



LAND USE APPLICATION SUMMARY

Property Location: 2008 Bryant Avenue S
Project Name: 2008 Bryant Avenue Apartments
Prepared By: Mei-Ling Smith, City Planner, (612) 673-5342
Applicant: DDMZ Real Estate
Project Contact: Michael Stoddard, DJR Architecture
Request: To construct a new apartment building with 10 dwelling units.
Required Applications:

Site Plan Review	For a new apartment building with 10 dwelling units.
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SITE DATA

Existing Zoning	R6 Multiple-Family Residential District
Lot Area	6,737 square feet / 0.15 acres
Ward(s)	10
Neighborhood(s)	Lowry Hill East Neighborhood Association
Designated Future Land Use	Urban Neighborhood
Land Use Features	n/a
Small Area Plan(s)	<u>Uptown Small Area Plan (2008)</u>

Date Application Deemed Complete	March 4, 2016	Date Extension Letter Sent	Not applicable
End of 60-Day Decision Period	May 3, 2016	End of 120-Day Decision Period	Not applicable

BACKGROUND

SITE DESCRIPTION AND PRESENT USE. The subject site is located near the southwest corner of the intersection of Franklin Avenue W and Bryant Avenue S. The existing site is relatively flat and contains a two-and-a-half story building with three dwelling units, which would be demolished for the project. The site contains a curb cut on Bryant Avenue S and an easement for shared driveway access with the property to the south.

SURROUNDING PROPERTIES AND NEIGHBORHOOD. This block of Bryant Avenue South contains both single-family homes and low-rise apartment buildings. The entire block is zoned R6 Multiple-Family District, with the exception of the property directly to the north, which is zoned OR2 High Density Office Residence District and contains an apartment building. There are commercial properties located to the west of the subject site, which front Hennepin Avenue, a Commercial Corridor. Franklin Avenue W is approximately 150 feet to the north of the site and is a Community Corridor in this location.

PROJECT DESCRIPTION. The applicant is proposing a four-story residential building with ten dwelling units. The unit mix would include one one-bedroom unit and nine two-bedroom units. Each floor, including the level below-grade, would contain two dwelling units. The property would include two surface parking spaces in the rear yard, including one accessible space, and would be accessible via a shared driveway and curb cut off of Bryant Avenue S. The applicant is also proposing six long-term bicycle parking spaces within the building.

The primary exterior materials of the building would be stucco, cementitious lap siding, and stained cedar siding. The primary entrance faces the public street and is located under a covered porch. The applicant is not proposing any balconies, but the development would include a community rooftop deck in the middle of the structure.

Site plan review is required for the development of a new multiple-family residential structure.

PUBLIC COMMENTS. Staff has received one public comment regarding this project as of the printing of this report. Any additional correspondence received prior to the public meeting will be forwarded on to the Planning Commission for consideration.

ANALYSIS

SITE PLAN REVIEW

The Department of Community Planning and Economic Development has analyzed the application based on the required findings and applicable standards in the site plan review chapter:

I. Conformance to all applicable standards of Chapter 530, Site Plan Review.

BUILDING PLACEMENT AND DESIGN

Building placement – Meets requirements

- The first floor of the building is located between approximately 21 and 27 feet from the front lot line. The required front yard is based on the established front yard of the structures to the north

and south, which results in a required front yard of between 11 and 25 feet on the subject site. The proposed building placement complies with the requirements of the R6 zoning district.

- The placement of the building reinforces the street wall, maximizes natural surveillance and visibility, and facilitates pedestrian access and circulation.
- The area between the building and lot line includes an accessible ramp, steps, and landscaping.
- All on-site accessory parking is located to the rear of the site, along the west property line.

Principal entrances – Meets requirements

- The building is oriented so that at least one principal entrance faces the front property line adjacent to Bryant Avenue S. There is also an entrance facing the on-site parking lot to the rear of the building.
- The principal entrance is clearly defined and emphasized through the use of architectural features. The applicant is proposing a covered porch and cedar siding to define the Bryant Avenue S entrance.

Visual interest – Meets requirements

- The building walls provide architectural detail and contain windows in order to create visual interest.
- The proposed building emphasizes architectural elements – including recesses, projections, windows, and entries – to divide the building into smaller identifiable sections.
- There are no blank, uninterrupted walls exceeding 25 feet in length.

Exterior materials – Meets requirements

- The applicant is proposing stucco, cementitious lap siding, and cedar siding as the building’s primary exterior materials. Each elevation would comply with the City’s durability standards for exterior materials (see Table 2). Please note that exterior material changes at a later date may require review by the Planning Commission and an amendment to the site plan review.
- In addition, the application is consistent with the City’s policy of allowing no more than three exterior materials per elevation, excluding windows, doors, and foundation materials.
- Plain face concrete block is not proposed along any public streets, sidewalks, or adjacent to a residence or office residence district.
- The exterior materials and appearance of the rear and side walls of the building are similar to and compatible with the front of the building.

Table 1. Percentage of Exterior Materials per Elevation

Material	Allowed Max	North	South	East	West
Glass	100%	16%	16%	22%	19%
Stucco	75%	66%	62%	43%	55%
Wood	75%	0%	2%	6%	0%
Fiber Cement (≤ 5/8”)	30%	18%	20%	29%	26%

Windows – Meets requirements

- For residential uses, the zoning code requires that no less than 20 percent of the walls on the first floor, and no less than ten percent of the walls on each floor above the first that face a public street, public sidewalk, public pathway, or on-site parking lot, shall be windows. The minimum window requirements apply to the east elevation facing Bryant Avenue S as well as to the west elevation facing the on-site parking lot. The project is in compliance with the minimum window requirement (see Table 3).

- All windows are vertical in proportion and are evenly distributed along the building walls.

Table 2. Percentage of Windows per Applicable Elevation

	Code Requirement		Proposed		
Residential Uses (facing Bryant Ave S)					
1st floor	20% minimum	45 sq. ft.	21%	48 sq. ft.	
2nd floor	10% minimum	29 sq. ft.	20%	57 sq. ft.	
3rd floor	10% minimum	29 sq. ft.	19%	55 sq. ft.	
4th floor	10% minimum	37 sq. ft.	15%	55 sq. ft.	
Residential Uses (facing parking)					
1st floor (224)	20% minimum	45 sq. ft.	21%	48 sq. ft.	
2nd floor	10% minimum	29 sq. ft.	18%	53 sq. ft.	
3rd floor	10% minimum	29 sq. ft.	18%	53 sq. ft.	
4th floor	10% minimum	37 sq. ft.	15%	54 sq. ft.	

Ground floor active functions – Meets requirements

- The ground floor facing Bryant Avenue S contains 86 percent active functions, as approximately 4 feet of the building frontage contains mechanical equipment. At least 70 percent of the first floor building frontage facing the public street and sidewalk contains active functions.

Roof line – Meets requirements

- The principal roof line of the building will be flat, which is similar to that of surrounding apartment buildings.

Parking garages – Not applicable

- There are no parking garages proposed as part of this project.

ACCESS AND CIRCULATION

Pedestrian access – Meets requirements with Conditions of Approval

- The plans submitted by the applicant show walkways at least four feet in width connecting building entrances to the adjacent public sidewalk and on-site parking facilities. However, the applicant has not submitted a lighting plan. Staff recommends a condition of approval that requires the final plans to demonstrate compliance with 530.130 of the zoning code so that there are clear and well-lit walkways at least four feet in width connecting building entrances to the adjacent public sidewalk and on-site parking facilities.

Transit access – Not applicable

- No transit shelters are proposed as part of this development.

Vehicular access – Meets requirements

- Vehicular access and circulation has been designed to minimize conflicts with pedestrian traffic and with surrounding residential uses.
- Curb cuts have been consolidated. The applicant is proposing to keep the existing curb cut which is shared with the property to the south.

- There are no public alleys adjacent to the site.
- Service vehicles are not expected to access the site and would not conflict with pedestrian traffic.
- The proposed site plan minimizes the use of impervious surfaces. The maximum impervious surface area in the R6 district is 85 percent, while the materials submitted by the applicant show that 75 percent of the site would be impervious.

LANDSCAPING AND SCREENING

General landscaping and screening – Requires alternative compliance

- The overall composition and location of landscaped areas complement the scale of development and its surroundings.
- At least 20 percent of the site not occupied by the building is landscaped. The applicant is proposing approximately 1,682 square feet of landscaping on site, or approximately 36 percent of the site not occupied by buildings (see Table 4).
- The applicant is proposing at least one canopy tree per 500 square feet of the required landscaped area, including all required landscaped yards. The tree requirement for the site is two and the applicant is proposing a total of two canopy trees (Imperial Honeylocust). However, the submitted plan requires a total of two landscaped yards between the parking area and the north and south property lines, respectively. Each landscaped yard is required to be approximately 199 square feet in area. The landscaped yard is provided along the north property line but not along the south property line. Each landscaped yard is required to contain a minimum of one tree. This requirement is met within the north landscaped yard, but not the south, so the applicant is requesting alternative compliance for the minimum tree requirement along the south parking lot frontage.
- The applicant is proposing at least one shrub per 100 square feet of the required landscaped area, including all required landscaped yards. The shrub requirement for the site is 10 and the applicant is proposing 10 shrubs throughout the site. As described above, the required yards along the north and south parking lot frontages are required to also provide a total of one shrub per 100 square feet. Two shrubs are required in each parking lot frontage and no shrubs are proposed in either location. Alternative compliance is being requested.
- The remainder of the required landscaped area is covered with turf grass, native grasses, perennial flowering plants, vines, shrubs and other trees.

Table 3. Landscaping and Screening Requirements

	Code Requirement	Proposed
Lot Area	--	6,737 sq. ft.
Building Footprint	--	2,099 sq. ft.
Remaining Lot Area	--	4,638 sq. ft.
Landscaping Required	928 sq. ft.	1,682 sq. ft.
Canopy Trees (1:500 sq. ft.)	2 trees	2 trees
Shrubs (1:100 sq. ft.)	10 shrubs	10 shrubs

Parking and loading landscaping and screening – Requires alternative compliance

- The parking area does not face the public street or sidewalk.
- The parking area abuts a residence district/residential use to the north and south. The applicant is proposing a seven-foot on-site landscaped yard of at least seven feet in width along the north

parking frontage, but is not proposing a landscaped yard along the south property line, where the trash and recycling enclosures would be located. This item requires alternative compliance.

- The applicant is proposing a six-foot cedar fence that is at least 95 percent opaque for the parking lot area facing the residential use to the north to meet the screening requirements in this location. However, the six-foot screen is not provided along the parking lot area facing the residential use to the south. The applicant is instead proposing a four-foot tall cedar trash enclosure for a portion of the parking lot frontage, and no screen where the driveway is located. Alternative compliance is requested.
- There are no corners of the parking lot that are unavailable for parking or vehicular circulation.
- As conditioned, the plant materials, and the installation and maintenance of the plant materials, would comply with sections 530.200 and 530.210 of the zoning code.
- All other areas not occupied by buildings, parking and loading facilities, or driveways would be covered with turf grass, native grasses, perennials, wood mulch, shrubs, and trees.

ADDITIONAL STANDARDS

Concrete curbs and wheel stops – *Meets requirements*

- The applicant's materials show that any stormwater would drain toward the street. The applicant is not proposing discontinuous curbing or wheel stops for the two-stall parking lot, and on-site retention would not be practical.

Site context – *Meets requirements*

- There are no important elements of the city near the site that will be obstructed by the proposed building.
- This building should have minimal shadowing effects on public spaces and adjacent properties.
- This building has been designed to minimize the generation of wind currents at ground level.

Crime prevention through environmental design – *Meets requirements with Conditions of Approval*

- The site plan employs best practices to increase natural surveillance and visibility, to control and guide movement on the site, and to distinguish between public and non-public spaces.
- The proposed site, landscaping, and buildings promote natural observation and maximize the opportunities for people to observe adjacent spaces and public sidewalks.
- The applicant's site plan does not include entry way lighting. However, the applicant has stated that there would be lighting provided for both entrances. Staff recommends a condition of approval that would require the final site plan to demonstrate how the entrances will be lit. As conditioned, the project would provide lighting on site, at all building entrances, and along walkways that maintains a minimum acceptable level of security while not creating glare or excessive lighting of the site.
- The landscaping, sidewalks, lighting, fencing, and building features are located to clearly guide pedestrian movement on or through the site and to control and restrict people to appropriate locations.
- The entrances, exits, signs, fencing, landscaping, and lighting are located to distinguish between public and private areas, to control access, and to guide people coming to and going from the site.

Historic preservation – *Not applicable*

- This site is neither historically designated nor is it located in a historic district.

2. Conformance with all applicable regulations of the zoning ordinance.

The proposed use is permitted in the R6 District.

Off-street Parking and Loading – Meets requirements

- The off-street vehicle parking requirement is one per dwelling unit, for a total of 10. However, the project is located within a quarter-mile of a bus transit stop with midday service headways of 15 minutes or less, and qualifies for a 100 percent reduction of the residential parking requirement (see Table 5). Zero parking spaces are required and two are proposed, include one accessible space.
- The minimum bicycle parking requirement is one space for every two dwellings, for a total of five (see Table 6). All five are required to meet the definition of long-term bicycle parking per section 541.180 of the zoning code. The applicant is proposing six secure bicycle parking spaces in the lower level of the building, and the proposal meets the minimum requirements.
- The development does not require any off-street loading space.

Table 4. Vehicle Parking Requirements Per Use (Chapter 54I)

Use	Minimum	Reductions	Total with Reductions	Maximum Allowed	Proposed
Residential Dwellings	10	Transit Incentives (10)	0	--	2

Table 5. Bicycle Parking Requirements (Chapter 54I)

Use	Minimum	Long-Term	Proposed
Residential Dwellings	5	Not less than 90% (5)	6

Building Bulk and Height – Meets requirements

- The proposed development complies with the bulk and height requirements of the R6 district (see Table 7).

Table 7. Building Bulk and Height Requirements

	Code Requirement	Proposed
Lot Area	--	6,737 sq. ft. / 0.15 acres
Gross Floor Area	--	8,396 sq. ft.
Floor Area Ratio (Maximum)	3.0	1.25
Building Height (Maximum)	6 stories or 84 feet, whichever is less	4 stories / 44 ft.

Lot Requirements – Meets requirements

- The proposed development complies with the lot requirements for the R6 district (see Table 8).

Table 8. Lot Requirements Summary

	Code Requirement	Proposed
Dwelling Units (DU)	--	10 DUs
Density (DU/acre)	--	66 DU/acre
Lot Area (Minimum)	5,000 sq. ft.	6,737 sq. ft.
Impervious Surface Area (Maximum)	85%	75%
Lot Coverage (Maximum)	70%	32%

Lot Width (Maximum)	40 ft.	50 ft.
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Yard Requirements – Meets requirements

- The development complies with the minimum yard requirements (see Table 9).
- The required front yard is based on the established front yards of the adjacent properties to the north and south. The proposed building would not be forward of the line that connects the two adjacent properties.
- The interior side yard requirement is $5+2x$, where x = the number of stories above the first floor. In this case, $x = 3$, so the minimum building setback is 11 feet along the north and south property lines. The proposed building would be set back 11 feet from both property lines. The proposed trash enclosure and parking spaces are permitted obstructions in the interior side yard.
- The rear yard requirement is also $5+2x$, so the minimum building setback requirement is 11 feet from the rear property line. The proposed building is approximately 35 feet from the rear property line. The proposed trash enclosure and parking spaces are permitted obstructions in the rear yard.

Table 6. Minimum Yard Requirements

Setback	Zoning District	Proposed
Front (East)	11 – 25 ft. (see above)	21 – 27 ft.
Interior Side (North)	11 ft.	11 ft.
Interior Side (South)	11 ft.	11 ft.
Rear (West)	11 ft.	35 ft.

Signs – Meets requirements

- All signs are subject to Chapter 543, On-Premise Signs. The applicant will be required to submit a separate sign permit application for any signage that is proposed.
- The applicant is proposing one non-illuminated wall sign facing Bryant Avenue S (see Table 10). The proposed sign would be in compliance with Chapter 543.

Table 10. Signage Summary

	Number Allowed/ Lot	Proposed Number	Maximum Size	Proposed Area	Maximum Allowed Height	Proposed Height
Attached	1	1	16 sq. ft.	3.5 sq. ft.	14 ft.	14 ft.

Screening of Mechanical Equipment – Meets requirements

- All mechanical equipment is subject to the screening requirements of Chapter 535 and district requirements.
- The applicant is proposing air conditioner units along the north building wall. The equipment would be fully screened on all four sides with a 3.5-foot wood fence in combination with the building wall.
- All other mechanical equipment is enclosed within the building or is screened from the public street by the building itself.

Refuse Screening – Meets requirements with Conditions of Approval

- All refuse and recycling storage containers are subject to the screening requirements in Chapter 535.

- The applicant is proposing a four-foot cedar fence to screen the trash and recycling containers in the southwest corner of the site. The site plan submitted by the applicant does not show the enclosure wrapping around the south side of the trash and recycling containers. In addition, the screen would not be at least two feet taller than the refuse and recycling bins. Staff recommends a condition of approval that requires the final site plan to be revised to demonstrate compliance with the screening requirements in section 535.80 of the zoning code.

Lighting – Meets requirements with Conditions of Approval

- Existing and proposed lighting must comply with Chapter 535 and Chapter 541 of the zoning code, including:

535.590. Lighting.

- a) In general. No use or structure shall be operated or occupied as to create light or glare in such an amount or to such a degree or intensity as to constitute a hazardous condition, or as to unreasonably interfere with the use and enjoyment of property by any person of normal sensitivities, or otherwise as to create a public nuisance.
 - b) Specific standards. All uses shall comply with the following standards except as otherwise provided in this section:
 - 1) Lighting fixtures shall be effectively arranged so as not to directly or indirectly cause illumination or glare in excess of one-half (1/2) footcandle measured at the closest property line of any permitted or conditional residential use, and five (5) footcandles measured at the street curb line or nonresidential property line nearest the light source.
 - 2) Lighting fixtures shall not exceed two thousand (2,000) lumens (equivalent to a one hundred fifty (150) watt incandescent bulb) unless of a cutoff type that shields the light source from an observer at the closest property line of any permitted or conditional residential use.
 - 3) Lighting shall not create a sensation of brightness that is substantially greater than ambient lighting conditions as to cause annoyance, discomfort or decreased visual performance or visibility to a person of normal sensitivities when viewed from any permitted or conditional residential use.
 - 4) Lighting shall not create a hazard for vehicular or pedestrian traffic.
 - 5) Lighting of building facades or roofs shall be located, aimed and shielded so that light is directed only onto the facade or roof.
- The applicant has not submitted a lighting plan. Staff recommends a condition of approval that requires the applicant to submit a lighting plan for staff review.

Fences – Meets requirements

- Fences must comply with the requirements in Chapter 535. The applicant is proposing cedar fences in three locations to screen the parking area, air conditioner units, and refuse and recycling containers. All fences are in compliance with the maximum fence height and material requirements.

Specific Development Standards – Not applicable

- There are no specific development standards in Chapter 536 which apply to the proposed multifamily development.

3. Conformance with the applicable policies of The Minneapolis Plan for Sustainable Growth.

The Minneapolis Plan for Sustainable Growth identifies the site as Urban Neighborhood on the future land use map and is not adjacent to any land use features. The proposed development is consistent with the following principles and policies outlined in the comprehensive plan:

Land Use Policy 1.2: Ensure appropriate transitions between uses with different size, scale, and intensity.

- 1.2.1 Promote quality design in new development, as well as building orientation, scale, massing, buffering, and setbacks that are appropriate with the context of the surrounding area.

Land Use Policy 1.3: Ensure that development plans incorporate appropriate transportation access and facilities, particularly for bicycle, pedestrian, and transit.

- 1.3.1 Require safe, convenient, and direct pedestrian connections between principal building entrances and the public right-of-way in all new development and, where practical, in conjunction with renovation and expansion of existing buildings.

Land Use Policy 1.8: Preserve the stability and diversity of the city's neighborhoods while allowing for increased density in order to attract and retain long-term residents and businesses.

- 1.8.1 Promote a range of housing types and residential densities, with highest density development concentrated in and along appropriate land use features.

Urban Design Policy 10.4: Support the development of residential dwellings that are of high quality design and compatible with surrounding development.

- 10.4.1 Maintain and strengthen the architectural character of the city's various residential neighborhoods.
- 10.4.2 Promote the development of new housing that is compatible with existing development in the area and the best of the city's existing housing stock.

Urban Design Policy 10.5: Support the development of multi-family residential dwellings of appropriate form and scale.

- 10.5.2 Medium-scale, multi-family residential development is more appropriate along Commercial Corridors, Activity Centers, Transit Station Areas and Growth Centers outside of Downtown Minneapolis.

Urban Design Policy 10.6: New multi-family development or renovation should be designed in terms of traditional urban building form with pedestrian scale design features at the street level.

- 10.6.1 Design buildings to fulfill light, privacy, and view requirements for the subject building as well as for adjacent properties by building within required setbacks.
- 10.6.3 Provide appropriate physical transition and separation using green space, setbacks or orientation, stepped down height, or ornamental fencing to improve the compatibility between higher density and lower density residential uses.
- 10.6.4 Orient buildings and building entrances to the street with pedestrian amenities like wider sidewalks and green spaces.

- 10.6.5 Street-level building walls should include an adequate distribution of windows and architectural features in order to create visual interest at the pedestrian level.

Urban Design Policy 10.8: Strengthen the character and desirability of the city's urban neighborhood residential areas while accommodating reinvestment through infill development.

- 10.8.1 Infill development shall reflect the setbacks, orientation, pattern, materials, height and scale of surrounding dwellings.

Urban Design Policy 10.18: Reduce the visual impact of automobile parking facilities.

Urban Design Policy 10.22 Use Crime Prevention Through Environmental Design (CPTED) principles when designing all projects that impact the public realm, including open spaces and parks, on publicly owned and private land.

- 10.22.2 Orient new housing to the street to foster safe neighborhoods.
- 10.22.3 Design the site, landscaping, and buildings to promote natural observation and maximize the opportunities for people to observe adjacent spaces and public sidewalks.
- 10.22.5 Locate landscaping, sidewalks, lighting, fencing and building features to clearly guide pedestrian movement on or through the site and to control and restrict people to appropriate locations.
- 10.22.7 Locate entrances, exits, signs, fencing, landscaping, and lighting to distinguish between public and private areas, control access, and to guide people coming to and going from the site.

CPEd finds that the proposed development is in conformance with the above policies of The Minneapolis Plan for Sustainable Growth.

4. Conformance with applicable development plans or objectives adopted by the City Council.

The site is located within the boundaries of the *Uptown Small Area Plan* adopted by the City Council in 2008. However, the small area plan does not provide specific land use guidance for this parcel, as the plan is focused on properties with frontage on Hennepin Avenue.

5. Alternative compliance.

The Planning Commission or zoning administrator may approve alternatives to any site plan review requirement upon finding that the project meets one of three criteria required for alternative compliance. Alternative compliance is requested for the following requirements:

- **Parking area landscaping.** The parking area abuts a residence district/residential use to the north and south. The applicant is proposing a seven-foot on-site landscaped yard of at least seven feet in width along the north parking frontage, but is not proposing a landscaped yard along the south property line, where the trash and recycling enclosures would be located. This item requires alternative compliance. The trash enclosure would be located along the south property line in place of the landscaped yard. The driveway between the sidewalk and trash enclosure is required to have a minimum width of ten feet, which the applicant has shown. The trash enclosure location also allows the maneuvering area to meet the minimum width of 22 feet. It would be impractical to require compliance with the minimum seven foot landscaped yard in this location and staff recommends granting alternative compliance.

- **Parking area screening.** The applicant is proposing a six-foot cedar fence that is at least 95 percent opaque for the parking lot area facing the residential use to the north to meet the screening requirements in this location. However, the six-foot screen is not provided along the parking lot area facing the residential use to the south. The applicant is instead proposing a four-foot tall cedar trash enclosure for a portion of the parking lot frontage, and no screen where the driveway is located. Alternative compliance is requested. The proposed trash enclosure along the south property line would be four-feet tall, which provides some screening along the south parking lot frontage. As conditioned, the trash enclosure would be six feet tall. The driveway between the sidewalk and trash enclosure is required to have a minimum width of ten feet, which the applicant has shown. The trash location also allows the maneuvering area to meet the minimum width of 22 feet. It would be impractical to require compliance with the minimum seven foot landscaped yard this location and staff recommends granting alternative compliance.
- **Minimum tree requirement in required landscaped yards.** The applicant is proposing at least one canopy tree per 500 square feet of the required landscaped area, including all required landscaped yards. The tree requirement for the site is two and the applicant is proposing a total of two canopy trees (Imperial Honeylocust). However, the submitted plan requires a total of two landscaped yards between the parking area and the north and south property lines, respectively. Each landscaped yard is required to be approximately 199 square feet in area. The landscaped yard is provided along the north property line but not along the south property line. Each landscaped yard is required to contain a minimum of one tree. This requirement is met within the north landscaped yard, but not the south, so the applicant is requesting alternative compliance for the minimum tree requirement along the south parking lot frontage. Given that staff also recommends granting alternative compliance for the minimum landscaped yard and screen along the south parking lot frontage, staff finds that it would be reasonable to grant alternative compliance for the minimum tree requirement along the south parking lot frontage.
- **Minimum shrub requirement in required landscaped yards.** The applicant is proposing at least one shrub per 100 square feet of the required landscaped area, including all required landscaped yards. The shrub requirement for the site is 10 and the applicant is proposing 10 shrubs throughout the site. As described above, the required yards along the north and south parking lot frontages are required to also provide a total of one shrub per 100 square feet. Two shrubs are required in each parking lot frontage and no shrubs are proposed in either location. Alternative compliance is being requested. Staff finds that it would be practical to require two shrubs within the required landscaped yard along the north parking lot frontage, but recommends granting alternative compliance for the south parking lot frontage given that staff also recommends granting alternative compliance for the minimum landscaped yard and screen along the south parking lot frontage.

RECOMMENDATIONS

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt staff findings for the application by Michael Stoddard, on behalf of DDMZ Real Estate, for the property located at 2008 Bryant Ave S:

A. Site Plan Review.

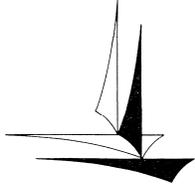
Recommended motion: **Approve** the application for a new multifamily residential building, subject to the following conditions:

1. All site improvements shall be completed by March 28, 2018, unless extended by the Zoning Administrator, or the permit may be revoked for non-compliance.
2. CPED staff shall review and approve the final site, elevation, landscaping, and lighting plans before building permits may be issued.

3. All signs shall comply with Chapter 543 of the zoning code. All signage requires a separate permit from CPED.
4. The plant materials, and installation and maintenance of the plant materials, shall comply with sections 530.200 and 530.210 of the zoning code.
5. The applicant shall provide no fewer than two shrubs in the required landscaped yard along the north parking lot frontage in order to comply with the minimum landscaping materials for required yards standards per section 530.160 of the zoning code.
6. The final plans shall be revised to demonstrate how all building entrances and walkways will be lit to maintain a minimum acceptable level of security while not creating glare or excessive lighting of the site to comply with sections 530.130 and 530.260 of the zoning code.
7. The final plans shall be revised to demonstrate compliance with the refuse and recycling storage container screening requirements in section 535.80 of the zoning code.

ATTACHMENTS

1. PDR report
2. Written description submitted by applicant
3. Zoning map
4. Site survey
5. Plans
6. Building elevations
7. Rendering
8. Photos
9. Oblique aerial
10. Correspondence



Minneapolis Development Review
250 South 4th Street
Room 300
Minneapolis, MN 55415

Preliminary Development Review Report

Development Coordinator Assigned: **DONALD ZART**
(612) 673-2726
don.zart@minneapolismn.gov

Status *

Tracking Number:	PDR 1001401
Applicant:	DDM2 REAL ESTATE 3033 EXCELSIOR BLVD. #100 MINNEAPOLIS, MN 55416
Site Address:	2008 BRYANT AVE S
Date Submitted:	27-JAN-2016
Date Reviewed:	

Purpose

The purpose of the Preliminary Development Review (PDR) is to provide Customers with comments about their proposed development. City personnel, who specialize in various disciplines, review site plans to identify issues and provide feedback to the Customers to assist them in developing their final site plans.

The City of Minneapolis encourages the use of green building techniques. For additional information please check out our green building web page at: http://www.ci.minneapolis.mn.us/mdr/GreenBuildingOptions_home.asp.

DISCLAIMER: *The information in this review is based solely on the preliminary site plan submitted. The comments contained in this report are preliminary ONLY and are subject to modification.*

Project Scope

Proposed 10 unit, 4 story apartment building.

Review Findings (by Discipline)

Right of Way

- The plan as submitted meets the requirements of the Public Works Right-Of-Way Division.

Addressing

- Working on addressing.

***Approved:** You may continue to the next phase of developing your project.
***Resubmission Required:** You cannot move forward or obtain permits until your plans have been resubmitted and approved.

□ Zoning - Planning

- Based on staff's preliminary review, the following land use applications have been identified:
 - Variance to reduce the minimum width of a driveway below 10 feet (541.240) between the trash enclosure and walkway.
 - Site plan review for a new residential building with 10 dwelling units, including alternative compliance for:
 - Exceeding the maximum (30%) amount of cementitious siding allowed on the south and east elevations
 - Minimum 2 canopy trees, including at least one in the required landscaped yards between the surface parking area and residential properties to the north and south.
 - Minimum 7' landscaped yard between the surface parking area and south property line.
 - Minimum 6' screen (95% opaque) between the surface parking areas and the residential properties to the north and south, satisfied by a hedge, decorative fence, masonry wall, or combination thereof.
- In addition, please address the following on the plans:
 - A variance to reduce the north and south interior side yard setbacks below 13 feet for the building wall will be required if the proposed rooftop enclosures are not adjusted to be setback at least one foot for every foot that they project above the roof per the definition of "height, structure or building" in section 520.160. Please also show how tall the rooftop enclosures are above the roofline.
 - Please provide additional details on the material and height of any fencing.
 - Please identify snow storage areas, noting that they may not be located in any required driveways, access aisles, or required landscaped areas.
 - A lighting plan that complies with section 535.590 of the zoning code will be required upon resubmission.

□ Parks - Forestry

- Contact Craig Pinkalla (cpinkalla@minneapolisparcs.org), Telephone (612)-499-9233 regarding removal or protection of trees during construction in the city right of way.
- Work with the Water Department on the water line location. The tree that is marked for removal may be able to be protected.
- Effective January 1, 2014, the City of Minneapolis and the Minneapolis Park and Recreation Board adopted an update to the existing Parkland Dedication Ordinance.
- The adopted City of Minneapolis Parkland Dedication ordinance is located in Section 598.340 of the City's Land Subdivision ordinance:
- <http://library.municode.com/index.aspx?clientId=11490>
- As adopted, the fee in lieu of dedication for new residential units is \$1,521 per unit (affordable units excluded per ordinance) and for commercial and industrial development it is \$202.80 per development employee (as defined in ordinance). Any dedication fee (if required) must be paid at the time of building permit issuance. There is also an administration fee that is 5% of the calculated park dedication fee.
- As proposed, for your project the calculated dedication fee is as follows:

• Residential - 10 x \$1521	=	\$	15,210.00
• Credit for existing dwelling units 2x\$1521	=	\$	3042.00
• Subtotal:	=	\$	12,168.00
• Administrative Fee - 5% of \$15,210	=	\$	608.40
• Total	=	\$	12,776.40
- This is a preliminary calculation based on your current proposal; a final calculation will be made at the time of building permit submittal.
- For further information, please contact Don Zart at (612)673-2726

❑ Street Design

- The plan as submitted meets the requirements of the Public Works Street Design Division.

❑ Sidewalk

- The plan as submitted meets the requirements of the Public Works Sidewalk Inspections Division.
- Note to the Applicant: Any currently defective sidewalks or other concrete infrastructure within the public right of way, or any concrete infrastructure damaged during construction, must be removed and replaced.

❑ Traffic and Parking

- Current ordinance states that all maneuvers associated with loading, parking or sanitation pick up for a private development shall occur on private property. Please provide a narrative explaining the trash removal operations and show turning maneuvers for all truck type vehicles that will be using the parking areas.
- Per City Ordinance the Applicant shall provide for (and identify) a solid waste collection point (SWCP) on the site plans. The location of the SWCP is subject to the review and approval of the Public Works Department.
- Note to the Applicant: Please add the following notes to the site plan:
 - Street lighting installed as part of the Project shall be inspected by the City. Contractors shall arrange for inspections with the Traffic Department, please contact Dave Prehall at (612) 673-5759 for further information. Any lighting installations not meeting City specifications will be required to be reinstalled at Owner expense.
 - An obstruction permit is required anytime construction work is performed in the Public right-of-way. Please contact Scott Kramer at (612) 673-2383 regarding details of sidewalk and lane closures. Log on to <http://minneapolis.mn.roway.net/> for a permit.
 - Contact Allan Klugman at (612) 673-2743 prior to construction for the temporary removal/temporary relocation of any City of Minneapolis lighting or traffic signal system that may be in the way of construction.
 - All costs for relocation and/or repair of City Traffic facilities shall be borne by the Contractor and/or Property Owner.
 - Contact Doug Maday at (612) 673-5755 prior to construction for the removal of any City of Minneapolis right of way signs that may be in the way of construction.

❑ Water

- All existing and proposed underground Public Utilities (water, sanitary sewer, and storm drain) shall be shown on the site plan with corresponding pipe sizes and types. For Public watermain infrastructure records call (612) 673-2865. Any existing connections not in use shall be noted on the plans for removal, and shall be removed per the requirements of the Utility Connections Department, call (612) 673-2451 for more information.
- The water service connection to Bryant Ave. S. should be designed to avoid bends into the proposed building; rather it is recommended to run water service lines straight from the main into the proposed building to the meter location. Meters shall be set at the point where the service line enters the building and shall be set in a location where it is easily assessable. Please contact Rock Rogers at (612) 673-2286, to review domestic and fire service design, connections, and sizes.

❑ Fire Safety

- Provide required fire suppression system throughout building.
- Fire department connection must be located on the address side of building and within 150 feet of a fire hydrant.
- Provide required fire alarm system throughout building.
- Provide and maintain fire apparatus access at all times.

❑ Business Licensing

- There is no requirement for a business license or health plan review.

❑ Environmental Health

- If impacted soil is encountered during site activities call the MN State Duty officer at (615) 649-5451.
- If dewatering is required during site construction see below for city permit requirements. Subgrade structures should be designed to prevent infiltration of groundwater without the need for a permanent dewatering system being installed. If a continuously operating permanent dewatering system is needed it must be approved as part of the sanitary sewer and storm drain site plan approval prior to construction beginning.
- No construction, demolition or commercial power maintenance equipment shall be operated within the city between the hours of 6:00 p.m. and 7:00 a.m. on weekdays or during any hours on Saturdays, Sundays and state and federal holidays, except under permit. Contact Environmental Services at 612-673-3867 for permit information.
- Permits and approval are required from Environmental Services for the following activities: Temporary storage of impacted soils on site prior to disposal or reuse; Reuse of impacted soils on site; Dewatering and discharge of accumulated storm water or ground water, underground or aboveground tank installation or removal, well construction or sealing. Contact Tom Frame at 612-673-5807 for permit applications and approvals.
- A review of the project, permits issued and an inspection from Environmental Service for identification of equipment and site operations that require annual registration with the City of Minneapolis will occur for this project.

❑ Historical Preservation Committee

- There is no preservation flag on this property, however, the wrecking of any existing structure in Minneapolis does require a historic preservation review as part of the regular wrecking permit process. This permit is required to be obtained by a licensed wrecking contractor.

❑ Sewer Design

- Stormwater Management: Please include a tabulation of the existing amount of impervious surface with the proposed amount on the Development of Site Features sheet.
- Erosion Control: Additional erosion and sediment control notes should be provided on the erosion control plan. These notes should cover timing of maintenance and inspection of erosion and sediment control devices, timeframes and method of temporary stabilization for disturbed areas, stockpile locations and stabilization, and expectations for removal of sediment tracked onto the street. See the City's standard notes for guidance here:
http://www.minneapolismn.gov/www/groups/public/@publicworks/documents/webcontent/convert_261968.pdf.
- For comments or questions on Public Works Surface Water & Sewers Division related requirements please contact Jeremy Strehlo, (Professional Engineer) at (612) 673-3973, or jeremy.strehlo@minneapolismn.gov

❑ Construction Code Services

- Accessible parking stalls are required when parking stalls are provided.
- An accessible route to the building from the city walk is required.
- Civil shows a stoop with a step at the rear entrance making the "A" type unit un-accessible.
- The maximum slope for an exterior walk is 1:20.
- Define the accessible route into the building.

END OF REPORT

2008 Bryant Avenue Apartments

Project Description

February 15, 2016

The Proposed Bryant Avenue Apartments Project is located at 2008 Bryant Avenue South in the Lowery Hill East Neighborhood. The site is a single lot with an area of 6,737 sf (0.15 acres). The lot is zoned R6, and has no overlay districts. Multiple-family housing is a permitted use within the R6 zoning district.

The project will replace a 2-1/2 story house with a 10 unit, 4 story apartment building. The total building height is 45'-6" feet to the top of the highest parapet and 50'-0" to the top of the rooftop deck access stairs. The building's setbacks are 22'-7" feet from the property line along Bryant Avenue, 11 feet from the side property lines and 34'-6" from the rear property line. The units are single story flats, and consist of 9 two bedroom units and (1) one bedroom unit.

The building design provides an active street front and a sculpted building envelope through multiple design strategies. The front facade is articulated with a covered entry porch, projecting bay windows, and a combination of stucco, horizontal cementitious lap siding and stained cedar siding. Both the front and rear facades are sculpted by step backs at the entry stairs and accented by material changes. The building materials are stucco, cementitious lap siding and stained cedar siding. The project will provide 1 total parking stalls at the rear of the site which are accessed by a shared driveway with the neighbor to the south. One of the parking stalls will be an accessible stall with an offloading area.

Required Zoning Applications:

1. Site Plan Review
2. PDR
3. Alternative compliance for the minimum 7'-0" landscape yard along the south property line.
This is the shared drive with the property to the south and the only vehicular access to the rear of the property

Project Information:

Address: 2008 Bryant Avenue S

Applicant: DDMZ Real Estate

3033 Excelsior Blvd, #100

Minneapolis, MN 55416

561 870 2468

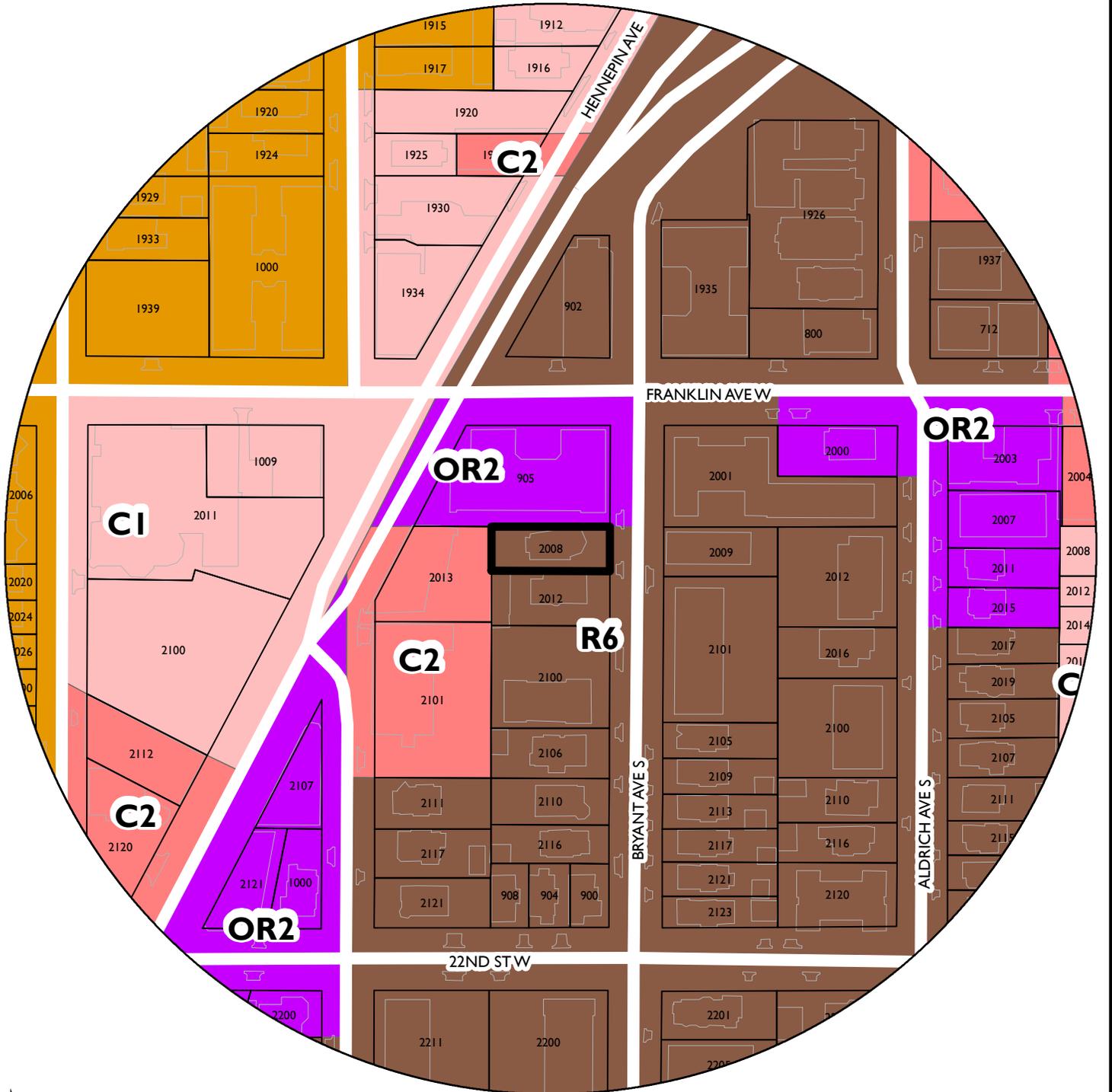
Danieleperkins@gmail.com

Mick Stoddard, DJR

10th

NAME OF APPLICANT

WARD



PROPERTY ADDRESS
2008 Bryant Ave S

FILE NUMBER
BZZ-7594

2008 BRYANT AVENUE APARTMENTS

15-055.2

2008 BRYANT AVENUE, MINNEAPOLIS, MN, 55405



Zoning Information	
Zoning District:	R6 - No overlay
Site Area:	6,737.4 sf (.12 AC)
Lot Coverage:	2,087.4 sf (31%)
Lot Coverage Maximum:	4,716.15 sf (70%)
Impervious Coverage:	5,050 sf (70%)
Impervious Coverage Maximum:	5,726.75 sf (85%)
FAR Proposed:	1.25 (8,400 gsf)
FAR Allowed:	3
Parking Provided:	- 2 Stalls (1 Handicap Stall)
Bicycle Parking:	- Space for Longterm storage required = 5 spaces - 5 spaces provided
BUILDING ADDRESS:	
	2008 Bryant Avenue South, Minneapolis, MN 55405

BUILDING RECAP	
LEVEL	GROSS AREA
Basement	2,300 sf
Level 1	2,099 sf
Level 2	2,099 sf
Level 3	2,099 sf
Level 4	2,099 sf
Total	10,696 sf

UNIT BREAKDOWN		
UNIT	TYPE	SF
10	(2) BED, (1) FULL BATH, (1) 3/4 BATH	938 sf
9	(2) BED, (2) FULL BATH	799 sf
1 - TYPE B	(2) BED, (1) FULL BATH	835 sf
2 - TYPE A	(1) BED, (1) DEN, (1) FULL BATH	807 sf
3, 5, 7	(2) BED, (1) FULL BATH, (1) 3/4 BATH	937 sf
4, 6, 8	(2) BED, (2) FULL BATH	914 sf

PROJECT PARTICIPANTS	
OWNER	DDMZ Real Estate 3033 Excelsior Blvd. #100 Minneapolis MN. 55416 Contact: Danny Perkins Phone: 581-870-2468 Email: danieleperkins@gmail.com
ARCHITECT	DJR ARCHITECTURE, INC. 333 WASHINGTON AVENUE N UNION PLAZA, SUITE 210 MINNEAPOLIS, MN 55401 CONTACT: Mick (612) 686-2722 (612) 676-2796 (fax) @djri-inc.com
CONTRACTOR	CNC Construction LLC 211 Saint Anthony Parkway Minneapolis, MN 55418 Contact: Chris Casey Phone: 612-789-2155 E-mail: ccasey@cncconstruction.org
CIVIL/LANDSCAPE	Jonathan L. Faraci, PE, PLS LAKE & LAND SURVEYING, INC. Land Surveying, Civil & Geotechnical Engineering 1200 Centre Pointe Curve, Suite 275 Mendota Heights, MN 55120 Phone: 651-776-6211 ext 222
STRUCTURAL	Design Build
MECHANICAL, ELECTRICAL, PLUMBING & FIRE PROTECTION	Design Build

SHEET INDEX - GENERAL	
G000	COVER SHEET

SHEET INDEX - CIVIL	
C1	ALTA/ACSM LAND TITLE SURVEY
C2	DEVELOPMENT OF SITE FEATURES
C3	STORM WATER MANAGEMENT/EROSION SEDIMENT CONTROL
C4	UTILITY DESIGN
C5	DETAILS
C6	LANDSCAPE PLAN

SHEET INDEX - ARCHITECTURAL	
A130	A130 - FLOOR PLAN - LEVEL 4 & ROOF
AS100	ARCHITECTURAL SITE PLAN
A100	FLOOR PLAN - BASEMENT & LEVEL 1
A120	FLOOR PLAN - LEVEL 2 & 3
A200	EXTERIOR ELEVATIONS



2008 Bryant Avenue Apartments
2008 BRYANT AVENUE, MINNEAPOLIS, MN, 55405

COVER SHEET

G000

I hereby certify that this plan, specification, or contract was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

APPROVE: _____
PRINT NAME: _____
SIGNATURE: _____
REGISTRATION NUMBER: 02-16-2016
DATE: 02-16-2016

Issue: PDR SUBMITTAL
SITE PLAN REVIEW

Date: 01-20-2016
02-16-2016

Project #: 15-055.2
Date: 02-16-2016

Drawn by: MAH
Checked by: MRS

DJR ARCHITECTURE, INC.
333 Washington Ave N, Suite 210
Minneapolis, Minnesota 55401
612.676.2700 www.djr-inc.com

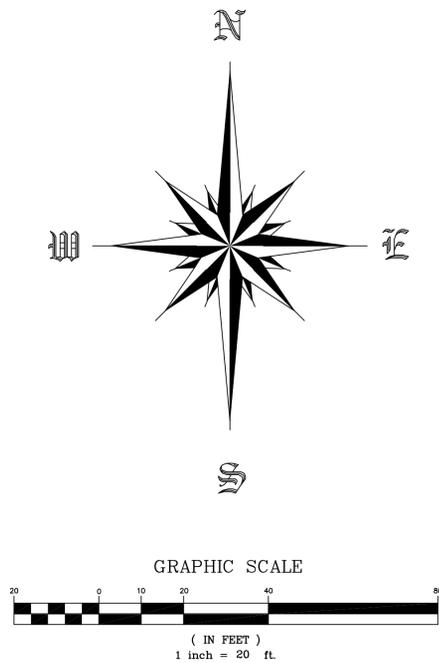
CIVIL
Jonathan L. Faraci, PE, PLS
LAKE & LAND SURVEYING, INC.
211 Saint Anthony Parkway
Minneapolis, MN 55418
Contact: Chris Casey
Phone: 612-789-2155
E-mail: ccasey@cncconstruction.org

STRUCTURAL

CONTRACTOR
CNC Construction LLC
211 Saint Anthony Parkway
Minneapolis, MN 55418
Contact: Chris Casey
Phone: 612-789-2155
E-mail: ccasey@cncconstruction.org

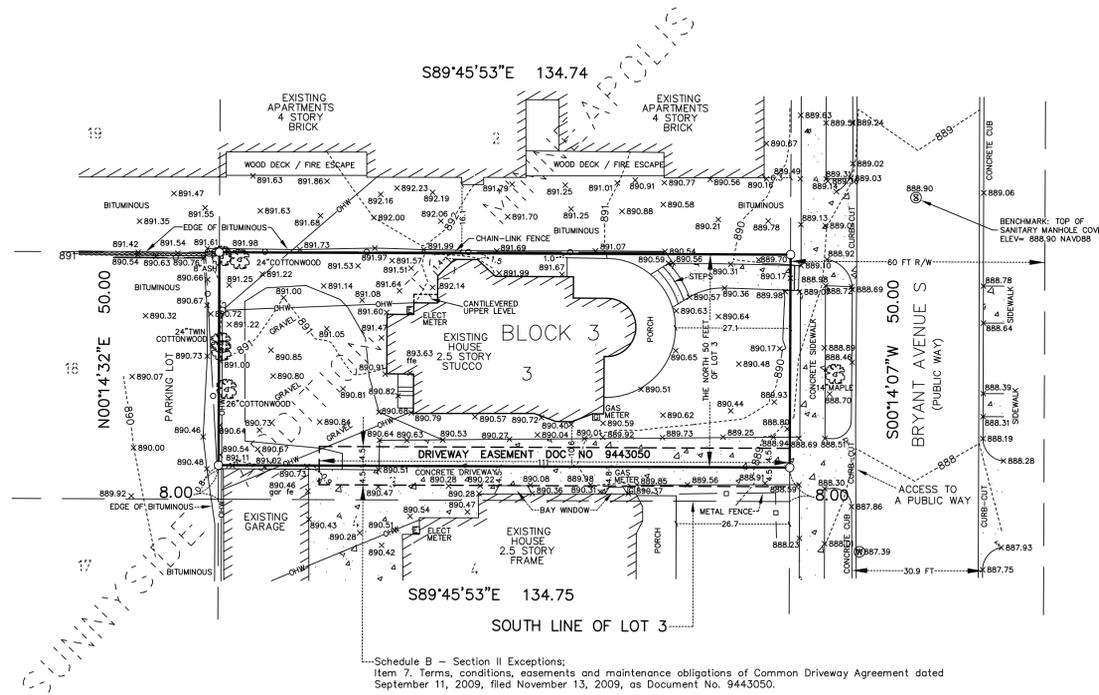
CLIENT
DDMZ Real Estate
3033 Excelsior Blvd. #100
Minneapolis, MN 55416
Contact: Danny Perkins
Phone: 581-870-2468
Email: danieleperkins@gmail.com

ALTA/ACSM Land Title Survey for: CNC Construction, LLC



LEGEND

- DENOTES IRON MONUMENT FOUND
- DENOTES 12 INCH COMMON SPIKE SET AND MARKED BY LIC. NO. 16363
- DENOTES EXISTING SPOT ELEVATION
- - - DENOTES EXISTING CONTOURS
- ⊙ DENOTES STORM SEWER MANHOLE
- ⊕ DENOTES SANITARY SEWER MANHOLE
- ⊖ DENOTES WATER MAIN MANHOLE
- DENOTES CATCH BASIN
- ⊠ DENOTES GAS METER
- ⊡ DENOTES ELECTRIC METER
- ⊢ DENOTES UTILITY POLE
- OHW — DENOTES OVERHEAD UTILITY WIRES
- ⊕ DENOTES FIRE HYDRANT
- ▭ DENOTES CONCRETE SURFACE



Property Described As:

The North 50 feet of Lot 3, SUNNYSIDE ADDITION TO MINNEAPOLIS, together with appurtenant easement(s) for driveway purposes contained in Document No. 9443050, according to the recorded plat thereof, Hennepin County, Minnesota.

Schedule B - Section II Exceptions;
Item 6. Possible gap or overlap with the property to the South described as the South 8 feet of Lot 3, Block 3.

More Particularly Legal Described as follows:
That part of Lot 3, SUNNYSIDE ADDITION TO MINNEAPOLIS, lying North of the South 8 feet as measured along the East (front) and West (rear) property lines thereof, together with and subject to appurtenant easement(s) for driveway purposes contained in Document No. 9443050, according to the recorded plat thereof, Hennepin County, Minnesota.

Site Address:

Site Address: 2008 Bryant Avenue South, Minneapolis, Minnesota 55405

Cemeteries and Burial Grounds:

No observed evidence of cemeteries and burial grounds on site or adjacent properties.

Water Features:

No observed water features on this site. No wetland delineation provided and is not in the scope of work.

Title Commitment:

In locating or identifying recorded easements or other recorded documents I have relied upon Commitment for Title Insurance by the following:

Old Republic National Title Insurance Company issued by its Agent, Guaranty Commercial Title, Inc., having an effective date of August 16, 2015, at 7:00 a.m., an issued date of September 03, 2015 and bearing File No. 61916.

To DDNZ, LLC, Guaranty Commercial Title, Inc., and Old Republic National Title Insurance Company as per these Title Commitments as outlined above:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, of Table A thereof. The field work was completed on September 9, 2015.

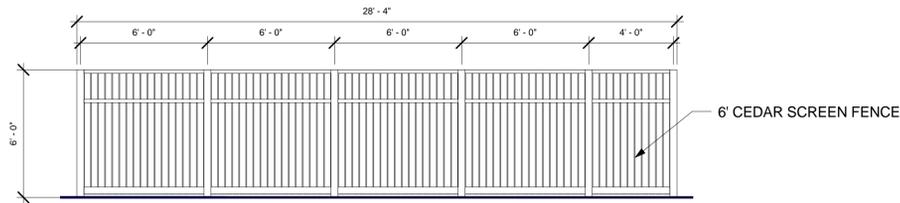
Date of Plat or Map: September 14, 2015

Jonathan L. Faraci
Lake & Land Surveying, Inc.
Jonathan L. Faraci, Registered Land Surveyor
Minnesota Registration Number 16464

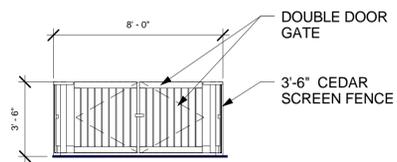
TOTAL LOT AREA: 6,737 sq. ft. or 0.15 acres
EXISTING IMPERVIOUS AREA = 2,895 sq. ft.
EXISTING GRAVEL AREA = 1,138 sq. ft.

BASIS OF BEARINGS: ASSUMED.

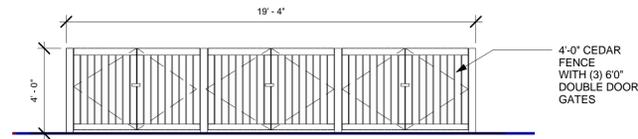
Client CNC CONSTRUCTION, LLC 4540 210TH LANE NE EAST BEIHEL, MN 55011 PHONE: 612-789-2155	Design by	Original date 9-14-15	I hereby certify that this plan, specification or report was prepared by me or under my direct supervision, and that I am a duly Registered Surveyor under the laws of the State of Minnesota. <i>Jonathan L. Faraci</i> Date: 9-14-15 Minnesota Reg. No. 16464
	Drawn by JF/JK	Revisions 1-28-16 ImperVIOUS Area	
LAKE & LAND SURVEYING, INC. LAND SURVEYING/CIVIL ENGINEERING 1200 CENTRE POINTE CURVE, STE 275 MENDOTA HEIGHTS, MN 56120 PHONE: (651) 776-6211 E-MAIL: DEVENGP@WEST.NET	Survey book No.	Page title ALTA/ACSM LAND TITLE SURVEY	Sheet number 1 of 1
	S.A.P. number 2015.166		



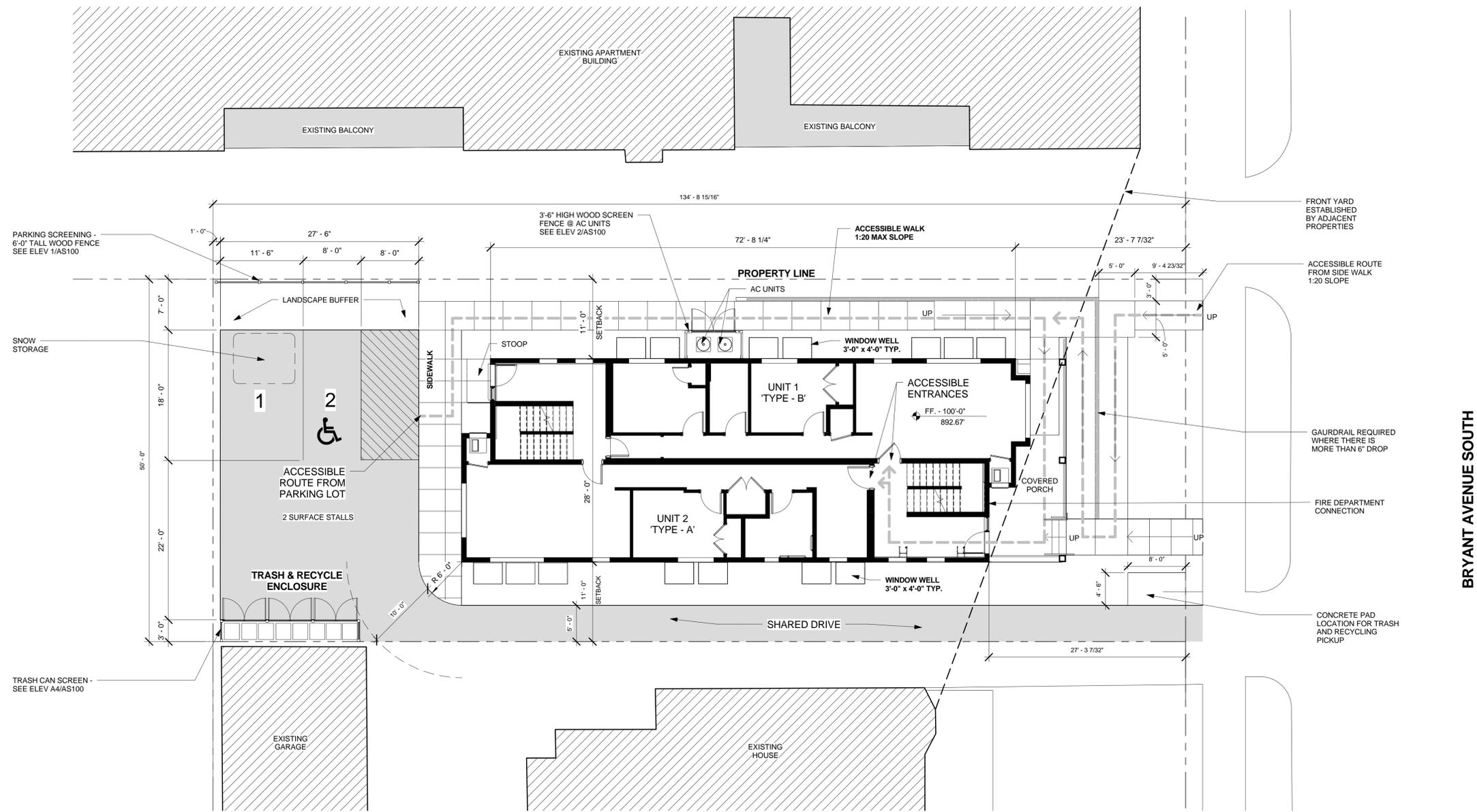
1 6'-0" WOOD FENCE - PARKING SCREEN
1/4" = 1'-0"



2 3'-6" WOOD FENCE - AIR CONDITIONER SCREEN
1/4" = 1'-0"



A4 4' TRASH CAN SCREEN - WOOD FENCE
1/4" = 1'-0"



A1 ARCHITECTURAL SITE PLAN
1/8" = 1'-0"

DJR
ARCHITECTURE, INC.
333 Washington Ave N, Suite 210
Minneapolis, Minnesota 55401
612.676.2700 www.djr-inc.com

CIVIL
Jonathan L. Finckel, PE, PLS
Landscape Architect
333 Washington Ave N, Suite 210
Minneapolis, MN 55401
612.676.2700
www.djr-inc.com

CONTRACTOR
LCC
211 Saint Anthony Parkway
Minneapolis, MN 55418
Contact: Chris Casey
Phone: 612.970.2488
Email: casey@lccconstruction.org

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

Signature: _____
Print Name: _____
Date: 02-16-2016

Project #: 15-055.2
Date: 02-16-2016
Drawn by: AP
Checked by: MS

2008 Bryant Avenue Apartments
2008 BRYANT AVENUE, MINNEAPOLIS, MN, 55405

Issue: PDR SUBMITTAL
SITE PLAN REVIEW

Architectural Site Plan

AS100

LANDSCAPE PLAN

6 FEET HIGH WOOD FENCE
SEE ARCHITECTS PLANS FOR DETAILS

SCREEN AIR CONDITIONING COMPRESSORS
3.5 FEET HIGH WOOD FENCE
SEE ARCHITECTS PLANS FOR DETAILS

PLANTING SCHEDULE

ITEM	QUANTITY	COMMON NAME	REMARKS
A	4	DWARF BUSH-HONEYSUCKLE (DIERVILLA IONICERA)	24" HT. 3' SPACING, BB
B	3	DWARF RED-TWIG DOGWOOD (CORNUS SERICEA BAILEY)	24" HT. 3' SPACING, BB
C	3	YEW, JAPANESE DWARF (TAXUS CUSPIDATA 'NANA')	24" HT. 3' SPACING, BB
D	23	SEDUM - AUTUMN JOY	TOPSIZED 1' O.C. TYP. BED SIZE VARY
E	35	DAY LILY (STELLA DE ORO)	TOPSIZED 1' O.C. TYP. BED SIZE VARY
F	29	SEVERAL VARIETIES HOSTA (HOSTA)	TOPSIZED 1' O.C. TYP. BED SIZE VARY
G	2	IMPERIAL HONEYLOCUST (GLEDTISIA TRICANTHOS 'INERMIS' IMPERIAL)	3.5' DIA. BB

LANDSCAPE NOTES:

- ALL PLANT MATERIAL SHALL BE TRUE TO NAME AND SIZE ACCORDING TO AMERICAN NURSERYMAN'S STANDARDS.
- ALL PLANT MATERIAL SHALL BE GUARANTEED FOR TWO YEARS FROM THE DAY OF ACCEPTANCE BY THE OWNER, DEAD AND UNHEALTHY PLANT MATERIAL SHALL BE REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES WITHIN THE FIELD PRIOR TO ANY PLANTING OPERATION, OR DISRUPTION OF THE SITE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECEIVING ALL NECESSARY PERMITS AND APPROVAL, INCLUDING PERMISSION FROM UTILITIES AND GOVERNMENT UNITS TO PLANT WITHIN UTILITY EASEMENT AREAS AND R.O.W.
- THE CONTRACTOR SHALL STAKE THE PLANTING LOCATIONS AND RECEIVE OWNER APPROVAL PRIOR TO THE PLANTING OPERATION. CONTRACTOR SHALL REVISE PLANTING LAYOUT TO ACCOMMODATE UTILITIES AND OTHER FIELD VERIFIED CONDITIONS.
- ALL AREAS SHALL BE SODDED.
- ALL AREAS TO BE SODDED SHALL HAVE A MINIMUM OF FOUR (4) INCHES OF BLACK DIRT.
- GRASS, SOD AND SEED SHALL BE CLEAN AND FREE OF NOXIOUS WEEDS AND PESTS OR DISEASES AND SHALL BE OF A SPECIES NORMALLY GROWN AS PERMANENT LAWNS AND SUITABLE TO THIS CLIMATE.

SAVE BOULEVARD TREE

Contact Craig Pinkalla (cpinkalla@minneapolisparcs.org), Telephone (612)-499-9233 regarding removal or protection of trees during construction in the city right of way.

LEGEND

- xxx--- DENOTES PROPOSED CONTOUR
- o DENOTES UNDERGROUND GAS LINE
- W DENOTES WATER MAIN OR SERVICE
- SS DENOTES SANITARY SEWER OR SERVICE
- DENOTES DRAINAGE DIRECTION
- o DENOTES CHAIN-LINK FENCE
- DENOTES WOOD FENCE
- ⊙ DENOTES STORM SEWER MANHOLE
- ⊙ DENOTES SANITARY SEWER MANHOLE
- ⊙ DENOTES WATER MAIN MANHOLE
- DENOTES CATCH BASIN
- ⊙ DENOTES GAS METER
- ⊙ DENOTES ELECTRIC METER
- ⊙ DENOTES UTILITY POLE
- OHV— DENOTES OVERHEAD UTILITY WIRES
- ⊙ DENOTES FIRE HYDRANT
- DENOTES CONCRETE SURFACE
- DENOTES BLOCK OR STONE RETAINING WALL
- ⊙ DENOTES LIGHT POLE

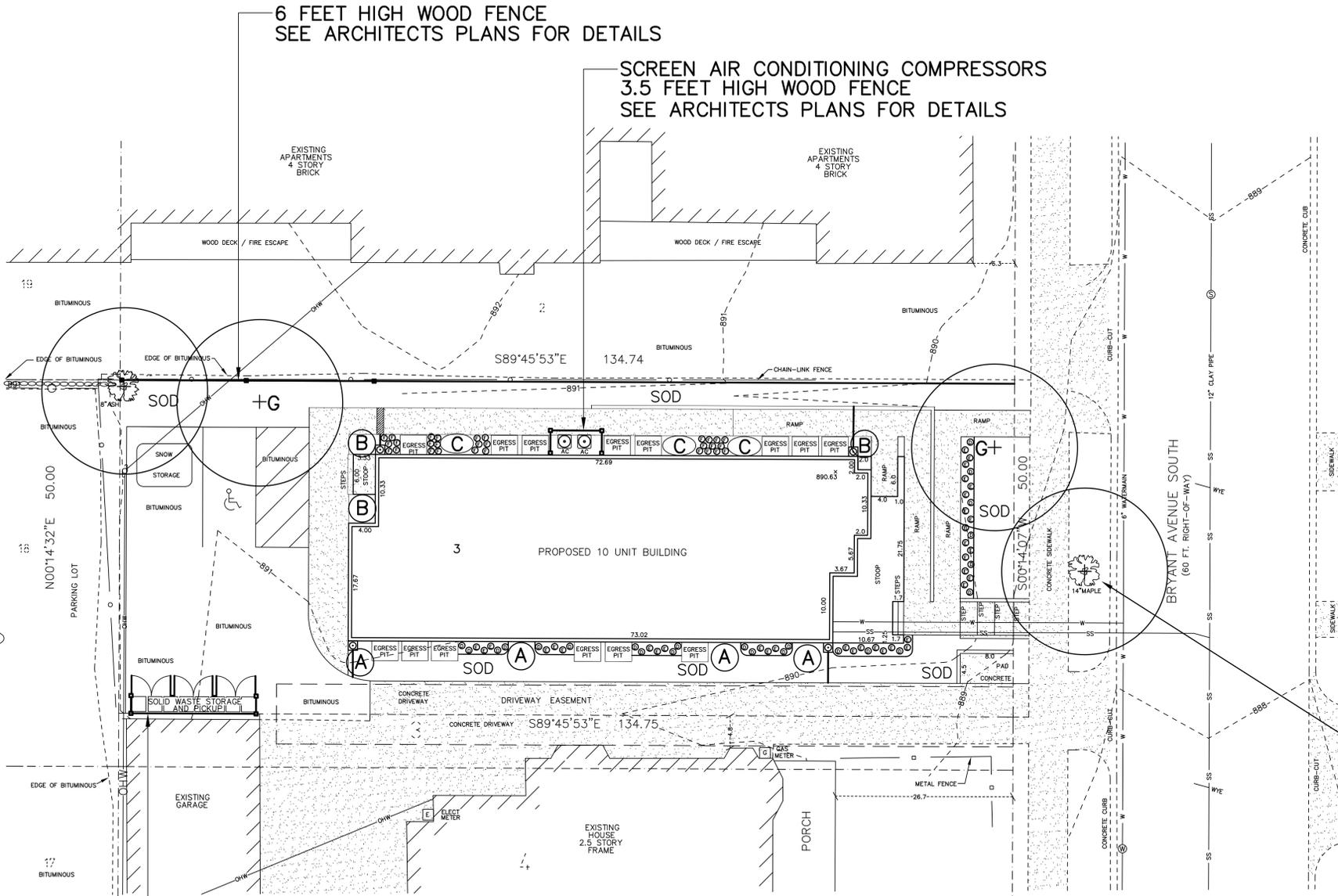
Site Address:

Site Address: 2008 Bryant Avenue South, Minneapolis, Minnesota 55405

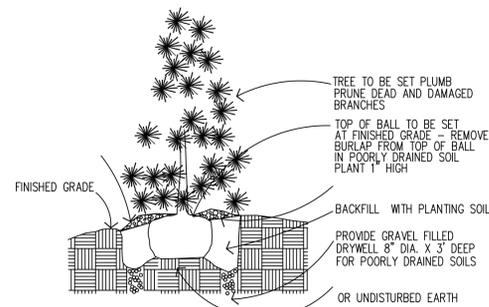
LOT AREA: 6737 sq. ft. or 0.15 acres
EXISTING IMPERVIOUS AREA = 2,895 sq. ft.
EXISTING GRAVEL AREA = 1,138 sq. ft.

PROPOSED IMPERVIOUS SURFACE: 5055 sq. ft.
IMPERVIOUS RATIO: (5055/6737) x 100 = 75%

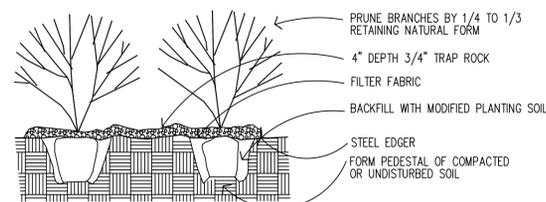
Client CNC CONSTRUCTION, LLC 4540 210TH LANE NE EAST BETHEL, MN 55011 PHONE: 612-789-2155	Design by JF/KK	Original date 1-14-16	I hereby certify that this plan, specification or report was prepared by me or under my direct supervision, and that I am a duly registered Surveyor under the laws of the State of Minnesota. Jonathan J. Foras Date: 1-14-16 Minnesota Reg. No. 16464
LAKE AND LAND SURVEYING, INC. LAND SURVEYING/CIVIL ENGINEERING 1200 CENTRE POINTE CURVE, STE 275 MENDOTA HEIGHTS, MN 55120 PHONE (651) 776-6211 E-MAIL: DEVEN@PARQWEST.NET	Survey book No.	Revisions 1-20-16 2-4-16 2-16-16	
S.A.P. number 2015.166		Sheet number	of



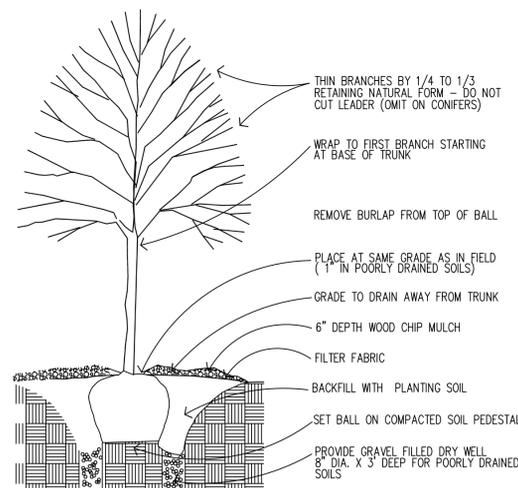
4 FEET HIGH WOOD FENCE
SEE ARCHITECTS PLANS FOR DETAILS



1 EVERGREEN TREE PLANTING
NO SCALE



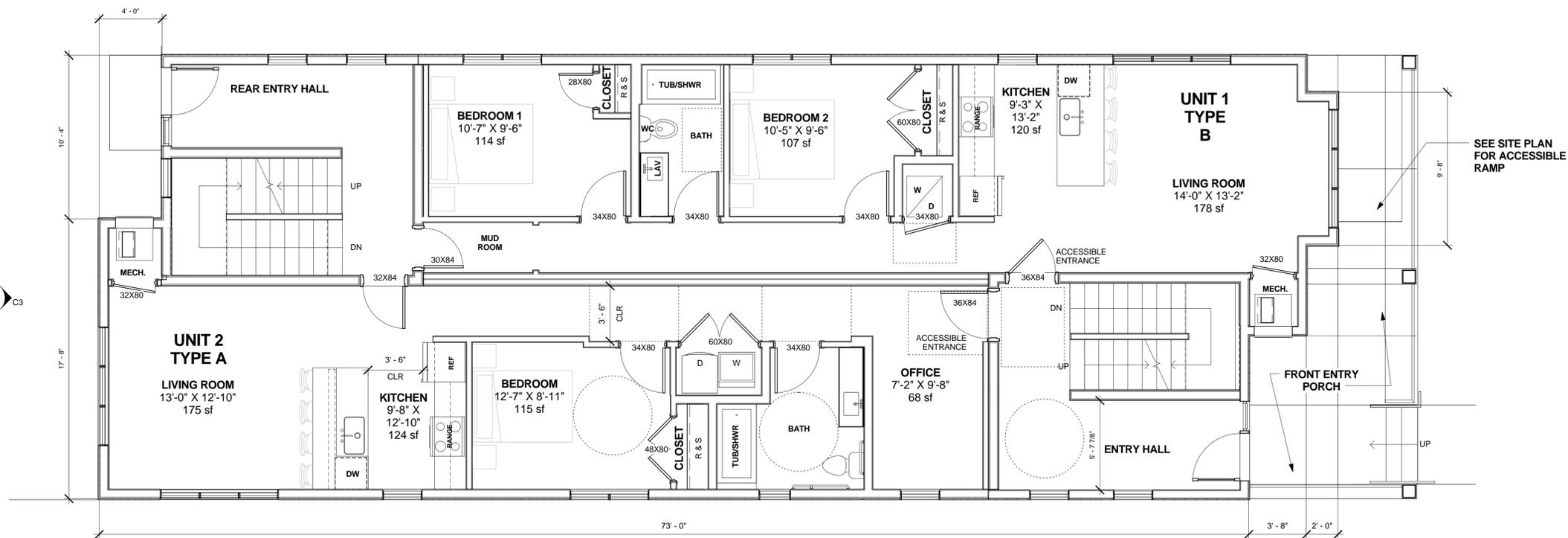
2 CONTAINER GROWN AND B&B SHRUB PLANTING
NO SCALE



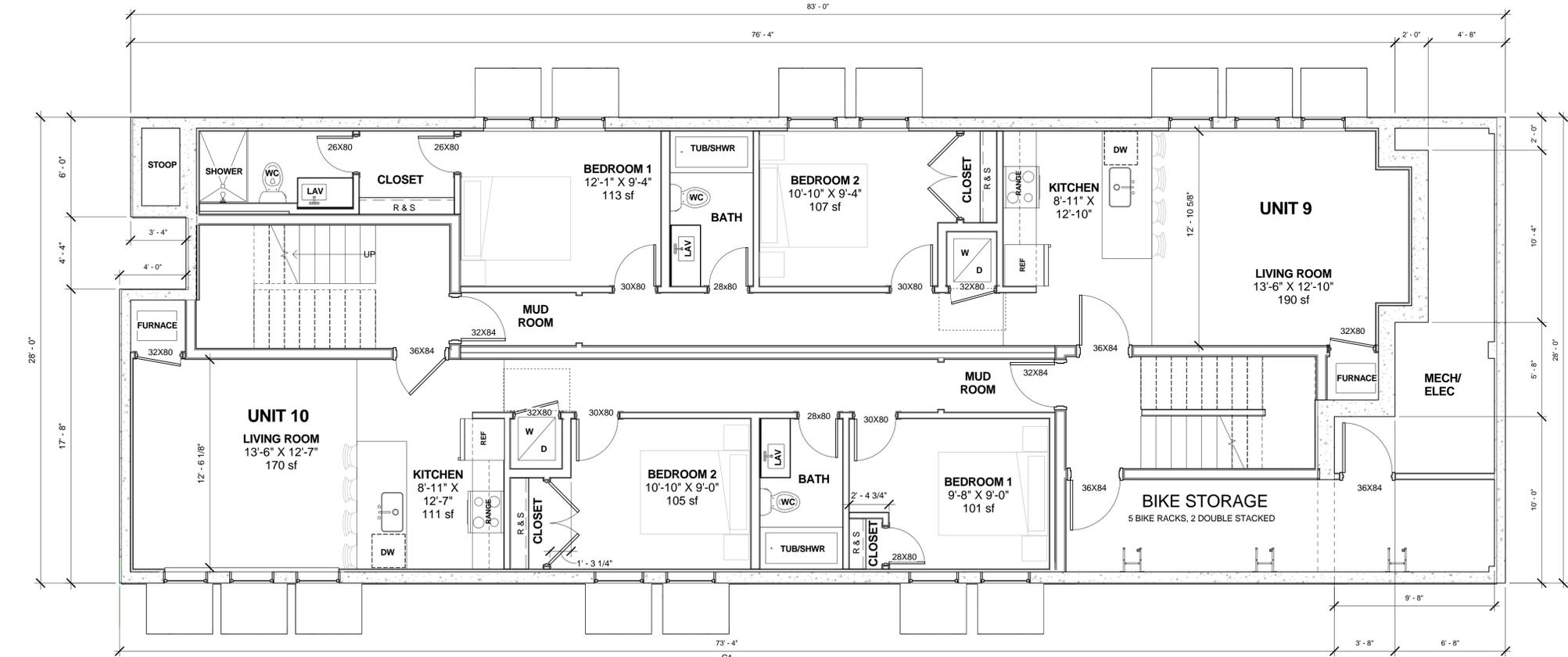
3 B&B TREE PLANTING
NO SCALE

BUILDING RECAP	
LEVEL	GROSS AREA
Basement	2,300 sf
Level 1	2,099 sf
Level 2	2,099 sf
Level 3	2,099 sf
Level 4	2,099 sf
Total	10,696 sf

UNIT BREAKDOWN		
UNIT	TYPE	SF
9	(2) BED, (1) FULL BATH, (1) 3/4 BATH	938 sf
10	(2) BED, (2) FULL BATH	799 sf
1 - TYPE B	(2) BED, (1) FULL BATH	835 sf
2 - TYPE A	(1) BED, (1) DEN, (1) FULL BATH	799 sf
3, 5, 7	(2) BED, (1) FULL BATH, (1) 3/4 BATH	936 sf
4, 6, 8	(2) BED, (2) FULL BATH	914 sf



A1 FLOOR PLAN - LEVEL 1
1/4" = 1'-0"



A2 FLOOR PLAN - LEVEL P1
1/4" = 1'-0"

2008 Bryant Avenue Apartments

2008 BRYANT AVENUE, MINNEAPOLIS, MN, 55405

FLOOR PLAN - BASEMENT & LEVEL 1

Issue: PDR SUBMITTAL SITE PLAN REVIEW

Date: 01-26-2016 02-16-2016

Project #: 15-055.2
Date: 02-16-2016

Drawn by: Author
Checked by: Checker

I hereby certify that this plan, specification, or other document is a true and correct representation of the work shown and that I am a duly Licensed Architect under the laws of the State of Minnesota.
Approve: _____
PRINT NAME

SIGNATURE: _____
REVISION NUMBER: _____
DATE: 02-16-2016

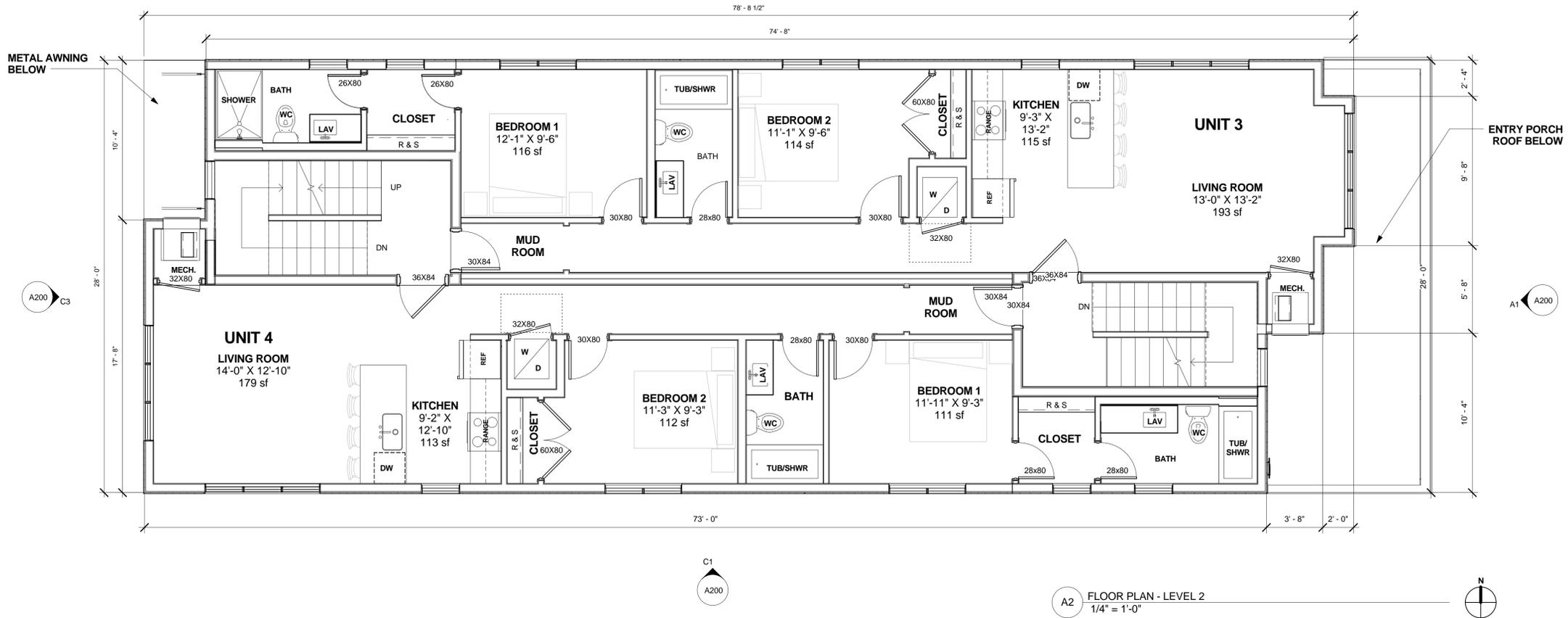
CLIENT: Royal Estate
3033 Excelsior Blvd. #100
Minneapolis, MN 55416
Phone: 952-470-2488
Email: daniel@royalestate.com

CONTRACTOR: LLC
211 Saint Anthony Parkway
Minneapolis, MN 55418
Contact: Chris Casey
Phone: 612-776-6211
Email: casey@coconstruction.org

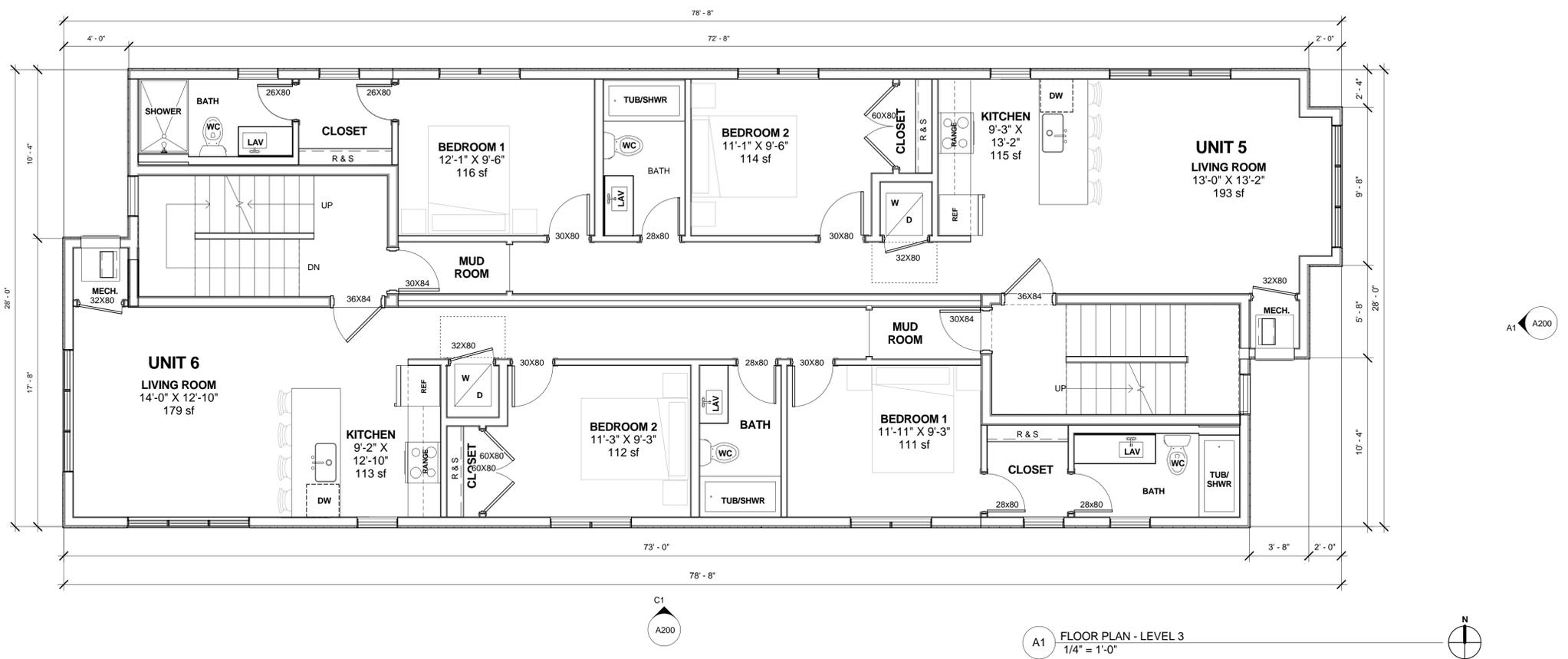
STRUCTURAL

CIVIL: Jonathan L. Francis, PE, PLS
ARCHITECTURE: INC
3333 Washington Ave N, Suite 210
Minneapolis, Minnesota 55401
612.676.2700 www.djr-inc.com





A2 FLOOR PLAN - LEVEL 2
1/4" = 1'-0"



A1 FLOOR PLAN - LEVEL 3
1/4" = 1'-0"

BUILDING RECAP	
LEVEL	GROSS AREA
Basement	2,300 sf
Level 1	2,099 sf
Level 2	2,099 sf
Level 3	2,099 sf
Level 4	2,099 sf
Total	10,696 sf

UNIT BREAKDOWN		
UNIT	TYPE	SF
9	(2) BED, (1) FULL BATH, (1) 3/4 BATH	938 sf
10	(2) BED, (2) FULL BATH	799 sf
1 - TYPE B	(2) BED, (1) FULL BATH	835 sf
2 - TYPE A	(1) BED, (1) DEN, (1) FULL BATH	799 sf
3, 5, 7	(2) BED, (1) FULL BATH, (1) 3/4 BATH	936 sf
4, 6, 8	(2) BED, (2) FULL BATH	914 sf

2008 Bryant Avenue Apartments
2008 BRYANT AVENUE, MINNEAPOLIS, MN, 55405

FLOOR PLAN - LEVEL 2 & 3

I hereby certify that this plan, specification, or contract documents are the work of my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

APPROVE: _____
PRINT NAME: _____
SIGNATURE: _____
RESTRICTION NUMBER: _____
DATE: 02-16-2016

Issue: PDR SUBMITTAL SITE PLAN REVIEW
Date: 01-20-2016 02-16-2016
Project #: 15-055.2
Date: 02-16-2016
Drawn by: Author
Checked by: Checker

DJR
ARCHITECTURE, INC.
333 Washington Ave N, Suite 210
Minneapolis, Minnesota 55401
612.676.2700 www.djr-inc.com

CIVIL
Jonathan L. Francis, PE, PLS
L & LAND SURVEYING, INC.
1400 Lyndale Ave S, Suite 100
Minneapolis, MN 55418
Phone: 612-338-8888
Fax: 612-338-8888
Website: www.jlfrs.com
Mandata Heights, MN 55120
Phone: 651-776-6211 ext 222

STRUCTURAL

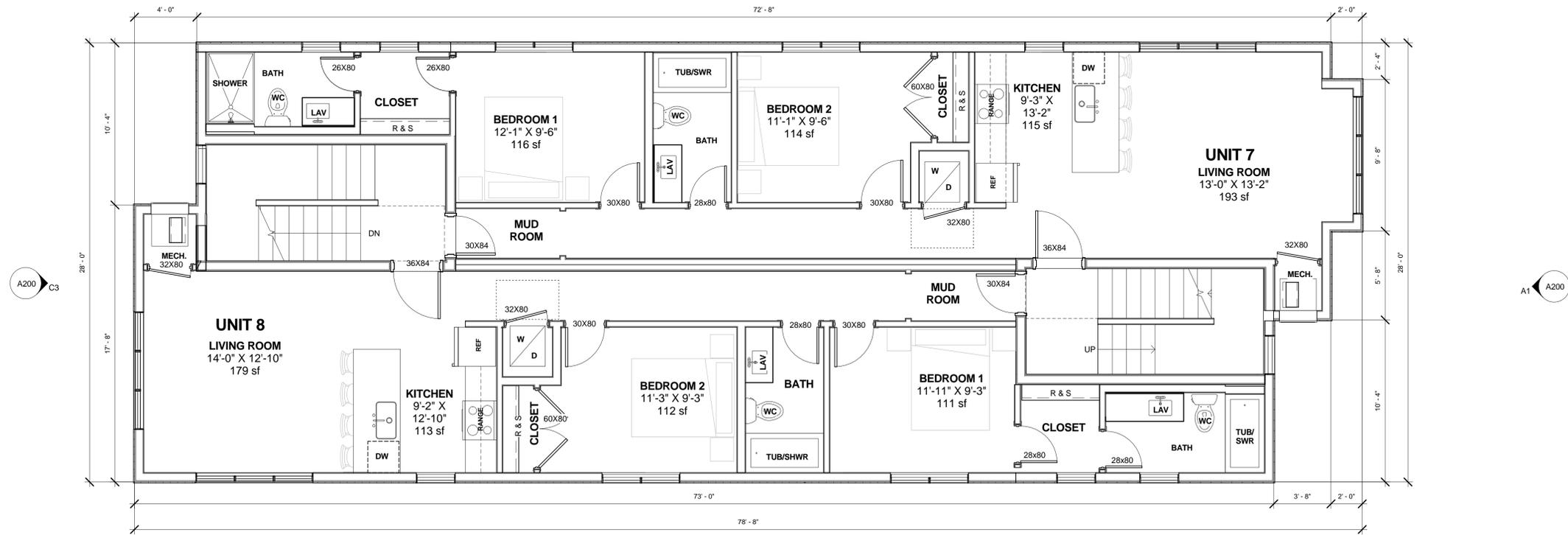
CONTRACTOR
CROSS CONSTRUCTION, LLC
211 Saint Anthony Parkway
Minneapolis, MN 55418
Contact: Chris Casey
Phone: 612-338-8888
Email: casey@crossconstruction.org

D

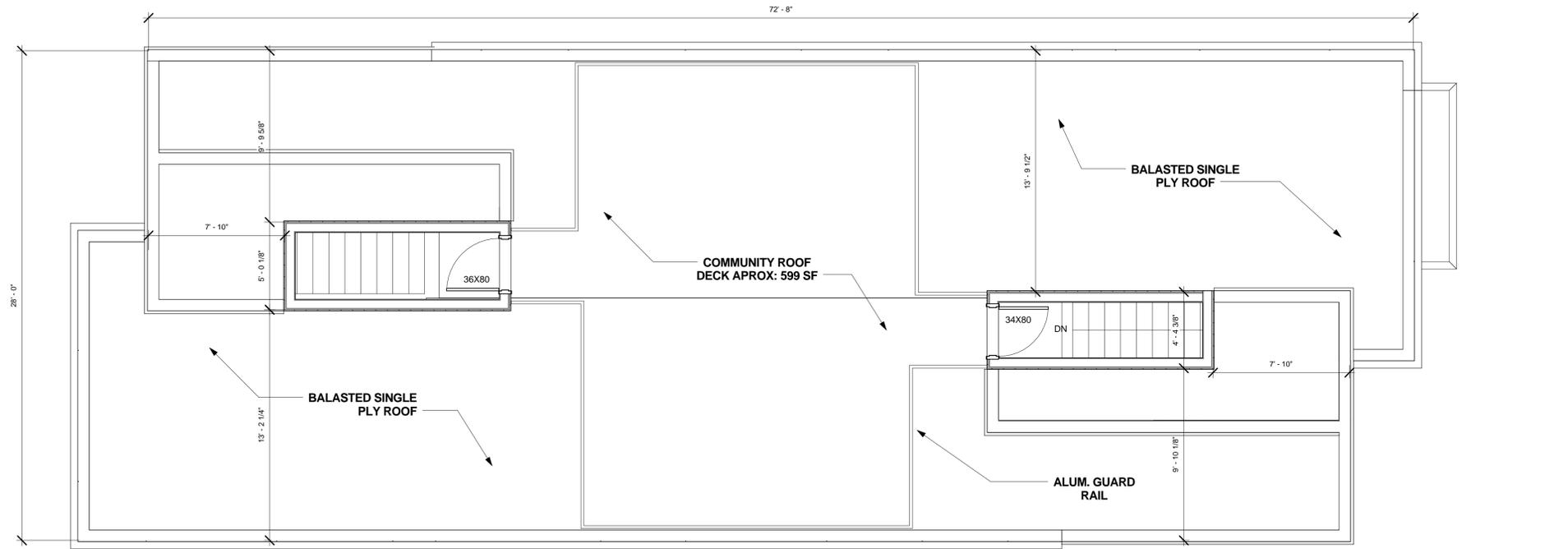
C

B

A



A2 FLOOR PLAN - LEVEL 4
1/4" = 1'-0"



A1 ROOF PLAN
1/4" = 1'-0"

BUILDING RECAP	
LEVEL	GROSS AREA
Basement	2,300 sf
Level 1	2,099 sf
Level 2	2,099 sf
Level 3	2,099 sf
Level 4	2,099 sf
Total	10,696 sf

UNIT BREAKDOWN		
UNIT	TYPE	SF
9	(2) BED, (1) FULL BATH, (1) 3/4 BATH	938 sf
10	(2) BED, (2) FULL BATH	799 sf
1 - TYPE B	(2) BED, (1) FULL BATH	835 sf
2 - TYPE A	(1) BED, (1) DEN, (1) FULL BATH	799 sf
3, 5, 7	(2) BED, (1) FULL BATH, (1) 3/4 BATH	936 sf
4, 6, 8	(2) BED, (2) FULL BATH	914 sf

2008 Bryant Avenue Apartments
2008 BRYANT AVENUE, MINNEAPOLIS, MN, 55405

A130 - FLOOR PLAN - LEVEL 4 & ROOF

Issue: PDR SUBMITTAL
SITE PLAN REVIEW

Project #: 15-055.2
Date: 02-16-2016
Drawn by: Author
Checked by: Checker

CLIENT: Royal Estate
3033 Excelsior Blvd. #100
Minneapolis, MN 55418
Contact: Chris Casey
Phone: 612-470-2488
Email: casey@cozconstruction.org

CONTRACTOR: LLC
211 Saint Anthony Parkway
Minneapolis, MN 55418
Contact: Chris Casey
Phone: 612-470-2488
Email: casey@cozconstruction.org

STRUCTURAL

DJR ARCHITECTURE, INC.
3333 Washington Ave N, Suite 210
Minneapolis, Minnesota 55401
612.676.2700 www.djr-inc.com

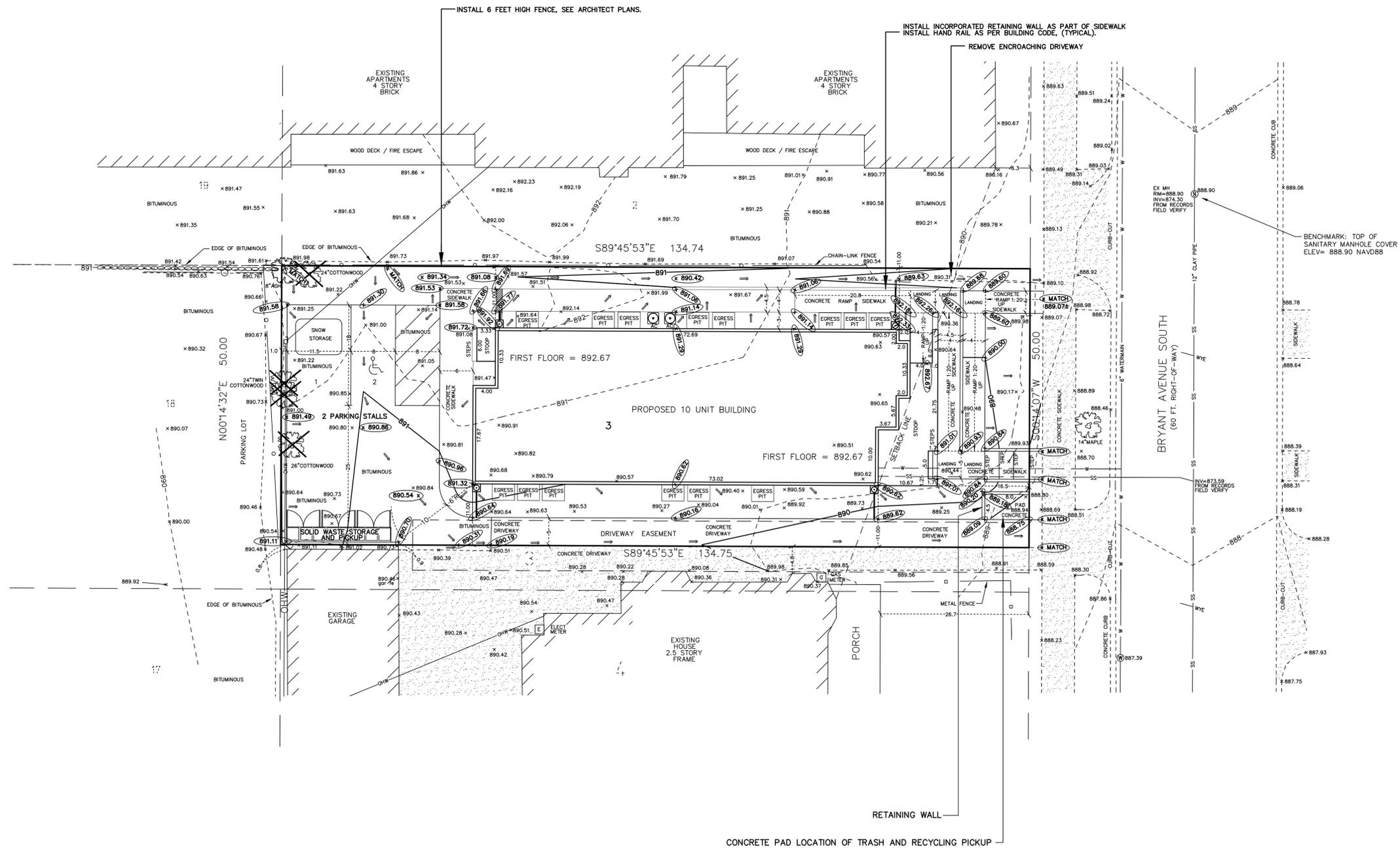
CIVIL: Jonathan L. Francis, PE, PLS
ARCHITECTURE: LARRY S. LANDS, P.E., AIA, INC.
LARRY S. LANDS, P.E., AIA, INC.
Engineering
10000 Lyndale Ave. S., Suite 275
Minneapolis, MN 55425
Phone: 651-776-6211 ext 222

DEVELOPMENT OF SITE FEATURES

VERIFY ALL ELEVATIONS WITH ARCHITECTS PLANS
 FIRST FLOOR = 892.67
 TOP OF BLOCK = 892.42
 TOP OF BASEMENT SLAB = 882.86 ±



SCALE
 1 inch = 10 feet



LEGEND

- 890.52 DENOTES EXISTING SPOT ELEVATION
- DENOTES EXISTING GRADE CONTOUR
- 896.65 DENOTES PROPOSED SPOT ELEVATION
- DENOTES PROPOSED GRADE CONTOUR
- DENOTES UNDERGROUND GAS LINE
- DENOTES WATER MAIN OR SERVICE
- SS DENOTES SANITARY SEWER OR SERVICE
- DENOTES DRAINAGE DIRECTION
- DENOTES CHAIN-LINK FENCE
- DENOTES WOOD FENCE
- ⊙ DENOTES STORM SEWER MANHOLE
- ⊙ DENOTES SANITARY SEWER MANHOLE
- ⊙ DENOTES WATER MAIN MANHOLE
- DENOTES CATCH BASIN
- DENOTES GAS METER
- DENOTES ELECTRIC METER
- DENOTES UTILITY POLE
- DENOTES OVERHEAD UTILITY WIRES
- ⊙ DENOTES FIRE HYDRANT
- DENOTES CONCRETE SURFACE
- DENOTES BLOCK OR STONE RETAINING WALL
- DENOTES PROPOSED SILT FENCE
- ⊙ DENOTES LIGHT POLE
- ⊗ DENOTES TREES TO BE REMOVED

Site Address:
 Site Address: 2008 Bryant Avenue South, Minneapolis, Minnesota 55405

LOT AREA: 6737 sq. ft. or 0.15 acres
 EXISTING IMPERVIOUS AREA = 2,895 sq. ft.
 EXISTING GRAVEL AREA = 1,138 sq. ft.
 PROPOSED IMPERVIOUS SURFACE: 5055 sq ft.
 IMPERVIOUS RATIO: (5055/6737) x 100 = 75%

BASIS OF BEARINGS: ASSUMED.

Client CNC CONSTRUCTION, LLC 4540 210TH LANE NE EAST BETHEL, MN 55011 PHONE: 612-789-2155	Design by	Original date 1-14-16	I hereby certify that this plan, specification or report was prepared by me or under my direct supervision, and that I am a duly Registered Surveyor under the laws of the State of Minnesota. Jonathan J. Foras Date: 1-14-16 Minnesota Reg. No. 16464
	Drawn by JF/JK	Revisions 1-20-16 2-4-16 2-16-16	
LAKE AND LAND SURVEYING, INC. LAND SURVEYING/CIVIL ENGINEERING 1200 CENTRE POINTE CURVE, STE 275 MENDOTA HEIGHTS, MN 55120 PHONE (651) 776-6211 E-MAIL: DEVENGP@WEST.NET	Survey book No.		Sheet number of
	S.A.P. number 2015.166		

Storm Water Management/Erosion and Sediment Control

- Sequence of Erosion Control Construction Activities
 - Installation of silt fence and/or bio rolls prior to any construction activity.
 - Installation of rock construction entrance prior to any construction activity.
 - The site shall be re-vegetated within 48 hours of final grading.
 - Install landscaping as per landscape plan.
- Erosion and Sediment Control Measures

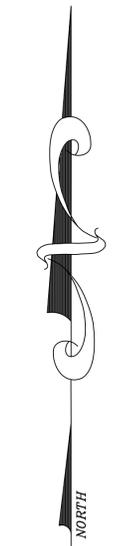
All best management practices (BMPs) determined by the Engineer to be effective are available for use on the site. BMPs anticipated to be used on the Project include the following:

 - Silt Fence or Bio Rolls
 - Rock Construction Entrance
 - Concrete Mixing/Washout to be done offsite
 - Final Landscaping with Seed, Fertilizer, Topsoil or Sod
 - Street Sweeping
- Inspection and Maintenance

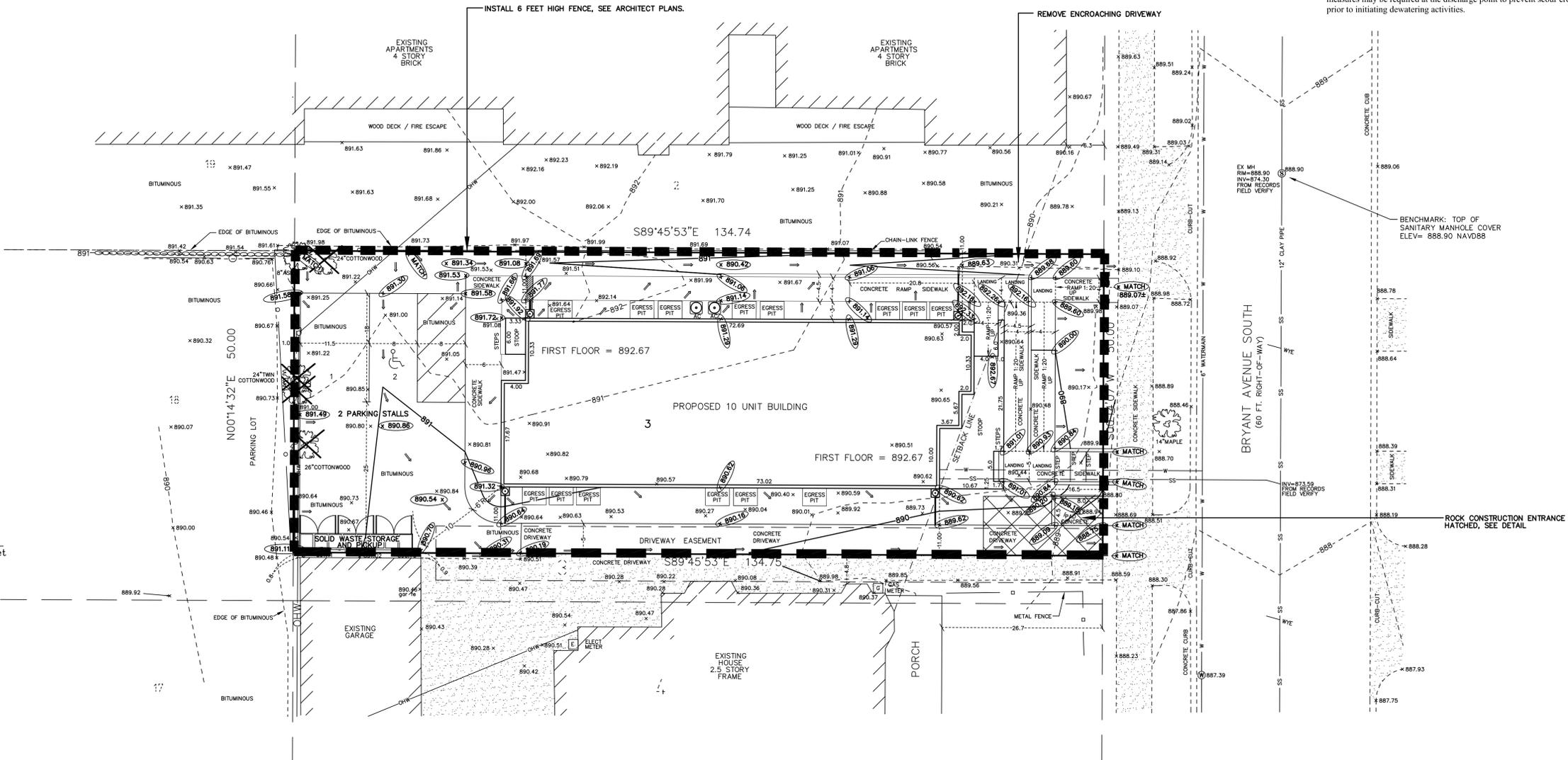
The Contractor is responsible for providing, maintaining and removing all Erosion Control BMPs, as set forth above, which includes all materials, equipment and labor. Owner is responsible for having the Contractor install, maintain and remove the BMPs as set forth above.

VERIFY ALL ELEVATIONS WITH ARCHITECTS PLANS
 FIRST FLOOR = 892.67
 TOP OF BLOCK = 892.42
 TOP OF BASEMENT SLAB = 882.86±

- Contractor must call a construction start 48 hours prior to any land disturbances 612-673-3867. Failure to do so may result in fines, the revocation of permit and a stop work order being issued.
- Install perimeter erosion control at the locations shown on the plans prior to the commencement of any land disturbance or construction activities.
- Before beginning construction, install a temporary rock construction entrance at each point where vehicles exit the construction site. Use 2 inch or greater diameter rock in a layer at least 6 inches thick across the entire width of the entrance. Extend the rock entrance at least 50 feet into the construction zone using a geo-textile fabric beneath the aggregate to prevent migration of soil into the rock from below.
- Remove all soils and sediments tracked or otherwise deposited onto public and private pavement areas. Removal shall be on a daily basis when tracking occurs and may be ordered by Minneapolis inspectors at any time if conditions warrant. Sweeping shall be maintained throughout the duration of the construction and done in a manner to prevent dust being blown to adjacent properties.
- Install inlet protection at all public and private catch basin inlets, which receive runoff from the disturbed areas. Contractor shall clean, remove sediment or replace storm drain inlet protection devices on a routine basis such that the devices are fully functional for the next rain event. Sediment deposited in and/or plugging drainage systems is the responsibility of the contractor. Hay bales or filter fabric wrapped grates are not allowed for inlet protection.
- Locate soil or dirt stockpiles no less than 25 feet from any public or private roadway or drainage channel. If remaining for more than seven days, stabilize the stockpiles by mulching, vegetative cover, tarps, or other means. Control erosion from all stockpiles by placing silt barriers around the piles. Temporary stockpiles located on paved surfaces must be no less than two feet from the drainage/gutter line and shall be covered if left more than 24 hours.
- Maintain all temporary erosion and sediment control devices in place until the contributing drainage area has been stabilized. Inspect temporary erosion and sediment control devices on a daily basis and replace deteriorated, damaged, or rotted erosion control devices immediately.
- Temporarily or permanently stabilize all construction areas which have undergone final grading, and all areas in which grading or site building construction operations are not actively underway against erosion due to rain, wind and running water within 7-14 days. Use seed and mulch, erosion control matting, and/or sodding and staking in green space areas. Remove all temporary synthetic, structural, non-biodegradable erosion and sediment control devices after the site has undergone final stabilization with permanent vegetation establishment. Final stabilization for purposes of this removal is 70% established cover over denuded area.
- Ready mixed concrete and concrete batch/mix plants are prohibited within the public right of way and onsite. All concrete related production, cleaning and mixing activities are prohibited onsite. Under no circumstance may washout water drain onto the public right of way or into any public or private storm drain conveyance.
- Changes to approved erosion control plan must be approved by the erosion control inspector prior to implementation. Contractor to provide installation and details for all proposed alternate type devices.
- If dewatering or pumping of water is necessary, the contractor is responsible for obtaining any necessary permits and/or approvals prior to discharge of any water from the site. If the discharge from the dewatering or pumping process is turbid or contains sediment laden water, it must be treated through the use of sediment traps, vegetative filter strips, or other sediment reducing measures such that the discharge is not visibly different from the receiving water. Additional erosion control measures may be required at the discharge point to prevent scour erosion. The contractor shall provide a dewatering/pumping plan to the Erosion Control Inspector prior to initiating dewatering activities.



SCALE
 1 inch = 10 feet



- ### LEGEND
- 890.52 DENOTES EXISTING SPOT ELEVATION
 - DENOTES EXISTING GRADE CONTOUR
 - 896.65 DENOTES PROPOSED SPOT ELEVATION
 - DENOTES PROPOSED GRADE CONTOUR
 - DENOTES UNDERGROUND GAS LINE
 - W DENOTES WATER MAIN OR SERVICE
 - SS DENOTES SANITARY SEWER OR SERVICE
 - DENOTES DRAINAGE DIRECTION
 - DENOTES CHAIN-LINK FENCE
 - DENOTES WOOD FENCE
 - ⊙ DENOTES STORM SEWER MANHOLE
 - ⊙ DENOTES SANITARY SEWER MANHOLE
 - ⊙ DENOTES WATER MAIN MANHOLE
 - DENOTES CATCH BASIN
 - DENOTES GAS METER
 - DENOTES ELECTRIC METER
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 - DENOTES OVERHEAD UTILITY WIRES
 - ⊙ DENOTES FIRE HYDRANT
 - DENOTES CONCRETE SURFACE
 - DENOTES BLOCK OR STONE RETAINING WALL
 - DENOTES PROPOSED SILT FENCE
 - DENOTES LIGHT POLE
 - ⊗ DENOTES TREES TO BE REMOVED

Site Address:

LOT AREA: 6737 sq. ft. or 0.15 acres
 EXISTING IMPERVIOUS AREA = 2,895 sq. ft.
 EXISTING GRAVEL AREA = 1,138 sq. ft.
 PROPOSED IMPERVIOUS SURFACE: 5055 sq ft
 IMPERVIOUS RATIO: (5055/6737) x 100 = 75%

BASIS OF BEARINGS: ASSUMED.

- NOTES:
- Install gutters with downspouts as indicated on the Development Plan
 - All concrete trucks to washout offsite
 - Snow to be taken offsite

Client CNC CONSTRUCTION, LLC 4540 210TH LANE NE EAST BETHEL, MN 55011 PHONE: 612-789-2155	Design by	Original date 1-14-16	I hereby certify that this plan, specification or report was prepared by me or under my direct supervision, and that I am a duly Registered Surveyor under the laws of the State of Minnesota. Jonathan L. Foraci Date: 1-14-16 Minnesota Reg. No. 16464
	Drawn by JF/KK	Revisions 1-20-16 2-4-16	
LAKE AND LAND SURVEYING, INC. LAND SURVEYING/CIVIL ENGINEERING 1200 CENTRE POINTE CURVE, STE 275 MENDOTA HEIGHTS, MN 55120 PHONE (651) 776-6211 E-MAIL: DEVEN@PARQUEST.NET	Survey book No.	Page title	Sheet number of
	S.A.P. number 2015.166		

UTILITY DESIGN

Sidewalk

- Any currently defective sidewalks or other concrete infrastructure within the public right of way, or any concrete infrastructure damaged during construction, must be removed and replaced.

Traffic and Parking

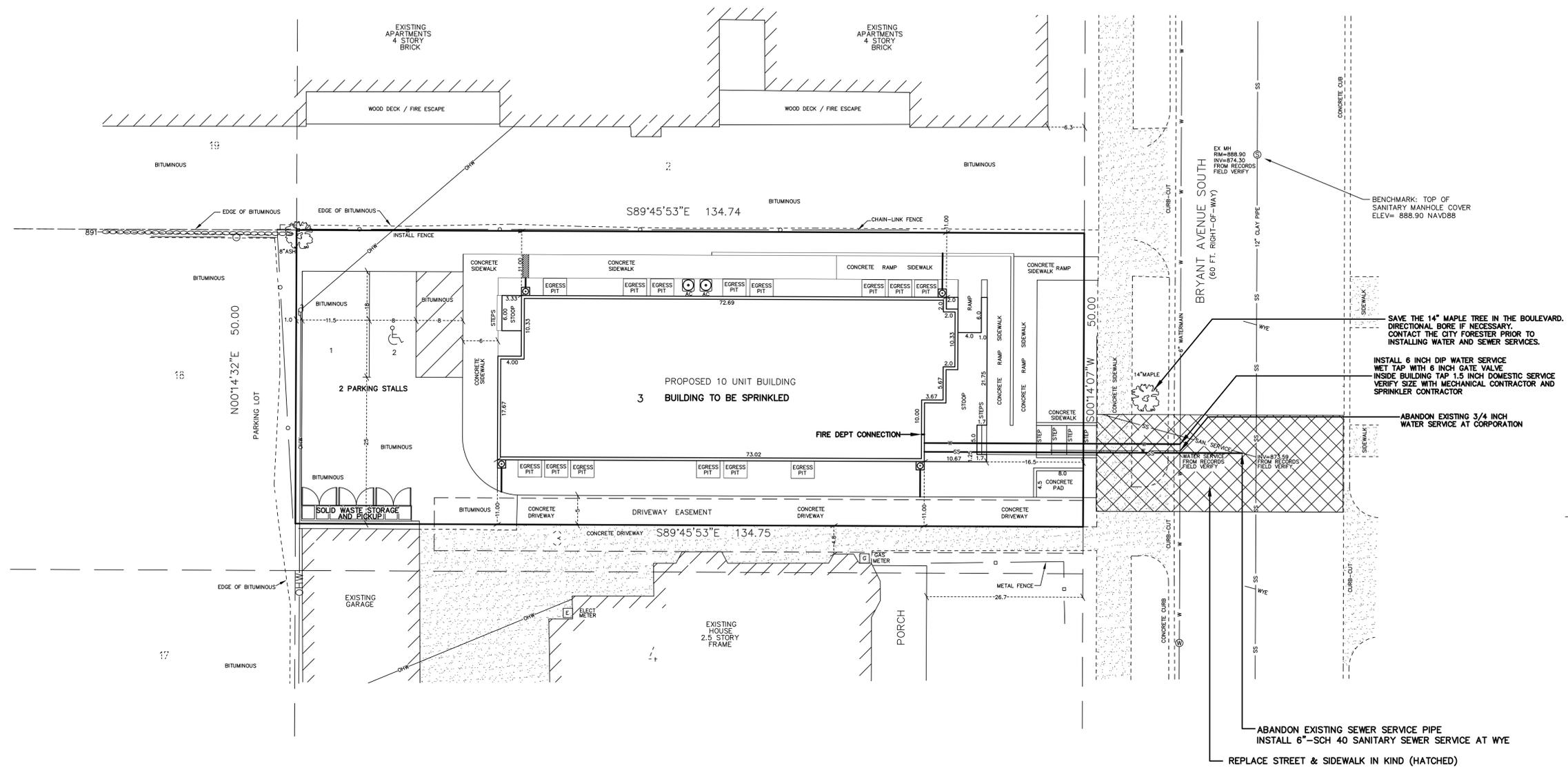
- Street lighting installed as part of the Project shall be inspected by the City. Contractors shall arrange for inspections with the Traffic Department, please contact Dave Prehall at (612) 673- 5759 for further information. Any lighting installations not meeting City specifications will be required to be reinstalled at Owner expense.
- An obstruction permit is required anytime construction work is performed in the Public right-of- way. Please contact Scott Kramer at (612) 673-2383 regarding details of sidewalk and lane closures. Log on to <http://minneapolis.mn.gov/permits/> for a permit.
- Contact Alton Klugman at (612) 673-2743 prior to construction for the temporary removal/temporary relocation of any City of Minneapolis lighting or traffic signal system that may be in the way of construction.
- All costs for relocation and/or repair of City Traffic facilities shall be borne by the Contractor and/or Property Owner.
- Contact Doug Mady at (612) 673-5755 prior to construction for the removal of any City of Minneapolis right of way signs that may be in the way of construction.

Environmental Health

- If impacted soil is encountered during site activities call the MN State Duty officer at (615) 649-5451.
- If dewatering is required during site construction see below for city permit requirements. Subgrade structures should be designed to prevent infiltration of groundwater without the need for a permanent dewatering system being installed. If a continuously operating permanent dewatering system is needed it must be approved as part of the sanitary sewer and storm drain site plan approval prior to construction beginning.
- No construction, demolition or commercial power maintenance equipment shall be operated within the city between the hours of 6:00 p.m. and 7:00 a.m. on weekdays or during any hours on Saturdays, Sundays and state and federal holidays, except under permit. Contact Environmental Services at 612-673-3867 for permit information.
- Permits and approval are required from Environmental Services for the following activities: Temporary storage of impacted soils on site prior to disposal or reuse; Reuse of impacted soils on site; Dewatering and discharge of accumulated storm water or ground water, underground or aboveground tank installation or removal, well construction or sealing. Contact Tom Frame at 612-673-5807 for permit applications and approvals.
- A review of the project, permits issued and an inspection from Environmental Service for identification of equipment and site operations that require annual registration with the City of Minneapolis will occur for this project.

Historical Preservation Committee

- There is no preservation flag on this property, however, the wrecking of any existing structure in Minneapolis does require a historic preservation review as part of the regular wrecking permit process. This permit is required to be obtained by a licensed wrecking contractor.



SCALE
1 inch = 10 feet

- ### LEGEND
- 890.52 DENOTES EXISTING SPOT ELEVATION
 - XXXX DENOTES EXISTING GRADE CONTOUR
 - 896.65 DENOTES PROPOSED SPOT ELEVATION
 - XXX DENOTES PROPOSED GRADE CONTOUR
 - o DENOTES UNDERGROUND GAS LINE
 - w DENOTES WATER MAIN OR SERVICE
 - SS DENOTES SANITARY SEWER OR SERVICE
 - DENOTES DRAINAGE DIRECTION
 - o DENOTES CHAIN-LINK FENCE
 - o DENOTES WOOD FENCE
 - ⊕ DENOTES STORM SEWER MANHOLE
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 - ⊠ DENOTES UTILITY POLE
 - O—O— DENOTES OVERHEAD UTILITY WIRES
 - ⊠ DENOTES FIRE HYDRANT
 - DENOTES CONCRETE SURFACE
 - ▨ DENOTES BLOCK OR STONE RETAINING WALL
 - ⊙ DENOTES LIGHT POLE

SAVE THE 14" MAPLE TREE IN THE BOULEVARD. DIRECTIONAL BORE IF NECESSARY. CONTACT THE CITY FORESTER PRIOR TO INSTALLING WATER AND SEWER SERVICES.

INSTALL 6 INCH DIP WATER SERVICE WET TAP WITH 6 INCH GATE VALVE. INSIDE BUILDING TAP 1.5 INCH DOMESTIC SERVICE. VERIFY SIZE WITH MECHANICAL CONTRACTOR AND SPRINKLER CONTRACTOR.

ABANDON EXISTING 3/4 INCH WATER SERVICE AT CORPORATION

ABANDON EXISTING SEWER SERVICE PIPE. INSTALL 6"-SCH 40 SANITARY SEWER SERVICE AT WYE.

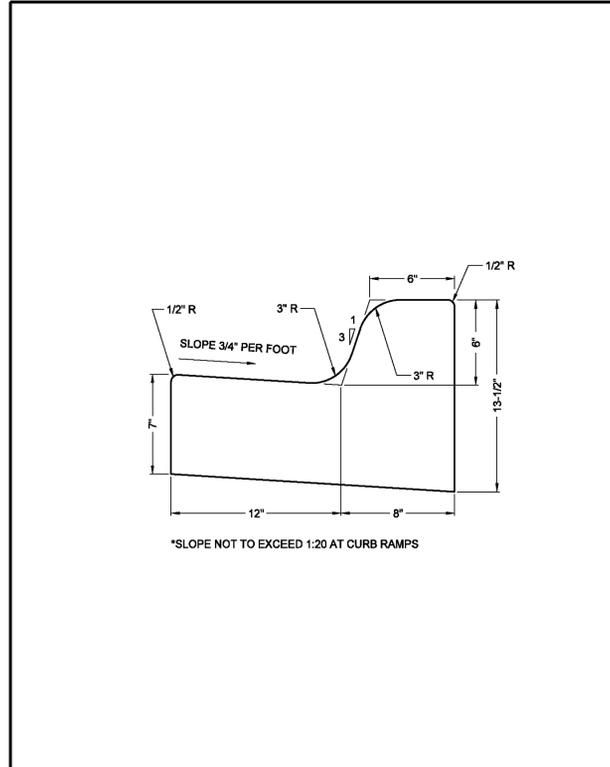
REPLACE STREET & SIDEWALK IN KIND (HATCHED)

There are currently no non-stormwater discharges on this site and nothing is proposed.

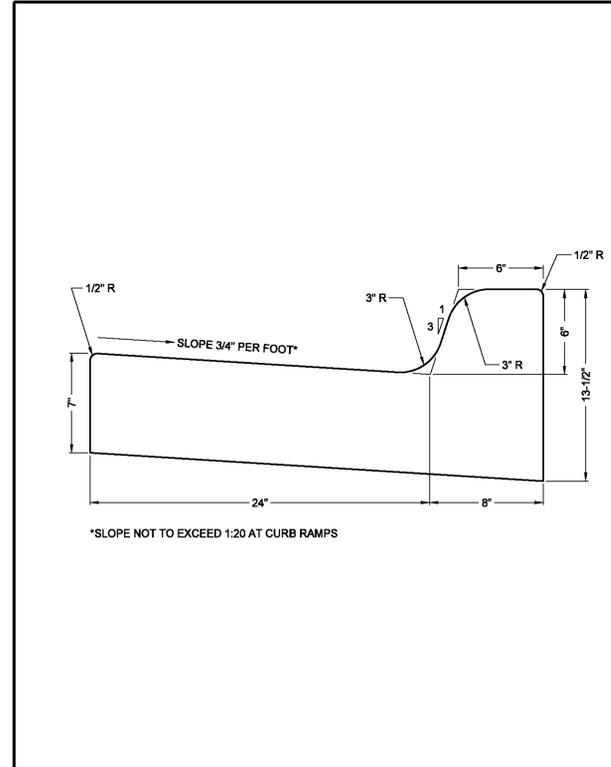
Site Address:
Site Address: 2008 Bryant Avenue South, Minneapolis, Minnesota 55405

Client CNC CONSTRUCTION, LLC 4540 210TH LANE NE EAST BETHEL, MN 55011 PHONE: 612-789-2155	Design by	Original date	I hereby certify that this plan, specification or report was prepared by me or under my direct supervision, and that I am a duly Registered Surveyor under the laws of the State of Minnesota. Jonathan J. Torres Date: 1-14-16 Minnesota Reg. No. 16464
	Drawn by JF/JK	Revisions 1-20-16 2-4-16	
LAKE AND LAND SURVEYING, INC. LAND SURVEYING/CIVIL ENGINEERING 1200 CENTRE POINTE CURVE, STE 275 MENDOTA HEIGHTS, MN 55120 PHONE (651) 776-6211 E-MAIL: DEVENGP@WEST.NET	Survey book No.	Page title	Sheet number of
	S.A.P. number 2015.166		

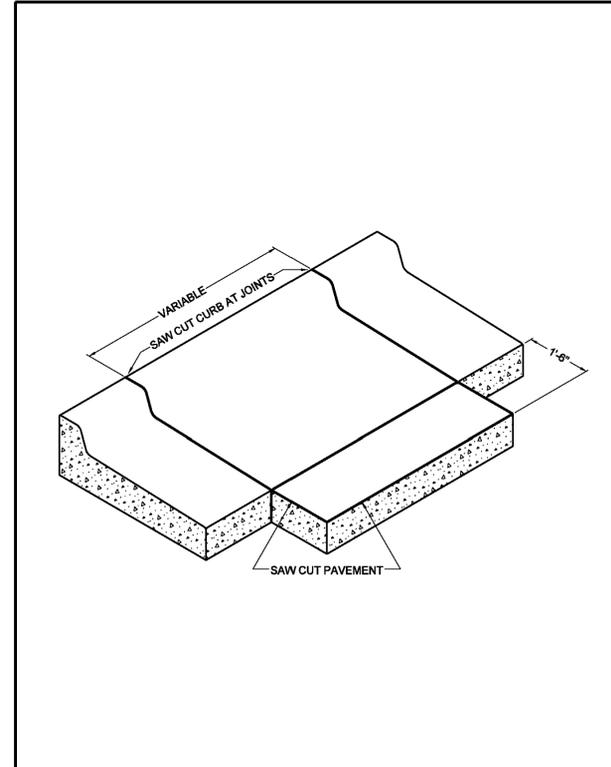
DETAILS



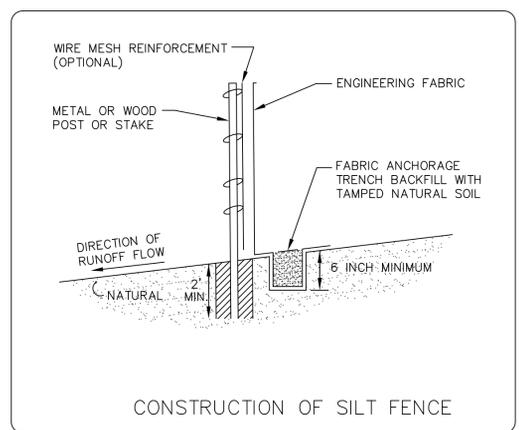
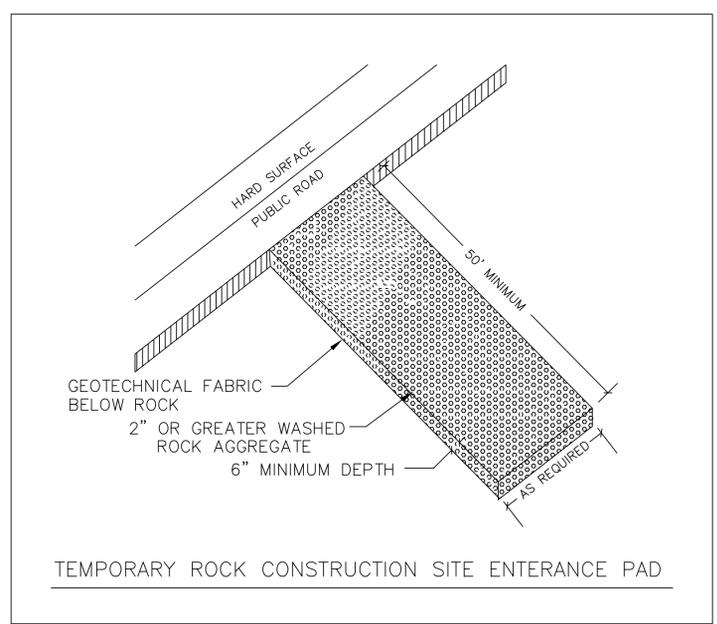
	MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS	B612 CURB AND GUTTER	STANDARD PLATE NO. ROAD-1000
	DRAWN: JFC	DATE: 4/1/08	
	APPROVED: GAS	DATE: 5/19/08	



	MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS	B-624 CURB AND GUTTER	STANDARD PLATE NO. ROAD-1003
	DRAWN: JFC	DATE: 9/10/07	
	APPROVED: GAS	DATE: 5/19/08	



	MINNEAPOLIS DEPARTMENT OF PUBLIC WORKS	SAW CUT AT CURB AND GUTTER REMOVAL	STANDARD PLATE NO. ROAD-1010
	DRAWN: JFC	DATE: 9/10/07	
	APPROVED: GAS	DATE: 5/19/08	



SITE ADDRESS: 2008 Bryant Avenue S, Mpls, MN

Client CNC CONSTRUCTION, LLC 4540 210TH LANE NE EAST BETHEL, MN 55011 PHONE: 612-789-2155	Design by	Original date 1-14-16	I hereby certify that this plan, specification or report was prepared by me or under my direct supervision, and that I am a duly Registered Surveyor under the laws of the State of Minnesota. Jonathan L. Forasi Date: 1-14-16 Minnesota Reg. No. 16464
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LAKE AND LAND SURVEYING, INC. LAND SURVEYING/CIVIL ENGINEERING 1200 CENTRE POINTE CURVE, STE 275 MENDOTA HEIGHTS, MN 55120 PHONE (651) 776-6211 E-MAIL: DEVEN@PAWQUEST.NET	Survey book No.	S.A.P. number 2015.166	Sheet number of



2008 Bryant Avenue S

Minneapolis, Minnesota

March 01, 2016

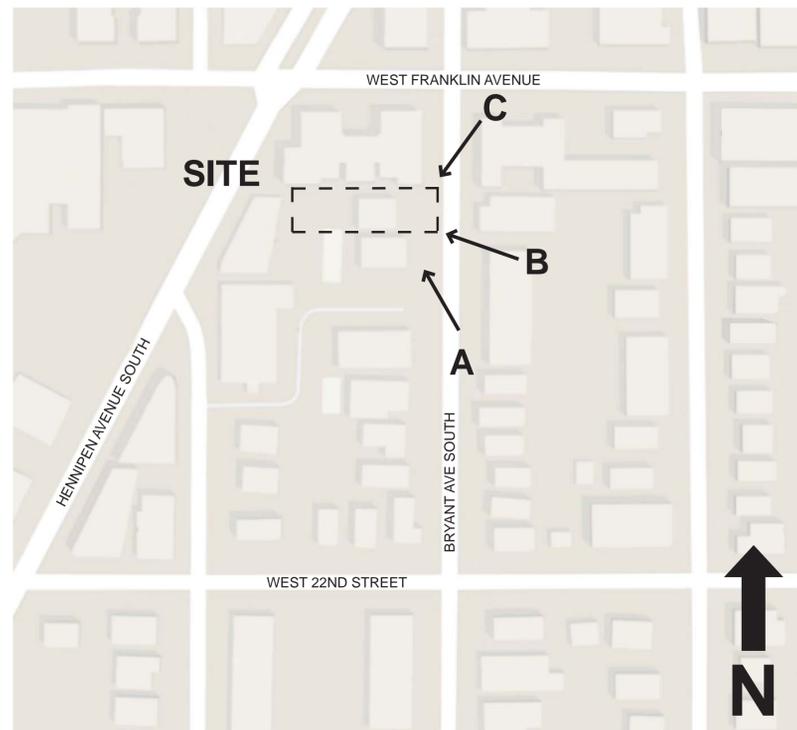
15-055.02



A 2008 BRYANT AVENUE SOUTH



C 2008 BRYANT AVENUE SOUTH



B 2008 BRYANT AVENUE SOUTH

2008 BRYANT AVENUE APARTMENTS

Minneapolis, Minnesota

February 16, 2016

Site Context

115-055.2



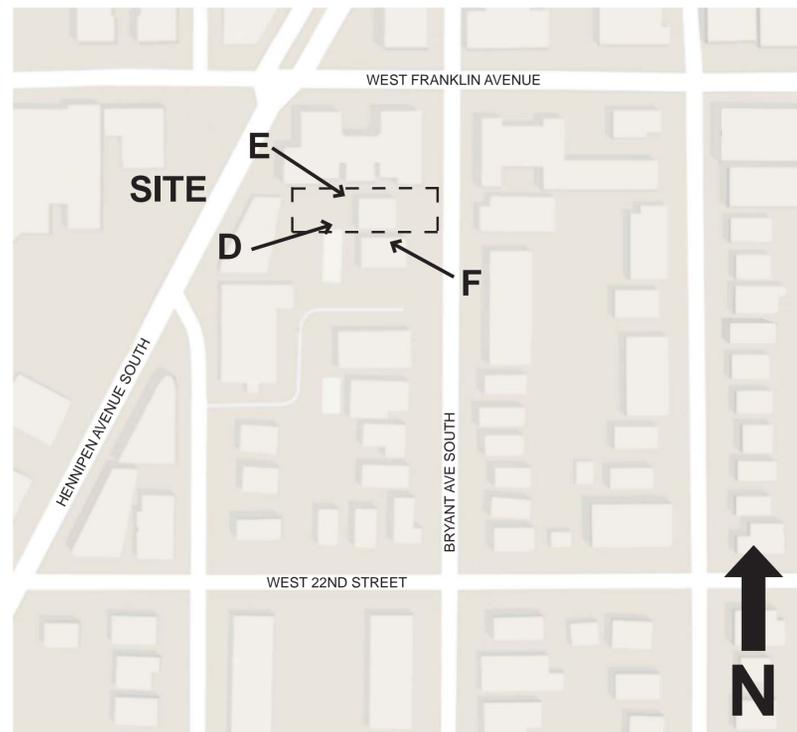
D REAR ELEVATION



E NORTH SIDE ELEVATION



F SOUTH SIDE ELEVATION



2008 BRYANT AVENUE APARTMENTS

Minneapolis, Minnesota

February 16, 2016

Site Context Side and Rear Yard Photos

115-055.2



Franklin Ave W

20

W Franklin Ave

5

W Franklin Ave

5

Hennepin

S Bryant Ave

n Ave

S Dupont Ave

Hennepin Ave

20

S Colfax Ave

S Bryant Ave

S Aldrich Ave

W 22nd St

W 22nd St

W 22nd St

20

Smith, Mei-Ling C.

From: Paul Ryan <pcjryan@gmail.com>
Sent: Monday, March 14, 2016 3:23 PM
To: Smith, Mei-Ling C.
Subject: RE: 2008 Bryant Ave S

Hello Ms Smith,

I am aware that the demolition is not part of the City Planning Commission's review. My perspective is, it should be. Any structure being demolished should be done so with great caution especially a structure built in a pre-World War Two historic period with classic architectural detailing, which this existing structure has. If the City's Planning Commission, which ostensibly plans what the City should look like, takes no interest or initiative into demolitions and what buildings and streetscapes look like and how demolitions will impact the existing fabric of a neighborhood, then why have such a commission?

Sincerely,

Paul Ryan

On Mar 14, 2016 2:55 PM, "Smith, Mei-Ling C." <Mei-Ling.Smith@minneapolismn.gov> wrote:

Hi Mr. Ryan,

Thank you for your comments, they will be entered into the public record.

The demolition of the existing structure is not part of the scope of the City Planning Commission's review, as the property has not been deemed a historic resource or potential historic resource. If it were, it would require review by the Heritage Preservation Commission based on the Secretary of the Interior's standards.

If you have any questions, please let me know.

Thank you,

Mei-Ling

Mei-Ling Smith, AICP

City Planner – Land Use, Design, and Preservation

City of Minneapolis – Community Planning and Economic Development

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[612.673.5342](tel:612.673.5342) | mei-ling.smith@minneapolismn.gov

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From: Paul Ryan [mailto:pcjryan@gmail.com]

Sent: Monday, March 14, 2016 2:53 PM

To: Smith, Mei-Ling C.

Subject: 2008 Bryant Ave S

Dear Ms. Smith,

I am writing in opposition to the project and the demolition of the structure currently occupying 2008 Bryant Ave S. It is a tremendous waste of resources to tear down a structure that is structurally sound just so a developer and the City can make additional income from the demolition of such a structure. The City of Minneapolis prides itself on being "Green." It is NOT "Green" behavior to send tons of old building to the landfill and use new resources to rebuild on that same spot. I wish to preserve the historical facade of the streetscapes in the Wedge neighborhood as well as preserve the affordability of living within this neighborhood. The affordable spaces in the Wedge neighborhood are those that have existed since at least the 1970's. The new developments are economically out of reach for most of my neighbors in this neighborhood. This will be yet another development that drives affordable housing out of the Wedge.

Sincerely,

Paul Ryan
1934 Aldrich Ave So