



LAND USE APPLICATION SUMMARY

Property Location: 333-359 Hoover Street NE; 332-346 Delano Street NE; 2524 Winter Street NE
Project Name: Ryder Truck Rental, Inc.
Prepared By: Mei-Ling Smith, City Planner, (612) 673-5342
Applicant: Ryder Truck Rental, Inc.
Project Contact: Jim Reczek
Request: To use the property as a truck sales, service, or rental business.
Required Applications:

Conditional Use Permit	To allow a truck sales, service, and rental business in the I2 Medium Industrial District.
Site Plan Review	For a transportation use.

SITE DATA

Existing Zoning	I2 Medium Industrial District
Lot Area	90,615 square feet / 2.08 acres
Ward(s)	I
Neighborhood(s)	Southeast Como Improvement Association
Designated Future Land Use	Industrial
Land Use Features	Commercial Corridor (East Hennepin Avenue)
Small Area Plan(s)	<u>Industrial Land Use and Employment Policy Plan (2006)</u>

Date Application Deemed Complete	February 19, 2016	Date Extension Letter Sent	Not applicable
End of 60-Day Decision Period	April 19, 2016	End of 120-Day Decision Period	Not applicable

BACKGROUND

SITE DESCRIPTION AND PRESENT USE. The subject site contains a total of 13 parcels at the southeast corner of the intersection of Hoover Street NE and Winter Street NE, approximately two blocks north of East Hennepin Avenue. The site currently contains a two-story building that was constructed in 1962 and a vehicle storage lot that was previously used by Cedar Towing. The principal building on the site occupies a 9,399 square foot footprint and is located in the northwest corner of the site and is adjacent to Hoover Street NE and Winter Street NE. The southern boundary of the property is adjacent to a railroad line that runs east to west. To the east of the site is a large industrial warehouse and factory. The property currently contains a landscaped area along the west and south property lines with trees, a hedge, and a chain-linked fence with barbed wire.

SURROUNDING PROPERTIES AND NEIGHBORHOOD. There are primarily industrial uses in the immediate vicinity of the property. The property across Winter Street NE contains commercial uses, as does one of the properties to the west of the property. However, the majority of the properties north of Hennepin Avenue are industrial in nature. The properties to the south of Hennepin Avenue have low-density residential housing with commercial uses along the Hennepin Avenue corridor.

PROJECT DESCRIPTION. The applicant is proposing to use the property for truck leasing, sales, and service. The existing building would contain a repair garage and offices, which would be modified in order to meet accessibility standards and improve interior lighting. The proposed site improvements would include paving and patching the surface parking area, pruning existing trees and shrubs, adding mulch and new landscaping materials around the perimeter of the site and near the building, and adding slats to the existing eight-foot-tall chain link fence.

The applicant’s site plan shows 18 vehicle parking spaces for employees and visitors, including two accessible spaces, and 24 parking spaces for trucks (10 feet by 30 feet), for a total of 42 spaces. The remaining area would be used for maneuvering or temporary parking of tractor trailers awaiting services.

A truck sales, service, or rental use requires a conditional use permit in the I2 Medium Industrial District, as well as site plan review.

RELATED APPROVALS. The subject site was used by Cedar Towing most recently. However, most of the site improvements required by the City Planning Commission as part of their 2003 application were never implemented. In 2014, a different applicant received approvals to use the site as an auto storage lot, but never ended up using the site or implementing any improvements as conditioned by the City Planning Commission.

Planning Case #	Application	Description	Action
BZZ-1059	CUP for towing service, Variance from the paving/surfacing requirements, Site Plan Review.	Cedar Towing	City Planning Commission approved on March 31, 2003
BZZ-6723	CUP for a motor vehicle storage lot, Site Plan Review	Hoover Street Auto Storage	City Planning Commission approved on September 29, 2014

PUBLIC COMMENTS. Staff has not received any public comments as of the printing of this report. Any correspondence received prior to the public meeting will be forwarded on to the Planning Commission for consideration.

ANALYSIS

CONDITIONAL USE PERMIT

The Department of Community Planning and Economic Development has analyzed the application to allow a truck rental business in the I2 Medium Industrial District based on the following findings:

1. *The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, comfort or general welfare.*

If managed properly, the use should not prove detrimental to or endanger public health or safety provided the project complies with applicable building codes, life safety ordinances, and the City's stormwater management ordinance. The applicant has stated that motor vehicles at the property shall conform to all safety and environmental protection laws and regulations.

2. *The conditional use will not be injurious to the use and enjoyment of other property in the vicinity and will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.*

The truck rental, service, and sales use would have the potential to generate significant off-site impacts related to traffic and emissions. It is expected that much of the traffic coming to the site would arrive via East Hennepin Avenue, which is a Community Corridor with a good deal of residential property along its south side. Further, outdoor storage of vehicles can have a negative impact on the area in terms of visual blight. However, these types of impacts reflect the reasons for limiting outdoor vehicle storage to the industrial districts. To the extent feasible, these impacts must be mitigated through existing controls such as the stormwater management ordinance, landscaping and screening through site plan review, and by ensuring users of the site would have access to off-street parking.

3. *Adequate utilities, access roads, drainage, necessary facilities or other measures, have been or will be provided.*

Utilities and access roads are existing and adequate for the truck rental use. The submitted plans show that all parking areas would comply with the surfacing requirements of Chapter 54I of the zoning code, and staff recommends a condition of approval that ensures compliance with the surfacing requirements.

4. *Adequate measures have been or will be taken to minimize traffic congestion in the public streets.*

Truck rentals and sales would be the primary use on site. The parking requirement for the use is 18 vehicle parking spaces, and 18 are provided. With the recommended conditions of approval, one loading space would be provided, along with 24 truck parking spaces. Sufficient parking is provided for customer parking, employee parking, and parking of the rented trucks. Adequate measures have been or will be taken to minimize traffic congestion in the public streets.

5. *The conditional use is consistent with the applicable policies of the comprehensive plan.*

The proposed use is consistent with its Industrial future land use designation in *The Minneapolis Plan for Sustainable Growth* and the following general land use policies:

Land Use Policy 1.1: Establish land use regulations to achieve the highest possible development standards, enhance the environment, protect public health, support a vital mix of land uses, and promote flexible approaches to carry out the comprehensive plan.

- I.1.5 Ensure that land use regulations continue to promote development that is compatible with nearby properties, neighborhood character, and natural features; minimizes pedestrian and vehicular conflict; promotes street life and activity; reinforces public spaces; and visually enhances development.

Land Use Policy 1.14: Maintain Industrial Employment Districts to provide appropriate locations for industrial land uses.

- I.14.5 Encourage and implement buffering through the site plan review process to mitigate potential conflicts between industrial uses and adjacent other uses.

Urban Design Policy 10.12: Design industrial uses with appropriate transitions and other design features which minimize negative impacts on surrounding residential uses.

- 10.12.1 Provide appropriate physical transition and separation using green space, fencing, setbacks or orientation between industrial uses and other surrounding uses.
- 10.12.6 Use the site plan review process to ensure that lighting and signage associated with industrial uses do not create negative impacts for residential properties.

The site is located approximately 350 feet from the nearest residential property. Although light industrial uses are preferred users of industrial land, the proposed truck rental, service, and sales use is allowed as a conditional use in the I1, I2, and I3 zoning districts. The applicant is proposing landscaping and screening to minimize potential impacts of the vehicle storage lot on nearby properties.

The subject site is located in the Mid-City Industrial Area Employment District in the *Industrial Land Use Employment Policy Plan (2006)*. The site is identified for I2 Medium Industrial District zoning in the plan, which is consistent with the existing zoning classification of the site. The plan also encourages buffering between industrial sites and adjacent uses. While the subject site is surrounded by industrial uses, the proposed design incorporates landscaped yards and screens along the north, west, and south sides of the property.

- 6. *The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.*

With the recommended conditions of approval, and if the requested land use applications are approved, the proposal will comply with all provisions of the I2 Medium Industrial District.

SITE PLAN REVIEW

The Department of Community Planning and Economic Development has analyzed the application based on the required [findings](#) and [applicable standards](#) in the site plan review chapter:

I. Conformance to all applicable standards of Chapter 530, Site Plan Review.

BUILDING PLACEMENT AND DESIGN

Building placement – Meets requirements

- The building is existing on the site and the applicant is not proposing to make any exterior alterations.
- The existing building is placed up to the front lot line at the corner of Hoover Street NE and Winter Street NE. The first floor of the building is therefore within eight feet of the front lot line on both sides.
- The area between the building and curb includes landscaping and a small walkway.
- All on-site accessory parking is located to the rear or interior of the site.

Principal entrances – Meets requirements with Conditions of Approval

- The building is oriented so that at least one principal entrance faces the front property line, as the principal entrance is located on the northwest corner of the site and building and faces Hoover Street NE. There is also an entrance facing the on-site parking area at the southwest corner of the building.
- The principal entrance facing Hoover is clearly defined and emphasized through the use of an awning. The entrance facing the on-site parking is not clearly defined. Staff recommends a condition of approval that requires the applicant to define the walkway leading from the parking area to the south entrance through the use of landscaping and site improvements.

Visual interest – Meets requirements

- The building walls provide architectural detail and contain windows in order to create visual interest.
- There are blank, uninterrupted walls exceeding 25 feet in length. However, this is an existing condition.

Exterior materials – Meets requirements

- The exterior materials on the existing building consist of brick and painted concrete block, and are considered durable materials. The applicant is proposing to repaint the exterior of the building.
- The existing building is consistent with the City's policy of allowing no more than three exterior materials per elevation, excluding windows, doors, and foundation materials.
- Plain face concrete block is not proposed along any public streets, sidewalks, or adjacent to a residence or office residence district.
- The exterior materials and appearance of the rear and side walls of the building are similar to and compatible with the front of the building.

Windows – Meets requirements

- For nonresidential uses, the zoning code requires that no less than 30 percent of the walls on the first floor are windows with clear or lightly tinted glass with a visible light transmittance ratio of six-tenths (0.6) or higher. No less than ten percent of the walls on each floor above the first that face a public street, public sidewalk, public pathway, or on-site parking lot, shall be windows. Principal uses in the Industrial Districts may provide less than the 30 percent windows on the walls that face an on-site parking lot if the lot is not located between the building and the public street, public sidewalk, or public walkway. The existing building does not have at least 30 percent windows on its first-floor façade facing the public street. However, this is an existing condition.
- All windows are vertical in proportion. The fenestration pattern along the north elevation is uneven. However, this is an existing condition.

Ground floor active functions – Not applicable

- Industrial uses are exempt from the requirement that at least 70 percent of the first floor building frontage facing the public street, public sidewalk, or public walkway contain active functions.

Roof line – Meets requirements

- The principal roof line of the existing building is flat, which is similar to that of surrounding buildings.

Parking garages – Not applicable

- There are no parking garages proposed as part of this project.

ACCESS AND CIRCULATION

Pedestrian access – Meets requirements with Conditions of Approval

- While, the principal entrance facing Hoover St NE is not adjacent to a public street, there is an entrance landing between the curb and entrance.
- There is not a four-foot wide, clear and well-lit walkway connecting the building entrance to the on-site parking facility. Staff recommends a condition of approval that the applicant shall provide a defined, well-lit walkway at least four feet in width in front of the south building entrance along the west side of the row of parking along the building wall.

Transit access – Not applicable

- No transit shelters are proposed as part of this development.

Vehicular access – Meets requirements

- Vehicular access and circulation has been designed to minimize conflicts with pedestrian traffic and with surrounding residential uses. There is one curb cut providing access from Hoover Street NE and one providing access from Winter Street NE.
- There are two curb cuts connecting the adjacent public street to the on-site parking facility, and two curb cuts leading to the garage in the existing building. This existing condition minimizes conflicts with pedestrian traffic.
- There are no public alleys adjacent to the site.
- Service vehicle access does not conflict with pedestrian traffic and the site is not located next to residence or office residence districts.
- There is no maximum impervious surface requirement in the I2 zoning district. The applicant's site and landscaping plans reflect the existing site which contains 14,531 square feet of landscaping (16 percent of the site) and 76,084 square feet of impervious surfaces (84 percent of the site).

LANDSCAPING AND SCREENING

General landscaping and screening – Requires alternative compliance

- The overall composition and location of landscaped areas complement the scale of development and its surroundings.
- The zoning code requires that at least 20 percent of the site not occupied by the building be landscaped. The applicant is proposing approximately 14,531 square feet of landscaping on site, or approximately 18 percent of the site not occupied by buildings (see Table 4). Alternative compliance is requested.

- The applicant is proposing at least one canopy tree per 500 square feet of the required landscaped area, including all required landscaped yards. The tree requirement for the site is 33 and the applicant is proposing a total of 15 on-site canopy trees between the 14 that are existing and one additional Northwood Red Maple that is proposed. Alternative compliance is requested.
- The applicant is proposing at least one shrub per 100 square feet of the required landscaped area, including all required landscaped yards. The shrub requirement for the site is 162 and the applicant is proposing 58 on-site shrubs. Alternative compliance is requested.
- The remainder of the required landscaped area would be covered with turf grass, native grasses, perennial flowering plants, vines, shrubs and other trees.

Table 1. Landscaping and Screening Requirements

	Code Requirement	Proposed
Lot Area	--	90,615 sq. ft.
Building Footprint	--	9,611 sq. ft.
Remaining Lot Area	--	81,004 sq. ft.
Landscaping Required	16,201 sq. ft.	14,531 sq. ft.
Canopy Trees (1:500 sq. ft.)	33 trees	15 trees
Shrubs (1:100 sq. ft.)	162 shrubs	58 shrubs

Parking and loading landscaping and screening – Requires alternative compliance

- The landscaping and screening requirements apply to the north (Winter) and west (Hoover) parking lot frontages. The applicant is proposing to provide an on-site landscaped yard of approximately seven feet along the west parking lot frontage (15 including the public right-of-way) and 15 feet along the north parking lot frontage. However, the landscaped yard along both parking and loading frontages is not continuous, so alternative compliance is requested.
- A three-foot screen consisting of a masonry wall, fence, berm, hedge, or combination thereof that is at least 60 percent opaque is required in the landscaped yard along the north and west parking lot frontages. There is adequate screening proposed along the north parking lot frontage, but the parking area along the south building wall is not screened from the public street along the west side. In addition, the screen is not continuous for the row of parking along the west property line. Alternative compliance is requested.
- The site contains a parking and loading area for trucks or commercial vehicles more than 15,000 pounds. Approximately 30 feet along the north property line requires a screen that is at least six feet in height and not less than 60 percent opaque is required. A deciduous tree is proposed in this location, but not a six-foot screen. Alternative compliance is proposed.
- The corners of the parking lot that are unavailable for parking or vehicular circulation are required to be landscaped as specified for a required landscaped yard. The parking area along the south side of the building does not contain a landscaped yard on either side of the row of parking, and requires alternative compliance.
- Because the proposed surface parking lot contains ten or more spaces, each parking space must be located within 50 feet of the center of an on-site deciduous tree. The existing and proposed canopy trees are concentrated along the south and north portions of the property. The five northernmost truck parking spaces along the east property line meet this standard, as do the southernmost four spots along the east and west parking rows. In addition, the parking spaces along the south side of the building are in compliance with this standard. However, this requirement is not met for the rest of the parking area. This item requires alternative compliance.
- Information included in the landscape plan indicates that the plant materials, and installation and maintenance of the plant materials, would comply with sections 530.200 and 530.210 of the zoning

code. The existing site appears to contain ash trees, which are known to be susceptible to disease. Staff recommends a condition of approval requiring that any ash trees that are removed in the future due to the onset or anticipation of disease shall be replaced by new deciduous trees in compliance with sections 530.200 and 530.210 of the zoning code, particularly in relation to the restriction on species that are susceptible to disease or are considered invasive species.

- All other areas not occupied by buildings, parking and loading facilities, or driveways would be covered with turf grass, native grasses, perennials, wood mulch, shrubs, and trees.

ADDITIONAL STANDARDS

Concrete curbs and wheel stops – Meets requirements

- The parking area contains a combination of wheel stops, discontinuous curbing, and continuous concrete curbing to provide on-site retention and filtration of stormwater.

Site context – Meets requirements

- There are no important elements of the city near the site that will be obstructed by the proposed building.
- The existing building and proposed site plan should have no shadowing effects on public spaces and adjacent properties, and will have no impact on wind speed or direction in the vicinity.

Crime prevention through environmental design – Meets requirements with Conditions of Approval

- The site plan employs best practices to increase natural surveillance and visibility, to control and guide movement on the site, and to distinguish between public and non-public spaces.
- The proposed site, landscaping, and buildings promote natural observation and maximize the opportunities for people to observe adjacent spaces and public sidewalks.
- The applicant has not provided an exterior lighting plan to demonstrate that the project provides lighting on site, at all building entrances, and along walkways that maintains a minimum acceptable level of security while not creating glare or excessive lighting of the site. Staff recommends a condition of approval requiring the applicant to submit an exterior lighting plan showing footcandles.
- The landscaping, sidewalks, lighting, fencing, and building features are located to clearly guide pedestrian movement on or through the site and to control and restrict people to appropriate locations.
- The entrances, exits, signs, fencing, landscaping, and lighting are located to distinguish between public and private areas, to control access, and to guide people coming to and going from the site.

Historic preservation – Meets requirements

- This site is neither historically designated nor is it located in a historic district.

2. Conformance with all applicable regulations of the zoning ordinance.

The proposed use is conditional in the I2 District.

Off-street Parking and Loading – Meets requirements with Conditions of Approval

- The off-street vehicle parking requirement for the truck rental, sales, and service use is one space per 500 square feet of gross floor area in excess of 4,000 square feet, with a minimum of 4 spaces, plus one space per 2,000 square feet of outdoor sales, display, and storage areas (see Table 5). The gross floor area of the building is 10,837 square feet and there is 6,900 square feet of outdoor

truck display area, so the total minimum requirement is 18. The maximum requirement is one space per 200 square feet of gross floor area plus one space per 1,000 square feet of outdoor sales, display, or storage areas.

- There is no minimum bicycle parking requirement for the truck rental business.
- The truck rental business has a medium loading requirement. Based on the gross floor area of the building of 10,837 square feet, the business is required to provide a minimum of one small (10 feet by 25 feet) loading space (see Table 6). The site contains 24 small truck parking spaces, of which one could be used to meet the minimum loading requirement. Staff recommends that a minimum of one small truck loading space be provided, preferably near the existing building, and labeled as such.

Table 2. Vehicle Parking Requirements Per Use (Chapter 541)

Use	Minimum	Maximum Allowed	Proposed
Truck, trailer, boat, recreational vehicle or mobile home sales, service or rental	18	61	18

Table 6. Loading Requirements (Chapter 541)

Use	Loading Requirement	Minimum Requirement	Proposed
Truck, trailer, boat, recreational vehicle or mobile home sales, service or rental	Medium	1 small (10' x 25')	1

Building Bulk and Height – Meets requirements

- The two-story existing building has 10,837 square feet of gross floor area (see Table 7). The development would be well within the allowed bulk and height requirements of the I2 zoning district.

Table 7. Building Bulk and Height Requirements

	Code Requirement	Proposed
Lot Area	--	90,615 sq. ft. / 2.08 acres
Gross Floor Area	--	10,837 sq. ft.
Floor Area Ratio (Minimum)	--	0.12
Floor Area Ratio (Maximum)	2.7	
Building Height (Maximum)	4 stories or 56 feet, whichever is less	2 stories (existing)

Lot Requirements – Not applicable

Yard Requirements – Meets requirements

- In general, uses in industrial districts are not subject to minimum yard requirements. The property is not adjacent to any residential uses or districts and therefore there are no required building setbacks. The site is subject to the landscaped yards in site plan review, as discussed above.

Signs – Meets requirements with Conditions of Approval

- All signs are subject to Chapter 543, On-Premise Signs. The applicant will be required to submit a separate sign permit application for any signage that is proposed.
- The applicant is proposing one attached, mounted sign. The applicant has not provided any sign plans and has not indicated the location of sign on the site or on the building wall. The proposed sign would be 24 square feet in area (4 feet by 6 feet) and 20 feet above grade. The proposed sign's height and area would be within the maximum area and height allowed for an attached sign in an industrial district.
- The materials submitted by the applicant show that the proposed sign would be backlit. New backlit signs are not allowed in the I2 district, per Table 543-4 in the zoning code.

Screening of Mechanical Equipment – *Not applicable*

- No exterior mechanical equipment is identified on the plans. All mechanical equipment is enclosed within the building or is screened from the public street by the building itself. If equipment is proposed at a later date, it is subject to the screening requirements of Chapter 535 and district requirements.

Refuse Screening – *Meets requirements with Conditions of Approval*

- All refuse and recycling storage containers are subject to the screening requirements in Chapter 535:

535.80. Screening of refuse and recycling storage containers.

Refuse, recycling storage, and compost containers shall be enclosed on all four (4) sides by screening compatible with the principal structure not less than two (2) feet higher than the refuse container or shall be otherwise effectively screened from the street, adjacent residential uses located in a residence or office residence district and adjacent permitted or conditional residential uses. Single and two-family dwellings and multiple-family dwellings of three (3) and four (4) units shall not be governed by this provision.

- The applicant has not indicated where the refuse and recycling storage containers would be located. Staff recommends that the final plans be revised to show where the refuse and recycling storage containers will be located on the property.

Lighting – *Meets requirements with Conditions of Approval*

- Existing and proposed lighting must comply with Chapter 535 and Chapter 541 of the zoning code, including:

535.590. Lighting.

- a) In general. No use or structure shall be operated or occupied as to create light or glare in such an amount or to such a degree or intensity as to constitute a hazardous condition, or as to unreasonably interfere with the use and enjoyment of property by any person of normal sensitivities, or otherwise as to create a public nuisance.
- b) Specific standards. All uses shall comply with the following standards except as otherwise provided in this section:
 - 1) Lighting fixtures shall be effectively arranged so as not to directly or indirectly cause illumination or glare in excess of one-half (1/2) footcandle measured at the closest property line of any permitted or conditional residential use, and five (5) footcandles measured at the street curb line or nonresidential property line nearest the light source.
 - 2) Lighting fixtures shall not exceed two thousand (2,000) lumens (equivalent to a one hundred fifty (150) watt incandescent bulb) unless of a cutoff type that shields the light

source from an observer at the closest property line of any permitted or conditional residential use.

- 3) Lighting shall not create a sensation of brightness that is substantially greater than ambient lighting conditions as to cause annoyance, discomfort or decreased visual performance or visibility to a person of normal sensitivities when viewed from any permitted or conditional residential use.
 - 4) Lighting shall not create a hazard for vehicular or pedestrian traffic.
 - 5) Lighting of building facades or roofs shall be located, aimed and shielded so that light is directed only onto the facade or roof.
- The applicant has not provided an exterior lighting plan as part of their application materials. Staff recommends a condition of approval that an exterior lighting plan with footcandles be provided prior to obtaining building permits.

Fences – Meets requirements with Conditions of Approval

- Fences must comply with the requirements in [Chapter 535](#). The applicant is proposing to retain the existing eight-foot-tall chain link fence and add vinyl slats to the fence. Vinyl slats are not allowed an allowed material per section 535.430 of the zoning code, and therefore the final plans may not include references to vinyl slats.
- The materials submitted by the applicant state that they are proposing a 20-foot-long, 8-foot-tall chain link gate. Staff recommends a condition of approval that the gate be shown on the site plan.
- The applicant has not indicated whether or not barbed wire would be removed. Staff recommends a condition of approval that the existing barbed wire and brackets supporting the wire be removed.

Specific Development Standards – Not applicable

- There are no specific development standards in the zoning code for truck rental businesses.

3. Conformance with the applicable policies of The Minneapolis Plan for Sustainable Growth.

Please see the Conditional Use Permit findings above for analysis of the proposed use’s consistency with applicable policies of the comprehensive plan.

4. Conformance with applicable development plans or objectives adopted by the City Council.

Please see the small area plan analysis in the Conditional Use Permit findings above.

5. Alternative compliance.

The Planning Commission or zoning administrator may approve alternatives to any site plan review requirement upon finding that the project meets one of three criteria required for [alternative compliance](#). Alternative compliance is requested for the following requirements:

- *General landscaping and screening.*
 - **Twenty-percent landscaping.** The zoning code requires that at least 20 percent of the site not occupied by the building be landscaped. The applicant is proposing approximately 14,531 square feet of landscaping on site, or approximately 18 percent of the site not occupied by buildings (see Table 4). Alternative compliance is requested. Provided that the site is identified as Industrial in the future land use map and the applicant is proposing to provide the required screening along the parking lot frontage areas, it would be reasonable for the Planning Commission to grant alternative compliance for this requirement.
 - **Canopy trees.** The applicant is proposing at least one canopy tree per 500 square feet of the required landscaped area, including all required landscaped yards. The tree requirement

- for the site is 33 and the applicant is proposing a total of 15 on-site canopy trees. The applicant would need to provide 18 additional canopy trees in order to comply with the ordinance. Alternative compliance is requested. The existing site contains 11 ornamental trees along the west parking lot frontage and along the south side of the building, all of which would remain. Staff finds that it would be reasonable to grant alternative compliance for the minimum tree requirement given that there are numerous trees distributed throughout the required landscaped areas.
- **Shrubs.** The applicant is proposing at least one shrub per 100 square feet of the required landscaped area, including all required landscaped yards. The shrub requirement for the site is 162 and the applicant is proposing 58 on-site shrubs. Alternative compliance is requested. Provided that the site complies with the minimum screening requirement along the west side parking lot frontage, staff finds that it would be reasonable to grant alternative compliance for the minimum shrub requirement.
 - *Parking and loading landscaping and screening.*
 - **Landscaped yards.** The landscaping and screening requirements apply to the north (Winter) and west (Hoover) parking lot frontages. The applicant is proposing to provide an on-site landscaped yard of approximately seven feet along the west parking lot frontage (15 including the public right-of-way) and 15 feet along the north parking lot frontage. However, the landscaped yard along both parking and loading frontages is not continuous, so alternative compliance is requested. Staff recommends granting alternative compliance, as the landscaped yard would be approximately 15 feet in width along both existing frontages if the public right-of-way is included in the measurement, which exceeds the seven-foot minimum.
 - **Screening along parking lot frontages.** A three-foot screen consisting of a masonry wall, fence, berm, hedge, or combination thereof that is at least 60 percent opaque is required in the landscaped yard along the north and west parking lot frontages. There is adequate screening proposed along the north parking lot frontage, but the parking area along the south building wall is not screened from the public street along the west side. In addition, the screen is not continuous for the row of parking along the west property line. Alternative compliance is requested. There is an existing planter to the west of the parking row next to the building. With the recommend conditions of approval that the existing barbed wire and brackets supporting the wire be removed throughout the site, and that a defined walkway be provided between the parking area and west parking lot frontage north of the Hoover Street NE curb cut, staff recommends that alternative compliance be granted for this portion of the site. However, staff believes that it is reasonable to require compliance with the three-foot screening requirement along the west parking lot frontage south of the Hoover Street NE curb cut and recommends a condition of approval that this be shown in the final landscaping plan.
 - **Screening along loading areas.** The site contains a parking and loading area for trucks or commercial vehicles more than 15,000 pounds. Approximately 30 feet along the north property line requires a screen that is at least six feet in height and not less than 60 percent opaque is required. A deciduous tree is proposed in this location, but not a six-foot screen. Alternative compliance is proposed. Given that there is an existing deciduous tree and shed between the loading area and public street, staff finds that it would be reasonable to grant alternative compliance.
 - **Parking lot corners.** The corners of the parking lot that are unavailable for parking or vehicular circulation are required to be landscaped as specified for a required landscaped yard. The parking area along the south side of the building does not contain a landscaped yard on either side of the row of parking, and requires alternative compliance. However, the applicant is proposing a robust landscaped area between the parking area and the existing

- building, so staff is recommending alternative compliance for the requirement that all parking lot corners be landscaped.
- **Parking spaces within 50 feet of an on-site deciduous tree.** Because the proposed surface parking lot contains ten or more spaces, each parking space must be located within 50 feet of the center of an on-site deciduous tree. The existing and proposed canopy trees are concentrated along the south and north portions of the property. The five northernmost truck parking spaces along the east property line meet this standard, as do the southernmost four spots along the east and west parking rows. In addition, the parking spaces along the south side of the building are in compliance with this standard. However, this requirement is not met for the rest of the parking area. This item requires alternative compliance. There are numerous ornamental trees existing along the west parking lot frontage, leaving little room for new canopy trees in this location. In addition, the applicant is not proposing any parking spaces or tree islands in the middle of the property due to the need to accommodate truck maneuvering throughout the site. Staff recommends granting alternative compliance.

RECOMMENDATIONS

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt staff findings for the applications by Jim Reczek for the properties located at 333-359 Hoover Street NE; 332-346 Delano Street NE; 2524 Winter Street NE:

A. Conditional Use Permit to allow a truck sales, service, and rental business in the I2 District.

Recommended motion: **Approve** the application for a truck sales, service, and rental business, subject to the following conditions:

1. The conditional use permit shall be recorded with Hennepin County as required by Minn. Stat. 462.3595, subd. 4 before building permits may be issued or before the use or activity requiring a conditional use permit may commence. Unless extended by the zoning administrator, the conditional use permit shall expire if it is not recorded within two years of approval.

B. Site Plan Review.

Recommended motion: **Approve** the application for a transportation use, subject to the following conditions:

1. All site improvements shall be completed by March 14, 2018, unless extended by the Zoning Administrator, or the permit may be revoked for non-compliance.
2. CPED staff shall review and approve the final site, elevation, landscaping, and exterior lighting plans before building permits may be issued.
3. All signs shall comply with Chapter 543 of the Zoning Code. All existing signage shall be removed and all new signage shall require a separate permit from CPED.
4. The plant materials, and installation and maintenance of the plant materials, shall comply with sections 530.200 and 530.210 of the zoning code.
5. Should any ash trees be removed due to the onset or anticipation of disease, they shall be replaced by new deciduous trees in compliance with sections 530.200 and 530.210 of the zoning code, particularly in relation to the restriction on species that are susceptible to disease or are considered invasive species.
6. The applicant shall provide a defined, well-lit walkway at least four feet in width in front of the south building entrance along the west side of the row of parking along the building wall.

7. The applicant shall revise the final plans to provide a minimum of one small loading space.
8. The final landscaping plan shall be revised to demonstrate compliance with the minimum screening requirements along the west parking lot frontage south of the Hoover St NE curb cut, per section 530.170 of the zoning code.
9. The final plans shall be revised to show the location of the refuse and recycling containers.
10. All new fencing material and gates shall be shown on the final site plan. In addition, the final site plan shall be revised to show the removal of all references to vinyl slats, barbed wire, and brackets.

ATTACHMENTS

1. Written description and findings submitted by applicant
2. Zoning map
3. Survey
4. Plans
5. Photos

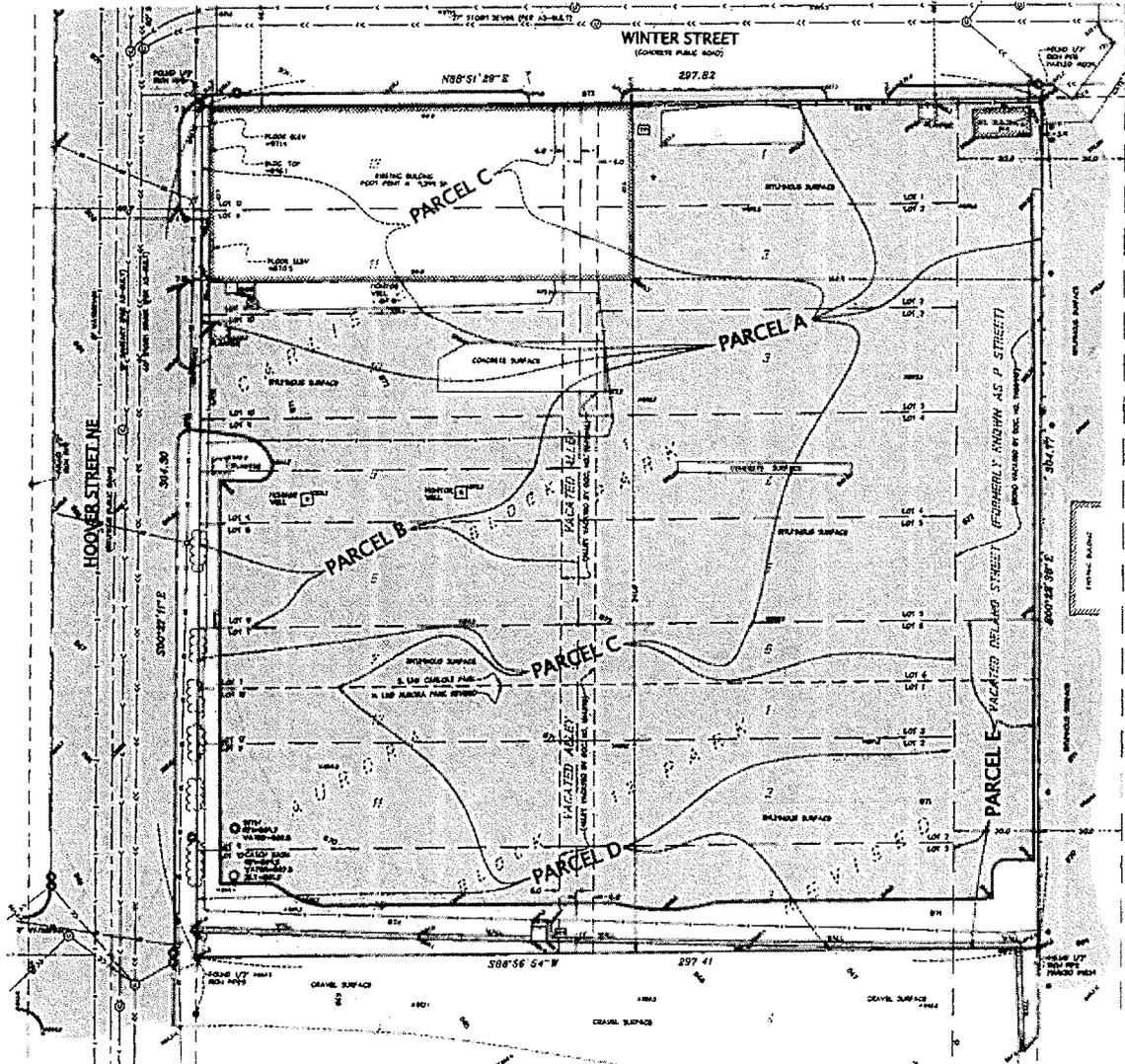


January 4, 2016

Mei-Ling Smith, ACIP
City Planner-Land Use, Design and Preservation
City of Minneapolis – Community Planning and Economic Development
250 S. 4th Street, Room 300
Minneapolis, MN 55415

Re: 359 Hoover St.

- | | | |
|--------------------|--------------------|--------------------|
| PID# 1802923430014 | PID# 1802923430015 | PID# 1802923430016 |
| PID# 1802923430017 | PID# 1802923430018 | PID# 1802923430019 |
| PID# 1802923430021 | PID# 1802923430022 | PID# 1802923430023 |
| PID# 1802923430024 | PID# 1802923430025 | PID# 1802923430032 |
| PID# 1802923430033 | | |





(Description as shown per Warranty Deed filed as Document Number A10057100)

PARCEL A:
Lots 1, 2, 3, 4, and 5;
The North half of Lot 9;
Lot 10;

—< That part of the East half of the adjoining vacated alley lying between the extensions across it of the North line of said Lot 1 and South line of said Lot 2;

— That part of the West half of the adjoining vacated alley lying between the extensions across it of the North line of said Lot 9 and the South line of the North half of said Lot 9;

That part of the adjoining vacated alley lying between the extensions across it of the North and South lines of said Lot 10;

All in Block 1, "Carlisle Park, Minneapolis, Minn."

Together with the benefit of easements described in Deed Document No. 394197.
Together with that part of the alley vacated in Document No. 672446, which accrues to said premises.

Hennepin County, Minnesota, Torrens Property

PARCEL B:
Lot 8; The South half of Lot 9, Block 1, "Carlisle Park, Minneapolis, Minn." according to the recorded plat thereof, Hennepin County, Minnesota.

Together with that part of vacated alley vacated in Document No. 672446, which accrues to premises.

Hennepin County, Minnesota, Torrens Property

PARCEL C:
Lots 6, 7, 11 and 12, Block 1, "Carlisle Park, Minneapolis, Minn." according to the recorded plat thereof, Hennepin County, Minnesota.

Together with that part of vacated alley vacated in Book 902 of Misc., Page 138, as Document No. 3314772 and in Book 908 of Misc., Page 5, as Document No. 3328973, and in Book 297 of Misc., Page 286, as Document No. 1614386 which accrues to premises.

Hennepin County, Minnesota, Abstract Property

PARCEL D:
Lots 1, 2, 3, 10, 11 and 12, Block 12, "Aurora Park Revised," Hennepin County, Minnesota, according to the recorded plat thereof, Hennepin County, Minnesota.

Together with that part of vacated alley vacated in Document Nos. 1614378 and 1614386, which accrues to said premises.

Hennepin County, Minnesota, Abstract Property

PARCEL E:
That part of vacated P street vacated in Document No. 1444467, which accrues to the above premises by reason of the vacation thereof.

Abstract Property.

Minerals and mineral rights reserved by the State of Minnesota as shown by recital on the Certificate of Title (Parcel A)

Terms and conditions of easement contained in Deed dated May 13, 1953, filed May 21, 1953 as Document No. 394197 (Parcel A).

Resolution vacating alley filed October 19, 1961, as Document No. 672446 (Parcels A and B).

Resolution vacating alley filed October 17, 1975, as Document No. 1155997 (Parcel A).

(Description per Warranty Deed filed as Document Number A10057100)

Proposed use and description of project

Dear Mei-Ling,

Ryder Truck Rental Inc. proposed to conduct the following business activities at the above noted property:

- Truck Leasing and Sales
- Truck Maintenance / Repairs (indoors)
- Truck parking (on existing outdoor lot)
- Truck Washing (Not applicable)
- Truck Fueling (Not applicable)

We (Ryder Truck Rental Inc.) intend to enter into a long term lease (5 year) with the current landlord 359 Hoover Street LLC to conduct these operations. Our operations will be similar to that of the former tenant (towing company) and are permitted per the Zoning of the 12 Medium Industrial District in which this property is located.

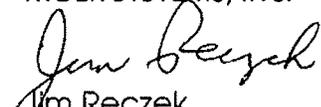
We intend to use the property for a truck storage lot for vehicles awaiting repairs or are available for lease or sales to customers. In addition to truck vehicle parking, we will provide parking for employees working at the facility and for customers to leave their personal vehicles during leasing. All truck repairs to be conducted indoors. Two handicap and 16 additional spaces will be dedicated for customer / employee parking. The remaining asphalt lot area will be for parking of tractor trailers awaiting services or for sales/leasing.

We intend to make improvements to the interior of the currently vacant building including ADA accessible offices, washrooms, break rooms, etc. We will include new lighting as well as electrical for equipment to make the shop functional.

We will provide security fencing around the perimeter of the surface lot and patch portions of the existing pavement as necessary.

It is our intent to complete the CUP requirements not addressed by the prior tenant within a 1 year period of occupancy of the premises.

Sincerely,
RYDER SYSTEMS, INC.



Jim Reczek

Regional Construction Project Manager
Ryder Systems Inc.
902 Rt. 83
Bensenville, IL. 60106
Office 630-595-5800 x 356
Fax 630-595-9648



January 12, 2016

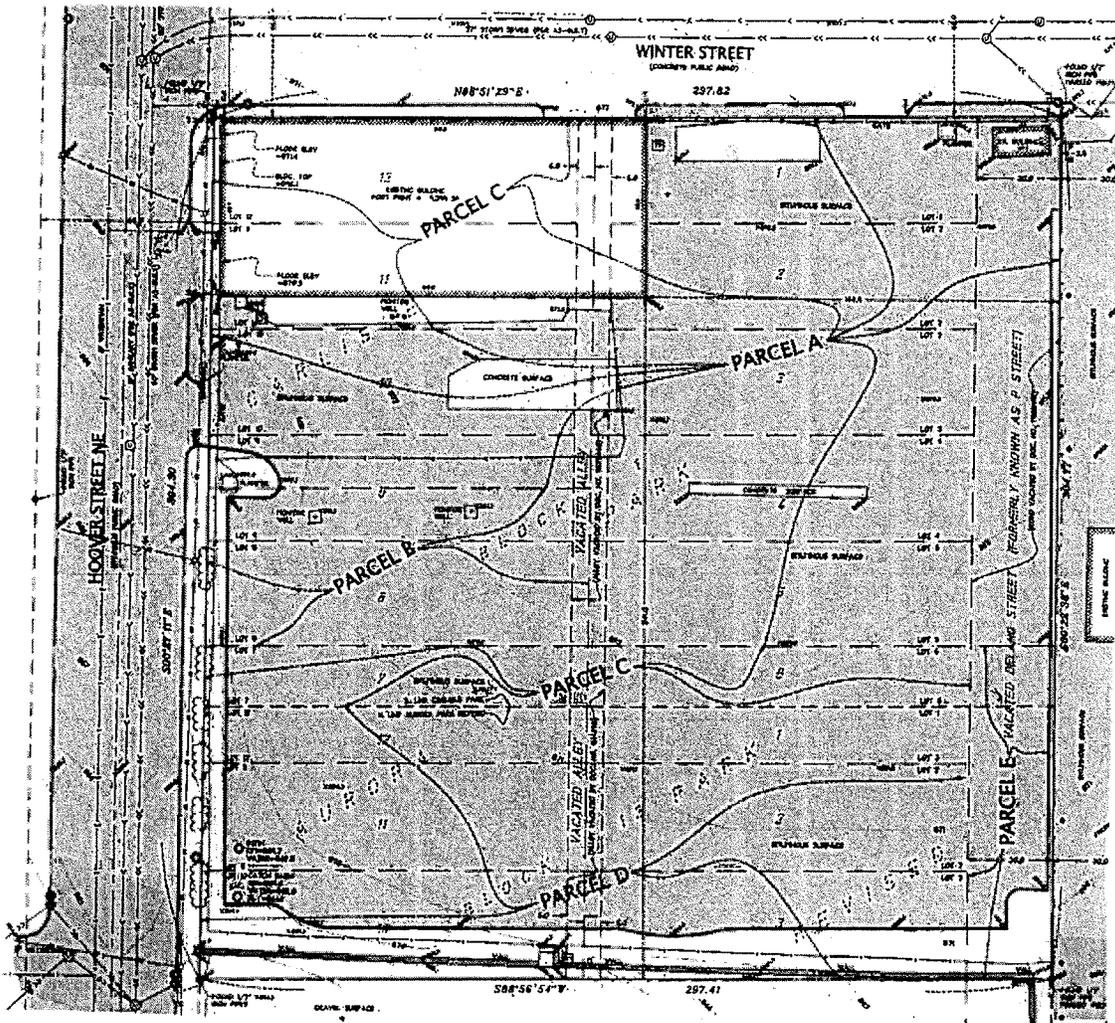
Mei-Ling Smith, ACIP
City Planner-Land Use, Design and Preservation
City of Minneapolis – Community Planning and Economic Development
250 S. 4th Street, Room 300
Minneapolis, MN 55415

Address: 359 Hoover St.

PID# 1802923430014
PID# 1802923430017
PID# 1802923430021
PID# 1802923430024
PID# 1802923430033

PID# 1802923430015
PID# 1802923430018
PID# 1802923430022
PID# 1802923430025

PID# 1802923430016
PID# 1802923430019
PID# 1802923430023
PID# 1802923430032



LEGAL DESCRIPTION:

(Description as shown per Warranty Deed filed as Document Number A10057100)

PARCEL A:
Lots 1, 2, 3, 4, and 5;
The North half of Lot 9;
Lot 10;

That part of the East half of the adjoining vacated alley lying between the extensions across it of the North line of said Lot 1 and South line of said Lot 2;

That part of the West half of the adjoining vacated alley lying between the extensions across it of the North line of said Lot 9 and the South line of the North half of said Lot 9;

That part of the adjoining vacated alley lying between the extensions across it of the North and South lines of said Lot 10;

All in Block 1, "Carlisle Park, Minneapolis, Minn."

Together with the benefit of easements described in Deed Document No. 394197.
Together with that part of the alley vacated in Document No. 672446, which accrues to said premises.

Hennepin County, Minnesota, Torrens Property

PARCEL B:
Lot 8; The South half of Lot 9, Block 1, "Carlisle Park, Minneapolis, Minn." according to the recorded plat thereof, Hennepin County, Minnesota.

Together with that part of vacated alley vacated in Document No. 672446, which accrues to premises.

Hennepin County, Minnesota, Torrens Property

PARCEL C:
Lots 6, 7, 11 and 12, Block 1, "Carlisle Park, Minneapolis, Minn." according to the recorded plat thereof, Hennepin County, Minnesota.

Together with that part of vacated alley vacated in Book 902 of Misc., Page 138, as Document No. 3314772 and in Book 908 of Misc., Page 5, as Document No. 3328973, and in Book 297 of Misc., Page 286, as Document No. 1614386 which accrues to premises.

Hennepin County, Minnesota, Abstract Property

PARCEL D:
Lots 1, 2, 3, 10, 11 and 12, Block 12, "Aurora Park Revised," Hennepin County, Minnesota, according to the recorded plat thereof, Hennepin County, Minnesota.

Together with that part of vacated alley vacated in Document Nos. 1614378 and 1614386, which accrues to said premises.

Hennepin County, Minnesota, Abstract Property

PARCEL E:
That part of vacated P street vacated in Document No. 1444467, which accrues to the above premises by reason of the vacation thereof.

Abstract Property.

Minerals and mineral rights reserved by the State of Minnesota as shown by recital on the Certificate of Title (Parcel A)

Terms and conditions of easement contained in Deed dated May 13, 1953, filed May 21, 1953 as Document No. 394197 (Parcel A).

Resolution vacating alley filed October 19, 1961, as Document No. 672446 (Parcels A and B).

Resolution vacating alley filed October 17, 1975, as Document No. 1155997 (Parcel A).

(Description per Warranty Deed filed as Document Number A10057100)

CONDITIONAL USE PERMIT

Dear Mei-Ling,

Ryder Truck Rental Inc. per the terms indicated by the Conditional Use Permit will comply as follows:

ALL CONDITIONAL USE PERMITS:

1. The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, comfort or general welfare. Ryder states that motor vehicles at the property shall conform to all safety and environmental protection laws and regulations.

2. Conditional use of property will not be injurious to the use or enjoyment of other properties in the vicinity and will not impede normal or orderly development and improvements of the surrounding properties in the district. The primary use of the facility would be the servicing of vehicles and leasing of vehicles. The surface parking would be for trucks awaiting maintenance and / or are road ready and certified for leasing / sales to customers.
3. Adequate utilities, access roads, drainage and necessary other measures will be provided. We will submit to the Public works Department final plans for compliance with storm water management and vehicular access.
4. Vehicle leasing and servicing will be the primary use on site. We will take all necessary measures to minimize traffic congestion in the public street.
5. The proposed development as stated is consistent with the general land use policies of The Minneapolis Plan for Sustainable Growth.
6. The development as stated is compatible with nearby properties, neighborhood character and natural features. It will have a minimal impact on pedestrian and vehicular activity, promote street life and activity and visually enhance the development of the surround area.

INCREASING MAXIMUM HEIGHT:

Not Applicable

SIGN ADJUSTMENTS:

1. We will submit all required documents regarding our intended location, size, type, shape and color for exterior and interior building signage and ensure that sign clutter and inconsistencies are not incurred.
2. We will conform to the adjustment of signage in order to conform to the character of function and architectural character of the building or property.

COMMUNICATION TOWERS, ANTENNAS, AND BASE UNITS:

Not Applicable

PLANNED UNIT DEVELOPMENT:

Not Applicable

OTHER CONDITIONAL USE PERMITS:

Items noted in the Specific Land Use Application requirements worksheet in this category are not applicable for our intended use of the property.

CERTIFICATE OF NONCONFORMING USE:

Not Applicable

CHANGE OF NONCONFORMING USE:

Not Applicable

EXPANSION OR ALTERATION OF NONCONFORMING USE:

Not Applicable

REZONING:

Rezoning is not being sought for our intended use.

VARIANCE (All variances, Sign variances)

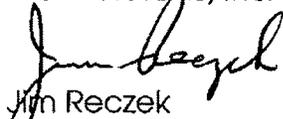
Our intended uses of the property will not warrant a variance. We will comply with all signage regulations per the district.

SHORELAND OVERLAY DISTRICT OR MISSISSIPPI RIVER CRITICAL AREA OVERLAY DISTRICT

VARIANCE:

Our property does not reside in either of these two districts specified.

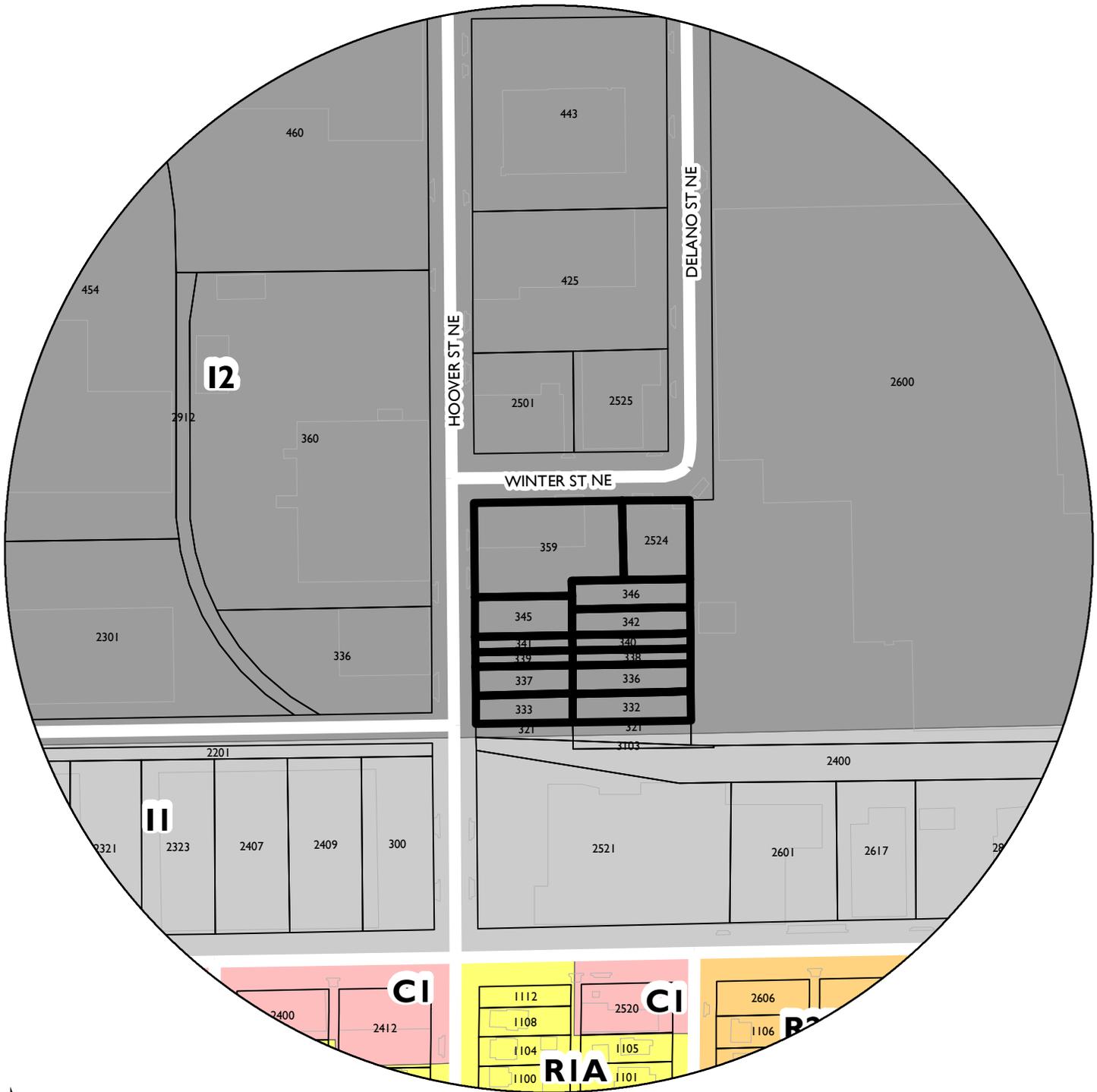
Sincerely,
RYDER SYSTEMS, INC.



Jim Reczek
Regional Construction Project Manager
Ryder Systems Inc.
902 Rt. 83
Bensenville, IL. 60106
Office 630-595-5800 x 356 Fax 630-595-9648

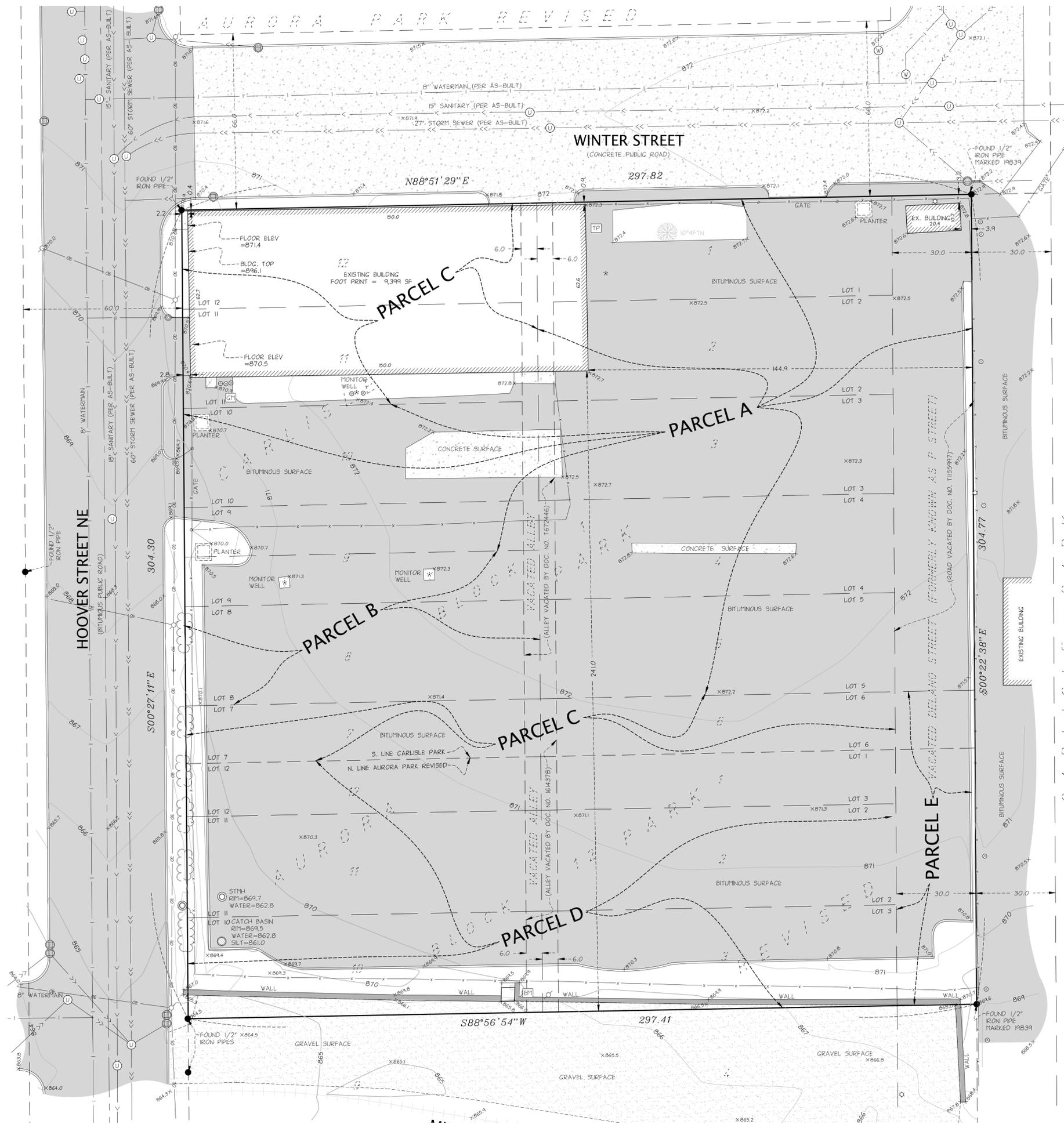
NAME OF APPLICANT

WARD



PROPERTY ADDRESS
359 Hoover St NE (and others)

FILE NUMBER
BZZ-7582



LEGAL DESCRIPTION:

(Description as shown per Warranty Deed filed as Document Number A10057100)

PARCEL A:
 Lots 1, 2, 3, 4, and 5;
 The North half of Lot 9;
 Lot 10;

That part of the East half of the adjoining vacated alley lying between the extensions across it of the North line of said Lot 1 and South line of said Lot 2;

That part of the West half of the adjoining vacated alley lying between the extensions across it of the North line of said Lot 9 and the South line of the North half of said Lot 9;

That part of the adjoining vacated alley lying between the extensions across it of the North and South lines of said Lot 10;

All in Block 1, "Carlisle Park, Minneapolis, Minn."

Together with the benefit of easements described in Deed Document No. 394197.
 Together with that part of the alley vacated in Document No. 672446, which accrues to said premises.

PARCEL B:

Lot 8; The South half of Lot 9, Block 1, "Carlisle Park, Minneapolis, Minn." according to the recorded plat thereof, Hennepin County, Minnesota.

Together with that part of vacated alley vacated in Document No. 672446, which accrues to premises.

Hennepin County, Minnesota, Torrens Property

PARCEL C:

Lots 6, 7, 11 and 12, Block 1, "Carlisle Park, Minneapolis, Minn." according to the recorded plat thereof, Hennepin County, Minnesota.

Together with that part of vacated alley vacated in Book 902 of Misc., Page 138, as Document No. 3314772 and in Book 908 of Misc., Page 5, as Document No. 3328973, and in Book 297 of Misc., Page 286, as Document No. 1614386 which accrues to premises.

Hennepin County, Minnesota, Abstract Property

PARCEL D:

Lots 1, 2, 3, 10, 11 and 12, Block 12, "Aurora Park Revised," Hennepin County, Minnesota, according to the recorded plat thereof, Hennepin County, Minnesota.

Together with that part of vacated alley vacated in Document Nos. 1614378 and 1614386, which accrues to said premises.

Hennepin County, Minnesota, Abstract Property

PARCEL E:

That part of vacated P street vacated in Document No. 1444467, which accrues to the above premises by reason of the vacation thereof.

Abstract Property.

Minerals and mineral rights reserved by the State of Minnesota as shown by recital on the Certificate of Title (Parcel A)
 Terms and conditions of easement contained in Deed dated May 13, 1953, filed May 21, 1953 as Document No. 394197 (Parcel A).

Resolution vacating alley filed October 19, 1961, as Document No. 672446 (Parcels A and B).

Resolution vacating alley filed October 17, 1975, as Document No. 1155997 (Parcel A).

(Description per Warranty Deed filed as Document Number A10057100)

SURVEY NOTES:

1. BEARINGS ARE BASED ON COORDINATES SUPPLIED BY THE HENNEPIN COUNTY SURVEYORS OFFICE(NAD83(96))

2. UNDERGROUND UTILITIES SHOWN PER GOPHER ONE LOCATES AND AS-BUILTS PLANS PROVIDED BY THE CITY OF MINNEAPOLIS PUBLIC WORKS DEPARTMENT.

3. THERE MAY SOME UNDERGROUND UTILITIES, GAS, ELECTRIC, ETC. NOT SHOWN OR LOCATED.

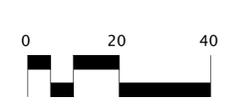
BENCHMARKS

ELEVATIONS BASED ON INFORMATION AS SHOWN ON THE MNDOT GEODETIC WEBSITE. SURVEY DISK GORG MNDT AZ MK WITH AN ELEVATION OF 864.30 WAS USED TO ESTABLISH VERTICAL CONTROL FOR THIS SURVEY (NAVD 88)

UNDERGROUND UTILITIES NOTES:

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPROMISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THIS SURVEY HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. GOPHER STATE ONE CALL LOCATE TICKET NUMBER(S) 152942916. SOME MAPS WERE RECEIVED, WHILE OTHER UTILITIES DID NOT RESPOND TO THE LOCATE REQUEST. ADDITIONAL UTILITIES OF WHICH WE ARE UNAWARE MAY EXIST.

CALL BEFORE YOU DIG!
Gopher State One Call
 TWIN CITY AREA: 651-454-0002
 TOLL FREE: 1-800-252-1166



TITLE NOTES:

NO TITLE INFORMATION WAS PROVIDED FOR OUR REVIEW.

DOCS. 3328973, 3314772, 1614386, 1614378 REGARDING VACATED ALLEYS WERE NOT PROVIDED FOR OUR REVIEW.

DOCUMENT NO 1444467 REGARDING VACATED P STREET WAS NOT PROVIDED FOR OUR REVIEW.

*WE HAVE SHOWN ALLEYS WITHIN BLK 1, CARLISLE PARK AND BLK 12 AURORA PARK REV. AS VACATED PURSUANT TO AVAILABLE MAPS. WE HAVE ALSO SHOWN DELANO STREET AS VACATED PER DOC. 1155997 WHERE APPLICABLE AND HAVE SHOWN THE REST OF THE STREET (KNOWN AS P STREET) AS VACATED PER AVAILABLE MAPS.

*PLEASE CONSULT YOUR ATTORNEY/TITLE COMPANY FOR A FULL REVIEW OF THE VACATION DOCUMENTS OF RECORD. THIS SURVEY SHOULD BE CONSIDERED PRELIMINARY UNTIL THE ABOVE RESOLUTIONS FOR VACATION ARE REVISED FOR OUR REVIEW. BOUNDARY IS SUBJECT TO REVISION.

UNDERGROUND UTILITIES NOTES:

● FOUND MONUMENT	⚡ FIRE DEPT. CONNECTION
○ SET 1/2" IRON PIPE MARKED RLS NO. 25718	⚙ HYDRANT
▭ CABLE TV PEDESTAL	⊞ CURB STOP
⊞ AIR CONDITIONER	⊞ WATER WELL
⊞ ELECTRIC MANHOLE	⊞ WATER MANHOLE
⊞ ELECTRIC METER	⊞ WATER METER
⊞ ELECTRIC PEDESTAL	⊞ POST INDICATOR VALVE
⊞ ELECTRIC TRANSFORMER	⊞ WATER VALVE
⊞ LIGHT POLE	⊞ BOLLARD
⊞ GUY WIRE	⊞ FLAG POLE
⊞ POWER POLE	⊞ MAIL BOX
⊞ GAS MANHOLE	⊞ TRAFFIC SIGN
⊞ GAS METER	⊞ UNKNOWN MANHOLE
⊞ TELEPHONE MANHOLE	⊞ SOIL BORING
⊞ TELEPHONE PEDESTAL	⊞ 950.0 SPOT ELEVATION
⊞ SANITARY CLEANOUT	⊞ TRAFFIC SIGNAL
⊞ SANITARY MANHOLE	⊞ CONIFEROUS TREE
⊞ CATCH BASIN	⊞ DECIDUOUS TREE
⊞ STORM DRAIN	
⊞ FLARED END SECTION	
⊞ STORM MANHOLE	
— LE — UNDERGROUND ELECTRIC	
— UG — OVERHEAD UTILITY	
— G — UNDERGROUND GAS	
— S — SANITARY SEWER	
— SS — STORM SEWER	
— W — WATERMAIN	
— F — FENCE	
— C — CURB (TYPICAL)	
— 1230 — CONTOURS	

359 HOOVER

MINNEAPOLIS, MINNESOTA

CONTACT:

Bernard Allen
 Welsh Facility Services
 4350 Baker Road, Suite 300
 Minnetonka, MN 55343
 Phone: 952 829 5222
 Email: abernard@WelshCo.com

COUNTY/CITY:

HENNEPIN COUNTY

CITY OF MINNEAPOLIS

REVISIONS:

DATE	REVISION
10-29-15	INITIAL ISSUE

CERTIFICATION:

I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Land Surveyor under the laws of the state of Minnesota.

Daniel L. Thurmes
 Daniel L. Thurmes Registration Number: 25718
 Date: 11-03-15

PROJECT LOCATION:

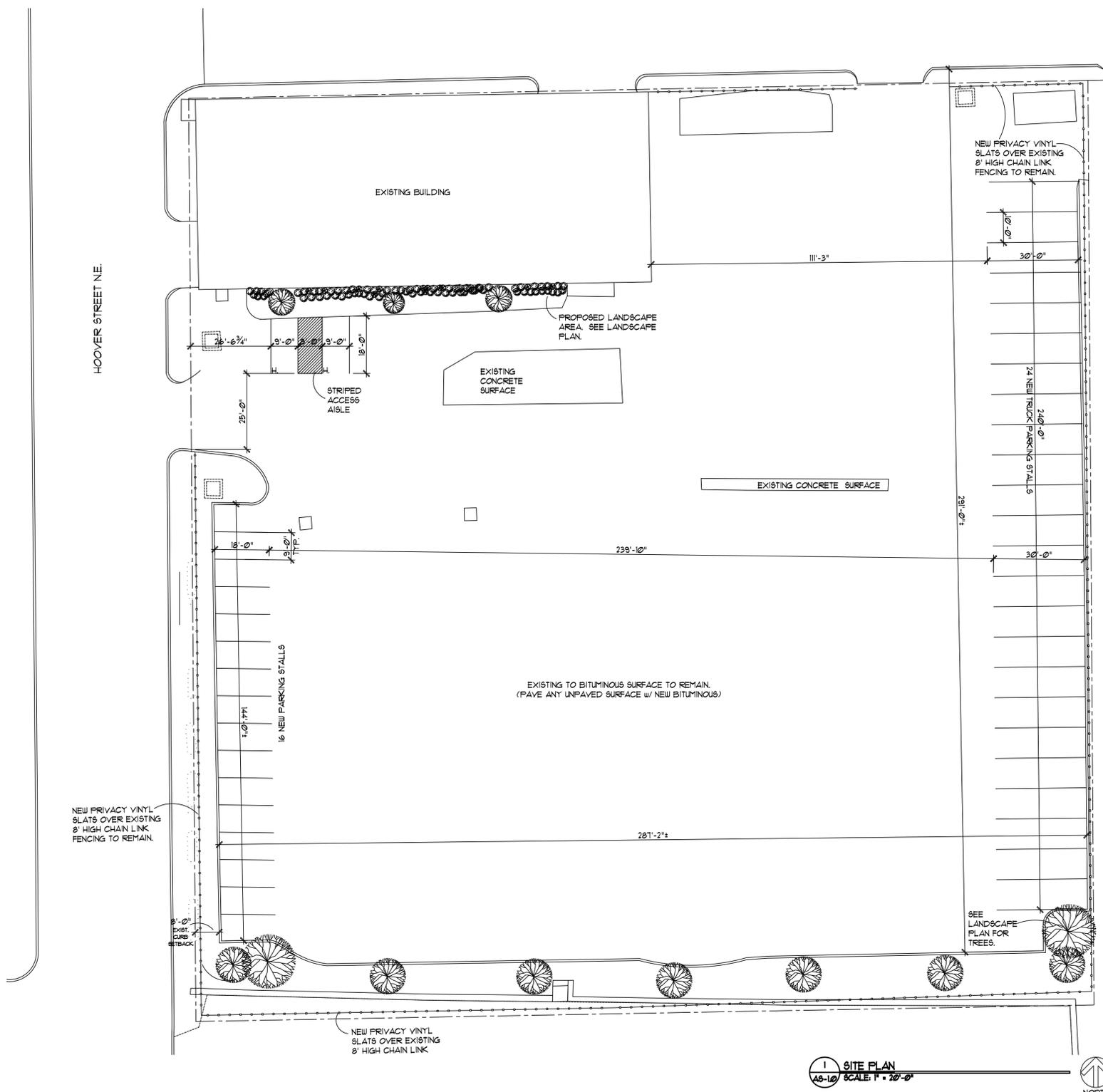
359 HOOVER ST.
 PID#1802923430014
 PID#1802923430015
 PID#1802923430016
 PID#1802923430017
 PID#1802923430018
 PID#1802923430019
 PID#1802923430021
 PID#1802923430022
 PID#1802923430023
 PID#1802923430024
 PID#1802923430025
 PID#1802923430032
 PID#1802923430033

Suite #1
 6750 Stillwater Blvd. N.
 Stillwater, MN 55082
 Phone 651.275.8969
 Fax 651.275.8976
 dan@
 cssurvey.net

CORNERSTONE LAND SURVEYING, INC.

FILE NAME: WEL15001
 PROJECT NO.: SURWEL01

BOUNDARY/TOPOGRAPHIC SURVEY



THE DRAWINGS AND / OR SPECIFICATIONS CONTAINED HEREIN ARE THE EXCLUSIVE PROPERTY OF WELSH ARCHITECTURE AND SHALL NOT BE UTILIZED OR COPIED BY OTHER PARTIES WITHOUT PRIOR WRITTEN CONSENT.

I HEREBY CERTIFY THAT THIS PLAN SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

Lynn D. Sudat
LYNN D. SUDAT A.I.A.
DATE: 03-04-2015 REG. NO. 14163

REVISION NUMBER	DATE
CLIENT REVIEW	01/11/2015
CLIENT REVIEW	01/22/2015
PERMIT SET	03-04-2015
REVISED PER CITY COMMENTS	02-04-2016
CITY RESUBMITTAL	02-19-2016



WELSH ARCHITECTURE

4350 Baker Road, Suite 400, Minnetonka, MN 55343
TEL. 952.897.7874 FAX: 952.897.7740

PROJECT:
RYDER

**359 HOOVER STREET N.E.
MINNEAPOLIS, MINNESOTA 55426**

SHEET TITLE:
SITE PLAN

JOB: 2015.316.0
DRAWN BY: AJV
CHECKED BY: LDS
SHEET NO.:

AS-1.0

SYM	QUANT. ON-SITE	QUANT. OFF-SITE	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	COMMENTS	POLLINATOR FRIENDLY
EXISTING TREES								
	14	9	SHADE TREES					
DECIDUOUS TREES								
NWM	1	-	Northwood Red Maple	Acer rubrum 'Northwood'	2" CAL	B&B		
EXISTING SHRUBS								
DECIDUOUS & EVERGREEN SHRUBS								
AC	46	-	ALPINE CURRANT	Ribes alpinum	24" HT.	CONT.		X
MJ	5	-	MEDORA JUNIPER	Juniperus scopulorum 'Medora'	36" HT.	CONT.		X
DKR	3	-	KNOCK OUT DOUBLE RED ROSE	Rosa 'Red Double Knock Out'	24" HT.	CONT.		X
PERENNIALS, GRASSES & GROUND COVERS								
WCM	24	-	WALKER'S LOW CATMINT	Nepeta x faassenii 'Walker's Low'	#2	CONT.		X
PMD	60	-	PARDON ME DAYLILY	Hemerocallis 'Pardon Me'	#2	CONT.		X
SDB	100	-	SPREADING DOGBANE	Apocynum androsaemifolium	4" POTS	CONT.		X

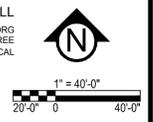
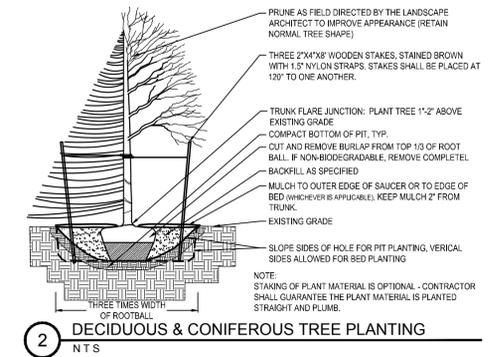
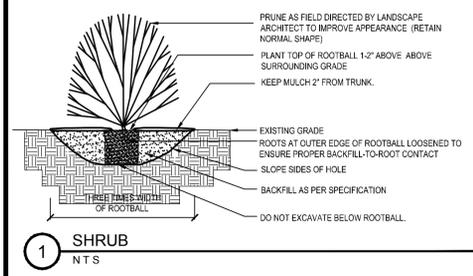
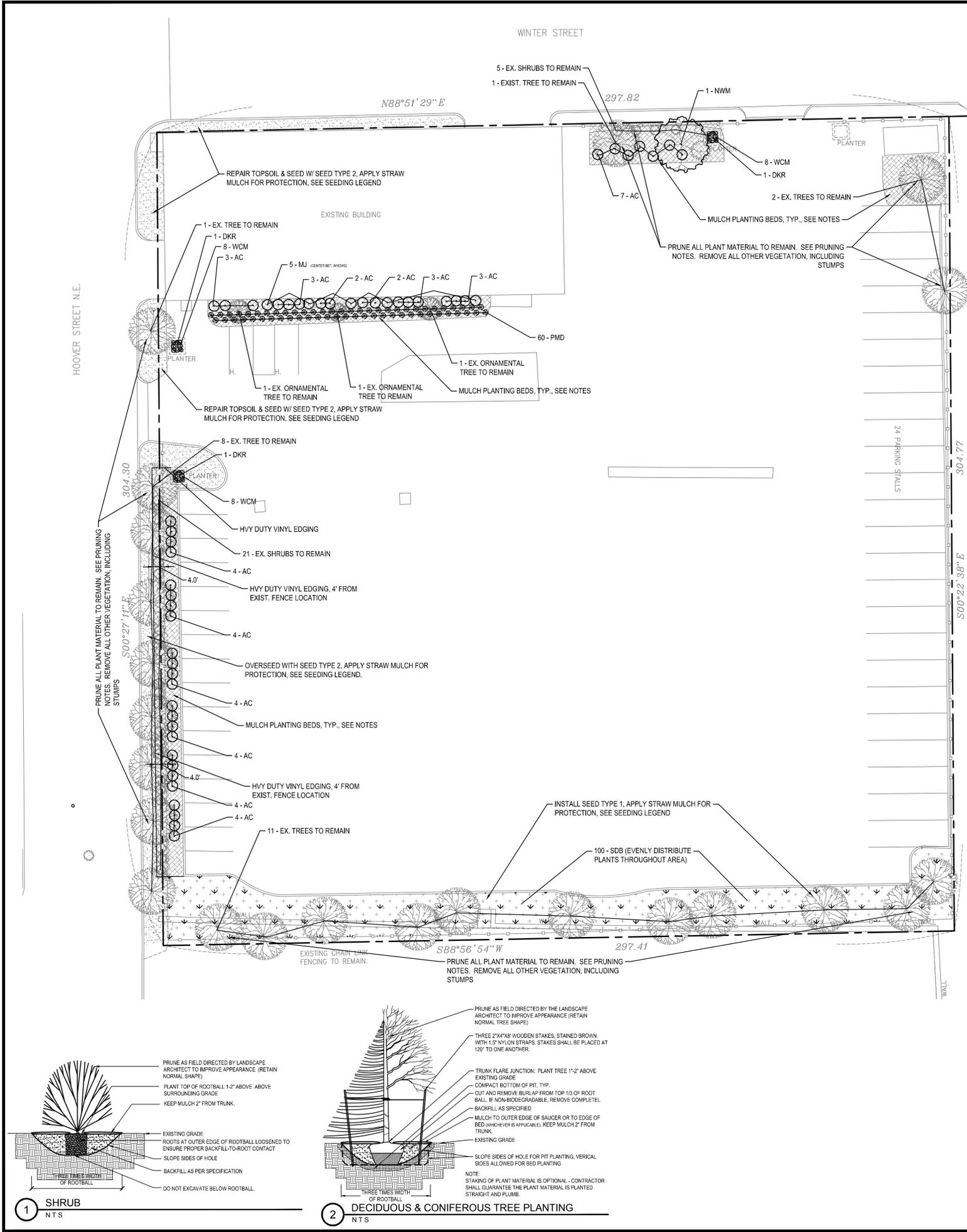
- POLLINATOR SAFE PLANT MATERIAL:**
- THE CONTRACTOR SHALL PROVIDE ONLY PLANT MATERIAL FREE OF NEONICOTINOID BASED INSECTICIDES AND/OR TREATMENTS OF ANY KIND, INCLUDING BY NOT LIMITED TO IMIDACLOPRID (CONFIDOR, ADMIRE, GAUCHO, ADVOCATE), THIAMETHOXAM (ACTARA, PLATINUM, CRUISER), CLOTHIANIDIN (PONCHO, DANTOSO, DANTOP), ACETAMIPRID (MOSPILAN, ASSAIL, CHIPCOTRISTAR), THIACLOPRID (CALYPSO), DINOTEFURAN (STARKLE, SAFARI, VENOM), AND NITENPYRAM (CAPSTAR, GUARDIAN).
 - CONTRACTOR SHALL CERTIFY, THROUGH SUPPLIERS POLICY STATEMENT OR AFFIDAVIT, THAT NO NEONICOTINOID BASED INSECTICIDES HAVE BEEN USED ON SITE OR DIRECTLY ADJACENT TO THE GROWING OR STORAGE PLOTS OF THE SUPPLIED PLANT MATERIAL, INCLUDING THE PLANTING OF AGRICULTURAL (OR OTHER) SEED TREATED WITH NEONICS.

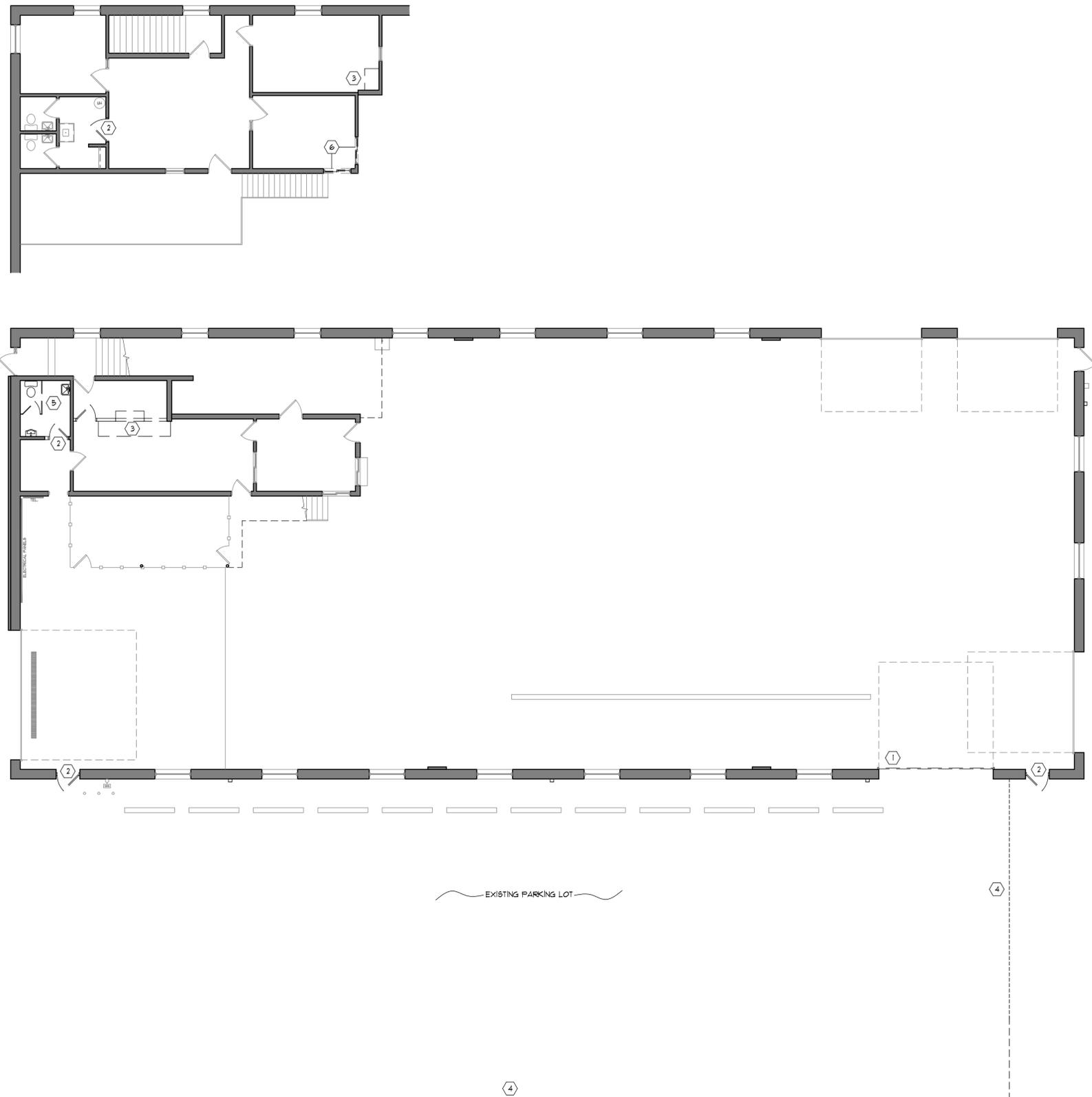
- LANDSCAPE NOTES:**
- EXISTING PLAN MATERIAL SHOWN ON PLAN WAS LOCATED PER A COMBINATION OF SURVEY INFORMATION AND AERIAL PHOTOGRAPHY. CONTRACTOR SHALL VERIFY ALL MATERIAL FOR LOCATION, HEALTH AND CONTINUED VIABILITY.
 - ALL SHRUB BEDS SHALL BE MULCHED WITH 4" DEPTH (MIN. AFTER INSTALLATION AND/OR TOPDRESSING OPERATIONS) OF SHREDDED HARDWOOD MULCH UNLESS OTHERWISE NOTED, OVER WEED BARRIER. OWNER TO APPROVE MULCH SAMPLE(S) PRIOR TO INSTALLATION. STEEL EDGING AS SHOWN ON PLAN. SUBMIT SAMPLE FOR APPROVAL.
 - PLANT MATERIALS SHALL CONFORM WITH THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS AND SHALL BE OF HARDY STOCK, FREE FROM DISEASE, DAMAGE AND DISFIGURATION. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING PLUMBNESS OF PLANT MATERIAL FOR DURING OF ACCEPTANCE PERIOD.
 - UPON DISCOVERY OF A DISCREPANCY BETWEEN THE QUANTITY OF PLANTS SHOWN ON THE SCHEDULE AND THE QUANTITY SHOWN ON THE PLAN, THE PLAN SHALL GOVERN.
 - CONDITION OF VEGETATION SHALL BE MONITORED BY THE LANDSCAPE ARCHITECT THROUGHOUT THE DURATION OF THE CONTRACT. LANDSCAPE MATERIALS PART OF THE CONTRACT SHALL BE WARRANTED FOR TWO (2) FULL GROWING SEASONS FROM SUBSTANTIAL COMPLETION DATE.
 - AREAS DISTURBED BY CONSTRUCTION ACTIVITIES SHALL RECEIVE 4" LAYER LOAM AND SOD AS SPECIFIED UNLESS OTHERWISE NOTED ON THE DRAWINGS.
 - COORDINATE LOCATION OF VEGETATION WITH UNDERGROUND AND OVERHEAD UTILITIES, LIGHTING FIXTURES, DOORS AND WINDOWS. CONTRACTOR SHALL STAKE IN THE FIELD FINAL LOCATION OF TREES AND SHRUBS FOR REVIEW AND APPROVAL BY THE OWNER PRIOR TO INSTALLATION.
 - ALL PLANT MATERIALS SHALL BE WATERED AND MAINTAINED UNTIL ACCEPTANCE.
 - REPAIR AT NO COST TO OWNER ALL DAMAGE RESULTING FROM LANDSCAPE CONTRACTOR'S ACTIVITIES.
 - SWEEP AND MAINTAIN ALL PAVED SURFACES FREE OF DEBRIS GENERATED FROM LANDSCAPE CONTRACTOR'S ACTIVITIES.

- PRUNING NOTES:**
- ALL TREES AND SHRUBS TO REMAIN SHALL BE PRUNED. ALL STREET TREES SHALL HAVE THE CROWN PRUNED UP TO A HEIGHT OF MIN. 7'-0" FROM EXISTING GROUND OR, IF SMALLER IN SIZE, TO A HEIGHT WHICH ALLOWS MAINTENANCE UNDER THE TREE AND PROVIDES BALANCE FOR THE CROWN FORM. PRUNE PER THE ANSI A300 PRUNING SPECIFICATION AND COMMON STANDARD PRACTICES.
 - CONTRACTOR SHALL COORDINATE PRUNING WITH OWNER AND SEEK OWNER'S INPUT AT TIME OF PRUNING.
 - CONTRACTOR SHALL PRIMARILY PRUNE FOR 1. HEALTH, AND 2. PLANT BALANCE AND FORM (SAFETY) AND 3. AESTHETIC APPEARANCE AND SITE SECURITY

LEGEND (IF APPLICABLE)

- SEED TYPE 1 - NATIVE, MNDOT 35-241 - INSTALL PER MNDOT SEEDING MANUAL (2014), OR EQUIVALENT.
- SEED TYPE 2 - GENERAL, MNDOT 25-131 - INSTALL PER MNDOT SEEDING MANUAL (2014), OR EQUIVALENT.
- SHREDDED HARDWOOD MULCH OVER FILTER FABRIC, SAMPLES REQUIRED
- PROPOSED CANOPY & EVERGREEN TREE SYMBOLS - SEE SCHEDULE AND PLAN FOR SPECIES AND PLANTING SIZES
- PROPOSED DECIDUOUS AND EVERGREEN SHRUB SYMBOLS - SEE SCHEDULE AND PLAN FOR SPECIES AND PLANTING SIZES
- PROPOSED PERENNIAL PLANT SYMBOLS - SEE SCHEDULE AND PLAN FOR SPECIES AND PLANTING SIZES
- DECORATIVE BOULDERS, 18"-30" DIA.





- DEMOLITION KEYNOTES**
1. THE CONTRACTOR SHALL REMOVE THE EXISTING OVERHEAD DOOR AS SHOWN ON THE PLAN.
 2. THE CONTRACTOR SHALL REMOVE THE EXISTING WALLS / DOORS AS SHOWN ON THE PLAN.
 3. THE CONTRACTOR SHALL REMOVE THE EXISTING DOOR, WALL AND COUNTER AS SHOWN ON THE PLAN. LEAVE 6" FROM BOTTOM OF CEILING TO REMAIN FOR HEADER.
 4. THE CONTRACTOR SHALL REMOVE THE EXISTING CHAIN LINK FENCE IN YARD.
 5. THE CONTRACTOR SHALL REMOVE THE EXISTING TOILET PARTITION, TOILET, WALL HUNG SINK AND URINAL.
 6. THE CONTRACTOR SHALL REMOVE THE EXISTING SLIDER WINDOWS AS SHOWN ON THE PLAN.

1 FIRST FLOOR DEMOLITION PLAN
 AD-1.0 SCALE: 1/8" = 1'-0"
 NORTH

THE DRAWINGS AND / OR SPECIFICATIONS CONTAINED HEREIN ARE THE EXCLUSIVE PROPERTY OF WELSH ARCHITECTURE AND SHALL NOT BE UTILIZED OR COPIED BY OTHER PARTIES WITHOUT PRIOR WRITTEN CONSENT.

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.
 LYNN D. SUDAT A.I.A.
 DATE: 05-04-2015 REG. NO. 14163

REVISION NUMBER	DATE
CLIENT REVIEW	01/11/2015
CLIENT REVIEW	01/22/2015
PERMIT SET	03-04-2015



4350 Baker Road, Suite 400, Minnetonka, MN 55345
 TEL. 952.897.787#FAX: 952.897.7740

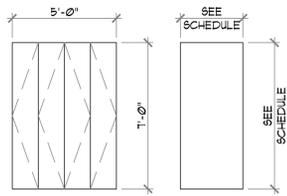
PROJECT:
RYDER

**359 HOOVER STREET N.E.
 MINNEAPOLIS, MINNESOTA 55426**

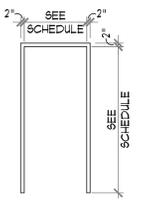
SHEET TITLE:
DEMOLITION FLOOR PLANS

JOB: 2015.316.0
 DRAWN BY: AJV
 CHECKED BY: LDS
 SHEET NO.:

AD-1.0

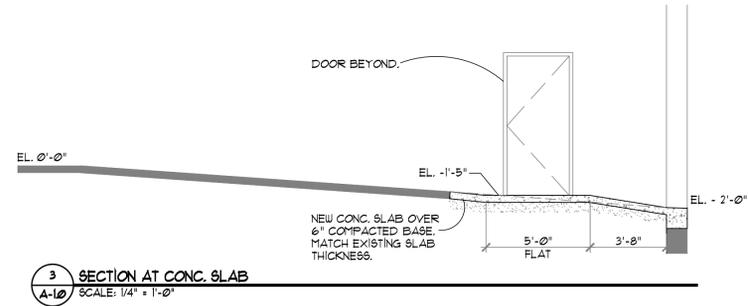


DOOR ELEVATIONS
SCALE: 1/4" = 1'-0"

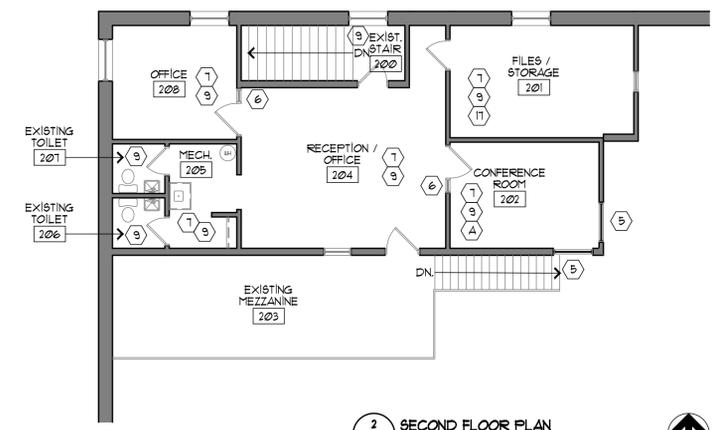


FRAME ELEVATIONS
SCALE: 1/4" = 1'-0"

- FLOOR PLAN KEYNOTES:**
- THE CONTRACTOR SHALL FURNISH (8) NEW 4" HIGH HEAVY DUTY PLASTIC STANCHIONS w/ C-HOOKS AND 16" BASE BY GLOBAL INDUSTRIAL OR APP. EQUAL. - YELLOW.
 - ALIGN FACE OF NEW GYPSUM BOARD WITH FACE OF EXISTING WALL.
 - THE CONTRACTOR SHALL POWER WASH ALL EXISTING WALLS AND AUTO SCRUB THE EXISTING FLOORS THROUGHOUT THE BUILDING.
 - THE CONTRACTOR SHALL REPAIR THE VENTING FOR THE EXISTING SERVICE SINK.
 - THE CONTRACTOR FURNISH AND INSTALL (2) NEW HOLLOW METAL FIXED WINDOWS w/ 1/4" CLEAR TEMPERED GLAZING. MATCH EXISTING OPENING.
 - THE CONTRACTOR SHALL FURNISH AND INSTALL NEW 1/4" CLEAR TEMPERED GLASS IN EXISTING SIDELITE.
 - THE CONTRACTOR SHALL PREP AND PAINT THE EXISTING TRIM, CASINGS AND DOORS THROUGHOUT THE OFFICE AREAS ON BOTH FLOORS AND THE NEW CEILING GRID ON 2ND FLOOR.
 - THE CONTRACTOR SHALL PREP AND PAINT EXTERIOR OF BUILDING. PAINT SHALL BE SHERWIN WILLIAMS GULL GRAY HC-152 4 GYP8Y RED 9U-6865. SEAL WITH TWO COATS SHERWIN WILLIAMS H4C SHIELD PLUS (CLEAR). PROVIDE SAMPLES PRIOR TO ORDERING. PAINT GYF0Y RED ACCENT BAND ABOVE EXISTING SECOND FLOOR WINDOWS. 2 COURSES HIGH AROUND PERIMETER OF BUILDING.
 - THE CONTRACTOR SHALL STRIP AND WAX THE EXISTING V.C.T. FLOORING THROUGHOUT THE SPACE, BOTH FLOORS.
 - THE CONTRACTOR SHALL FURNISH AND INSTALL (2) NEW FOUR-FLEX DUPLEX RECEPTACLES UNDER COUNTER AT CSC OFFICE (106).
 - THE CONTRACTOR SHALL FURNISH, INSTALL AND WIRE (1) 1-TON DUCTLESS AC SPLIT SYSTEM IN LOCKER ROOM (101) & BREAK ROOM (103).
 - THE CONTRACTOR SHALL WIRE (1) NEW THERMOSTAT. VERIFY w/ MECH. FOR LOCATION.
 - THE CONTRACTOR SHALL FURNISH AND INSTALL (1) NEW GFCI RECEPTACLE ON NEW ROOFTOP UNIT PER CODE.
 - THE CONTRACTOR SHALL FURNISH AND INSTALL NEW FLAMMABLE WASTE TRAP AND PROVIDE NEW METAL GRATES AT EXISTING TRENCH DRAIN. VERIFY ALL EXISTING GARAGE DRAIN LINES ARE CONNECTED TO THE FLAMMABLE WASTE TRAP.
 - THE CONTRACTOR SHALL FURNISH AND INSTALL (1) NEW ROOFTOP MAKEUP AIR UNIT, (2) NEW ROOFTOP EXHAUST FANS AND (1) NEW ROOFTOP EXHAUST FAN FOR THE MUFFLER EXHAUST SYSTEM TO WORK ON TRUCKS.
 - THE CONTRACTOR SHALL VERIFY THAT THE EXISTING (8) INFRARED HEATERS ARE WORKING AND IN GOOD STANDING CONDITION.
 - THE CONTRACTOR SHALL FURNISH AND INSTALL NEW 36% EFFICIENT GOODMAN FURNACE OR APP. EQ. AND 3 SEER 2.5 TON A/C UNIT WITH CASED COIL. REWORK DUCTWORK FOR FURNACE TO SET ON FLOOR AND REWORK FRESH AIR INTAKE AND EXISTING DUCTWORK PER NEW FLOOR PLAN. VERIFY LOCATION.
 - THE CONTRACTOR SHALL SAW-CUT THE EXISTING CONC SLAB TO PROVIDE NEW 3'-0" WIDE LANDING FOR ADA ACCESSIBLE ROUTE. TAPER EXISTING CONC SLAB BACK TO MAIN FLOOR ELEVATION AS REQUIRED. SEE DETAIL 3/A-10.
 - THE CONTRACTOR SHALL FURNISH AND INSTALL DOUBLE TIER LOCKERS. VERIFY WITH TENANT FOR QUANTITY. LOCKERS TO BE REPUBLIC STG. SYSTEMS, ADA DBL. LOCKER (12" Wx18"Dx36H DBL. TIER)
 - NEW FLOOR DRAIN. SEE PLUMBING FOR SIZE, LOCATION AND DETAILS.
- ADD ALTERNATE:**
- THE CONTRACTOR SHALL DEMO AND DISPOSE OF EXISTING PANELING IN CONFERENCE ROOM (202). REPAIR / REPLACE DRYWALL AS REQUIRED. PREP WALL TO RECEIVE NEW PAINT.
 - THE CONTRACTOR SHALL FURNISH AND INSTALL NEW 16" Wx14"-8"H GALVANIZED STEEL ROLL-UP DOOR IN REPAIR GARAGE (100).
 - THE CONTRACTOR SHALL FURNISH AND WIRE (1) 3000 WATT 208V SINGLE PHASE HEATER AT BOTTOM OF STEPS AT EXISTING STAIR (102).
 - THE CONTRACTOR SHALL WIRE NEW TENANT SIGNAGE ON FRONT OF BUILDING. (LOCATION T.B.D. AND SIGN BY OTHERS).
 - THE CONTRACTOR SHALL FURNISH, INSTALL AND WIRE (1) NEW LED WALL PACK OVER NEW OH. DOOR AT SOUTH SIDE OF BUILDING. (ADD ALTERNATE B)
 - THE CONTRACTOR SHALL FURNISH AND INSTALL NEW VENTING AND FLEX FOR TRUCK EXHAUST SYSTEM. NO HOSE REELS OR END CAPS.
 - THE CONTRACTOR SHALL FURNISH AND INSTALL NEW UNIT HEATER. HEATER SHOULD BE ABLE TO RE-USE OIL FROM THE SHOP, PUMP AND EXHAUST.



SECTION AT CONC. SLAB
SCALE: 1/4" = 1'-0"

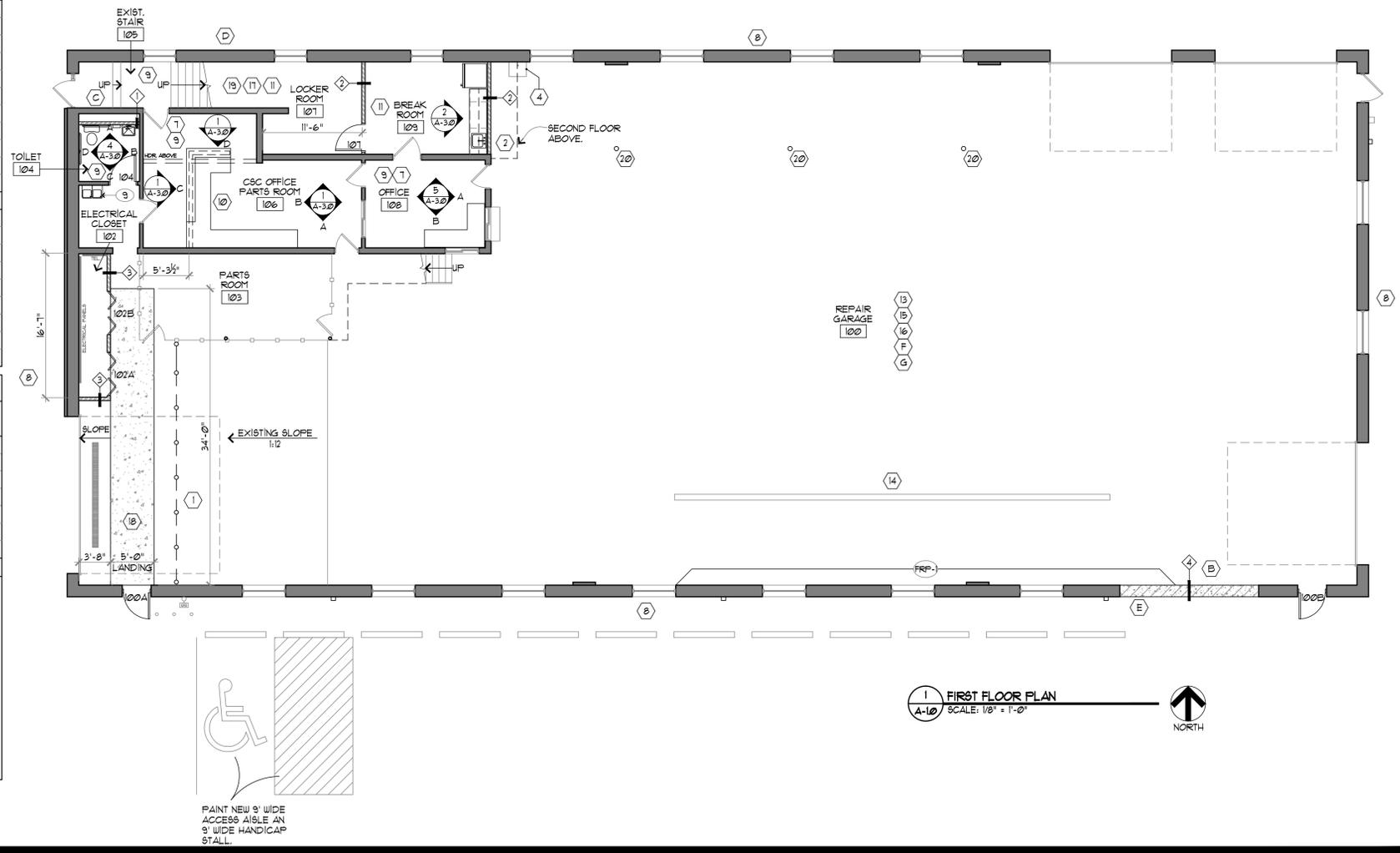


2 SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

RM. NO.	ROOM NAME	FLR.	BASE	WALLS AND FINISH				CEILING		REMARKS
				NORTH	SOUTH	EAST	WEST	MATL.	HGT.	
FIRST FLOOR										
100	REPAIR GARAGE	EXIST.	V.N.	EXIST. PAINT	EXIST. PAINT	EXIST. PAINT	EXIST. PAINT	EXIST.	EXIST.	---
101	NOT USED	---	---	---	---	---	---	---	---	---
102	ELECTRICAL CLOSET	EXIST.	V.N.	EXIST. PAINT	EXIST. PAINT	EXIST. PAINT	EXIST. PAINT	EXIST.	EXIST.	---
103	PARTS ROOM	EXIST.	V.N.	EXIST. PAINT	EXIST. PAINT	EXIST. PAINT	EXIST. PAINT	EXIST.	EXIST.	---
104	TOILET	EXIST.	V.N.	EXIST. PAINT	EXIST. PAINT	EXIST. PAINT	EXIST. PAINT	EXIST.	EXIST.	PROVIDE 4'-0" WANSCOT. SEE INT. ELEV.
105	EXISTING STAIR	EXIST.	V.N.	EXIST. PAINT	EXIST. PAINT	EXIST. PAINT	EXIST. PAINT	EXIST.	EXIST.	---
106	CSC OFFICE / PARTS ROOM	EXIST.	V.N.	EXIST. PAINT	EXIST. PAINT	EXIST. PAINT	EXIST. PAINT	EXIST.	EXIST.	---
107	LOCKER ROOM	EPOXY	V.N.	EXIST. PAINT	EXIST. PAINT	EXIST. PAINT	EXIST. PAINT	A.C.T.	8'-5"	MATCH EXISTING 1ST FLOOR A.C.T. CEILING HEIGHT.
108	OFFICE	EXIST.	V.N.	EXIST. PAINT	EXIST. PAINT	EXIST. PAINT	EXIST. PAINT	EXIST.	EXIST.	---
109	BREAK ROOM	EPOXY	V.N.	EXIST. PAINT	EXIST. PAINT	EXIST. PAINT	EXIST. PAINT	A.C.T.	8'-5"	MATCH EXISTING 1ST FLOOR A.C.T. CEILING HEIGHT.
SECOND FLOOR										
200	EXISTING STAIR	EXIST.	V.N.	EXIST. PAINT	EXIST. PAINT	EXIST. PAINT	EXIST. PAINT	EXIST.	EXIST.	---
201	FILES / STORAGE	EXIST.	V.N.	EXIST. PAINT	EXIST. PAINT	EXIST. PAINT	EXIST. PAINT	A.C.T.	11'-9"	---
202	CONFERENCE ROOM	EXIST.	V.N.	EXIST. PAINT	EXIST. PAINT	EXIST. PAINT	EXIST. PAINT	A.C.T.	11'-9"	---
203	EXISTING MEZZANINE	EXIST.	V.N.	---	---	---	---	---	---	---
204	RECEPTION / OFFICE	EXIST.	V.N.	EXIST. PAINT	EXIST. PAINT	EXIST. PAINT	EXIST. PAINT	A.C.T.	11'-9"	---
205	MECHANICAL	EXIST.	V.N.	EXIST. PAINT	EXIST. PAINT	EXIST. PAINT	EXIST. PAINT	A.C.T.	11'-9"	---
206	EXISTING TOILET	EXIST.	V.N.	EXIST. PAINT	EXIST. PAINT	EXIST. PAINT	EXIST. PAINT	A.C.T.	11'-9"	---
207	EXISTING TOILET	EXIST.	V.N.	EXIST. PAINT	EXIST. PAINT	EXIST. PAINT	EXIST. PAINT	A.C.T.	11'-9"	---
208	OFFICE	EXIST.	V.N.	EXIST. PAINT	EXIST. PAINT	EXIST. PAINT	EXIST. PAINT	A.C.T.	8'-0"	---

DOOR NO.	DOOR LOCATION	DOOR TYPE	WIDTH	HEIGHT	THICK	FRAME		HARDWARE		CLSR.	STOP	KICK PLATE	SOUND SEAL	REMARKS
						MATL/ FIN.	TYPE	LATCH/ LOCK	HOLE/ FUNCT.					
100A	REPAIR GARAGE	A	3'-0"	6'-8"	1-3/4"	HM. PAINT	1	HM. PAINT	LOCK	AL80PD	●	OHD.	---	WEATHERSTRIP THRESHOLD. PANIC HARDWARE.
100B	REPAIR GARAGE	A	3'-0"	6'-8"	1-3/4"	HM. PAINT	1	HM. PAINT	LOCK	AL80PD	●	OHD.	---	WEATHERSTRIP THRESHOLD. PANIC HARDWARE.
102A	ELECTRICAL CLOSET	B	5'-0"	7'-0"	1-3/4"	WOOD PAINT	---	---	---	---	---	---	---	LOCKABLE BI-FOLD DOOR.
102B	ELECTRICAL CLOSET	B	5'-0"	7'-0"	1-3/4"	WOOD PAINT	---	---	---	---	---	---	---	LOCKABLE BI-FOLD DOOR.
104	TOILET	A	3'-0"	7'-0"	1-3/4"	HM. PAINT	1	HM. PAINT	PRIV. LOCK	AL40S	●	WALL	---	---
107	LOCKER ROOM	A	3'-0"	7'-0"	1-3/4"	HM. PAINT	1	HM. PAINT	LATCH	AL10S	●	WALL	●	---

- DOOR NOTES:**
- DOOR #04 & #07 SHALL BE (3) HINGE 5881, MORTISE CYLINDER SURFACE CLOSER RUMPA, OVERHEAD HOLDER, KICK PLATE 10"X2", KING COBRA LOCK AND (3) GILNERS.
 - HARDWARE FUNCTION AS SHOWN ON SCHEDULE SHALL MEET OR EXCEED SCHLAGE GRADE 2, AL SERIES, 6TURN LEVER DESIGN.
 - REPLACE ALL EXISTING HARDWARE WITH NEW HARDWARE. ALL DOORS SHALL BE EQUIPPED WITH LEVER HARDWARE CONFORMING TO ANSI A111.
 - HARDWARE FINISH SHALL BE SATIN NICKEL #619.
 - SOUND SEALS SHALL BE SELF ADHERED STRIPS - INSTALLED PER MANUF. BRONZE COLOR BY Q-LON - QD5T-375B6 OR EQ.
 - OVERHEAD STOP TO OPEN 95 DEGREES - PROVIDE (1) SAMPLE INSTALLATION PRIOR TO INSTALLING ALL OVER-HEAD STOPS.
 - PROVIDE 2X BACKING AT LOCKSET HEIGHT FOR WALL MOUNTED DOOR BUMPERS.
 - PAINT NEW / RELOCATED DOORS AS REQUIRED TO MATCH EXISTING DOORS. TOUCH-UP EXISTING DOOR FRAMES. SEE SHEET F-1 FOR PAINT SPEC.
 - PROVIDE PANIC HARDWARE AT ALL EXIT DOORS AS REQUIRED.



1 FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

THE DRAWINGS AND / OR SPECIFICATIONS CONTAINED HEREIN ARE THE EXCLUSIVE PROPERTY OF WELSH ARCHITECTURE AND SHALL NOT BE UTILIZED OR COPIED BY OTHER PARTIES WITHOUT PRIOR WRITTEN CONSENT.

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

[Signature]
KYLE D. SLOAN AIA
DATE: 05-04-2015 REG. NO. 14163

REVISION NUMBER	DATE
CLIENT REVIEW	01/11/2015
CLIENT REVIEW	07/12/2015
PERMIT SET	09-04-2015



4350 Boker Road, Suite 400, Minneapolis, MN 55426
TEL: 952.897.787# FAX: 952.897.7740

PROJECT:
RYDER
359 HOOVER STREET N.E. MINNEAPOLIS, MINNESOTA 55426

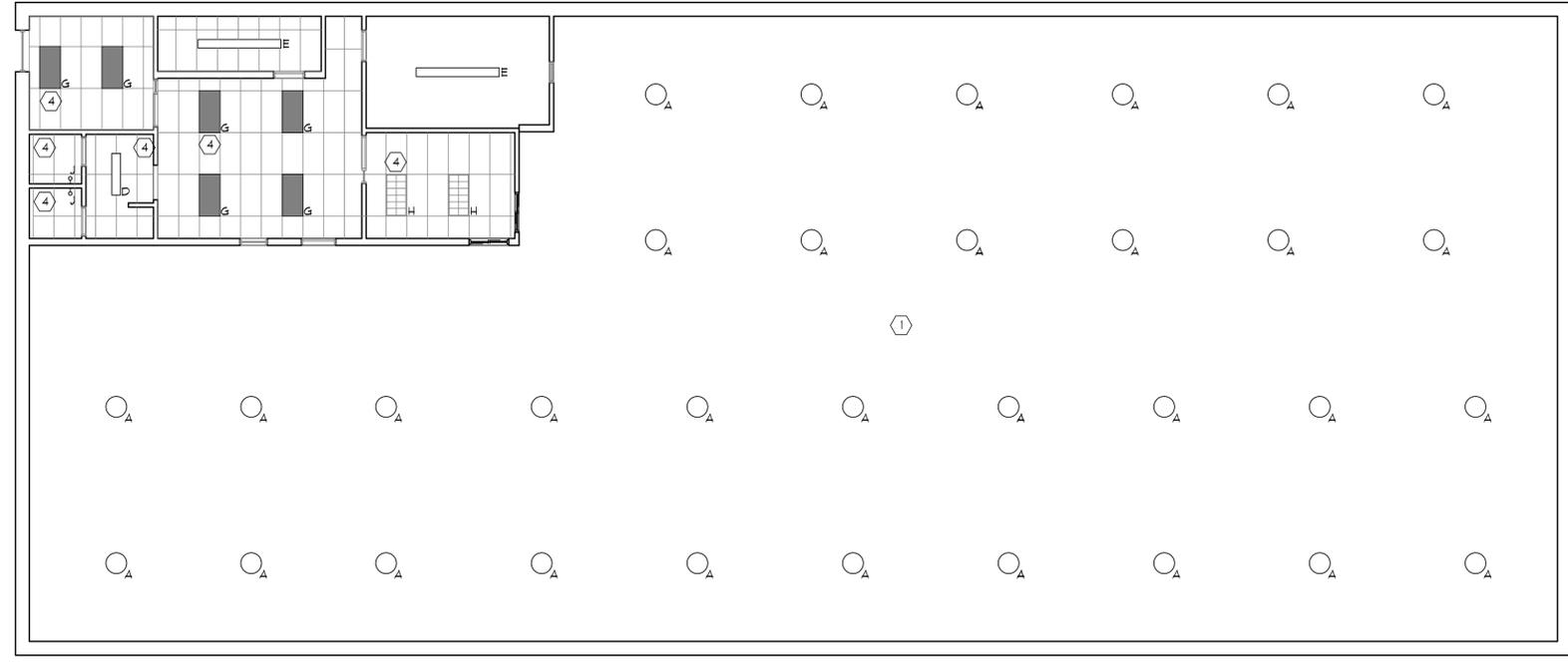
SHEET TITLE:
FIRST FLOOR AND SECOND FLOOR PLAN

JOB: 2015316.0
DRAWN BY: AJV
CHECKED BY: LDS
SHEET NO.:

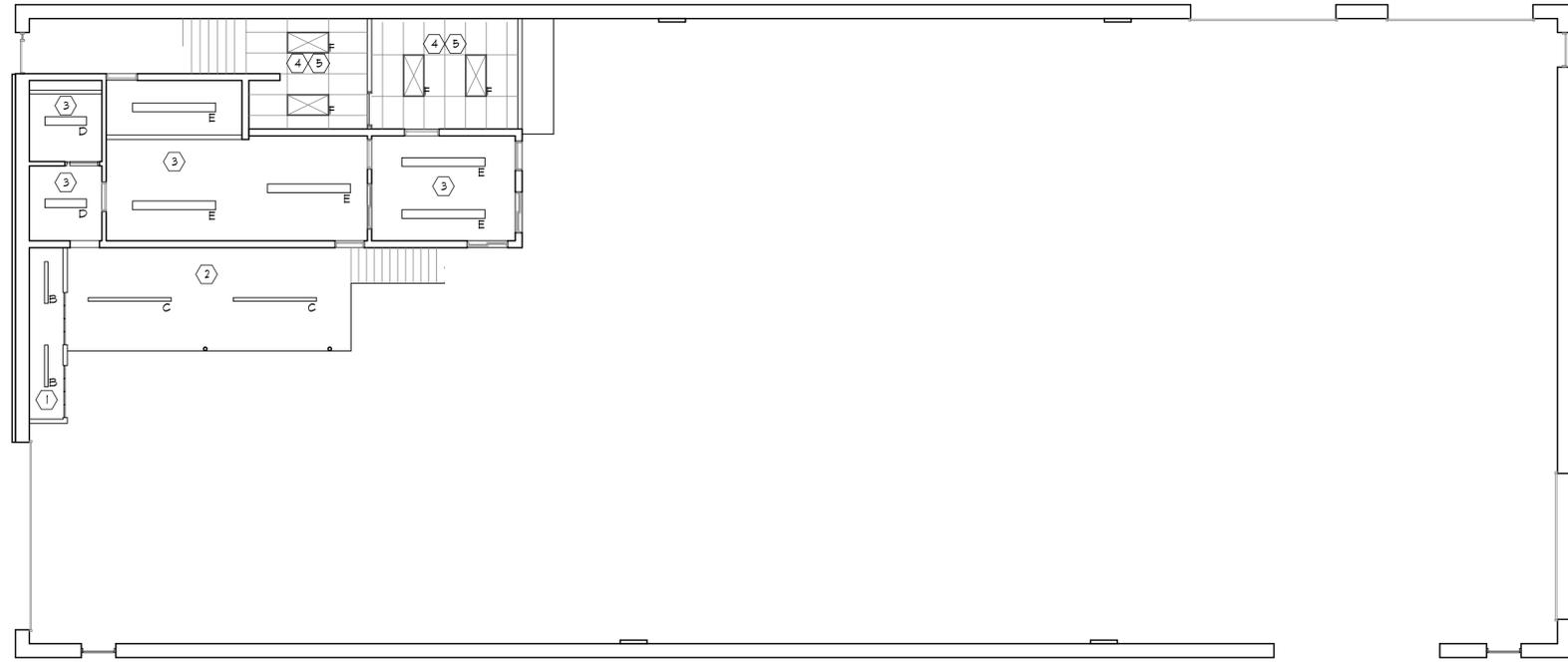
A-1.0

- REFLECTED CEILING PLAN KEY NOTES:** (X)
- EXISTING EXPOSED STRUCTURE.
 - EXPOSED UNDERSIDE OF MEZZANINE FLOOR STRUCTURE.
 - EXISTING A.C.T. TO REMAIN.
 - 24"x48" LAY-IN ACOUSTICAL TILE AND GRID, ARMSTRONG 885 FIGURED SQUARE EDGE, MEDIUM TEXTURE, COLOR TO BE WHITE.
 - CEILING HEIGHT TO BE 8'-5" AFF. MATCH HEIGHT OF EXISTING FIRST FLOOR OFFICE CEILING.
 - SECOND FLOOR CEILING HEIGHT TO MATCH EXISTING HEIGHT. (APPROX. 11'-9" AFF.)
 - THE CONTRACTOR SHALL REMOVE ALL EXISTING STRIP FIXTURES AND HIGH BAY FIXTURES IN GARAGE AREA.
 - THE CONTRACTOR SHALL REMOVE ALL EXISTING LIGHT FIXTURES IN OFFICE AREAS ON FIRST AND SECOND FLOORS.
- ADD ALTERNATE:
THE CONTRACTOR SHALL FURNISH, INSTALL AND WIRE (2) 6 LAMP FLUOR. T-5 HIGH BAY FIXTURES.
- NOTE: ALL FLUORESCENT LAMPS, HID LAMPS AND ALL LIGHT FIXTURES WILL BE DISPOSED OF BY RYDER.

- REFLECTED CEILING PLAN LEGEND:**
-  6 LAMP FLUORESCENT T-5 HIGH BAY LIGHT FIXTURE. TYPE T.B.D.
 -  FLUOR STRIP FIXTURE - 2 T-8 LAMPS, 4'-0" LONG. TYP T.B.D.
 -  FLUOR STRIP FIXTURE - 8'-0" LONG BY LSI w/ (4) 32W, T8 LAMPS. #S-2-32-2-85010-WG240-UE
 -  4'-0" LONG SURFACE MOUNTED FLUOR. - WRAP AROUND 2T. FLUOR. CLEAR ACRYLIC LENS. TYPE T.B.D.
 -  8'-0" LONG SURFACE MOUNTED FLUOR. - WRAP AROUND 2T. FLUOR. CLEAR ACRYLIC LENS. TYPE T.B.D.
 -  24"x48" LAY-IN FLUORESCENT FIXTURE BY LSI. (2) 32W, T8 LAMPS. #GA125-232-5D-85010-UE
 -  24"x48" LAY-IN FLUORESCENT FIXTURE BY LSI. (2) 32W, T8 LAMPS. #PGN12-332-FD-85010-UE
 -  24"x48" LAY-IN FLUORESCENT 18 CELL PARABOLIC FIXTURE BY LSI. (1) 32W, T8 LAMPS. #PGN18-332-FD-85010-UE
 -  WALL SCONCE w/ LED LAMPS. TYPE T.B.D.



2 SECOND FLOOR REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"
NORTH



1 FIRST FLOOR REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"
NORTH

THE DRAWINGS AND / OR SPECIFICATIONS CONTAINED HEREIN ARE THE EXCLUSIVE PROPERTY OF WELSH ARCHITECTURE AND SHALL NOT BE UTILIZED OR COPIED BY OTHER PARTIES WITHOUT PRIOR WRITTEN CONSENT.

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.
[Signature]
LYNN D. SUDAT AIA.
DATE: 05-04-2015 REG. NO. 14163

REVISION NUMBER	DATE
CLIENT REVIEW	01/11/2015
CLIENT REVIEW	01/22/2015
PERMIT SET	03-04-2015



4350 Baker Road, Suite 400, Minnetonka, MN 55345
TEL. 952.897.787#FAX: 952.897.7740

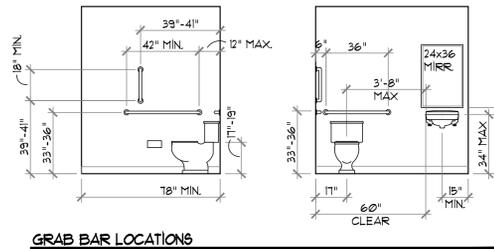
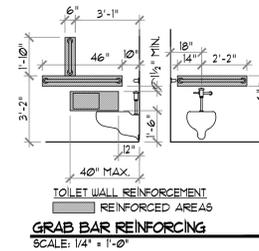
PROJECT:
RYDER

**359 HOOVER STREET N.E.
MINNEAPOLIS, MINNESOTA 55426**

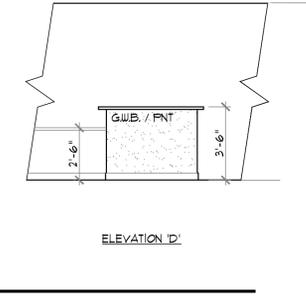
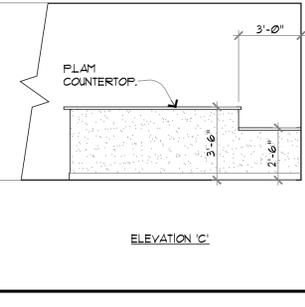
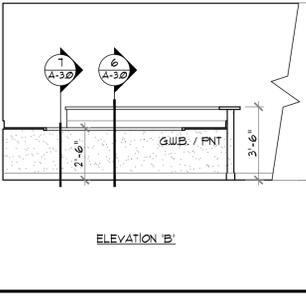
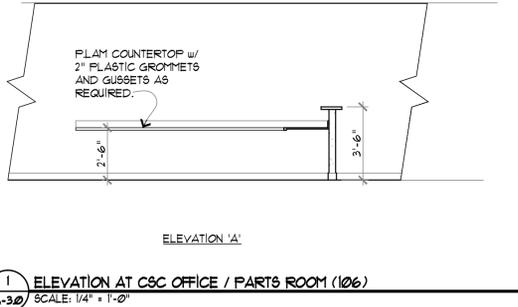
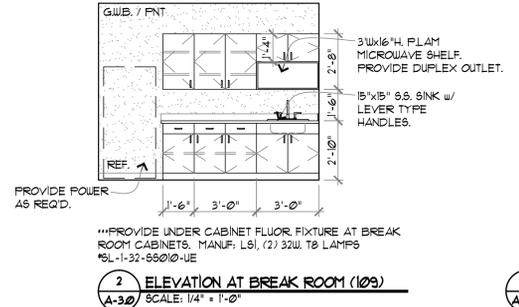
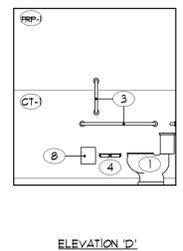
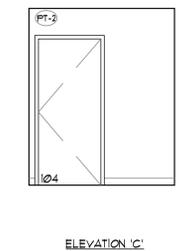
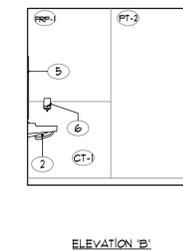
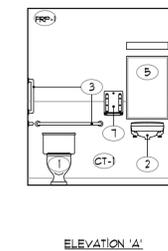
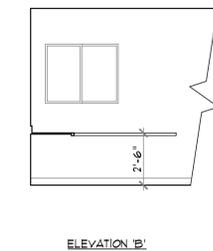
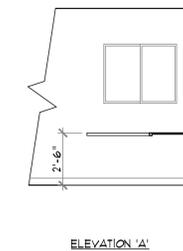
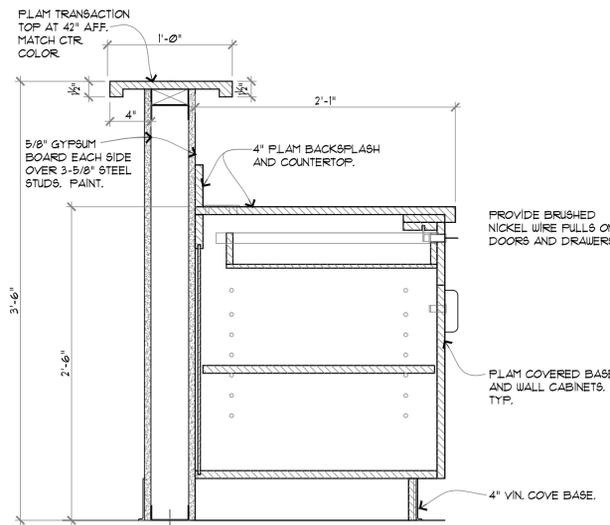
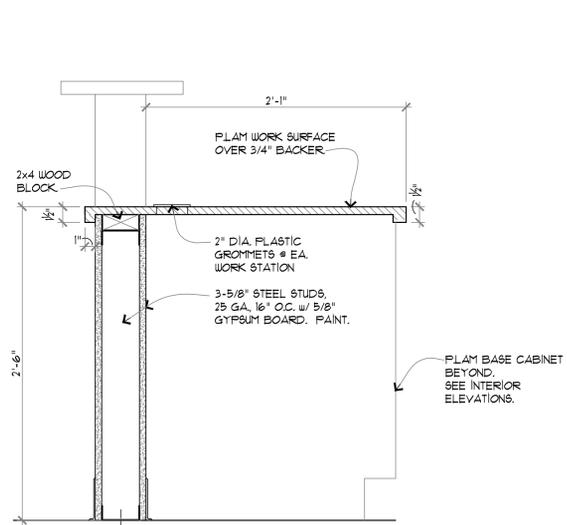
SHEET TITLE:
**REFLECTED
CEILING PLANS**

JOB: 2015316.0
DRAWN BY: AJV
CHECKED BY: LDS
SHEET NO:

A-2.0



KEYED FIXTURE INVENTORY: (X)		ADA PLUMBING NOTES:
1. TOILET - FLOOR MOUNTED	AMERICAN STANDARD ADA TOILET, MADERA 16 1/8"H, 10"R #305.100	A. TOP OF TOILET SEATS SHALL BE MOUNTED AT 11" TO 13" AFF. PER 604.4.
2. SINK - WALL MOUNTED	AMERICAN STANDARD - LUCERNE #0355.012	B. MOUNT GRAB BARS TO TOP OF BAR - 33" TO 36" AFF. PER 604.5.
3. WALL MOUNTED GRAB BARS	BRADLEY ADA HD STAINLESS GRAB BAR #017-1-001	C. MOUNT CENTER OF TP HOLDER AT 10" MIN. AFF. PER 604.7.
4. TOILET TISSUE DISPENSER	BRADLEY #5234	D. MOUNT TOP OF LAVATORY @ 34" MAX. AFF. PER 606.3.
5. MIRROR - TILTED	BRADLEY #1405	E. MOUNT BOTTOM OF MIRROR @ 40" MAX. AFF. PER 603.3.
6. SOAP DISPENSER	BRADLEY #6531	
7. PAPER TOWEL DISPENSER	BRADLEY #B-3942	
8. TAMPON DISPENSER	BRADLEY #403	
9. ELECTRIC WATER COOLER (H / LO ADA)	ELKAY TWO STATION EZ1TL8C OR AFF. EQUAL.	
***ALL ACCESSORIES SHALL BE INSTALLED TO COMPLY WITH CURRENT ADA REQUIREMENTS.		ADDITIONAL ADA NOTES:
		ALL OPERABLE CONTROLS OF DISPENSERS, ETC. SHALL BE INSTALLED SUCH THAT ALL CONTROLS ARE WITHIN THE 48" MAX. REACH RANGE.



THE DRAWINGS AND / OR SPECIFICATIONS CONTAINED HEREIN ARE THE EXCLUSIVE PROPERTY OF WELSH ARCHITECTURE AND SHALL NOT BE UTILIZED OR COPIED BY OTHER PARTIES WITHOUT PRIOR WRITTEN CONSENT.

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.
 TYN D. SUDAT A.I.A.
 DATE: 05-04-2015 REG. NO. 14163

REVISION NUMBER	DATE
CLIENT REVIEW	01/11/2015
CLIENT REVIEW	01/22/2015
PERMIT SET	03-04-2015



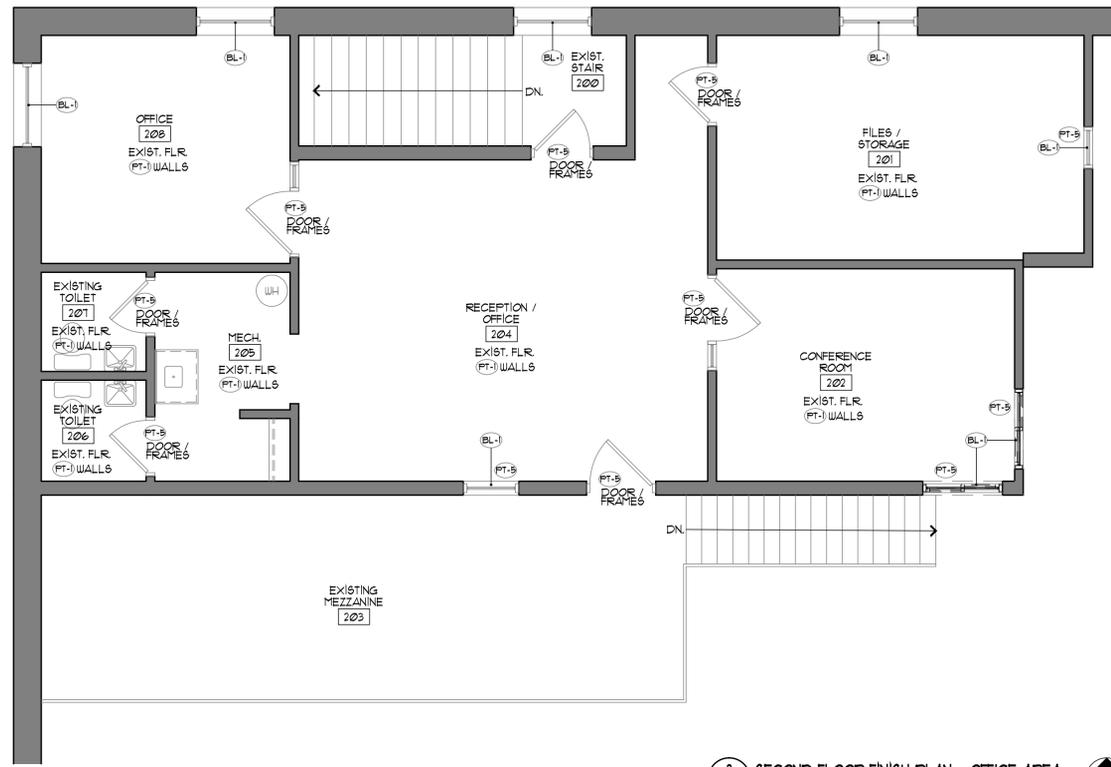
PROJECT: **RYDER**
 4350 Baker Road, Suite 400, Minnetonka, MN 55345
 TEL. 952.897.787# FAX: 952.897.7740
359 HOOVER STREET N.E. MINNEAPOLIS, MINNESOTA 55426

SHEET TITLE:
INTERIOR ELEVATIONS

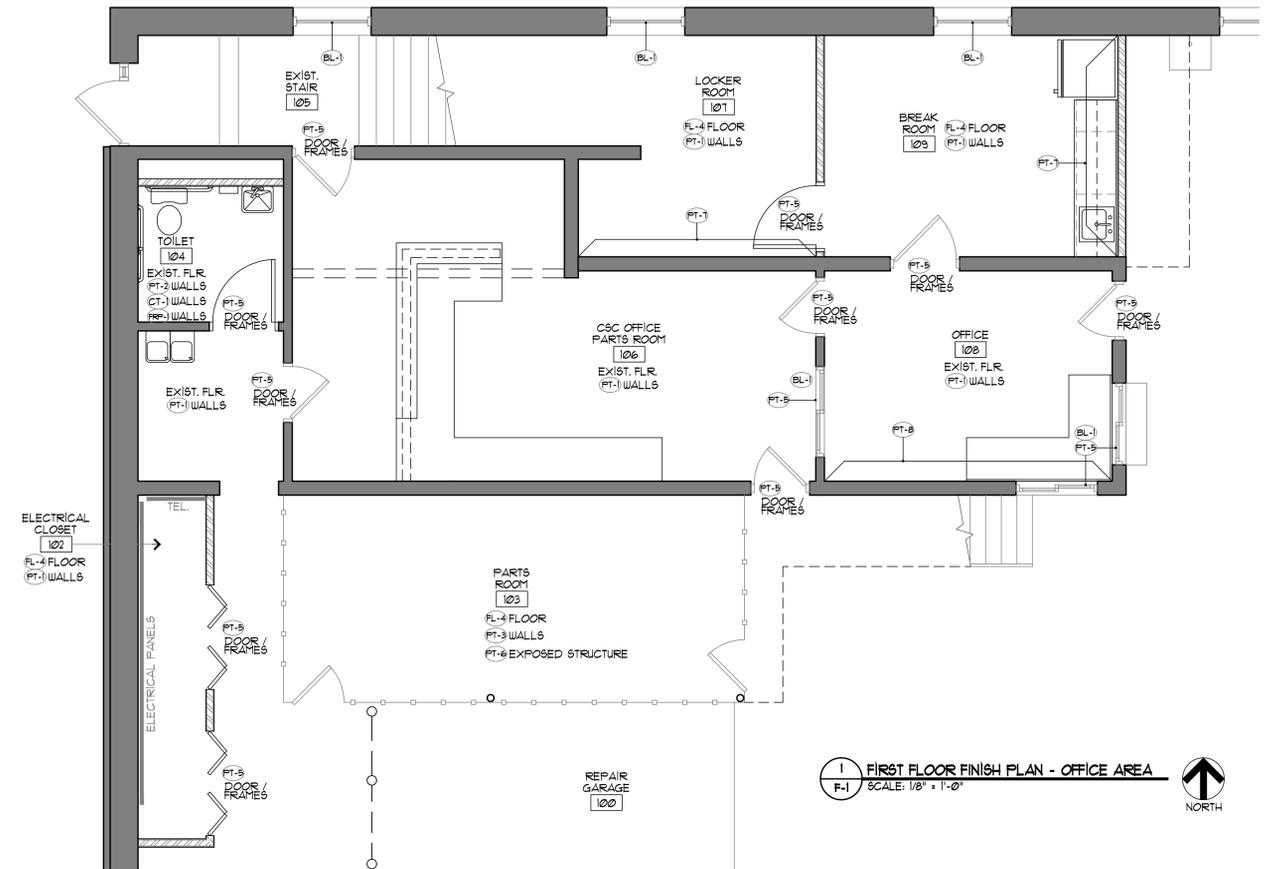
JOB: 2015.316.0
 DRAWN BY: AJV
 CHECKED BY: LDS
 SHEET NO.:

A-3.0

FINISHES:	
BL-1: (WINDOW MINI-BLINDS) MANUF: BAL STYLE: HORIZONTAL MINI-BLINDS (FRAME 1"x15") w/ STANLEY 4-1/2" CLEAT ROPE8 COLOR: SMOKEY GREY	FL-1: (ALL CABINETS) PLASTIC LAMINATE MANUF: WILSONART STYLE: SOLID COLOR: D32-60 DOVE GREY
FL-3: (ENTRY & HALL) COMPOSITE FLOOR TILE MANUF: ARMSTRONG STYLE: IMPERIAL TEXTURE COLOR: 919B CHARCOAL SIZE: 12"x12"	FL-2: (ALL COUNTERTOPS) PLASTIC LAMINATE MANUF: WILSONART STYLE: SOLID COLOR: 1935-60 BLACK
BASE: 4" RUBBER, JOHNSONITE 40-BLACK	PT-1: (INTERIOR WALLS) MANUF: SHERWIN WILLIAMS STYLE: B3U400 PROMAR INTERIOR LATEX EGGSHELL COLOR: SILVER STRAND SW-1051
FL-4: (WASH BAY) EPOXY & URETHANE TOPCOAT SELF-LEVELING FLOOR w/ QUARTZ AGGREGATE MANUF: DUR-A-FLEX STYLE: POLYCRETE 8LB COLOR: SLATE GREY	PT-2: (INTERIOR UET WALLS) MANUF: SHERWIN WILLIAMS STYLE: WATER BASED CATALYZED EPOXY EGGSHELL COLOR: SILVER STRAND SW-1051
FRP-1: (ABOVE 4'-4" AFF.) FIBERBOARD REINFORCED PANELS	PT-3: (MASONRY & EXP. CEILING) MANUF: KENLITE STYLE: GLASBOARD-F COLOR: PEARL GREY SIZE: 4'x8'
	PT-4: (INTERIOR UET WALLS) MANUF: SHERWIN WILLIAMS STYLE: B542 INDUSTRIAL ENAMEL GLOSS COLOR: BLACK
	PT-5: (DOOR / WINDOW FRAMES) MANUF: SHERWIN WILLIAMS STYLE: B542 INDUSTRIAL ENAMEL GLOSS COLOR: BLACK
	PT-6: (EXPOSED STRUCTURE) MANUF: SHERWIN WILLIAMS STYLE: SEMI-GLOSS COLOR: STEELY GRAY SW-1664
	PT-7: (ACCENT WALL) MANUF: SHERWIN WILLIAMS STYLE: B3U400 PROMAR INTERIOR LATEX EGGSHELL COLOR: CITYSCAPE SW-1061



2 SECOND FLOOR FINISH PLAN - OFFICE AREA
F-1 SCALE: 1/8" = 1'-0" NORTH



1 FIRST FLOOR FINISH PLAN - OFFICE AREA
F-1 SCALE: 1/8" = 1'-0" NORTH

THE DRAWINGS AND / OR SPECIFICATIONS CONTAINED HEREIN ARE THE EXCLUSIVE PROPERTY OF WELSH ARCHITECTURE AND SHALL NOT BE UTILIZED OR COPIED BY OTHER PARTIES WITHOUT PRIOR WRITTEN CONSENT.

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

 LYNN D. SJOAT AIA
 DATE: 03-04-2015 REG. NO. 14163

REVISION NUMBER	DATE
CLIENT REVIEW	01/11/2015
CLIENT REVIEW	01/22/2015
PERMIT SET	03-04-2015



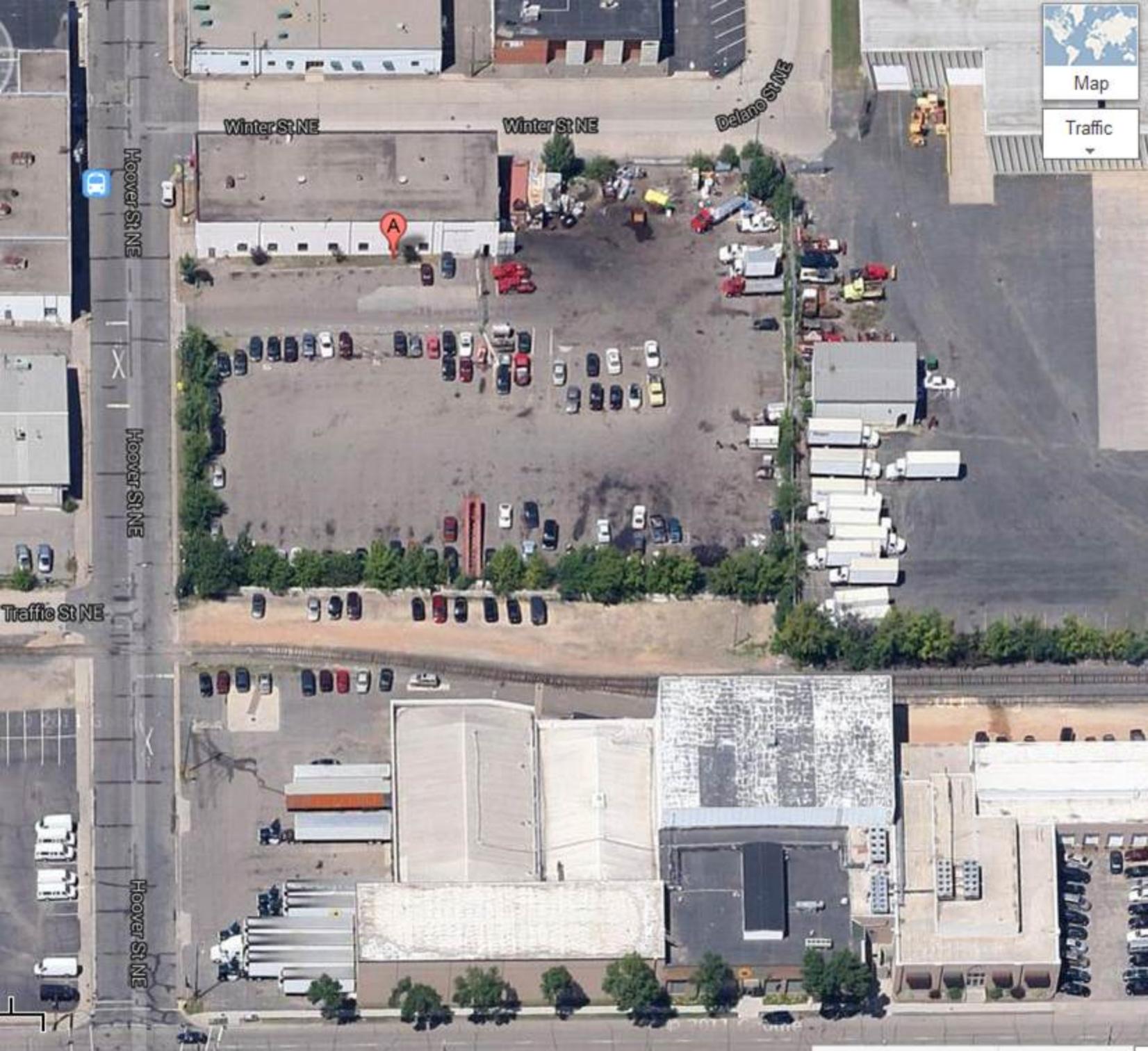
4350 Baker Road, Suite 400, Minnetonka, MN 55345
 TEL. 952.897.787# FAX: 952.897.7740

PROJECT:
RYDER
359 HOOVER STREET N.E.
MINNEAPOLIS, MINNESOTA 55426

SHEET TITLE:
FINISH FLOOR PLANS

JOB: 2015316.0
 DRAWN BY: AJV
 CHECKED BY: LDS
 SHEET NO.:

F-1



Map

Traffic



Winter St NE

Winter St NE

Delano St NE

Hoover St NE

Hoover St NE

Traffic St NE

Hoover St NE



















