



LAND USE APPLICATION SUMMARY

Property Location: 2018, 2022, and 2024 Aldrich Avenue N; 715 21st Avenue N
Project Name: Sanctuary Covenant Church
Prepared By: Mei-Ling Smith, City Planner, (612) 673-5342
Applicant: Nicole Thompson and Tom Peterson, Station I9 Architects, Inc.
Project Contact: Nicole Thompson and Tom Peterson, Station I9 Architects, Inc.
Request: To use an existing building as a place of assembly and to construct a 15,600 square foot addition.

Required Applications:

Variance	To reduce the minimum loading requirement from one to zero.
Site Plan Review	For a 15,600 square foot addition to an existing building.

SITE DATA

Existing Zoning	OR2 High Density Office Residence District
Lot Area	21,440 square feet / 0.49 acres
Ward(s)	5
Neighborhood(s)	Hawthorne Neighborhood Council
Designated Future Land Use	Urban Neighborhood
Land Use Features	Major Retail Center (West Broadway & Lyndale)
Small Area Plan(s)	<u>West Broadway Alive (2008)</u>

Date Application Deemed Complete	December 31, 2015	Date Extension Letter Sent	Not applicable
End of 60-Day Decision Period	February 29, 2016	End of 120-Day Decision Period	Not applicable

BACKGROUND

SITE DESCRIPTION AND PRESENT USE. The subject site is 21,440 square feet in size and encompasses four parcels at the southeast corner of the intersection of Aldrich Avenue N and 21st Avenue N, which is one block to the north of West Broadway. There is an existing, two-story vacant building at 2018-2022 Aldrich Avenue N that was constructed in 2002 as a contractor's office and warehouse space. There are also two residential properties on the northern portion of the subject site, which would be demolished as part of this project. The applicant has obtained historic review letters for both properties, and it has been determined that neither property is a historic resource.

SURROUNDING PROPERTIES AND NEIGHBORHOOD. The site is located in the West Broadway & Lyndale Major Retail Center, a half-block to the north of the West Broadway Commercial Corridor, a block to the west of Lyndale Avenue N, a Community Corridor, and three blocks to the west of Interstate 94. The property directly to the east is zoned OR2 High Density Office Residence District, like the subject site, and contains a commercial building and surface parking lot. The property to the south is zoned C3S Community Shopping Center District and is currently vacant. The properties across 21st Avenue N are zoned R2B Two-Family District, while the properties across Aldrich Avenue N are zoned OR2. The general vicinity contains low and medium residential densities and a wide range of commercial uses, including a liquor store, a gas station, a grocery store, a bank, retail, fast food restaurants, as well as some industrial uses. There are also a number of surface parking lots along the West Broadway corridor in this location.

PROJECT DESCRIPTION. The applicant is proposing to use the existing building as a place of assembly and construct a 15,600 square foot, two-story addition to bring the building footprint closer to the north, east, and west property lines. The concrete wall between the building and the south property line would be removed, along with the concrete block columns and decorative fence along Aldrich Avenue N. The proposed exterior materials for the addition are precast concrete, corrugated metal panel, metal panel, and glass, while the existing building's rockface CMU block would be visible on the south elevation. The applicant is proposing building entrances facing both Aldrich Avenue N and 21st Avenue N. Due to the slight grade change across the north portion of site, the applicant is proposing a set of stairs leading to the 21st Avenue N elevation.

No parking is proposed for the site. The minimum vehicle parking requirement for the church is 50, and there is a loading requirement of one small loading space. The applicant has indicated that they plan to obtain off-street parking through shared parking agreements with other businesses in the area. The applicant also owns the adjacent property to the south, which is vacant, and is requesting to use that site as a surface parking lot serving the church on an interim basis. The interim use permit would be reviewed separately, at a later date, by the City Council.

While the applicant is proposing to temporarily provide a small loading space in the proposed parking lot to the south through an interim use permit, the proposed project requires a variance of the minimum loading requirement, as all required loading must be provided on the same zoning lot as the proposed use. The 15,600 square foot addition to the existing building requires site plan review.

PUBLIC COMMENTS. Staff has not received any public comments regarding this project as of the printing of this report. Any correspondence received prior to the public meeting will be forwarded on to the Planning Commission for consideration.

ANALYSIS

VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance to reduce the minimum loading requirement from one to zero spaces, based on the following findings:

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

The applicant is requesting a variance to reduce the number of required loading spaces from one small (10 feet by 25 feet) on-site loading space to zero. The subject site has two street frontages with minimum building setbacks of 15 (Aldrich Avenue N) and 10 (21st Avenue N), respectively, as which limits the areas that can reasonably be developed or contain parking. The request to construct the building addition up to the required setbacks on all four sides complies with the City's goals and design standards related to pedestrian-oriented development through minimizing curb cuts, establishing buildings with active street frontages, and maximizing the use of existing off-street parking and loading facilities. In addition, the proposed project minimizes the use of impervious surfaces, as 20 percent of the site would be landscaped and a minimum 15 percent is required. Practical difficulties exist in complying with both the ordinance requirement to provide a loading space and other the City goals and ordinances. Due to the limitations in the orientation of the subject site and the location of the existing building, practical difficulties exist in complying with the ordinance.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The loading requirement is based on the size of the use (20,565 square feet of gross floor area) and the loading requirement for that use. The intent of the ordinance is to minimize congestion in the public streets for a place of assembly greater than 20,000 square feet in area. However, the auditorium in the proposed church would only be approximately 7,500 square feet in size, and less than half of the second floor is usable floor area. The applicant has indicated that there would not be regular truck deliveries to the site, as their needs are limited to flowers for services and occasionally food and beverage deliveries. The church's loading needs are very limited and also less intense than most other churches of equivalent size. The applicant is proposing to use the property in a reasonable manner that would be in keeping with the spirit and intent of the ordinance and comprehensive plan.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

The variance to reduce the required number of loading spaces from one to zero will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. The church would be able to support its limited and intermittent deliveries without having a detrimental effect on the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.

SITE PLAN REVIEW

The Department of Community Planning and Economic Development has analyzed the application based on the required findings and applicable standards in the site plan review chapter:

I. Conformance to all applicable standards of Chapter 530, Site Plan Review.

BUILDING PLACEMENT AND DESIGN

Building placement – Meets requirements

- The first floor of the addition would be built to the district setback requirements and would be located 15 feet from the front lot line along Aldrich Avenue N and 10 feet from the corner lot line along 21st Avenue N.
- The placement of the building reinforces the street wall, maximizes natural surveillance and visibility, and facilitates pedestrian access and circulation.
- The area between the building and lot lines includes amenities, including landscaping, walkways, and stairways. Fourteen bicycle parking spaces are located between the building wall and south property line.
- There is no accessory parking located on-site. The applicant has indicated that all parking would be provided off-site per sections 541.170 and 541.250 of the zoning code.

Principal entrances – Meets requirements

- The building is oriented so that there is one principal entrance facing the front property line adjacent to Aldrich Avenue N, and another principal entrance facing the corner side lot line adjacent to 21st Avenue N.
- Both principal entrances are clearly defined and emphasized through the use of canopies and signage.

Visual interest – Meets requirements

- The building walls provide architectural detail and contain windows in order to create visual interest.
- The proposed building emphasizes architectural elements – including recesses, projections, windows, and entries – to divide the building into smaller identifiable sections.
- There are no blank, uninterrupted walls exceeding 25 feet in length.

Exterior materials – Meets requirements

- The applicant is proposing precast concrete, corrugated metal panel, metal panel, and glass as the primary exterior materials of the addition. The existing building's rockface CMU block would be visible on the south elevation. Each elevation would comply with the City's durability standards for exterior materials (see Table 2). Please note that exterior material changes at a later date may require review by the Planning Commission and an amendment to the site plan review.
- In addition, the application is consistent with the City's policy of allowing no more than three exterior materials per elevation, excluding windows, doors, and foundation materials.
- Plain face concrete block is not proposed along any public streets, sidewalks, or adjacent to a residence or office residence district.
- The exterior materials and appearance of the rear and side walls of the building are similar to and compatible with the front of the building.

Table 1. Percentage of Exterior Materials per Elevation

Material	Allowed Max	North	South	East	West
Glass	100%	22%	36%	26%	31%
Concrete	100%	32%	13%	9%	34%
Metal Panel	75%	46%	19%	64%	34%
Rockface CMU	30%	0%	28%	0%	0%

Windows – Requires alternative compliance

- For nonresidential uses, the zoning code requires that no less than 30 percent of the walls on the first floor are windows with clear or lightly tinted glass with a visible light transmittance ratio of six-tenths (0.6) or higher. No less than ten percent of the walls on each floor above the first that face a public street, public sidewalk, public pathway, or on-site parking lot, shall be windows. The project is in compliance with the minimum window requirement (see Table 3).
- All windows are vertical in proportion. However, they are not evenly distributed along the building walls on the west elevation facing Aldrich Avenue N, where the windows are concentrated on the south portion of the building wall. This item requires alternative compliance.

Table 2. Percentage of Windows per Applicable Elevation

	Code Requirement		Proposed	
West (Aldrich Ave N)				
1st floor	30% minimum	257 sq. ft.	30%	257 sq. ft.
2nd floor	10% minimum	183 sq. ft.	28%	517 sq. ft.
North (Aldrich Ave N)				
1st floor	30% minimum	338 sq. ft.	35%	394 sq. ft.
2nd floor	10% minimum	234 sq. ft.	15%	345 sq. ft.

Ground floor active functions – Meets requirements

- The ground floor facing Aldrich Avenue N contains 81 percent (87 feet) active functions, and the ground floor facing 21st Avenue N contains 86 percent (121 feet) active functions. At least 70 percent of the first floor building frontages facing the public streets, sidewalks, or walkways contain active functions.

Roof line – Meets requirements

- The principal roof line of the addition will be flat, which is similar to and compatible with that of the existing building and other surrounding non-residential buildings.

Parking garages – Not applicable

- There are no parking garages proposed as part of this project.

ACCESS AND CIRCULATION

Pedestrian access – Meets requirements

- There are clear and well-lit walkways at least four feet in width connecting building entrances to the adjacent public sidewalk.

Transit access – Not applicable

- No transit shelters are proposed as part of this development.

Vehicular access – Meets requirements

- Vehicular access and circulation has been designed to minimize conflicts with pedestrian traffic and with surrounding residential uses.
- There are currently four curb cuts serving the subject site, and the applicant is proposing to remove all four. Vehicles will not be able to access the site.
- There are no public alleys adjacent to the site.
- As proposed, there are no loading spaces on the site, so service vehicle access is not expected to conflict with pedestrian traffic.
- The proposed site plan minimizes the use of impervious surfaces. The maximum impervious surface requirement in the OR2 zoning district is 85 percent, and the applicant is proposing 80 percent (17,066 square feet). According to the materials submitted by the applicant, 70 percent of the existing site is impervious.

General landscaping and screening – Requires alternative compliance

- Staff finds that the overall composition and location of landscaped areas do not complement the scale of development and its surroundings. The applicant is proposing 102 shrubs and zero trees on the site. The majority of the shrubs are located between the south building wall and the south property line, which faces a vacant commercial lot, while there is a minimal mix of shrubs and perennials on the other sides of the property which face the public street and sidewalk to the west and north, and the OR2 district to the east. Alternative compliance is being requested.
- At least 20 percent of the site not occupied by the building is landscaped. The applicant is proposing approximately 4,374 square feet of landscaping on site, or approximately 68 percent of the site not occupied by buildings (see Table 4).
- The project does meet the requirement that at least one canopy tree per 500 square feet of the required landscaped area be provided, including in all required landscaped yards. The tree requirement for the site is 3 and the applicant is proposing zero. Alternative compliance is being requested.
- The applicant is proposing at least one shrub per 100 square feet of the required landscaped area, including all required landscaped yards. The shrub requirement for the site is 13 and the applicant is proposing 102 shrubs.
- The remainder of the required landscaped area is covered with turf grass, native grasses, perennial flowering plants, vines, shrubs and other trees.

Table 3. Landscaping and Screening Requirements

	Code Requirement	Proposed
Lot Area	--	21,440 sq. ft.
Building Footprint	--	14,995 sq. ft.
Remaining Lot Area	--	6,445 sq. ft.
Landscaping Required	1,289 sq. ft.	4,374 sq. ft.
Canopy Trees (1:500 sq. ft.)	3 trees	0 trees
Shrubs (1:100 sq. ft.)	13 shrubs	102 shrubs

Parking and loading landscaping and screening – Not applicable

- There is no surface parking proposed for the site, so the site is not subject to the screening and landscaping requirements for parking areas per section 530.170.

ADDITIONAL STANDARDS

Concrete curbs and wheel stops – *Not applicable*

- There are no surface parking spaces proposed on the site.

Site context – *Meets requirements*

- There are no important elements of the city near the site that will be obstructed by the proposed building.
- This building should have minimal shadowing effects on public spaces and adjacent properties.
- This building has been designed to minimize the generation of wind currents at ground level.

Crime prevention through environmental design – *Meets requirements*

- The site plan employs best practices to increase natural surveillance and visibility, to control and guide movement on the site, and to distinguish between public and non-public spaces.
- The proposed site, landscaping, and buildings promote natural observation and maximize the opportunities for people to observe adjacent spaces and public sidewalks.
- The project provides lighting on site, at all building entrances, and along walkways that maintains a minimum acceptable level of security while not creating glare or excessive lighting of the site.
- The landscaping, sidewalks, lighting, fencing, and building features are located to clearly guide pedestrian movement on or through the site and to control and restrict people to appropriate locations.
- The entrances, exits, signs, fencing, landscaping, and lighting are located to distinguish between public and private areas, to control access, and to guide people coming to and going from the site.

Historic preservation – *Meets requirements*

- This site is neither historically designated nor is it located in a historic district.

2. Conformance with all applicable regulations of the zoning ordinance.

The proposed use is permitted in the OR2 district.

Off-street Parking and Loading – *Requires variance(s)*

- The off-street vehicle parking requirement for a place of assembly is equal to 10 percent of the capacity of persons in the main auditorium and any rooms which can be added to the main auditorium by opening doors or windows to obtain audio or video unity. According to the materials submitted by the applicant, the capacity of the auditorium is 7,500 square feet, which would allow a maximum of 500 occupants if one person occupies 15 square feet. The minimum parking requirement is 10 percent of the maximum occupancy, or 50 (see Table 5). The maximum parking requirement is 40 percent of the maximum occupancy, which is 200. The development qualifies for a ten percent parking reduction through the bicycle incentive per section 551.220, as the applicant is proposing 14 bicycle parking spaces and would be required to provide no less than 13 to qualify for the reduction. Therefore, the adjusted minimum parking requirement after the ten percent reduction is 45 spaces. The applicant has indicated that they would provide all required vehicle parking spaces off-site within 500 feet of the site, per section 541.250 of the zoning code. Staff recommends a condition of approval that requires the applicant to demonstrate compliance

with the parking location requirements in section 541.250 of the zoning code prior to obtaining building permits.

- There is no minimum bicycle parking requirement for a place of assembly (see Table 6). However, the applicant is proposing 14 short-term bicycle parking spaces near the south west corner of the site, adjacent to the entrance facing Aldrich. Staff recommends a condition of approval that no fewer than 14 bicycle parking spaces be provided in the final plan in order to offset the lack of on-site vehicle parking.
- The off-street loading requirement for a place of assembly with 20,565 square feet of gross floor area is one small loading space (see Table 7). As described in the variance findings above, the proposed project does not include any off-street loading and requires a variance.

Table 4. Vehicle Parking Requirements Per Use (Chapter 541)

Use	Minimum	Reductions	Total with Reductions	Maximum Allowed	Proposed
Place of assembly	50	5	45	200	0

Table 5. Bicycle Parking Requirements (Chapter 541)

Use	Minimum	Proposed
Place of assembly	0	14

Table 6. Loading Requirements (Chapter 541)

Use	Loading Requirement	Minimum Requirement	Proposed
Place of assembly	Low	1	0

Building Bulk and Height – Meets requirements

- The proposed, two-story building addition would not result in a structure that exceeds the district maximum of four stories or the maximum floor area ratio of 2.5 (see Table 8).

Table 7. Building Bulk and Height Requirements

	Code Requirement	Proposed
Lot Area	--	21,440 sq. ft.
Gross Floor Area	--	20,565 sq. ft.
Floor Area Ratio (Minimum)	n/a	0.97
Floor Area Ratio (Maximum)	2.5	
Building Height (Maximum)	4 stories or 56 feet, whichever is less	2 stories / 34 ft.

Lot Requirements – Meets requirements

- The proposed use for the site is a place of assembly and does not include any dwelling units. The project is in compliance with the applicable requirements for impervious surfaces and lot coverage in the OR2 district (see Table 9).

Table 8. Lot Requirements Summary

	Code Requirement	Proposed
Dwelling Units (DU)	--	0 DUs
Density (DU/acre)	--	n/a
Lot Area (Minimum)	--	n/a
Impervious Surface Area (Maximum)	85%	80%
Lot Coverage (Maximum)	70%	70%
Lot Width (Maximum)	--	--

Yard Requirements – Meets requirements with Conditions of Approval

- The proposed development complies with all minimum building setback requirements (see Table 10)
- The walkway connecting the entrance facing Aldrich Avenue N to the public sidewalk exceeds 12 feet in width, which is the maximum width for a walkway for an institutional use in a required yard. Staff is recommending a condition of approval that requires that the final plans be amended to show a maximum width of 12 feet for any walkway in a required yard.

Table 9. Minimum Yard Requirements

Setback	Zoning District	Proposed
Front (West/Aldrich)	15 ft.	15 ft.
Corner Side (North/21st)	10 ft.	10 ft.
Interior Side (South/C3S district)	7 ft.	14.5 ft.
Rear (East/OR2 district)	7 ft.	7 ft.

Signs – Meets requirements

- All signs are subject to Chapter 543, On-Premise Signs. The applicant will be required to submit a separate sign permit application for any signage that is proposed.
- The applicant is proposing three signs: one monument sign near the entrance on Aldrich, one wall sign above the Aldrich entrance, and one wall sign above the 21st Avenue entrance (see Table 11). The applicant has indicated that all signs would be front lit. The applicant will be required to provide additional information on the illumination and materials of all proposed signage upon submitting any sign permit applications.
- The monument sign would be 32 square feet in area and 3.5 feet above grade.
- The proposed wall sign above the Aldrich entrance would be approximately 24 square feet in area and 9 feet above grade.
- The wall sign above the 21st Avenue entrance would be approximately 16 square feet in size and 13 feet above grade.

Table 10. Signage Summary

	Maximum Size Allocation	Maximum Area Per Sign	Proposed Area	Maximum Allowed Height	Proposed Height
Monument	107 sq. ft.	32 sq. ft.	32 sq. ft.	8 ft.	3.5 ft.
Attached (Aldrich)	107 sq. ft.	180 sq. ft.	24 sq. ft.	14 ft.	9 ft.
Attached (21st)	141 sq. ft.	180 sq. ft.	16 sq. ft.	16 ft.	13 ft.

Screening of Mechanical Equipment – Meets requirements

- All mechanical equipment is subject to the screening requirements of [Chapter 535](#) and district requirements. All mechanical equipment would be enclosed within the building or is screened from the public street by the building itself.

Refuse Screening – Meets requirements

- All refuse and recycling storage containers are subject to the screening requirements in [Chapter 535](#):

535.80. Screening of refuse and recycling storage containers.

Refuse, recycling storage, and compost containers shall be enclosed on all four (4) sides by screening compatible with the principal structure not less than two (2) feet higher than the refuse container or shall be otherwise effectively screened from the street, adjacent residential uses located in a residence or office residence district and adjacent permitted or conditional residential uses. Single and two-family dwellings and multiple-family dwellings of three (3) and four (4) units shall not be governed by this provision.

- The applicant is proposing to construct a six-foot tall trash enclosure along the south side of the building to comply with the screening requirements. The plans provided by the applicant suggest that the trash would be accessed from the adjacent property to the south, which the applicant is proposing to use as a parking facility under a separate interim use application. Should the interim use request be denied, the applicant would be required to demonstrate how the trash and recycling containers would be accessible from the public street.

Lighting – Meets requirements

- Existing and proposed lighting must comply with [Chapter 535](#) and Chapter 541 of the zoning code. The proposed lighting plan submitted by the applicant meets these requirements.

Fences – Meets requirements

- Fences must comply with the requirements in [Chapter 535](#). The applicant is proposing a six-foot metal enclosure for the trash along the south building wall. The proposed fence is shorter than the fence height maximum of eight feet and is not located in a required yard.

Specific Development Standards – Not applicable

3. Conformance with the applicable policies of The Minneapolis Plan for Sustainable Growth.

[The Minneapolis Plan for Sustainable Growth](#) identifies the site as Urban Neighborhood on the future land use map. Urban neighborhoods are predominantly residential areas with a range of densities, with

highest densities generally being concentrated around identified nodes and corridors. They may include undesignated nodes and some other small-scale uses, including neighborhood-serving commercial and institutional and semi-public uses scattered throughout. Areas designated as urban neighborhoods are not generally intended to accommodate significant new growth. In addition, the property is located within a Major Retail Center. The proposed development is consistent with the following principles and policies outlined in the comprehensive plan:

Land Use Policy 1.1: Establish land use regulations to achieve the highest possible development standards, enhance the environment, protect public health, support a vital mix of land uses, and promote flexible approaches to carry out the comprehensive plan.

- I.1.5 Ensure that land use regulations continue to promote development that is compatible with nearby properties, neighborhood character, and natural features; minimizes pedestrian and vehicular conflict; promotes street life and activity; reinforces public spaces; and visually enhances development.

Land Use Policy 1.2: Ensure appropriate transitions between uses with different size, scale, and intensity.

- I.2.1 Promote quality design in new development, as well as building orientation, scale, massing, buffering, and setbacks that are appropriate with the context of the surrounding area.
- I.2.2 Ensure that lighting and signage associated with non-residential uses do not create negative impacts for residential properties.

Land Use Policy 1.3: Ensure that development plans incorporate appropriate transportation access and facilities, particularly for bicycle, pedestrian, and transit.

- I.3.1 Require safe, convenient, and direct pedestrian connections between principal building entrances and the public right-of-way in all new development and, where practical, in conjunction with renovation and expansion of existing buildings.
- I.3.2 Ensure the provision of high quality transit, bicycle, and pedestrian access to and within designated land use features.

Land Use Policy 1.8: Preserve the stability and diversity of the city's neighborhoods while allowing for increased density in order to attract and retain long-term residents and businesses.

- I.8.3 Direct uses that serve as neighborhood focal points, such as libraries, schools, and cultural institutions, to designated land use features.

Land Use Policy 1.16: Support a limited number of Major Retail Centers, while promoting their compatibility with the surrounding area and their accessibility to transit, bicycle and foot traffic

- I.16.1 Encourage the development of mixed residential, office, institutional and, where appropriate, small-scale retail sales and services to serve as transitions between Major Retail Centers and neighboring residential areas.
- I.16.2 Incorporate principles of traditional urban design in new and phased development, including buildings that reinforce the street wall, have windows that provide "eyes on the street", and principal entrances that face the public sidewalks.
- I.16.4 Ensure the provision of high quality transit, bicycle and pedestrian access to Major Retail Centers.

- I.16.5 Support district parking strategies in Major Retail Centers, including shared parking facilities, uniform signage for parking facilities, and other strategies.

Urban Design Policy 10.8: Strengthen the character and desirability of the city's urban neighborhood residential areas while accommodating reinvestment through infill development.

- 10.8.1 Infill development shall reflect the setbacks, orientation, pattern, materials, height and scale of surrounding dwellings.
- 10.8.8 Appropriate non-residential land uses, such as institutional, public and suitable commercial uses, should be integrated into low density residential areas through proper building location and design, landscaping, and other site improvements.

Urban Design Policy 10.13: Work with institutional and public partners to assure that the scale and form of new development or expansion will occur in a manner most compatible with the surrounding area.

- 10.13.1 Concentrate the greatest density and height in the interior of institutional campuses with stepped-down building design as it transitions to the neighborhood.
- 10.13.2 Develop building forms on the edges of institutional property which are most reflective of neighboring properties as the preferred option, while recognizing that in certain circumstances greater bulk and density may be preferable to expansion beyond existing campus boundaries.
- 10.13.3 Encourage institutional uses and public buildings and facilities to incorporate architectural and site design that is reflective of their civic importance and that identifies their role as focal points for the community.
- 10.13.4 Promote active uses at the ground floor level.

The proposed project would minimize pedestrian and vehicular conflict, as it removes all existing curb cuts from the site. The applicant has stated that they are pursuing district parking strategies in order to minimize the need for new additional parking facilities. The two-story building addition complies with all building setbacks in the OR2 district and would be compatible with nearby properties.

As conditioned, CPED finds that the proposed development is in conformance with the above policies of The Minneapolis Plan for Sustainable Growth. Staff recommends a condition of approval that would improve the balance of windows along the elevation facing Aldrich Avenue N, which would provide additional ground floor activity and visual interest along the west elevation. In addition, staff recommends requiring additional landscaping on or around the property in order to strengthen the character and desirability of the immediate area while also providing additional buffering to transition between the church and surrounding uses.

4. Conformance with applicable development plans or objectives adopted by the City Council.

The site is located within the boundaries of the *West Broadway Alive Plan* adopted by the City Council in 2008. The property is identified as an area appropriate for Urban Oriented Development Intensity, which suggests a three to five story height limit. The proposed two-story building addition would be appropriate for this scale.

5. Alternative compliance.

The Planning Commission or zoning administrator may approve alternatives to any site plan review requirement upon finding that the project meets one of three criteria required for alternative compliance. Alternative compliance is requested for the following requirements:

- **Canopy trees.** The project does meet the requirement that at least one canopy tree per 500 square feet of the required landscaped area be provided, including in all required landscaped yards. The tree requirement for the site is three and the applicant is proposing zero. Alternative compliance is being requested. Staff finds that it would be reasonable to comply with the minimum tree requirement given the amount of available landscaped area on the subject site.
- **Window distribution.** All windows are vertical in proportion. However, they are not evenly distributed along the building walls on the west elevation facing Aldrich Avenue N, where the windows are concentrated on the south portion of the building wall. This item requires alternative compliance. Staff finds that it would be reasonable to require compliance with the window distribution standard, and recommends a condition of approval that shows a balanced distribution in the fenestration pattern along the west elevation.
- **Landscaping composition.** Staff finds that the overall composition and location of landscaped areas do not complement the scale of development and its surroundings. The applicant is proposing 102 shrubs and zero trees on the site. The majority of the shrubs are located between the south building wall and the south property line, which faces a vacant commercial lot, while there is a minimal mix of shrubs and perennials on the other sides of the property which face the public street and sidewalk to the west and north, and the OR2 district to the east. Alternative compliance is being requested. Staff finds that it would be reasonable to require compliance with the standard of requiring landscaping that complements the scale of the development and its surroundings through the addition of additional shrubs and trees along the west and north sides of the building.

RECOMMENDATIONS

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt staff findings for the applications by Station 19 Architects, Inc. for the properties located at 2018, 2022, and 2024 Aldrich Avenue N and 715 21st Avenue N:

A. Variance.

Recommended motion: **Approve** the variance application to reduce the minimum loading requirement from one to zero.

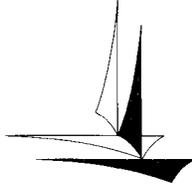
B. Site Plan Review for a new commercial building.

Recommended motion: **Approve** the site plan review application for a 15,600 square foot addition to an existing building, subject to the following conditions:

1. All site improvements shall be completed by January 25, 2018, unless extended by the Zoning Administrator, or the permit may be revoked for non-compliance.
1. CPED staff shall review and approve the final site, elevation, landscaping, and lighting plans before building permits may be issued.
2. The plant materials, and installation and maintenance of the plant materials, shall comply with sections 530.200 and 530.210 of the zoning code.
3. The applicant shall demonstrate compliance with the parking location requirements in section 541.250 of the zoning code.
4. The west elevation shall be amended to reflect a greater balance in the distribution of windows, as required by section 530.120 of the zoning code.
5. The applicant shall provide no fewer than 13 bicycle parking spaces, per section 541.220 of the zoning code.
6. The final landscaping plan shall result in additional on-site trees, shrubs, and perennials along the west and north building walls to complement the scale of the development and its surroundings, as required by section 530.160 of the zoning code.
7. The final landscaping plan shall include no fewer than three on-site canopy trees, as required by section 530.160 of the zoning code.
8. The final plans shall be amended to show a maximum width of 12 feet for any walkway in a required yard.
9. The final plans shall demonstrate how the refuse and recycling receptacles would be accessed from the public street.

ATTACHMENTS

1. PDR report
2. Written description and findings submitted by applicant
3. Zoning map
4. Survey
5. Site plan
6. Plans
7. Building elevations
8. Photos



Minneapolis Development Review
250 South 4th Street
Room 300
Minneapolis, MN 55415

Preliminary Development Review Report

Development Coordinator Assigned: **PATRICIA MURZYN**
(612) 673-5827
patricia.murzyn@minneapolismn.gov.

Status *

Tracking Number:	PDR 1001386
Applicant:	SANCTUARY COVENANT CHURCH 1201 37TH AVENUE NORTH MINNEAPOLIS, MN 55412
Site Address:	718 WEST BROADWAY 2118 ALDRICH AVE N 715 21ST AVE N 2022 ALDRICH AVE N 2024 ALDRICH AVE N
Date Submitted:	24-NOV-2015
Date Reviewed:	02-DEC-2015

Purpose

The purpose of the Preliminary Development Review (PDR) is to provide Customers with comments about their proposed development. City personnel, who specialize in various disciplines, review site plans to identify issues and provide feedback to the Customers to assist them in developing their final site plans.

The City of Minneapolis encourages the use of green building techniques. For additional information please check out our green building web page at: http://www.ci.minneapolis.mn.us/mdr/GreenBuildingOptions_home.asp.

DISCLAIMER: *The information in this review is based solely on the preliminary site plan submitted. The comments contained in this report are preliminary ONLY and are subject to modification.*

Project Scope

Remodel existing 5,000 sq ft building with a new 2 story addition for a church that focuses on building bridges with the residents and the neighborhood resources.

Review Findings (by Discipline)

Business Licensing

- There is no Minneapolis Business Licensing review required for the proposed project.

***Approved:** You may continue to the next phase of developing your project.
***Resubmission Required:** You cannot move forward or obtain permits until your plans have been resubmitted and approved.

□ Zoning - Planning

- The following preliminary land use applications have been identified for this proposal. Additional (or fewer) applications may be required based on additional information or changes in future versions of the plans.
 - Conditional use permit for a principal parking facility.
 - Variance to reduce the minimum loading requirement from 1 small loading space to zero (the loading area must be part of the parking plan and cannot overlap with another parking space or access aisle).
 - Variance of the loading location requirement to allow the required loading area to be located on a separate zoning lot (section 541.500).
 - Variance to increase the maximum lot coverage above 70 percent.
 - Site plan review for an addition exceeding 1,000 square feet.
 - Site plan review for a principal parking facility (including alternative compliance to reduce the minimum on-site landscaped yard along Aldrich and along the north property line below 7 feet, and to reduce the screening along the north property line, where a six-foot screen is required).
 - Please clarify or revise the following items:
 - Please clarify how all non-building areas will be covered with either landscape or impervious materials. For instance, the areas between the south and east building walls and property lines are not labeled. The maximum impervious surface area for the OR2 district is 85%.
 - Please provide floor plans for all levels of the building, including the roof.
 - Please indicate the floor-to-floor ceiling heights on the elevations.
 - Please provide colored renderings or elevations of the proposed building.
 - Will the existing concrete block be painted?
 - Please include the percentage of each proposed and existing material on each elevation.
 - Please note that all mechanical equipment and refuse containers must be fully screened, per sections 535.70 and 535.80 of the zoning code.
- Prior to submitting formal applications, you may want to consider obtaining an historic review letter from Jim Voll (612.673.3887) for the structures that would be demolished as part of the project.
- The applicant has not formally submitted a land use application.

□ Addressing

- Per City of Minneapolis Street Naming and Address Standard V1.22, the City of Minneapolis holds authority for assignment of all addresses, verification, change, and/or additions. Each assigned address number uses the street that provides the best/direct access for life safety equipment and best/direct access to the occupants.
- The building address for the proposed addition will continue to be **2018 Aldrich Avenue North**. This address meets the City of Minneapolis Street Naming and Address Standard requirements.

□ Construction Code Services

- Building Code Plan Review comments for PDR. This is not intended as a complete building code review, but to confirm basic design elements for exterior building code items.
 - The Building entrances are to be accessible as per 1341.1105
 - Consider relocating the accessible curb cut in the parking lot to an Access Isle and not in the parking space as shown.
 - Access aisles are to be marked "no parking" per 502.4.4 ANSI A117.1 2003
 - Maximum slope 1:48 for access aisle and parking space per 502.5
 - Accessible signage to comply with MN 1341.1110
 - The East exterior wall of the new building to comply with 2015 IBC, including tables 602 and 705.5 for fire protection and allowable openings.
 - Confirm the building addition is constructed on one tax parcel, as the Hennepin County Tax records suggest multiple parcels with the size of the proposed building. Constructing over multiple parcels can cause delays in building permit approvals and will require additional submittals satisfactory to the City Building Official.

□ Parks - Forestry

- Removal of tree in Right Of Way on Aldrich Avenue North needs to be replaced in landscape plan or \$400.00 compensation to Minneapolis Park & Recreation Board (MPRB). If replaced, species and location must be approved by MPRB Forestry & add planting detail showing proper planting depth.
- Tree Protection required around trees adjacent to C&G replacement that takes place outside work zone fence.
- Contact Craig Pinkalla (612-499-9233 cpinkalla@minneapolisparks.org) regarding any questions related to planting, removal or the process for protection of trees during construction in the city right of way.
- Effective January 1, 2014, the City of Minneapolis and the Minneapolis Park and Recreation Board adopted an update to the existing Parkland Dedication Ordinance. The adopted City of Minneapolis Parkland Dedication ordinance is located in Section 598.340 of the City's Land Subdivision ordinance:
 - <http://library.municode.com/index.aspx?clientId=11490>.
- As adopted, the fee in lieu of dedication for new residential units is \$1,521 per unit (affordable units excluded per ordinance) and for commercial and industrial development it is \$202.80 per development employee (as defined in ordinance). Any dedication fee (if required) must be paid at the time of building permit issuance.
- There is also an administration fee that is 5% of the calculated park dedication fee.
- As proposed, for your project, the calculated dedication fee is as follows:
- Park Dedication Fee Calculation =
 - Non-Residential Commercial Space = \$4,259
 - 5% of \$4,259 (Administration Fee) = \$ 213
 - Total Park Dedication Administrative Fee: \$4,472
- This is a preliminary calculation based on your current proposal; a final calculation will be made at the time of building permit submittal.
- For further information, please contact Patty Murzyn 612-673-5827.

□ Historical Preservation Committee

- There is no HPC flag on these properties. HPC review is not required at this time. However, HPC review is required for any wrecking permits pertaining to the removal of any existing structures.

□ Right of Way

- The plan as submitted meets the requirements of the Public Works Right-Of-Way Division.

□ Street Design

- For detailed information related to City of Minneapolis standard specifications, details, and standard plates refer to the following: <http://www.minneapolismn.gov/publicworks/plates/index.htm>
- All driveway aprons shall be designed and constructed to City standards. All driveway aprons shall be shown graphically correct on all related plan sheets. Please refer to the following: http://www.minneapolismn.gov/publicworks/plates/public-works_road. . Add the following details from the ROAD-2000 Series - Driveways to the plans: ROAD-2000, ROAD-2001, ROAD-2002, and ROAD-2003.
- All curb & gutter in the Public right-of-way shall be designed and constructed to City standards, curb & gutter to be City standard B624 Curb and Gutter. Please refer to the following: http://www.minneapolismn.gov/publicworks/plates/public-works_road. . Add the following details from the ROAD-1000 Series - Curbs and Gutters to the plans: ROAD-1003 and ROAD-1010.

□ Sidewalk

- The plan as submitted meets the requirements of the Public Works Sidewalk Inspections Division.

❑ Traffic and Parking

- The proposed driveway access should be perpendicular to the roadway with no angle.
- Current ordinance states that all maneuvers associated with loading, parking or sanitation pick up for a private development shall occur on private property. Please provide a narrative explaining the trash removal and truck delivery operations and show turning maneuvers for all truck type vehicles that will be using the site and loading/parking entrance areas. A Solid Waste Collection Point (SWCP) shall be identified on the site plans; per City Ordinance (Section 2, Ch. 225, Article V - 225.750. Solid waste collection point (SWCP)

❑ Water

- The plan as submitted meets the requirements of the Public Works Water Maintenance & Distribution Division.
- Note to the Applicant: All existing and proposed underground Public Utilities (water, sanitary sewer, and storm drain) shall be shown on the site plan with corresponding pipe sizes and types. For Public watermain infrastructure records call (612) 673-2865. Any existing connections not in use shall be noted on the plans for removal, and shall be removed per the requirements of the Utility Connections Department, call (612) 673-2451 for more information.

❑ Sewer Design

- It is understood that the properties may ultimately be comprised of more than one parcel. The stormwater management system appears to cross the potential property lines and possibly serve both future parcels. Private easements and/or agreements will be required demonstrating the right of each property to use and maintain the stormwater management system. Please provide copies of these easements and/or agreements.
- Stormwater Management: Please provide documentation that the 70% TSS removal requirement is being met for the site. The MIDS calculator provided does not appear to account for the entire site.
- Please note later phases of development of the site will be required to demonstrate compliance with the City's stormwater treatment requirements. It does not appear that the current system is being designed to accommodate any future phases of development. It is recommended that the system be sized accordingly now, as reconstruction or modification in the future will likely be costly.
- Please provide a copy of any geotechnical reports for the site. In the absence of field measured infiltration rates, the design infiltration rates from the MN Stormwater Manual (http://stormwater.pca.state.mn.us/index.php/Design_infiltration_rates.) should be used for the design of the infiltration practice.
- An operations and maintenance plan is required for the stormwater treatment devices. The O&M plan shall define the maintenance regimen, including type and interval of maintenance and party to conduct such maintenance. Please provide a copy of the O&M Plan.
- It is recommended that larger perforated pipes for the subsurface infiltration be considered. There is likely little cost difference between 12" HDPE and larger HDPE pipes, to an extent; whereas the 1.5" clear granite, trap, or quartz called for in the detail is likely somewhat costly. The less of this being used, with larger pipes, may be of benefit.
- Surface Drainage: The emergency overflow for the stormwater storage area appears to be directed towards the adjacent building to the east. The EOF should be located in a manner that does not negatively impact adjacent properties.
- Utility Connections: The proposed storm sewer connection to the City catch basin is not permitted. Private connections must occur at the main. The proposed 10" storm connection may be core drilled into the 42" storm main with a saddle tee fitting installed. Please revise the plans accordingly.
- Please note the existing sanitary sewer connection may be quite old. It is recommended that the condition of the service line be evaluated prior to re-use and replaced or lined if necessary. The service to the City main, including the connection, is the responsibility of the property owner.

- Non Stormwater Discharges: Detail all mechanical and non-stormwater discharges. Non-stormwater discharges are not permitted unless approved by the City of Minneapolis. Non-stormwater discharges not declared and approved will not be permitted. If there currently are none and nothing is proposed declare this status on the plans.
- For comments or questions on Public Works Surface Water & Sewers Division related requirements please contact Jeremy Strehlo, (Professional Engineer) at (612) 673-3973, or jeremy.strehlo@minneapolismn.gov.

❑ Fire Safety

- Provide required fire suppression system throughout building.
- Fire department connection must be on address side of building & within 150 feet of a fire hydrant.
- Provide required fire alarm system throughout building.
- Maintain fire apparatus access at all times.

❑ Environmental Health

- At 718 West Broadway a petroleum release was detected in June 2006 and assigned Minnesota Pollution Control Agency leak number 16484. The file was closed by the MPCA in July 2006. The release was likely from a gasoline service station built in 1914 and demolished in 1956. Minneapolis Fire Department records indicate the station had two underground gasoline tanks of 1050 and 550 gallons. The building permit for the station was issued for the historical street of 20th Ave N.
- Field screening during excavation should be performed for identification of impacted soils from the petroleum release. If impacted soil are encountered during site activities work will need to stop and notification provided to the MN State Duty officer at (615) 649-5451. Approval for removal, disposal and/or reuse of impacted soils must be must occur from the MCPA and the City of Minneapolis prior to continuing excavation activities.
- If dewatering is required during site construction see below for city permit requirements. Subgrade structures should be designed to prevent infiltration of groundwater without the need for a permanent dewatering system being installed. If a continuously operating permanent dewatering system is needed it must be approved as part of the sanitary sewer and storm drain site plan approval prior to construction beginning.
- No construction, demolition or commercial power maintenance equipment shall be operated within the city between the hours of 6:00 p.m. and 7:00 a.m. on weekdays or during any hours on Saturdays, Sundays and state and federal holidays, except under permit. Contact Environmental Services at 612-673-3867 for permit information.
- Permits and approval are required from Environmental Services for the following activities: Temporary storage of impacted soils on site prior to disposal or reuse; Reuse of impacted soils on site; Dewatering and discharge of accumulated storm water or ground water, underground or aboveground tank installation or removal, well construction or sealing. Contact Tom Frame at 612-673-5807 for permit applications and approvals.
- A review of the project, permits issued and an inspection from Environmental Service for identification of equipment and site operations that require annual registration with the City of Minneapolis will occur for this project.

END OF REPORT

**STATION NINETEEN
ARCHITECTS, INC.**

2001 UNIVERSITY AVENUE SOUTHEAST SUITE 100
MINNEAPOLIS, MINNESOTA 55414
612-623-1800
WWW.STATION19.COM



Building Bridges in North Minneapolis:

**Narrative Description of the Project & Proposed Use @ 718 West Broadway/2018 Aldrich Ave N
Application by Sanctuary Covenant Church w/ Station 19 Architects, Inc. submitted 12/28/15**

The Proposed Sanctuary Covenant Church Project at the site @ 718 Broadway/2018 Aldrich is about “Building Bridges”:

- Building a Bridge between the local assets and resources of the north Minneapolis residents and the regional commercial and institutional assets and resources of the West Broadway Commercial District.
- Building Bridges of reconciliation that continues Sanctuary Church’s 10+ year track record of building multi-ethnic and multi-generational relationships that strengthen North Minneapolis individually and corporately.

The site under consideration, bridges from the local residential neighborhood along 21st Ave N to the regional West Broadway Commercial District to the south. These two “faces” of the site are marked by two zoning districts, which create two “zoning lots” within the site, with Office Residential (OR-2) to the north and Commercial (C3S) to the south. In addition, the north edge of the West Broadway Overlay District runs through the center of the site along the line that connects these two zoning districts.

The proposed plan is conceived as Phase 1 of a 2-phase development beginning with a neighborhood-focused church on the North “OR2” Zoning Lot portion of the site (2018, 2022, & 2024 Aldrich Ave N & 715 21st Ave N) with the minimum required off-street parking south of the building on the adjacent South “C3S” Zoning Lot (718 West Broadway Ave). The proposed Church use on the North Zoning Lot removes the two north residences and remodels the remaining 5,000 sq. ft. 2-story block building with new 2-story additions to the west, north and east up to the required setbacks as shown. This requires a Land Use Application for Formal Site Plan Review and a Variance for an “off-site” loading area on the adjacent South Zoning Lot. An Interim Use Permit is required on the South Zoning Lot for a “Principle Parking Facility” that serves the minimum required off-street parking for the adjacent Church use now and will transition to “shared accessory” parking in the future.

The functional layout of the Phase 1 Church Building orients the week-day entrance and staff offices towards the north residential side of the block. A larger entrance for Sunday services and other large group gatherings is located mid-block to capture foot traffic from the on-site parking, Aldrich Ave., and Broadway. An existing curb cut and drive at 2018 Aldrich is replaced with a landscaped plaza at the SW main Church entry. Off this entrance on the interior is a 6,000 sq. ft. Assembly Room, with 1,500 sq. ft. seating overflow into a welcoming Lobby. Phase 1 will include flexible, multi-use classroom spaces to serve religious education and possible off-peak community meeting use. No childcare or school use is proposed. The proposed 2-story exterior complements the existing block building to remain with a honed concrete precast panel with pre-finished metal panel accents and roof top screening .

Our goal for Phase 1 is not only to develop a neighborhood-focused church, but to also set-up a successful future Phase 2 project. To do this, the proposed parking is located mid-block and reserves the southern portion of the South Zoning Lot for a multi-story building to anchor the corner at Broadway and Aldrich. With approval of the current applications, the applicant plans to work with the community to develop ideas for a possible community-serving interim use for the “garden footprint” of the future building along West Broadway until the Phase 2 Building is constructed.

The Phase 1 mid-block parking shown is planned as shared parking for the church use and future mixed-use commercial/ residential occupants of the Phase 2 West Broadway Building. The shared parking calculations for the proposed 50 shared on-site stalls are based on the future building’s ground level occupancy of a mix of community-building commercial retail and office partners providing needed services to the neighborhood with the 2-3 upper stories planned for a possible mix of housing and offices. Parking Incentive reductions for bicycle and transit are expected for the future building based on transit proximity and frequency. Phase 1 is planned so that Phase 2 can meet the C3S and West Broadway Overlay District requirements and West Broadway Alive! Development Guidelines. The Interim Use Permit approval for the proposed Phase 1 parking provides the foundation and timeline for this future work.

The applicant believes that maintaining existing zoning districts are appropriate for the proposed and future uses. While recognizing that future use cannot be formally approved with our current submission, the demonstration of the feasibility of the current and future plans to meet the current requirements of the Zoning Code & Comprehensive Plan have been critical for the proposed project.

We feel that the proposed uses, site work and building plans meet the vision and goals of the North Minneapolis community embodied in the West Broadway Alive! Plan. Approval of proposed applications permits a significant investment by Sanctuary Covenant Church and it’s community partners in the development along West Broadway that “bridges” between serving the individual and family lives of the current and coming neighborhood residents and the vital commercial and social community life of North Minneapolis @ West Broadway & Aldrich.

Variance Statement Addressing Findings:

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

The proposed variance addresses the unique division of the site into two zoning districts that would otherwise permit the incorporation of the required accessory parking and loading area shown to be approved without variance. The re-use of the existing building, shallow setbacks, and steep grade to the Northeast corner of the site do not allow the loading area to be on the North Zoning Lot without backing within or into the Right of Way. The incorporation into the adjacent South Zoning Lot portion of the site, which is under application for Interim Use Permit for Principle Parking Facility with the loading zone located in the NE corner, is a reasonable option that addresses the above limitations of the site.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

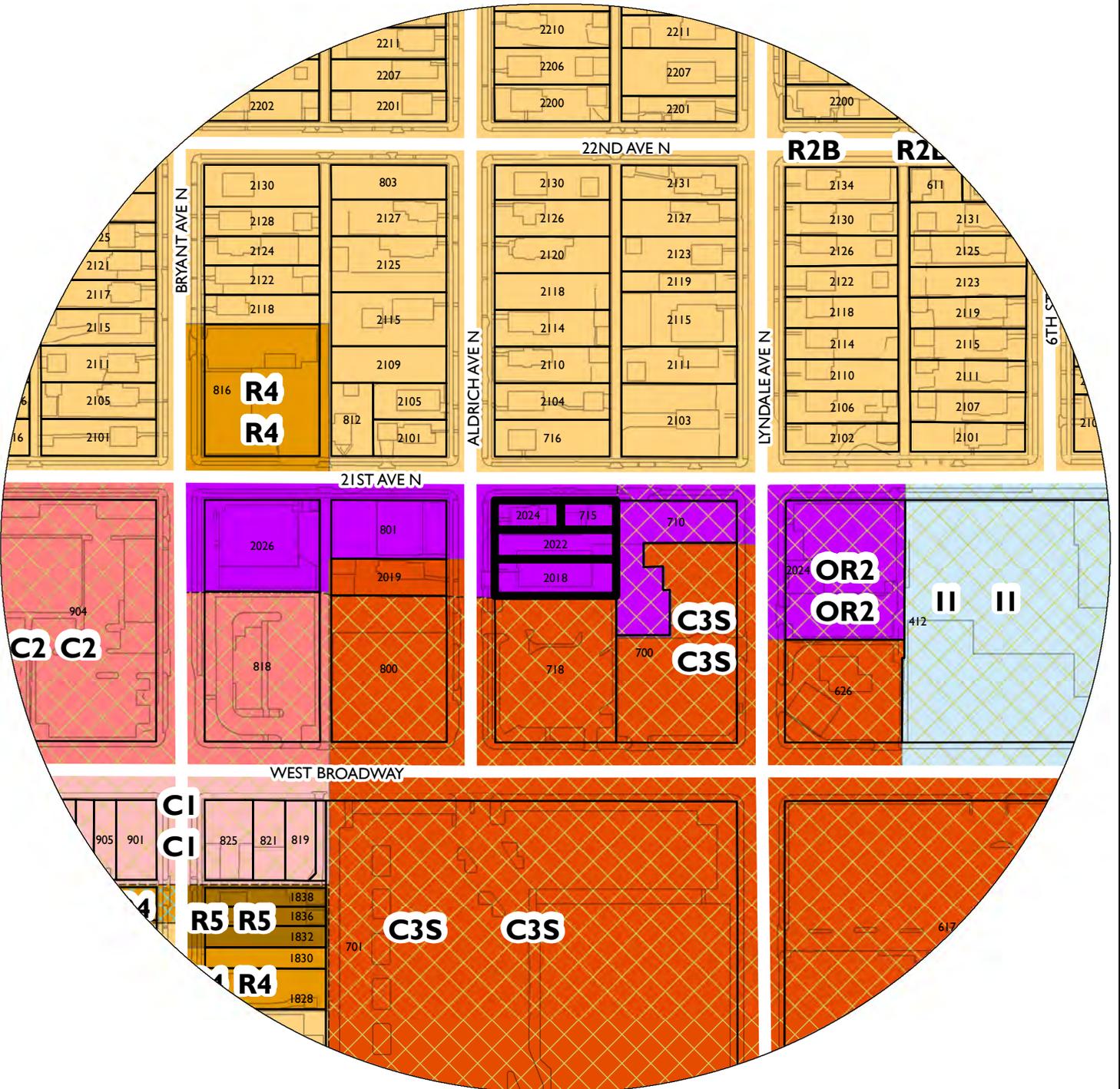
The location of the single Loading Area on the adjacent South Zoning Lot, with same Owner otherwise meets all the requirements of the zoning code and fulfills the priorities of the Comprehensive Plan and Broadway Alive! Small Area Plan.to minimize additional paving and provide a safe “eyes-on” location for the loading zone with parking.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

Approval of the Variance addresses the above finding by locating the Loading zone on adjacent property, away from- and without backing into- the public Right Of Way to provide more safety than without the variance.

NAME OF APPLICANT

WARD



PROPERTY ADDRESS

2018- 2024 Aldrich Ave N, 715 21st Ave N

FILE NUMBER

BZZ-7539

THE SANCTUARY

MINNEAPOLIS, MN

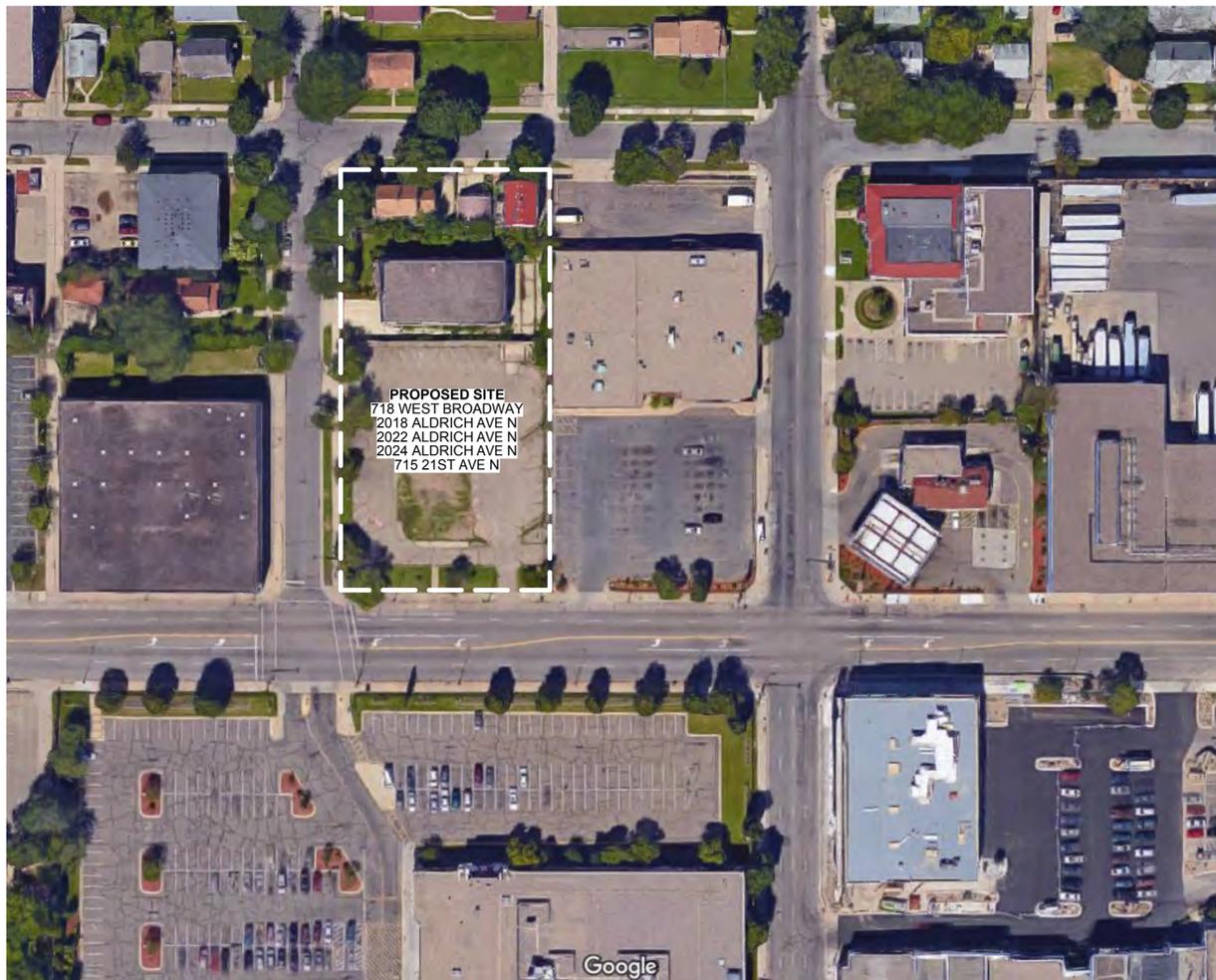
PROJECT TEAM

ARCHITECT
 Station 19 Architects, Inc.
 2001 University Ave. S.E. Suite 100
 Minneapolis, MN 55414
 PH:(612) 623-1800
 FAX:(612) 623-0012

LANDSCAPE DESIGN
 Solution Blue, Inc.
 318 Cedar Street
 Saint Paul, MN 55101
 PH: 651-294-0038

CIVIL ENGINEER / SURVEYOR
 Rehder & Associates, Inc.
 3440 Federal Drive, Suite 110
 Eagan, MN 55122
 PH: 651-452-5051
 FAX: 651-452-9797

LOCATION MAP



SPR SUBMITTAL

T1 TITLE SHEET

CIVIL

- C1** DEMOLITION & EROSION CONTROL PLAN
- C2** SITE DIMENSION PLAN
- C3** GRADING DRAINAGE AND UTILITY PLAN

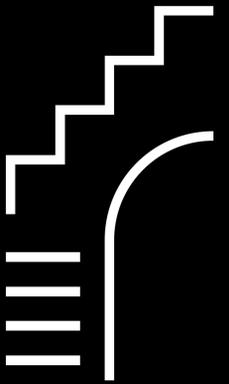
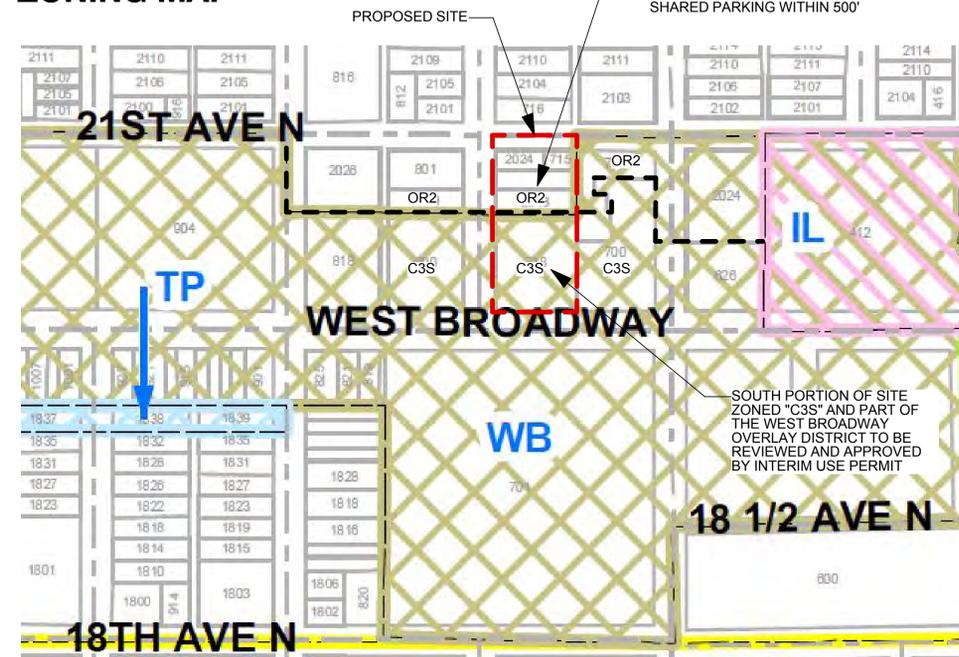
LANDSCAPE & LIGHTING

- L1.1** LANDSCAPE PLAN
- L1.2** LANDSCAPE DETAILS
- L2** SITE LIGHTING PLAN

ARCHITECTURAL

- A3.1** MAIN LEVEL FLOOR PLAN
- A3.2** UPPER LEVEL FLOOR PLAN
- A5.1** ROOF PLAN
- A6.1** EXTERIOR ELEVATIONS
- A6.2** EXTERIOR ELEVATIONS

ZONING MAP



STATION NINETEEN

Architects - Incorporated

2001 UNIVERSITY AVENUE SOUTHEAST SUITE 100

MINNEAPOLIS, MINNESOTA 55414

PHONE (612) 623.1800 FAX (612) 623.0012

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Registered Architect under the laws of the state of:

MINNESOTA

SIGNATURE

ARCHITECT: **TOM PETERSON**

REGISTRATION NUMBER: **44417**

DATE: **12/11/2015**

DRAWN BY: **MM**

CHECKED BY: **NT**

PROJECT TITLE

SANCTUARY COVENANT CHURCH

MINNEAPOLIS, MINNESOTA

Project Number **4469**

Errors may occur in the transmission of electronic files. Station Nineteen Architects, Inc. is not responsible for any claims, damages or expenses arising out of the unauthorized use of the information contained in electronic files.

Electronic files may not accurately reflect the final design conditions. It is the responsibility of the user to verify all layouts, dimensions and other related information. This document may not be used or copied without prior consent.

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No.	Date	Appr	Revision Notes
1	11/23/15		PDR SUBMITTAL

No.	Date	Appr	Revision Notes

No.	Date	Appr	Revision Notes
1	11/23/15		PDR SUBMITTAL

No.	Date	Appr	Revision Notes

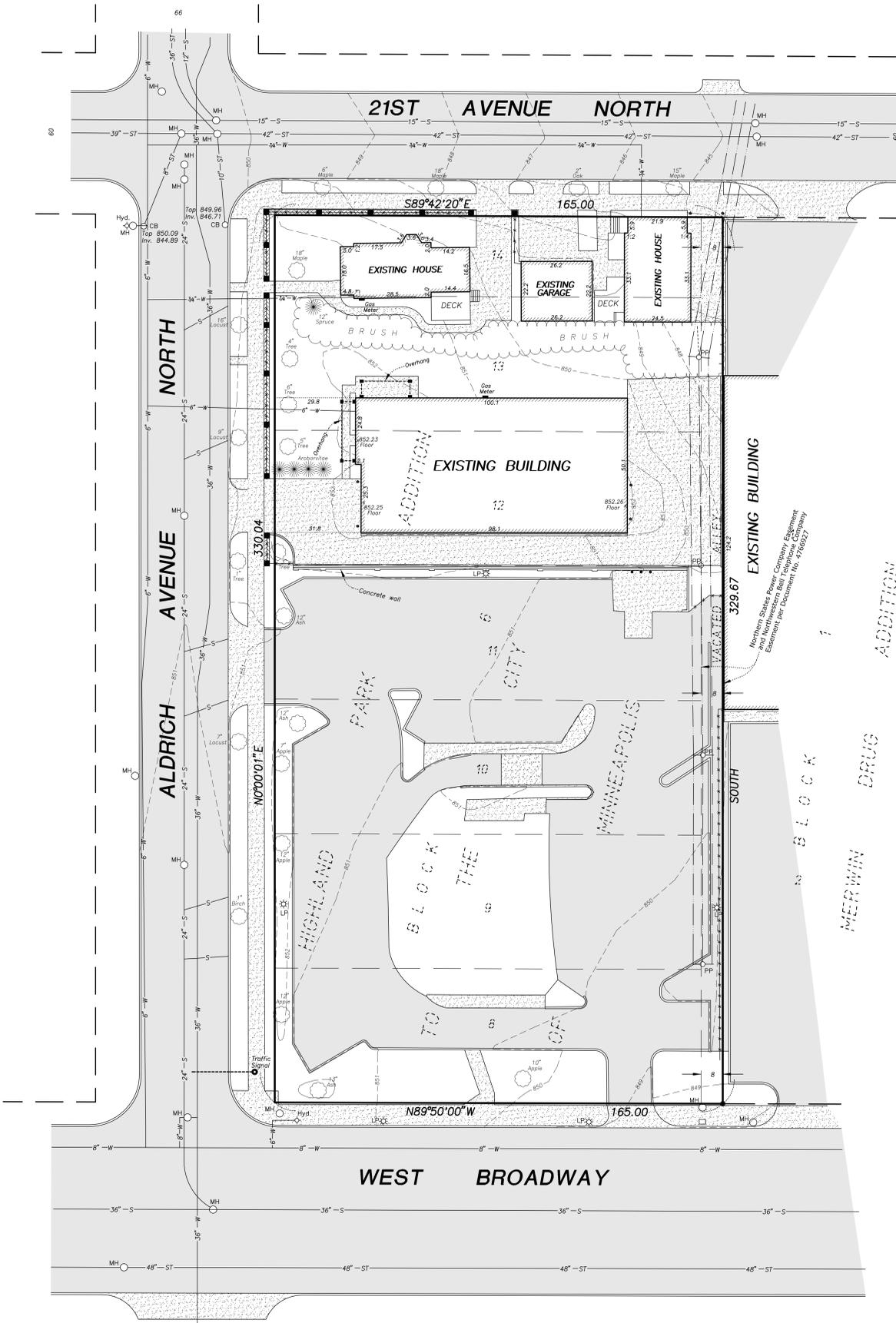
Phase **SITE PLAN REVIEW**

Sheet Title **TITLE BLOCK**

Drawing No.

T1

Boundary and Topographic Survey for: SANCTUARY COVENANT CHURCH

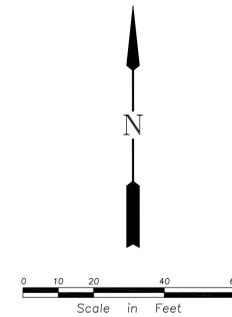


NOTES

- * Bearings shown are based on the plat of MERWIN DRUG ADDITION.
- * Utilities shown are from information furnished by the City of Minneapolis and respective utility companies in response to Gopher State One Call Ticket No. 152890757 and are verified where possible.
- * Contact Gopher State One Call for utility locations before any construction shall begin. Phone 651-454-0002.
- * Area = 54,425 square feet (1.25 acres).

LEGEND

- Iron Monument Found
- S — Sanitary Sewer
- ST — Storm Sewer
- W — Watermain
- Hyd. ◊ Hydrant
- GV • Gate Valve
- MH ○ Manhole
- CB ○ Catch Basin
- Inv. Invert Elevation
- Guard Post
- PP ○ Power Pole
- LP ✖ Light Pole
- Electrical Transformer
- ▨ Concrete Surface
- ▩ Bituminous Surface



UTILITY STATEMENT

The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated, although he does certify that they are shown as accurately as possible from information available. The surveyor has not physically located the underground utilities.

PROPERTY DESCRIPTION

Lots 8, 9, 10, 11, 12, 13 and 14, Block 6, HIGHLAND PARK ADDITION TO THE CITY OF MINNEAPOLIS, together with the West Half of the vacated alley adjacent thereto.

I hereby certify that this survey was prepared by me or under my direction and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Dated this 23rd day of October, 2015

REHDER & ASSOCIATES, INC.

Gary C. Huber

Gary C. Huber, Land Surveyor

Minnesota License No. 22036

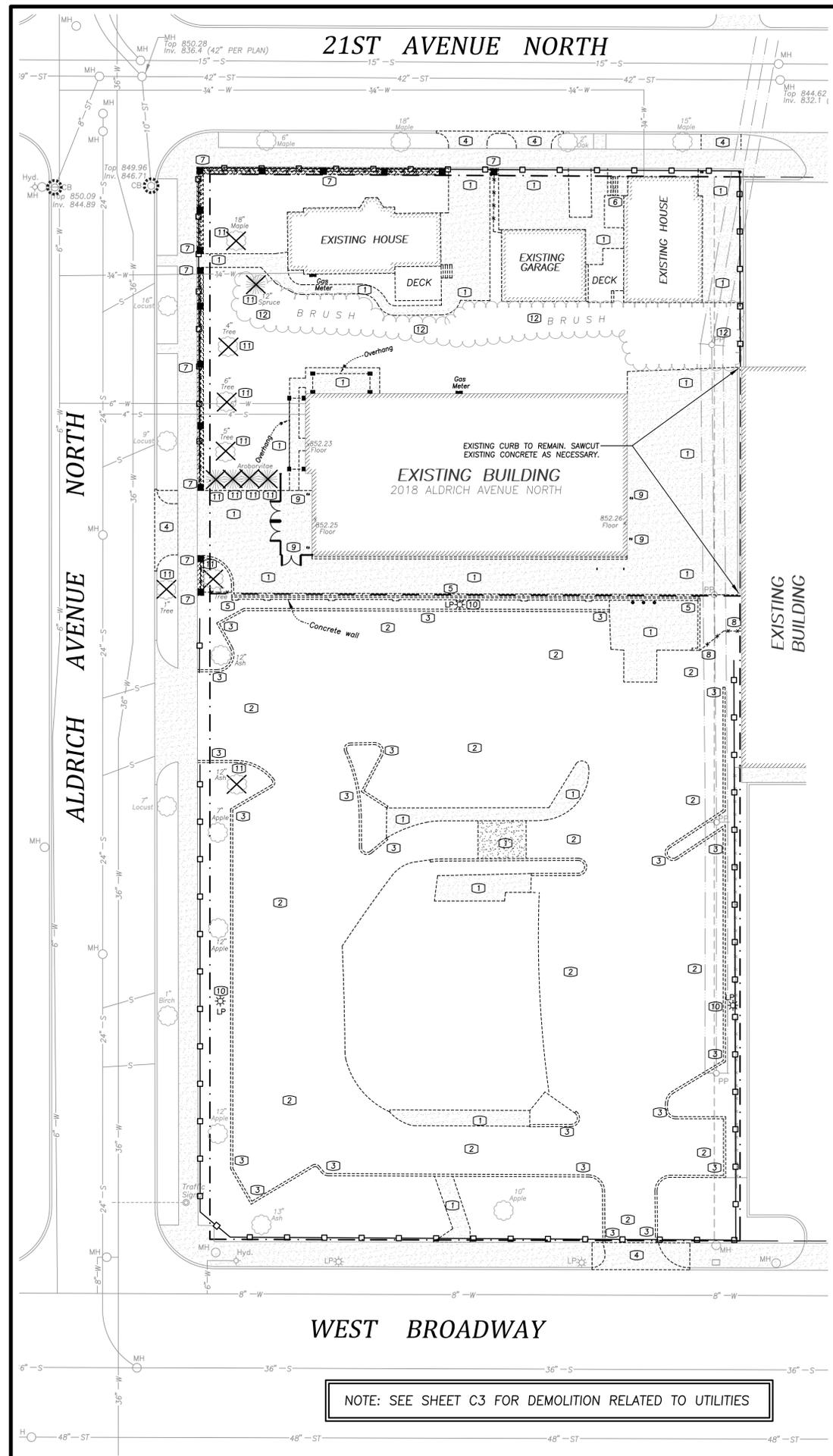
Revised November 17, 2015 to show NSP and Northwestern Bell Easement

Rehder and Associates, Inc.

CIVIL ENGINEERS AND LAND SURVEYORS

3440 Federal Drive • Suite 110 • Eagan, Minnesota • Phone (651) 452-5051

JOB: 154-2876.010



GENERAL PLAN NOTES

1. State law: 48 hours before excavating, call gopher one-call, 651-454-0002, for field location of underground utility lines. This is a free service which locates utility company lines but does not locate private lines. Contractors excavating on site shall provide for locating of private lines, including privately owned lines, by contractor service or other suitable means.
2. Contractor is responsible for providing all O.S.H.A. Safety measures during underground work. This includes providing and maintaining barricades and warning signs, and maintaining appropriate angle of repose on all exposed trenches to protect person and property. Provide shoring and sheeting as required.
3. Contractor shall be responsible for locating and protection of existing structures and utilities as required during excavation and underground work.
4. Contractor shall be responsible for disposal of all excavated material not suitable for backfill and all excess material remaining after backfilling has been completed.
5. Contractor shall be responsible for establishing existing site conditions including elevations, grades, finished surfaces and existing utilities. All areas affected during construction shall be returned to their original condition upon completion of underground work.
6. Contractor shall be responsible for obtaining and paying for all permits required prior to beginning work.
7. Field verify all elevations, dimensions and distances.
8. An obstruction permit is required anytime construction work is performed in the Public right-of-way. Please contact Scott Kramer at 612-673-2383 regarding details of sidewalk and lane closures. Log on to <http://minneapolis.mn.roadway.net/> for a permit.
9. Contact Tim Drew at 612-673-2152 prior to construction for the temporary removal/temporary relocation of any City of Minneapolis signal system that may be in the way of construction.
10. Contact Bill Prince at 612-673-3901 regarding impacts to the existing street lighting system.
11. Contact Doug Maday at 612-673-5755 prior to construction for the removal of any City of Minneapolis right-of-way signs that may be in the way of construction.
12. Permits and approval are required from Environmental Services for the following activities: After hours work, temporary storage of impacted soils on site prior to disposal or reuse, remediation of contaminated soil and groundwater, dewatering and discharge of accumulated storm water or ground water to City sewers, flammable waste traps, underground or above ground tank installation or removal, well construction or sealing, or on-site rock crushing. Contact Tom Frame at tom.frame@ci.minneapolis.mn.us for permit applications and approvals.
13. No construction, demolition or commercial power maintenance equipment shall be operated within the City between the hours of 6:00 p.m. and 7:00 a.m. on weekdays or during any hours on Saturdays, Sundays and state and federal holidays, except under permit. Contact Environmental Services at 612-673-3867 for permit information.

MINNEAPOLIS STANDARD EROSION CONTROL NOTES

1. Contractor must call a construction start 48 hours prior to any land disturbances 612-673-3867. Failure to do so may result in fines, the revocation of permit and a stop work order being issued.
2. Install perimeter erosion control at the locations shown on the plans prior to the commencement of any land disturbance or construction activities.
3. Before beginning construction, install a temporary rock construction entrance at each point where vehicles exit the construction site. Use 2 inch or greater diameter rock in a layer at least 6 inches thick across the entire width of the entrance. Extend the rock entrance at least 50 feet into the construction zone using a geo-textile fabric beneath the aggregate to prevent migration of soil into the rock from below.
4. Remove all soils and sediments tracked or otherwise deposited onto public and private pavement areas. Removal shall be on a daily basis when tracking occurs and may be ordered by Minneapolis inspectors at any time if conditions warrant. Sweeping shall be maintained throughout the duration of the construction and done in a manner to prevent dust being blown to adjacent properties.
5. Install inlet protection at all public and private catch basin inlets, which receive runoff from the disturbed areas. Contractor shall clean, remove sediment or replace storm drain inlet protection devices on a routine basis such that the devices are fully functional for the next rain event. Sediment deposited in and/or plugging drainage systems is the responsibility of the contractor. Hay bales or filter fabric wrapped grates are not allowed for inlet protection.
6. Locate soil or dirt stockpiles no less than 25 feet from any public or private roadway or drainage channel. If remaining for more than seven days, stabilize the stockpiles by mulching, vegetative cover, tarps, or other means. Control erosion from all stockpiles by placing silt barriers around the piles. Temporary stockpiles located on paved surfaces must be no less than two feet from the drainage/gutter line and shall be covered if left more than 24 hours.
7. Maintain all temporary erosion and sediment control devices in place until the contributing drainage area has been stabilized. Inspect temporary erosion and sediment control devices on a daily basis and replace deteriorated, damaged, or rotted erosion control devices immediately.
8. Temporarily or permanently stabilize all construction areas which have undergone final grading, and all areas in which grading or site building construction operations are not actively underway against erosion due to rain, wind and running water within 7-14 days. Use seed and mulch, erosion control matting, and/or sodding and staking in green space areas. Remove all temporary synthetic, structural, non-biodegradable erosion and sediment control devices after the site has undergone final stabilization with permanent vegetation establishment. Final stabilization for purposes of this removal is 70% established cover over denuded area.
9. Ready mixed concrete and concrete batch/mix plants are prohibited within the public right of way. All concrete related production, cleaning and mixing activities shall be done in the designated concrete mixing/washout locations as shown in the erosion control plan. Under no circumstance may washout water drain onto the public right of way or into any public or private storm drain conveyance.
10. Changes to approved erosion control plan must be approved by the erosion control inspector prior to implementation. Contractor to provide installation and details for all proposed alternate type devices.
11. If dewatering or pumping of water is necessary, the contractor is responsible for obtaining any necessary permits and/or approvals prior to discharge of any water from the site. If the discharge from the dewatering or pumping process is turbid or contains sediment laden water, it must be treated through the use of sediment traps, vegetative filter strips, or other sediment reducing measures such that the discharge is not visibly different from the receiving water. Additional erosion control measures may be required at the discharge point to prevent scour erosion. The contractor shall provide a dewatering/pumping plan to the Erosion Control Inspector prior to initiating dewatering activities.

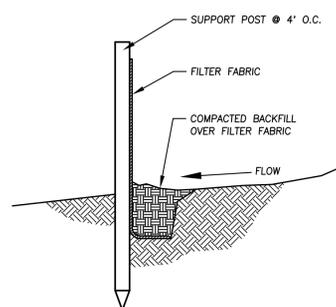
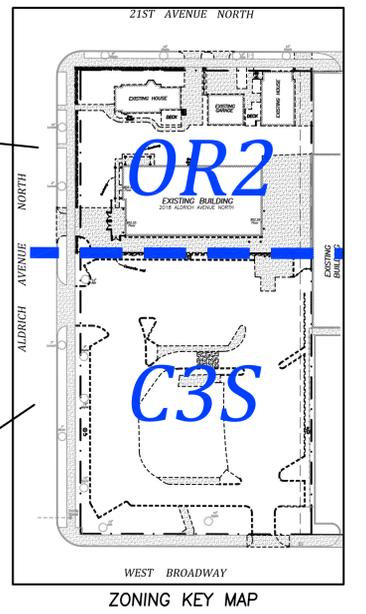
DEMOLITION NOTES

- 1 - Remove concrete pavement.
- 2 - Remove bituminous pavement.
- 3 - Remove concrete curb & gutter.
- 4 - Remove concrete driveway apron.
- 5 - Remove concrete wall.
- 6 - Remove concrete steps.
- 7 - Remove wrought iron fence, concrete block columns, and pavers.
- 8 - Remove chainlink fence.
- 9 - Remove bollard.
- 10 - Remove light pole.
- 11 - Remove tree.
- 12 - Remove brush and misc. vegetation.

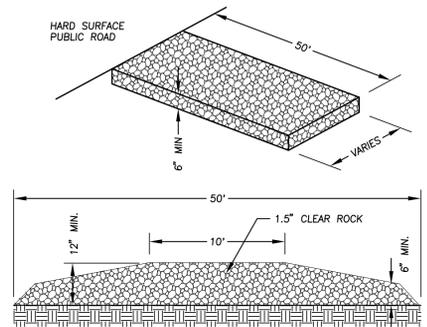
NOTE: SEE ARCHITECTURAL FOR DEMOLITION OF EXISTING HOUSES, GARAGES & DECKS.

NORTH PORTION OF SITE ZONED "OR2" TO BE REVIEWED AND APPROVED BY SITE PLAN REVIEW AND VARIANCE FOR LOADING AREA LOCATED ON SOUTH "C3S" ZONING LOT W/50 OFF-SITE SHARED PARKING WITHIN 500'

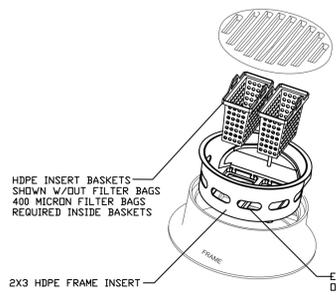
SOUTH PORTION OF SITE ZONED "C3S" AND PART OF THE WEST BROADWAY OVERLAY DISTRICT TO BE REVIEWED AND APPROVED BY INTERIM USE PERMIT.



1 C1 SILT FENCE NO SCALE



2 C1 ROCK CONSTRUCTION ENTRANCE NO SCALE



3 C1 INLET PROTECTION (INFRASAFE OR EQUAL) NO SCALE

PARTY RESPONSIBLE FOR MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL MEASURES

ALL CLEARING, GRADING, CONSTRUCTION OR DEVELOPMENT WILL BE DONE PURSUANT TO THE PLAN

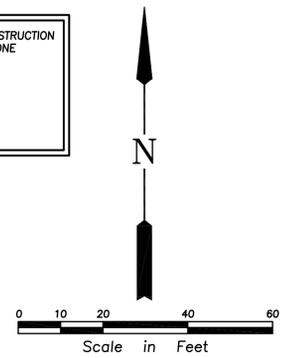
OWNER _____ DATE _____
 DEVELOPER _____ DATE _____
 CONTRACTOR _____ DATE _____

CONSTRUCTION SEQUENCE SCHEDULE

1. INSTALL TEMPORARY ROCK CONSTRUCTION ENTRANCE.
2. INSTALL SILT FENCE & INLET PROTECTION AS SHOWN ON THE PLANS.
3. PERFORM DEMOLITION OF SITE ITEMS.
4. REMOVE TOPSOIL FROM THE SITE AND PLACE IN TEMPORARY STOCKPILE LOCATION OR HAUL OFF-SITE.
5. ROUGH GRADE THE SITE.
6. INSTALL SITE UTILITIES & SUBSURFACE INFILTRATION BASIN.
7. TEMPORARY SEED AND MULCH DISTURBED AREAS ON SITE.
8. CONSTRUCT BUILDING, PARKING LOT AND SIDEWALKS.
9. FINAL GRADE SITE.
10. STABILIZE SITE WITH SOD, SEED OR HARD SURFACE.
11. REMOVE SILT FENCE, INLET PROTECTION AND ROCK CONSTRUCTION ENTRANCE.

LEGEND

- INLET PROTECTION DEVICE
- SILT FENCE
- BOUNDARY/ROW/BLOCK LINE
- TREE TO BE REMOVED



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 3140 Federal Drive, Suite 110 • Eagan, Minnesota 55122
 651-452-0051 • Fax: 651-452-9797 • email: info@rehder.com

PROJECT NO.: 151-2876.011 DRAWING FILE: 2876011.DWG

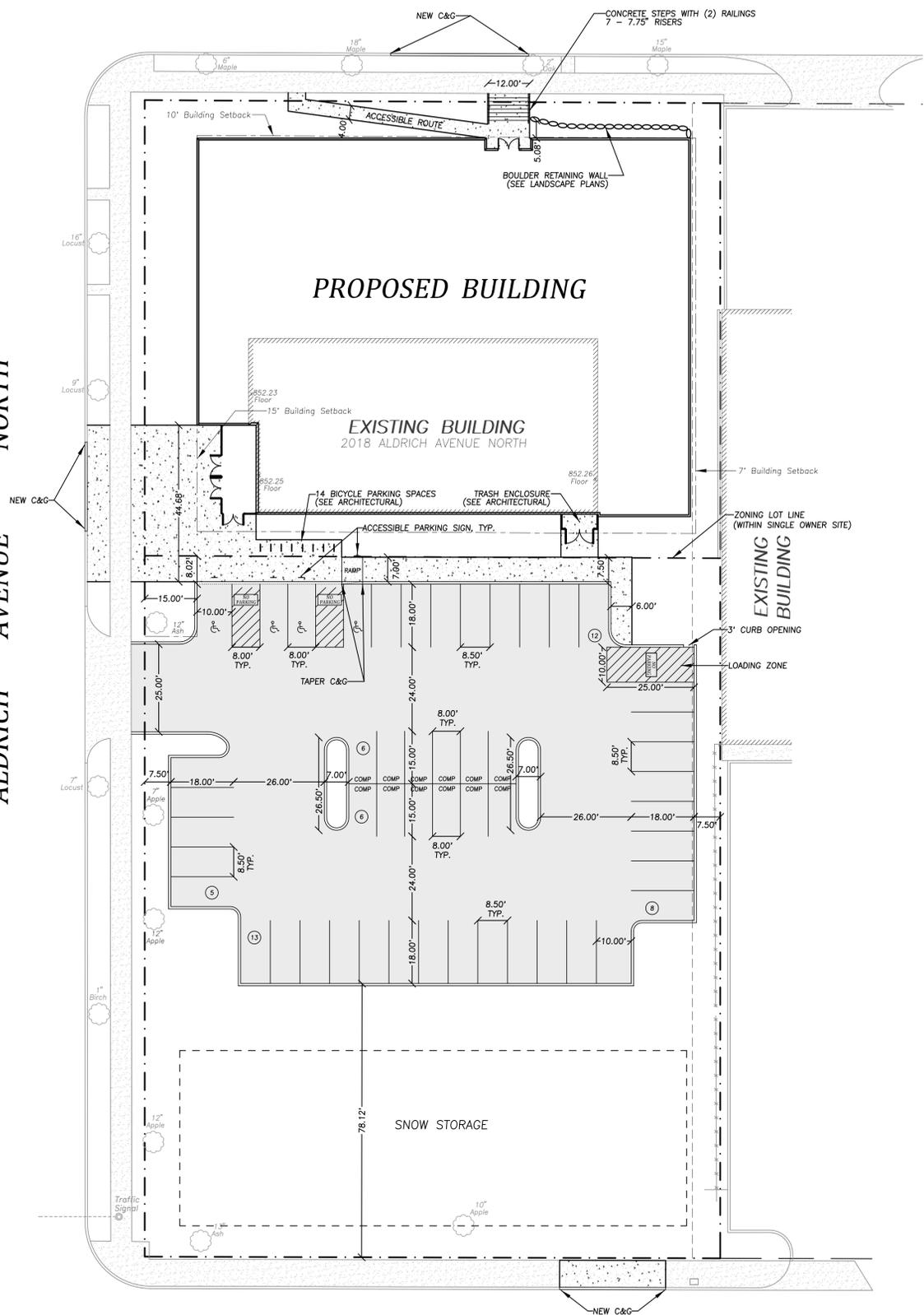
I hereby certify that this plan was prepared by me or a duly Licensed Professional Engineer under the laws of the State of Minnesota.
 Name: Benton G. Ford Date: 12-11-15 Reg. No.: 24392

11-23-15	PDR SUBMITTAL	ISSUED	CITY OF MINNEAPOLIS
12-11-15	SITE PLAN REVIEW	DEMOLITION & EROSION CONTROL PLAN	SAINTURRY COVENANT CHURCH
SHEET NUMBER			C1

21ST AVENUE NORTH

NORTH
ALDRICH AVENUE

WEST BROADWAY



TOTAL SITE DATA

Site Area = 54,425 square feet
 Impervious Area = 33,987 square feet (62.4%)
 Pervious Area = 20,438 square feet
 Disturbed Area = 49,658 square feet

NORTH PORTION OF SITE ZONED "OR2" TO BE REVIEWED AND APPROVED BY SITE PLAN REVIEW AND VARIANCE FOR LOADING AREA LOCATED ON SOUTH "C3S" ZONING LOT W/50 OFF-SITE SHARED PARKING WITHIN 500'

SITE DATA (OR2 ZONED LOT)

Site Area = 21,440 square feet
 Impervious Area = 17,066 square feet (79.6%)
 Pervious Area = 4,374 square feet

PARKING REQUIREMENTS (OR2 ZONED LOT)

6000 SF of worship assembly + 1500 SF of assembly overflow (adjacent space) = 7500 SF total

7500 SF @ occupant load of 15 SF per occupant = 500 occupants

City of Minneapolis minimum parking standard is 10% of occupant load for religious assembly = 50 parking stalls

Bicycle parking incentive: Minimum parking capacity may be reduced by 10%, where bicycle parking spaces are provided equal to or greater than 25% of the number of required automobile stalls.

Therefore minimum bicycle parking spaces = required parking stalls X 25% = 12.5 (13 bicycle parking spaces). This would allow for an automobile stall reduction of 10% of minimum required = 5 parking stalls.

Total Minimum required parking spaces (with bicycle incentive, 13 spaces) = 50 - 5 = 45 parking stalls

Maximum required parking spaces of 40% = 200 parking stalls

Accessible spaces required = 3
 Accessible spaced provided = 4

Loading area requirements:
 (1) 10'X25' loading space required.
 (1) 10'X25' loading spaces provided.

Trash/recycling area requirements:
 (1) screened trash/recycling enclosure required.
 (1) provided.

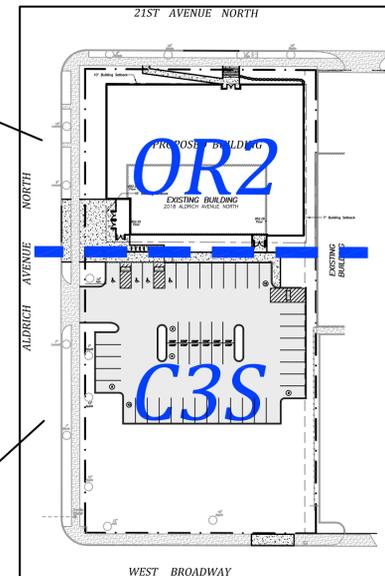
SOUTH PORTION OF SITE ZONED "C3S" AND PART OF THE WEST BROADWAY OVERLAY DISTRICT TO BE REVIEWED AND APPROVED BY INTERIM USE PERMIT.

SITE DATA (C3S ZONED LOT)

Site Area = 32,985 square feet
 Impervious Area = 16,921 square feet (51.3%)
 Pervious Area = 16,064 square feet

PARKING STALLS PROVIDED (C3S ZONED LOT)

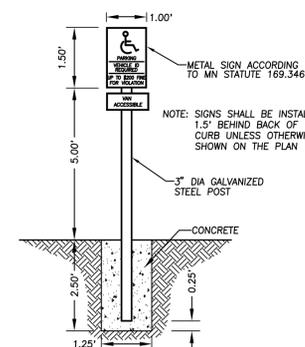
STANDARD STALLS	COMPACT STALLS	ACCESSIBLE STALLS	TOTAL STALLS
34	12	4	50



ZONING KEY MAP

SITE NOTES

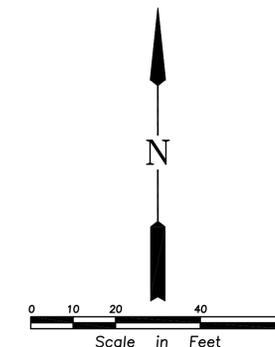
- ① - All dimensions between curbing and to radius points are to face of curb.
- ② - All dimensions abutting curbs are to face of curb.



1 ACCESSIBLE PARKING SIGN AND POST
NO SCALE

LEGEND

- PROPOSED CONCRETE
- PROPOSED STD. DUTY BITUMINOUS
- BOUNDARY/ROW/BLOCK LINE
- EASEMENT
- BUILDING/PARKING SETBACK LINE



Issued

11-23-15
12-11-15
PDR SUBMITTAL
SITE PLAN REVIEW

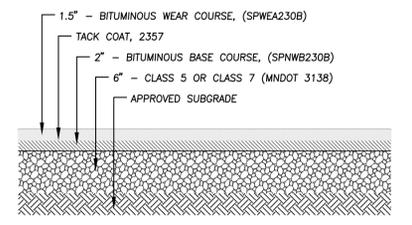
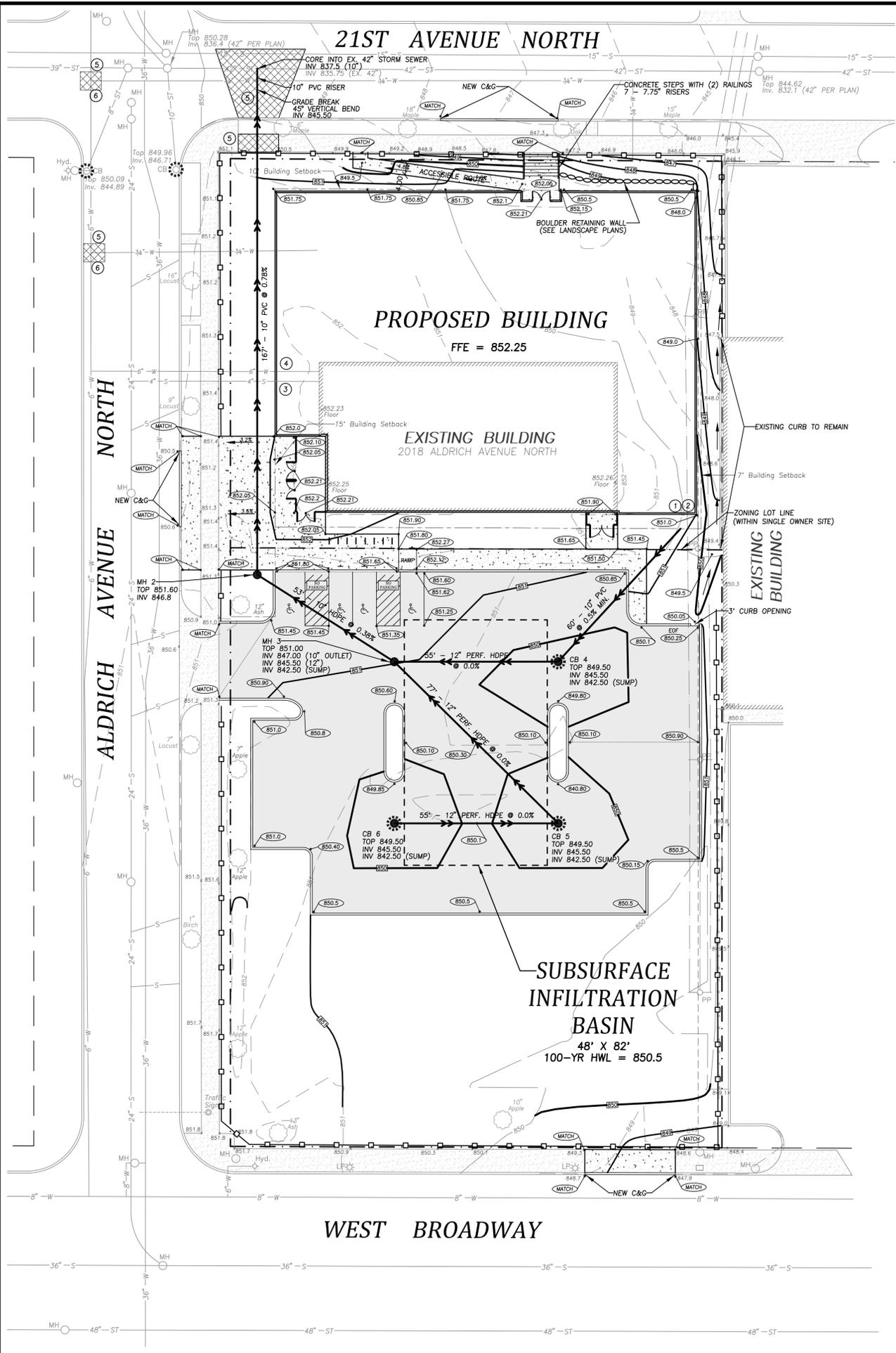
SITE DIMENSION PLAN
 SANCTUARY COVENANT CHURCH
 CITY OF MINNEAPOLIS

SHEET NUMBER

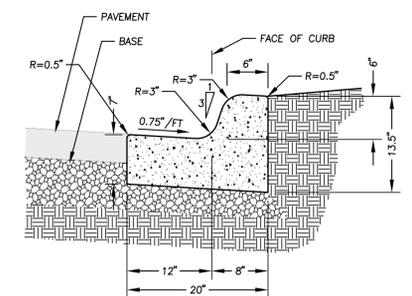
C2

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
 Name: Benton G. Ford Date: 12-11-15
 Reg. No. 24392

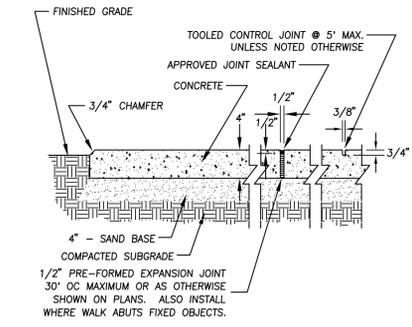
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 Civil Engineers, Planners and Land Surveyors
 3440 Federal Drive, Suite 110 • Eagan, Minnesota, 55122
 651-452-5051 • Fax: 651-452-9797 • email: info@rehder.com
 PROJECT NO.: 151-2876.011 DRAWING FILE: 2876011.DWG



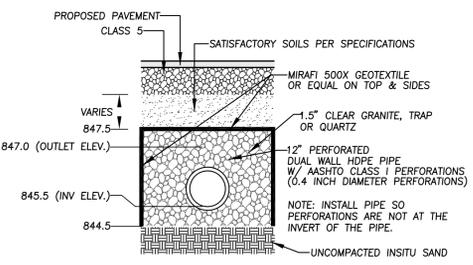
1
C3
PAVEMENT SECTION
NO SCALE



2
C3
B612 CONCRETE CURB & GUTTER
NO SCALE



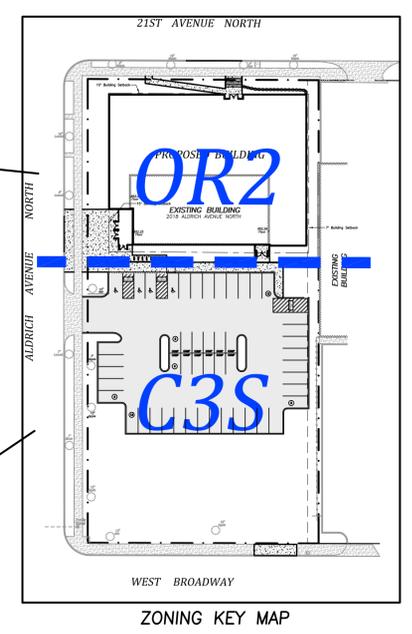
3
C3
CONCRETE SIDEWALK
NO SCALE



4
C3
SUBSURFACE INFILTRATION BASIN
CROSS SECTION
NO SCALE

NORTH PORTION OF SITE ZONED "OR2" TO BE REVIEWED AND APPROVED BY SITE PLAN REVIEW AND VARIANCE FOR LOADING AREA LOCATED ON SOUTH "C3S" ZONING LOT W/50 OFF-SITE SHARED PARKING WITHIN 500'

SOUTH PORTION OF SITE ZONED "C3S" AND PART OF THE WEST BROADWAY OVERLAY DISTRICT TO BE REVIEWED AND APPROVED BY INTERIM USE PERMIT.



GRADING NOTES

- 1 - All elevations shown are to final surfaces.
- 2 - Contractor is responsible for obtaining a National Pollutant Discharge Elimination System (NPDES) General Storm Water Permit for Construction Activity before construction begins.

UTILITY NOTES

- 1 - All sewer services to extend to a point 5' from proposed building.
- 2 - Verify all service locations and inverts with mechanical contractor before construction.
- 3 - Reuse existing sanitary sewer service to 2018 Aldrich Avenue North.
- 4 - Reuse existing water service to 2018 Aldrich Avenue North.
- 5 - Restore street, walk and curb/gutter matching existing pavement sections.
- 6 - Coordinate removal/abandonment of existing water services at the main per City standards.
- 7 - Cap/remove unused sanitary sewer services per City standards.

MINNEAPOLIS STANDARD STORM WATER NOTES

The Contractor, property owner or responsible party shall contact Minneapolis Surface Waters and Sewers 48 hours prior to any excavation or construction related to or in the location of the proposed Stormwater Management BMP (Contact Paul Chellsen, 673-2406 or paul.chellsen@minneapolismn.gov).

Upon the project's completion the General Contractor, Property Owner or Responsible Party shall provide to the Department of Public Works a Final Stormwater Management Report including record drawings. This report will serve as a means of verification that the intent of the approved stormwater management design has been met. This final report shall substantiate that all aspects of the original design have been adequately provided for by the construction of the project.

CATCH BASIN/MANHOLE SCHEDULE

STRUCTURE NO.	BARREL SIZE	NEENAH CASTING NO.
MH 1	48"	R-1642B
MH 2	48"	R-1642B
MH 3	48"	R-1642B
CB 4	27"	R-2573-1C
CB 5	48"	R-2573-1C
CB 6	27"	R-2573-1C

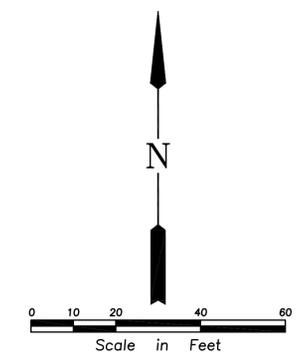
NON-STORMWATER DISCHARGES

The proposed structure and associated site improvements should not, to the best of our knowledge, produce any non-stormwater discharges. The soil borings do not reveal that the proposed structure will fall within a zone that produces continuous or regular groundwater discharges.

As typical, the structure will, however, have a foundation dewatering system and an elevator pit tied to a sump pump. When that system does receive intermittent and/or nuisance flow, it is assumed that the flow will be the result of stormwater infiltrating the surface and entering the drain tile system. The sump pump for the system will discharge the stormwater at grade, adjacent to the building and, not, into a direct connection to the storm sewer system. Therefore, any flows generated by the drain tile/sump pump should be rare and be fully disconnected from the City's storm water infrastructure.

LEGEND

- PROPOSED CATCH BASIN/MANHOLE
- PROPOSED STORM SEWER
- ▨ PROPOSED CONCRETE
- ▨ PROPOSED STD. DUTY BITUMINOUS
- ▨ PROPOSED CONTOUR
- PROPOSED ELEVATION
- SILT FENCE
- INLET PROTECTION DEVICE
- BOUNDARY/ROW/BLOCK LINE
- - - EASEMENT
- BUILDING/PARKING SETBACK LINE
- DRAINAGE ARROW
- W EXISTING WATERMAIN
- S EXISTING SANITARY SEWER
- ST EXISTING STORM SEWER
- 980 EXISTING CONTOUR
- x 995.50 EXISTING ELEVATION



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PROJECT NO.: 151-2876.011 DRAWING FILE: 2876011.DWG

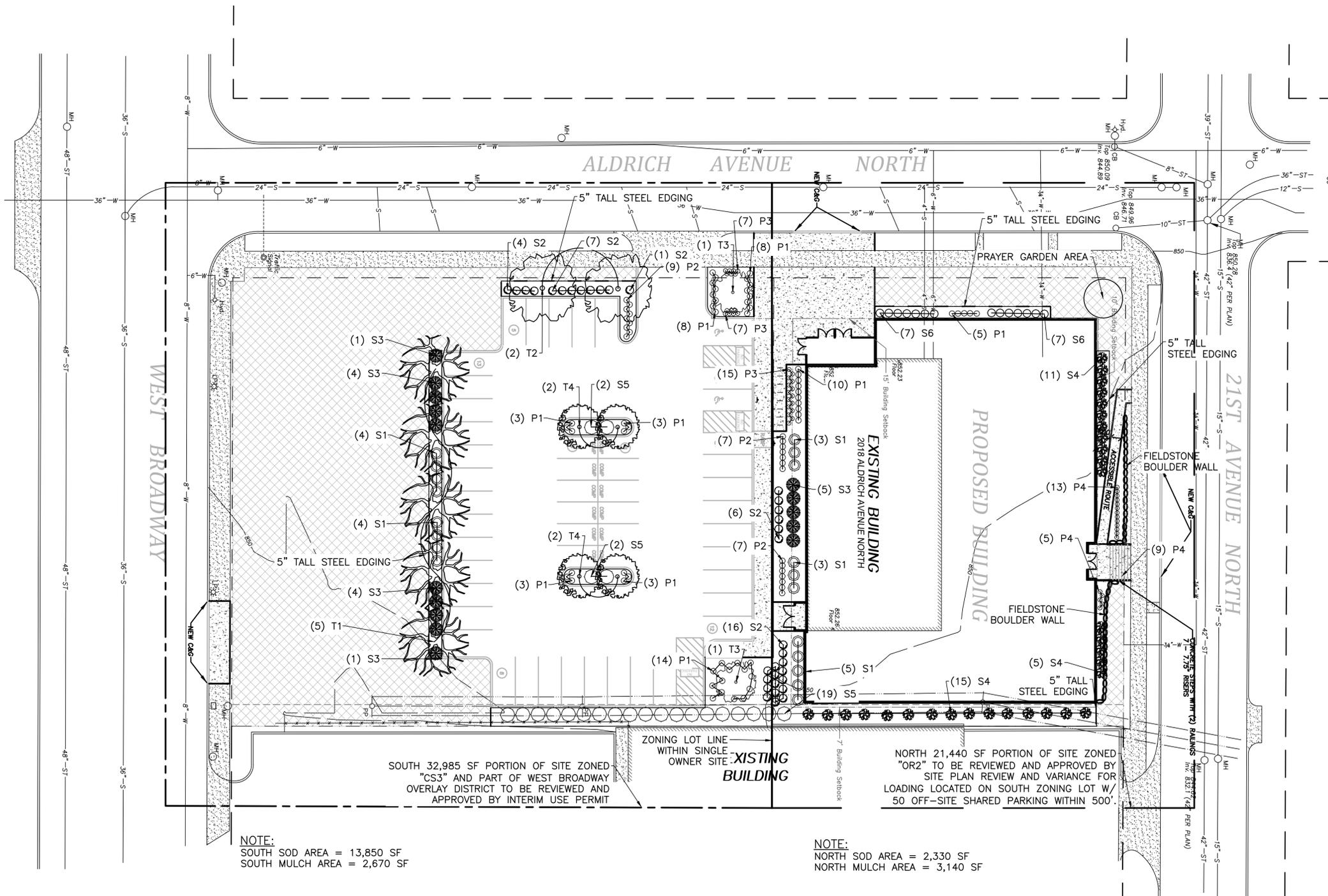
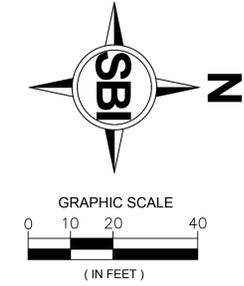
I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Name: Benton G. Ford Date: 12-11-15 Reg. No.: 24392

Issued
11-23-15 PDR SUBMITTAL
12-11-15 SITE PLAN REVIEW

GRADING, DRAINAGE & UTILITY PLAN
SANCTUARY COVENANT CHURCH
CITY OF MINNEAPOLIS

SHEET NUMBER
C3



NOTE:
SOUTH SOD AREA = 13,850 SF
SOUTH MULCH AREA = 2,670 SF

NOTE:
NORTH SOD AREA = 2,330 SF
NORTH MULCH AREA = 3,140 SF

SOUTH 32,985 SF PORTION OF SITE ZONED "CS3" AND PART OF WEST BROADWAY OVERLAY DISTRICT TO BE REVIEWED AND APPROVED BY INTERIM USE PERMIT

NORTH 21,440 SF PORTION OF SITE ZONED "OR2" TO BE REVIEWED AND APPROVED BY SITE PLAN REVIEW AND VARIANCE FOR LOADING LOCATED ON SOUTH ZONING LOT W/ 50' OFF-SITE SHARED PARKING WITHIN 500'

Quantity	ID	Common Name	Scientific Name	Size	Height	Width
TREES						
5	T1	Autumn Blaze Maple	<i>Acer x freemanii 'JeffersRed'</i>	3" B&B	50-60'	25'
2	T2	Skyline Honeylocust	<i>Gleditsia triacanthos var. inermis 'Skycole'</i>	3" B&B	50'	25'
2	T3	Spring Snow Crabapple	<i>Malus 'Spring Snow'</i>	3" B&B	25-30'	15'
4	T4	Crimson Spire Oak	<i>Quercus alba x Quercus robur</i>	3" B&B	40'	15'
SHRUBS						
19	S1	Arctic Fire Dogwood	<i>Cornus stolonifera 'Farrow'</i>	#5 cont.	5'	4'
14	S2	Dwarf Bush Honeysuckle	<i>Diervilla lonicera</i>	#5 cont.	3'	3'
35	S3	Dart's Gold Ninebark	<i>Physocarpus opulifolius 'Darts Gold'</i>	#5 cont.	5'	5'
31	S4	Taunton Yew (Evergreen)	<i>Taxus x media 'Taunton'</i>	#5 cont.	3'	4'
23	S5	Compact American Viburnum	<i>Viburnum trilobum 'Bailey Compact'</i>	#5 cont.	6'	5'
14	S6	Chicagoland Green Boxwood	<i>Buxus 'Glencoe'</i>	#7 cont.	3'	3'
PERENNIALS						
57	P1	Eldorado Feather Reed Grass	<i>Calamagrostis x acutiflora 'Eldorado'</i>	#1 cont.	4'	2'
23	P2	Red Switch Grass	<i>Panicum virgatum 'Shenandoah'</i>	#1 cont.	3'	2'
29	P3	Purple Emperor Sedum	<i>Sedum x 'Purple Emperor'</i>	#1 cont.	2'	1.5'
18	P4	Fanal Astilbe	<i>Astilbe x arendsii 'Fanal'</i>	#1 cont.	2'	1.5'

ALL PLANTING AREAS TO RECEIVE 3" DEEP MULCH LAYER
SEE SHEET L1.2 FOR PLANTING NOTES AND DETAILS



I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Registered Architect under the laws of the state of:

MINNESOTA

SIGNATURE: _____
ARCHITECT: _____
REGISTRATION NUMBER: _____
DATE: _____
DRAWN BY: _____
CHECKED BY: _____

PROJECT TITLE
SANCTUARY COVENANT CHURCH
MINNEAPOLIS, MINNESOTA

Project Number 4469

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No.	Date	Appr	Revision	Notes

Phase
SITE_PLAN REVIEW

Sheet Title
LANDSCAPE PLAN

Drawing No.
L1.1

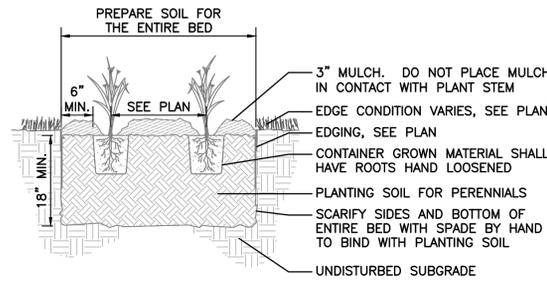
GENERAL NOTES

- CONTRACTOR SHALL INSPECT THE SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS RELATING TO THE NATURE AND SCOPE OF WORK.
- CONTRACTOR SHALL VERIFY PLAN LAYOUT AND BRING TO THE ATTENTION OF THE LANDSCAPE ARCHITECT ANY DISCREPANCIES WHICH MAY COMPROMISE THE DESIGN OR INTENT OF THE LAYOUT.
- CONTRACTOR SHALL ASSURE COMPLIANCE WITH APPLICABLE CODES AND REGULATIONS GOVERNING THE WORK AND MATERIALS SUPPLIED.
- CONTRACTOR SHALL PROTECT EXISTING ROADS, CURBS/GUTTERS, WALKWAYS, TREES, LAWNS AND SITE ELEMENTS DURING CONSTRUCTION OPERATIONS. DAMAGE TO SAME SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL VERIFY ALIGNMENT AND LOCATION OF UNDERGROUND AND ABOVE GRADE UTILITIES AND PROVIDE THE NECESSARY PROTECTION FOR SAME BEFORE CONSTRUCTION BEGINS.
- CONTRACTOR SHALL COORDINATE THE PHASES OF CONSTRUCTION AND PLANTING INSTALLATION WITH OTHER CONTRACTORS WORKING ON SITE.
- EXISTING CONTOURS, TRAILS, VEGETATION, CURB/GUTTER AND OTHER ELEMENTS ARE BASED UPON INFORMATION SUPPLIED TO THE LANDSCAPE ARCHITECT BY OTHERS. CONTRACTOR SHALL VERIFY DISCREPANCIES PRIOR TO CONSTRUCTION AND NOTIFY LANDSCAPE ARCHITECT OF SAME.
- CONTRACTOR SHALL REVIEW THE SITE FOR DEFICIENCIES IN SITE CONDITIONS WHICH MIGHT NEGATIVELY AFFECT PLANT ESTABLISHMENT, SURVIVAL OR WARRANTY. UNDESIRABLE SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
- SYMBOLS ON PLAN DRAWING TAKE PRECEDENCE OVER SCHEDULES IF DISCREPANCIES IN QUANTITIES EXIST.
- CONTRACTOR SHALL INSTALL STEEL EDGING (5" TALL x 3/8" THICK) AT ALL MULCH BED BORDERS THAT ARE NOT ADJACENT TO PAVEMENT OR THE BUILDING FOUNDATION.

PLANTING NOTES

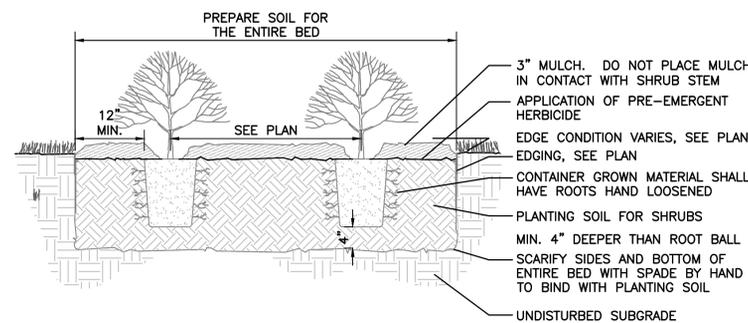
- ALL PLANT MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE "AMERICAN STANDARD FOR NURSERY STOCK," AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL PLANTS SHALL BE TRUE TO TYPE, HAVE NORMAL AND WELL DEVELOPED BRANCHES AND HAVE A VIGOROUS AND FIBROUS ROOT SYSTEM. ALL PLANTS SHALL ALSO BE FREE OF ANY DEFECTS, DISEASES, SUNCLAD INJURIES, ABRASIONS, INSECT EGGS, BORERS AND ALL FORMS OF INFESTATION. ALL NEW PLANTS SHALL BE NURSERY GROWN IN SIMILAR CLIMATIC CONDITIONS AS THAT FOUND IN THE PROJECT AREA.
- STAKE PROPOSED PLANTING LOCATIONS PER PLAN FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALL.
- INSTALL PLANT MATERIAL ONCE FINAL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- INSTALL PLANT MATERIALS PER PLANTING DETAILS.
- SUBSTITUTION REQUESTS FOR PLANT MATERIAL TYPE & SIZE SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR CONSIDERATION PRIOR TO BIDDING. ALL SUBSTITUTIONS AFTER BIDDING MUST BE APPROVED BY LANDSCAPE ARCHITECT AND ARE SUBJECT TO CONTRACT ADJUSTMENTS.
- ADJUSTMENTS IN LOCATION OF PROPOSED PLANT MATERIALS MAY BE NEEDED IN THE FIELD. LANDSCAPE ARCHITECT MUST BE NOTIFIED PRIOR TO ADJUSTMENT OF ANY PLANTS.
- APPLY PRE-EMERGENT HERBICIDE (PREEN OR APPROVED EQUAL) IN ALL PLANTING BEDS FOLLOWED BY SHREDDED HARDWOOD MULCH.
- INSTALL 3" DEEP SHREDDED HARDWOOD MULCH IN ALL PLANTING BEDS. REMOVE ALL MULCH FROM TOUCHING PLANT STEMS - PLANT STEMS SHOULD NOT BE IN DIRECT CONTACT WITH MULCH.

LANDSCAPE ARCHITECT CONTACT:
MITCHELL COOKAS
MCOOKAS@SOLUTIONBLUE.COM
651-289-5534



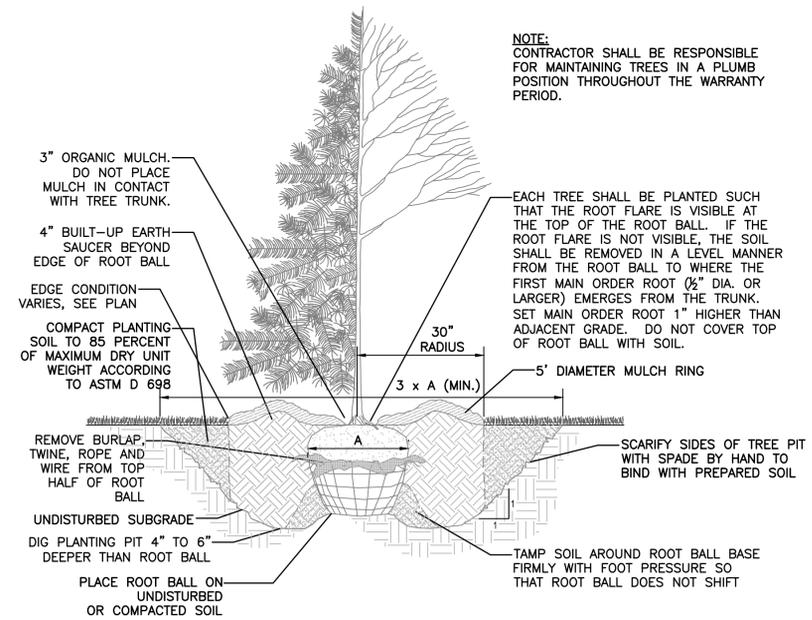
1 PERENNIAL PLANTING DETAIL

NTS



2 SHRUB PLANTING DETAIL

NTS



3 TREE PLANTING DETAIL

NTS

NOTE:
CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING TREES IN A PLUMB POSITION THROUGHOUT THE WARRANTY PERIOD.



651-294-0038
www.SolutionBlue.com
318 Cedar Street
Saint Paul, MN 55101

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Registered Architect under the laws of the state of:

MINNESOTA

SIGNATURE: _____
ARCHITECT: _____
REGISTRATION NUMBER: _____
DATE: _____
DRAWN BY: _____
CHECKED BY: _____

PROJECT TITLE
SANCTUARY COVENANT CHURCH
MINNEAPOLIS, MINNESOTA

Project Number 4469

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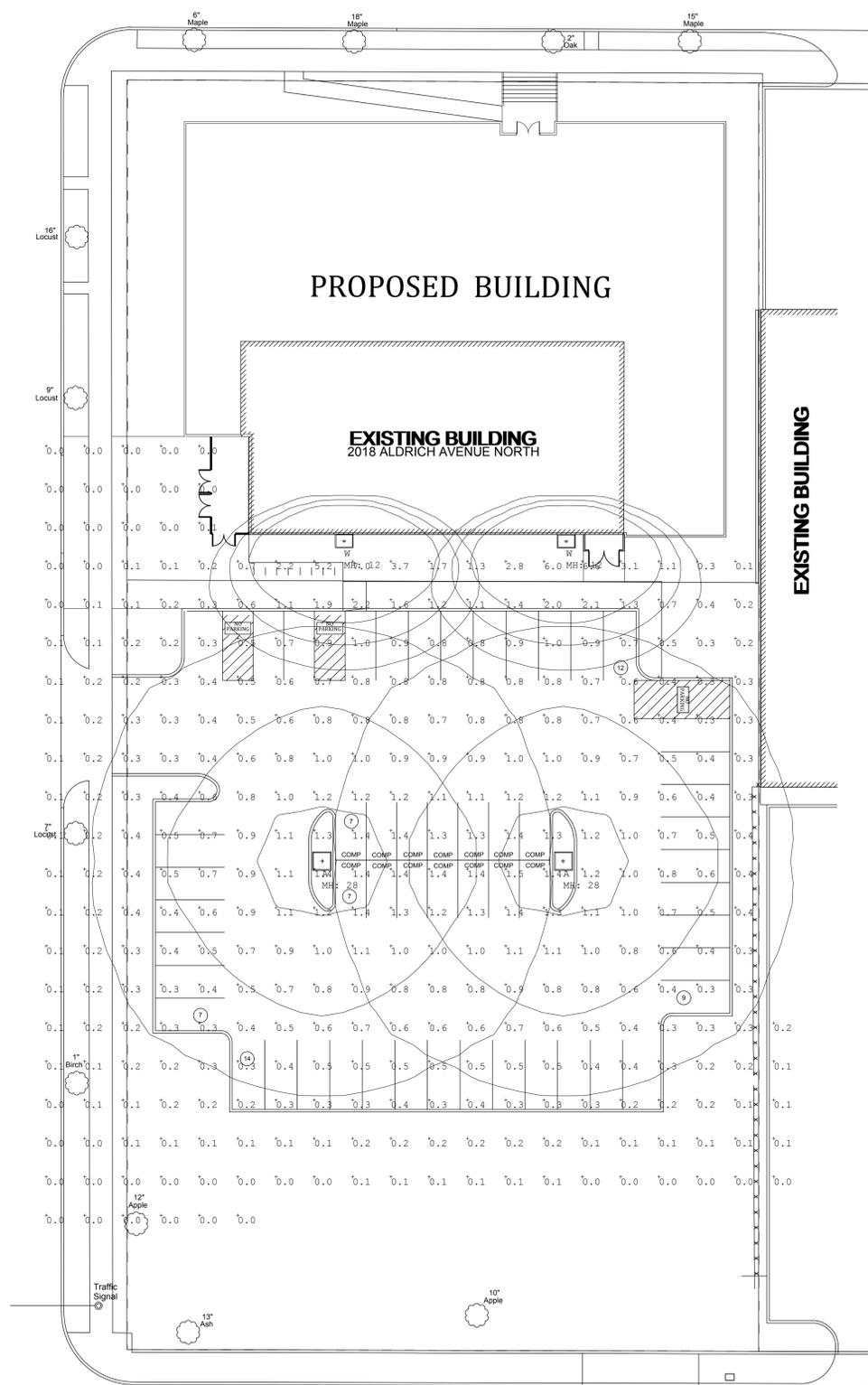
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No.	Date	Appr.	Revision Notes

No. | Date | Issue Notes
Phase
SITE_PLAN REVIEW
Sheet Title
LANDSCAPE DETAILS
Drawing No.
L1.2

21ST AVENUE NORTH

NORTH
ALDRICH AVENUE
ALDRICH AVENUE



WEST BROADWAY

MAINTAINED LIGHT LEVELS USING
LEOTEK LED FIXTURE.
4000K COLOR TEMP.
FULL CUTOFF
25' TALL HAPCO POLE.

ALD, Inc.
ARCHITECTURAL LIGHTING DESIGNS, INC.
2920 ANTHONY LANE
ST. ANTHONY, MN 55418
612-252-4100, 612-252-4141 fax
CONTACT: SCOTT HARMES
sharmes@aldmpls.com

Filename: E:\STATION 19\SANCTUARY COVENANT\ALDLTG.AGI

Qty	Symbol	Label	Description	Arrangement	LLF	Lum. Lumens	Lum. Watts	BUG Rating
2	□	A	LEOTEK ARI3-10M-MV-NW-5-xx-700/25' HAPCO SSA POLE	SINGLE	0.855	9215	86	B3-U0-G2
2	□	W	LEOTEK ES1-24H-MV-NW-W-XX-700	SINGLE	0.855	5771	58.6	B2-U0-G1

Date: 11/19/2015

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL AREA	Illuminance	Fc	0.62	7.0	0.0	N.A.	N.A.

DISCLAIMER
This lighting plan specifies luminaires supplied by ALD. Any deviation from this plan or use of luminaires other than ALD products will require full submittal of fixture sample, drawings, and lighting plan to city, engineer and landscape architect for prior approval.

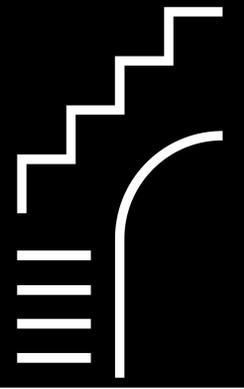
These calculations are NOT valid for owner or city approval using any "non-ALD represented product" or fixtures not shown on this plan. Fixtures must be provided by ALD.

Calculations have been performed with our best interpretation of the details given to us. Some differences between measured and calculated results may occur due to intolrances in calculation methods, testing procedures, component performance, measurement techniques and field conditions such as voltage, temperature variations, lamp manufacturer variations, and other variables. Calculations do not take into consideration objects such as, but not limited to, trees, buildings, pavement, sidewalk, or cars. Calculation values represent horizontal (i.e. light meter facing straight up) illuminance FC levels (unless otherwise noted). If the real environment conditions do not match the input data, differences will occur between measured values and calculated values. ALD is not responsible for acquiring or interpreting any local lighting codes.

Calculations do not take into account for elevation changes.

TYPE A
FULL CUTOFF
25' TALL HAPCO POLE.
3' TALL CONCRETE BASE

TYPE W
WALL MOUNTED
COORDINATE LOCATION w/ARCHITECT
12' MOUNT HEIGHT



STATION NINETEEN

Architects - Incorporated

2001 UNIVERSITY AVENUE SOUTHEAST SUITE 100

MINNEAPOLIS, MINNESOTA 55414

PHONE (612) 623.1800
FAX (612) 623.0012

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Registered Architect under the laws of the State of:

MINNESOTA

SIGNATURE

ARCHITECT:

REGISTRATION NUMBER:

DATE: 12/11/2015

DRAWN BY:

CHECKED BY:

PROJECT TITLE

SANCTUARY COVENANT CHURCH

MINNEAPOLIS MINNESOTA

Project Number 4469

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1 11/23/15 PDR SUBMITTAL

No. Date Issue Notes

Phase **SITE PLAN REVIEW**

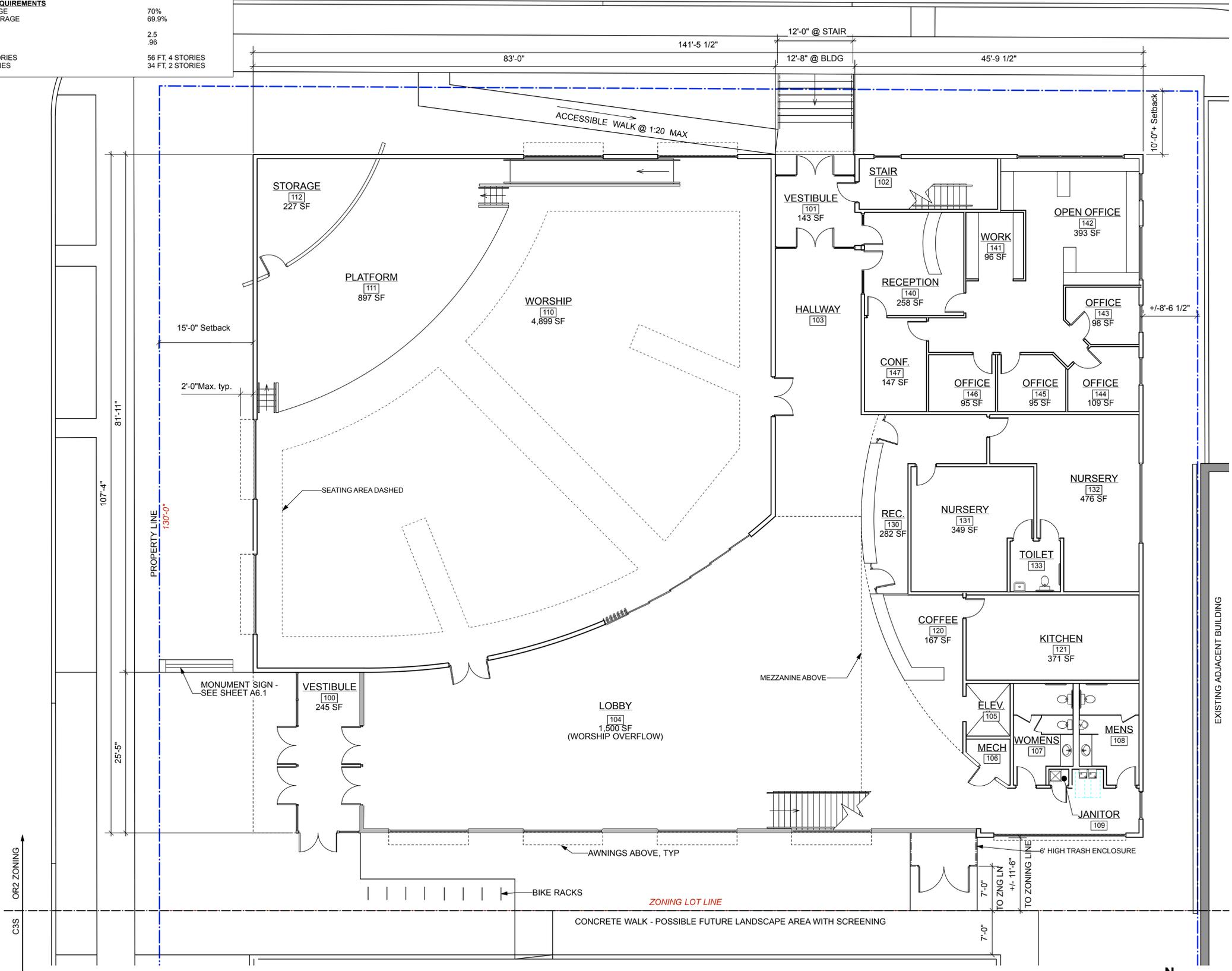
Sheet Title **SITE LIGHTING PLAN**

Drawing No.

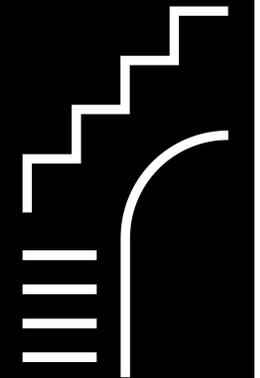
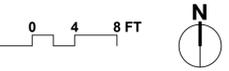
L2

SITE SUMMARY

GROSS BUILDING AREA	20,565 SF
UPPER LEVEL	5,570 SF
MAIN LEVEL	14,995 SF
EXISTING BUILDING FOOTPRINT	4,962 SF
NEW ADDITION FOOTPRINT	10,033 SF
GROSS SITE AREA	54,425 SF
OR2 "NORTH ZONING LOT" @ 2018 ALDRICH AVE N.	21,440 SF
C3S "SOUTH ZONING LOT" @ 718 WEST BROADWAY AVE	32,985 SF
OR2 BUILDING BULK REQUIREMENTS	
MAX BUILDING COVERAGE	70%
ACTUAL BUILDING COVERAGE	69.9%
MAX F.A.R. ALLOWABLE	2.5
ACTUAL F.A.R.	.96
MAXIMUM HEIGHT & STORIES	56 FT, 4 STORIES
ACTUAL HEIGHT & STORIES	34 FT, 2 STORIES



1 MAIN LEVEL FLOOR PLAN
Scale: 1/8" = 1'-0"



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SIGNATURE
ARCHITECT: **TOM PETERSON**
REGISTRATION NUMBER: **44417**
DATE: **12/11/2015**
DRAWN BY: **MM**
CHECKED BY: **NT**

PROJECT TITLE
SANCTUARY COVENANT CHURCH
MINNEAPOLIS, MINNESOTA

Project Number **4469**

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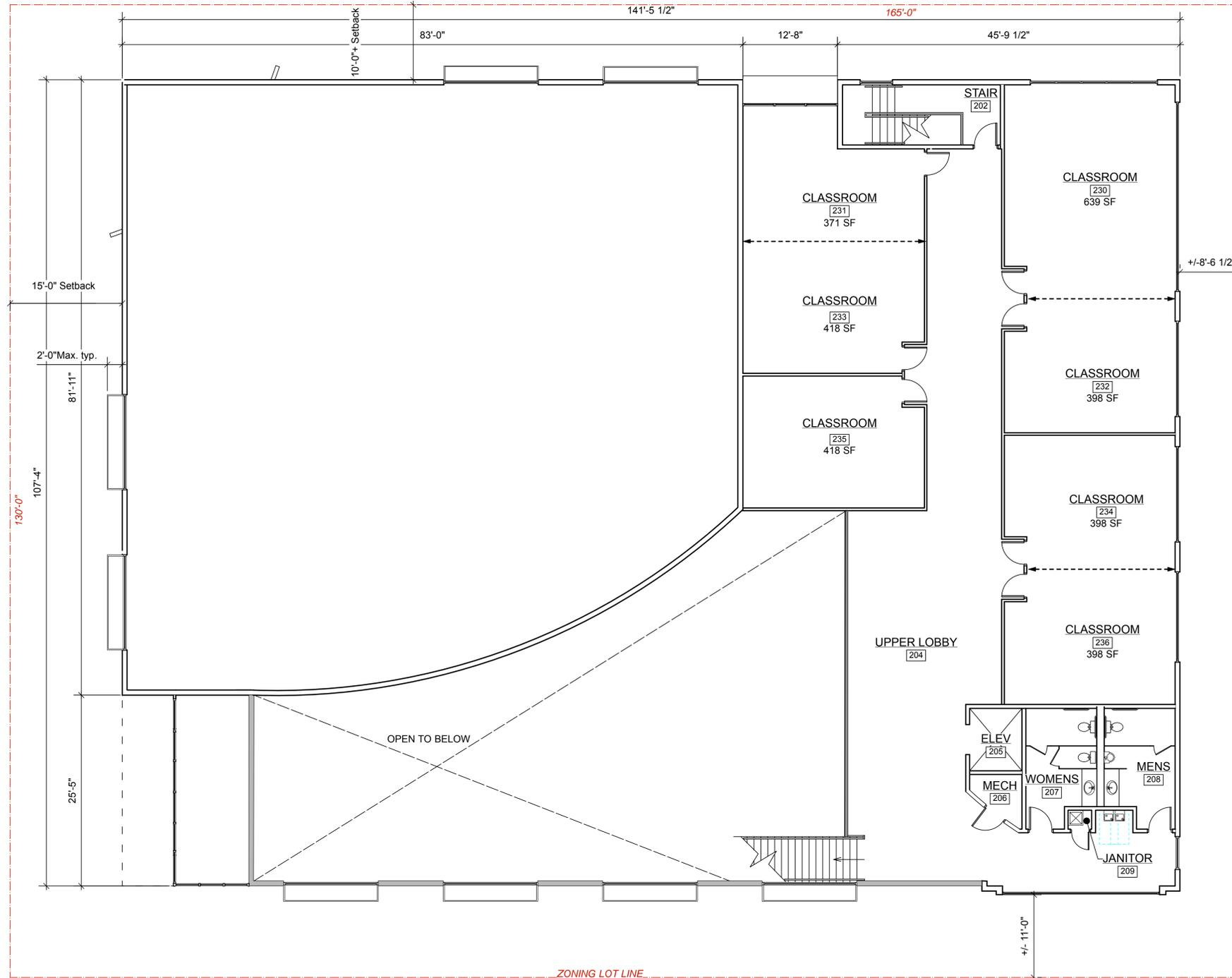
No.	Date	Issue Notes
1	11/23/15	PDR SUBMITTAL

Phase
SITE PLAN REVIEW

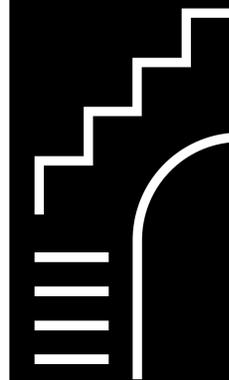
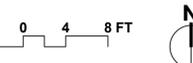
Sheet Title
MAIN LEVEL FLOOR PLAN

Drawing No.

A3.1



1 UPPER LEVEL FLOOR PLAN
A3.2 Scale: 1/8" = 1'-0"



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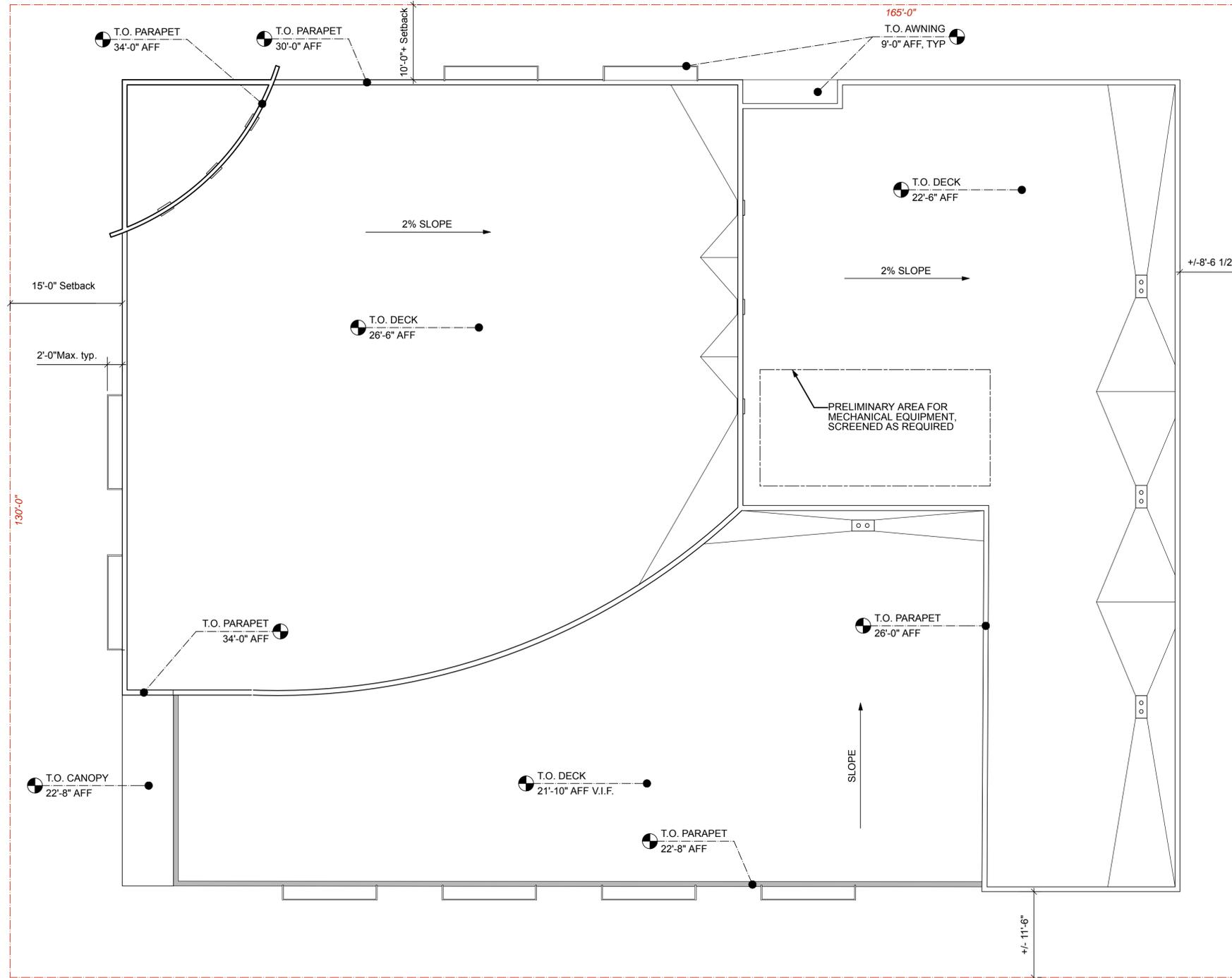
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Phase
SITE PLAN REVIEW

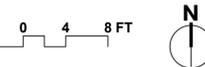
Sheet Title
UPPER LEVEL FLOOR PLAN

Drawing No.

A3.2



1 ROOF PLAN
A5.1 Scale: 1/8" = 1'-0"



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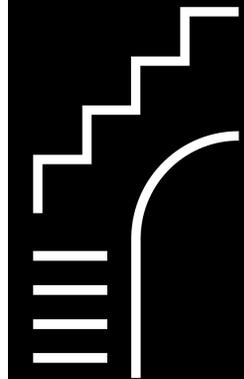
No.	Date	Appr	Revision Notes

No.	Date	Issue Notes
1	11/23/15	PDR SUBMITTAL

Phase
SITE PLAN REVIEW

Sheet Title
ROOF PLAN

Drawing No.
A5.1



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Phase

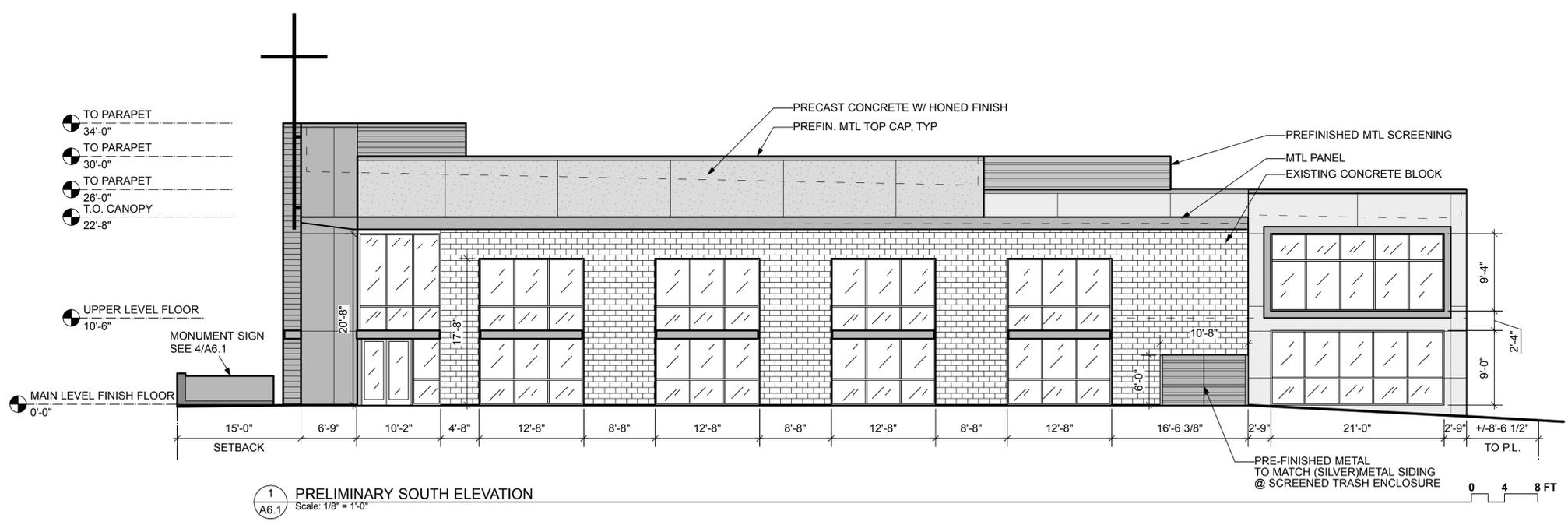
SITE PLAN REVIEW

Sheet Title

EXTERIOR ELEVATIONS

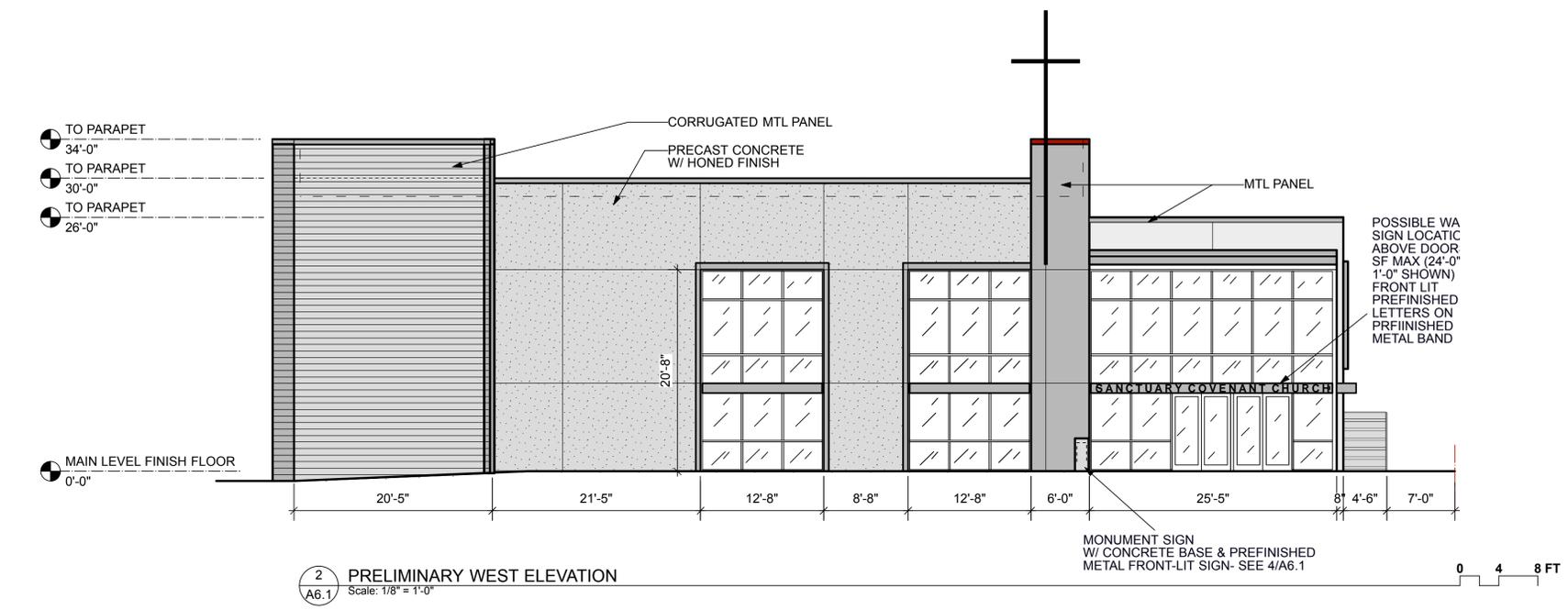
Drawing No.

A6.1



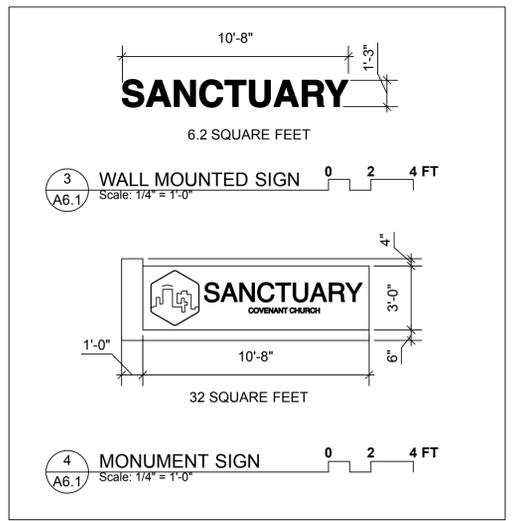
SOUTH ELEVATION MATERIALS

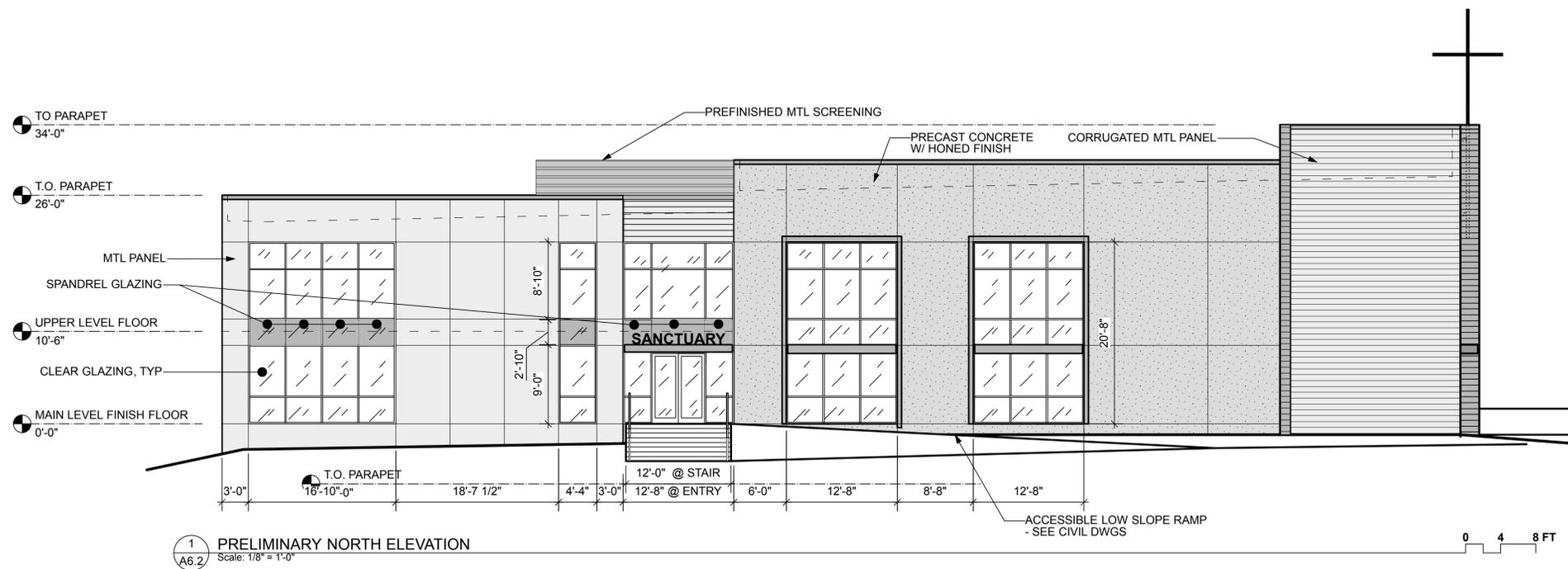
MATERIAL	PERCENTAGE
A. EXISTING SPLIT FACE CMU BLOCK	28%
B. PRECAST CONCRETE, HONED FINISH	13%
C. MTL PANEL	16%
D. CORRUGATED MTL PANEL	3%
E. GLAZING	36%
1ST FLOOR GLAZING	54%
2ND FLOOR GLAZING	25%



WEST ELEVATION MATERIALS

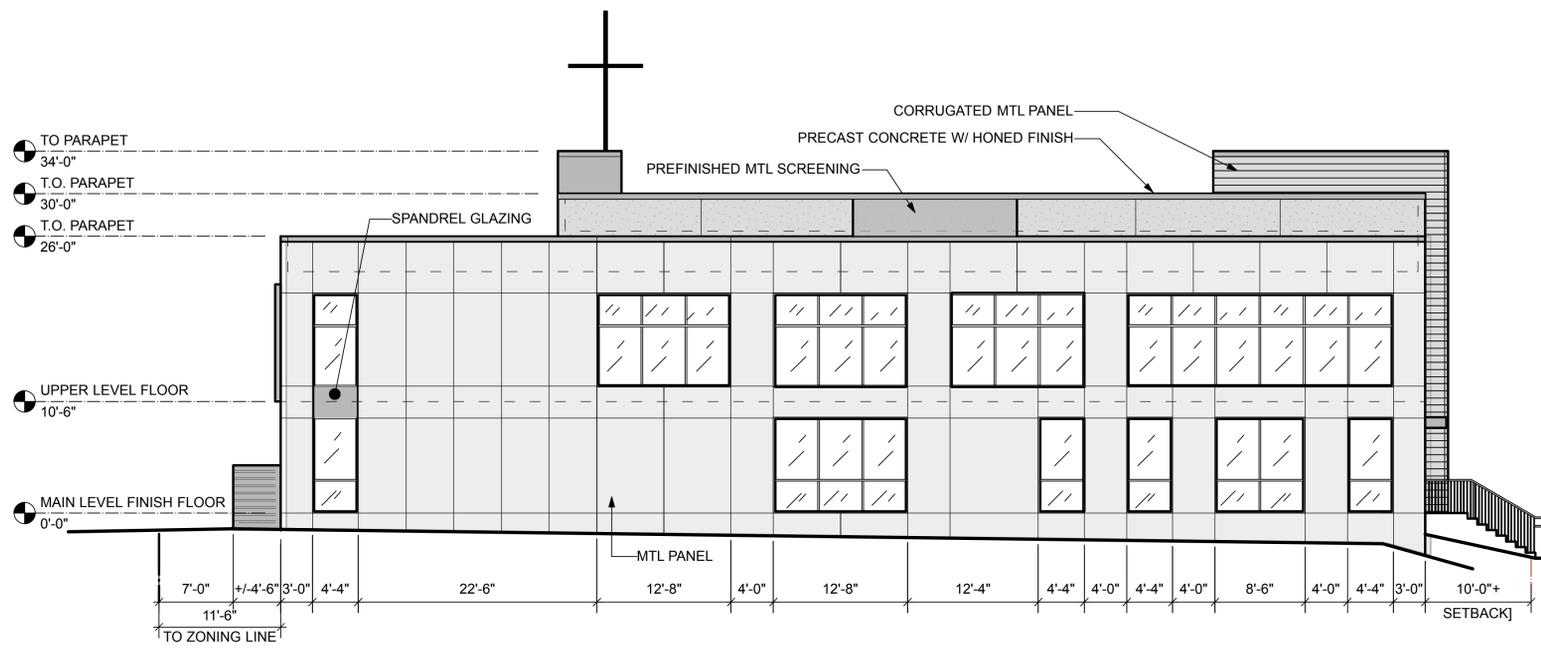
MATERIAL	PERCENTAGE
A. EXISTING SPLIT FACE CMU BLOCK	0%
B. PRECAST CONCRETE, HONED FINISH	34%
C. MTL PANEL	11%
D. CORRUGATED MTL PANEL	23%
E. GLAZING	31%
1ST FLOOR GLAZING	45%
2ND FLOOR GLAZING	24%





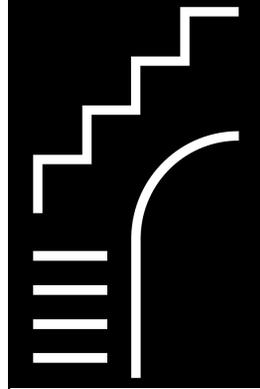
1
A6.2 PRELIMINARY NORTH ELEVATION
Scale: 1/8" = 1'-0"

NORTH ELEVATION MATERIALS		
MATERIAL	PERCENTAGE	
A. EXISTING SPLIT FACE CMU BLOCK	0%	
B. PRECAST CONCRETE, HONED FINISH	32%	
C. MTL PANEL	26%	
D. CORRUGATED MTL PANEL	20%	
E. GLAZING	22%	
1ST FLOOR GLAZING	30%	
2ND FLOOR GLAZING	17%	



2
A6.2 PRELIMINARY EAST ELEVATION
Scale: 1/8" = 1'-0"

EAST ELEVATION MATERIALS		
MATERIAL	PERCENTAGE	
A. EXISTING SPLIT FACE CMU BLOCK	0%	
B. PRECAST CONCRETE, HONED FINISH	9%	
C. MTL PANEL	60%	
D. CORRUGATED MTL PANEL	4%	
E. GLAZING	26%	
1ST FLOOR GLAZING	24%	
2ND FLOOR GLAZING	28%	



STATION NINETEEN

Architects - Incorporated

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No.	Date	Issue Notes

Phase
SITE PLAN REVIEW

Sheet Title
EXTERIOR ELEVATIONS

Drawing No.

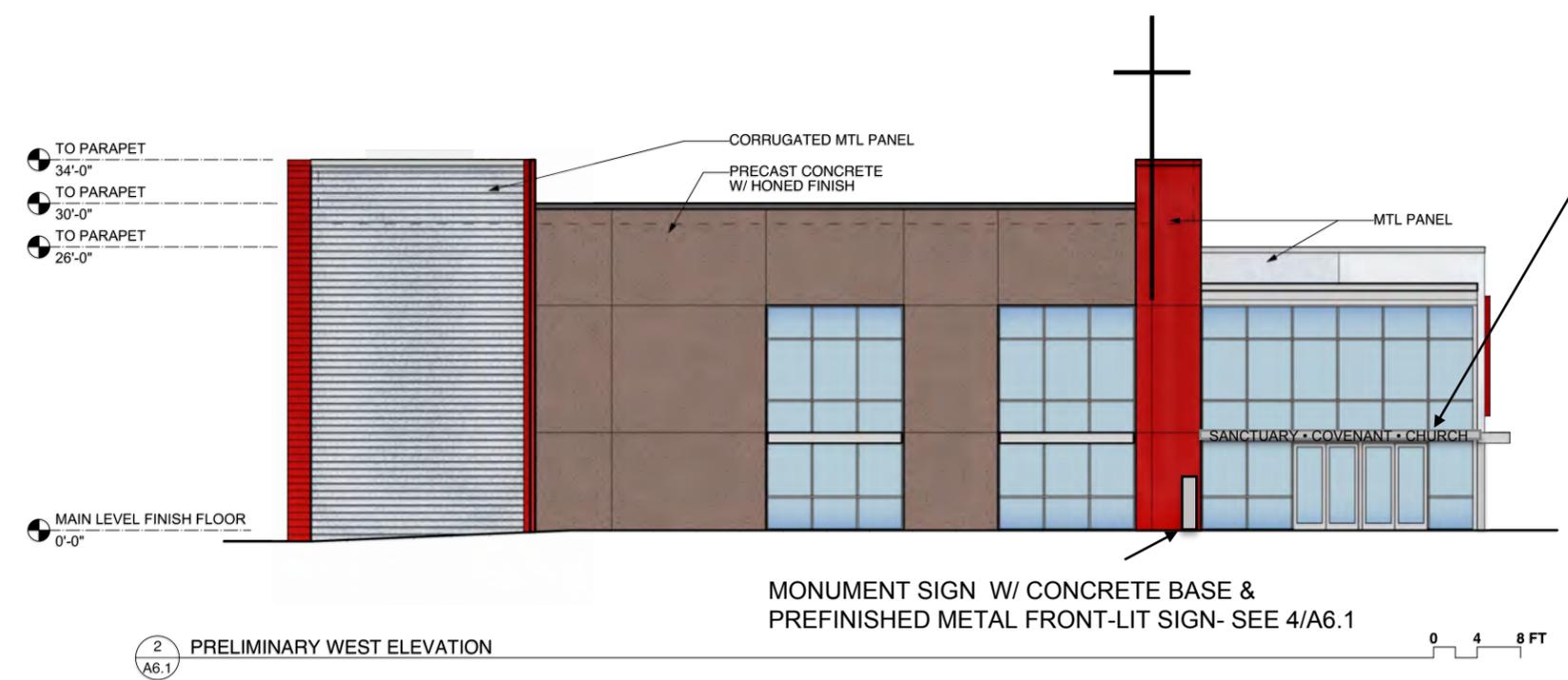
A6.2



SOUTH ELEVATION MATERIALS

MATERIAL	PERCENTAGE
A. EXISTING SPLIT FACE CMU BLOCK	28%
B. PRECAST CONCRETE, HONED FINISH	13%
C. MTL PANEL	16%
D. CORRUGATED MTL PANEL	3%
E. GLAZING	36%
1ST FLOOR GLAZING	54%
2ND FLOOR GLAZING	25%

1 PRELIMINARY SOUTH ELEVATION
 A6.1



WEST ELEVATION MATERIALS

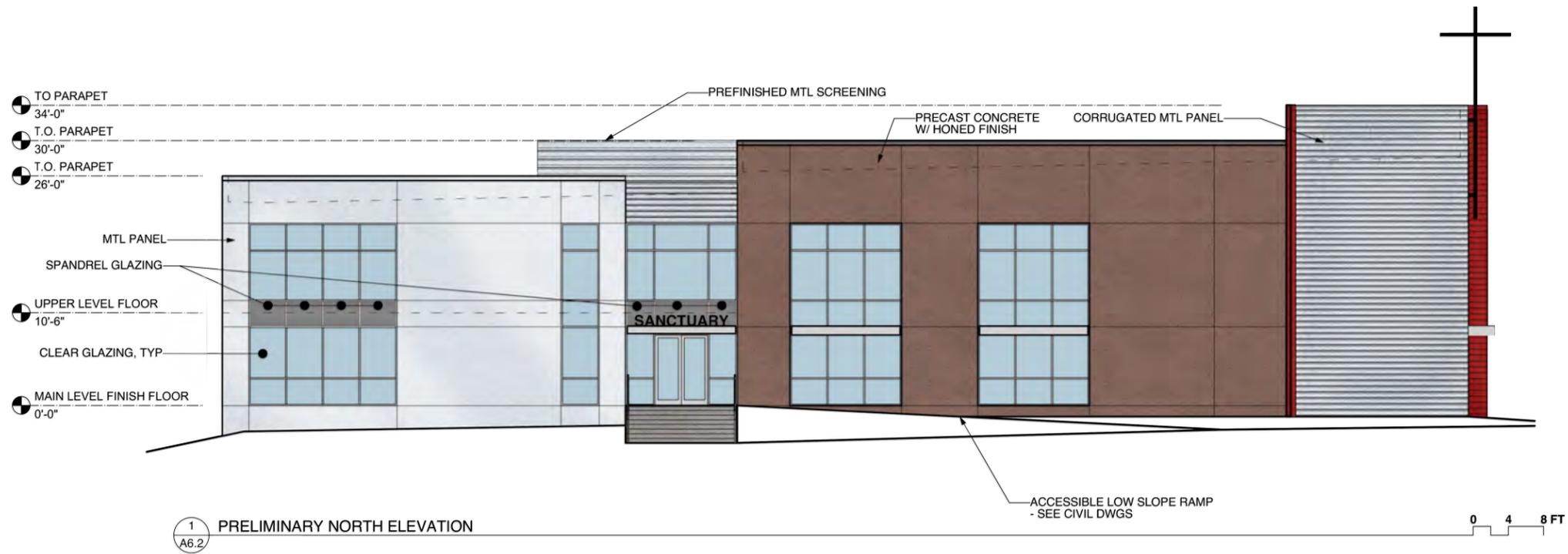
MATERIAL	PERCENTAGE
A. EXISTING SPLIT FACE CMU BLOCK	0%
B. PRECAST CONCRETE, HONED FINISH	34%
C. MTL PANEL	11%
D. CORRUGATED MTL PANEL	23%
E. GLAZING	31%
1ST FLOOR GLAZING	45%
2ND FLOOR GLAZING	24%

2 PRELIMINARY WEST ELEVATION
 A6.1

SANCTUARY COVENANT CHURCH
 MINNEAPOLIS, MN

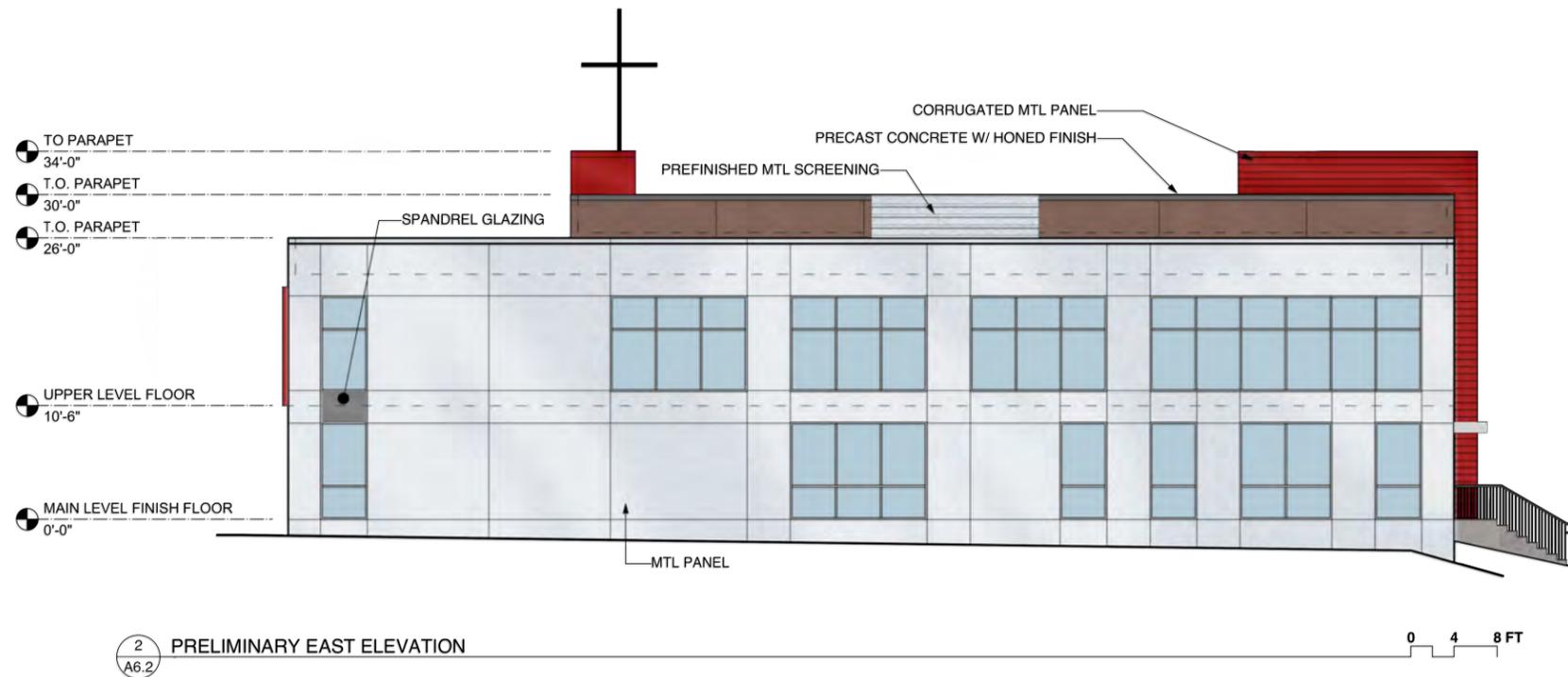
SITE PLAN REVIEW PRELIMINARY ELEVATIONS 12.11.15





NORTH ELEVATION MATERIALS	
MATERIAL	PERCENTAGE
A. EXISTING SPLIT FACE CMU BLOCK	0%
B. PRECAST CONCRETE, HONED FINISH	32%
C. MTL PANEL	26%
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E. GLAZING	22%
1ST FLOOR GLAZING	30%
2ND FLOOR GLAZING	17%

1 PRELIMINARY NORTH ELEVATION
A6.2



EAST ELEVATION MATERIALS	
MATERIAL	PERCENTAGE
A. EXISTING SPLIT FACE CMU BLOCK	0%
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2 PRELIMINARY EAST ELEVATION
A6.2

SANCTUARY COVENANT CHURCH

MINNEAPOLIS, MN

SITE PLAN REVIEW PRELIMINARY ELEVATIONS 12.11.15



[Feedback](#) [Tips](#) [Leave P](#)

50 Feet

Pictometry Bird's Eye © 2018 MDA Geospatial Se

Site Plan Review Application EXISTING SITE PHOTOS @ 715 21st Ave N & North Side of Corner Lot @ 2024 Aldrich Ave N, Minneapolis



Parking/Loading @
Rear of adjacent
Parking @

Vacant Residence & Garage @ 715 21st Ave N
To be demolished for Addition to 2 story Masonry
Building Beyond

Fence & Existing House @ 2024
Aldrich to be removed

Existing Panoramic Picture taken 9/15/15 @ 715 21st Ave N & North Side of 2024 Aldrich Ave N Looking South



NORTH
Intersection with
21st Ave N

SOUTH
Towards
Intersection w/
West Broadway

Fence & Existing House @ 2024
Aldrich to be removed

Existing 2 story Block building to
remain w/ Additions

Existing Panoramic Picture taken 9/15/15 @ 2108-2024 Aldrich Ave, Minneapolis Looking East

