that we have recently filed a new facility is being proposed at 510 Cedar Avenue in Cedar Riverside Community to replace the existing 3 story building which perished in a fire on January 01, 2014

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I want your support

You can contact me anytime at 612-636-1203

Thanks

Garad Nor

Wadani Properties LLC

2200 E Franklin Ave suite 204

MPLS, MN, 55404

10/15/2015

Tawakal Express Mail - update from Garad k nor

**Garad K Nor**

President/CEO

garadnor@tawakal.net

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2200E Franklin Avenu, Minneapolis, Mn 54404, USA

[www.tawakalusa.com](http://www.tawakalusa.com)



**West Bank Business Association**

1420 Washington Ave South #2

Minneapolis MN 55454

612.326.9652

thewestbank.org - members: wbba.thewestbank.org

---

Hilary Dvorak  
Principal City Planner  
City of Minneapolis  
CPED – Land Use, Design and Preservation  
250 South 4th Street Room 300  
Minneapolis, MN 55415

March 26, 2015

Dear Ms. Dvorak,

This letter is written to demonstrate the West Bank Business Association's support of Garad Nor's proposal for 510 Cedar.

The West Bank Businesses Association's role in the neighborhood is to nurture a thriving West Bank district. We do so by supporting our vibrant businesses, working as a community connector, catalyzing opportunities and creating positive events and activities on the West Bank. Our vision was crafted with input from over 100 businesses and stakeholders of the neighborhood, and the proposed building aligns with this vision in several ways:

- Supporting local, independent businesses and retailers,
- Prioritizing financial health, both of our organization and the businesses we serve
- Supporting holistic, community-led development reflective and aligned with our neighborhood's wants and needs

We were excited to hear of his plans for the reconstruction of this building, and our board discussed Mr. Nor's proposal at our monthly board meeting. We were happy to hear that he plans on commercial use of the building, as the Cedar Riverside Small Area plan notes Cedar Avenue as a Commercial Corridor and calls for primarily this type of operation. We understand design has not yet been completed but in general our board supports design that complies with the suggestions set forth in the neighborhood's Small Area Plan. (*see below.*) The board voted in approval of this letter of support for Mr. Nor and are excited to see this project move forward.

The Association is able to help support Mr. Nor's efforts beyond this letter through the services we provide to area businesses. We provide pro bono technical assistance to small businesses, and also administer the city's Facade Grant program for the neighborhood. Businesses that lease from Mr. Nor will be able to take advantage of these services to help them with marketing, signage, and more. We also have translation assistance available as needed. Our hope is that successful tenants will help underline a successful property for Mr. Nor and we're looking forward to working alongside Mr. Nor and his future tenants as we continue to cultivate a strong and healthy business community on the West Bank.

If any further information is needed please don't hesitate to contact us.

Sincerely,



*Executive Director*

(Excerpts from the Cedar Riverside Small Area Plan)

The plan supports reclassifying Cedar Avenue and Riverside Avenue as Commercial Corridors. Areas with a Commercial Corridor designation are characterized by high traffic volumes, high-density housing, a mix of uses with commercial dominating, and traditional urban form. This change is reflective of Cedar Avenue's existing character of primarily commercial uses, which is planned to continue into the future. As a designated Commercial Corridor, the plan highlights Riverside Avenue's opportunities for better pedestrian orientation, development potential of institutional properties, tapping the institutional market of thousands of employees, and potential for commercial exposure with significant traffic volumes.

**Good design must be used to ensure that residential, commercial, and institutional developments are functional, attractive, and inviting.**

**Commercial and Mixed Use: Successful commercial and mixed use buildings and areas attract pedestrians by bringing their storefronts to the sidewalk's edge, orienting building design to the street and respecting traditional urban form by keeping building heights to a scale compatible with the surrounding neighborhood.** These areas should be designed in order to be accessible from a balanced variety of transportation modes, including pedestrian, automobiles, transit and bicycles.

**Institutional:** Institutional buildings along public rights-of-way should feel welcoming for all people entering the campus externally. A strong street presence should be created with building design oriented to the street, front entrances in close proximity to the sidewalk, and visibility in and out of the building at the pedestrian level with an abundance of windows.