

LAND USE APPLICATION SUMMARY

Property Location: 619 3rd Street South
Project Name: Downtown East Phase II – Radisson Red
Prepared By: Hilary Dvorak, Principal Planner, (612) 673-2639
Applicant: Carlson Rezidor Hotel Group
Project Contact: Carl Runck with Ryan Companies US, Inc.
Request: To allow signage on Phase II of the Downtown East Planned Unit Development.
Required Applications:

Conditional Use Permit for a Planned Unit Development	For a modification to Phase II of a Planned Unit Development to allow two signs to exceed the maximum allowed height on the building.
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SITE DATA

Existing Zoning	B4N Downtown Neighborhood District DP Downtown Parking Overlay District
Lot Area	42,574 square feet / 1.00 acre
Ward(s)	3
Neighborhood(s)	Downtown East
Designated Future Land Use	Mixed Use
Land Use Features	Growth Center (Downtown)
Small Area Plan(s)	<u><i>Historic Mills District Plan</i></u> (1998) <u><i>Downtown East/North Loop Master Plan</i></u> (2003)

Date Application Deemed Complete	March 4, 2016	Date Extension Letter Sent	Not applicable
End of 60-Day Decision Period	May 3, 2016	End of 120-Day Decision Period	Not applicable

BACKGROUND

SITE DESCRIPTION AND PRESENT USE. The property is located in downtown Minneapolis. The site is located on the northern half of the block bounded by 3rd Street South, Portland Avenue South, 4th Street South and Park Avenue. The site is currently being used for construction staging.

SURROUNDING PROPERTIES AND NEIGHBORHOOD. The site is surrounded by office and commercial buildings, residential developments of varying densities, the US Bank Stadium and structured and surface parking lots. The site is located in the Downtown East neighborhood

PROJECT DESCRIPTION. The applicant is in the process of constructing a Radisson Red Hotel. The hotel will be five-stories tall and will have 164 rooms. There will be a bar/restaurant and fitness space on the ground floor of the building that is affiliated with the hotel. There will also be approximately 7,200 square feet of additional commercial space not associated with the hotel on the ground-floor. In addition, there will be a 13-space surface parking lot located towards the south side of the building. In addition, the hotel will have access to 19 parking spaces located in the adjacent mixed-use building. A tunnel will be constructed between the two buildings.

At this time the applicant is seeking approvals for the sign package that includes both wall signs and freestanding auxiliary signs. All of the signs meet the dimensional requirements of the zoning code except two of the wall signs. The wall signs located on the east and west sides of the building are located more than 28 feet above grade. Both of these signs are located 60 feet above grade. The applicant is seeking an exception to the sign regulations through the planned unit development. The applicant is proposing five points worth of amenity points for this exception to the zoning code.

RELATED APPROVALS. Ryan Companies is redeveloping five blocks on the east side of Downtown. Three of the blocks are bounded by South 3rd Street, 5th Avenue South, South 4th Street, and Chicago Avenue and the two additional blocks are bounded by South 4th Street, 5th Avenue South, South 5th Street, and Park Avenue.

PHASE I. The development is being reviewed as a multi-phased Planned Unit Development (PUD). The first phase of the development is currently under construction. The first phase includes two mixed-use buildings including ground level and skyway level commercial space, residential units, enclosed loading and parking areas and office space. The two buildings will be mirror images of one another and are being built between South 3rd Street, 5th Avenue South, South 4th Street and Park Avenue. This phase also includes an above ground parking garage located on the block between South 3rd Street, Park Avenue, South 4th Street and Chicago Avenue. There will be over 1,500 parking spaces in this garage. Skyways will connect the three new buildings to the existing Jerry Haaf parking garage, which connects to the extensive downtown skyway network, and the new Minnesota Multi-Purpose Stadium. The first phase also includes a residential development on the western one-third of the block bounded by South 4th Street, 5th Avenue South, South 5th Street and Portland Avenue. This phase of the development was approved in November of 2013.

PHASE II. The second phase of the PUD includes the construction of a Radisson Red Hotel on the northern portion of the block bounded by South 3rd Street, Portland Avenue, South 4th Street and Park Avenue. This phase of the development is also currently under construction. The hotel will be five-stories tall and will have 164 rooms. There will be a bar/restaurant and fitness space on the ground floor of the building that is affiliated with the hotel. There will be additional commercial space not associated with the hotel on the ground-floor. The applicant is proposing to have 13 parking spaces provided towards the south side of the building and would connect to the adjacent underground parking garage

via a tunnel for access to an additional 19 parking spaces. This phase of the development was approved in July of 2015.

PHASE III. The third phase of the PUD involves the construction of a park on the eastern two-thirds of the block bounded by South 3rd Street, Portland Avenue, South 4th Street and Park Avenue and the block bounded by South 4th Street, Portland Avenue, 5th Avenue South, and Park Avenue. This is the park commonly referred to as The Downtown East Commons. This phase of the development was approved in October of 2015 and is also currently under construction.

PHASE IV. The fourth phase of the PUD is proposed to be a four-story office building with approximately 170,000 square feet of floor area. There will be one level of underground parking containing 60 spaces. Access to the underground parking garage will be from a shared ramp on 5th Avenue South that is also utilized by the residential units that are being constructed as part of the first phase of the PUD. There will be two loading spaces located within the building. The loading spaces will be located in the middle of the proposed building and will be accessed from the loading area within the office tower that is being constructed as part of the first phase of the PUD. In addition, a tunnel will connect the proposed building to the office tower that is being constructed as part of the first phase of the PUD. This will allow the uses or the proposed office building to gain access to the city's skyway system. This phase of the development is being reviewed by the City Planning Commission on the same day as the proposed variance application is being heard.

PUBLIC COMMENTS. No comment letters have been received in regards to this application. Any correspondence received prior to the public meeting will be forwarded on to the Planning Commission for consideration.

ANALYSIS

CONDITIONAL USE PERMIT - PLANNED UNIT DEVELOPMENT

The Department of Community Planning and Economic Development has analyzed the application for a modification to Phase II of a Planned Unit Development to allow two signs to exceed the maximum allowed height on the building based on the following findings:

1. *The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, comfort or general welfare.*

A modification to Phase II of a Planned Unit Development to allow two signs to exceed the maximum allowed height on the building will not be detrimental to or endanger the public health, safety, comfort or general welfare. The proposed signs will help identify the building and assist with wayfinding.

2. *The conditional use will not be injurious to the use and enjoyment of other property in the vicinity and will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.*

A modification to Phase II of a Planned Unit Development to allow two signs to exceed the maximum allowed height on the building will not be injurious to the use and enjoyment of other property in the vicinity or impede the normal or orderly development and improvement of surrounding property. Surrounding uses include office and commercial buildings, residential developments of varying densities, the US Bank Stadium and structured and surface parking lots. The proposed signs will complement the building.

3. *Adequate utilities, access roads, drainage, necessary facilities or other measures, have been or will be provided.*

Increasing the height of two wall signs will have no impact on utilities, access roads or drainage.

4. *Adequate measures have been or will be taken to minimize traffic congestion in the public streets.*

Increasing the height of two wall signs will have no impact on traffic congestion in the public streets.

5. *The conditional use is consistent with the applicable policies of the comprehensive plan.*

The proposed development would be consistent with the following general land use policies of *The Minneapolis Plan for Sustainable Growth*:

Establish land use regulations to achieve the highest possible development standards, enhance the environment, protect public health, support a vital mix of land uses, and promote flexible approaches to carry out the comprehensive plan.

- I.1.3 Encourage the use of flexible regulatory options that promote high quality development, such as the Planned Unit Development (PUD) tool.

6. *The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.*

If the requested land use applications are approved, the proposal will comply with all provisions of the B4N Downtown Neighborhood District and the DP Downtown Parking Overlay District.

Findings Required for Planned Unit Developments:

- A. The planned unit development conforms to the applicable standards for alternatives and amenities. All planned unit developments shall provide at least one amenity or a combination of amenities that total at least 10 points, beyond those required for any alternatives. For each alternative requested, amenities shall total at least five points.

Alternatives requested:

On-premise signs.

Signs are subject to the requirements of Chapter 543, On-Premise Signs. In the B4N zoning district there can be two-and-a-half square feet of signage for every one linear foot of primary building wall. Wall signs are limited to 120 square feet in size. Projecting signs are limited to 48 square feet in size. The height limitation for both wall signs and projecting signs is 28 feet. Freestanding monument signs are limited to 32 square feet in size and can be no taller than 8 feet. However, a freestanding monument sign shall not be allowed if the amount of signage exceeds two-and-a-half square feet of signage for every one foot of primary building wall. The zoning code limits the number of freestanding signs on a zoning lot to one.

The applicant is proposing to have four wall signs on the building and several freestanding auxiliary signs in the parking area. All of the signs meet the dimensional requirements of the zoning code except two of the wall signs. The wall signs located on the east and west sides of the building are located more than 28 feet above grade. Both of these signs are located 60 feet above grade. The applicant is proposing five points worth of amenities to allow for this exception to the zoning code.

The city planning commission may authorize alternatives to the sign standards for the purpose of promoting an integrated master sign plan provided the required amenities are provided and a master sign plan meets the following criteria:

1. *The sign plan may not allow a sign that is otherwise prohibited by the zoning ordinance.*

The two wall signs that need an exception to the zoning code regulations are allowed by ordinance. The proposed overall height of the two signs exceeds the 28-foot limitation.

2. *The alternative will not significantly increase or lead to sign clutter in the area or result in a sign that is inconsistent with the purpose of the zoning district in which the property is located.*

The wall signs on the east and west walls are the only wall signs on these elevations. Given this, they will not lead to sign clutter. Regulations governing on-premises signs are established to allow effective signage appropriate to the planned character of each zoning district, to promote an attractive environment by minimizing visual clutter and confusion, to minimize adverse effects on nearby property, and to protect the public health, safety and welfare. The height of the two wall signs is appropriate for this area. The mixed-use building to the south of the proposed hotel will be 23 stories tall and the parking garage to the east will be seven stories tall. The mixed-use building has two wall signs located 200 feet above grade.

3. *The alternative will allow a sign that relates in size, shape, materials, color, illumination and character to the function and architectural character of the building or property on which the sign will be located.*

The proposed signs relate in size, shape, materials, color, illumination and character to the proposed building. The two walls signs are identical to one another. The walls signs are approximately 115 square feet in size and will be located approximately one foot from the top of the building. The proposed signs will occupy approximately three percent of the building wall to which they are attached. The signs will be attached to the building vertically to align with the window layout on the ends of the building. The signs will be made out of polycarbonate and will be internally illuminated.

Points required for alternatives:

- On-premise signs – **5 points.**

Total = 5 points.

Phasing plan. [List the phases, compliance dates, and the exceptions and amenities in each phase, or indicate that the development modifies an existing PUD.]

Phase	Approval Date	Alternative	Amenity
Phase I	November 12, 2013	<ul style="list-style-type: none"> • Establishment of the PUD • Building height • On-premise signs 	<ul style="list-style-type: none"> • LEED • Plaza • Energy Efficiency • Living wall system • Shared vehicle • Enhanced landscaping • Enhanced stormwater management • Recycling storage area
Phase II	July 20, 2015	<ul style="list-style-type: none"> • Not applicable 	<ul style="list-style-type: none"> • Not applicable
Phase II, amendment	April 11, 2016	<ul style="list-style-type: none"> • On-premise signs 	<ul style="list-style-type: none"> • Pedestrian improvements • Enhanced stormwater management • Recycling storage area

Amenities provided:

The applicant is proposing the following amenities from Table 527-I, Amenities:

Pedestrian improvements (3 points)

A site and building design that allows for exceptional and accessible pedestrian and/or bicycle access through and/or around a site that exceeds the requirements of Chapter 530, Site Plan Review. The improvements shall use a combination of landscaping, decorative materials, access control and lighting to create a safe, clear and aesthetically pleasing access through and/or around the site that complies with the Americans with Disabilities Act accessibility requirements.

The applicant will be installing rain gardens along 3rd Street South and boulevard trees on Park Avenue and Portland Avenue South. The remaining sidewalk width will range between six and seven feet which exceeds ADA requirements. Building entrances will be highlighted with decorative pavement and seasonal planters. The outdoor patio areas on the east and west sides of the building will also have decorative pavement. Landscaping both planted in the ground and in planters will define the edges of the patios. The applicant will also be installing concrete benches along 3rd Street South and wood benches along Portland Avenue South. In addition, the applicant will implement the streetscape design as called for in the East Downtown Pedestrian Realm Augmentation Study. The overall goals of the plan are to reduce roadway width, increase sidewalk widths and add dedicated bike lanes where feasible.

Enhanced stormwater management (1 point)

Provide capacity for infiltrating stormwater generated onsite with artful rain garden design that serves as a visible amenity. Rain garden designs shall be visually compatible with the form and function of the space and shall include for long-term maintenance of the design. The design shall conform to requirements of the stormwater management plan approved by public works.

The applicant has designed a series of rain gardens in the public boulevard along South 3rd Street. All of the rain gardens will be six feet wide and 30 feet in length. The rain gardens will be planted with a variety of perennials and canopy trees. The City of Minneapolis will review and approve the applicant’s stormwater management plan.

Recycling storage area (1 point)

Provide an easily accessible area that serves the entire building and is dedicated to the collection and storage of non-hazardous materials for recycling, including but not limited to paper, corrugated cardboard, glass, plastics and metals. The recycling storage area shall be located entirely below grade or entirely enclosed within the building.

There will be a dedicated recycling storage area on the first floor of the building.

Table I. Amenity Points Summary

Amenity	Points Requested by Applicant	Points Recommended by Staff
Pedestrian improvements	3 points	3 points
Enhanced stormwater management	1 point	1 point
Recycling storage area	1 point	1 point
Total	5 points	5 points

C. The planned unit development conforms to the required findings for a planned unit development:

I. That the planned unit development complies with all of the requirements and the intent and purpose of this chapter. In making such determination, the following shall be given primary consideration:

- a) *The character of the uses in the proposed planned unit development, including in the case of residential uses, the variety of housing types and their relationship to other site elements and to surrounding development.*

The height of the two wall signs is appropriate for this area. The mixed-use building to the south of the proposed hotel will be 23 stories tall and the parking garage to the east will be seven stories tall. The mixed-use building has two wall signs located 200 feet above grade.

- b) *The traffic generation characteristics of the proposed planned unit development in relation to street capacity, provision of vehicle access, parking and loading areas, pedestrian access, bicycle facilities and availability of transit alternatives.*

Increasing the height of two wall signs will have no impact on traffic generation characteristics.

- c) *The site amenities of the proposed planned unit development, including the location and functions of open space, the preservation or restoration of the natural environment or historic features, sustainability and urban design.*

The site amenities include pedestrian improvements, enhanced stormwater management and a recycling storage area.

- d) *The appearance and compatibility of individual buildings and parking areas in the proposed planned unit development to other site elements and to surrounding development, including but not limited to building scale and massing, microclimate effects of the development, and protection of views and corridors.*

As mentioned above, the height of the two wall signs is appropriate for this area. The mixed-use building to the south of the proposed hotel will be 23 stories tall and the parking garage to the east will be seven stories tall. The mixed-use building has two wall signs located 200 feet above grade.

- e) *An appropriate transition area shall be provided between the planned unit development and adjacent residential uses or residential zoning that considers landscaping, screening, access to light and air, building massing, and applicable policies of the comprehensive plan and adopted small area plans.*

There are no residential uses or residentially zoned properties adjacent to the site. People Serving People, an existing shelter, and the American Trio Building, an existing mixed-use residential and commercial building, are located across South 4th Street from the development. The public street functions as a transition area. The wall signs on the east and west sides of the building will face a parking garage and an office building.

- f) *The relation of the proposed planned unit development to existing and proposed public facilities, including but not limited to provision for stormwater runoff and storage, and temporary and permanent erosion control.*

Increasing the height of two wall signs will have no impact on stormwater runoff and storage and temporary and permanent erosion control.

- g) *The consideration, where possible, of sustainable building practices during the construction phases and the use of deconstruction services and recycling of materials for the demolition phase.*

LED light bulbs will be utilized to illuminate the signs.

2. *That the planned unit development complies with all of the applicable requirements contained in Chapter 598, Land Subdivision Regulations.*

A Registered Land Survey (RLS) was approved as part of the development applications in July of 2015.

RECOMMENDATIONS

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt staff findings for the application by Carlson Rezidor Hotel Group for the property located at 619 3rd Street South:

A. Conditional Use Permit for a Planned Unit Development.

Recommended motion: **Approve** the application for a modification to Phase II of a Planned Unit Development to allow two signs to exceed the maximum allowed height on the building, subject to the following conditions:

1. The conditional use permit shall be recorded with Hennepin County as required by Minn. Stat. 462.3595, subd. 4 before building permits may be issued or before the use or activity requiring a conditional use permit may commence. Unless extended by the zoning administrator, the conditional use permit shall expire if it is not recorded within two years of approval.
2. As required by section 527.120 of the zoning code, the development shall comply with the standards for pedestrian improvements, enhanced stormwater management and a recycling storage area from Table 527-1, Amenities totaling a minimum of 5 points.

ATTACHMENTS

1. Project description
2. Written responses to the findings
3. Zoning map
4. Site plan
5. Elevations
6. Sign plans
7. Photos
8. Correspondence

Project Description

The new Radisson RED hotel on 3rd Street between Portland and Park Avenues is a five-story, 164-key development adjacent to the twin office buildings being constructed for Wells Fargo in downtown Minneapolis. The new Minnesota multi-purpose stadium is within a very short walking distance of the hotel.

Radisson RED is a brand centered on the belief that hotels can enhance the guest experience through design, art, music and fashion. This new-build hotel marks the company's U.S. entrance into the Lifestyle Select lodging segment

The contemporary design of the five-story building is clad with matte metal panels. The design features an inverted U-shaped frame that envelopes the main front facing exterior elevation. We are exploring materials for the frame which best facilitate the design intent. This may include a reflective material. The building's façade color and shape are meant to blend into the background of the city, while the oversized clear windows throughout the hotel will accent the activity and energy within the hotel. Guests will further benefit from natural light within the hotel's guest rooms.

The ground floor façade will use warehouse inspired glazing on the bar and restaurant side and full-height glazed panels on the lease portion of the building. Guests will be welcomed into the hotel through a red tinted glass entrance accented with backlighting that will lead to the lobby... The space seamlessly creates energy and flow among the common areas -- from the lobby into the Oui Bar and Restaurant, to the meetings and event space, to the gym. There are three outdoor patio spaces on the first floor that open up from the hotel as well as the adjacent third party leased space.



TO Hilary Dvorak
DATE 2/12/2016
FROM Ryan Companies US, Inc.
SUBJECT CUP Required Findings
CC Carl Runck
Dan Elenbaas

Conditional Use Permit Required Findings:

1. *The establishment, maintenance, or operation of the conditional use will not be detrimental to or endanger the public health, safety, comfort or general welfare.*

The addition of these signs to the building will have no negative effects on the public health, safety, comfort or general welfare. By improving wayfinding to the hotel, drivers who are unfamiliar with the area will be able to find the hotel easier and spend less time roaming the streets focused on their GPS instead of their driving.

2. *The conditional use will not be injurious to the use and enjoyment of other property in the vicinity and will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.*

The state-of-the-art appearance and additional signage which compliments the building's overall aesthetics will only help improve the appeal of the surrounding area and properties. The signs will help attract potential patrons and improve awareness of the new brand. As more people stay at the hotel, the surrounding businesses will benefit.

3. *Adequate utilities, access roads, drainage, necessary facilities or other measures, have been or will be provided.*

Proper electrical connections to light the signs will be provided for. Other than that, the signs have no effect on utilities, access roads, drainage or other facilities.

4. *Adequate measures have been taken to minimize traffic congestion in the public streets.*

The addition of these signs will have no effect on traffic conditions.

5. *The conditional use is consistent with the applicable policies of the comprehensive plan.*

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50 South Tenth Street, Suite 300
Minneapolis, MN 55403-2012



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612-492-3000 *fax*

The comprehensive plan states that signage for urban development should “promote an attractive environment by minimizing visual clutter and confusion caused by a proliferation of signage.” We are only proposing the installation of 1 sign on each end of the building (2 total).

- 6. The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.*

We are requesting the CUP to allow a sign that is located over 28 feet above grade, the typical maximum height for signs in a Downtown District. We are also requesting the CUP to allow our sign to be over 14 feet tall. The signs we are proposing are bookmark signs that run up the building, so although they are 23 feet tall, they are only 5 feet wide. We are complying with all other signage requirements for wall signs in a typical Downtown District. These include being a maximum of 120 square feet in area and only allowing 1 wall sign per building face. The RED signs on the entrance glass box are under the allowable area for the longest frontage. The window signs along the restaurant are over 7’ from the ground.

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TO Hilary Dvorak
DATE 3/4/2016
FROM Ryan Companies US, Inc.
SUBJECT PUD Required Findings
CC Carl Runck
Dan Elenbaas

Planned Unit Development Required Findings – Signage:

- 1. The character of the uses in the proposed planned unit development, including in the case of residential uses, the variety of housing types and their relationship to other site elements and to surrounding development.*

The size, location and appearance of these signs all fit within the character of the Radisson Red building that was approved through this PUD process previously. The red colors of the signs match the red box entryway and the Radisson Red brand. These signs will not seem oversized as their scale is similar to the signage on the new Wells Fargo towers and US Bank Stadium.

The square footage of the proposed sign fits within the requirements of the City of Minneapolis for wall signs (no more than 3 square feet of sign area for each one foot of building wall). The sign is oriented vertically because the window locations don't allow the sign to be hung horizontally and we believe the bookmark sign gives the desired look the rest of the building already projects. The sign font height is only 5'-6", so if hung horizontally it would be well within code (under 14 feet). As for going over the height requirement of 28 feet, we believe the sign looks best located near the top of the building. The sign is 22'-5" long/tall, so to stay under the code sign height would put the sign well into the storefront below.

- 2. The traffic generation characteristics of the proposed planned unit development in relation to street capacity, provision of vehicle access, parking and loading areas, pedestrian access, bicycle facilities and availability of transit alternatives.*

The addition of these signs will have no effect on most of the traffic elements listed above. If nothing else, providing these signs will improve wayfinding and reduce traffic congestion caused by lost visitors trying to find the hotel.



- 3. The site amenities of the proposed planned unit development, including the location and functions of open space, the preservation or restoration of the natural environment or historic features, sustainability and urban design.*

The signs can be viewed as additional amenities because they will improve the aesthetics of the building by breaking up the black background materials of the walls. The internally lit building mounted signs and garage entry blade sign will be lit using environmentally friendly LED light bulbs. The parking signs that state that the parking is for hotel guests only will also make sure that the parking amenities are not abused and enjoyed only by hotel patrons.

- 4. The appearance and compatibility of individual buildings and parking areas in the proposed planned unit development to other site elements and to surrounding development, including but not limited to building scale and massing, microclimate effects of the development, and protection of views and corridors.*

As stated above, the signs will improve the appearance of the building and fit in well with the other large signage that can be found within a few city blocks. The vertical Radisson Red signs are both wall mounted so they will not block any views.

- 5. An appropriate transition area shall be provided between the planned unit development and adjacent residential uses or residential zoning that considers landscaping, screening, access to light and air, building massing, and applicable policies of the comprehensive plan and adopted small area plans.*

The signage will have no effect on the landscaping that is already being provided as a condition of the initial PUD approval.

- 6. The relation of the proposed planned unit development to existing and proposed public facilities, including but not limited to provision for stormwater runoff and storage, and temporary and permanent erosion control.*

The only public facilities this phase of the PUD is adjacent to is public Right-of-Way. None of the signs we are proposing project into the ROW.

- 7. The consideration, where possible, of sustainable building practices during the construction phases and the use of deconstruction services and recycling of materials for the demolition phase.*

No building demolition is necessary for the addition of these signs to the Radisson Red project. During construction, waste providers are selected that have off site recycling centers, so all waste created from the installation of these signs will be recycled appropriately.

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TO Hilary Dvorak
DATE 6/24/2015
FROM Ryan Companies US, Inc.
SUBJECT CUP Required Findings
CC Carl Runck
Dan Elenbaas

Sign Adjustments Findings:

- 1. The sign adjustment will not significantly increase or lead to sign clutter in the area or result in a sign that is inconsistent with the purpose of the zoning district in which the property is located.*

The context of this project is unique in that it is out of scale with the rest of the city due to the construction of the planned new stadium. This juxtaposition of building scale and signage opportunity suggest that the addition of enhanced signage near the top of the building will be at home with the surrounding context. This project also assumes that an existing billboard (which Minneapolis has a moratorium against) will be removed. This is effectively trading a higher square footage of advertising space that is not governed in a way that allows control over content or color with new fixed signage that is designed to fit appropriately within the context of the new development.

- 2. The sign adjustment will allow a sign that relates in size, shape, materials, color, illumination and character to the architectural character of the building or property on which the sign will be located.*

The proposed signage will be consistent with the overall branding of the project and ground level signage, and conform with the base-line conditional use permit signage expectations set forth in the Minneapolis zoning code. The building massing acknowledges the signage dimension and provides an appropriately sized vertical mounting surface for the signage, consistent with the architectural character of the project.

Planned Unit Development Application Proposed Authorized Alternative Amenities

Below is a breakdown of the alternative amenities we are proposing to offset the signage proposed above the allowable height.

- (3 Points) Pedestrian Improvements — The site area surrounding the Radisson Red building will provide exceptional access for all users. The rain gardens along 3rd street are placed within 6" of back of curb to provide 6 -7' of clear zone, well above the ADA requirement of 5'. Entrances will be highlighted with colorful plantings and decorative paving. Outdoor patios on the east and west sides of the building will also have decorative paving with an array of eye catching planters. The south side of the building will have foundation plantings and trees with up lighting to provide an inviting and safe environment. Main access points will have automated sliding doors or an access control button. Six easily accessible bike racks will be provided to encourage non-vehicle transportation.
- (1 Point) Enhanced Stormwater Management — Along 3rd street rain water that lands on the sidewalk will be directed into two large rain gardens. This will reduce the load on the city storm sewer system.
- (1 Point) Recycling Storage area — There is a dedicated area within the building for collecting and storage of non-hazardous materials for recycling.

Total = 5 Points

NAME OF APPLICANT

WARD



PROPERTY ADDRESS
619 South 3rd Street

FILE NUMBER
BZZ-7592

500 Washington Avenue South
Minneapolis, MN 55402
P: 612.338.1100
F: 612.338.1101
www.radissonhotels.com

Project: 2016-001
Drawing: 2016-001-01
Date: 02/12/16

Prepared by: Ryan Architects
Checked by: Ryan Architects
Approved by: Ryan Architects

Scale: As Shown
Title: Exterior Signage Package
Project: 2016-001

**EXTERIOR SIGNAGE
PACKAGE
FEBRUARY 12,
2016**

ORIGINAL ISSUE: 02/12/16

REV	DESCRIPTION	DATE
1	ISSUE FOR PERMIT	02/11/16
2	ISSUE FOR PERMIT	02/11/16
3	ISSUE FOR PERMIT	02/11/16

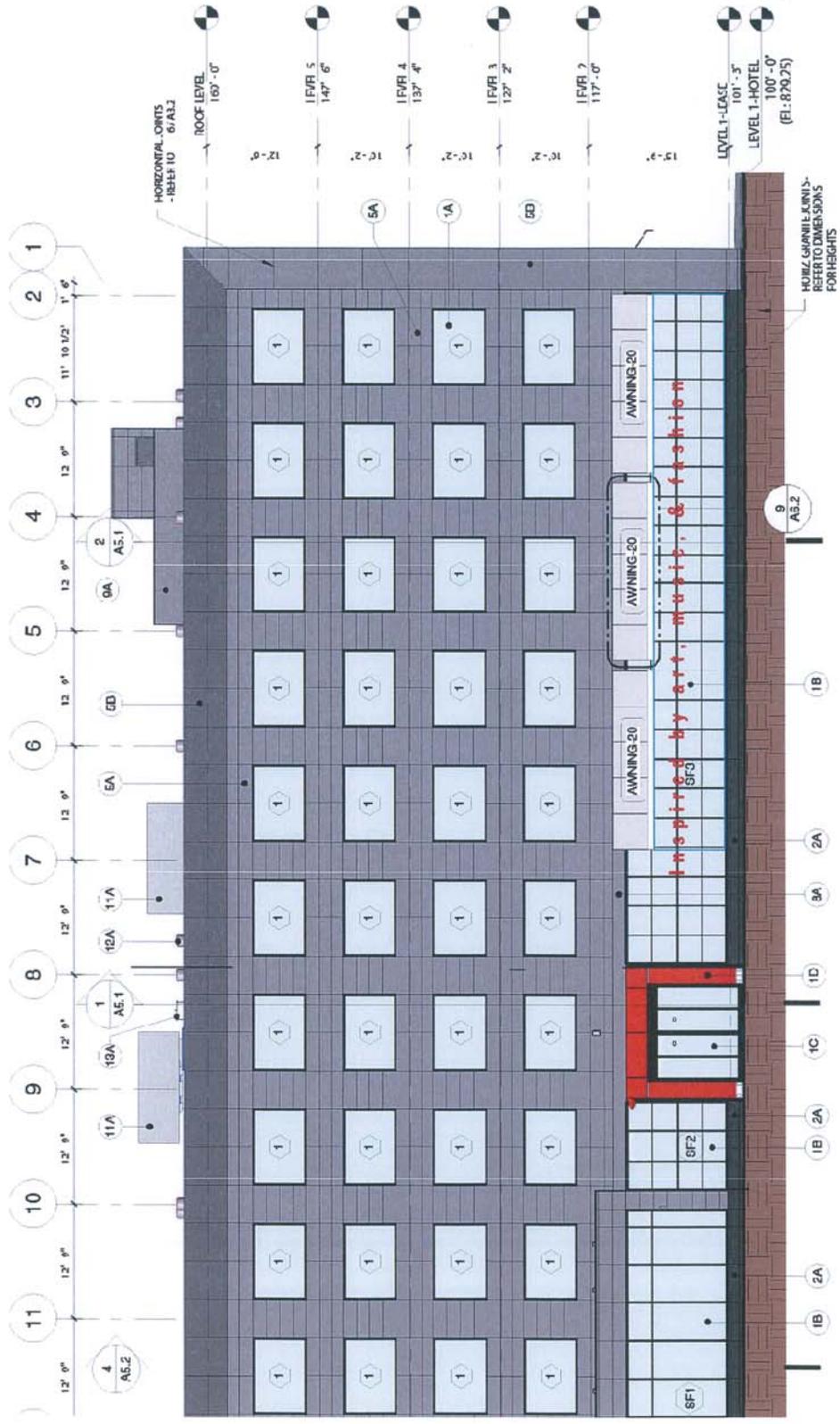
2.1.23.22
PROJECT NUMBER: 2016-001
AUTHOR: RYAN
CHECKER: ESC
DATE: 02/11/16

- EXTERIOR MATERIAL KEYNOTES**
- 1. ALUMINUM SCREEN WALL - 100% ANODIZED ALUMINUM FINISH. COLOR: BRASS. REFER TO ARCHITECT FOR FINISH SAMPLES. REFER TO ARCHITECT FOR FINISH COLOR. COLOR: BRASS.
 - 2. ALUMINUM SCREEN WALL - 100% ANODIZED ALUMINUM FINISH. COLOR: BRASS. REFER TO ARCHITECT FOR FINISH SAMPLES. REFER TO ARCHITECT FOR FINISH COLOR. COLOR: BRASS.
 - 3. ALUMINUM SCREEN WALL - 100% ANODIZED ALUMINUM FINISH. COLOR: BRASS. REFER TO ARCHITECT FOR FINISH SAMPLES. REFER TO ARCHITECT FOR FINISH COLOR. COLOR: BRASS.
 - 4. ALUMINUM SCREEN WALL - 100% ANODIZED ALUMINUM FINISH. COLOR: BRASS. REFER TO ARCHITECT FOR FINISH SAMPLES. REFER TO ARCHITECT FOR FINISH COLOR. COLOR: BRASS.
 - 5. ALUMINUM SCREEN WALL - 100% ANODIZED ALUMINUM FINISH. COLOR: BRASS. REFER TO ARCHITECT FOR FINISH SAMPLES. REFER TO ARCHITECT FOR FINISH COLOR. COLOR: BRASS.
 - 6. ALUMINUM SCREEN WALL - 100% ANODIZED ALUMINUM FINISH. COLOR: BRASS. REFER TO ARCHITECT FOR FINISH SAMPLES. REFER TO ARCHITECT FOR FINISH COLOR. COLOR: BRASS.
 - 7. ALUMINUM SCREEN WALL - 100% ANODIZED ALUMINUM FINISH. COLOR: BRASS. REFER TO ARCHITECT FOR FINISH SAMPLES. REFER TO ARCHITECT FOR FINISH COLOR. COLOR: BRASS.
 - 8. ALUMINUM SCREEN WALL - 100% ANODIZED ALUMINUM FINISH. COLOR: BRASS. REFER TO ARCHITECT FOR FINISH SAMPLES. REFER TO ARCHITECT FOR FINISH COLOR. COLOR: BRASS.
 - 9. ALUMINUM SCREEN WALL - 100% ANODIZED ALUMINUM FINISH. COLOR: BRASS. REFER TO ARCHITECT FOR FINISH SAMPLES. REFER TO ARCHITECT FOR FINISH COLOR. COLOR: BRASS.
 - 10. ALUMINUM SCREEN WALL - 100% ANODIZED ALUMINUM FINISH. COLOR: BRASS. REFER TO ARCHITECT FOR FINISH SAMPLES. REFER TO ARCHITECT FOR FINISH COLOR. COLOR: BRASS.
 - 11. ALUMINUM SCREEN WALL - 100% ANODIZED ALUMINUM FINISH. COLOR: BRASS. REFER TO ARCHITECT FOR FINISH SAMPLES. REFER TO ARCHITECT FOR FINISH COLOR. COLOR: BRASS.
 - 12. ALUMINUM SCREEN WALL - 100% ANODIZED ALUMINUM FINISH. COLOR: BRASS. REFER TO ARCHITECT FOR FINISH SAMPLES. REFER TO ARCHITECT FOR FINISH COLOR. COLOR: BRASS.
 - 13. ALUMINUM SCREEN WALL - 100% ANODIZED ALUMINUM FINISH. COLOR: BRASS. REFER TO ARCHITECT FOR FINISH SAMPLES. REFER TO ARCHITECT FOR FINISH COLOR. COLOR: BRASS.
 - 14. ALUMINUM SCREEN WALL - 100% ANODIZED ALUMINUM FINISH. COLOR: BRASS. REFER TO ARCHITECT FOR FINISH SAMPLES. REFER TO ARCHITECT FOR FINISH COLOR. COLOR: BRASS.
 - 15. ALUMINUM SCREEN WALL - 100% ANODIZED ALUMINUM FINISH. COLOR: BRASS. REFER TO ARCHITECT FOR FINISH SAMPLES. REFER TO ARCHITECT FOR FINISH COLOR. COLOR: BRASS.
 - 16. ALUMINUM SCREEN WALL - 100% ANODIZED ALUMINUM FINISH. COLOR: BRASS. REFER TO ARCHITECT FOR FINISH SAMPLES. REFER TO ARCHITECT FOR FINISH COLOR. COLOR: BRASS.
 - 17. ALUMINUM SCREEN WALL - 100% ANODIZED ALUMINUM FINISH. COLOR: BRASS. REFER TO ARCHITECT FOR FINISH SAMPLES. REFER TO ARCHITECT FOR FINISH COLOR. COLOR: BRASS.
 - 18. ALUMINUM SCREEN WALL - 100% ANODIZED ALUMINUM FINISH. COLOR: BRASS. REFER TO ARCHITECT FOR FINISH SAMPLES. REFER TO ARCHITECT FOR FINISH COLOR. COLOR: BRASS.
 - 19. ALUMINUM SCREEN WALL - 100% ANODIZED ALUMINUM FINISH. COLOR: BRASS. REFER TO ARCHITECT FOR FINISH SAMPLES. REFER TO ARCHITECT FOR FINISH COLOR. COLOR: BRASS.
 - 20. ALUMINUM SCREEN WALL - 100% ANODIZED ALUMINUM FINISH. COLOR: BRASS. REFER TO ARCHITECT FOR FINISH SAMPLES. REFER TO ARCHITECT FOR FINISH COLOR. COLOR: BRASS.



1.1 EXTERIOR BLADE SIGN
2.1 INVERTED FRAME - HOTEL
3.1 INVERTED FRAME - LEASE
4.1 MAIN ENTRANCE - WEST
5.1 MAIN ENTRANCE - EAST
6.1 BACK ENTRANCE - WEST
7.1 BACK ENTRANCE - EAST
8.1 STAIR ACCESS TO ROOF - WEST
9.1 STAIR ACCESS TO ROOF - NORTH
10.1 STAIR ACCESS TO ROOF - EAST
11.1 SCREEN WALL - WEST
12.1 SCREEN WALL - SOUTH
13.1 SCREEN WALL - EAST
14.1 SCREEN WALL - NORTH
15.1 PARTIAL ELEVATION AT EVENT STUDIO - WEST
16.1 PARTIAL ELEVATION AT EVENT STUDIO - EAST
17.1 PARTIAL ELEVATION AT WEST
18.1 PARTIAL ELEVATION AT SOUTH
19.1 PARTIAL ELEVATION AT NORTH
20.1 PARTIAL ELEVATION AT LEASE
21.1 PARTIAL ELEVATION AT HOTEL
22.1 PARTIAL ELEVATION AT LEASE
23.1 PARTIAL ELEVATION AT HOTEL
24.1 PARTIAL ELEVATION AT LEASE
25.1 PARTIAL ELEVATION AT HOTEL
26.1 PARTIAL ELEVATION AT LEASE

North Elevation

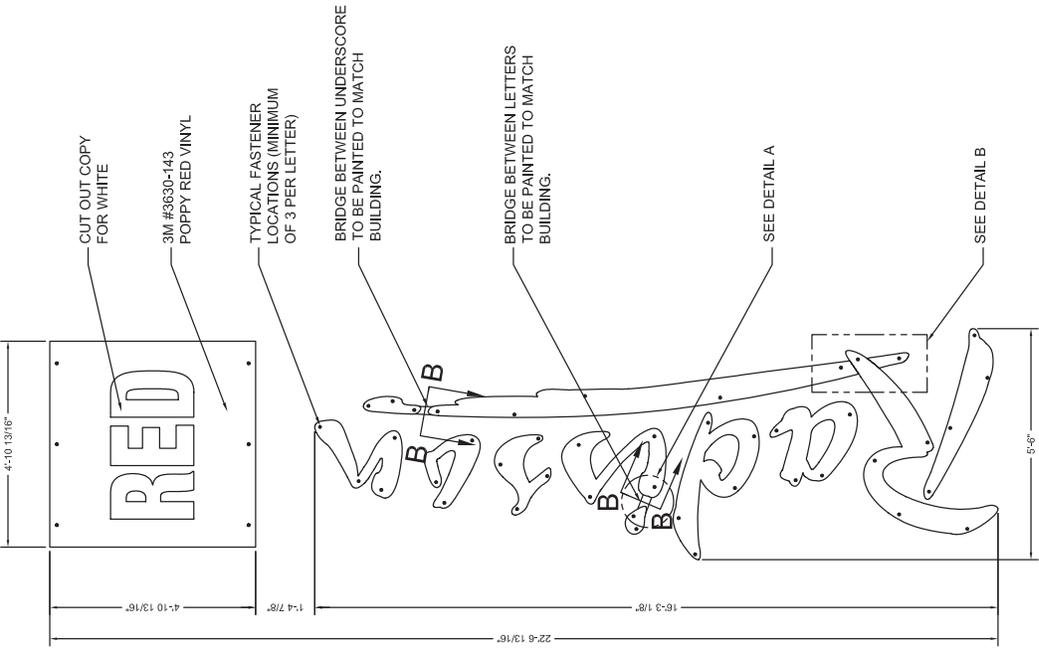


File Name: RAD RED Concept
 Drawing No.: RAD RED Concept_SA_PG1
 Scale: 1/8" = 1'-0"
 Date: 10/26/16

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RADISSON RED

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FRONT ELEVATION @ 5'-6" LETTERSET

INSTALLATION NOTES:

1. MANUFACTURER TO PROVIDE FULL SIZE MOUNTING PATTERN.
2. INSTALLER TO DRILL MOUNTING HOLES.
3. INSTALL CONDUIT ON BACK OF LETTERS TO PASS THRU WALL.
4. JUNCTION BOXES TO BE INSTALLED ON THE INSIDE OF WALL BEHIND LETTERS.
5. INSTALLER TO RUN CONDUIT AND CONNECTING WIRE TO EACH JUNCTION BOX.
6. INSTALLATION OF JUNCTION BOXES AND ELECTRICAL CONNECTIONS TO BE DONE BY QUALIFIED INDIVIDUAL THAT MEETS LOCAL AND NATIONAL CODES.
7. MANUFACTURER TO SUPPLY TRANSFORMER BOX WITH LOUVERED VENTS AND SCREENS, TO HELP IN THE DISSIPATION OF HEAT.
8. WHEN USING HIT/TI ANCHORING SYSTEM, IT IS TO BE USED IN STRICT ACCORDANCE WITH MANUFACTURER'S GUIDELINES.

GENERAL NOTES:

1. DO NOT USE GRAPHICS SHOWN ON THIS DRAWING FOR PRODUCTION REFER TO PRODUCTION ELECTRONIC FILES.
2. INSTALLER SHALL VERIFY ALL SITE CONDITIONS AND DIMENSIONS.
3. EXISTING WALL CONSTRUCTION TYPE MUST BE DETERMINED AT THE ACTUAL PROPOSED LOCATION OF THE LETTERS BY THE INSTALLER.
4. INSTALLER SHALL VERIFY THAT FASTENERS CHOSEN ARE SUITABLE WITH WALL CONDITION TO WITHSTAND THE STATED PULLOUT FORCE.
5. THE BUILDING ENGINEER SHALL INCLUDE THE LOADS APPLIED BY THE SIGN STRUCTURE IN THE DESIGN OF THE WALL SYSTEM.
6. INSTALLATION SHALL CONFORM TO NATIONAL ELECTRICAL CODE AND OTHER APPLICABLE CODES.

LETTER CONSTRUCTION NOTES:

1. **FACE TREATMENT (LETTERS):**
#2447 WHITE POLYCARBONATE W/ FIRST SURFACE 3M #3635-222 PERFORATED BLACK VINYL.
2. **FACE TREATMENT (UNDERSCORE):**
WHITE #7328 POLYCARBONATE W/ FIRST SURFACE 3M #3630-143 POPPY RED VINYL.
3. **FACE TREATMENT ("RED" BOX):**
BACKGROUND - WHITE #7328 POLYCARBONATE W/ FIRST SURFACE 3M #3630-143 POPPY RED VINYL.
CAPITAL LETTERS - WHITE #7328 POLYCARBONATE.
RETURN TO BACK ATTACHMENT:
STAPLED, WELDED OR RIVETED.
5. **LED SPECIFICATIONS:**
AGILIGHT (LS-PRO160-65K-2B1) PRO160 WHITE LEDS W/ PS12-60W/SL-100-277V POWER SUPPLIES. ALL MOUNTING ADHESIVES TO BE SUPPLIED BY MANUFACTURER.
6. **LETTER INTERIOR:**
PAINT INTERIOR STARBRITE WHITE.
CAULK INSIDE PERIMETER OF LETTERS TO PREVENT LIGHT LEAKS.
7. **PAINT:**
ALL EXTERIOR PAINTS TO HAVE SEMI-GLOSS BLACK FINISH.
ALL PAINTS TO HAVE A 2.8 VOC.

ELECTRICAL INSTALLATION KIT

MANUFACTURER TO PROVIDE AN ELECTRICAL INSTALLATION KIT TO BE INCLUDED WITH ALL LETTERSETS SHIPPED. THESE SHALL INCLUDE:

1. (1) MOUNTING PATTERN
2. (30') WATERPROOF CONDUIT
3. (4) JUNCTION BOXES
4. (30) CONDUIT CONNECTORS
5. (3) TRANSFORMER BOXES WITH POWER SUPPLY

NOTE:

20 AMP DISCONNECT SWITCH SHOULD BE LOCATED ON THE PRIMARY SIDE OF ALL POWER SUPPLIES. SWITCH MUST BE LOCATED IN SIGHT OF LETTERS OR HAVE CAPABILITY OF BEING LOCKED IN OPEN CIRCUIT POSITION TO MEET U.L. REQUIREMENTS.

CLIENT:



DESCRIPTION: RADISSON RED
66" ILL. VERT. REMOTE
LETTERSET W/ 60" BOX

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Project Number:

RAD0000

BY:

JPR

SHT.

1

OF

3

DATE:

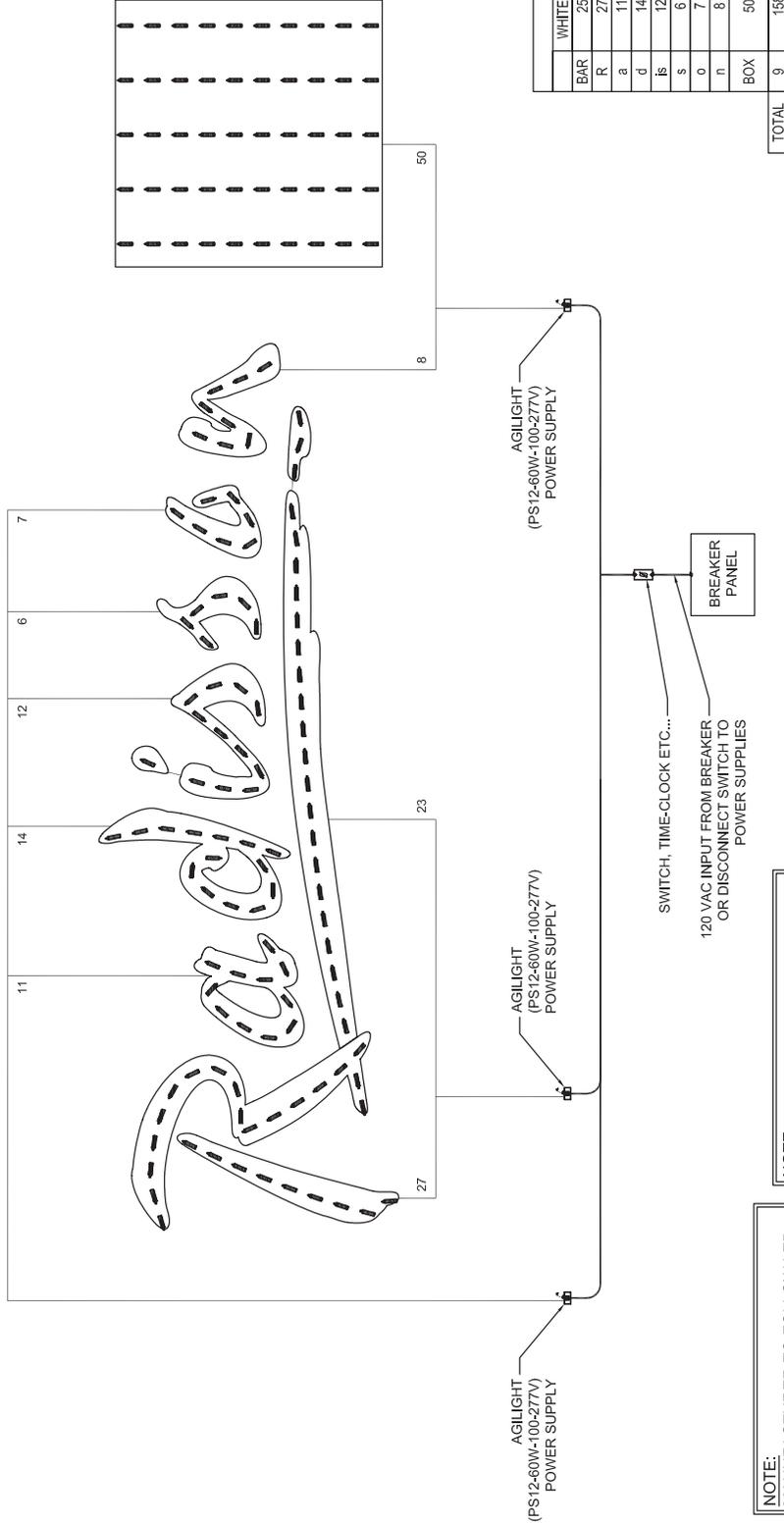
12/18/15

Drawing Number:

B364101

7675 Oak Ridge Highway
Knoxville, Tennessee 37951
Phone: 865.342.2000
Fax: 865.352.0011





ELECTRICAL CHART			
BAR	WHITE LED	POWER SUPPLY	AMPS
R	25	1	0.99
a	11		
d	14		
is	12	1	0.99
s	6		
o	7		
n	8	1	0.99
BOX	50		
TOTAL	9	3	2.97

NOTE:
MANUFACTURER TO FOLLOW LED LAYOUT EXACTLY. PLEASE USE 18 GAUGE WIRE FOR LED JUMPS WHEN NEEDED. THIS IS TO ENSURE PROPER EVEN ILLUMINATION.

NOTE:
MANUFACTURER TO FOLLOW LED LAYOUT EXACTLY WHERE TO PLACE ELECTRICAL HOLES TO ENSURE PROPER EVEN ILLUMINATION.

LED LAYOUT
SEE ELECTRICAL CHART

CLIENT: **Radisson RED**

DESCRIPTION: **RADISSON RED 66" ILL. VERT. REMOTE LETTERSET W/ 60" BOX**

PROJECT NUMBER: **RAD0000**

DRAWING NUMBER: **B364101**

BY: **JPR**

DATE: **12/18/15**

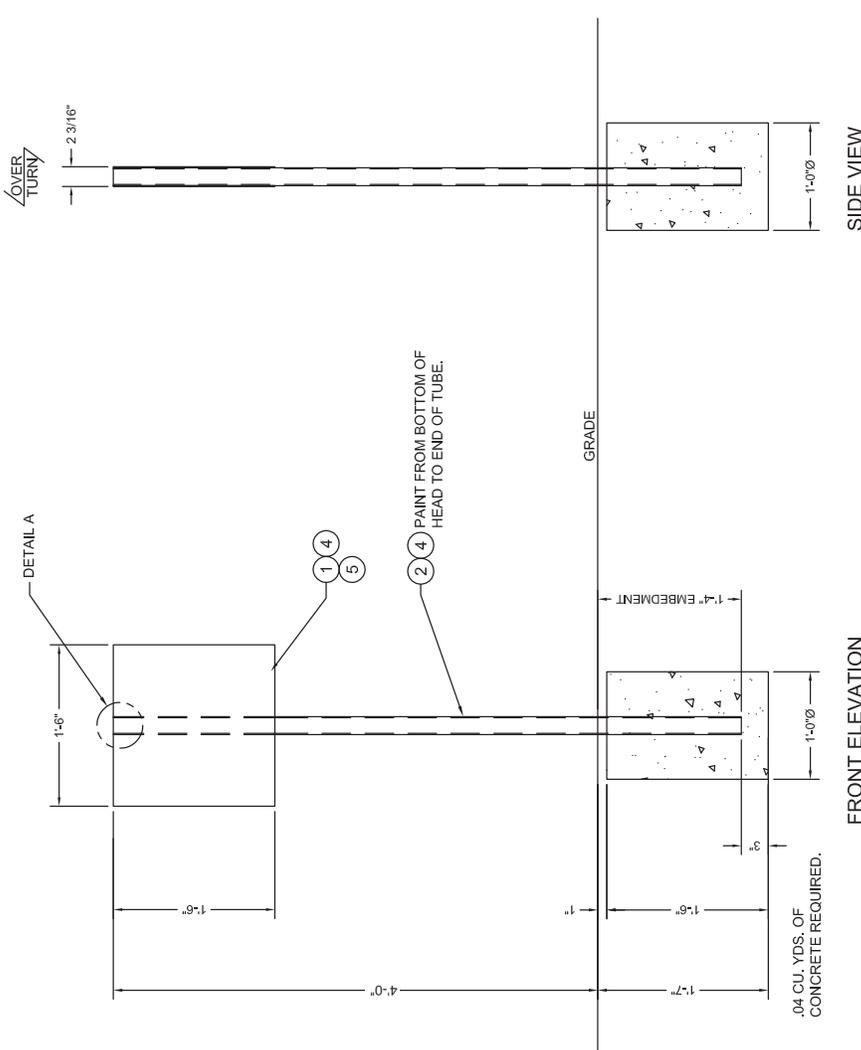
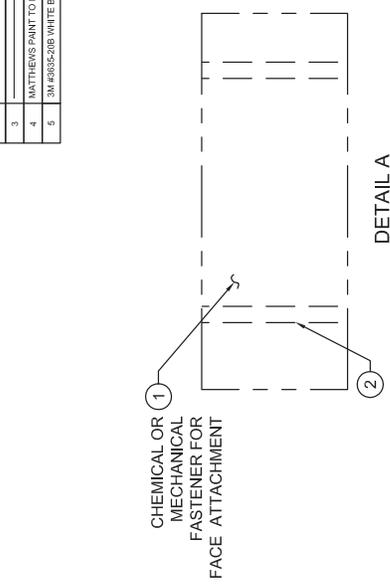
SHT. **3** OF **3**

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THE **InSite Group**

7675 Oak Ridge Highway
Knoxville, Tennessee 37951
Phone: 865.342.2600
Fax: 865.352.0011

FIND #	DESCRIPTION	TOTAL QUANTITY
1	1-5" X 1-6" X .080" THK. ALUMINUM PANEL	2
2	2-1/2" X 1/8" THK. MACHINED W/AL. ALUMINUM TUBES 6'-8-1/2" LONG RUNNING THRU TUBE FRAME & WELDED TOP & BOTTOM	1
3		
4	MATTHEWS PAINT TO MATCH 8836-143 POPPY RED VINYL	—
5	3M 48852-20B WHITE BLOKOUT VINYL	—



- CONSTRUCTION NOTES:**
- DO NOT USE GRAPHICS SHOWN ON THIS DRAWING FOR PRODUCTION REFER TO PRODUCTION ELECTRONIC FILES.
 - COPY WILL VARY.
 - PANELS TO BE CHEMICALLY WELDED TO TUBES.
 - TUBE FRAME TO BE MITERED AT CORNERS.
 - GRIND ALL VISIBLE WELDS SMOOTH.
 - PAINT:**
 - ALL EXTERIOR PAINTS TO HAVE SEMI-GLOSS FINISH.
 - ALL PAINTS TO HAVE A 2.8 VOC.
 - OR LESS AS REQUIRED BY CODE.

SIGN TYPE
RADR-R3PD-V

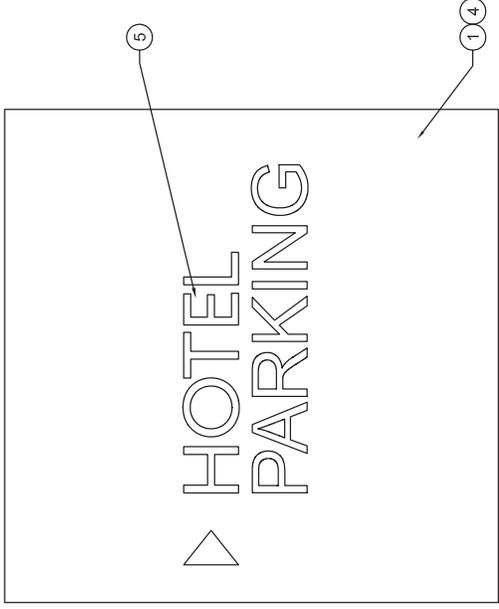


DESCRIPTION: RADISSON RED
18" X 18" REGULATORY
VARIABLE COPY

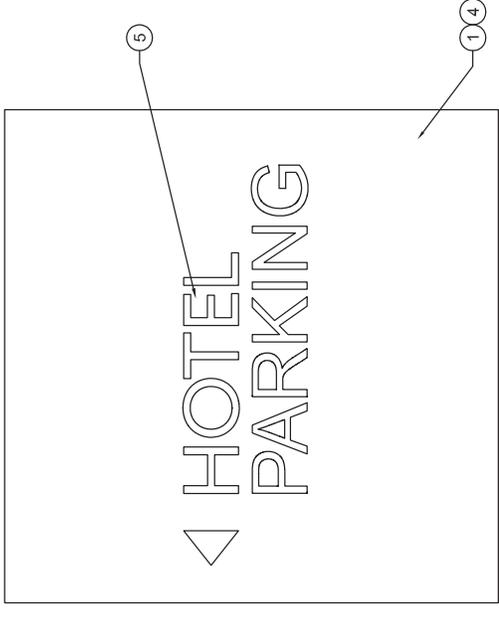
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BY: JPR	Project Number: RADR0000
DATE: 12/22/15	Drawing Number: B364001

THE InSite Group
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Knoxville, Tennessee 37951
Phone: 865.342.2000
Fax: 865.352.0011



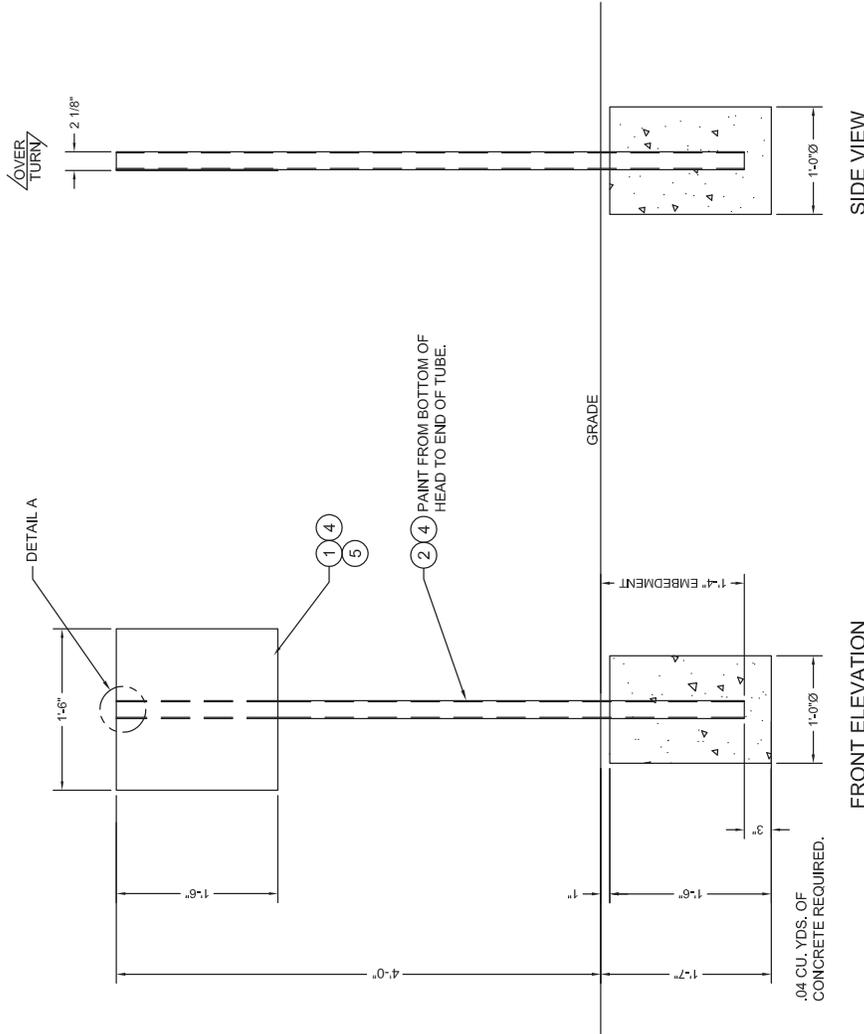
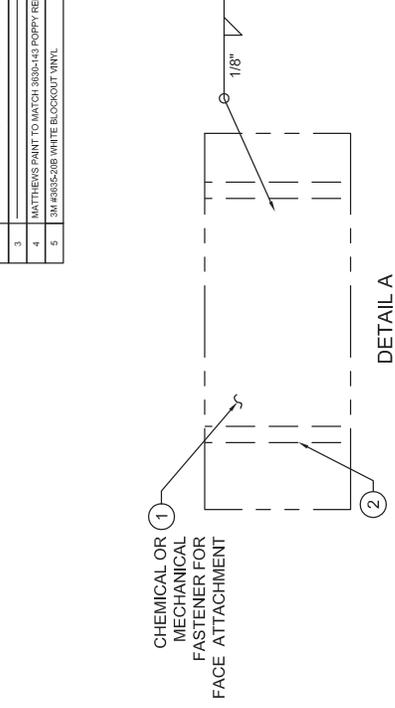
FRONT ELEVATION



REAR ELEVATION

CLIENT: 	DESCRIPTION: RADISSON RED 18" X 18" REGULATORY VARIABLE COPY	NOTE: All designs and plans indicated on this drawing are the sole property of The InSite Group, created specifically for the noted project. Use of these designs or plans for any purpose other than that intended is prohibited. Disclosure of any of the information enclosed within, without consent of owner, is a violation of intellectual property and shall not be tolerated.	SHIT. 2 OF 2	BY: JPR DATE: 12/22/15	Project Number: RADR0000 Drawing Number: B364001		7675 Oak Ridge Highway Knoxville, Tennessee 37951 Mobile: 865.342.2600 Fax: 865.352.0011
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FIND #	DESCRIPTION	TOTAL QUANTITY
1	1-5" X 1-6" X .080" THK ALUMINUM PANEL	1
2	2-1/2" X 1/8" THK ALUMINUM TUBE 6'-8-1/2" LONG RUNNING THRU TUBE FRAME & WELDED TOP & BOTTOM	1
3		
4	MATTHEWS PAINT TO MATCH 8836-143 POPPY RED VINYL	—
5	3M 4885E-20B WHITE BLOKOUT VINYL	—
	AIR	AIR



- CONSTRUCTION NOTES:**
- DO NOT USE GRAPHICS SHOWN ON THIS DRAWING FOR PRODUCTION REFER TO PRODUCTION ELECTRONIC FILES.
 - COPY WILL VARY.
 - PANELS TO BE CHEMICALLY WELDED TO TUBES.
 - TUBE FRAME TO BE MITERED AT CORNERS.
 - GRIND ALL VISIBLE WELDS SMOOTH.
 - PAINT:**
 - ALL EXTERIOR PAINTS TO HAVE SEMI-GLOSS FINISH.
 - ALL PAINTS TO HAVE A 2.8 VOC.
 - OR LESS AS REQUIRED BY CODE.

THE InSite Group
 7675 Oak Ridge Highway
 Knoxville, Tennessee 37951
 Phone: 865.342.2000
 Fax: 865.352.0011

Project Number:
RADR0000
 Drawing Number:
B364001

BY: **JPR**
 DATE: **12/22/15**

SHT. **1**
 OF **2**

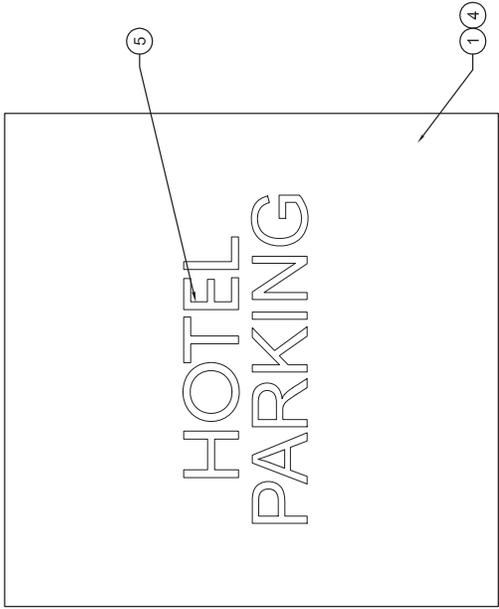
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DESCRIPTION: **RADISSON RED 18" X 18" REGULATORY VARIABLE COPY**

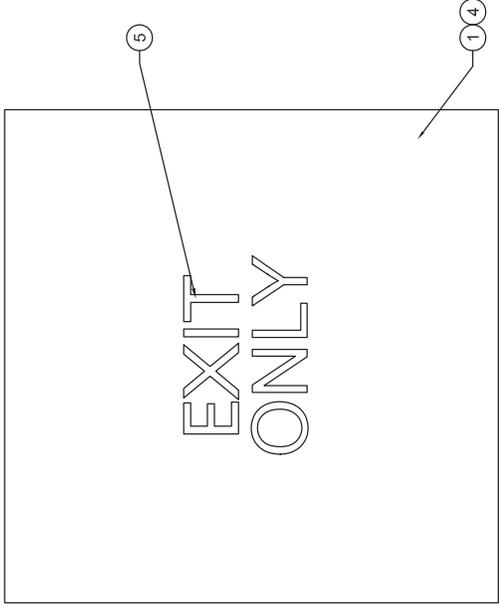
CLIENT: **Radisson RED**

SIGN TYPE
RADR-R3PS-V

0.04 CU. YDS. OF CONCRETE REQUIRED.

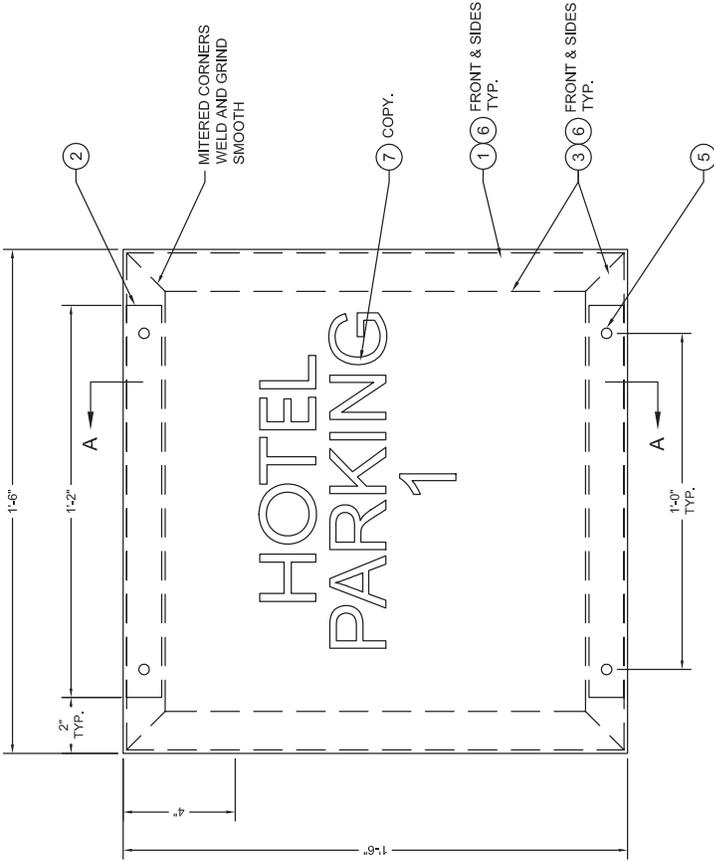


FRONT ELEVATION (OPTION 1)



FRONT ELEVATION (OPTION 2)

CLIENT: 	DESCRIPTION: RADISSON RED 18" X 18" REGULATORY VARIABLE COPY	SHEET: 2 OF 2	BY: JPR DATE: 12/22/15	Project Number: RADR0000 Drawing Number: B364001	 7675 Oak Ridge Highway Knoxville, Tennessee 37951 Mobile: 865.342.2000 Fax: 865.352.0011
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FRONT ELEVATION

- GENERAL NOTES:**
1. INSTALLER SHALL VERIFY ALL SITE CONDITIONS AND DIMENSIONS.
 2. EXISTING WALL CONSTRUCTION TYPE MUST BE DETERMINED AT THE ACTUAL PROPOSED LOCATION OF THE LETTERS BY THE INSTALLER.
 3. INSTALLER SHALL VERIFY THAT FASTENERS CHOSEN ARE SUITABLE WITH WALL CONDITION TO WITHSTAND THE STATED PULLOUT FORCE.

	FASTENER SCHEDULE
	FOR USE WITH EIFS WALL SYSTEMS, WOOD, BLOCK, BRICK, CONCRETE AND ROUGH STONE. EMBED A MIN. OF 2".

SIGN TYPE
RADR-R3W-V



DESCRIPTION: RADISSON RED
18" X 18" REGULATORY
VARIABLE COPY

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BY: JPR
DATE: 12/22/15

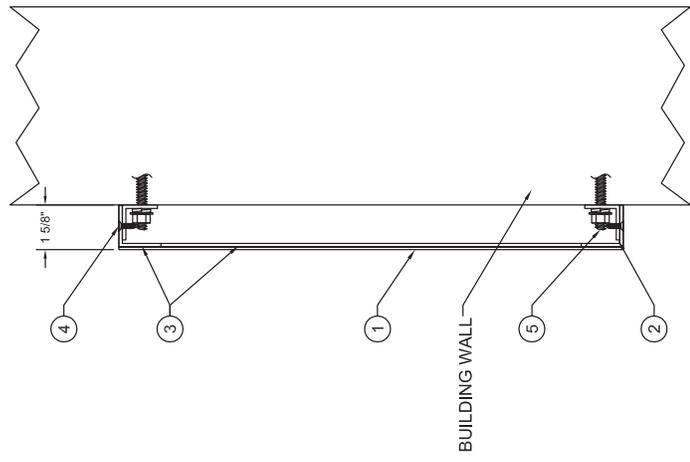
Project Number: RADR0000
Drawing Number: B364003



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- CONSTRUCTION NOTES:**
1. DO NOT USE GRAPHICS SHOWN ON THIS DRAWING FOR PRODUCTION REFER TO PRODUCTION ELECTRONIC FILES.
 2. COPY WILL VARY.
 3. PANELS TO BE CHEMICALLY WELDED TO ANGLES.
 4. ANGLE FRAME TO BE MITERED AT CORNERS.
 5. GRIND ALL VISIBLE WELDS SMOOTH.

- PAINT:**
6. ALL EXTERIOR PAINTS TO HAVE SEMI-GLOSS FINISH.
 7. ALL PAINTS TO HAVE A 2.8 VOC. OR LESS AS REQUIRED BY CODE.



SECTION A-A

FIN#	DESCRIPTION	TOTAL QUANTITY
1	1-5" X 1-5" X .080" THK ALUMINUM PANEL	2
2	1-1/4" X 1-1/4" X 1/8" ARCHITECTURAL ALUMINUM ANGLE @ 1'-2" LONG	2
3	1-1/2" X 1-1/2" X 1/8" ARCHITECTURAL ALUMINUM ANGLE FRAME (MITERED AND WELDED TO FIT)	4R
4	#10 CS TR SCREWS @ 10" CENTERS	4R
5	1/4" DIA. FASTENER (SEE SCHEDULE)	4R
6	MATHEWS PAINT TO MATCH 3536-143 POPPY RED VINYL	4R
7	3M 4985-20B WHITE BLOCKOUT VINYL	4R

HOTEL
PARKING
6

FRONT ELEVATION (OPTION 6)

HOTEL
PARKING
5

FRONT ELEVATION (OPTION 5)

HOTEL
PARKING
4

FRONT ELEVATION (OPTION 4)

HOTEL
PARKING
3

FRONT ELEVATION (OPTION 3)

HOTEL
PARKING
2

FRONT ELEVATION (OPTION 2)

HOTEL
PARKING
1

FRONT ELEVATION (OPTION 1)

HOTEL
PARKING
12

FRONT ELEVATION (OPTION 12)

HOTEL
PARKING
11

FRONT ELEVATION (OPTION 11)

HOTEL
PARKING
10

FRONT ELEVATION (OPTION 10)

HOTEL
PARKING
9

FRONT ELEVATION (OPTION 9)

HOTEL
PARKING
8

FRONT ELEVATION (OPTION 8)

HOTEL
PARKING
7

FRONT ELEVATION (OPTION 7)

HOTEL
PARKING
18

FRONT ELEVATION (OPTION 18)

HOTEL
PARKING
17

FRONT ELEVATION (OPTION 17)

HOTEL
PARKING
16

FRONT ELEVATION (OPTION 16)

HOTEL
PARKING
15

FRONT ELEVATION (OPTION 15)

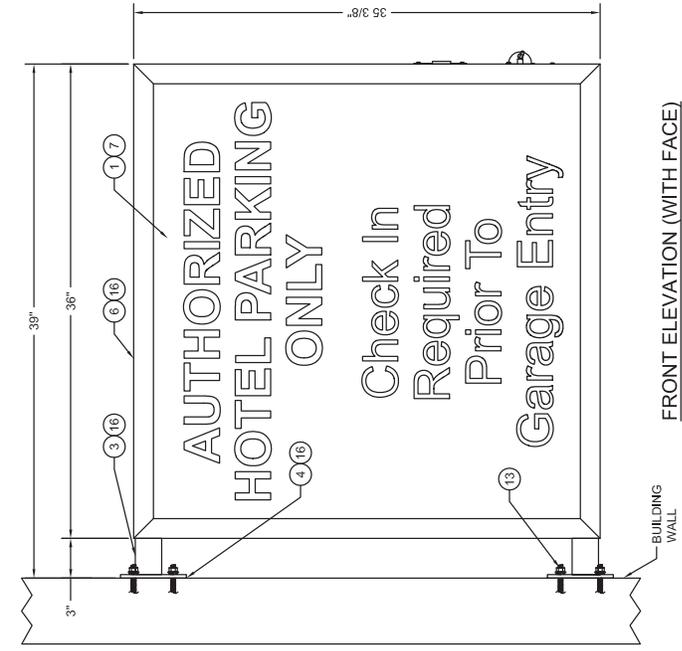
HOTEL
PARKING
14

FRONT ELEVATION (OPTION 14)

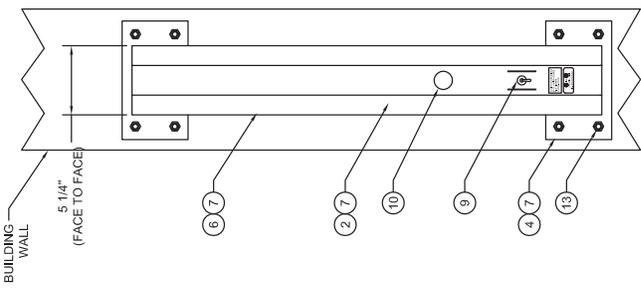
HOTEL
PARKING
13

FRONT ELEVATION (OPTION 13)

CLIENT: 	DESCRIPTION: RADISSON RED 18" X 18" REGULATORY VARIABLE COPY	NOTE: All designs and plans indicated on this drawing are the sole property of The InSite Group, created specifically for the noted project. Use of these designs or plans for any purpose other than that intended by The InSite Group, without the written consent of The InSite Group, is a violation of intellectual property and shall not be tolerated.	SHIT. 2 OF 2	BY: JPR DATE: 12/22/15	Project Number: RADR0000 Drawing Number: B364003		7675 Oak Ridge Highway Knoxville, Tennessee 37951 Phone: 865.342.2000 Fax: 865.352.0011
	InSite Group						



FRONT ELEVATION (WITH FACE)



SIDE ELEVATION

FRID#	DESCRIPTION	TOTAL QUANTITY
1	.177 THK #228 WHITE POLYCARBONATE FACE	2
2	1.127 X 1.127 X .125 THK ALUMINUM SQUARE TUBE FRAME	AR
3	2" X 2" X .250 THK ALUMINUM SQUARE TUBE COLUMN @ 38.34" LONG	2
4	97 X 5" X .250 THK ALUMINUM MOUNTING PLATE	2
5	33.308" X 33.34" X .108" ALUMINUM BAFFLE (FOR LED'S)	1
6	1.127 X 1.127 X 1.108" ALUMINUM ANGLE RETAINER	AR
7	3M #8838-143 POPPY RED TRANSLUCENT VINYL	AR
8	3/8" CONDUIT AND CONNECTORS	AR
9	20 AMP TOGGLE DISCONNECT SWITCH W/ JUNCTION BOX	1
10	20 AMP LOW PROFILE WEATHER PROOF PHOTOCELL W/ JUNCTION BOX	1
11	#10 TEK SCREWS @ 14" O.C.	AR
12	#10 COUNTER SINK THREAD ROLLING SCREW @ 11.5" O.C.	AR
13	3/8" DIA MOUNTING FASTENER (SEE FASTENER SCHEDULE)	8
14	AGLIGHT PRO160 WHITE LED (LSP-PRO160-S656281)	84
15	AGLIGHT SLIM LINE POWERSUPPLY (PS1240VSL-10027V)	1
16	MATTHEWS PAINT TO MATCH 3630-143 POPPY RED VINYL, SEMI-GLOSS	AR
17	MATTHEWS PAINT TO MATCH 3630-143 POPPY RED VINYL, 2 OX PAINT KIT	1

CONSTRUCTION NOTES:

- FACE TREATMENT:
SEE COLOR SCHEDULE.
- FACE TO FRAME ATTACHMENT:
ADHERED.
- FRAMING:
FRAME JOINTS TO BE WELDED ALL AROUND UNLESS OTHERWISE NOTED.
- WELDING:
ALL EXPOSED WELDS TO BE GROUND SMOOTH ON CABINET.
- VINYL:
ALL VINYL IS TO BE APPLIED FIRST SURFACE.

INSTALLATION NOTES:

- MANUFACTURER TO PROVIDE FULL SIZE MOUNTING PATTERN.
- INSTALLER TO DRILL MOUNTING HOLES.
- WHEN USING HILTI ANCHORING SYSTEM, IT IS TO BE USED IN STRICT ACCORDANCE WITH MANUFACTURER'S GUIDELINES.
- INSTALLER TO SUPPLY FASTENERS TO MOUNT SIGN TO BUILDING WALL.

COLOR SCHEME:

- FACE:
3M #3630-143 POPPY RED TRANSLUCENT VINYL.
- CABINET FILLER:
MATTHEWS PAINT TO MATCH 3630-143 POPPY RED VINYL, SEMI-GLOSS.
- ALL PAINTS TO HAVE SEMI-GLOSS FINISH.
- ALL PAINTS TO HAVE A VOC. RATING OF 2.8 OR LESS AS REQUIRED BY CODE.

GENERAL NOTES:

- DO NOT USE GRAPHICS SHOWN ON THIS DRAWING FOR PRODUCTION REFER TO PRODUCTION ELECTRONIC FILES.
- MANUFACTURER TO REFERENCE COLOR ART WORK TO ENSURE THAT ALL COLORS ARE CORRECT. IMMEDIATELY CONTACT THE INSITE GROUP IF COLOR ART WORK AND PRODUCT DRAWING HAVE ANY DISCREPANCIES OR HAVE NOT BEEN PROVIDED.
- INSTALLER SHALL VERIFY ALL SITE CONDITIONS AND DIMENSIONS.
- EXISTING WALL CONSTRUCTION TYPE MUST BE DETERMINED AT THE ACTUAL PROPOSED LOCATION OF THE LETTERS BY THE INSTALLER.
- INSTALLER SHALL VERIFY THAT FASTENERS CHOSEN ARE SUITABLE WITH WALL CONDITION TO WITHSTAND THE STATED PULLOUT FORCE.
- THE BUILDING ENGINEER SHALL INCLUDE THE LOADS APPLIED BY THE SIGN STRUCTURE IN THE DESIGN OF THE WALL SYSTEM.

CLIENT:



DESCRIPTION: ILLUMINATED 9 SQ. FT. PROJECTION SIGN 145 MPH IBC 2012

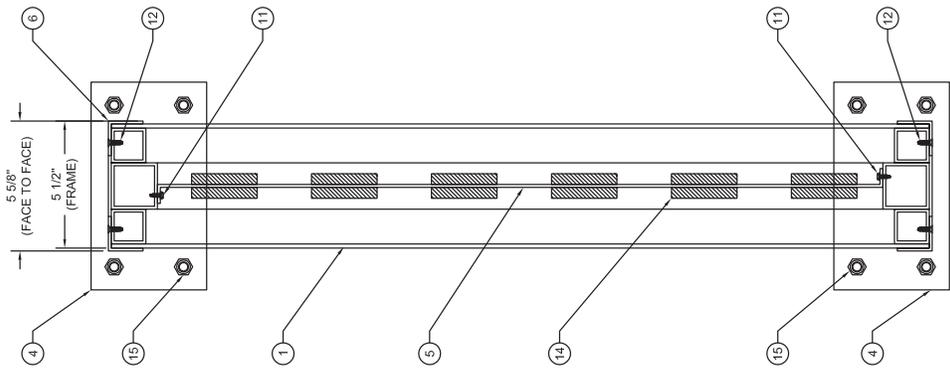
NOTE: All designs and plans indicated on this drawing are the sole property of The InSite Group, created specifically for the noted project. Use of these designs or plans for any purpose other than that intended is prohibited without the written consent of The InSite Group. Disclosure of any of the information enclosed within, without consent of owner, is a violation of intellectual property and shall not be tolerated.

BY: JPR
DATE: 3/11/16

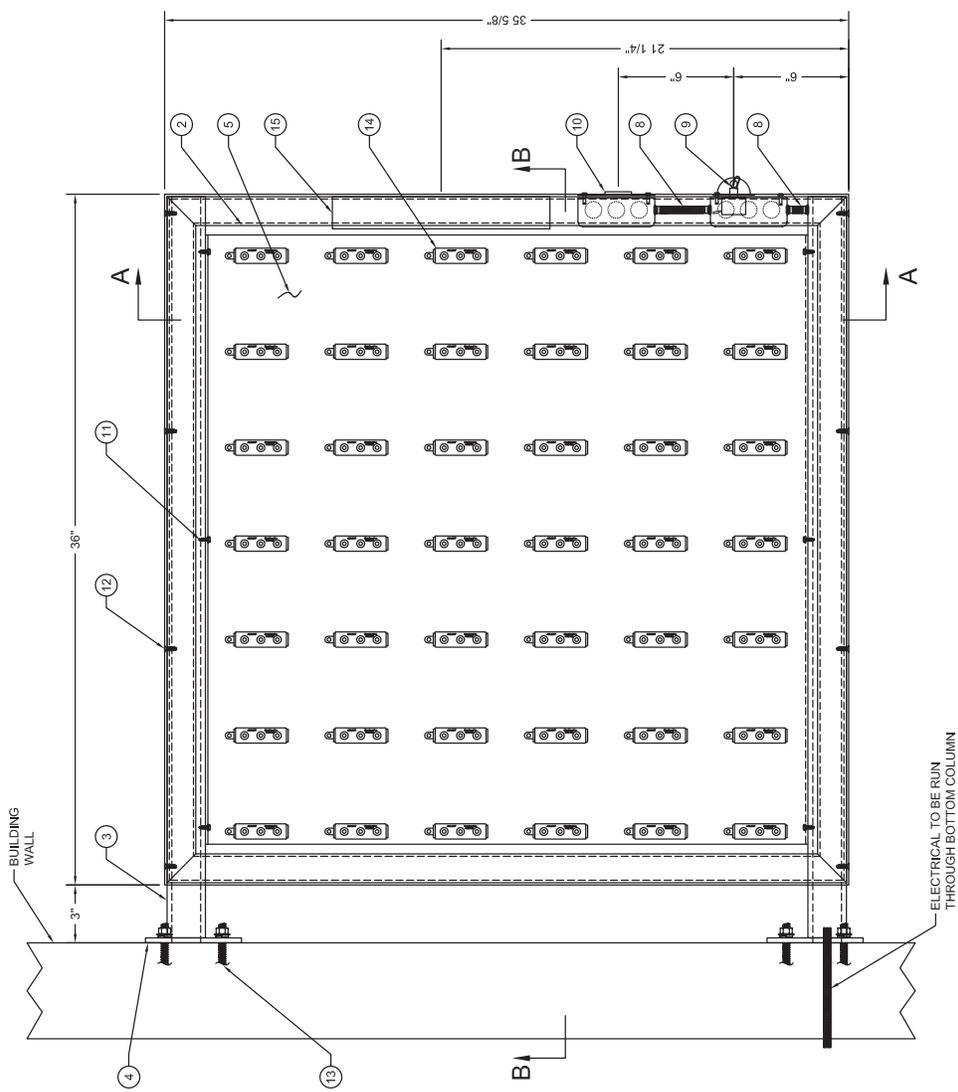
Project Number: RAD0000
Drawing Number: B364020



7675 Oak Ridge Highway
Knoxville, Tennessee 37951
Phone: 865.342.8200
Fax: 865.352.0011

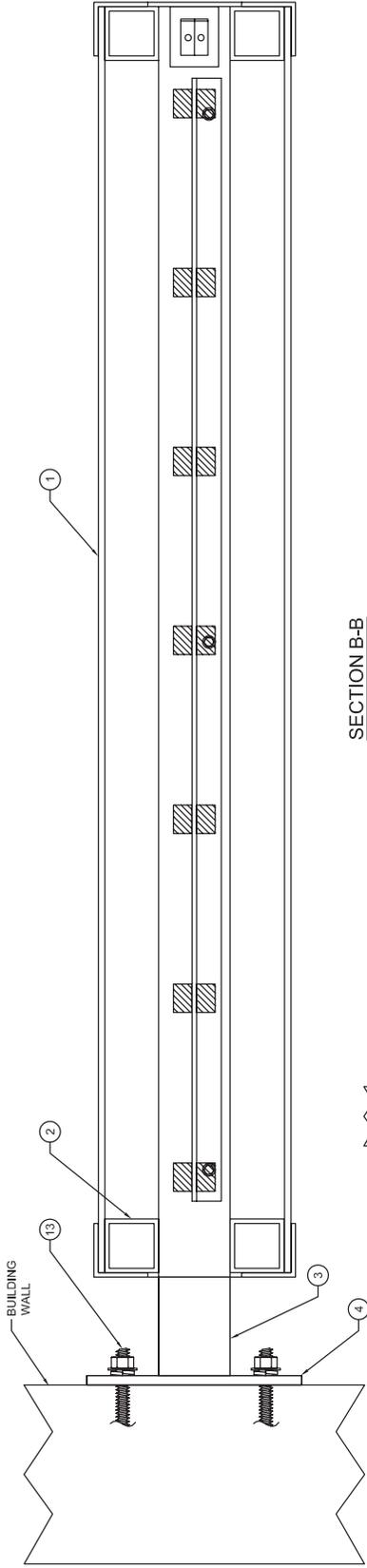


SECTION A-A

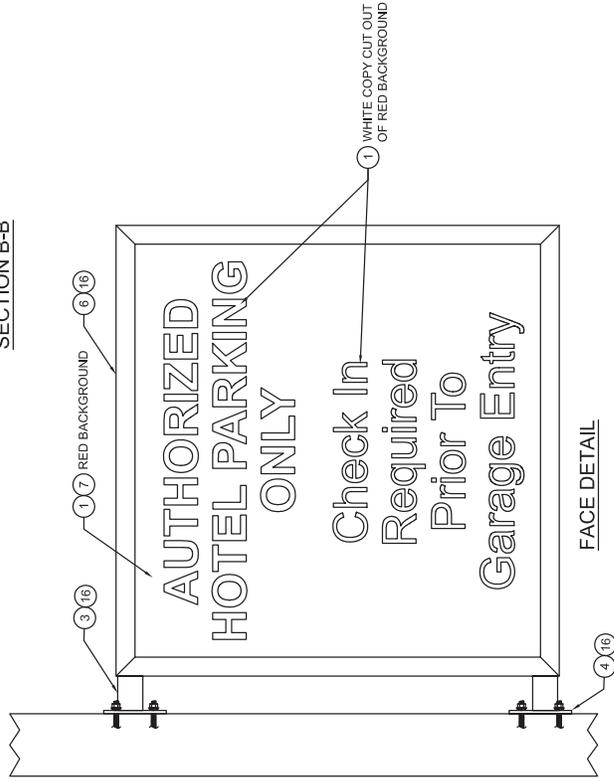


FRONT ELEVATION (WITHOUT FACES)

CLIENT:		DESCRIPTION: ILLUMINATED 9 SQ. FT. PROJECTION SIGN 145 MPH IBC 2012	NOTE: All designs and plans indicated on this drawing are the sole property of The InSite Group, created specifically for the noted project. Use of these designs or plans for any purpose other than that intended by The InSite Group, without the written consent of The InSite Group, is a violation of intellectual property and shall not be tolerated.	SHT.	BY:	Project Number:	7675 Oak Ridge Highway Knoxville, Tennessee 37951 Mobile: 865.342.2000 Fax: 865.352.0011
				2	JPR	RAD0000	
				OF	DATE:	Drawing Number:	
				4	3/1/16	B364020	



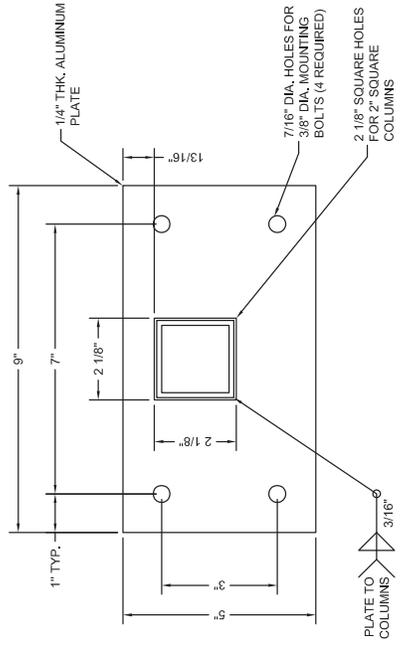
SECTION B-B



FACE DETAIL

MANUFACTURER TO REFERENCE
 COLOR ART WORK TO ENSURE THAT
 ALL COLORS ARE CORRECT.
 IMMEDIATELY CONTACT THE INSITE
 GROUP IF COLOR ART WORK AND
 PRODUCT DRAWING HAVE ANY
 DISCREPANCIES.

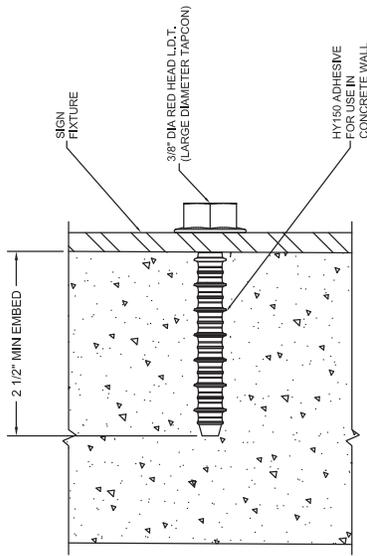
DO NOT USE GRAPHICS
 SHOWN ON THIS DRAWING
 FOR PRODUCTION REFER TO
 PRODUCTION ELECTRONIC FILES.



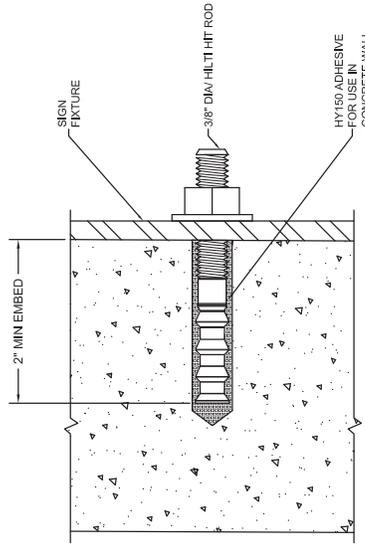
MOUNTING PLATE DETAIL 4

CLIENT:		DESCRIPTION: ILLUMINATED 9 SQ. FT. PROJECTION SIGN 145 MPH IBC 2012		NOTE: All designs and plans indicated on this drawing are the sole property of The InSite Group, created specifically for the noted project. Use of these designs or plans for any purpose other than that intended is without the written consent of The InSite Group. Disclosure of any of the information enclosed herein, without consent of owner, is a violation of intellectual property and shall not be tolerated.		Project Number: RAD0000				7675 Oak Ridge Highway Knoxville, Tennessee 37931 Mobile: 865.342.2000 Fax: 865.356.6011	
		SHT. 3 OF 4		BY: JPR		DATE: 3/1/16		Drawing Number: B364020			

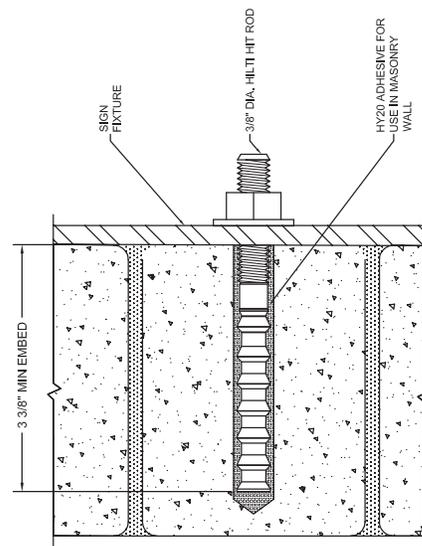
**FASTENER SCHEDULE
GENERAL ATTACHMENT DETAILS**



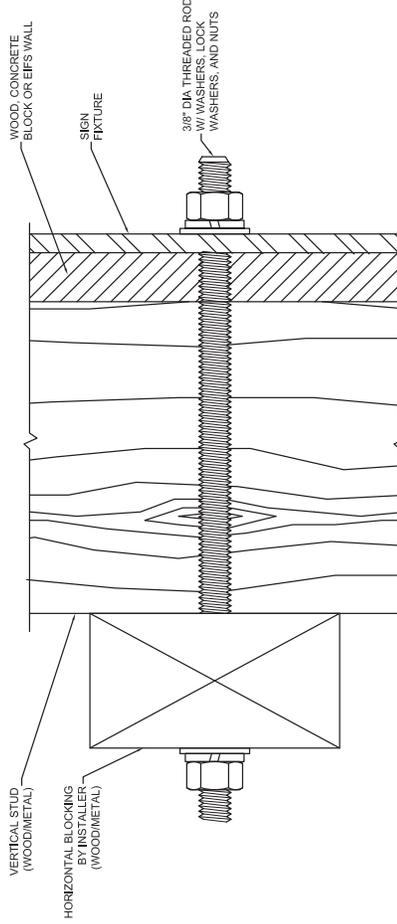
CONCRETE BLOCK/BRICK/CONCRETE WALL DETAIL



CONCRETE WALL DETAIL

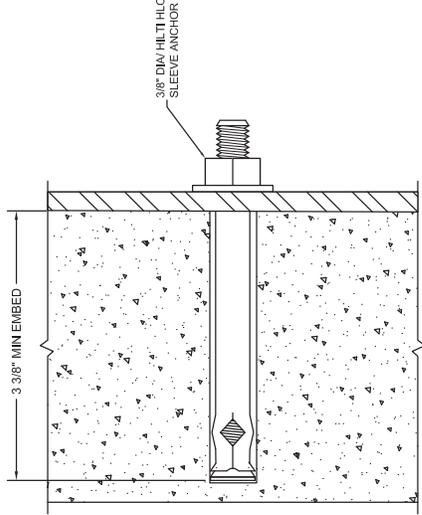


MASONRY/BRICK WALL DETAIL

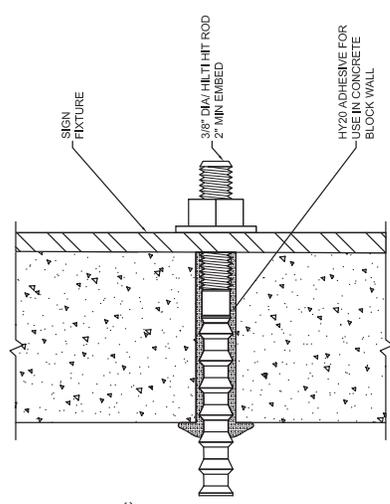


THRU-BOLT WALL DETAIL

NOTE:
FOR ALL OTHER WALL CONDITIONS THAT ARE NOT ON THE APPROVED FASTENER SCHEDULE, INSTALLER TO DETERMINE A SUITABLE METHOD OF ATTACHMENT FOR SIGNAGE AND OBTAIN APPROVAL FROM THE INSITE GROUP. IF INSTALLER IS UNSURE OF A METHOD, THE INSITE GROUP MUST BE CONSULTED. FOR ALL ATTACHMENT METHODS, INSTALLER MUST ADHERE TO GUIDELINES ON USE AND SITE PREPARATION PUT FORTH BY FASTENER MANUFACTURER.



CONCRETE/MASONRY/BRICK WALL DETAIL



CONCRETE BLOCK WALL DETAIL

CLIENT: **Radisson RED**

DESCRIPTION: **ILLUMINATED 9 SQ. FT. PROJECTION SIGN 145 MPH IBC 2012**

NOTE:
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BY: **JPR**

DATE: **3/1/16**

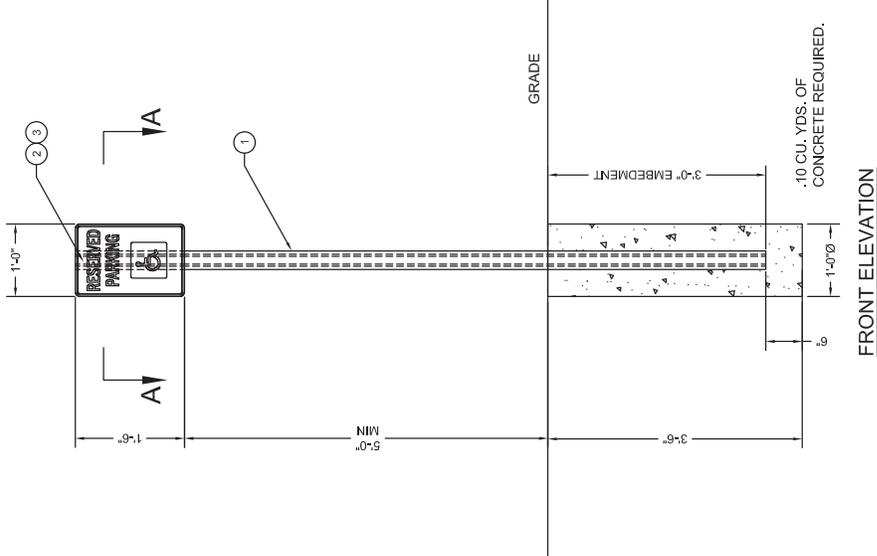
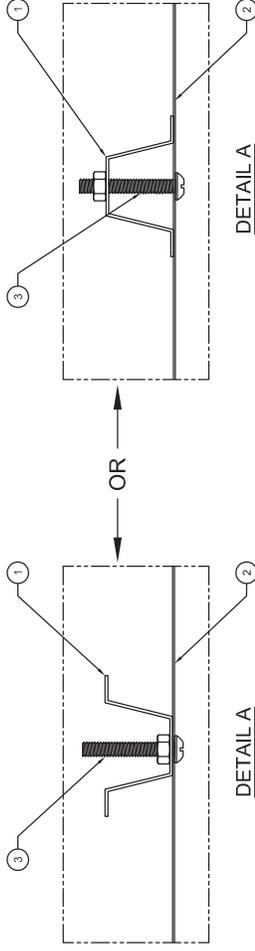
Project Number: **RAD0000**

Drawing Number: **B364020**

THE InSite Group

7675 Oak Ridge Highway
Knoxville, Tennessee 37951
Phone: 865.342.2000
Fax: 865.352.0011

ITEM #	DESCRIPTION	TOTAL QUANTITY
1	1/2" UCHANNEL POST (GRIMCO PN. UP-245)	1
2	1/2" X 18" HANDICAP ACCESSIBILITY SIGN (GRIMCO PN. SRV1801/2183HORN)	1
3	5/16" DIA. X 2 1/2" MNF SCWS W/NUIT (GRIMCO PN. NE-1)	2



CLIENT: _____

DESCRIPTION: **12" X 18" REGULATORY HANDICAP PARKING**

PROJECT NUMBER: _____

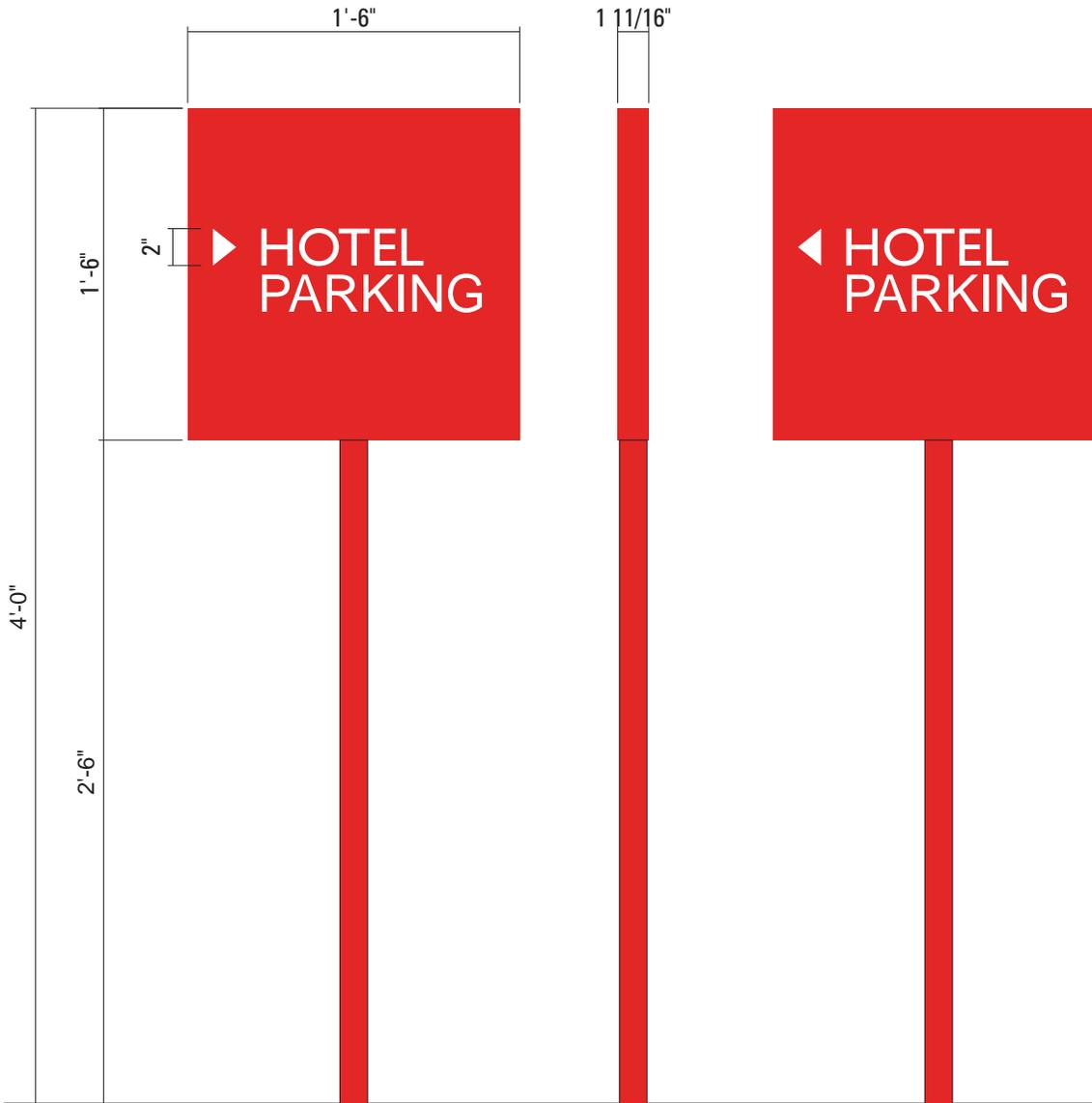
BY: **JPR** DATE: **12/22/15**

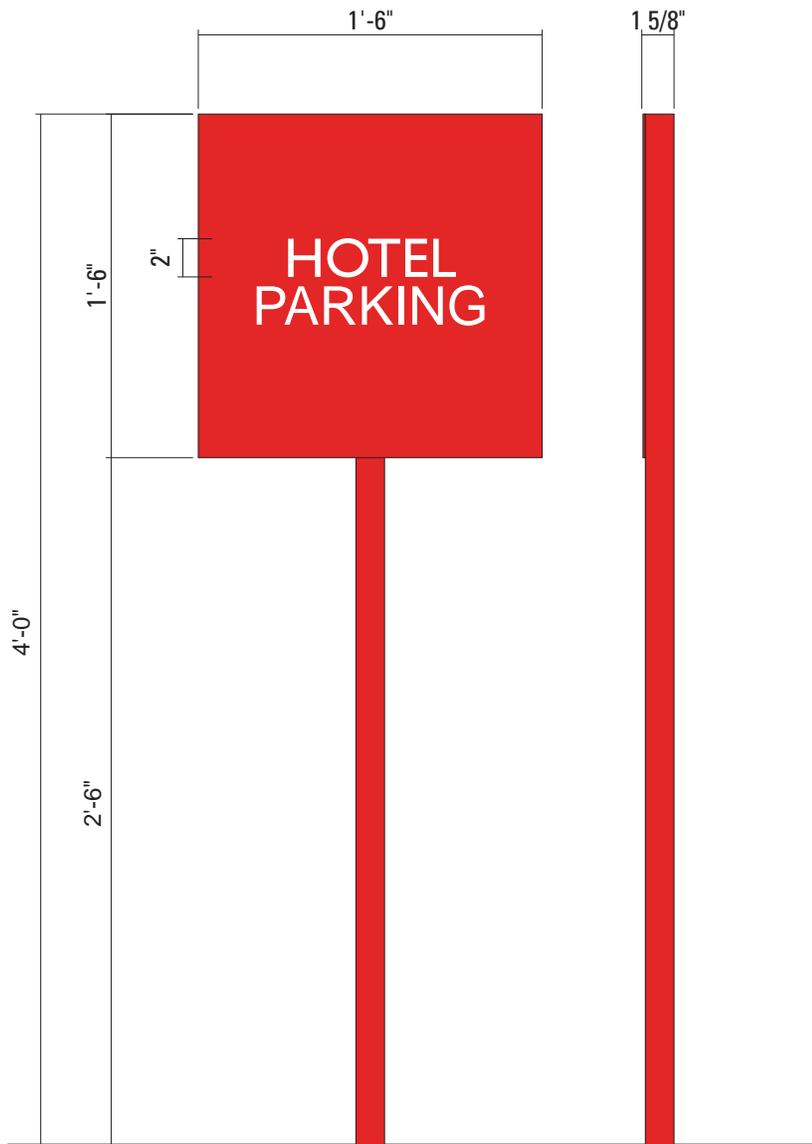
SHT. **1** OF **1**

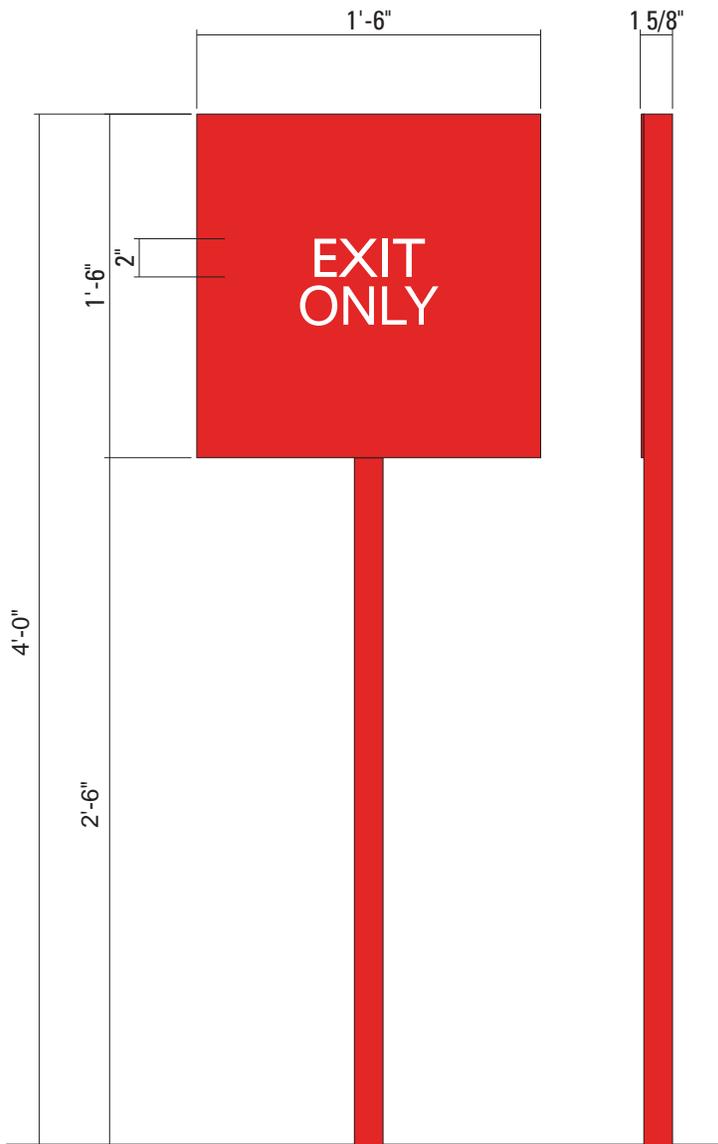
DRAWING NUMBER: **B999003**

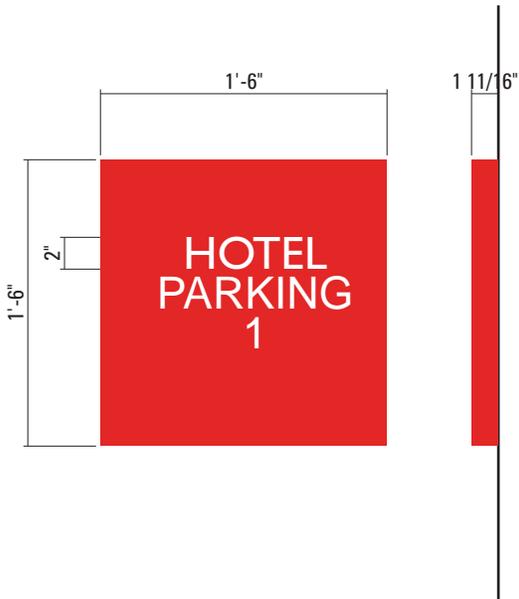
THE InSite Group
 7675 Oak Ridge Highway
 Knoxville, Tennessee 37951
 MOBILE: 865.342.2500
 FAX: 865.352.0011

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HOTEL PARKING 2

HOTEL PARKING 3

HOTEL PARKING 4

HOTEL PARKING 5

HOTEL PARKING 6

HOTEL PARKING 7

HOTEL PARKING 8

HOTEL PARKING 9

HOTEL PARKING 10

HOTEL PARKING 11

HOTEL PARKING 12

HOTEL PARKING 13

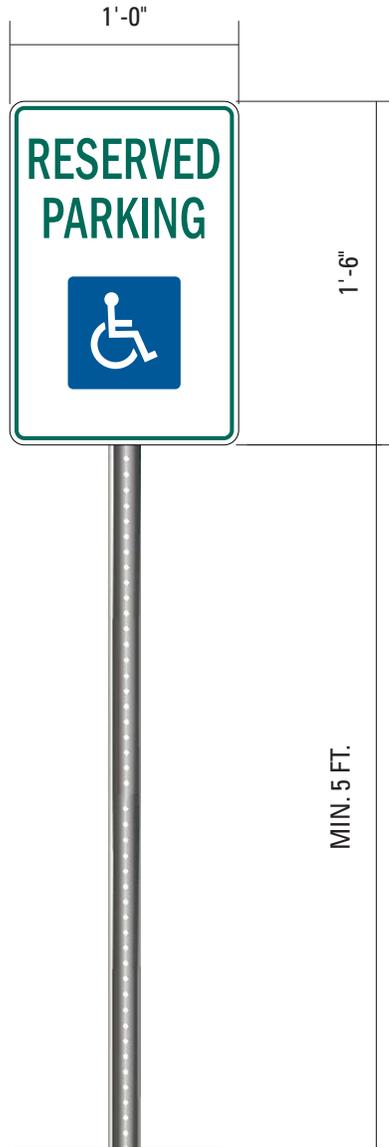
HOTEL PARKING 14

HOTEL PARKING 15

HOTEL PARKING 16

HOTEL PARKING 17

HOTEL PARKING 18





PARK AVENUE LOOKING NORTH

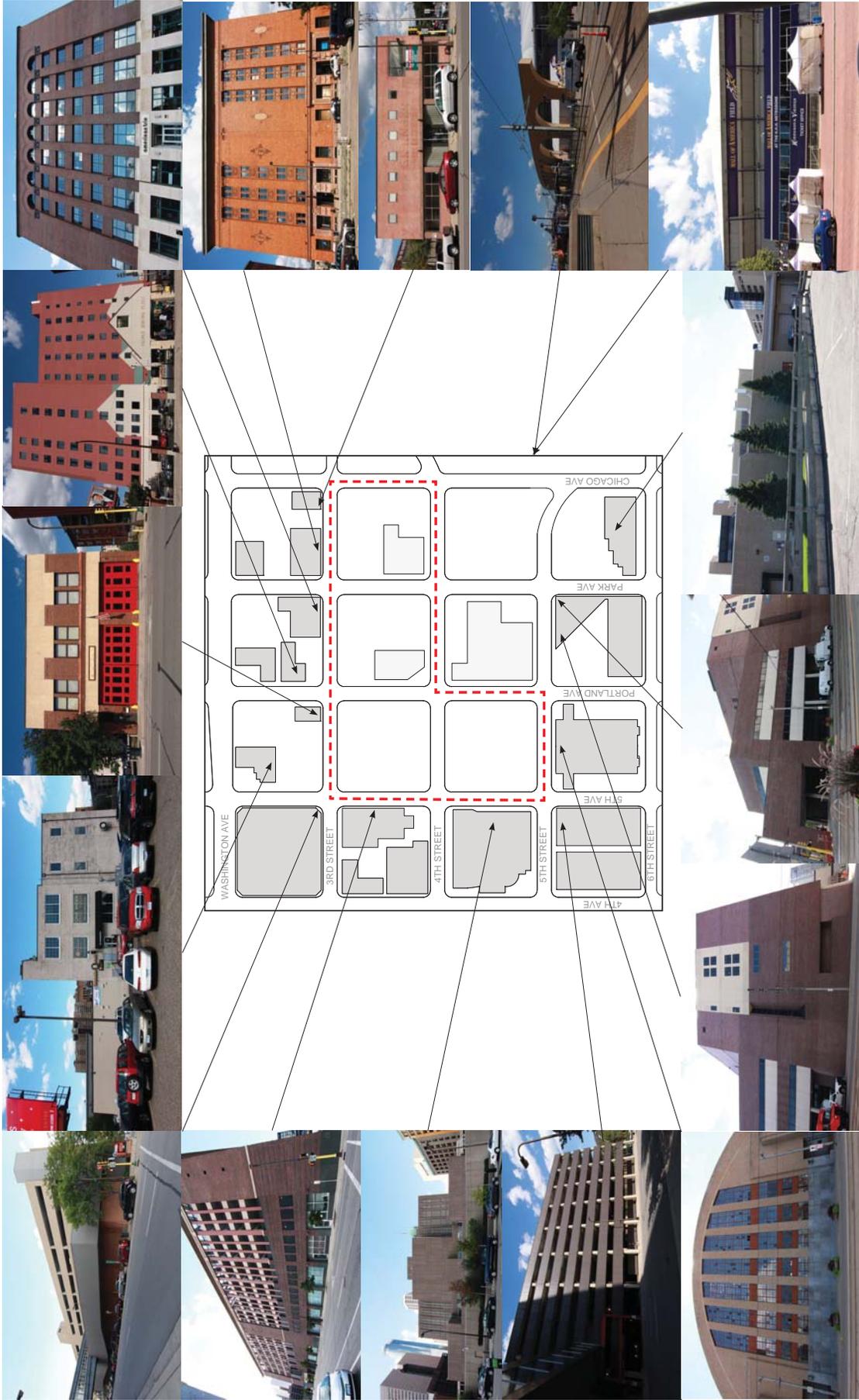


PORTLAND AVENUE LOOKING SOUTH

NOT FOR CONSTRUCTION

<p>PDR RE-SUBMITTAL JULY 20, 2015</p>	
ORIGINAL ISSUE	DATE
REVISIONS	
No.	Description
<p>2.16.2015 PROPOSED ESG, 2015 ESG, 2015 2015</p>	
<p>Radisson Red Minneapolis</p>	
<p>REFERENCE IMAGES 0.1</p>	

**DOWNTOWN EAST
SURROUNDING BUILDINGS**



Dvorak, Hilary A.

From: Carl Runck <Carl.Runck@RyanCompanies.com>
Sent: Monday, February 15, 2016 8:19 AM
To: Ritchie, Heidi; Dan Collison; chad.didonato@ecolab.com; Christie Hantge
Cc: Dvorak, Hilary A.; Dan Elenbaas
Subject: Notification of Radisson Red signage CUP at 601 3rd Street South, Minneapolis

All –

This e-mail is to inform you about proposed signage to be installed on the Radisson Red project, currently under construction at 601 3rd Street South, on the Block 69 north parcel within the Downtown East Planned Unit Development (PUD).

The specific applications filed for this project include:

- Conditional Use Permit for sign standards adjustments

The PUD was previously approved by the Planning Commission under the Phase II amendment on July 20th, 2015.

If you have any questions, please contact Dan Elenbaas at Ryan Companies (copied above, tel. 612-492-4666)

Best regards,

Carl Runck | Director of Real Estate Development
Ryan Companies US, Inc. | 50 South Tenth Street, Suite 300, Minneapolis, MN 55403-2012
612-492-4655 *tel* | 612-209-6688 *cell*

