

LAND USE APPLICATION SUMMARY

Property Location: 1400 Park Avenue, 627 14th Street East, and 622 15th Street East
Project Name: 1400 Park Avenue Apartments
Prepared By: Lisa Steiner, Senior City Planner, (612) 673-3950
Applicant: BKV Group
Project Contact: Jeff Hemer
Request: To allow a new 6-story, 245-unit mixed use building.
Required Applications:

Rezoning	Petition to rezone the property located at 622 15 th Street East from the R6 District to the OR2 District.
Conditional Use Permit	To allow an increase in maximum height from 4 stories/56 feet to 6 stories/75 feet.
Variance	To increase maximum floor area ratio from 3.0 to 3.42.
Variance	To reduce the required front yard on Park Avenue from 15 feet to 10 feet for the building and 0 feet for landings/patios and retaining walls/planters.
Variance	To reduce the required front yard on 14 th Street East from 15 feet to 10 feet for the building and 0 feet for landings/patios and retaining walls/planters.
Variance	To reduce the required front yard on 15 th Street East from 15 feet to 10 feet for the building and 5 feet for an exhaust vent, and 0 feet for landings/patios and retaining walls/planters.
Variance	To reduce the required west interior side yard from 15 feet to 7 feet for transformers and an intake vent.
Variance	To increase the maximum impervious surface requirement from 85 percent to 92 percent.
Site Plan Review	For a 6-story, 245-unit mixed use building.
Preliminary and Final Plat	To consolidate the underlying properties into one lot.

Date Application Deemed Complete	March 14, 2016	Date Extension Letter Sent	March 29, 2016
End of 60-Day Decision Period	May 13, 2016	End of 120-Day Decision Period	July 12, 2016

SITE DATA

Existing Zoning	OR2 High Density Office Residence District / R6 Multiple-Family District DP Downtown Parking Overlay District
Lot Area	78,275 square feet / 1.79 acres
Ward(s)	Ward 7; adjacent to Ward 6
Neighborhood	Elliot Park
Designated Future Land Use	Urban Neighborhood
Land Use Features	Downtown Growth Center
Small Area Plan	<u>Elliot Park Neighborhood Master Plan (2003)</u>

BACKGROUND

SITE DESCRIPTION AND PRESENT USE. The subject property consists of three parcels located at 1400 Park Avenue, 627 14th Street East, and 622 15th Street East. The site is bound by 14th Street East/Grant Street to the north, Park Avenue to the east, and 15th Street East to the south. A two-story brick building, a large surface parking lot, and a duplex are currently located on the 1.79 acre site.

SURROUNDING PROPERTIES AND NEIGHBORHOOD. The property is located in the Elliot Park neighborhood. The surrounding properties in the immediate area are mostly zoned either R6 or OR2 and include many turn-of-the-century apartment buildings which are three to four stories in height. There is some commercial zoning in the area as well. The rest of the subject block has R6 zoning and consists of 4 story multi-family residential buildings. Immediately to the west of the subject property is a surface parking lot and a locally and nationally designated landmark, the First Church of Christ Scientist, which has been vacant for many years. There is a large public right-of-way area directly north of the subject property due to the alignment of East 14th Street and Grant Street.

PROJECT DESCRIPTION. The applicant is proposing to demolish the existing two-story brick building at the corner of 14th Street East and Park Avenue as well as the duplex at 622 15th Street East. On the site, a six-story mixed use building would be constructed. The project would include 245 dwelling units and approximately 2,500 square feet of commercial space, which would be located at the corner of 14th Street East and Park Avenue. 288 parking spaces would be accommodated in two levels of underground parking. Exterior materials proposed for the new building would be primarily brick, fiber cement siding, metal panel, and composite siding accents. The applicant is also proposing to replat the underlying properties to consolidate them into one lot and to correct a property line gap issue.

The developer also recently purchased the adjacent lot to the west at 614 15th Street East. As noted above, this property is the former First Church of Christ Scientist building which is a locally and nationally designated landmark. No changes are currently proposed to the landmark and the property is not a part of the overall development project. Any major changes to the landmark would require review and approval from the Heritage Preservation Commission.

PUBLIC COMMENTS. One letter was received from the Elliot Park Neighborhood which is included in the appendix. Any additional correspondence received prior to the public meeting will be forwarded on to the Planning Commission for consideration.

ANALYSIS

REZONING

The Department of Community Planning and Economic Development has analyzed the application to rezone the property at 622 15th Street East from the R6 Multiple-Family District to the OR2 High Density Office Residence District based on the following findings:

1. Whether the amendment is consistent with the applicable policies of the comprehensive plan.

The proposed zoning would be consistent with the applicable policies of *The Minneapolis Plan for Sustainable Growth*. The property is designated as Urban Neighborhood on the future land use map and is located within the Downtown Growth Center land use feature. The Urban Neighborhood land use is intended to be a predominantly residential area with a range of densities, which may include other small-scale neighborhood-serving commercial uses. The plan notes that more intensive non-residential uses may be located in neighborhoods closer to Downtown and around Growth Centers. Although the 622 15th Street East parcel is currently zoned R6, the rest of the development site is currently zoned OR2. The rezoning of this parcel is required per Section 535.210 of the zoning code, which states that the combining of parcels shall not result in more than one primary zoning classification on a single zoning lot.

The following principles and policies outlined in the plan apply to this proposal:

Land Use Policy 1.1: Establish land use regulations to achieve the highest possible development standards, enhance the environment, protect public health, support a vital mix of land uses, and promote flexible approaches to carry out the comprehensive plan.

- 1.1.5 Ensure that land use regulations continue to promote development that is compatible with nearby properties, neighborhood character, and natural features; minimizes pedestrian and vehicular conflict; promotes street life and activity; reinforces public spaces; and visually enhances development.

Land Use Policy 1.8: Preserve the stability and diversity of the city's neighborhoods while allowing for increased density in order to attract and retain long-term residents and businesses.

- 1.8.1 Promote a range of housing types and residential densities, with highest density development concentrated in and along appropriate land use features.

Land Use Policy 1.15: Support development of Growth Centers as locations for concentration of jobs and housing, and supporting services.

- 1.15.3 Encourage the development of high- to very high-density housing within Growth Centers.

Housing Policy 3.1: Grow by increasing the supply of housing.

- 3.1.1 Support the development of new medium- and high-density housing in appropriate locations throughout the city.

Housing Policy 3.2: Support housing density in locations that are well connected by transit, and are close to commercial, cultural and natural amenities.

- 3.2.1 Encourage and support housing development along commercial and community corridors, and in and near growth centers, activity centers, retail centers, transit station areas, and neighborhood commercial nodes.

Additionally, the site is located within the boundaries of the *Elliot Park Neighborhood Master Plan*, adopted by City Council in 2003. In the plan, the subject property is located within the “Residential District” of the neighborhood, which is guided to include single and multi-family housing at a scale of 2 to 4 stories. Additionally, the plan encourages the development of “new housing between Chicago and Portland Avenues and 14th Street (Elliot Park Boulevard) and 15th Street.” The subject property is located within this area. The plan also notes objectives for new housing, business growth, and public open space, and recommends that new development continues to include a mix of housing, retail, office, restaurant, and recreational uses.

Overall, the proposed rezoning of 622 15th Street East is consistent with the above policies of the comprehensive plan and small area plan.

2. *Whether the amendment is in the public interest and is not solely for the interest of a single property owner.*

The amendment is in the public interest as it would allow the zoning lot to have consistent OR2 zoning. While more flexible in terms of permitted uses, the OR2 District is more restrictive in terms of height and bulk than the current R6 District of the parcel.

3. *Whether the existing uses of property and the zoning classification of property within the general area of the property in question are compatible with the proposed zoning classification, where the amendment is to change the zoning classification of particular property.*

The surrounding properties in the immediate area are mostly zoned either R6 or OR2 and include many turn-of-the-century apartment buildings which are three to four stories in height. The rest of the subject block has R6 zoning and consists of 4 story multi-family residential buildings. Immediately to the west of the subject property is a surface parking lot and a locally and nationally designated landmark, the First Church of Christ Scientist, which has been vacant for many years. The rezoning of this parcel to the OR2 District would be compatible with the existing uses and zoning in the general area.

4. *Whether there are reasonable uses of the property in question permitted under the existing zoning classification, where the amendment is to change the zoning classification of particular property.*

Per Section 535.210 of the zoning code, the combining of parcels shall not result in more than one primary zoning classification on a single zoning lot. Because the three parcels that make up the zoning lot do not have consistent zoning, rezoning is necessary. While the R6 District is less restrictive in terms of height and bulk regulations than the OR2 District, the OR2 District would allow the proposed commercial component of the proposal while the R6 District would not. As the parcel could not become part of the developable zoning lot unless it is zoned consistently with the other parcels, there are not reasonable uses of the parcel under the existing zoning classification. If the parcel was not part of the zoning lot, it could remain zoned R6 and the existing duplex use could remain.

5. *Whether there has been a change in the character or trend of development in the general area of the property in question, which has taken place since such property was placed in its present zoning classification, where the amendment is to change the zoning classification of particular property.*

The subject property has been zoned R6 since 1978. Prior to 1978, the lot was zoned B1-3 Office Residence District. The northeast corner of this block has been zoned office residential (OR2 and previously B1-4) continuously. When the 1999 zoning code was adopted, both the 1400 Park

Avenue parcel and 627 14th Street East parcel were rezoned to OR2, as well as several properties in the immediate area. The gradual change from R6 to OR2 zoning has been a general trend for development in the general area.

CONDITIONAL USE PERMIT

The Department of Community Planning and Economic Development has analyzed the application to increase the maximum height in the OR2 District from 4 stories or 56 feet to 6 stories, 75 feet based on the following findings:

1. *The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, comfort or general welfare.*

The maximum allowed height of a building in the OR2 High Density Office Residence District is 4 stories or 56 feet, whichever is less. The applicant is proposing a building that is 6 stories, 75 feet. The proposed 6 story/75 foot tall building will not be detrimental to or endanger the public health, safety, comfort, or general welfare provided that the development complies with all applicable building codes, life safety ordinances, and Public Works standards.

2. *The conditional use will not be injurious to the use and enjoyment of other property in the vicinity and will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.*

The property is located in a developed area with a mix of building heights and multi-family residential, commercial, and office uses. The height of surrounding buildings varies from two stories to towers which are nearly 30 stories, although the three- to four-story apartment buildings are most prevalent. Many of these surrounding properties are zoned R6, which would permit a 6-story building by-right. Diagonally across Park Avenue and 15th Street is an 18-story building.

Because the measurement of building height in the zoning code is based on the adjacent natural grade, the topography of the subject property plays an important role in the impact a building's height has in conjunction with the proposed structure's bulk and height as measured by the zoning code. The building is 75 feet in height per the zoning code definition of building height. The site has a significant grade change of over 9 feet, so the height of the building at the southwestern corner of the property would be only 67 feet.

The additional two stories, or 19 feet total, of height above what is typically permitted in the OR2 District is not expected to be injurious to the use and enjoyment of other property in the vicinity. It would not impede the normal and orderly development and improvement of surrounding properties.

3. *Adequate utilities, access roads, drainage, necessary facilities or other measures, have been or will be provided.*

The site would be accessed by vehicles on 14th Street East/Grant Street. Adequate utilities, access roads, drainage, necessary facilities or other measures, have been or will be provided.

4. *Adequate measures have been or will be taken to minimize traffic congestion in the public streets.*

The use is not expected to contribute to traffic congestion in the adjacent public streets. The applicant would provide 288 parking spaces in two levels of underground parking accessed from 14th Street East/Grant Street.

5. *The conditional use is consistent with the applicable policies of the comprehensive plan.*

The subject property is located within the Downtown Growth Center land use feature. The future land use identified for this property is Urban Neighborhood. The request for increased height would be consistent with the following general land use policies of *The Minneapolis Plan for Sustainable Growth*:

Land Use Policy 1.1: Establish land use regulations to achieve the highest possible development standards, enhance the environment, protect public health, support a vital mix of land uses, and promote flexible approaches to carry out the comprehensive plan.

- 1.1.5 Ensure that land use regulations continue to promote development that is compatible with nearby properties, neighborhood character, and natural features; minimizes pedestrian and vehicular conflict; promotes street life and activity; reinforces public spaces; and visually enhances development.

Land Use Policy 1.4: Develop and maintain strong and successful commercial and mixed use areas with a wide range of character and functions to serve the needs of current and future users.

- 1.4.4 Continue to encourage principles of traditional urban design including site layout that screens off-street parking and loading, buildings that reinforce the street wall, principal entrances that face the public sidewalks, and windows that provide “eyes on the street”.

Land Use Policy 1.8: Preserve the stability and diversity of the city's neighborhoods while allowing for increased density in order to attract and retain long-term residents and businesses.

- 1.8.1 Promote a range of housing types and residential densities, with highest density development concentrated in and along appropriate land use features.

Housing Policy 3.2: Support housing density in locations that are well connected by transit, and are close to commercial, cultural and natural amenities.

- 3.2.1 Encourage and support housing development along commercial and community corridors, and in and near growth centers, activity centers, retail centers, transit station areas, and neighborhood commercial nodes.

Additionally, the site is located within the boundaries of the *Elliot Park Neighborhood Master Plan*, adopted by City Council in 2003. The plan includes a number of design guidelines, including recommendations for streetscape, site development, architecture, parking, transit and pedestrian/bicycle connections. The plan “supports the idea of increased density and intensifying the mix of uses at specific nodes, which suggests that this community should examine a new scale of architecture at these locations: generally 4 story, but not to exceed 10 story buildings.” In the plan, the subject property is located within the “Residential District” of the neighborhood, which is guided to include single and multi-family housing at a scale of 2 to 4 stories. Additionally, the plan encourages the development of “new housing between Chicago and Portland Avenues and 14th Street (Elliot Park Boulevard) and 15th Street.” The subject property is located within this area.

Staff finds that the proposed 6-story building at this location meets the above applicable guidance in the small area plan and the *Minneapolis Plan for Sustainable Growth*.

6. *The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.*

If the requested land use applications are approved, the proposal will comply with all provisions of the R6 District.

Additional Standards to Increase Maximum Height

In addition to the conditional use permit standards, the Planning Commission shall consider, but not be limited to, the following factors when determining the maximum height of principal structures in office residence districts:

1. *Access to light and air of surrounding properties.*

The subject property fronts on three public streets. This provides adequate separation allowing for access to light and air for surrounding properties to the north, east, and south. The immediately adjacent properties include a vacant church along 14th Street, currently owned by the applicant as noted in the background section of this report, and a surface parking lot along 14th Street. Increasing the height of the proposed development should not impede access to light and air that the surrounding properties currently receive.

2. *Shadowing of residential properties, significant public spaces, or existing solar energy systems.*

The applicant has submitted a shadow study identifying shadowing impacts at various times of year. The proposed building would contribute to some shadowing of adjacent properties. Shadowing from the proposed building would be minimal from spring to fall. In winter months, some shadowing of the nearest residential properties to the west along 14th Street and the residential properties to the northeast across Park Avenue would occur. These shadowing impacts of residential uses are anticipated to be minor. There is a solar energy system southwest of the property at 15th and Portland Avenue; however the shadow studies indicate that there will not be any shadowing impact of this system. There are no other known solar energy systems that would be shadowed by the proposed development.

3. *The scale and character of surrounding uses.*

The surrounding properties in the immediate area are mostly zoned either R6 or OR2 and include many turn-of-the-century apartment buildings which are three to four stories in height. The rest of the subject block has R6 zoning and consists of 4 story multi-family residential buildings. In the R6 District, six stories would be permitted by-right. Diagonally across Park Avenue and 15th Street is an 18-story building and within a few blocks there are residential towers that are nearly 30 stories in height.

4. *Preservation of views of landmark buildings, significant open spaces or water bodies.*

Immediately to the west of the subject property is a locally and nationally designated landmark, the First Church of Christ Scientist, which has been vacant for many years. The proposed building may block views of the landmark from Park Avenue. However, the impact to these views is primarily due to the proposed development of the existing surface parking lot area and is not significantly impacted by the additional two stories of height that is requested. There are no significant open spaces or water bodies that would be impacted.

VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance of the maximum floor area ratio based on the following findings:

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

The maximum floor area ratio (FAR) for multi-family dwellings before density bonuses in the OR2 District is 2.5. This project qualifies for one 20% density bonus for enclosed parking as outlined in Section 547.130 of the zoning code. Therefore, the maximum allowed FAR of the project is 3.0. The proposed project includes 267,568 square feet of gross floor area on a site that is 78,275 square feet in area, which equals a floor area ratio of 3.42. A variance is therefore requested to increase the maximum floor area ratio from 3.0 to 3.42.

Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The site is located within the Downtown Growth Center, where development of high- to very high-density housing is encouraged. At 137 dwelling units/acre, the proposed mixed-use project is considered very-high density, which is appropriately located in a Growth Center as designated by the *Minneapolis Plan for Sustainable Growth*. The policy recommendations for high-density residential development in this location contribute to unique circumstances that have not been created by the applicant.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The purpose of the maximum floor area ratio is to measure the scale and intensity of the site being developed. The request to increase the FAR from 3.0 to 3.42 is reasonable. Although the building would exceed the floor area ratio maximum, the applicant has taken measures to reduce the building's impact by accommodating all of the off-street parking underground and within the building. The property is located in the Downtown Growth Center, which encourages high to very-high density housing. The proposed building would have a large courtyard feature which will reduce the appearance of overall bulk of the building as the building wraps the four sides of the property. Given these factors, the proposed floor area ratio will utilize the property in a reasonable manner that is in keeping with the spirit and intent of the ordinance and the comprehensive plan.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

The proposed variance will not alter the essential character of the locality or be injurious to the use and enjoyment of other property in the vicinity. The bulk and scale of buildings in the general area varies from two to 27 stories in height. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.

VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance of the required front yards along Park Avenue, 14th Street East, and 15th Street East based on the following findings:

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

Park Avenue, 14th Street East, and 15th Street East: The applicant is seeking variances to reduce the front yard setbacks from 15 feet to 10 feet for the building and 0 feet for various obstructions along Park, 14th, and 15th. In office residence districts, uses are subject to a 15 foot minimum front yard. Along all three streets, the applicant is proposing to construct the building 10 feet from the property line. Additionally, the variance request includes permitting various obstructions such as landings/patios for the walk-up units and retaining walls/planters in all three required yards, as well as an exhaust vent in the required yard on 15th Street East. The *Elliot Park Neighborhood Master Plan* recommends that “in most cases, new construction projects should place buildings close to the street (along edge of walk), matching existing building setbacks to provide continuity and encourage visual and physical interaction between building uses, sidewalk and street.” Further, the small area plan recommends that “new buildings should be constructed within six feet of the street property or right-of-way line and should extend as long as practical to define and contain space at the street's edge.” The adjacent vacant church property has a 16 foot setback for the building with walls and steps between the building and front lot line. All of the existing apartment buildings on the subject block are built directly at their front property lines with no setback. The policy recommendations and the existing context of building placement in this location contribute to unique circumstances that have not been created by the applicant.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

Park Avenue, 14th Street East, and 15th Street East: The applicant is proposing a 10 foot setback for the building with various obstructions such as planting beds/retaining walls, landings/patios, and an exhaust vent between the building and the property line. The planting beds/retaining walls vary and step up in height from 2 feet to 6 feet from the adjacent grade. The patios/landings for the walk-ups along 15th, Park, and 14th are approximately 100 square feet in area. As noted above, the small area plan recommends matching existing building setbacks and placing buildings close to the street. The *Minneapolis Plan for Sustainable Growth* also recommends that buildings reinforce the street wall. The proposed 10 foot building setback along the three streets is reasonable and the proposed patios/landings for the first level walk-ups, and the raised planting beds/retaining walls are reasonably located as they will reinforce the street wall. The vent is reasonably placed 5 feet from the property line as it will be adequately screened by landscaping. The proposal is in keeping with the spirit and intent of the ordinance and the comprehensive plan.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

Park Avenue, 14th Street East, and 15th Street East: The reduced front yard setbacks along the three streets will not alter the essential character of the locality or be injurious to the use or enjoyment of nearby property. The proposed setbacks will help reinforce the street wall in an area where multi-family buildings were historically built at their front lot lines. The variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.

VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance of the west interior side yard based on the following findings:

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

The applicant is seeking a variance to reduce the west interior side yard setback from 15 feet to 7 feet. In office residence districts, uses are subject to a minimum yard equal to five feet plus two feet for every story above the first. For this six-story building, the required interior side yard is therefore 15 feet. While the building is proposed with a 15 foot setback in this area, the transformers and an intake vent are located within the required yard, 7 feet from the western property line, requiring a variance. The proposal is subject to a 15 foot yard requirement along all four property lines. Locating the transformer equipment and intake vent in the required interior side yard would be preferable to placing the transformers and another intake vent in a required front yard along a public street. Practical difficulties exist in placing this necessary equipment outside of a required yard due to circumstances unique to the property that were not self-created.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

Placing the transformers and an intake vent within the required interior side yard is reasonable and is in keeping with the spirit and intent of the ordinance and the comprehensive plan. The building location complies with the required side yard and the equipment will be 7 feet from the property line.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

The variance to reduce the interior side yard from 15 feet to 7 feet for transformers and an intake vent will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. The proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.

VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance of the maximum impervious surface coverage based on the following findings:

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

The maximum impervious surface coverage permitted in the office residence districts is 85 percent. The zoning code defines impervious surfaces as materials which significantly reduce or prevent natural absorption of stormwater into the soil and cause water to run off the surface in greater quantities and at an increased rate of flow. As proposed, 92 percent of the site would be covered with impervious surfaces. The applicant's proposal incorporates two levels of underground parking and a six-story building with an approximately 18,500 square foot courtyard area at the center of the site. The applicant is proposing to utilize an approximately 6,250 square foot green roof system

at the courtyard to provide some additional filtration and reduction of stormwater runoff. However, green roof systems are considered impervious surface per the zoning code and therefore the proposal exceeds its maximum impervious surface coverage requirement. Several paths and walk-ups between the building and the property line also contribute to the impervious surface coverage of the site but meet policies in the small area plan and comprehensive plan as noted in the variance analysis above. Considering all of these factors, practical difficulties exist in complying with ordinance because of unique circumstances that were not self-created.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The requested variance would allow for the property to be developed in a reasonable manner with a high-density mixed use building. The request would also be in keeping with the spirit and intent of the ordinance and the comprehensive plan. In addition to allowing for orderly development and use of land, the purpose of the impervious surface limitations is to prevent soil erosion, minimize off-site stormwater runoff, and encourage natural filtration function. The proposed development exceeds the maximum by 7 percent or 5,480 square feet. The applicant is proposing to utilize a green roof system that covers 6,250 square feet of the courtyard area. While this green roof system is still counted as impervious surface per the zoning code, it would allow for more filtration than other materials and reduce the amount of off-site stormwater runoff, in keeping with the intent of the ordinance. If the green roof system were counted as pervious surface, the site would comply with the impervious surface coverage maximum. Staff recommends a condition of approval to ensure that the green roof system shown in submitted plans is incorporated in final plans.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

There is a large landscaped public right-of-way area north of the subject property where 14th Street East and Grant Street meet. The applicant is proposing to plant several trees, perennials, and a turf lawn in this area. This additional landscaping in the public right-of-way will help to offset the increased impervious surfaces on the site. There will also be approximately 6,250 square feet of a green roof system at the courtyard area. The applicant will continue to work with the Surface Water & Sewers division of Public Works regarding stormwater management on the site. The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of nearby property. The variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.

SITE PLAN REVIEW

The Department of Community Planning and Economic Development has analyzed the application based on the required [findings](#) and [applicable standards](#) in the site plan review chapter:

1. Conformance to all applicable standards of Chapter 530, Site Plan Review.

BUILDING PLACEMENT AND DESIGN

Building placement – Meets requirements

- The first floor of a building is required to be within 8 feet of the front lot line except where a greater yard is required. There is a 15 foot required yard along all three streets. The building is

located ten feet from the front lot lines on Park, 14th, and 15th. Variances have been requested and are being recommended for approval as analyzed above.

- The placement of the building reinforces the street wall, maximizes natural surveillance and visibility, and facilitates pedestrian access and circulation.
- The area between the building and lot line includes amenities such as landscaping planters, walk-up unit stairs and patios, and tables at the corner of 14th and Park.
- All on-site accessory parking is located entirely within an enclosed structure and partially below grade. Due to the grade changes on the site, approximately 6 feet of the parking garage would be above grade along most of the Park Avenue and 14th Street residential portions of the building, as well as about half of the 15th Street elevation.

Principal entrances – Meets requirements

- The building is oriented so that at least one principal entrance faces the front property line. The subject property has three front yards. The main entry into the commercial space at the northeast corner is a vestibule area with entrances facing both 14th Street/Grant Street and Park Avenue. Another entrance for the residential units is located on 15th Street East. Additionally, there are individual walk-up entries to the first floor units along all three streets.
- All principal entrances are clearly defined and emphasized through the use of architectural features such as canopies.

Visual interest – Requires alternative compliance

- The building walls provide architectural detail and contain windows in order to create visual interest.
- The proposed building emphasizes architectural elements, such as recesses, projections, windows, and walk-up entries to divide the building into smaller identifiable sections.
- There are blank, uninterrupted walls exceeding 25 feet in length, including a 48 foot blank wall on the east elevation and a 40 foot blank wall on the west elevation. These require alternative compliance.

Exterior materials – Requires alternative compliance

- The applicant is proposing brick, fiber cement siding, and metal panel as the building's primary exterior materials. Each elevation would comply with the City's durability standards for exterior materials. Please note that exterior material changes at a later date may require review by the Planning Commission and an amendment to the site plan review.
- The east, south, and west elevations are consistent with the City's policy of allowing no more than three exterior materials per elevation, excluding windows, doors, and foundation materials. Several additional materials are proposed for trim or accents. The north elevation incorporates four primary materials -- metal panel, brick, and two types of fiber cement siding, and therefore requires alternative compliance.
- Plain face concrete block is not proposed.
- The exterior materials and appearance of the rear and side walls of the building are similar to and compatible with the front of the building.

Windows – Requires alternative compliance

- For residential uses, the zoning code requires that no less than 20 percent of the walls on the first floor, and no less than ten percent of the walls on each floor above the first that face a public street shall be windows. The project is in compliance with the minimum window requirement on the 15th Street East elevation but is not in compliance on the Park Avenue or 14th Street East elevations (see Table 1). These elevations require alternative compliance.

- For nonresidential uses, the zoning code requires that no less than 30 percent of the walls on the first floor are windows with clear or lightly tinted glass with a visible light transmittance ratio of six-tenths (0.6) or higher. The project is in compliance with the minimum nonresidential window area requirement (see Table I). However, because the applicant has not indicated the visual light transmittance of the proposed glass in the nonresidential portion of the building, staff recommends a condition of approval which ensures that the glass will meet that requirement.
- All windows are vertical in proportion and are evenly distributed along the building walls.

Table I. Percentage of Windows per Applicable Elevation

	Code Requirement		Proposed	
Residential Uses				
Park: 1st floor	20% minimum	288 sq. ft.	18%	267 sq. ft.
Park: 2nd floor and above	10% minimum	Varies	Varies – meets requirements	
14 th Street: 1 st floor	20% minimum	256 sq. ft.	12%	157 sq. ft.
14 th Street: 2nd floor and above	10% minimum	Varies	Varies – meets requirements	
15 th Street: 1 st floor	20% minimum	448 sq. ft.	28%	637 sq. ft.
15 th Street: 2nd floor and above	10% minimum	Varies	Varies – meets requirements	
Nonresidential Uses				
Park: 1st floor	30% minimum	103 sq. ft.	62%	213 sq. ft.
14 th Street: 1st floor	30% minimum	178 sq. ft.	80%	478 sq. ft.

Ground floor active functions – Meets requirements

- All of the first floor building frontages facing Park Avenue, 14th Street East, and 15th Street East contain active functions.

Roof line – Meets requirements

- The principal roof line of the building will be flat, which is similar to that of surrounding buildings.

Parking garages – Meets requirements

- All of the proposed parking is located enclosed within the building and partially below ground.
- Although portions of the garage are above grade, the parking garage does not qualify as a story and therefore is not subject to typical ground floor window requirements and active use requirements.

ACCESS AND CIRCULATION

Pedestrian access – Meets requirements

- There are clear and well-lit walkways at least four feet in width connecting building entrances to the adjacent public sidewalk and on-site parking facilities.

Transit access – Meets requirements

- No transit shelters are proposed as part of this development.

Vehicular access – Meets requirements

- Vehicular access and circulation has been designed to minimize conflicts with pedestrian traffic and with surrounding residential uses.

- Curb cuts have been consolidated. Five existing curb cuts would be closed and the site would be accessed by one new curb cut at the northwest portion of the site.
- There are no public alleys adjacent to the site.
- Service vehicle access would not conflict with pedestrian traffic. The applicant is proposing a loading zone on the first level of the parking garage. Potential on-street loading areas may also be incorporated but must be approved by Public Works.
- The proposed site plan exceeds its impervious surface coverage maximum. Staff is recommending approval of that variance as noted in the variance analysis section above.

LANDSCAPING AND SCREENING

General landscaping and screening – Requires alternative compliance

- The overall composition and location of landscaped areas complement the scale of development and its surroundings.
- At least 20 percent of the site not occupied by the building is landscaped. The applicant is proposing approximately 4,803 square feet of landscaping on site, or approximately 29 percent of the site not occupied by buildings (see Table 2). Most of this landscaping is located in planters along the walk-up entries and in the stepped retaining wall planters along Park Avenue.
- The tree requirement for the site is 7 canopy trees and the applicant is proposing a total of 5 canopy trees on site. Additionally, the applicant is proposing 15 canopy trees in the large public right-of-way area north of the property. However, because these are not on the actual property, alternative compliance is still required.
- The applicant is proposing at least one shrub per 100 square feet of the required landscaped area, including all required landscaped yards. The shrub requirement for the site is 33 and the applicant is proposing 133 shrubs.
- The remainder of the required landscaped area is covered with perennials, shrubs, and ornamental trees.

Table 2. Landscaping and Screening Requirements

	Code Requirement	Proposed
Lot Area	--	78,275 sq. ft.
Building Footprint	--	61,722 sq. ft.
Remaining Lot Area	--	16,553 sq. ft.
Landscaping Required	3,311 sq. ft.	4,803 sq. ft.
Canopy Trees (1:500 sq. ft.)	7 trees	5 trees
Shrubs (1:100 sq. ft.)	33 shrubs	133 shrubs

Parking and loading landscaping and screening – Meets requirements

- There is no surface parking proposed for the site, so the site is not subject to the screening and landscaping requirements for parking areas per section 530.170.
- Information included in the landscape plan indicates that the plant materials, and installation and maintenance of the plant materials, would comply with sections 530.200 and 530.210 of the zoning code.
- All other areas not occupied by buildings, parking and loading facilities, or driveways would be covered with grasses, perennials, shrubs, and trees.

ADDITIONAL STANDARDS

Concrete curbs and wheel stops – *Not applicable*

- There are no surface parking spaces proposed on the site.

Site context – *Meets requirements*

- Immediately to the west of the subject property is a locally and nationally designated landmark, the First Church of Christ Scientist, which has been vacant for many years. The proposed building may block views of the landmark from Park Avenue. However, the impact to these views is primarily due to the proposed development of the existing surface parking lot area and is not significantly impacted by the additional two stories of height that is requested. There are no significant open spaces or water bodies that would be impacted. There are no other elements of the city near the site that will be obstructed by the proposed building.
- This building should have minimal shadowing effects on public spaces and adjacent properties.
- This building has been designed to minimize the generation of wind currents at ground level.

Crime prevention through environmental design – *Meets requirements*

- The site plan employs best practices to increase natural surveillance and visibility, to control and guide movement on the site, and to distinguish between public and non-public spaces.
- The proposed site, landscaping, and building promote natural observation and maximize the opportunities for people to observe adjacent spaces and public sidewalks.
- The project provides lighting on site, at all building entrances, and along walkways that maintains a minimum acceptable level of security while not creating glare or excessive lighting of the site.
- The landscaping, sidewalks, lighting, fencing, and building features are located to clearly guide pedestrian movement on or through the site and to control and restrict people to appropriate locations.
- The entrances, exits, fencing, landscaping, and lighting are located to distinguish between public and private areas, to control access, and to guide people coming to and going from the site.

Historic preservation – *Meets requirements*

- This site is neither historically designated nor is it located in a historic district.

2. Conformance with all applicable regulations of the zoning ordinance.

The proposed use is permitted in the OR2 District.

Off-street Parking and Loading – *Meets requirements*

- The restaurant use does not have a parking requirement as it is less than 4,000 square feet in area and is located within the DP Downtown Parking Overlay District. The site qualifies for the transit incentive outlined in Section 541.200 of the zoning code which reduces the typical 245 space residential minimum parking requirement by fifty percent to 122 spaces. The total minimum parking requirement is therefore 122 spaces (see Table 3).
- The minimum bicycle parking requirement is three spaces for the restaurant use and 123 spaces for the dwelling units. The applicant is providing 126 spaces for the residential units in the underground parking garage. Ten bicycle parking spaces would be available on the northeast corner of the site for the commercial use. These spaces would be in the public right-of-way, not on the property, and will require an encroachment permit from Public Works (see Table 4).
- The off-street loading requirement for the residential use is one small loading space. There is not a loading requirement for the commercial use. The applicant is providing one small loading space on

the first level of the parking garage. This space would be utilized for move in and move out purposes (see Table 5).

Table 3. Vehicle Parking Requirements Per Use (Chapter 54I)

Use	Minimum	Reductions	Total with Reductions	Maximum Allowed	Proposed
Restaurant, sit down	7	DP Overlay (7 spaces)	0	38	0
Residential Dwellings	245	Transit Incentives (123)	122	417	288
	252	130	122	455	288

Table 4. Bicycle Parking Requirements (Chapter 54I)

Use	Minimum	Short-Term	Long-Term	Proposed
Restaurant, sit down	3	Not less than 50%	--	10 (in public right-of-way)
Residential Dwellings	123	--	Not less than 90%	126
	126	--	--	136

Table 5. Loading Requirements (Chapter 54I)

Use	Loading Requirement	Minimum Requirement	Proposed
Restaurant, sit down	Low	None	None
Residential Dwellings	None	One small	One small

Building Bulk and Height – Requires variance(s)

- The applicant has requested a conditional use permit to increase the height of the building from 4 stories or 56 feet to six stories, 75 feet. The applicant has also requested a variance to increase the maximum floor area ratio from 3.0 to 3.42. Staff is recommending approval of both applications as evaluated above. (see Table 6).

Table 6. Building Bulk and Height Requirements

	Code Requirement	Proposed
Lot Area	--	78,275 sq. ft. / 1.79 acres
Gross Floor Area	--	267,568 sq. ft.
Floor Area Ratio (Maximum)	3.0	3.42
Building Height (Maximum)	4 stories or 56 feet, whichever is less	6 stories/75 feet

Lot Requirements – Requires variance(s)

- The lot is covered with 92 percent impervious surfaces, which requires a variance. The lot coverage, which does not include the courtyard area in the calculation, complies with the requirement (see Table 7).

Table 7. Lot Requirements Summary

	Code Requirement	Proposed
Dwelling Units (DU)	--	245 DUs
Density (DU/acre)	--	137 DU/acre
Impervious Surface Area (Maximum)	85%	92%
Lot Coverage (Maximum)	70%	59%

Yard Requirements – Requires variance(s)

- The proposal requires variances of the front yards along Park Avenue, 14th Street, and 15th Street, as well as a variance of the west interior side yard (see Table 8). Staff is recommending approval of these variances.

Table 8. Minimum Yard Requirements

Setback	Zoning District	Proposed
Front (East)	15 ft.	10 ft. for building 0 ft. for obstructions
Front (North)	15 ft.	10 ft. for building 0 ft. for obstructions
Front (South)	15 ft.	10 ft. for building 0 ft. for obstructions
Interior Side (West)	15 ft.	7 ft. for transformer and vent

Signs – Meets requirements

- All signs are subject to Chapter 543, On-Premise Signs. No specific signage is currently proposed. The applicant will be required to submit a separate sign permit application for any signage that is proposed.

Screening of Mechanical Equipment – Meets requirements with Conditions of Approval

- All mechanical equipment is subject to the screening requirements of Chapter 535 and district requirements, including:

535.70. Screening of mechanical equipment.

- a) *In general.* All mechanical equipment installed on or adjacent to structures shall be arranged so as to minimize visual impact using one (1) of the following methods. All screening shall be kept in good repair and in a proper state of maintenance.
 - 1) Screened by another structure. Mechanical equipment installed on or adjacent to a structure may be screened by a fence, wall or similar structure. Such screening structure shall comply with the following standards:
 - a. The required screening shall be permanently attached to the structure or the ground and shall conform to all applicable building code requirements.
 - b. The required screening shall be constructed with materials that are architecturally compatible with the structure.

- c. Off-premise advertising signs and billboards shall not be considered required screening.
 - 2) Screened by vegetation. Mechanical equipment installed adjacent to the structure served may be screened by hedges, bushes or similar vegetation.
 - 3) Screened by the structure it serves. Mechanical equipment on or adjacent to a structure may be screened by a parapet or wall of sufficient height, built as an integral part of the structure.
 - 4) Designed as an integral part of the structure. If screening is impractical, mechanical equipment may be designed so that it is balanced and integrated with respect to the design of the building.
- The applicant is proposing individual HVAC units for each dwelling unit which the applicant indicates have been designed with the intent that they appear as an integral part of the structure. However, the applicant has not indicated on their plans whether the color of the louvers would match the adjacent materials. The louvers of the units appear to all be one color on the renderings provided in the application. Staff recommends a condition of approval requiring the individual HVAC unit louvers to match the color of the directly adjacent exterior material so as to balance and integrate the systems with the design of the building. This will minimize their visual impact. Staff also encourages the applicant to locate these units, wherever possible, on portions of the building that are perpendicular to the public street in order to minimize their visibility.
- No rooftop mechanical equipment is shown on the plans submitted; any additional mechanical equipment shall be required to comply with the standards above.

Refuse Screening – Meets requirements

- All refuse and recycling storage containers are located within the building.

Lighting – Meets requirements

- Existing and proposed lighting must comply with Chapter 535 and Chapter 541 of the zoning code, including:

535.590. Lighting.

- a) *In general.* No use or structure shall be operated or occupied as to create light or glare in such an amount or to such a degree or intensity as to constitute a hazardous condition, or as to unreasonably interfere with the use and enjoyment of property by any person of normal sensitivities, or otherwise as to create a public nuisance.
- b) *Specific standards.* All uses shall comply with the following standards except as otherwise provided in this section:
 - 1) Lighting fixtures shall be effectively arranged so as not to directly or indirectly cause illumination or glare in excess of one-half (1/2) footcandle measured at the closest property line of any permitted or conditional residential use, and five (5) footcandles measured at the street curb line or nonresidential property line nearest the light source.
 - 2) Lighting fixtures shall not exceed two thousand (2,000) lumens (equivalent to a one hundred fifty (150) watt incandescent bulb) unless of a cutoff type that shields the light source from an observer at the closest property line of any permitted or conditional residential use.
 - 3) Lighting shall not create a sensation of brightness that is substantially greater than ambient lighting conditions as to cause annoyance, discomfort or decreased visual performance or visibility to a person of normal sensitivities when viewed from any permitted or conditional residential use.

- 4) Lighting shall not create a hazard for vehicular or pedestrian traffic.
 - 5) Lighting of building facades or roofs shall be located, aimed and shielded so that light is directed only onto the facade or roof.
- The applicant is proposing several lighting fixtures throughout the site. The information submitted in the application indicates that the proposed lighting plan meets the standards listed above.

Fences – Meets requirements

- Fences must comply with the requirements in Chapter 535. The applicant is proposing a 6 foot tall ornamental fence along the west side interior property line. This height is permitted because the adjoining properties have maintained a minimum interior side yard of at least 5 feet. The fence location complies with the required 15 foot front yards on both 14th Street East and 15th Street East.

Specific Development Standards – Not applicable

DP Downtown Parking Overlay District Standards – Meets requirements

- The proposal is in compliance with the DP Downtown Parking Overlay District standards.

3. Conformance with the applicable policies of The Minneapolis Plan for Sustainable Growth.

The Minneapolis Plan for Sustainable Growth identifies the site as Urban Neighborhood on the future land use map. The proposed development is consistent with the following principles and policies outlined in the comprehensive plan:

Land Use Policy 1.4: Develop and maintain strong and successful commercial and mixed use areas with a wide range of character and functions to serve the needs of current and future users.

- 1.4.4 Continue to encourage principles of traditional urban design including site layout that screens off-street parking and loading, buildings that reinforce the street wall, principal entrances that face the public sidewalks, and windows that provide “eyes on the street”.

Land Use Policy 1.8: Preserve the stability and diversity of the city's neighborhoods while allowing for increased density in order to attract and retain long-term residents and businesses.

- 1.8.1 Promote a range of housing types and residential densities, with highest density development concentrated in and along appropriate land use features.

Housing Policy 3.2: Support housing density in locations that are well connected by transit, and are close to commercial, cultural and natural amenities.

- 3.2.1 Encourage and support housing development along commercial and community corridors, and in and near growth centers, activity centers, retail centers, transit station areas, and neighborhood commercial nodes.

Urban Design Policy 10.1: Promote building designs and heights that enhance and complement the image and form of the Downtown skyline, provide transition to the edges of Downtown and protect the scale and quality in areas of distinctive physical or historical character.

10.1.2 Building placement should preserve and enhance public view corridors that focus attention on natural or built features, such as landmark buildings, significant open spaces or water bodies.

10.1.3 Building placement should allow light and air into the site and surrounding properties.

Urban Design Policy 10.2: Integrate pedestrian scale design features into Downtown site and building designs and infrastructure improvements.

10.2.1 The ground floor of buildings should be occupied by active uses with direct connections to the sidewalk.

10.2.2 The street level of buildings should have windows to allow for clear views into and out of the building.

10.2.3 Ensure that buildings incorporate design elements that eliminate long stretches of blank, inactive building walls such as windows, green walls, architectural details, and murals.

10.2.4 Integrate components in building designs that offer protection to pedestrians, such as awnings and canopies, as a means to encourage pedestrian activity along the street.

10.2.8 Coordinate site designs and public right-of-way improvements to provide adequate sidewalk space for pedestrian movement, street trees, landscaping, street furniture, sidewalk cafes and other elements of active pedestrian areas.

Urban Design Policy 10.4: Support the development of residential dwellings that are of high quality design and compatible with surrounding development.

10.4.1 Maintain and strengthen the architectural character of the city's various residential neighborhoods.

10.4.2 Promote the development of new housing that is compatible with existing development in the area and the best of the city's existing housing stock.

Urban Design Policy 10.5: Support the development of multi-family residential dwellings of appropriate form and scale.

10.5.3 Large-scale, high-rise, multi-family residential development is more appropriate in the Downtown Minneapolis Growth Center.

Urban Design Policy 10.6: New multi-family development or renovation should be designed in terms of traditional urban building form with pedestrian scale design features at the street level.

10.6.1 Design buildings to fulfill light, privacy, and view requirements for the subject building as well as for adjacent properties by building within required setbacks.

10.6.3 Provide appropriate physical transition and separation using green space, setbacks or orientation, stepped down height, or ornamental fencing to improve the compatibility between higher density and lower density residential uses.

10.6.4 Orient buildings and building entrances to the street with pedestrian amenities like wider sidewalks and green spaces.

10.6.5 Street-level building walls should include an adequate distribution of windows and architectural features in order to create visual interest at the pedestrian level.

10.6.6 Integrate transit facilities and bicycle parking amenities into the site design.

Urban Design Policy 10.9: Support urban design standards that emphasize traditional urban form with pedestrian scale design features at the street level in mixed-use and transit-oriented development.

- 10.9.1 Encourage both mixed-use buildings and a mix of uses in separate buildings where appropriate.
- 10.9.2 Promote building and site design that delineates between public and private spaces
- 10.9.4 Coordinate site designs and public right-of-way improvements to provide adequate sidewalk space for pedestrian movement, street trees, landscaping, street furniture, sidewalk cafes and other elements of active pedestrian areas.

CPED finds that the proposed development is in conformance with the above policies of *The Minneapolis Plan for Sustainable Growth*.

4. Conformance with applicable development plans or objectives adopted by the City Council.

The site is located within the boundaries of the *Elliot Park Neighborhood Master Plan*, adopted by City Council in 2003. The plan includes a number of design guidelines, including recommendations for streetscape, site development, architecture, parking, transit and pedestrian/bicycle connections. The design guidelines recommend that new buildings be placed close to the street and match existing setbacks in the area to provide continuity and to encourage visual and physical interaction between the building and the street. Streetscape design guidelines note the importance of landscaping, walls, and fences to delineate between public and private space. Staff finds that the proposal meets the applicable guidance in the small area plan.

5. Alternative compliance.

The Planning Commission or zoning administrator may approve alternatives to any site plan review requirement upon finding that the project meets one of three criteria required for alternative compliance. Alternative compliance is requested for the following requirements:

- **Visual interest.** There are blank, uninterrupted walls exceeding 25 feet in length, including a 48 foot blank wall on the east elevation and a 40 foot blank wall on the west elevation. These require alternative compliance. The blank wall on the east elevation is located at the southernmost portion of the elevation where two stairways lead to first floor units. Due to the grade of the site, six feet of the blank wall is actually at the level of the underground parking garage area. The applicant would plant several shrubs and ornamental trees between the sidewalk and this blank wall (some on the property and some on public right-of-way) which would mitigate the impact of the blank wall. Staff finds that this alternative meets the intent of the requirement and recommends granting alternative compliance for this wall. The blank wall on the west elevation is located at the northernmost portion of the elevation. There is a six-foot fence that would obscure this blank wall from the public street and the adjacent property. Because of the limited public visibility of this blank wall, staff finds that granting alternative compliance is reasonable.
- **Exterior materials.** The north elevation incorporates four primary materials – brick, metal panel, and two types of fiber cement siding, and therefore requires alternative compliance. All other elevations utilize three materials. Because only an 80 foot section of the sixth floor is the one-quarter inch fiber cement siding, and the north elevation is essentially split into two elevations due to the courtyard feature, staff finds that granting alternative compliance is reasonable. The one-quarter inch fiber cement siding is proposed on the west elevation, so its location on the north elevation allows that material to wrap the sixth floor around the corner of the building. The metal panel portion of the elevation wraps to the east elevation. While more than three materials on one

elevation is typically discouraged, staff finds the minimal use of a fourth exterior material on this elevation adequately meets the intent of the standard.

- **Windows.** The project is not in compliance with window requirements on the first floor of the Park Avenue or 14th Street East elevations. The applicant is proposing 18 percent windows on the ground floor along Park Avenue, where 20 percent is required. There is an approximately 9 foot grade change on the site. Because of how the applicant has chosen to account for this grade change, the first level of the building is about six feet from grade along Park Avenue and 14th Street. This has a significant impact on the window requirement calculations on these elevations, since windows are measured between 2 and 10 feet from adjacent grade. On Park Avenue, there are several sliding glass doors on the first level of this elevation which increase the amount of glass but are not included in the window percentage calculation. Since the parking garage does not extend above grade in the nonresidential portion of the building, the proposal exceeds its 30 percent nonresidential window requirement on Park Avenue by 32 percent. Staff recommends granting alternative compliance due to the increased window area in the directly adjacent nonresidential area of this elevation and the additional glass that is provided in the sliding glass door areas. On 14th Street East, the applicant is proposing to incorporate only 157 square feet (12 percent) of glass (measured between 2 and 10 feet from adjacent grade), where 256 square feet (20 percent) would be required. This window calculation is similarly impacted by the chosen first floor elevation. While the proposal exceeds the nonresidential window requirement on this elevation, those windows are 60 to 120 feet from the nearest residential window and in that case does not adequately mitigate the reduced residential windows. In the submitted renderings of the building, the garage doors are shown to be mostly transparent. This is not indicated on the elevation drawings. However, staff finds that incorporating the additional required 99 square feet of windows in the transparent garage doors or the adjacent pedestrian door would adequately mitigate the negative impacts of the proposal. The two garage doors are 75 square feet each, so two-thirds of the garage door would need to be transparent, or less if glass is incorporated in the pedestrian door. Therefore, staff recommends a condition of approval requiring compliance with the residential window requirement on this elevation, but with the flexibility that transparency in the garage or pedestrian doors can be utilized to satisfy that requirement.
- **General landscaping and screening.** The tree requirement for the site is 7 canopy trees and the applicant is proposing a total of 5 canopy trees on site. The applicant is also proposing 15 canopy trees in the large public right-of-way area north of the property. Because these are not on the actual property, alternative compliance is still required. Considering the additional trees proposed in the public right-of-way, as well as the proposal's incorporation of 100 shrubs in excess of their requirement, staff finds that the alternative meets the intent of the requirement and recommends granting alternative compliance.

PRELIMINARY AND FINAL PLAT

The Department of Community Planning and Economic Development has analyzed the application for a preliminary and final plat based on the following findings:

1. *The subdivision is in conformance with these land subdivision regulations, the applicable regulations of the zoning ordinance and policies of the comprehensive plan.*
The subdivision is in conformance with the applicable zoning code regulations and policies of the comprehensive plan, as evaluated above. The proposed plat will be in conformance with the land subdivision regulations. The development site currently includes three parcels which had originally been platted as several different lots. The site also includes a formerly vacated public alley. The applicant has applied to replat the property in order to resolve a property line gap issue along the western side of the property.

2. *The subdivision will not be injurious to the use and enjoyment of other property in the immediate vicinity, nor be detrimental to present and potential surrounding land uses, nor add substantially to congestion in the public streets.*

The plat should have no impact on the surrounding area.

3. *All land intended for building sites can be used safely without endangering the residents or users of the subdivision or the surrounding area because of flooding, erosion, high water table, soil conditions, improper drainage, steep slopes, rock formations, utility easements or other hazard.*

The site has an approximately 9 foot grade change, but this grade change should not impact the ability to develop the property. The site does not present the other noted hazards.

4. *The lot arrangement is such that there will be no foreseeable difficulties, for reasons of topography or other conditions, in securing building permits and in providing driveway access to buildings on such lots from an approved street. Each lot created through subdivision is suitable in its natural state for the proposed use with minimal alteration.*

The proposed lot is buildable, has street frontage on three streets, and is suitable for the proposed use.

5. *The subdivision makes adequate provision for stormwater runoff, and temporary and permanent erosion control in accordance with the rules, regulations and standards of the city engineer and the requirements of these land subdivision regulations. To the extent practicable, the amount of stormwater runoff from the site after development will not exceed the amount occurring prior to development.*

The Surface Waters and Sewers division of Public Works Department has initially reviewed the project for appropriate drainage and stormwater management. Specific comments related to stormwater can be found in the attached Preliminary Development Review report.

FOR REZONINGS ONLY

ZONING PLATE NUMBER. 20

LEGAL DESCRIPTION. West 1/2 of Lot 26, Auditor's Subdivision No. 1, Hennepin County, Minnesota.

RECOMMENDATIONS

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt staff findings for the applications by BKV Group for the properties located at 1400 Park Avenue, 627 14th Street East, and 622 15th Street East:

A. Rezoning the property located at 622 15th Street East from the R6 District to the OR2 District.

Recommended motion: **Approve** the application for a rezoning.

B. Conditional Use Permit to increase height from 4 stories or 56 feet to 6 stories, 75 feet in the OR2 District.

Recommended motion: **Approve** the application for an increase in maximum height, subject to the following conditions:

- I. The conditional use permit shall be recorded with Hennepin County as required by Minn. Stat. 462.3595, subd. 4 before building permits may be issued or before the use or activity requiring a conditional use permit may commence. Unless extended by the zoning administrator, the conditional use permit shall expire if it is not recorded within two years of approval.

C. Variance of the maximum floor area ratio.

Recommended motion: **Approve** the application for a variance of the maximum floor area ratio from 3.0 to 3.42.

D. Variance of the required front yard on Park Avenue.

Recommended motion: **Approve** the application for a variance of the required front yard on Park Avenue from 15 feet to 10 feet for the building and 0 feet for landings/patios and retaining walls/planters.

E. Variance of the required front yard on 14th Street East.

Recommended motion: **Approve** the application for a variance of the required front yard on 14th Street East from 15 feet to 10 feet for the building and 0 feet for landings/patios and retaining walls/planters.

F. Variance of the required front yard on 15th Street East.

Recommended motion: **Approve** the application for a variance of the required front yard on 15th Street East from 15 feet to 10 feet for the building, 5 feet for an exhaust vent, and 0 feet for landings/patios and retaining walls/planters.

G. Variance of the west interior side yard.

Recommended motion: **Approve** the application for a variance of the required interior side yard from 15 feet to 7 feet for transformers and an intake vent.

H. Variance of the maximum impervious surface coverage.

Recommended motion: **Approve** the application to increase the maximum impervious surface requirement from 85 percent to 92 percent, subject to the following conditions:

- I. A green roof system, as shown on submitted plans, shall be incorporated in the courtyard area.

I. Site Plan Review for a new six-story, 245-unit mixed-use building.

Recommended motion: **Approve** the application for a new six-story, 245-unit mixed-use building, subject to the following conditions:

1. All site improvements shall be completed by May 13, 2018, unless extended by the Zoning Administrator, or the permit may be revoked for non-compliance.
2. CPED staff shall review and approve the final site, elevation, landscaping, and lighting plans before building permits may be issued.
3. The first floor windows of the nonresidential portion of the building shall have clear or lightly tinted glass with a visible light transmittance ratio of six-tenths (0.6) or higher.
4. The individual HVAC unit louvers shall match the color of the directly adjacent exterior materials so as to better balance and integrate the systems with the design of the building.
5. At least 256 square feet of transparency shall be incorporated in the residential portion of the north elevation. Transparency within garage or pedestrian doors may be utilized towards this requirement.

J. Preliminary and Final Plat (PL-304).

Recommended motion: **Approve** the preliminary and final plat.

ATTACHMENTS

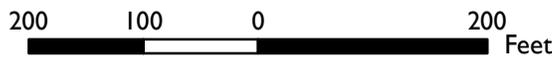
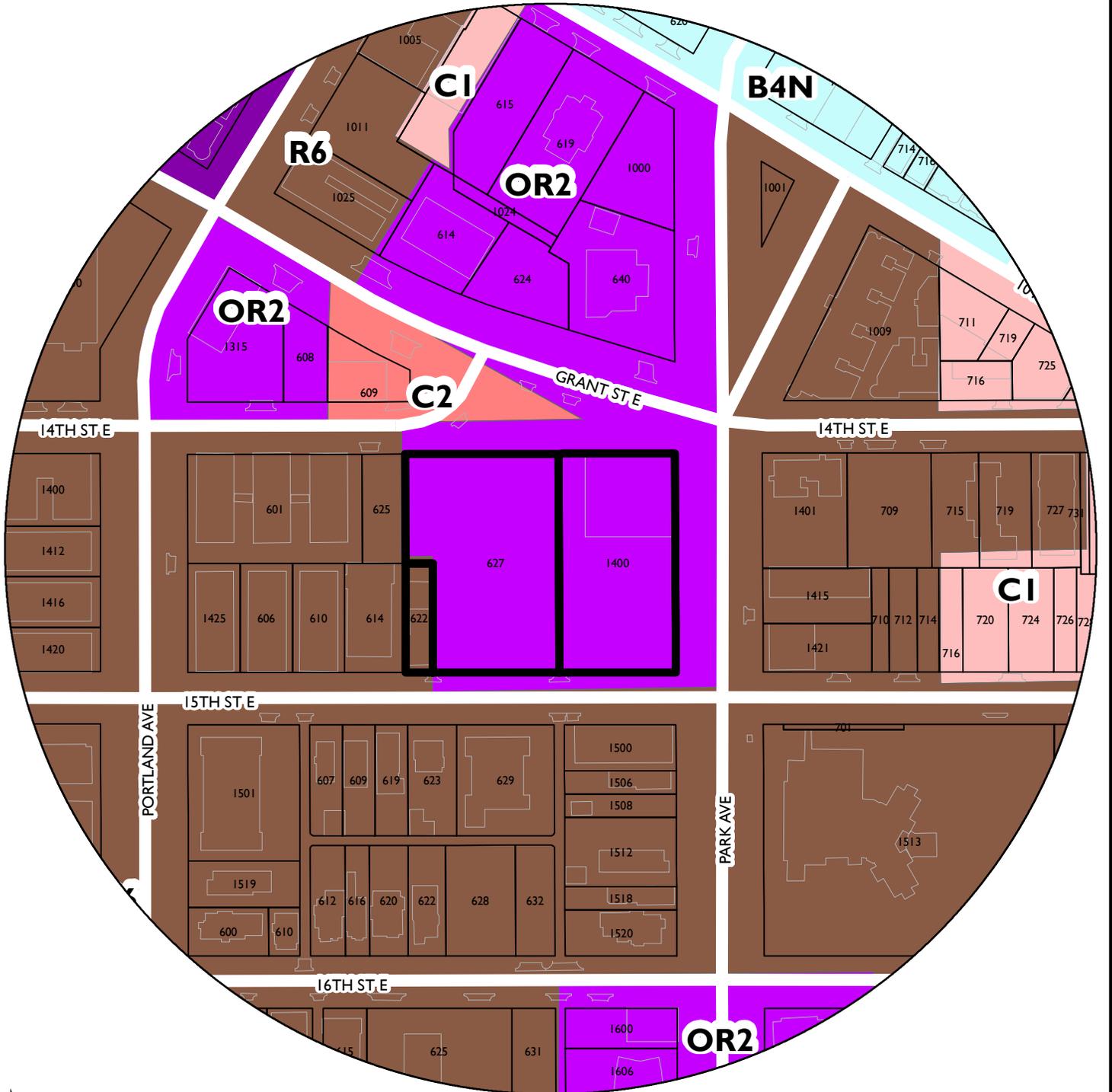
1. Zoning map
2. Oblique aerials
3. PDR report
4. Written description and findings submitted by applicant
5. Photos
6. Shadow study
7. Renderings
8. Site survey
9. Site plan
10. Plans
11. Building elevations
12. Correspondence

BKV Group

7th

NAME OF APPLICANT

WARD

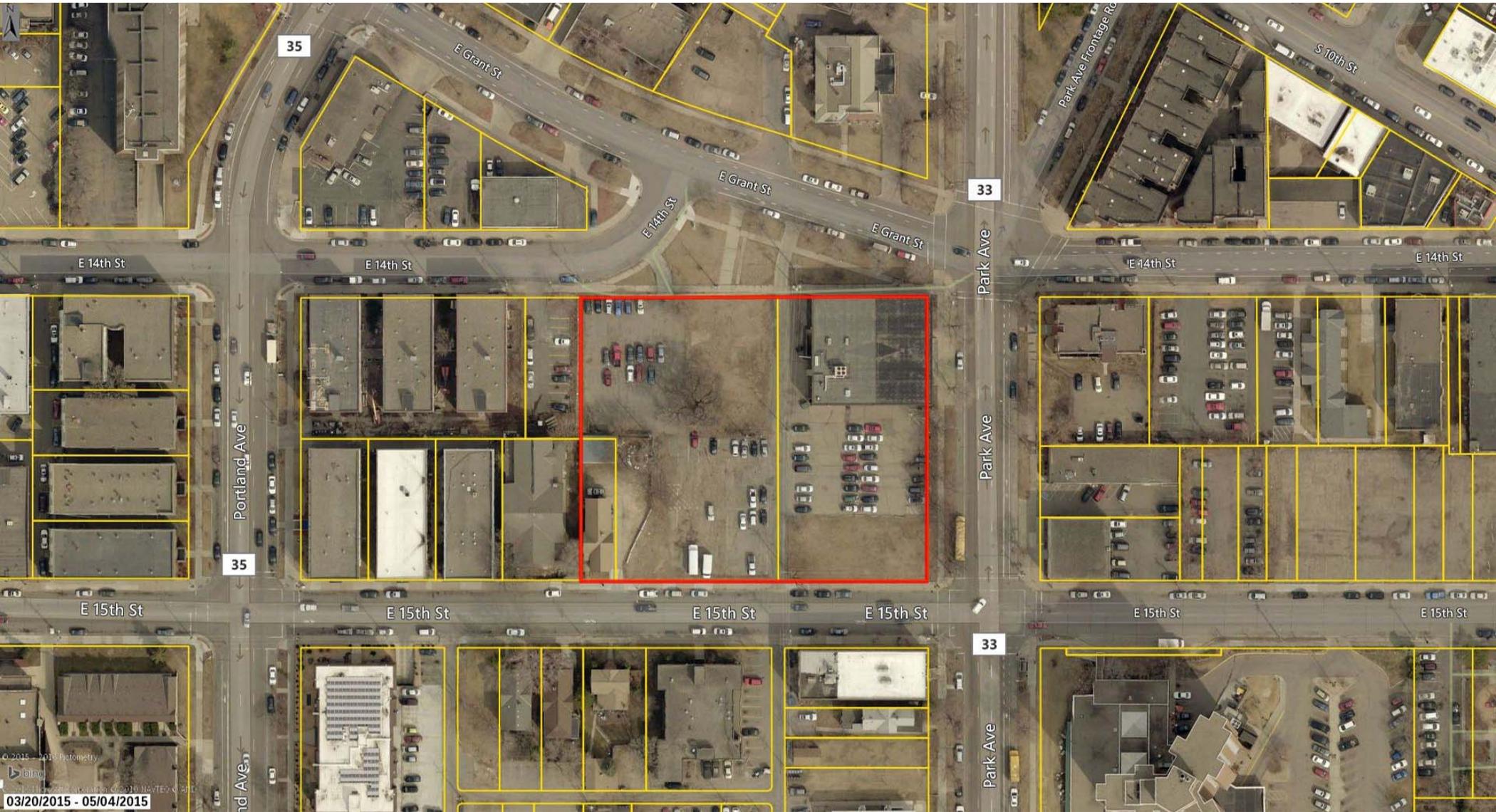


PROPERTY ADDRESS

1400 Park Avenue, 627 14th Street East, and 622 15th Street East

FILE NUMBER

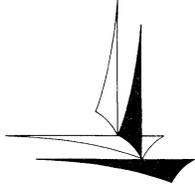
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04/01/2015

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Minneapolis Development Review
250 South 4th Street
Room 300
Minneapolis, MN 55415

Preliminary Development Review Report

Development Coordinator Assigned: **MATHEW JAMES**
(612) 673-
mathew.james@minneapolismn.gov

Status *
RESUBMISSION REQUIRED

Tracking Number:	PDR 1001396
Applicant:	BKV 222 N. 2ND ST MINNEAPOLIS, MN 55401
Site Address:	1400 PARK AVE 627 14TH ST E 622 15TH ST E
Date Submitted:	15-JAN-2016
Date Reviewed:	27-JAN-2016

Purpose

The purpose of the Preliminary Development Review (PDR) is to provide Customers with comments about their proposed development. City personnel, who specialize in various disciplines, review site plans to identify issues and provide feedback to the Customers to assist them in developing their final site plans.

The City of Minneapolis encourages the use of green building techniques. For additional information please check out our green building web page at: http://www.ci.minneapolis.mn.us/mdr/GreenBuildingOptions_home.asp.

DISCLAIMER: The information in this review is based solely on the preliminary site plan submitted. The comments contained in this report are preliminary ONLY and are subject to modification.

Project Scope

Mixed-use development with 260 housing units and a 1,200 square foot restaurant.

Review Findings (by Discipline)

Historical Preservation Committee

- There is no HPC flag on this property. HPC review is not required at this time. HPC review is required for any wrecking permits pertaining to the removal of existing structures.

*Approved: You may continue to the next phase of developing your project.

*Resubmission Required: You cannot move forward or obtain permits until your plans have been resubmitted and approved.

□ Business Licensing

- Continue to work with Matthew D. James (612-673-2547) concerning a Food Plan Review and a Business License for the restaurant that will occupy 1,200 feet of the structure.

□ Addressing

- Per City of Minneapolis Street Naming and Address Standard V1.22, the City of Minneapolis holds authority for assignment of all addresses, verification, change, and/or additions. Each assigned address number uses the street that provides the best/direct access for life safety equipment and best/direct access to the occupants.
- The address for the proposed 1400 Park Ave Apartments building will be 1400 Park Ave. The secondary address will be 1501 15th St. E. as this is a second residential entrance. This address meets the City of Minneapolis Street Naming and Address Standard requirements.
- When assigning suite sequences the following guidelines are as follows:
 - The first one to two digits of the suite sequence number will designate the floor number of the site.
 - The last two digits of the suite sequence number will designate the unique ID for the unit (condo, suite, unit, or apartment).
 - Suite sequence digit numbers will be assigned to dwelling, commercial and retail units, not common areas. For example, laundry rooms, saunas, workout rooms, etc., would not be assigned numbers.
 - Please provide each condo, suite, unit or apartment number.

□ Parks - Forestry

- Contact Craig Pinkalla (612-499-9233 cpinkalla@minneapolisparcs.org) regarding any questions related to planting, removal or the process for protection of trees during construction in the city right of way.
- Effective January 1, 2014, the City of Minneapolis and the Minneapolis Park and Recreation Board adopted an update to the existing Parkland Dedication Ordinance. The adopted City of Minneapolis Parkland Dedication ordinance is located in Section 598.340 of the City's Land Subdivision ordinance:
- <http://library.municode.com/index.aspx?clientId=11490>
- As adopted, the fee in lieu of dedication for new residential units is \$1,521 per unit (affordable units excluded per ordinance) and for commercial and industrial development it is \$202.80 per development employee (as defined in ordinance). Any dedication fee (if required) must be paid at the time of building permit issuance.
- There is also an administration fee that is 5% of the calculated park dedication fee.
- As proposed, for your PROJECT, the calculated dedication fee is as follows:
- Park Dedication Fee Calculation =

• Residential (260 units x \$1,521 per unit)	= \$395,460.00
• 5% of \$395,460 (Administration Fee, \$1,000 max)	= \$ 1,000.00
• Total Park Dedication Administrative Fee	= \$396,460.00
- This is a preliminary calculation based on your current proposal; a final calculation will be made at the time of building permit submittal.
- For further information, please contact Matthew D. James at (612) 673-2547.

□ Zoning - Planning

- Based on a cursory review of the plans submitted, the following land use applications will be required:
- Rezoning of the 622 E 15th St parcel to OR2 District
- Conditional Use Permit to increase maximum height
- Variance to increase maximum floor area ratio
- Variances to reduce the front yards on Park Avenue, 14th St E, and 15th St E
- Variance to reduce the interior side yard (for transformers)
- Curb cuts in the OR2 District which exceed 25 feet would require a variance. (541.240)
- Site plan review
- Plat (if applicant chooses to)
- Please clarify the location of terraces/retaining walls/planters/walk ups on site plan.

- Identify height of all retaining walls/planters
- The east and north elevations are not meeting minimum window area requirements for site plan review. First floor minimum window area is measured between 2 and 10 feet above the adjacent grade. Alternative compliance will be required if not meeting the minimum window area requirements. (530.120)
- Note visible light transmittance of windows proposed in nonresidential space.
- Clarify location of fence and provide detail (see fence standards 535.370)
- Please provide more detail about the lighting proposed. Review lighting requirements in Section 535.590 of the zoning code.
- Please provide a landscaping matrix to ensure that the proposed landscaping meets the site plan review landscaping requirements (530.160)
- Provide architectural line drawing of elevations as well (not colored and no trees etc rendered).
- A historic review letter was requested by BKV in August 2015 for the property at 622 15th Street East. That letter stated that the property does not appear to meet the local designation criteria listed in section 599.201 of the Minneapolis Code of Ordinances and has been determined not to be a historic resource. Contact Lisa Steiner or Beth Elliot (612) 673-2442 for more details or a copy of the letter.

□ Right of Way

- An encroachment permit shall be required for all streetscape elements in the Public right-of-way such as: plants & shrubs, planters, tree grates and other landscaping elements, sidewalk furniture (including bike racks and bollards), and sidewalk elements other than standard concrete walkways such as pavers, stairs, raised landings, retaining walls, access ramps, and railings (NOTE: railings may not extend into the sidewalk pedestrian area). Please contact Bob Boblett at (612) 673-2428 for further information.
- Note to the Applicant: Any elements of an earth retention system and related operations (such as construction crane boom swings) that fall within the Public right-of-way will require an encroachment permit application. If there are to be any earth retention systems which will extend outside the property line of the development then a plan must be submitted showing details of the system. All such elements shall be removed from the Public right-of-way following construction with the exception of tie-backs which may remain but must be uncoupled and de-tensioned. Please contact Bob Boblett at (612) 673-2428 for further information.
- In addition, any elements of an earth retention system and related excavations that fall within the Public right-of-way will require a "Right-of-Way Excavation Permit". This permit is typically issued to the General Contractor just prior to the start of construction. However, it is the Applicant's responsibility to insure that all required permits have been acquired by its consultants, contractors, sub-contractor's prior to the start of work.

□ Street Design

- The proposed driveway apron is shown incorrectly, with radius and curbs that exceed minimums. All driveway aprons shall be designed and constructed to City standards. All driveway aprons shall be shown graphically correct on all related plan sheets. Please refer to the following: http://www.minneapolismn.gov/publicworks/plates/public-works_road, and the standard plates included on Sheet C8-1 of the plans.
- The curb & gutter details included on Sheet C8-1 of the plans do not appear to match existing conditions. All curb & gutter in the Public right-of-way shall be designed and constructed to City standards, curb & gutter to be City Standard B624 Curb and Gutter. If curb replacement along Park Ave. S. is required, replacement curb shall be City Standard B660 Curb & Gutter. Please refer to the following: http://www.minneapolismn.gov/publicworks/plates/public-works_road. Add the following details from the ROAD-1000 Series - Curbs and Gutters to the plans: ROAD-1003 and Road -1006.

□ Sidewalk

- The proposed 5' sidewalk along E. 15th St. does not meet City design guidelines for the pedestrian clear zone. The Project streetscape shall be designed in accordance with the Access Minneapolis design guidelines; see <http://www.ci.minneapolis.mn.us/publicworks/transplan/index.htm> for further information. Specifically, the pedestrian zone is of concern, a minimum 6'-0" clear zone (un-obstructed) sidewalk shall be maintained for

the length of any block in a straight line (the clear pedestrian zone cannot "jog" around planters and tree grates). Locations for site furniture, tree grates, planters and other proposed design elements that fall within the Public right-of-way shall be modified to provide for the required pedestrian clear zone space. For further clarification, site plans shall be fully dimensioned in relation to the property lines, Public right-of-way, sidewalks, street furniture, landscaping, utilities, and other obstructions.

- ADA compliant pedestrian ramps are required at each crosswalk at the intersection of Park Ave. S. and E. 14th St, and at Park Ave. S. and E. 15th St.. Construct two (2) ADA compliant pedestrian ramps at each of these locations. All pedestrian ramps will need to meet current ADA regulations and be "Accessible Pedestrian Signal" (APS) ready. Please contact Ryan Anderson at 612-673-3986 for more information on current APS designs. Include the appropriate details and standard plates in the site plan; refer Mn/DOT Standard Plan 5-297.250 Pedestrian Curb Ramp Details at: <http://standardplans.dot.state.mn.us/stdplan.aspx>
- Note to the Applicant: The ADA pedestrian ramp at the corner of Grant St. E. and E. 14th St. meets current standards and should be protected from damage if at all possible.
- The Applicant shall provide details of the proposed bike racks; contact Paul Cao at (612) 673-2943 for position and alignment of bike racks proposed in the Public right-of-way. If the racks are privately owned, they will require an encroachment permit.
- Note to the Applicant: Any currently defective sidewalks or other concrete infrastructure within the public right of way, or any concrete infrastructure damaged during construction, must be removed and replaced.

□ Traffic and Parking

- The nature of the proposed development is such that traffic impacts will be an issue; please continue to work with Allan Klugman at (612) 673-2743 to discuss the requirements for completion of the submitted Travel Demand Management Plan (TDMP).
- All street lighting (existing and proposed) shall be shown clearly on the site plan. Prior to site plan approval, the Applicant shall contact Joseph Laurin at (612) 673-5987 to determine street lighting requirements. Note: If decorative street lighting exists on the proposed site it must be preserved or replaced at existing levels. Per the City of Minneapolis Street Lighting Policy, street lighting is required as the project falls within the Central Business District. Lighting levels shall be as follows:
 - Grant Street is within the Central Business District with the standard 1.5-2.0 fc, uniformity 3 to 1 max (low level lights would be fine at this location).
 - E. 15th St. is considered a "pedestrian priority corridor", and based on road width; low level lights should be able to reach the standard of .8 to 1.2 fc with a uniformity of 3 to 1 max.
 - Park Avenue is considered a "pedestrian priority corridor", but due to the road width we would require a high level -low level mix of street lights. Park Avenue will need to meet the same pedestrian priority lighting standards of .8 to 1.2 fc, uniformity 3 to 1 max.
- All street lighting in the Public right-of-way shall be designed and constructed to City standards. The Applicant shall submit a detailed plan specifying pole locations, light standards and fixture types, and include all required Minneapolis standard plates for installation details. These include design plates for poles (15' aluminum or 30' high level pole), fixture cut sheets from suppliers (must meet full cutoff standard and be a fixture identified in the Minneapolis Street Light Policy), concrete pole foundation details, lighting cabinet (typically 120 volt cabinet CBD for downtown, non-CBD for elsewhere), and wiring diagrams for lighting connections. A power source for the lighting must be identified from Xcel Energy and be located in the Public right-of-way (street lighting shall not be powered from sources on the private development site). Note that the plan does not appear to place the street lighting foundations with the centerline of the foundation 24 inches from the backside of the curb.
- Note to the Applicant: In addition to the various required construction permits, impacts to existing traffic signal and street lighting systems (including installation of new street lights) will require the Applicant and respective Contractors to enter into a separate Right-of-Way Excavation Permit (including Testing and Inspection requirements) with the Public Works Department, for further information regarding this permit please coordinate with Paul Miller at (612) 673-3603. If this project chooses not to use City forces to install the street lighting, the Contractor shall follow the standard supplemental specifications for the DIVISION SL-

LIGHTING. For detailed information related to City of Minneapolis standard specifications, details, and standard plates refer to the following: <http://www.minneapolismn.gov/publicworks/plates/index.htm>

- The site plan indicates truck turning maneuvers leaving the parking garage, but no indication of how trucks enter the garage. Current ordinance states that all maneuvers associated with loading, parking or sanitation pick up for a private development shall occur on private property (backing of trucks from the Public right-of-way to a loading area is not allowed). Please provide a narrative explaining the truck delivery and trash removal operations and show all turning maneuvers for all truck type vehicles that will be using the loading dock/parking entrance areas.
- Per City Ordinance the Applicant shall provide for (and identify) a solid waste collection point (SWCP) on the site plans. The location of the SWCP is subject to the review and approval of the Public Works Department.
- The proposed driveway apron width of 37.5' exceeds minimums; driveways in excess of 35' may require a variance. The Applicant shall provide detailed information to justify the wider driveway opening.
- The vehicle access point on E. 14th St. shall provide for an unobstructed 20' sight triangle and shall have less than a 4% slope for the first 20 feet from the property line. If these minimums cannot be attained the Applicant shall provide mitigating measures, such as pedestrian warning devices, signage, and slip prevention measures on the ramp. Generally, a vehicle should not be stopped on the sidewalk or in a moving lane of traffic waiting for a garage door to open. Please provide a narrative explaining garage door operation on E. 14th St.
- Note to the Applicant: Please add the following notes to the site plan:
 - Street lighting installed as part of the Project shall be inspected by the City. Contractors shall arrange for inspections with the Traffic Department, please contact Dave Prehall at (612) 673-5759 for further information. Any lighting installations not meeting City specifications will be required to be reinstalled at Owner expense.
 - An obstruction permit is required anytime construction work is performed in the Public right-of-way. Please contact Scott Kramer at (612) 673-2383 regarding details of sidewalk and lane closures. Log on to <http://minneapolis.mn.roway.net> for a permit.
 - Contact Allan Klugman at (612) 673-2743 prior to construction for the temporary removal/temporary relocation of any City of Minneapolis lighting or signal system that may be in the way of construction.
 - All costs for relocation and/or repair of City Traffic facilities shall be borne by the Contractor and/or Property Owner.
 - Contact Doug Maday at (612) 673-5755 prior to construction for the removal of any City of Minneapolis right of way signs that may be in the way of construction.

□ Water

- All existing and proposed underground Public Utilities (water, sanitary sewer, and storm drain) shall be shown on the site plan with corresponding pipe sizes and types. For Public watermain infrastructure records call (612) 673-2865. Any existing connections not in use shall be noted on the plans for removal, and shall be removed per the requirements of the Utility Connections Department, call (612) 673-2451 for more information.
- Meters shall be set at the point where the service line enters the building and shall be set in a location where it is easily assessable. Domestic service lines larger than three inches require a Bypass Assembly (see attachment).
- Please contact Rock Rogers at (612) 673-2286, to review domestic and fire service design, connections, and sizes.

□ Sewer Design

- Groundwater: Please identify the first and lowest floor elevations on the grading plan. Please also identify if any groundwater discharges are proposed in order to keep the below grade portions of the building dry.
- Stormwater Management: It is recommended that infiltration practices not be located within 10' of a building foundation. Please consider the potential risks associated with this design.

- The foundation drain tile is in close proximity to the infiltration system. Please identify where this foundation drain tile system discharges and demonstrate that runoff intended to be infiltrated is not being intercepted by the drain tile.
- The HydroCAD model assumes the courtyard area will be some type of green roof system. No details have been provided on the courtyard design. Please provide detail to support the stormwater modeling or model the courtyard assuming it is impervious area.
- The width of the stone storage bed around the 60" CMP is shown as 6' on Sheet C8-2, while the HydroCAD model has it as 7'. Please revise accordingly.
- The top elevation of the 60" CMP is labeled as 842.25 on Sheet C8-2, which would make the pipe 4' diameter instead of 5', as shown. The top of pipe and top of rock are also shown to have the same elevation, which differs from the detail. Please revise accordingly.
- In the absence of field measured infiltration rates, the design infiltration rates from the MN Stormwater Manual (http://stormwater.pca.state.mn.us/index.php/Design_infiltration_rates) should be used for the design of the infiltration practice.
- Please clarify what pipe is identified as having an invert of 844.03 at MH 1.
- As a 15" orifice appears to be proposed at the outlet of MH 1, the entire storm connection to the City storm sewer should be 15" as well.
- An operations and maintenance plan is required for the stormwater treatment devices. The O&M plan shall define the maintenance regimen, including type and interval of maintenance and party to conduct such maintenance. Please provide a copy of the O&M Plan.
- Please add the following note to the appropriate plan sheet: The Contractor, property owner or responsible party shall contact Minneapolis Surface Waters and Sewers 48 hours prior to any excavation or construction related to or in the location of the proposed Stormwater Management BMP (Contact Paul Chellsen, 673-2406 or paul.chellsen@minneapolismn.gov).
- Please add the following note to the appropriate plan sheet: Upon the project's completion the General Contractor, Property Owner or Responsible Party shall provide to the Department of Public Works a Final Stormwater Management Report including record drawings. This report will serve as a means of verification that the intent of the approved stormwater management design has been met. This final report shall substantiate that all aspects of the original design have been adequately provided for by the construction of the project.
- Utility Connections: There appears to be a potential conflict with the existing watermain and the proposed storm sewer connection in Park Ave. The invert of the storm at the MH nearby is 840.2, putting the connection about 7' deep. This will likely conflict with the existing watermain elevation; any potential conflicts should be resolved as part of the site plan approval process.
- Please justify the proposed two 10" sanitary sewer connections. Two 10" sanitary services seem excessively large for a building of this size.
- Non Stormwater Discharges: Detail all mechanical and non-stormwater discharges. Non-stormwater discharges are not permitted unless approved by the City of Minneapolis. Non-stormwater discharges not declared and approved will not be permitted. If there currently are none and nothing is proposed declare this status on the plans.
- For comments or questions on Public Works Surface Water & Sewers Division related requirements please contact Jeremy Strehlo, (Professional Engineer) at (612) 673-3973, or jeremy.strehlo@minneapolismn.gov

❑ Construction Code Services

- The plan as submitted meets the requirements of the Construction Code Services Division.
- A Service Availability Charge (SAC) determination will need to be submitted to the Metropolitan Council for the proposed project. Please refer to this link for more information http://www.ci.minneapolis.mn.us/mdr/docs/sac_availability_charge.pdf or SACprogram@metc.state.mn.us

❑ Fire Safety

- Provide required fire suppression system throughout building
- Fire department connection must be on the address side of building and within 150 feet of a fire hydrant.
- Provide a fire alarm system throughout building.
- Provide and maintain fire apparatus access at all times.

❑ Environmental Health

- No outstanding environmental issues were identified with the property that need to be addressed with the project. One of the historical uses was a mortuary.
- If during demolition and excavation tanks, wells or contaminated soil is encountered the project will need notify the City and the State Duty Officer.
- A permit must be obtained from Environmental Services for the removal of tanks, sealing of wells, storage of impacted soils, discharge of water during excavation and afterhours work.

END OF REPORT

1400 Park Avenue Apartments LLC.

Land use Application for 1400 Park Ave. Apartments.

Date: February 19, 2016



BKV
GROUP

BKV Group, Inc.
Architecture
Interior Design
Landscape Architecture
Engineering

222 North Second Street
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7. PROJECT NARRATIVE

The project site for the proposed 1400 Park Avenue Apartments is bounded by 14th Street E and Grant Street on the north, Park Avenue on the east, and 15th Street E on the south. The properties to the west contain a parking lot on the north end (facing 14th street E) and an existing church that has a historic resource designation on the south (facing 15th Street E.). The site is currently occupied by a 2-story brick office building (1400 Park Ave), a parking lot (627 14th Street E), and a single family home (622 15th Street E). The proposed project is an infill, dense urban development that will include mostly residential units, plus a small area of commercial/retail space. This use is consistent with the OR2 and R6 zoning of the site and with the adjacent residential and retail uses. The existing 2-story building at 1400 Park Ave. and the single family home on 622 15th St. are proposed to be demolished. The property containing the existing church at 624 15th St. is also owned by the developers. This building is proposed to remain however the long range use for it not yet been determined. Some options for this property would be to rehabilitate the building for an amenity use for the housing project or raze the building to make way for a dog park and landscape garden for the housing project.

The proposed development consists of 6 stories of residential dwelling units and 2 levels of below grade parking. The main entrance, lobby, leasing offices, and common areas are located on Level-1 adjacent to Park Avenue on the east side of the site with the main entrance doors facing the intersection of Park Avenue and Grant Street. The lobby will include commercial space for a cafe that will be available to neighborhood residents as well as to residents of the building. Vehicular access to below-grade parking and the grade-level loading zone will be from the northwest corner of the site from 14th Street East. A large courtyard located at the interior of the site at Level-1 will include residential amenities such as swimming pool, spa, grilling and dining areas, landscaping, and unit patios. The building design is intended to be pedestrian friendly and consistent with the scale and architectural rhythm of the neighborhood. Walk-up entries to individual dwelling units are provided at 14th Street, 15th Street, Park Avenue, and the interior side yard. Also along Park Avenue, patios for fitness and leasing are included to provide outdoor space for these areas and to activate the street-front.

9. REZONING, FORM A

See attached exhibit for Rezoning Form A as Exhibit F.

10. PRELIMINARY AND FINAL PLAN

A plat drawing is enclosed as Exhibit G.

11. VERIFICATION OF HISTORICAL STATUS

The project site is not located in a historic district and there are no buildings on site with historic designation.

12. CONDITIONAL USE PERMIT – INCREASING MAXIMUM HEIGHT REQUIRED FINDINGS

1400 Park Avenue Apartments requests a Conditional Use Permit to allow the construction of an six-story, 75-foot tall housing project. The height limit for buildings in the OR2 zoning district is 4 stories or 56 feet, whichever is less. The request for increased height for this project meets the required findings for the issuance of a Conditional Use Permit under § 525.340 and the additional considerations for increased height in § 547.110:

- 1) *That the establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, comfort or general welfare.*

The proposed height of the project will not be detrimental or endanger the public health, safety, comfort or general welfare. The building will be constructed with concrete, steel, and wood structural systems designed by a licensed structural engineer. The use of the building as a high density residential project has been identified as a preferred type of development in the Minneapolis Comprehensive Plan. Also, the design provides walk-up style entrances to the dwelling units on all four sides of the building which will enhance the public safety by adding eyes and activity on the street. Various parts of the building steps back as it rises in height in two 4' increments. First at 20' height at portions of the street access level and then again at 64' feet for the 6th floor roof level setback. By this roof top step the building takes on more of a 5 story appearance. The overall effect is to reduce the mass of the building by stepping as we set back from the street level creating a form based response for the design as it steps to complement the neighborhood context. .

- 2) *The conditional use will not be injurious to the use and enjoyment of other property in the vicinity and will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district or substantially diminish property value.*

The height of the project will not be injurious to the use and enjoyment of other property in the vicinity. The building borders adjacent property on only one side – west and provides the required side yard of 15 feet according to the OR2 zoning district. The property bordering the proposed development on the southwest border is owned by the applicant. Although there are no immediate plans for improvements to this property, there are long range plans to provide some sort of amenity to the development here. The shadow studies that will be discussed further below show minimal impact to the adjacent properties to the west. The proposed height of the building will not impede normal and orderly development. Approval of an additional 2 stories and 19' will not establish a precedent for development on other sites in EPNI. Finally, the privately financed Project will also substantially increase the property value and property taxes for this area of the City. Various parts of the building steps back as it rises in height in two 4' increments. First at 20' height at portions of the street access level and then again at 64' feet for the 6th floor roof level setback. By this roof top step the building takes on more of a 5 story appearance. The

overall effect is to reduce the mass of the building by stepping as we set back from the street level creating a form based response for the design as it steps to complement the neighborhood context. .

3) *Adequate utilities, access roads, drainage, necessary facilities and other measures have been or will be provided.*

Existing watermain on the north side of the development are adequate to serve the proposed development. Likewise, the existing public storm sewer to the alley will be sufficient to serve the stormwater needs for the site. Separate water lines for domestic service and fire protection will be connected to the existing six inch line. Sanitary sewer services will connect to the existing sanitary sewer. Roof drain leaders and storm sewer outlets will be designed according to plumbing code and City standard and will be connected to the underground stormwater retention system. Private utilities will be served from existing lines on site, where feasible, and reconstruction or realignment opportunities will be discussed with the utility companies to provide the most efficient and aesthetic outcome.

The applicant has been working with Xcel Energy to remove the overhead transmission lines that runs north/south from the north side of Grant Street to the south side of 15th Street. These lines will be rerouted below ground thereby removing an eyesore on the properties. Other overhead electrical and cable lines will be removed on the north side of the properties and will be relocated underground.

The development team will continue to work closely with Public Works, Plan Review and Planning Staff to ensure that all procedures are followed in order to comply with City and other applicable requirements. A requested increase of height of two stories will have no impact on the provision of utilities, access, drainage or other necessary facilities.

4) *Adequate measures have been or will be taken to minimize traffic congestion in the public streets.*

Travel Demand Management Plan (TDMP) has been completed as part of this redevelopment project. As determined in the TDMP, for Build conditions, analyses indicate that all study area intersections will stay within acceptable limits and has found that the development will not have a significant impact on area traffic operation.

The TDMP outlines the ways in which the proposed redevelopment will help Minneapolis achieve their goals of enhancing the local transportation system. These goals are to be achieved by proper land use selection, site design and implementation of specific vehicular demand reduction strategies to encourage use of alternate modes of travel, enhance pedestrian friendliness, and achieve a balance in the needs of all users of the transportation system. The TDMP spells out specific strategies that will be employed by the developer and/or the building owner after completion of the project. The strategies are designed to minimize traffic generation and thereby reduce traffic congestion. Such strategies include, but are not limited to:

1. Provide at least 6 off-street vehicle parking spaces for visitors for the residential use. These will be provided in the parking garage below the building.
2. Provide at least 134 safe storage spaces for bicycles. These will be provided in the parking garage below the building.
3. Provide on-street permitted loading spaces. These spaces are identified on the Site Plan to be located on East 14th Street.

4. Implement measures to encourage non-single occupancy vehicle modes of transportation for residents and visitors. There are many public transit options available nearby on Park Avenue (northbound), Portland Avenue (southbound), East Grant Street, and 10th Street. Car sharing programs such as Car2Go, Hourcar, and Zipcar are prevalent in the immediate neighborhood. Also, there is a NiceRide station located on the north side of East Grant Street one half block from the development.

All required parking will be provided in an enclosed, on-site parking structure.

- 5) *The conditional use is consistent with the applicable policies of the comprehensive plan.*

As discussed in Finding #1 for the rezoning application and the CUP for a multiple-family dwelling, the Project is highly consistent with the applicable policies of the comprehensive plan, including those which encourage high density residential development on the Project site, promote density near transit, and encourage development of pedestrian and bicycle connections. With respect to policies relating to building form, discussion of the following policies bears repeating:

Minneapolis will promote opportunities and activities that allow neighbors and residents to know each other better (Policy 1.1); and Minneapolis will encourage both private and public development that provides gathering spaces in city neighborhoods. (Policy 1.2)

The improved streetscape and urban courtyards and public promenade will provide many opportunities for the new and current residents of the Elliot Park neighborhood to encounter one another. The multiple entries into the site and the building will serve to activate the street and will enliven these sections of Park Avenue, 14th Street, and 15th Street.

Minneapolis will support the development of residential dwellings of appropriate form and density (Policy 9.5) and, Minneapolis will work with private and other public sector partners to invest in new development that is attractive, functional and adds value to the physical environment... (Policy 9.6).

The Project will convert an underutilized site into a vibrant and attractive residential development. The unique and high quality building design, improved streetscape conditions, and green roof terraces will dramatically improve the current conditions.

Minneapolis will encourage new development to use human scale design features and incorporate sunlight, privacy, and view elements into building and site designs. (Policy 9.16)

The vision for this project is to create an arrangement of building elements that engages with the scale of the neighborhood at its edges and street fronts, but also modulates itself through various heights to maintain a sense of diversity, enjoy created views, and create private and public amenity space. Through the manipulation of form, scale, patterns, and materiality, the architecture will strive to establish a strong and cohesive contextual relationship with the existing fabric while maintaining its own unique character.

- 6) *The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.*

With approval of the other zoning applications for the Project, it will conform to the applicable regulations of the OR2 zoning district.

Additional factors to be considered when determining the maximum height per § 547.110:

(1) Access to light and air of surrounding properties.

As discussed in Finding #2 above, access to light and air for the surrounding properties will not be meaningfully impacted by allowing an increase in height to 6-stories for the westerly portions of the proposed building, which will be set 15 feet away from the property line at the adjacent parking lot and applicant owned church. Light and air to the streets to the north, east and south will not be affected.

(2) Shadowing of residential properties, significant public spaces, or existing solar energy systems.

As illustrated in the shadow studies, from approximately March through September, the Project will not shadow the residential properties to the south, west, and east. In the most extreme case on December 21, the illustration shows some minor shadowing of the residential properties to the west in the morning hours and to the east in the afternoon hours. The stepping of the building helps to lessen the shadowing of the surrounding site areas.

There are not significant public spaces in the vicinity. The existing solar energy systems located at 1501 Portland Avenue will not be effected.

The design of the height and massing of the Project strikes a reasonable balance between the concerns associated with shadowing and the urban design policies that support high density housing and designs that incorporate open space. The stepping of the building, as a recognized urban planning strategy, through form based massing will help further transition the project within the urban neighborhood context.

(3) The scale and character of surrounding uses.

As mentioned in the Project Narrative, efforts have been made to design the building to match the character and scale of the neighborhood. In order to reduce the scale of the Project, the building has been divided into smaller masses by stepping the building back at intervals, introduction of smaller masses at walk-up entries, and changes in cladding materials and architectural articulation. These design elements provide pedestrian scale and interest at the streetfront and will enhance the character of the neighborhood.

Although there are 2-story and 3-story buildings on adjacent properties to the south, west, and east, there are many examples of buildings taller than 6-stories in a 2 block radius of the Project site. The building diagonal to the southeast at 1513 Park Avenue is 16-stories. The building at 1300 Portland Avenue is 8-stories. The building at 500 Grant Street is 27-stories.

(4) Preservation of views of landmark buildings, significant open spaces or water bodies.

The Project will not block views of landmark buildings, significant open spaces or water bodies. There are no significant open spaces or water bodies in the vicinity. Also, because of the density of building in the neighborhood, views to downtown buildings will be maintained through the street corridors and will not be significantly impacted.

13. VARIANCE REQUIRED FINDING

Variance for Yard for Yard Requirements

The development design is proposed to reduce the required side yard as follows:

- Reduce the required yard from 15 feet to 0 feet at East 15th Street, East Grant Street, and East 14th Street. As shown on the Site Plan, stairs and dwelling unit patios are located between 0 feet and 5 feet from the property line. 2-story walk-up entry “bump outs” are located in the area between 5 feet and 10 feet from the property line. The main building wall ranging in height from 5-stories to 6-stories is located 10 feet back from the property line.
- Reduce the required yard from 15 feet to 5 feet at Park Avenue. As can be seen on the Site Plan, stairs and dwelling unit patios are located between 5 feet and 10 feet from the property line. 2-story walk-up entry “bump outs” are located in the area between 10 feet and 15 feet from the property line. The main building wall ranging in height from 5-stories to 6-stories is located 15 feet back from the property line and does not require a variance.
- Allow electrical transformer to be located within the 15 feet side yard. As shown on the Site Plan, the transformers are proposed to be located on the northwest corner of the building between the building and proposed fence.

The Project meets the required findings under Zoning Code § 525.500 for this variance as discussed below:

1. *The property cannot be put to reasonable use under the conditions allowed by the official controls and strict adherence to the regulations of this Zoning Ordinance would cause an undue hardship.*

The proposed setbacks of the building and setbacks of the patios and stairs are reasonable uses for a multiple-family housing development in the particular urban environment of the Project site.

The proposed setbacks for the patios for the walk-up apartment units and for the balconies for the above ground units along 14th Street, Park Avenue, and 15th Street are specifically intended to address the urban street edge and activate the pedestrian environment. The size of the patios is necessary to allow for their multiple functions as entry landings, private seating, gardening and other typical patio uses. Similarly, the size of the balconies is appropriate to provide an attractive, functional outdoor space for the above ground units. Providing the patios to make them functional will encourage residents to furnish, decorate and use them, resulting in more eyes on the street and more interaction between residents and pedestrians in the neighborhood. Setting the patios and balconies further back into the property would decrease this connection to the public realm.

If the building edges were required to be set back further into the site to eliminate the need for variances for the patios, there would be a significant reduction in the open space areas within the Project site, which are not only amenities to the Project residents but which will be open to the public during daylight hours.

By locating the transformers in the required yard allows for a constant building edge on the northwest corner of the building. This will provide for a more efficient construction as well as providing larger dwelling units for the residents. A screen fence is provided between the transformers and the street so that they will be not be visible to the neighborhood.

Requiring strict adherence to the yard setback requirements would cause undue hardship because it would not allow these reasonable uses and desirable urban design features for the Project.

2. *The circumstances are unique to the parcel of land to which the variance is sought and have not been created by any persons presently having an interest in the property. Economic considerations alone shall not constitute an undue hardship if reasonable use of the property exists under the terms of the Ordinance.*

The setbacks for the main four stories are varied for the four different building sides based on the relationship to the street scape of the adjacent building context. Also the top floor is set back 15' or 20' on 2/3's of the building elevations on 14th, 15, and Park. On 15th we have proposed a 10 foot setback for the main building area because we have 25' to 45' of set back to the street curb due the large boulevard area. On 14th we have a main building setback of 10' which is less to reflect the street building context which is generally built up to the property with no setback. On the interior property line to the west we have 15' setback as required. As stated elsewhere we are proposing a better overall design by a form based urban approach stepping the building closer at grade and further back at the top floor

3. *The granting of the variance will be in keeping with the spirit and intent to the Ordinance and will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity.*

The proposed setbacks are in keeping with the spirit and intent of the ordinance and will not have a negative impact on the adjacent properties because they provide greater building setbacks than the other buildings within the block on 14th Street and 15th Street. On 14th and 15th street, the main building wall is set back 10' from the property line while the existing apartment buildings on the block have a zero setback. The 2-story high bump outs are located 5' back from the property line at these areas. Also, the building steps back an additional 5' on level-6 for the majority of the floor level. This step at the top floor provides the 15' setback at this level. On Park Avenue, the main building wall is set at 15' from the property line and stepping back an additional 5' at level-6 for the majority of the floor.

In total, the undulating street façade provides a more dynamic and interesting design than a flat plane set back to the required 15' would provide.

4. *The proposed variance will not substantially increase the congestion of the public streets, or increase the danger of fire, or be detrimental to the public welfare or endanger public safety.*

The proposed variances will not substantially increase the congestion of the public streets or increase the danger of fire or be detrimental to public welfare or endanger public safety. The setbacks will comply with fire and building code regulations for setback of residential uses with windows from adjacent properties. The patios and bump outs will be beneficial to the public welfare and safety by providing pedestrian connections and encouraging eyes on the streets by Project residents.

Variance for Floor Area Ratio

Variance Application to increase Floor Area Ratio (FAR). The allowed FAR for the OR2 zoning district is 3.0. The development design proposes a 3.5 FAR.

1. *The property cannot be put to reasonable use under the conditions allowed by the official controls and strict adherence to the regulations of this Zoning Ordinance would cause an undue hardship.*

The proposed FAR is reasonable uses for a multiple-family housing development in the particular urban environment of the Project site. In order to comply with FAR of 3.0 density verses our proposed FAR of 3.45, the project design at 267,568 sf would need to be reduced by 13% to 35,146 sf. The project at the current density is designed to create 245 residential units and amenity space for the project. By reducing the project to the allowable density, this would be a reduction of 32 units in the project. The site size has accommodated the design of the project as submitted at 3.45 FAR in what appears to be a positive contextual impact to the neighborhood context. Since 6 stories is the most cost effective construction on this urban site, a reduction in the project would reduce the number of units per floor thus adding to the courtyard size which would not alter the appearance of the project size and mass. The Elliot Park neighborhood supports the project size in both density and height with the creation of significant new larger housing units for the area. The 244 units for the neighborhood are larger (averaging 1100 gross sf per unit) than generally scene in the downtown area and therefore adds to the demand for larger and more age balanced housing. It is this goal that has resulted in the variance for the added area and density and thus the variance for the FAR increase. Without the variance the reduction of the 35,146 sf would most likely change the unit size and potentially eliminate this project from including as many of the larger units for the neighborhood. The final design as presented is a composite of all the zoning parameters plus the variances and with the approval of this density will also create the needed residential units and a overall design that is workable on this site.

2. *The circumstances are unique to the parcel of land to which the variance is sought and have not been created by any persons presently having an interest in the property. Economic considerations alone shall not constitute an undue hardship if reasonable use of the property exists under the terms of the Ordinance.*

The site size (77,474 sf) that is being developed additionally includes the improvement of city boulevard of 8,300 sf for the public space (the large boulevard area north of the project) as a urban mini plaza space for public use. Since this land area is an improvement offered by the developer as a giveback to the city and if the developed land area would were included in the project then the site size would be 85,774 sf (77,44 sf + 8,300 sf)and the FAR variance would be 3.13 with an increase of 4% of the allowable 3.0 FAR.

3. *The granting of the variance will be in keeping with the spirit and intent to the Ordinance and will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity.*

The proposed FAR is in keeping with the spirit and intent of the ordinance as addressed in item 1. The creation of the public plaza space as a pedestrian rest area will enhance the character and enjoyment of the area.

4. *The proposed variance will not substantially increase the congestion of the public streets, or increase the danger of fire, or be detrimental to the public welfare or endanger public safety.*

The proposed variances represents a 16.6% increase in FAR and will not significantly impact congestion in public streets. The TDMP provided shows that the Project will not significantly impact the area traffic operation. A reduction in the FAR will not potentially change the number of units in the project and this the traffic to and from the site.

14. ALTERNATE COMPLIANCE TO 530.120 WITH 530.310

- (1) *The structure is consistent with the predominant scale of existing residential structures in the same zoning district in the immediate area. In comparing the scale of the proposed structure to existing structures, the zoning administrator shall consider floor area, building height, façade width, and consistency with an established pattern of front, side, and rear yards in the vicinity.*

The building design creates smaller scale building blocks with bump outs, step backs, changes in materials, landscape elements, and patios and balconies in order to match the scale and rhythm of the neighborhood and create interest for pedestrians and street traffic. The current residential structures in the neighborhood range in size from 2-story duplexes to 20-story high rises so this 6-story Project is consistent with the scale of the neighborhood.

- (2) *The structure achieves at least one (1) of the following:*
- a. *The design incorporates traditional features and proportions found in the immediate area, which may include but shall not be limited to an examination of features such as windows, doors, roof lines, trim, gables, dormers, porches, or entry canopies; or*

NA

- b. *The design demonstrates exceptional creativity and incorporates high-quality, durable exterior materials.*

The design incorporates high quality materials in building as well as the landscape elements. The building will use brick masonry, metal panel, and composite windows on the majority of the street facades. These materials are virtually maintenance free with the exception of cleaning and have a proven long life span. The landscape materials of stone retaining walls and trees and shrubs have been recommended by the City Forester.

- (2) *On sloped sites, the design responds to the topography of the site by following existing patterns in the vicinity and minimizing the apparent mass of the structure when viewed from lower elevations.*

The site slope approximately 6 feet from the southwest corner to the northeast corner of the site. In order to minimize the appearance of mass, landscape walls have been introduced to provide beauty and interest for pedestrians and street traffic but also to create a buffer for the residential units. The tallest landscape wall directly adjacent to the sidewalk is 2'-6" high. In some places along Park Avenue, additional walls step up to 4'-6". Additionally, the building floor elevation steps down to the grade level at the northeast corner where the building main entrance is located.

- (4) The proposal is consistent with the applicable urban design policies of the comprehensive plan.

There are many design features of the Project that are consistent with policies in the comprehensive plan such as policy 1.1 which encourages high quality context-sensitive development and policy 1.3 which encourages high quality transit, bicycle, and pedestrian access development. Additionally, the development proved increased density with a range of housing options which is expressed in policy 1.8.

Memorandum

TO: Lisa Steiner, City Planner

COPY: Dan Hunt, Michael Ivancic, Jack Boarman, Scott Elofson

FROM: Jeff Hemer, AIA, Managing Architect

**CLIENT/
FIRM NAME:** 1400 Park Avenue Apartments LLC

PROJECT: 1400 Park Avenue **COMM. NO.:** 2040.01

DATE: March 1, 2016

RE: Land Use Application Update

Variance Request for Impervious Area

The following is submitted regarding maximum impervious surface coverage on the development lot. The variance request is to allow green roof areas be allowed as a non-impervious surface as defined in the City ordinance:

547.150. - Impervious surface coverage.

Impervious surfaces shall not cover more than eighty-five (85) percent of any zoning lot located in the office residence districts. The remainder of the zoning lot shall be covered with turf grass, native grasses, perennial flowering plants, shrubs, trees or similar landscape material sufficient to prevent soil erosion, minimize off-site stormwater runoff, and encourage natural filtration function.

(2007-Or-051, § 1, 6-29-2007)

The design includes a large interior courtyard above the parking garage at Level-1 of 18,500 SF that will be used as an amenity area for the development that will include a pool, spa, patio, bar/grille, seating areas, and extensive landscaping. The landscape area that is characterize as intensive green roof, meaning soil and plant material of 6" – 1'-6" in depth, covers 6,250 SF of the courtyards space. The plants included here would be turf grass, perennial flowers, shrubs and small trees. Green roofs are a recognized strategy for controlling and filtering storm-water, lowering the heat island effect, and providing useful and beautiful spaces for residential developments.

If the green roof areas are not counted as impervious surface, the proposed design would meet the Impervious surface coverage requirement of 85%.

Variance Required Findings

- 1) *The property cannot be put to reasonable use under the conditions allowed by the official controls and strict adherence to the regulations of this Zoning Ordinance would cause an undue hardship.*

The proposed design of the green roof areas covering the parking garage is a reasonable use of the property, particularly in an urban environment. The off-street parking provided under the courtyard space will reduce street parking and traffic congestion in the vicinity. Also, green roofs and roof amenity spaces are becoming increasingly used across the country in municipal and provide developments and are recognized as a strategy to mitigate storm-water problems, decrease heat island affect, and provide habitat for wildlife.

- 2) *The circumstances are unique to the parcel of land to which the variance is sought and have not been created by any persons presently having an interest in the property. Economic considerations alone shall not constitute an undue hardship if reasonable use of the property exists under the terms of the Ordinance.*

The green roof areas are unique to this development and are not being used anywhere on the block. The other buildings on the block are built to the property line at the sidewalk and use surface parking lots and alleys to access the interior parts of the lot. The proposed development provides all required parking below the building and no surface parking.

- 3) *The granting of the variance will be in keeping with the spirit and intent to the Ordinance and will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity.*

There are other recent developments in the area that are installing green roof areas over parking garages such as Skyscape Condominiums (929 Portland Ave), Grant Park, (500 E Grant), Hyatt Place (433 S 7th Street), and Rose (2000 Portland Ave. S.). The green roof areas will provide amenity and enjoyment to residents and the neighborhood.

- 4) *The proposed variance will not substantially increase the congestion of the public streets, or increase the danger of fire, or be detrimental to the public welfare or endanger public safety.*

The green roof areas will not increase congestion and traffic in the vicinity.

Subdivision Application Findings

- 1) *The subdivision is in conformance with these land subdivision regulations, the applicable regulations of the zoning ordinance and policies of the comprehensive plan.*

The application is not for a subdivision but rather for a plat which combines lots for a single residential development which, once approval is given for associated variances and conditional use,

will conform to the zoning ordinance and policies of the comprehensive plan such as increase density and high quality development.

- 2) *The subdivision will not be injurious to the use and enjoyment of other property in the immediate vicinity, nor be detrimental to present and potential surrounding land uses, nor add substantially to congestion in the public streets.*

The application is not for a subdivision but rather for a plat which combines lots for a single residential development. This use of which is consistent with the predominant residential use in the vicinity. The improvements of the development will enhance the neighborhood by use of pedestrian oriented residential design, landscape enhancements in the proposed “pocket park”, and by including a neighborhood café. The Traffic Demand Management Plan included in the Land Use Application finds the development “is not anticipated to have a significant impact on the area traffic operations”.

- 3) *All land intended for building sites can be used safely without endangering the residents or users of the subdivision or the surrounding area because of flooding, erosion, high water table, soil conditions, improper drainage, steep slopes, rock formations, utility easements or other hazard.*

The application is not for a subdivision but rather for a plat which combines lots for a single residential development and will be a safe use for its residents and the surrounding area. The land within the plat will be used primarily for the building. The remaining land surrounding the building will include improvements such as residential patios, landscape walls not exceeding 30” in height, landscape plantings including trees and shrubs, fences, and paving. An underground storm-water treatment system will collect and treat storm water for the development according to the City of Minneapolis and Mississippi Watershed design requirements. Utility easements bisecting the site are planned to be removed.

- 4) *The lot arrangement is such that there will be no foreseeable difficulties, for reasons of topography or other conditions, in securing building permits and in providing driveway access to buildings on such lots from an approved street. Each lot created through subdivision is suitable in its natural state for the proposed use with minimal alteration.*

The application is not for a subdivision but rather for a plat which combines lots for a single residential development. The building design does not suggest foreseeable difficulties in securing building permits or driveway access to the building from existing streets.

- 5) *The subdivision makes adequate provision for stormwater runoff, and temporary and permanent erosion control in accordance with the rules, regulations and standards of the city engineer and the requirements of these land subdivision regulations. To the extent practicable, the amount of stormwater runoff from the site after development will not exceed the amount occurring prior to development.*

The application is not for a subdivision but rather for a plat which combines lots for a single residential development. As stated in finding #3, a storm-water management system is included in

the design and follows all design requirements for the City and Watershed for runoff, temporary and permanent erosion control, and will not exceed the storm-water runoff amount occurring prior to the development.

END OF MEMO

1400 PARK AVENUE

1400 PARK AVENUE SOUTH
MINNEAPOLIS, MN 55404

LAND USE SUBMITTAL

BKV
GROUP
Architecture
Interior Design
Landscape Architecture
Engineering

Boaman
Kross
Vogel
Group
Inc.

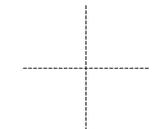
222 North Second Street
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www.bkvgroup.com
EOE

CONSULTANTS

PROJECT TITLE

1400 PARK AVE
APARTMENTS

KEY PLAN



ISSUE #	DATE	DESCRIPTION
1	2/16/2018	LAND USE SUBMITTAL

RENDERING



PROJECT LOCATION



SHEET INDEX

SHEET NUMBER	SHEET NAME
GENRNL	COVER SHEET & SHEET INDEX
0101	SITE CONTEXT
0102	INDOOR FLOOR
0103	RENDERINGS
0104	
0105	SURVEY
01-2	DEMOLITION PLAN
02-1	SITE PLAN
03-1	GRADING & DRAINAGE PLAN
03-2	STORM WATER POLLUTION PREVENTION PLAN
03-3	STORM WATER POLLUTION PREVENTION NOTES
04-1	UTILITY PLAN
08-1	DETAIL SHEET
08-2	DETAIL SHEET
LANDSCAPE	
1070	LANDSCAPE PLAN
ARCHITECTURE	
A101	ARCHITECTURAL SITE PLAN
A102	LEVEL P2
A103	LEVEL P1
A104	LEVEL 1
A105	LEVEL 2
A106	LEVEL 3A
A107	LEVEL 3
A108	ROOF PLAN
MEP	BUILDING ELEVATIONS
ELECTRICAL	
E101	ELECTRICAL SITE PLAN

Project Data Summary: 1400 Park

PROJECT SUMMARY (UNIT MATRIX)

Weidner/Hunt

Unit Mix	1st	2nd	3rd	4th	5th	6th	Total	%
TYPE A Studio (450-700 SF)	1	3	3	3	3		13	5%
TYPE B 1-Bedroom (715-950 SF)	12	23	23	23	23	15	119	49%
TYPE C 2-Bedroom (975-1,500 SF)	17	19	19	19	19	13	104	42%
Type D 2-Bedroom (975-1,500 SF) Penthouse						9	9	4%
Total	30	45	45	45	45	35	243	100%

Building Square Footage Summary

Floor	Gross Bldg Area (SF)	Net Rent SF	Common SF	Retail	Parking	Eff.
P2 Level	61,722				61,722	
P1 Level	61,722				61,722	
First	46,159	28,552	15,607	2,000		
Second	45,752	39,279	6,473			85.85%
Third	44,556	38,387	6,169			86.15%
Fourth	44,556	38,387	6,169			86.15%
Fifth	44,556	38,387	6,169			86.15%
Sixth	41,989	35,048	6,941			83.47%
Total	391,012	218,040	47,528	2,000	123,444	

Parking	HC Stalls	Compact Stalls	Tandem Stalls	Full-Size Stalls	Total Stalls
P1 Level	4	10		125	139
P2 Level	4	10		135	149
Total	8	20	0	260	298

PROJECT TEAM

OWNER / APPLICANT:

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Contact: Chad Kurdt, PE

NOT FOR
CONSTRUCTION

CERTIFICATION

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Architect under the laws of the State of Minnesota

License Number

DATE	DATE
	03/14/2018
DRAWN BY	AUTL
CHECKED BY	CHOW
COMMISSION NUMBER	284297

SHEET TITLE

COVER SHEET

SHEET NUMBER

G100

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EAST GRANT STREET SOUTH



EAST GRANT STREET NORTH



PORTLAND AVENUE WEST



PORTLAND AVENUE EAST



EAST 15TH STREET SOUTH



EAST 15TH STREET NORTH



PARK AVENUE WEST



PARK AVENUE EAST

CONSULTANTS

PROJECT TITLE

1400 PARK AVE
APARTMENTS

KEY PLAN



ISSUE #	DATE	DESCRIPTION
1	2/16/2014	Land Use Submittal

**NOT FOR
CONSTRUCTION**

CERTIFICATION

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Architect under the laws of the State of Minnesota

License Number	Date
DATE	03/14/2014
DRAWN BY	ARL
CHECKED BY	CHOW
COMMISSION NUMBER	366137

SHEET TITLE

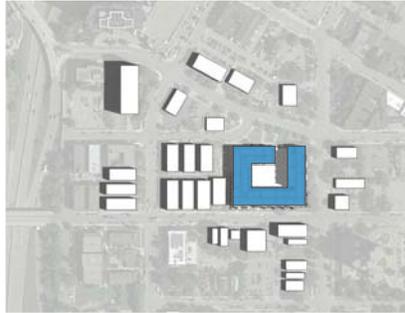
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SHEET NUMBER

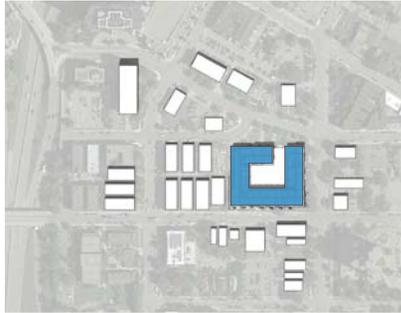
G101

JUNE 21ST

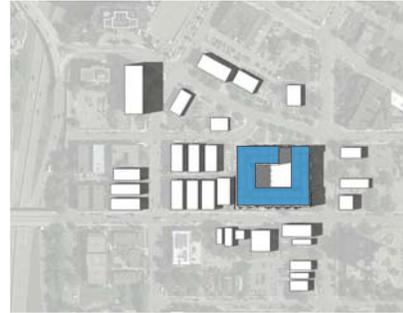
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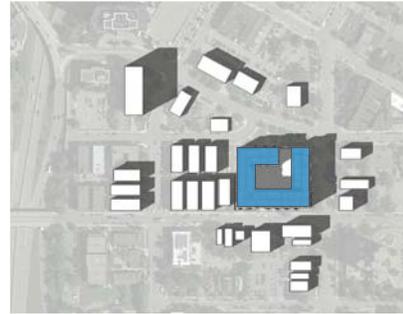
12:00 PM



3:00 PM



SEPTEMBER 21ST



DECEMBER 21ST



CONSULTANTS

PROJECT TITLE

1400 PARK AVE
APARTMENTS

KEY PLAN



ISSUE #	DATE	DESCRIPTION
1	20160314	Lead User Submission

**NOT FOR
CONSTRUCTION**

CERTIFICATION

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Architect under the laws of the State of Minnesota

License Number _____ Date _____

DATE: 03/14/2016
DRAWN BY: Author
CHECKED BY: Checker
COMMISSION NUMBER: 296031

SHEET TITLE

SHADOW STUDY

SHEET NUMBER

G102

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PROJECT TITLE

1400 PARK AVE
APARTMENTS

KEY PLAN



ISSUE #	DATE	DESCRIPTION
1	20160314	Land Use Submittal

**NOT FOR
CONSTRUCTION**

CERTIFICATION

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Architect under the laws of the State of Minnesota

License Number	Date
DATE	03/14/2016
DRAWN BY	AJL/BJ
CHECKED BY	CSW/BJ
COMMISSION NUMBER	366137

SHEET TITLE

RENDERINGS

SHEET NUMBER

G103



NORTHEAST PERSPECTIVE



SOUTHEAST PERSPECTIVE



NORTHWEST PERSPECTIVE



SOUTHWEST PERSPECTIVE

OWNER

1400 Park Avenue Apartments, LLC.
c/o Weidner Investment Services, Inc.
9757 NE Juanita Drive
Suite 300
Kirkland, WA 98034

APPLICANT

Hunt Development
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Contact: Jim Hunt
612-746-4090
Fax: 612-746-0099
jhunt@huntsocietals.com

LEGEND

- Denotes brass monument set marked with P.L.S. No. 15480 unless noted otherwise
- Denotes found iron monument
- AIS Denotes advertisement/information sign
- AGP Denotes above ground pipe
- BE Denotes building entrance
- BTC Denotes top of bituminous curb
- BTL Denotes beaver toll curb
- BSBS Denotes business sign
- CB Denotes catch basin
- CBOX Denotes control box
- CCB Denotes communication box
- CMH Denotes communication manhole
- COL Denotes column
- CS Denotes curb stop
- DC Denotes decorative concrete
- DEM Denotes electric manhole
- DH Denotes fire hookup
- G Denotes gutter
- GAS V Denotes gas valve
- GM Denotes gas meter
- GRDL Denotes ground light
- GW Denotes gas wire
- HCR Denotes handcap ramp
- HCS Denotes handcap sign
- HVS Denotes fire hydrant
- HYD Denotes structure invert
- LA Denotes edge of landscaping
- LP Denotes light pole
- MG Denotes metal grate
- MH Denotes manhole
- MD Denotes overhead door
- OHE Denotes overhead electric line
- OHU Denotes overhead utility line
- (O) Denotes per plan/field verified
- PKS Denotes parking sign
- PP Denotes power pole
- PPLP Denotes power and light pole
- PPT Denotes power pole with transformer
- PU Denotes power pole with underground utility
- PVC Denotes polyvinyl chloride pipe
- RCP Denotes reinforced concrete pipe
- RD Denotes roof drain
- SAN S Denotes sanitary sewer
- STS Denotes storm sewer
- TC Denotes top of concrete curb
- TCS Denotes traffic control sign
- TL Denotes traffic light
- UC Denotes underground communication line
- VCP Denotes vitrified clay pipe
- W Denotes water line
- WMH Denotes water manhole
- WW Denotes window well
- COT Denotes Cottonwood tree
- CRAB Denotes Crabapple tree
- HACK Denotes Hackberry tree
- LOC Denotes Locust tree

GENERAL NOTES

- Survey coordinate basis: Hennepin County Coordinate System
- Adjoining ownership information shown hereon was obtained from the Hennepin County Property Tax Information web site. Ownership information is subject to revision upon receipt of a title search by a title insurance company.

UTILITY NOTES

- Utility information from plans and markings was combined with observed evidence of utilities to develop a view of the underground utilities shown hereon. However, looking excavation, the exact location of underground features cannot be accurately, completely and reliably depicted. Where additional or more detailed information is required, excavation may be necessary.
- Other underground utilities of which we are unaware may exist. Verify all utilities critical to construction or design.
- Some underground utility locations are shown as marked onsite by those utility companies whose locators responded to our Gopher State One Call, ticket numbers 151483819, 151483844, 152233199 and 152233216.
- Contact GOPHER STATE ONE CALL at 651-454-0002 (800-252-1166) for precise onsite location of utilities prior to any excavation.

FLOOD ZONE NOTE

The subject property is located in an area of Minneapolis with no special flood hazard areas (NSFHA) per FEMA Flood Insurance Rate Map Community Panel No. 2701720359E, effective date September 2, 2004. No panel for this area has been printed due to its NSFHA designation.

ZONING NOTES

- Zoning information obtained from the City of Minneapolis web site on August 19, 2015.
614 and 622 15th St. E are zoned R6-Multiple Family District and the remainder of the subject property is zoned OR2-High Density Office Residence District.
- Parking: 91 Regular Spaces
2 Handicap Spaces
93 Total Spaces

BENCH MARKS (BM)

- Top of top nut of fire hydrant at the northwest quadrant of Park Avenue and East 15th Street. Elevation = 851.92 feet
- Top of top nut of first fire hydrant west of Park Avenue on the south side of East 15th Street. Elevation = 858.83 feet
- Top of nut of fire hydrant at the southwest quadrant of 14th Street & Park Avenue. Elevation = 850.40 feet



DESCRIPTION OF PROPERTY SURVEYED

Parcel 1:
The East 41.9 feet of Lot 16, Auditor's Subdivision No. 1, Hennepin County Minnesota.
All of Lots 17, 18, 19, 20, 21, 22, 23, 24 and 25, Auditor's Subdivision No. 1, Hennepin County, Minnesota.
Together with that portion of vacated alley which accrues to premises by operation of law as vacated by Document No. 5729509.
Property is Abstract.

Parcel 2:
The East 1/2 of Lot 26, Auditor's Subdivision No. 1, Hennepin County, Minn.
Together with an easement for a right of way over a strip of land 5 feet wide by 90 feet in length off of the East side of the West Half of said Lot 26, which strip extends from the front line of said Lot towards the rear.

Parcel 3:
West 1/2 of Lot 26, Auditor's Subdivision No. 1, Hennepin County, Minnesota.
Together with an easement for a right of way over a strip of land 5 feet wide by 90 feet in length off of the West side of the East 1/2 of said Lot 26, which strip extends from the front line of said Lot towards the rear.

PLAT RECORDING INFORMATION

The plat of Auditors Subdivision No. 1 was filed for record on April 25, 1884.

TITLE COMMITMENT

First American Title Insurance Company Commitment for Title Insurance Commitment No. NCS-777212-PRX1, commitment date February 10, 2016, was relied upon as to matters of record.

Schedule B Exceptions:

Exceptions are indicated on survey with circled numbers unless otherwise noted.

- Reservation of minerals and mineral rights to the State of Minnesota. (As to Lots 21, 22 and 23 of Parcel 1) [Not plottable]
- Correction to the plat of Auditor's Subdivision No. 1, Hennepin Co., Minn., dated November 5, 1924, recorded November 6, 1924, as Document No. 1244250, in the office of County Recorder. (As to Parcel 1) [Not shown on survey]
- Resolution No. 908-454 vacating an alley and reserving utility easements recorded December 6, 1990, as Document No. 5729509, in the office of the County Recorder. (As to Parcel 1) [Shown on survey]
- Unrecorded easement for right of way purposes, together with any incidental rights, in favor of the adjacent owner of the West Half of Lot 26, Auditor's Subdivision No. 1, over a strip of land 5 feet wide by 90 feet in length off the West side of said East Half of Lot 26, which strip extends from the front line of said lot toward the rear, the Southeast corner of which Lot 26 is 248 feet from Park Avenue, disclosed by recital on Certificate of Title No. 1408931. (As to Parcel 2) [Shown on survey]
- Unrecorded easement for right of way purposes, together with any incidental rights, in favor of the adjacent owner of the East Half of Lot 26, Auditor's Subdivision No. 1, over a strip of land 5 feet wide by 90 feet in length off the East side of said West Half of Lot 26, which strip extends from the front line of said lot toward the rear, the Southeast corner of which Lot 26 is 248 feet from Park Avenue, disclosed by recital on Certificate of Title No. 1412530. (As to Parcel 3) [Shown on survey]

AREA

Proposed Lot 1 = 78,275 square feet or 1.797 acres

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Dated this 9th day of March, 2016

SUNDE LAND SURVEYING, LLC.

By: *Mark S. Hanson*
Mark S. Hanson, P.L.S. Minn. Lic. No. 15480

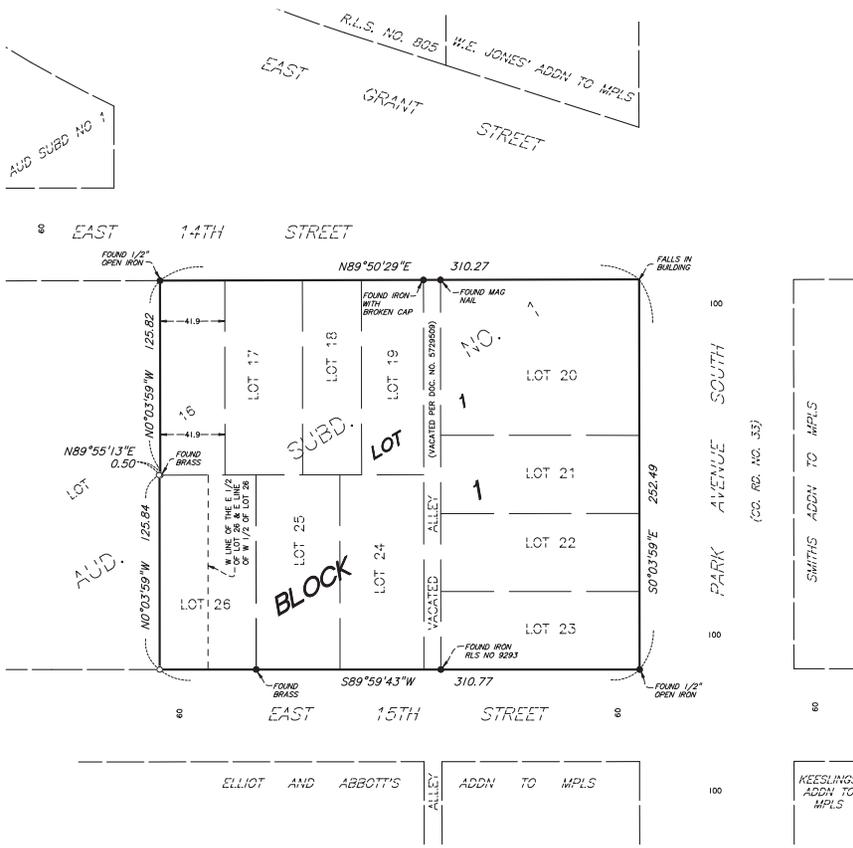
▲ Preliminary Plat	SMT	03/09/2016
▲ Added new properties and title information	GH2	08/21/2015
▲ Added property corners & garage overhang	GH2	07/21/2015
▲ Added title information	GH2	07/14/2015
Revision	By	Date
Survey originally dated June 15, 2015	GH2	

Drawing Title: **PRELIMINARY PLAT OF FOURTEEN HUNDRED PARK**
1400 Park Avenue
Minneapolis, Minnesota

Main Office: 3001 East Bloomington Freeway (35E) Suite 118
Bloomington, Minnesota 55420-3435
952-881-2455 (Fax: 952-888-9538)
West Office: Mankato, North Dakota 701-663-5562

Project: 2015-085-8 Bl./Prj. 888/45 Date: 03/09/2016
Township: 29 Range: 24 Section: 28
File: 2015085Bplat.dwg Sheet: 1 of 1

FOURTEEN HUNDRED PARK



KNOW ALL PERSONS BY THESE PRESENTS: That 1400 Park Avenue Apartments LLC, a Minnesota limited liability company, owner of the following described property situated in the County of Hennepin, State of Minnesota, to wit:

The East 41.9 feet of Lot 16, Auditor's Subdivision No. 1, Hennepin County Minnesota.

All of Lots 17, 18, 19, 20, 21, 22, 23, 24 and 25, Auditor's Subdivision No. 1, Hennepin County, Minnesota.

Together with that portion of vacated alley which accrues to premises by operation of law as vacated by Document No. 5729509.

AND

The East 1/2 of Lot 26, Auditor's Subdivision No. 1, Hennepin County, Minn.

Torrens Property

AND

West 1/2 of Lot 26, Auditor's Subdivision No. 1, Hennepin County, Minnesota.

Torrens Property

Has caused the same to be surveyed and plotted as FOURTEEN HUNDRED PARK.

In witness whereof said 1400 Park Avenue Apartments LLC, a Minnesota limited liability company, has caused these presents to be signed by its proper officer this ____ day of ____ 20____

1400 Park Avenue Apartments LLC

By: W. Dean Weidner, as Trustee of the W. Dean Weidner Living Trust Under Trust Agreement Dated October 23, 1998, as amended, its Member

STATE OF _____

COUNTY OF _____

The foregoing instrument was acknowledged before me this ____ day of _____ 20____, by _____ the _____ and by _____ the _____ of 1400 Park Avenue Apartments LLC, a Minnesota limited liability company, on behalf of the corporation.

Notary Public, _____ County, _____
My Commission Expires _____

I, Mark S. Hanson, do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this ____ day of _____ 20____

Mark S. Hanson, Land Surveyor
Minnesota License No. 15480

STATE OF MINNESOTA
COUNTY OF HENNEPIN

This instrument was acknowledged before me this ____ day of _____ 20____, by Mark S. Hanson.

Notary Public, _____ County, Minnesota
My Commission Expires January 31, 20____

MINNEAPOLIS, MINNESOTA

I, the Secretary of the Planning Commission of the City of Minneapolis, Minnesota, do hereby certify that on this ____ day of _____ 20____, the City of Minneapolis acting by and through its City Planning Commission duly approved the plat of FOURTEEN HUNDRED PARK, and duly authorized such action of the Commission by its Secretary. The prescribed ten-day period for appeal has elapsed without receipt of an appeal, as provided by Title 22, Section 598.320 of the Minneapolis Code of Ordinances.

_____, Secretary of Planning Commission

MINNEAPOLIS, MINNESOTA

I hereby certify that this plat of FOURTEEN HUNDRED PARK was approved by the City Planning Commission of the City of Minneapolis at a meeting thereof held this ____ day of _____ 20____. If applicable, the written comments and recommendations of the Commissioner of Transportation and the County Highway Engineer have been received by the City or the prescribed 30 day period has elapsed without receipt of such comments and recommendations, as provided by Minn. Statutes Section 505.03, Subd. 2.

CITY CLERK OF MINNEAPOLIS, MINNESOTA

_____, Assistant City Clerk

RESIDENT AND REAL ESTATE SERVICES, Hennepin County, Minnesota

I hereby certify that taxes payable in _____ and prior years have been paid for land described on this plat, dated this ____ day of _____ 20____.

Mark V. Chapin, Hennepin County Auditor

By: _____ Deputy

SURVEY DIVISION, Hennepin County, Minnesota

Pursuant to Minnesota Statutes, Section 383B.565 (1969), this plat has been approved this ____ day of _____ 20____.

Chris F. Mavis, County Surveyor

By: _____

REGISTRAR OF TITLES, Hennepin County, Minnesota

I hereby certify that the within plat of FOURTEEN HUNDRED PARK was filed in this office this ____ day of _____ 20____ at ____ o'clock ____m.

Martin McCormick, Registrar of Title

By: _____ Deputy

COUNTY RECORDER, Hennepin County, Minnesota

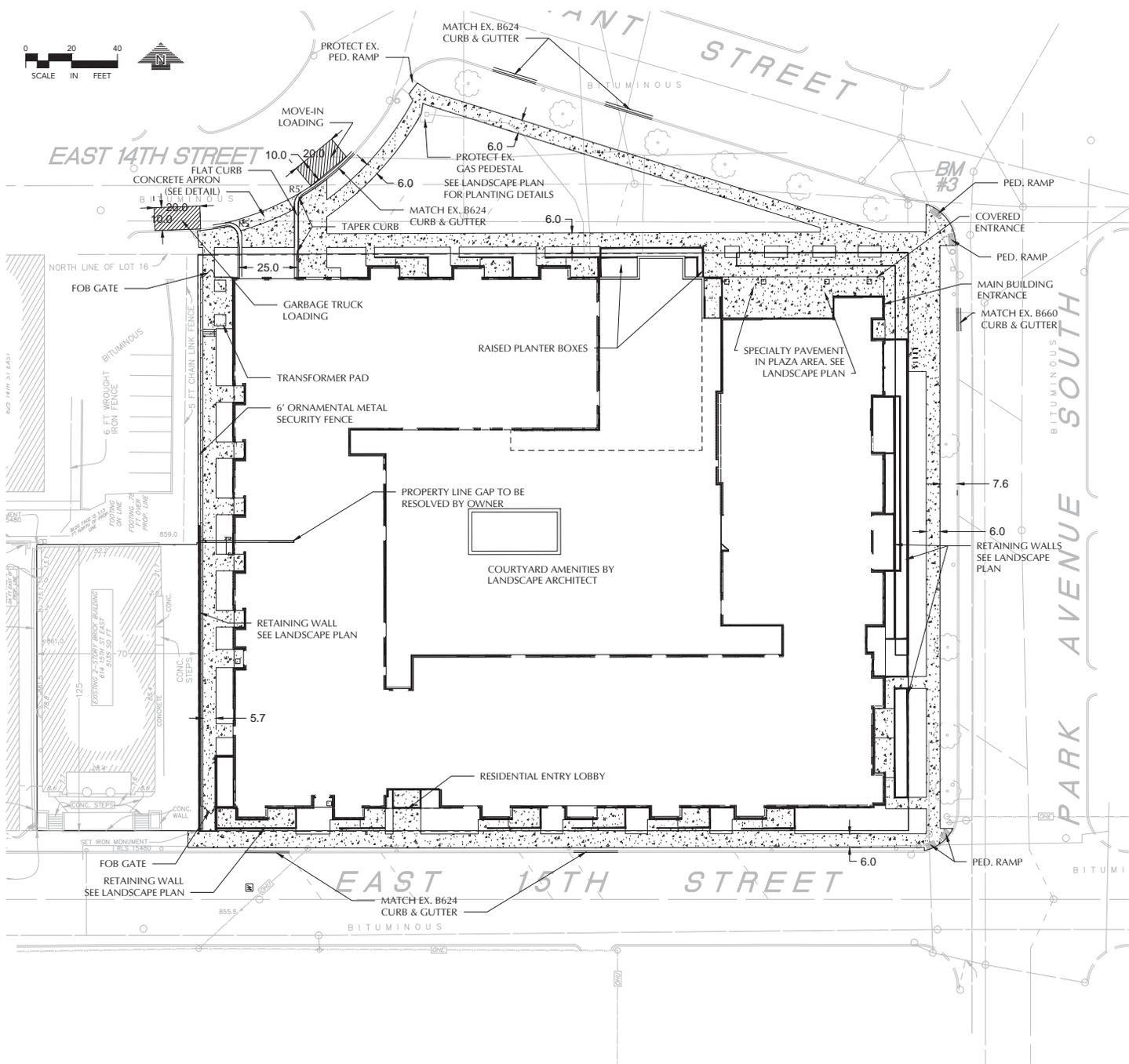
I hereby certify that the within plat of FOURTEEN HUNDRED PARK was recorded in this office this ____ day of _____ 20____ at ____ o'clock ____m.

Martin McCormick, County Recorder

By: _____ Deputy

R.T. DOC. NO. _____
C.R. DOC. NO. _____





- SITE NOTES**
1. ALL PAVING, CONCRETE CURB, GUTTER AND SIDEWALK SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH THE DETAILS SHOWN PER THE DETAIL SHEETS AND STATISTICAL JURISDICTION REQUIREMENTS.
 2. ACCESSIBLE PARKING AND ACCESSIBLE ROUTES SHALL BE PROVIDED PER CURRENT ADA STANDARDS AND LOCAL STATE REQUIREMENTS.
 3. ALL CURB DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
 4. ALL BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF WALL UNLESS OTHERWISE NOTED.
 5. TYPICAL FULL SIZED PARKING STALL IS 9' X 18' UNLESS OTHERWISE NOTED.
 6. ALL CURB RADI SHALL BE 5.0' UNLESS OTHERWISE NOTED.
 7. BITUMINOUS IMPREGATED FIBER BOARD TO BE PLACED AT FULL DEPTH OF CONCRETE ADJACENT TO EXISTING STRUCTURES AND BEHIND CURB ADJACENT TO DRIVEWAYS AND SIDEWALKS.
 8. SEE SITE ELECTRICAL PLAN FOR SITE LIGHTING.
 9. ADA PEDESTRIAN RAMPS TO BE BUILT "ACCESSIBLE PEDESTRIAN SIGNAL" READY.
 10. ANY CURRENTLY DEFECTIVE SIDEWALKS OR OTHER CONCRETE INFRASTRUCTURE DAMAGED DURING CONSTRUCTION, MUST BE REMOVED AND REPLACED.

1400 PARK
MINNEAPOLIS, MN

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CIVIL ENGINEERING
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ENVIRONMENTAL
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763.424.5505
www.loucksinc.com

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CADD files prepared by the Consultant for the project are the responsibility of the Consultant. The Consultant shall not be held responsible for any errors or omissions in the project, for addition to the project, or for completion of the project by others without written consent by the Consultant. With the Consultant's approval, others may be permitted to make copies of the CADD drawings for their use, provided that the original drawings are not modified, added to, or deleted from. The Consultant shall be notified of any such use and the party shall hold harmless and indemnify the Consultant from any claim, damages, costs, and liabilities.

SUBMITTAL/REVISIONS

DATE	DESCRIPTION
10-20-15	CITY SUBMITTAL
11-19-15	FOR SUBMITTAL
12-11-15	LAND USE SUBMITTAL
03-14-16	LAND USE UPDATE SUBMITTAL

PROFESSIONAL SIGNATURE

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

License No. 43561
Date 1-15-16

QUALITY CONTROL

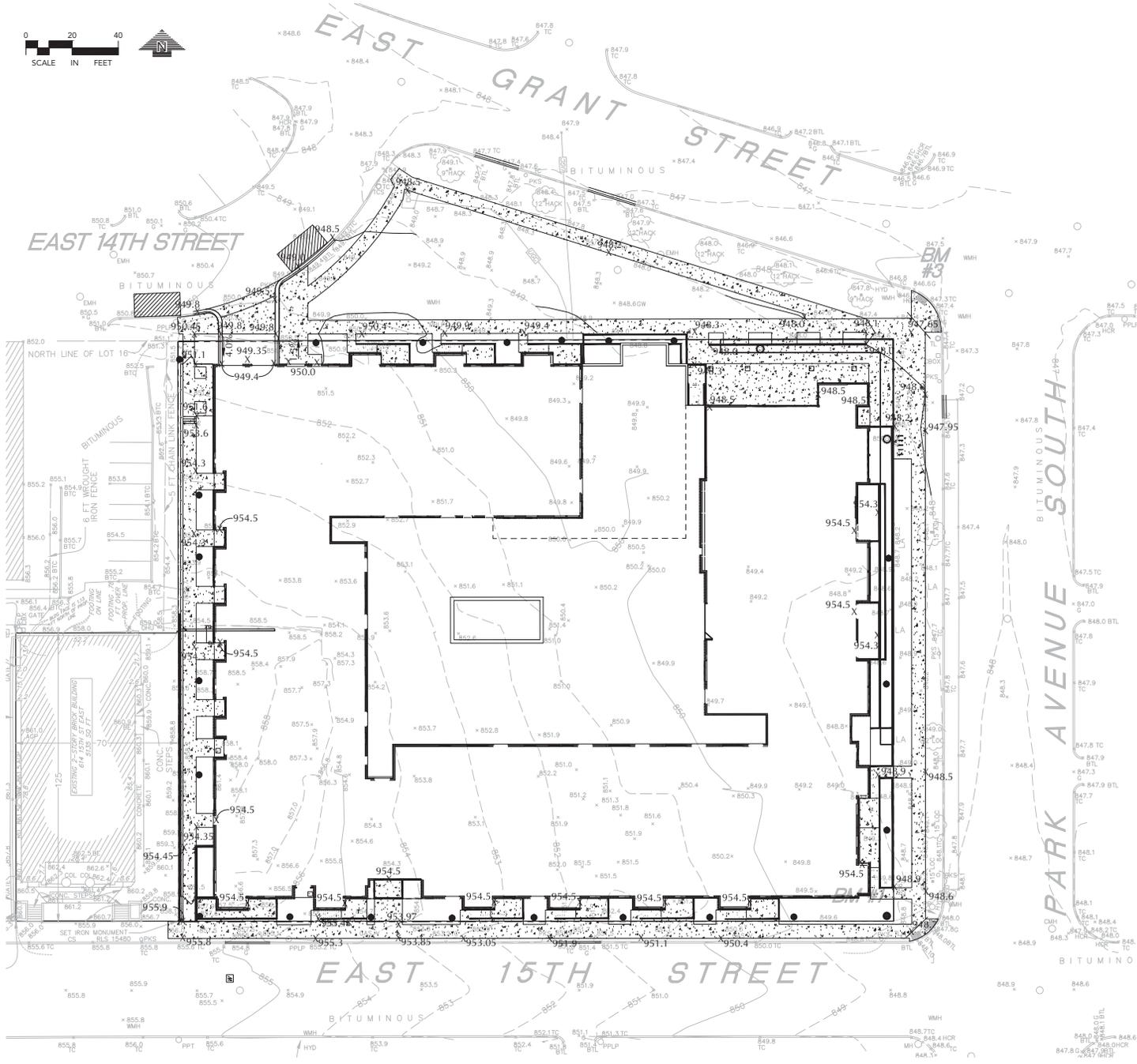
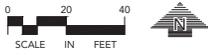
Loucks Project No. 15301
Project Lead NMM
Drawn By TRG
Checked By NMM
Review Date 1-15-16

SHEET INDEX

01	DEMOLITION PLAN
02	UTILITY AND SITE PLAN
03	GRADING & DRAINAGE PLAN
04	STORM WATER COLLECTION, PREVENTION PLAN, SWPPP
05	STORM WATER POLLUTION PREVENTION NOTES
06	UTILITY TO CURB
07	DETAIL SHEET
08	DETAIL SHEET

SITE PLAN
C2-1

Plotfile: 02/18/2016 2:46 PM W:\2015\15301\CADD\DATA\CIVIL\1400 Park Plan C2-1



GRADING, DRAINAGE & EROSION CONTROL NOTES

1. SPOT ELEVATIONS REPRESENT FINISHED SURFACE GRADES, GUTTER/LOW LINE, FACE OF BUILDING, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
2. CATCH BASINS AND MANHOLES IN PAVED AREAS SHALL BE SUMPED 0.04 FEET. ALL CATCH BASINS IN GUTTERS SHALL BE SUMPED 0.16 FEET. RIM ELEVATIONS SHOWN ON PLANS DO NOT REFLECT SUMPED ELEVATIONS.
3. GRADING OF THE INFILTRATION AREAS SHALL BE ACCOMPLISHED USING LOW-IMPACT EARTH-MOVING EQUIPMENT TO PREVENT COMPACTION OF THE UNDERLYING SOILS. SMALL TRACKED DOZERS AND BOBCATS WITH RUNNER TRACKS ARE RECOMMENDED.
4. ALL DISTURBED UNPAVED AREAS ARE TO RECEIVE MINIMUM OF 4 INCHES OF TOP SOIL AND SEED/MULCH OR S.O.D. THESE AREAS SHALL BE WATERED/MAINTAINED BY THE CONTRACTOR UNTIL VEGETATION IS ESTABLISHED.
5. FOR SITE RETAINING WALLS "TW" EQUALS SURFACE GRADE AT TOP FACE OF WALL (NOT TOP OF WALL), "CW" EQUALS SURFACE GRADE AT WALL GRADE TRANSITION, AND "BY" EQUALS SURFACE GRADE AT BOTTOM FACE OF WALL (NOT BOTTOM OF BURIED WALL COURSES).
6. REFER TO THE REPORT OF GEOTECHNICAL EXPLORATION AND REVIEW (REPORT NO. _____), DATED _____, AS PREPARED BY _____ FOR AN EXISTING SUBSURFACE SITE CONDITION ANALYSIS AND CONSTRUCTION RECOMMENDATIONS.
7. STREETS MUST BE CLEANED AND SWEEP WHENEVER TRACKING OF SEDIMENTS OCCURS AND BEFORE SITES ARE LEFT IDE FOR WEEKENDS AND HOLIDAYS. A REGULAR SWEEPING SCHEDULE MUST BE ESTABLISHED.
8. DUST MUST BE ADEQUATELY CONTROLLED.
9. SEE SWPPP FOR ADDITIONAL EROSION CONTROL NOTES AND REQUIREMENTS.
10. SEE UTILITY PLAN FOR WATER, STORM AND SANITARY SEWER INFORMATION.
11. SEE SITE PLAN FOR CURB AND BITUMINOUS TAPER LOCATIONS.

1400 PARK

MINNEAPOLIS, MN



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SUBMITTAL/REVISIONS

DATE	DESCRIPTION
10.30.15	CITY SUBMITTAL
11.15.15	FOR SUBMITTAL
02.16.16	LAND USE SUBMITTAL
03.14.16	LAND USE UPDATE SUBMITTAL

PROFESSIONAL SIGNATURE

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

QUALITY CONTROL

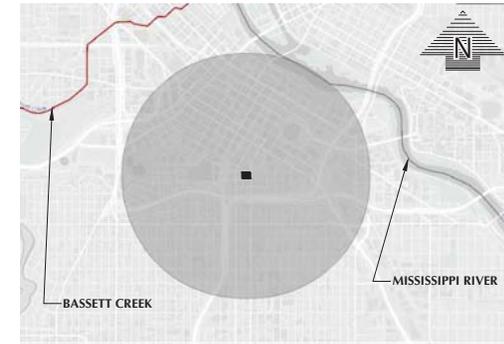
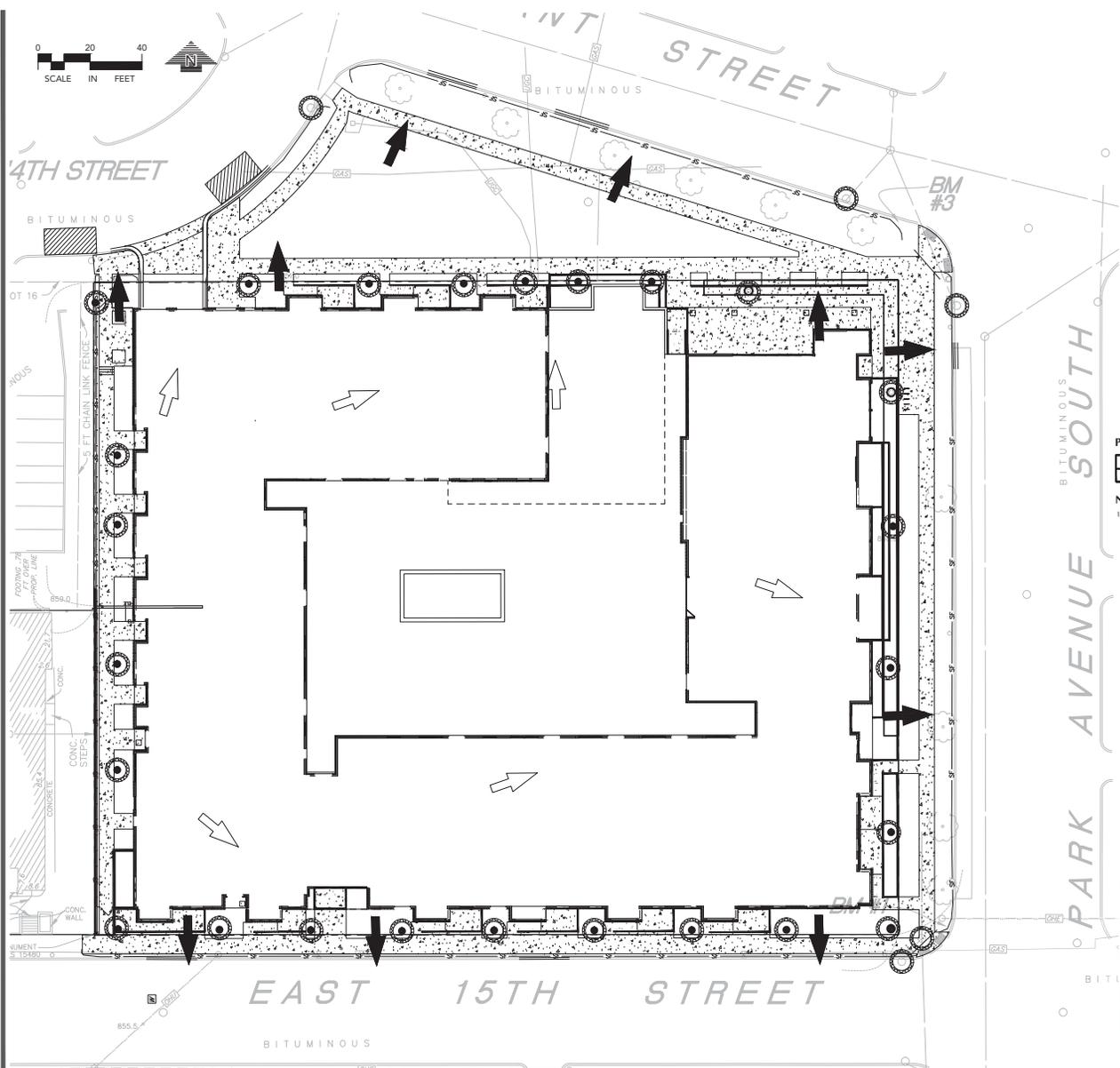
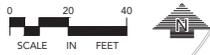
License No.	45861
Date	1-15-16
Project No.	15301
Drawn By	TRG
Checked By	NMM
Review Date	1-15-16

SHEET INDEX

C1.1	DEMOLITION PLAN
C1.2	DEMOLITION SITE PLAN
C2	GRADING & DRAINAGE PLAN
C2.1	GRADING & DRAINAGE PLAN - SWEEP
C2.2	STORM WATER POLLUTION PREVENTION PLAN
C2.3	STORM WATER POLLUTION PREVENTION NOTES
C2.4	UTILITY PLAN
C2.5	DETAIL SHEET
C2.6	DETAIL SHEET

GRADING & DRAINAGE PLAN

C3-1



MAP LEGEND

- IMPAIRED WATER
- SPECIAL WATER
- 1 MILE RADIUS AREA

TYPICAL SUBSURFACE SOIL STRATUM

STRATUM	DEPTH TO BASE OF STRATUM BELOW EXISTING GRADE	MATERIAL DESCRIPTION
1	3 TO 12 INCHES	TOPSOIL
2	1 TO 14 FEET	SM, SP
3	5 TO 25	SM-SP

PROJECT LOCATION

COUNTY	TOWNSHIP	LATITUDE	LONGITUDE
HENNEPIN	29	44.9684	-93.2658

*SEE GEOTECH REPORT AS PART OF SWPPP FOR ADDITIONAL SOILS INFORMATION

NOTE
1. SEE SHEET C3-3 FOR SWPPP NOTES AND DETAILS

ESTIMATED QUANTITIES

DESCRIPTION	UNIT	QUANTITY
TEMPORARY ROCK CONSTRUCTION ENTRANCE	EA	2
PREFABRICATED CONCRETE WASHOUT	EA	1
SILT FENCE (STANDARD)	LF	8,000
BIORILLS	LF	200
INLET PROTECTION	EA	50
TURF RESTORATION	AC	5

PERMANENT STORMWATER MANAGEMENT

X	INFILTRATION
	STORMWATER HARVEST AND REUSE
	FILTRATION
	WET SEDIMENTATION BASIN
	REGIONAL PONDING

RECEIVING WATERS

NAME OF WATER BODY	TYPE OF WATER BODY	SPECIAL WATER	IMPAIRED WATER	TYPE OF SPECIAL WATER	TYPE OF IMPAIRMENT
MISSISSIPPI RIVER	RIVER	NO	NO		

PERMANENT MAINTENANCE

Impaired Area	Maintenance Activity	Frequency	Responsible Party	Notes
1. Impaired Area	Maintenance Activity	Frequency	Responsible Party	Notes
2. Impaired Area	Maintenance Activity	Frequency	Responsible Party	Notes
3. Impaired Area	Maintenance Activity	Frequency	Responsible Party	Notes
4. Impaired Area	Maintenance Activity	Frequency	Responsible Party	Notes

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SUBMITTAL REVISIONS

DATE	DESCRIPTION
10-20-15	CITY SUBMITTAL
11-15-15	FOR SUBMITTAL
02-16-16	LAND USE SUBMITTAL
03-14-16	LAND USE UPDATE SUBMITTAL

PROFESSIONAL SIGNATURE
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

License No. 45561
Date 1-15-16

QUALITY CONTROL
Loucks Project No. 15301
Project Lead NMM
Drawn By TRG
Checked By NMM
Review Date 1-15-16

SHEET INDEX

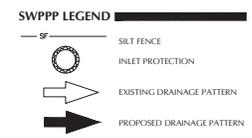
C1-2	DEMOLITION PLAN
C1-3	UTILITY SITE PLAN
C2-1	GRADING & DRAINAGE PLAN
C2-2	PERMANENT MAINTENANCE PLAN
C2-3	STORM WATER POLLUTION PREVENTION PLAN - SWPPP
C2-4	STORM WATER POLLUTION PREVENTION NOTES
C2-5	STORM WATER POLLUTION PREVENTION NOTES
C2-6	STORM WATER POLLUTION PREVENTION NOTES
C2-7	STORM WATER POLLUTION PREVENTION NOTES
C2-8	STORM WATER POLLUTION PREVENTION NOTES
C2-9	STORM WATER POLLUTION PREVENTION NOTES
C2-10	STORM WATER POLLUTION PREVENTION NOTES

STORM WATER POLLUTION PREVENTION PLAN - SWPPP

C3-2



CALL BEFORE YOU DIG
Gopher State One Call
TWIN CITY AREA: 651-454-0002
TOLL FREE: 1-800-252-1166



Plot: 02/18/2016 9:14 AM W:\2015\15301\CADD\DATA\CIVIL\Prop Sheet Plot\C3-2

SWPPP NOTES

- PROJECT DESCRIPTION**
THE NATURE OF THIS PROJECT WILL CONSIST OF CONSTRUCTING A MULTI TENANT RESIDENTIAL BUILDING WITH ASSOCIATED SURFACE PAVEMENTS, UTILITIES AND STORMWATER MANAGEMENT. THIS SITE IS LOCATED WITHIN A CONCESSION AREA OF THE MISSISSIPPI RIVER IN A SECTION THAT IS NOT SPECIAL OR IMPAIRED.
- SEQUENCING OF MAJOR CONSTRUCTION ACTIVITIES ARE AS FOLLOWS:**
 - INSTALL VEHICLE TRACKING BUMP
 - INSTALL SILT FENCE AROUND SITE
 - INSTALL PROTECTIVE FENCE AROUND TREES TO REMAIN CLEAR AND GRUB SITE
 - STRIP AND STOCKPILE TOPSOIL
 - CONSTRUCT STORMWATER MANAGEMENT SYSTEMS
 - INSTALL SILT FENCE AROUND STORM SEWER
 - ROCK GRANITE STONE
 - INSTALL UTILITIES
 - INSTALL BUILDING FOUNDATIONS
 - INSTALL CURB AND GUTTER
 - SEED AND MULCH LANDSCAPE PER PLAN
 - FINAL GRADE SITE
 - SEED AND MULCH LANDSCAPE PER PLAN
 - WHEN ALL CONSTRUCTION ACTIVITY IS COMPLETE AND THE SITE IS STABILIZED, REMOVE SILT FENCE AND REEVAL ANY AREAS DISTURBED BY THE REMOVAL.
- SITE DATA**

AREA OF DISTURBANCE:	2.2± AC
PRE-CONSTRUCTION IMPERVIOUS AREA:	1.1± AC
POST-CONSTRUCTION IMPERVIOUS AREA:	1.7± AC
- GENERAL SOIL TYPE:** HSG A
- THE LOCATION OF AREAS NOT TO BE DISTURBED MUST BE IDENTIFIED WITH FLAGS, STAKES, SIGNS, SILT FENCE, ETC. BEFORE CONSTRUCTION BEGINS.**
- ALL DISTURBED GROUND LEFT INACTIVE FOR SEVEN (7) OR MORE DAYS SHALL BE STABILIZED BY SEEDING OR SOILING. OTHER AVAILABLE METHODS SUCH AS MULCHING, OR COVERING WITH AN EQUIVALENT COVER, MEASURED AT A RATE OF 1.5 TIMES STANDARD SEEDING FINAL STABILIZATION TO BE DONE PER LANDSCAPE PLAN, SEE SHEET L11.**
- ON SLOPES 3:1 OR GREATER MAINTAIN SHEET FLOW AND MINIMIZE RILLS AND/OR GULLIES. SLOPE LENGTHS CAN NOT BE GREATER THAN 75 FEET. SLOPES GREATER THAN 3:1, ALL 3:1 SLOPES TO BE STABILIZED WITH EROSION CONTROL BLANKET**
- ALL STORM DRAINS AND INLETS MUST BE PROTECTED UNTIL ALL SOURCES OF POTENTIAL DISCHARGE ARE STABILIZED.**
- TEMPORARY SOIL STOCKPILES MUST HAVE EFFECTIVE SEDIMENT CONTROL AND CAN NOT BE PLACED IN SURFACE WATERS OR STORMWATER COURSES. TEMPORARY STOCKPILES MUST BE COVERED WITH SIGNIFICANT AMOUNT OF SILT, CLAY, OR ORGANIC COMPOUNDS ARE EXCEPT CLEAN AGGREGATE STOCKPILES, REMEDIATION CONCRETE STOCKPILES, SAND STOCKPILES.**
- SEDIMENT LADEN WATER MUST BE DISCHARGED TO A SEDIMENTATION BASIN WHENEVER POSSIBLE. IF NOT POSSIBLE, IT MUST BE TREATED WITH THE APPROVED BUMPS.**
- SOLID WASTE MUST BE DISPOSED OR PROPERLY AND MUST COMPLY WITH MPCA DISPOSAL REQUIREMENTS.**
- THE WATERSHED DISTRICT OR THE CITY MAY HAVE REQUIREMENTS FOR INSPECTIONS OR AS-BUILT DRAWINGS VERIFYING PROPER CONSTRUCTION OF THE BUMPS.**
- THE OWNER WHO SIGNS THE PERMIT APPLICATION IS A PERMITTEE AND IS RESPONSIBLE FOR COMPLIANCE WITH ALL TERMS AND CONDITIONS OF THE PERMIT. THE OPERATOR/CONTRACTOR WHO SIGNS THE PERMIT APPLICATION IS A PERMITTEE FOR PARTS III, PART I.C., PART I.B., PART V, PART IV AND APPLICABLE CONSTRUCTION ACTIVITIES DESCRIBED IN PART I.A., PART C, OF THE PERMIT AND IS JOINTLY RESPONSIBLE WITH THE OWNER FOR COMPLIANCE WITH THOSE PORTIONS OF THE PERMIT.**
- TERMINATION OF COVERAGE/PERMITTEE'S WISHING TO TERMINATE COVERAGE MUST SUBMIT A NOTICE OF TERMINATION TO THE MPCA. ALL PERMITTEES MUST NOT WORK WITHIN 30 DAYS AFTER ONE OR MORE OF THE FOLLOWING CONDITIONS HAVE BEEN MET:**
 - FINAL STABILIZATION, PERMITTES PERMIT PART IV.G, HAS BEEN ACHIEVED ON ALL PORTIONS OF THE SITE FOR WHICH THE PERMITTEE IS RESPONSIBLE.
 - TRANSFER OF OWNERSHIP AS DESCRIBED IN THE PERMIT.
- INSPECTIONS**
 - INITIAL INSPECTION FOLLOWING SILT FENCE INSTALLATION BY CITY REPRESENTATIVE IS REQUIRED.
 - EXPOSED SOIL AREAS, ONCE EVERY 7 DAYS AND WITHIN 24 HOURS FOLLOWING A 0.5" OVER 24 HOUR RAIN EVENT
 - STABILIZED AREAS, ONCE EVERY 30 DAYS
 - FROZEN GROUND, AS SOON AS REMOVAL OCCURS OR PRIOR TO RESUMING CONSTRUCTION.
 - INSPECTION AND MAINTENANCE RECORDS MUST BE RETAINED FOR 3 YEARS AFTER FILING OF THE NOTICE OF TERMINATION AND MUST INCLUDE DATE AND TIME OF ACTIVITY, NAME OF PERSONS CONDUCTING WORK, FINDINGS OF INSPECTIONS AND RECOMMENDATIONS FOR CORRECTIVE ACTION, DATE AND AMOUNT OF RAIN AND WIND EVENTS GREATER THAN 0.5 INCHES IN A 24 HOUR PERIOD.
- MINIMUM MAINTENANCE**
 - SILT FENCE TO BE REPAIRED, REPLACED, SUPPLEMENTED WHEN NONFUNCTIONAL, OR 1/3 FULL, WITHIN 24 HOURS
 - SEDIMENT BASINS DRAINED AND SEDIMENT REMOVED WHEN REACHES 1/2 STORAGE VOLUME. REMOVAL MUST BE COMPLETE WITHIN 72 HOURS OF DISCOVERY.
 - SEDIMENT REMOVED FROM SURFACE WATERS WITHIN 72 HOURS OF DISCOVERY.
 - CONSTRUCTION SITE VISITS INSPECTED, TRACKED SEDIMENT REMOVED WITHIN 24 HOURS.
 - PROVIDE COPIES OF EROSION INSPECTION RESULTS TO CITY ENGINEER FOR ALL EVENTS GREATER THAN 1/2" IN 24 HOURS.
- THE SWPPP, INCLUDING ALL CHANGES TO IT, AND INSPECTIONS AND MAINTENANCE RECORDS MUST BE KEPT AT THE SITE DURING CONSTRUCTION ACTIVITY BY THE PERMITTEES WHO HAVE OPERATIONAL CONTROL OF THE SITE.**
- OWNER MUST KEEP RECORDS OF ALL PERMITS REQUIRED FOR THE PROJECT, THE SWPPP, ALL INSPECTIONS AND MAINTENANCE, PREVENTION OPERATION AND MAINTENANCE AGREEMENTS, AND REQUIRED CALCULATIONS FOR TEMPORARY AND PERMANENT STORM WATER MANAGEMENT SYSTEMS. THESE RECORDS MUST BE RETAINED FOR THREE YEARS AFTER FILING, NOTES NOTICE OF TERMINATION.**
- SWPPP MUST BE AMENDED WHEN:**
 - THERE IS A CHANGE IN DESIGN, OPERATION, MAINTENANCE, WEATHER OR SEASONAL CONDITIONS THAT HAS A SIGNIFICANT EFFECT ON DISCHARGES
 - INSPECTIONS INDICATE THAT THE SWPPP IS NOT EFFECTIVE AND DISCHARGE IS EXCEEDING WATER QUALITY STANDARDS
 - THE BUMPS IN THE SWPPP ARE NOT CONTROLLING POLLUTANTS IN DISCHARGES OR IS NOT CONSISTENT WITH THE TERMS AND CONDITIONS OF THE PERMIT
 - AT ANY TIME AFTER PERMIT COVERAGE IS EFFECTIVE, THE MPCA MAY DETERMINE THAT THE PROJECT'S STORMWATER DISCHARGES MAY CAUSE, HAVE A SIGNIFICANT POTENTIAL TO CAUSE, OR CONTRIBUTE TO NON-ATTAINMENT OF ANY APPLICABLE WATER QUALITY STANDARDS, OR THAT THE SWPPP DOES NOT INCORPORATE THE APPLICABLE REQUIREMENTS IN PART III.A., IMPAIRED WATERS AND TRENDS; OR A WATER QUALITY STANDARD CHANGE DURING THE TERM OF THIS PERMIT. THE MPCA WILL MAKE A DETERMINATION AS TO WHETHER A MODIFICATION OF THE SWPPP IS NECESSARY TO ADDRESS THE NEW STANDARD. IF THE MPCA MAKES SUCH DETERMINATION, THE MPCA WILL, AS PART OF THE DETERMINATION, PART III.B.1., THE MPCA WILL NOTIFY THE PERMITTEE IN WRITING. IN RESPONSE, THE PERMITTEE MUST AMEND THE SWPPP TO ADDRESS THE IDENTIFIED CONCERN AND SUBMIT INFORMATION AS REQUESTED BY THE MPCA, WHICH MAY INCLUDE AN INDIVIDUAL PERMIT APPLICATION, IF THE MPCA'S WRITTEN NOTICE INDICATES THAT THERE IS A RISK OF FAILURE TO RESPOND WITHIN THE SPECIFIED TIMEFRAME CONSTITUTES PERMIT VIOLATION.
- CONCRETE WASHOUT AREA**
 - CONTRACTOR TO PROVIDE PREPARED CONCRETE WASH-OUT CONTAINER WITH RAIN PROTECTION PER PLAN.
 - CONCRETE WASH-OUT TO BE IDENTIFIED WITH SIGNAGE STATING "CONCRETE WASHOUT AREA DO NOT COVER."
 - CONCRETE WASHOUT WATER NEEDS TO BE PUMPED WITHIN 24 HOURS OF STANDING WATER IN WASHOUT AREA.
- IN THE EVENT OF ENCOUNTERING A WELL OR SPRING DURING CONSTRUCTION CONTRACTOR TO CEASE CONSTRUCTION ACTIVITY AND NOTIFY ENGINEER.**
- PIPE OUTLETS MUST BE PROVIDED WITH TEMPORARY OR PERMANENT ENERGY DISSIPATION WITHIN 24 HOURS AFTER CONNECTION TO A SURFACE WATER.**

- FINAL STABILIZATION**
FINAL STABILIZATION REQUIRES THAT ALL SOIL DISTURBING ACTIVITIES HAVE BEEN COMPLETED AND THAT DISTURBED AREAS ARE STABILIZED BY A UNIFORM PERENNIAL VEGETATIVE COVER WITH 70% OF THE EXPECTED FINAL DENSITY, AND THAT ALL TEMPORARY FAVORS HAVE BEEN INSTALLED. ALL TEMPORARY BUMPS SHALL BE REMOVED, DITCHES STABILIZED, AND SEDIMENT SHALL BE REMOVED FROM PERMANENT CONVEYANCES AND SEDIMENTATION BASINS IN ORDER TO RETURN TO DESIGN CAPACITY.
- TEMPORARY SEDIMENTATION BASINS**
 - THE TEMPORARY SEDIMENTATION BASINS SHALL BE CONSTRUCTED AND MAINTAINED OPERATIONAL PRIOR TO DISTURBANCE OF 10 OR MORE ACRES DRAINING TO A COMMON LOCATION.
 - TEMPORARY SEDIMENTATION BASINS ARE REQUIRED PRIOR TO RUNOFF LEAVING THE CONSTRUCTION SITE OR ENTERING SURFACE WATERS WITHIN 10 OR MORE ACRES OF DISTURBED SOILS DRAIN TO A COMMON LOCATION. LOCATIONS MUST BE 100 FEET FROM THE OUTLET FOR EACH ACRES DRAINING. IF HYDROLOGICAL CALCULATIONS ARE AVAILABLE, THE TEMPORARY SEDIMENTATION BASIN SHALL BE MAINTAINED AND OPERATIONAL WITH THE START OF SOIL DISTURBANCE. IN CASE LESS THAN 1000 CU YD. FILL PER ACRE DRAINING, THE TEMPORARY SEDIMENTATION BASIN MUST BE CONSTRUCTED AND MAINTAINED OPERATIONAL WITH THE START OF SOIL DISTURBANCE. THE GRADIENT OF THE POND, THE TEMPORARY SEDIMENTATION BASIN SHALL BE DESIGNED TO PREVENT COMPLETE DRAWDOWN OF THE POND FOR MAINTENANCE ACTIVITIES, AND HAVE ENERGY DISSIPATION. THE OUTLET SHALL BE DESIGNED TO REMOVE FEASIBLE EMBERS, AND HAVE ENERGY DISSIPATION. EMERGENCY SPOOLS SHALL BE PROVIDED.
 - TEMPORARY SEDIMENTATION BASINS SHALL BE SITUATED OUTSIDE OF SURFACE WATERS AND ANY REQUIRED BUFFER ZONE, AND MUST BE DESIGNED TO AVOID DRAINING WETLANDS, UNLESS THE IMPACT IS IN COMPLIANCE WITH THE REQUIREMENTS OF THIS PERMIT.
 - EXCESSIVE SEDIMENT-LADEN WATER THAT IS NOT PROPERLY FILTERED WILL NOT BE PERMITTED TO DISCHARGE FROM SITE.
- Dewatering and Basin Draining**
 - TURBID OR SEDIMENT-LADEN WATERS RELATED TO DEWATERING OR BASIN DRAINING SHALL BE DISCHARGED TO A TEMPORARY OR PERMANENT SEDIMENTATION BASIN ON THE PROJECT SITE UNLESS NEARBY SURFACE WATER OR PERMANENT BASIN MAY DISCHARGE TO SURFACE WATERS. IF THE BASIN WATER HAS BEEN VISUALLY CHECKED TO ENHANCE ADEQUATE TREATMENT HAS BEEN OBTAINED IN THE BASIN AND THAT THE NEARBY SURFACE WATER OR PERMANENT BASIN WILL NOT BE AFFECTED, DISCHARGE POINTS SHALL BE ADEQUATELY PROTECTED FROM EROSION AND PROPER VELOCITY DISSIPATION PROVIDED.
 - ALL WATER FROM DEWATERING OR BASIN DRAINING ACTIVITIES MUST BE DISCHARGED IN A MANNER THAT DOES NOT CAUSE NUISANCE CONDITIONS, EROSION IN THE RECEIVING CHANNELS OR ON DOWN SLOPE PROPERTIES, OR INTERFERENCE WITH ANY OTHER CAUSING IMPACTS TO THE RECEIVING CHANNELS OR WETLANDS.
 - IF FILL OR BACKWASH WATERS ARE USED, THE BACKWASH WATER SHALL BE HALLED AWAY FOR DISPOSAL, RETURNED TO THE BEGINNING OF THE TREATMENT PROCESS, OR INCORPORATED INTO SITE IN A MANNER THAT DOES NOT CAUSE EROSION OR IMPAIR WATERWAY WATER QUALITY TO SANITARY SEWER IF PERMISSON IS GRANTED BY THE SANITARY SEWER AUTHORITY.
- POLLUTION PREVENTION**
 - BUILDING PRODUCTS THAT HAVE THE POTENTIAL TO LEACH POLLUTANTS MUST BE UNDER COVER TO PREVENT EROSION OR PROTECTED BY AN EFFECTIVE MEANS DESIGNED TO MINIMIZE CONTACT WITH STORMWATER.
 - PESTICIDES, HERBICIDES, INSECTICIDES, FERTILIZERS, TREATMENT CHEMICALS, AND LANDSCAPE MATERIALS MUST BE UNDER COVER.
 - HAZARDOUS MATERIALS AND TOXIC WASTE MUST BE PROVIDED TO PREVENT VANDALISM.
 - SOLID WASTE MUST BE STORED, COLLECTED AND DISPOSED OF IN COMPLIANCE WITH MN, R. CH 7035.
 - PORTABLE TOILETS MUST BE POSITIONED SO THAT THEY ARE SECURE AND WILL NOT BE TIPPED OR OVERTURNED. SANITARY WASTE MUST BE DISPOSED OF PROPERLY IN ACCORDANCE WITH MN, R. CH 7041.
 - DISCHARGE OF SPILLED OR LEAKED CHEMICALS, INCLUDING FUEL, FROM ANY AREA WHERE CHEMICALS OR FUELS WILL BE LOADED OR UNLOADED SHALL BE PREVENTED USING Drip PANS OR ABSORBENTS. Drip PANS SHALL BE AVAILABLE AT ALL TIMES TO CLEAN UP DISCHARGED MATERIALS AND THAT AN APPROPRIATE DISPOSAL METHOD MUST BE AVAILABLE FOR RECOVERED SPILLED MATERIALS.
- DESIGN CALCULATIONS**
TEMPORARY AND PERMANENT STORMWATER TREATMENT ARE DESIGNED TO MEET A GENERAL SPECIAL WATER QUALITY STANDARD. THE HYDROLOGIC RECORDS IN PART III.A., WHICH IS TO BE CONSIDERED PART OF THE SWPPP DOCUMENTS, SEE HYDROLOGY REPORT FOR ADDITIONAL INFORMATION.
- GENERAL STORMWATER DISCHARGE REQUIREMENTS**
ALL REQUIREMENTS LISTED IN PART III OF THE PERMIT FOR DESIGN OF THE PERMANENT STORMWATER MANAGEMENT SYSTEM DESCRIBED IN PART III.D. SHALL BE ONE TO TWO INCH OF THIS SWPPP. THESE INCLUDE BUT ARE NOT LIMITED TO:
 - THE EXPECTED AMOUNT, FREQUENCY, INTENSITY, AND DURATION PRECIPITATION.
 - THE NATURE OF STORMWATER INFLOW AND RUNOFF AT THE SITE.
 - PEAK FLOW RATES AND STORMWATER VOLUMES TO MINIMIZE EROSION AT OUTLETS AND DOWNSTREAM CHANNELS AND STORMWATER BASINS.
 - THE RANGE OF SOIL PARTICLE SIZES EXPECTED TO BE PRESENT ON THE SITE.
- CONSTRUCTION OF FILTRATION BASINS**
 - NO HEAVY TRAFFIC ON FILTRATION AREAS. CONSTRUCTION TO BE DONE WITH MINIMAL COMPACTION COMPACTED TO FILTRATION AREAS. IF COMPACTION IS ENCOUNTERED, BASIN SOILS FOR THE FIRST 18" MUST BE REMOVED & REPLACED.
 - INFILTRATION SYSTEMS MUST NOT BE EXCAVATED TO FINAL GRADE UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN CONSTRUCTED AND FULLY STABILIZED UNLESS REGIONAL EROSION PREVENTION AND SEDIMENT CONTROLS ARE PROVIDED PER I.D.1.C.I.
 - WHEN AN INFILTRATION SYSTEM IS EXCAVATED TO FINAL GRADE OR WITHIN THREE (3) FEET OF FINAL GRADE, THE PERMITTEE MUST EMPLOY REGIONAL EROSION PREVENTION AND SEDIMENT CONTROLS (E.G., DIVERSION BERMS TO KEEP SEDIMENT AND RUNOFF COMPLETELY AWAY FROM THE INFILTRATION AREA, THE AREA MUST BE STRENGTHEN AND MARKED SO THAT HEAVY CONSTRUCTION VEHICLES OR EQUIPMENT WILL NOT COMPACT THE SOIL IN THE PROPOSED INFILTRATION AREA.
 - TO PREVENT CLOGGING OF THE INFILTRATION OR FILTRATION SYSTEM, THE PERMITTEE MUST USE A PRE-TREATMENT DEVICE SUCH AS A VEGETATED FILTER STRIP, SMALL SEDIMENTATION BASIN, OR WATER QUALITY INLET (E.G., GRIFF CHAMBER) TO SETTLE PARTICULATES BEFORE THE STORMWATER DISCHARGES INTO THE INFILTRATION/FILTRATION SYSTEM.
- POST CONSTRUCTION**
THE WATER QUALITY VOLUME THAT MUST BE RETAINED ON SITE BY THE PROJECT'S PERMANENT STORMWATER MANAGEMENT SYSTEM DESCRIBED IN PART III.D. SHALL BE ONE TO TWO INCH OF RUNOFF FROM THE NEW IMPERVIOUS SURFACES CREATED BY THE PROJECT. SEE PART III.D.1.1. FOR MORE INFORMATION ON INFILTRATION DESIGN, PROHIBITIONS AND APPROPRIATE SITE CONDITIONS.
- RESPONSIBILITIES**
 - THE OWNER MUST IDENTIFY A CONTRACTOR WHO WILL COVER THE SWPPP IMPLEMENTATION AND THE PERSON RESPONSIBLE FOR INSPECTION AND MAINTENANCE.
 - THE OWNER MUST IDENTIFY THE PERSON WHO WILL BE RESPONSIBLE FOR LONG TERM OPERATIONS AND MAINTENANCE OF THE PERMANENT STORMWATER MANAGEMENT SYSTEM.
- TRAINING REQUIREMENTS**
THE PERMITTEE SHALL ENSURE THE FOLLOWING INDIVIDUALS IDENTIFIED IN THIS PART HAVE BEEN TRAINED IN ACCORDANCE WITH THIS PERMIT'S TRAINING REQUIREMENTS.
 - WHO MUST BE TRAINED:
 - INDIVIDUALS PREPARING THE SWPPP FOR THE PROJECT
 - INDIVIDUALS OVERSEEING IMPLEMENTATION OF, REVISIONS, AND AMENDING THE SWPPP AND INDIVIDUALS PERFORMING INSPECTIONS AS REQUIRED IN PART IV. ONE OF THESE INDIVIDUALS MUST BE AVAILABLE FOR AN ONSITE INSPECTION WITHIN 72 HOURS UPON REQUEST BY THE MPCA.
 - INDIVIDUALS PERFORMING OR SUPERVISING THE INSTALLATION, MAINTENANCE AND REPAIRS OF THE PERMANENT STORMWATER MANAGEMENT SYSTEM. A PROJECT MUST BE TRAINED IN THIS JOB DUTIES.
 - TRAINING CONTENT
THE CONTENT AND EXTENT OF TRAINING MUST BE COMMENSURATE WITH THE INDIVIDUAL'S JOB DUTIES AND RESPONSIBILITIES WITH REGARD TO ACTIVITIES COVERED UNDER THIS PERMIT. AT LEAST ONE INDIVIDUAL PERMANENTLY EMPLOYED BY THE PROJECT SITE (OR AVAILABLE TO THE PROJECT SITE IN 72 HOURS) MUST BE TRAINED IN THE JOB DUTIES DESCRIBED IN PART III.D.1 AND PART III.C.1.
 - THE PERMITTEE SHALL INSURE THAT THE INDIVIDUALS ARE TRAINED BY LOCAL, STATE, FEDERAL AGENCIES, PROFESSIONS WITH EXPERTISE IN EROSION PREVENTION, SEDIMENT CONTROL, PERMANENT STORMWATER MANAGEMENT AND THE MINNESOTA IMPROVED CONSTRUCTION STORMWATER MANAGEMENT AND OPERATIONS BEST PRACTICES TRAINING. MUST BE ATTENDED EVERY THREE (3) YEARS FROM THE ISSUANCE DATE OF THIS PERMIT.

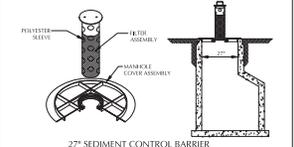
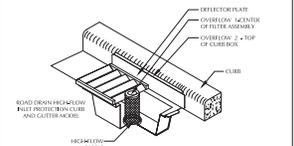
4.1. LIST OF CONTACTS

TITLE	NAME	COMPANY	PHONE NUMBER
OWNER	###		###
PROJECT MANAGER	NICK ANDERSON	LOUCKS ASSOCIATES	763-496-6757
ENGINEER SWPPP	VAL ANDERSON	LOUCKS ASSOCIATES	763-496-6728
CONTRACTOR			
SITE MANAGER			

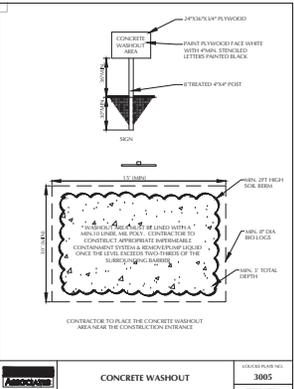
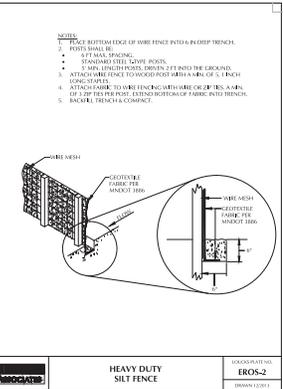
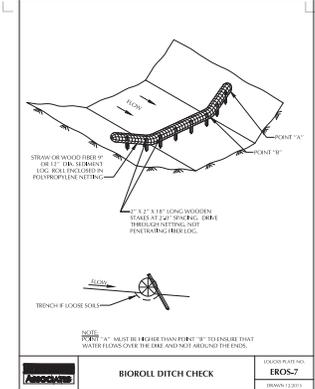
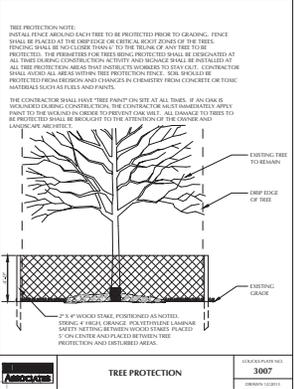
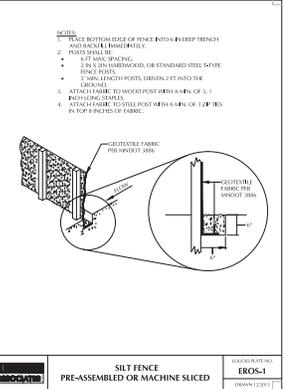
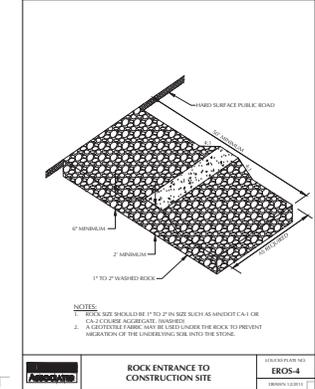
*MPCA 24HR. HAZARDOUS SPILL HOTLINE: 651-695-6537 OR 800-279-78

EROSION AND SEDIMENT CONTROL NOTES

INSTALL PERMANENT EROSION CONTROL AS INDICATED IN PLANS PRIOR TO START OF WORK. THE EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND SHALL BE REMOVED OR MODIFIED AS NECESSARY TO ACCOMMODATE CONSTRUCTION ACTIVITIES. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND SHALL BE REMOVED OR MODIFIED AS NECESSARY TO ACCOMMODATE CONSTRUCTION ACTIVITIES. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND SHALL BE REMOVED OR MODIFIED AS NECESSARY TO ACCOMMODATE CONSTRUCTION ACTIVITIES.



WIMCO ROAD DRAIN OR APPROVED EQUAL
EXISTING PROTECTION -
EXISTING STRUCTURES



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CADD QUALIFICATION

CADD user prepared by the Consultant for the project as a minimum of the following: AutoCAD, MicroStation, Revit, etc. The user shall be responsible for the accuracy of the information provided by the user. The user shall be responsible for the accuracy of the information provided by the user. The user shall be responsible for the accuracy of the information provided by the user.

DATE	CITY SUBMITTAL	PERMITS	LAND USE SUBMITTAL
10.20.15			
11.15.15			
03-14-16			

PROFESSIONAL SIGNATURE

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

License No. 45581
Date 1-15-16

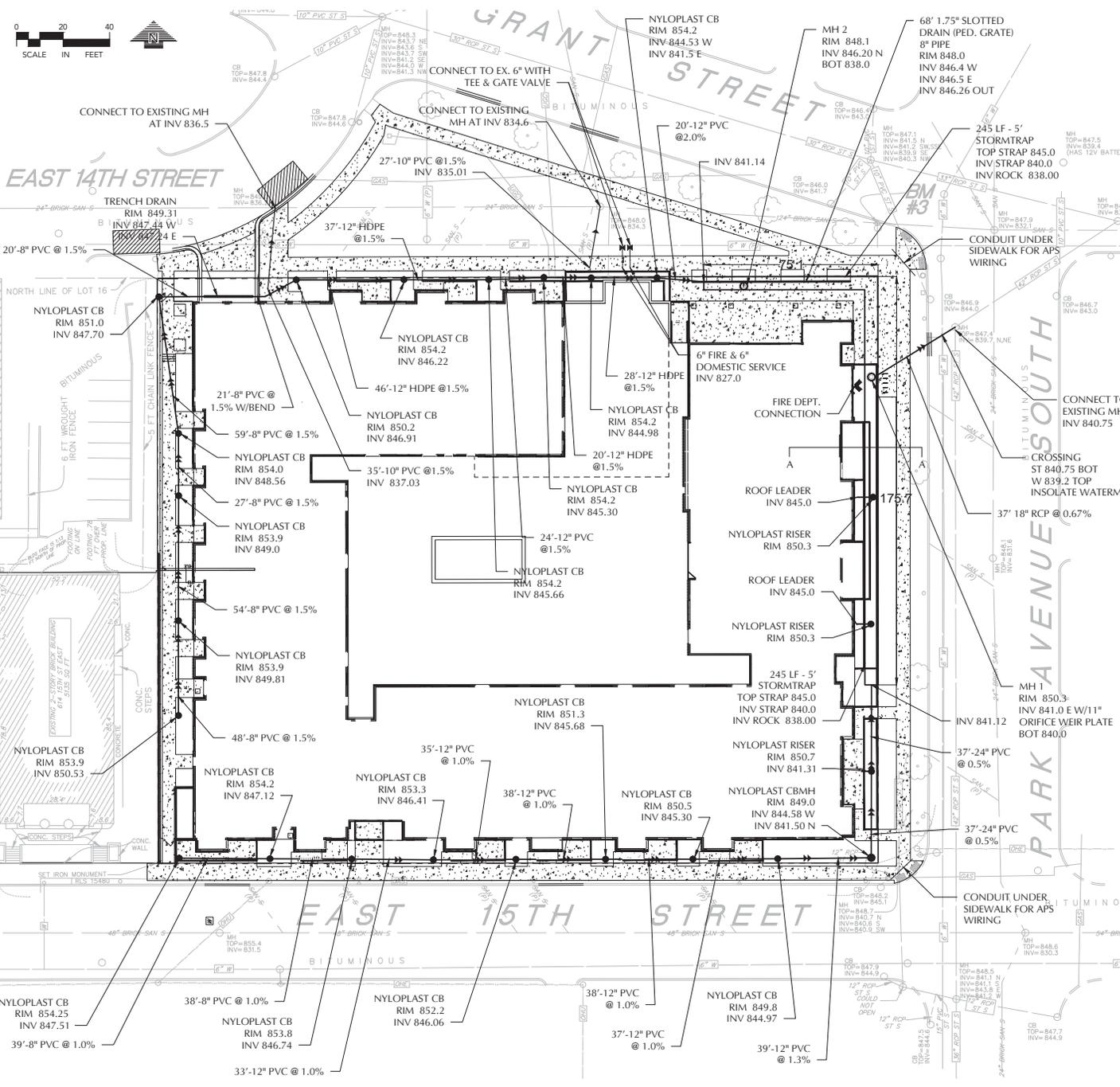
QUALITY CONTROL

Project No. 1530
Drawn by TRC
Checked by TRC
Review Date 1-15-16

SHEET INDEX

NO.	DESCRIPTION
C1	DEMOLITION PLAN
C2	CONCRETE WASHOUT
C3	GRADING & DRAINAGE PLAN
C4	LANDSCAPE PLAN
C5	PERMANENT STORMWATER MANAGEMENT SYSTEM
C6	STORMWATER POLLUTION PREVENTION
C7	CONCRETE WASHOUT
C8	DETAIL SHEET
C9	CONCRETE WASHOUT
C10	CONCRETE WASHOUT

SWPPP NOTES
& DETAILS
C3-3



UTILITY NOTES

- ALL SANITARY SEWER, STORM SEWER AND WATERMAIN UTILITIES SHALL BE FURNISHED AND INSTALLED PER THE REQUIREMENTS OF THE SPECIFICATIONS, THE MINNESOTA PLUMBING CODE, THE LOCAL GOVERNING UNIT, AND THE STANDARD UTILITIES SPECIFICATION OF THE CITY ENGINEERS ASSOCIATION OF MINNESOTA (CEAM, 2013 EDITION).
- ALL UTILITY PIPE BEDDING SHALL BE COMPACTED SAND OR FINE GRANULAR MATERIAL. ALL CONNECTIONS SHALL BE PERFORMED PER THE REQUIREMENTS OF THE CEAM SPECIFICATION AND THE GEOTECHNICAL REPORT.
- ALL CONNECTIONS TO EXISTING UTILITIES SHALL BE PERFORMED PER THE REQUIREMENTS OF THE STATE AND LOCAL JURISDICTIONS. THE CITY DEPARTMENT OF ENGINEERING AND BUILDING INSPECTIONS DEPARTMENT AND THE CONSTRUCTION ENGINEER MUST BE NOTIFIED AT LEAST 48 HOURS PRIOR TO ANY WORK. WITHIN THE PUBLIC RIGHT OF WAY, OR WORK IMPACTING PUBLIC UTILITIES.
- ALL STORM SEWER, SANITARY SEWER AND WATER SERVICES SHALL TERMINATE 5' FROM THE BUILDING FACE UNLESS OTHERWISE NOTED.
- A MINIMUM OF 18 INCHES OF VERTICAL SEPARATION AND 10 FEET OF HORIZONTAL SEPARATION IS REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
- ALL NEW WATERMAIN AND SERVICES MUST HAVE A MINIMUM OF 8.0 FEET OF COVER. NETTRA DEPTH MAY BE REQUIRED TO MAINTAIN A MINIMUM 18" VERTICAL SEPARATION TO SANITARY OR STORM SEWER LINES. THE CONTRACTOR SHALL FIELD ADJUST WATERMAIN TO AVOID CONFLICTS WITH SANITARY SEWER, STORM SEWER, AND SERVICES AS REQUIRED. INSULATION OF WATER AND SANITARY SEWER LINES SHALL BE PROVIDED WHERE 8.0 FEET MINIMUM DEPTH CAN NOT BE ATTAINED.
- ALL FIRE HYDRANTS SHALL BE LOCATED 5 FEET BEHIND BACK OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- PROPOSED PIPE MATERIALS:

WATERMAIN	SDP	3.0" DIAMETER
SANITARY SEWER	PVC SDR 35	6" DIAMETER
STORM SEWER	DUAL WALL HDPE	12" TO 15" DIAMETER
STORM SEWER	CPIP PERFORATED	40" DIAMETER
- ALL SANITARY SEWER WYES, TEES AND SERVICES SHALL BE 1/2" PVC SDR 35.
- CONTRACTOR TO SUBMIT SHOP DRAWINGS OF UNDERGROUND RETENTION SYSTEM FOR ENGINEER'S REVIEW.
- ALL PORTIONS OF THE STORM SEWER SYSTEM, INCLUDING CATCH BASINS, LOCATED WITHIN 10 FEET OF THE BUILDING OR WATER SERVICE LINE MUST BE TESTED ACCORDANCE WITH MINNESOTA RULES, PART 4715.2820.
- ALL JOINTS AND CONNECTIONS IN THE STORM SEWER SYSTEM SHALL BE GASTIGHT OR WATERTIGHT (SEE MINNESOTA RULES, PART 4715.0700). APPROVED RESILIENT RUBBER JOINTS MUST BE USED TO MAKE WATERTIGHT CONNECTIONS TO MANHOLES, CATCHBASINS, AND OTHER STRUCTURES.
- HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINS MUST COMPLY WITH MINNESOTA RULES, PART 4715.0540:
 - PIPES 4-INCH TO 10-INCH IN SIZE MUST COMPLY WITH AASHTO M252.
 - PIPES 12-INCH TO 60-INCH IN SIZE MUST COMPLY WITH ASTM F2306.
 - ALL FITTINGS MUST COMPLY WITH ASTM D3212.
 - WATER-TIGHT JOINTS MUST BE USED AT ALL CONNECTIONS INCLUDING STRUCTURES.
- THE CONTRACTOR, PROPERTY OWNER OR RESPONSIBLE PARTY SHALL CONTACT MINNEAPOLIS SURFACE WATERS AND SEWERS 48 HOURS PRIOR TO ANY EXCAVATION OR CONSTRUCTION RELATED TO OR IN THE LOCATION OF THE PROPOSED STORMWATER MANAGEMENT BMP (CONTACT PAUL CHELLEN, 612-673-2400).
- UPON THE PROJECT'S COMPLETION THE GENERAL CONTRACTOR, PROPERTY OWNER OR RESPONSIBLE PARTY SHALL PROVIDE TO THE DEPARTMENT OF PUBLIC WORKS A FINAL STORMWATER MANAGEMENT REPORT INCLUDING RECORD DRAWINGS. THIS REPORT WILL SERVE AS A MEANS OF VERIFICATION THAT THE INTENT OF THE APPROVED STORMWATER MANAGEMENT DESIGN HAS BEEN MET. THE FINAL REPORT SHALL SUBstantiate THAT ALL ASPECTS OF THE ORIGINAL DESIGN HAVE BEEN ADEQUATELY PROVIDED FOR BY THE CONSTRUCTION OF THE PROJECT.
- NO NON STORMWATER DISCHARGE OR MECHANICAL DISCHARGES ARE PROPOSED.

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DATE	CITY SUBMITTAL
10.30.15	CITY SUBMITTAL
11.15.15	FOR SUBMITTAL
12.15.15	LAND USE SUBMITTAL
03-14-16	LAND USE UPDATE SUBMITTAL

PROFESSIONAL SIGNATURE

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

License No.	45681
Date	1-15-16

QUALITY CONTROL	
Projects Project No.	1530
Project Lead	MMM
Drawn by	TRG
Checked by	MMM
Review Date	1-15-16

SHEET INDEX

C11	DEMOLITION PLAN
C12	UTILITY PLAN
C13	GRADING & DRAINAGE PLAN
C14	STORMWATER POLLUTION PREVENTION PLAN
C15	STORMWATER POLLUTION PREVENTION PLAN
C16	UTILITY PLAN
C17	UTILITY PLAN
C18	UTILITY PLAN
C19	UTILITY PLAN
C20	UTILITY PLAN
C21	UTILITY PLAN
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C66	UTILITY PLAN
C67	UTILITY PLAN
C68	UTILITY PLAN
C69	UTILITY PLAN
C70	UTILITY PLAN
C71	UTILITY PLAN
C72	UTILITY PLAN
C73	UTILITY PLAN
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C79	UTILITY PLAN
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C81	UTILITY PLAN
C82	UTILITY PLAN
C83	UTILITY PLAN
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C89	UTILITY PLAN
C90	UTILITY PLAN
C91	UTILITY PLAN
C92	UTILITY PLAN
C93	UTILITY PLAN
C94	UTILITY PLAN
C95	UTILITY PLAN
C96	UTILITY PLAN
C97	UTILITY PLAN
C98	UTILITY PLAN
C99	UTILITY PLAN
C100	UTILITY PLAN

UTILITY PLAN
C4-1

CADD QUALIFICATION

CADD files prepared by the Consultant for the project are... CADD files shall be submitted to the Consultant for review...

SUBMITTAL REVISIONS

Table with 2 columns: Revision Number and Description. Includes entries for City Submittal, Land Use Submittal, and Land Use Update Submittal.

PROFESSIONAL SIGNATURE

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

QUALITY CONTROL

Locks Project No. 15301, Project Lead TRG, Drawn By NMM, Checked By TRG, Review Date 1-15-16.

SHEET INDEX

Table listing sheet numbers and titles: 15301-01 SITE PLAN, 15301-02 GRADING & DRAINAGE PLAN, 15301-03 DEMOLITION PLAN, 15301-04 PRELIMINARY CONSTRUCTION PREVENTION PLAN, 15301-05 STORM WATER POLLUTION PREVENTION NOTES, 15301-06 UTILITY LOCATIONS, 15301-07 DETAIL SHEET, 15301-08 DETAIL SHEET.

DETAIL SHEET

C8-1

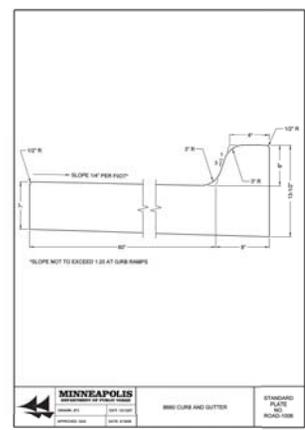
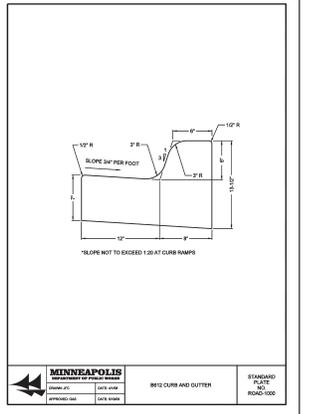
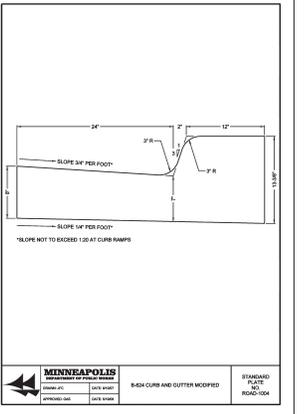
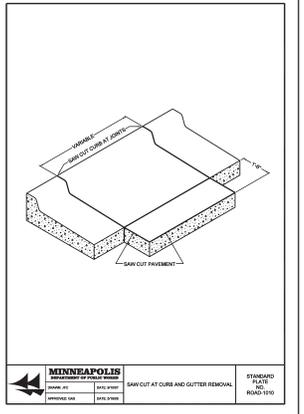
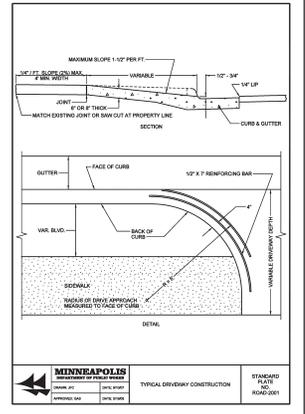
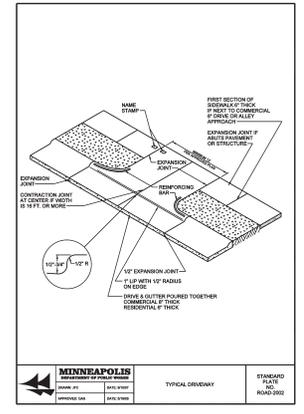
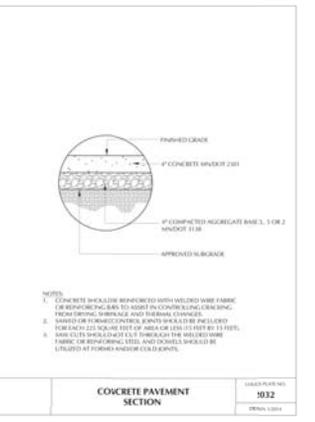
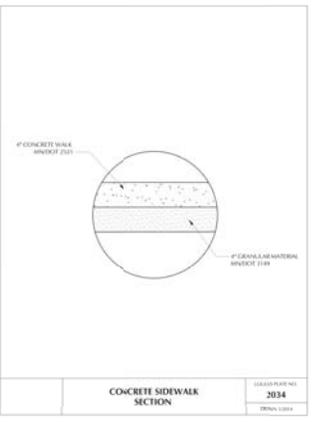
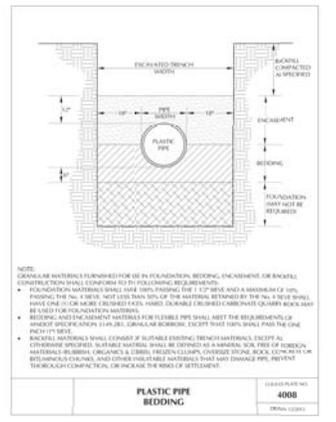
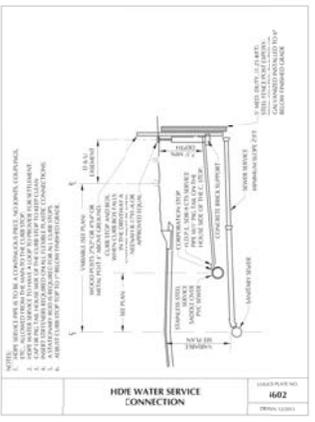
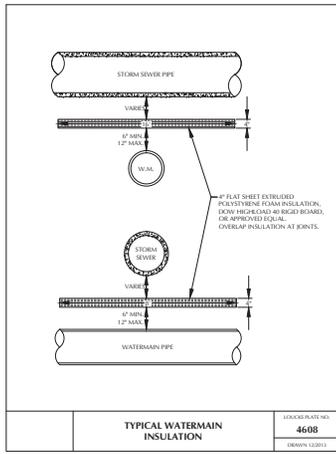
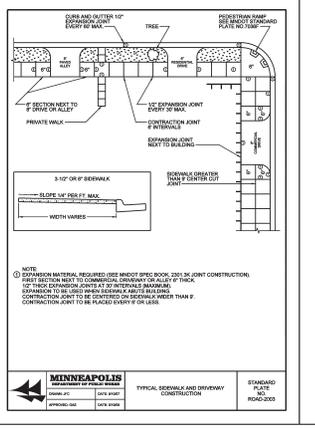
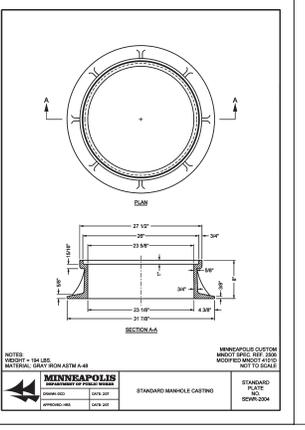


Table with 4 columns: Outside Dia., Average I.D., Wall Thickness, and Max W.P. Pressure. Lists various PVC pipe sizes and their specifications.



CONSULTANTS

PROJECT TITLE

1400 PARK AVE
APARTMENTS

KEY PLAN



ISSUE #	DATE	DESCRIPTION
1	20160314	Land Use Submission

**NOT FOR
CONSTRUCTION**

CERTIFICATION

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Architect under the laws of the State of Minnesota

License Number _____ Date _____

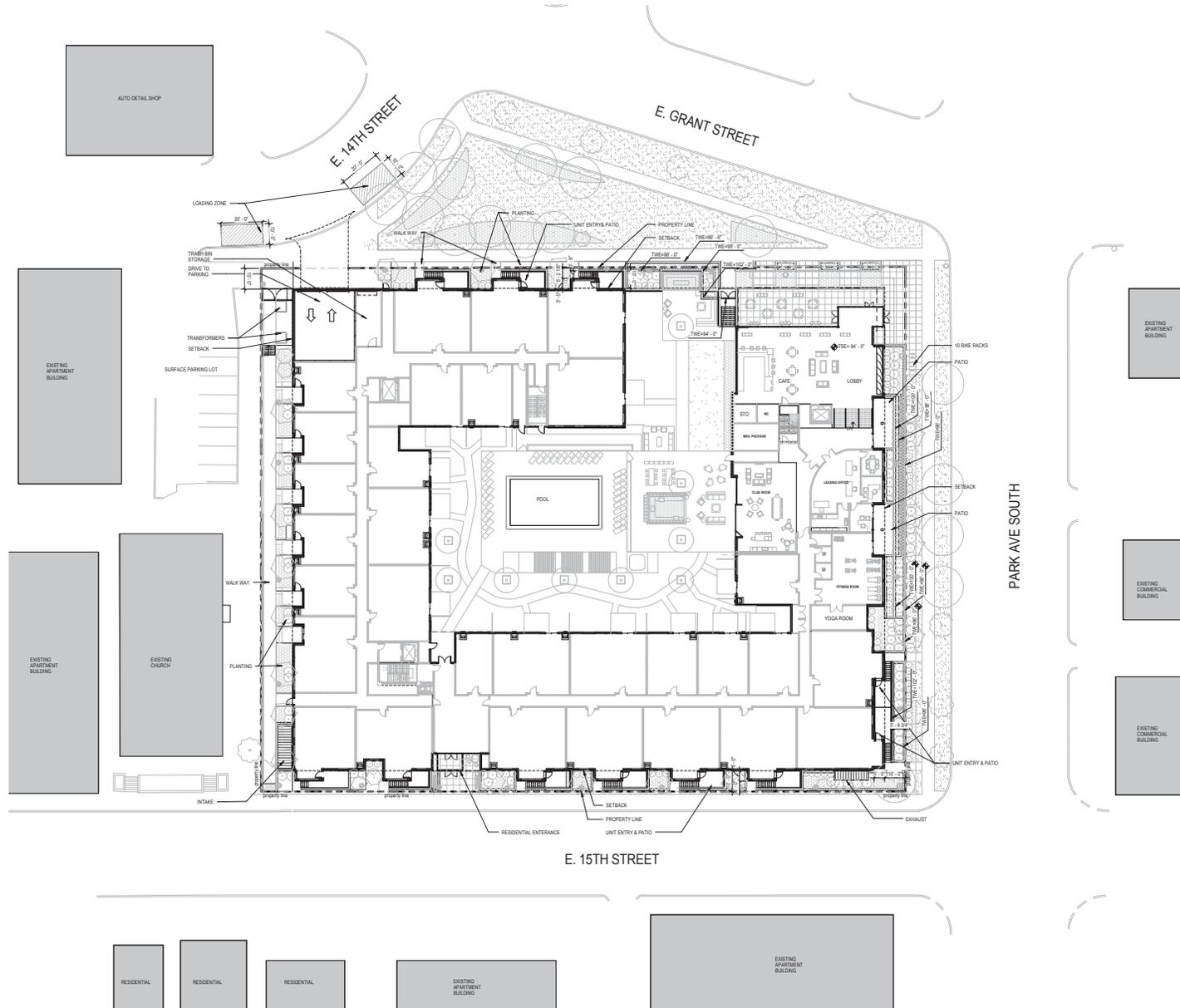
DATE	03/14/2016
DRAWN BY	AJL
CHECKED BY	CHW
COMMISSION NUMBER	204121

SHEET TITLE

ARCHITECTURAL
SITE PLAN

SHEET NUMBER

A010



CONSULTANTS

PROJECT TITLE

1400 PARK AVE
APARTMENTS

KEY PLAN



ISSUE #	DATE	DESCRIPTION
1	20150314	Land Use Submittal

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License Number _____ Date _____

DATE: 03/14/2015
DRAWN BY: Author
CHECKED BY: Chong
COMMISSION NUMBER: 204121

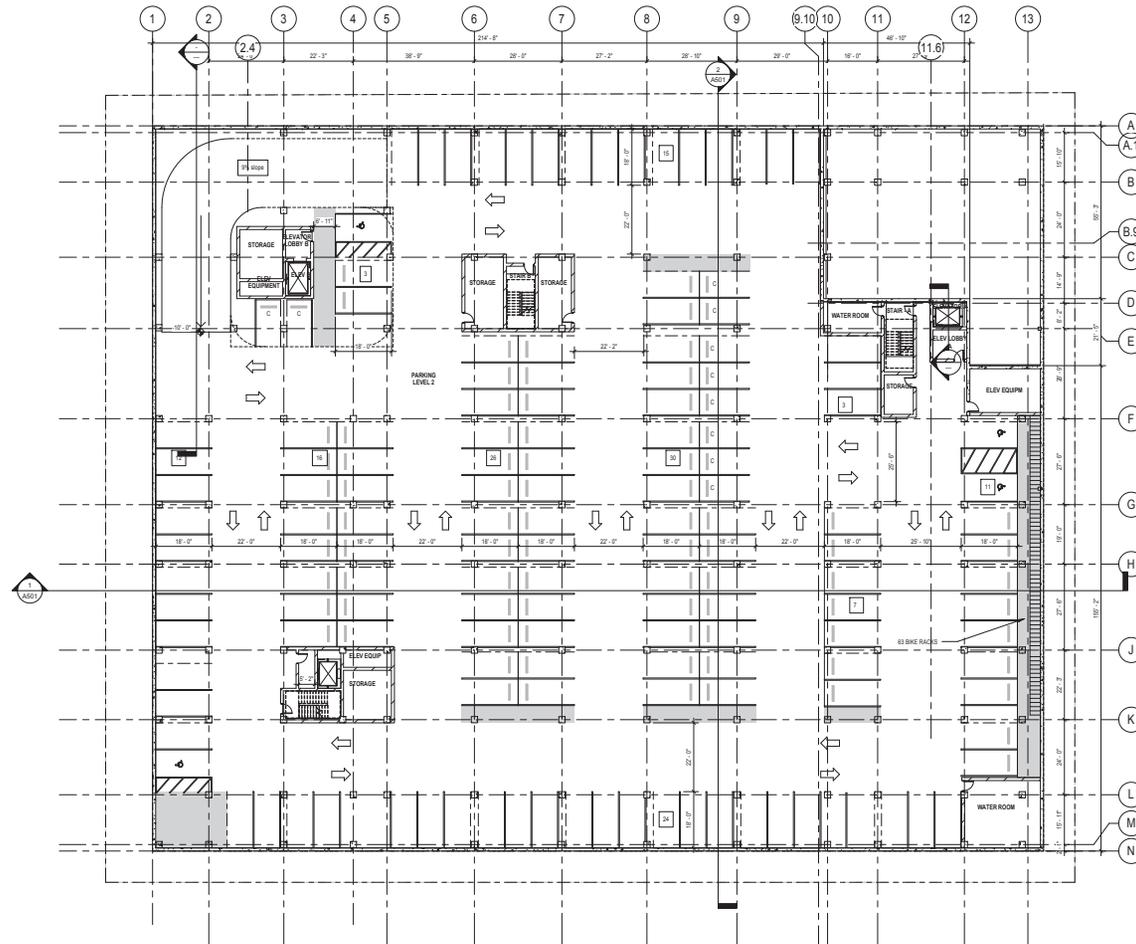
SHEET TITLE

PLAN LEVEL P2

SHEET NUMBER

A098

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PARKING COUNT				Comments
Count	Type			
135	Level P-2	257	2' 0" x 10' 0" Standard	
4		3	8' 0" x 10' 0" ADA	
8		15	2' 0" x 10' 0" Compact	
2		4	2' 0" x 10' 0" Compact	
149		261		

CONSULTANTS

PROJECT TITLE

1400 PARK AVE
APARTMENTS

KEY PLAN



ISSUE #	DATE	DESCRIPTION
1	20160314	Land Use Submission

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CONSTRUCTION**

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License Number _____ Date _____

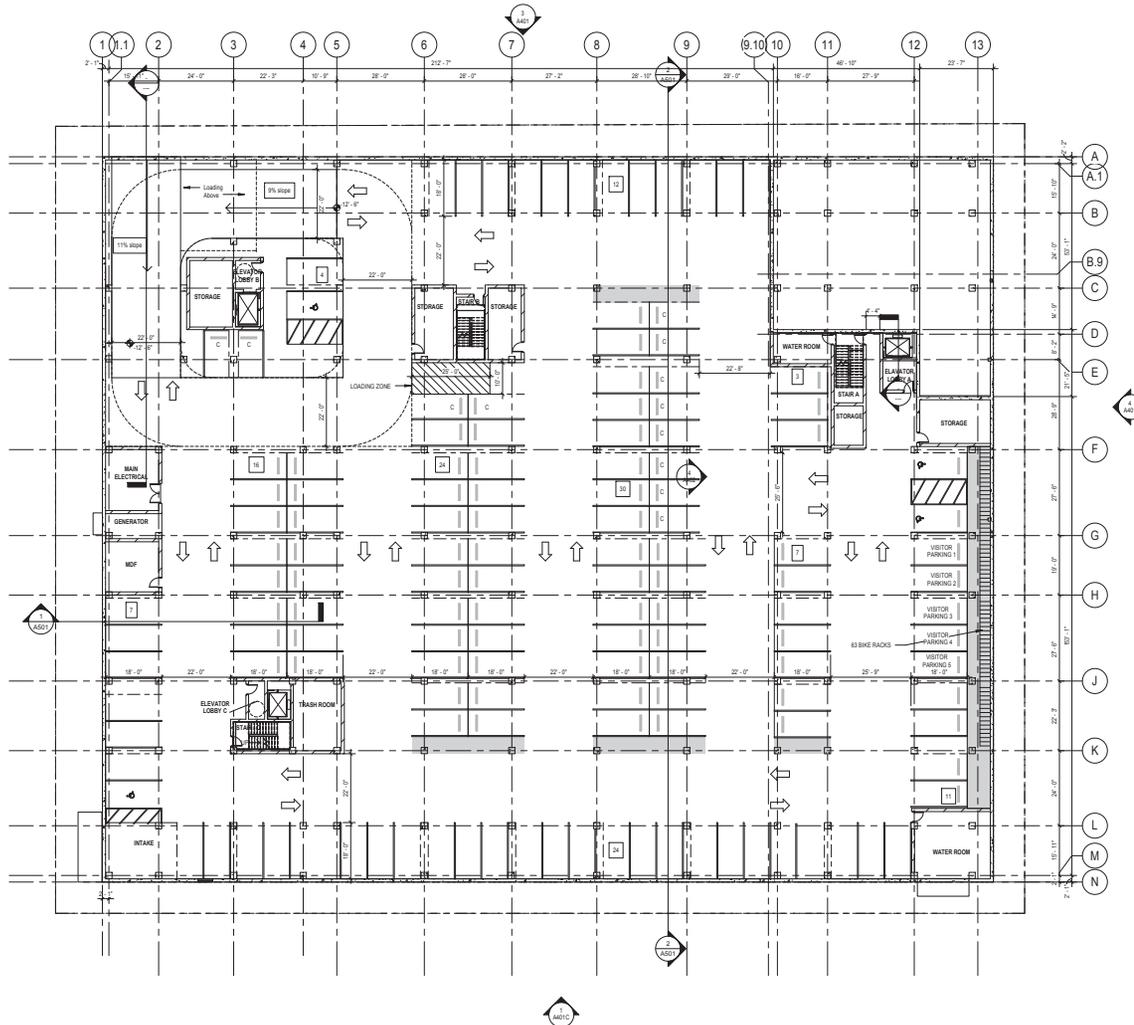
DATE	03/14/2016
DRAWN BY	AJL
CHECKED BY	CHW
COMMISSION NUMBER	204121

SHEET TITLE

PLAN LEVEL P1

SHEET NUMBER

A099



PARKING COUNT			
Count	Level	Type	Comments
126	Level P-1	Total	
4	4	8'-0" x 18'-0" Standard	
8	8	8'-0" x 18'-0" Compact	
2	2	4'-0" x 18'-0" Compact	
140	138	201	

CONSULTANTS

PROJECT TITLE

1400 PARK AVE
APARTMENTS

KEY PLAN



ISSUE # DATE DESCRIPTION

ISSUE #	DATE	DESCRIPTION
1	2/16/2018	Land Use Submittal

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License Number _____ Date _____

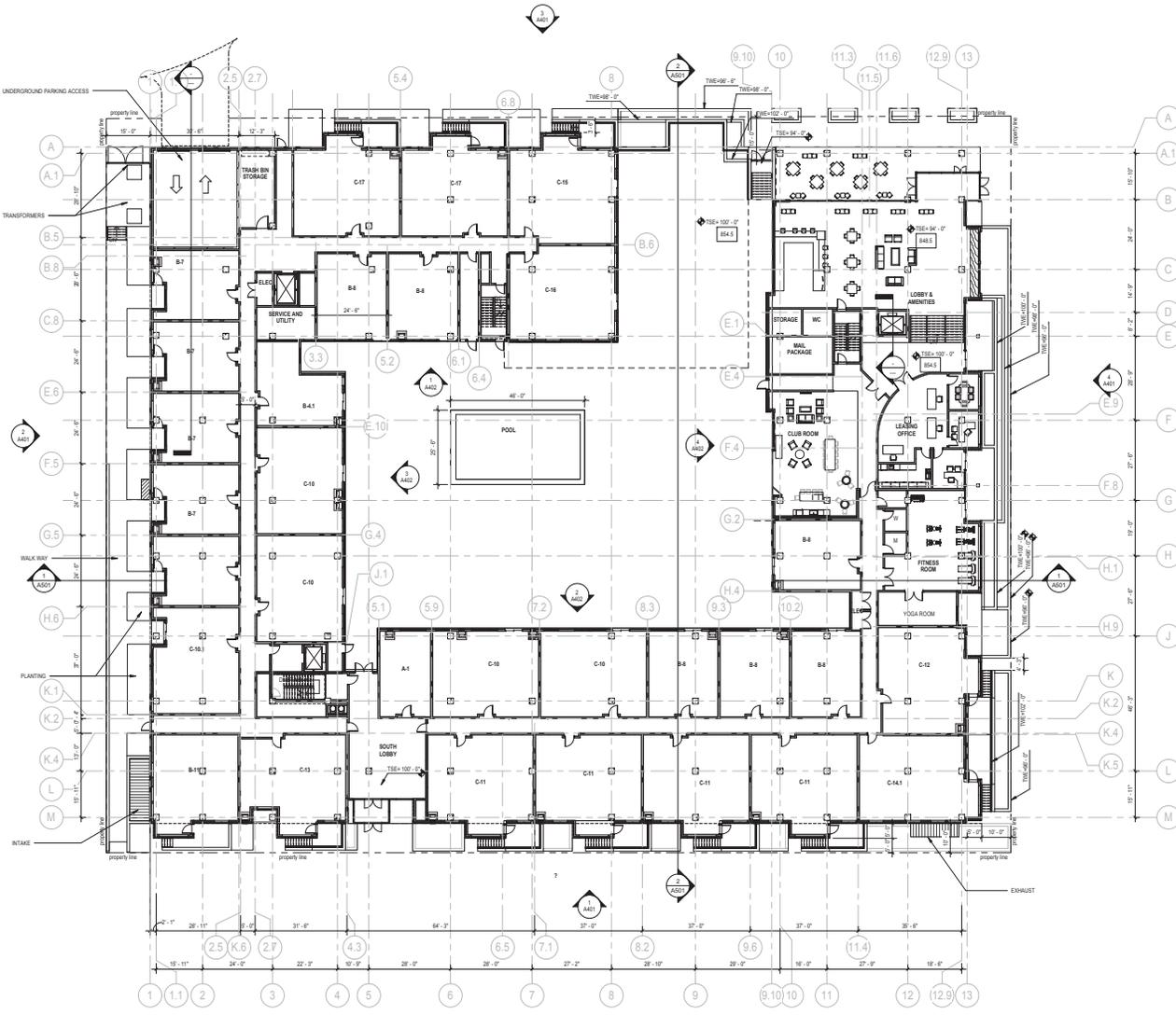
DATE	2/16/2018
DRAWN BY	AJW
CHECKED BY	CHW
COMMISSION NUMBER	29427

SHEET TITLE

PLAN LEVEL 1

SHEET NUMBER

A100



C:\Users\lca\OneDrive\1400ParkAve_AIS_2018_0216_01.dwg
3/14/2018 9:11:22 AM

PLAN - LEVEL 1

CONSULTANTS

PROJECT TITLE

1400 PARK AVE
APARTMENTS

KEY PLAN



ISSUE #	DATE	DESCRIPTION
1	20150314	Land Use Submission

**NOT FOR
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License Number _____ Date _____

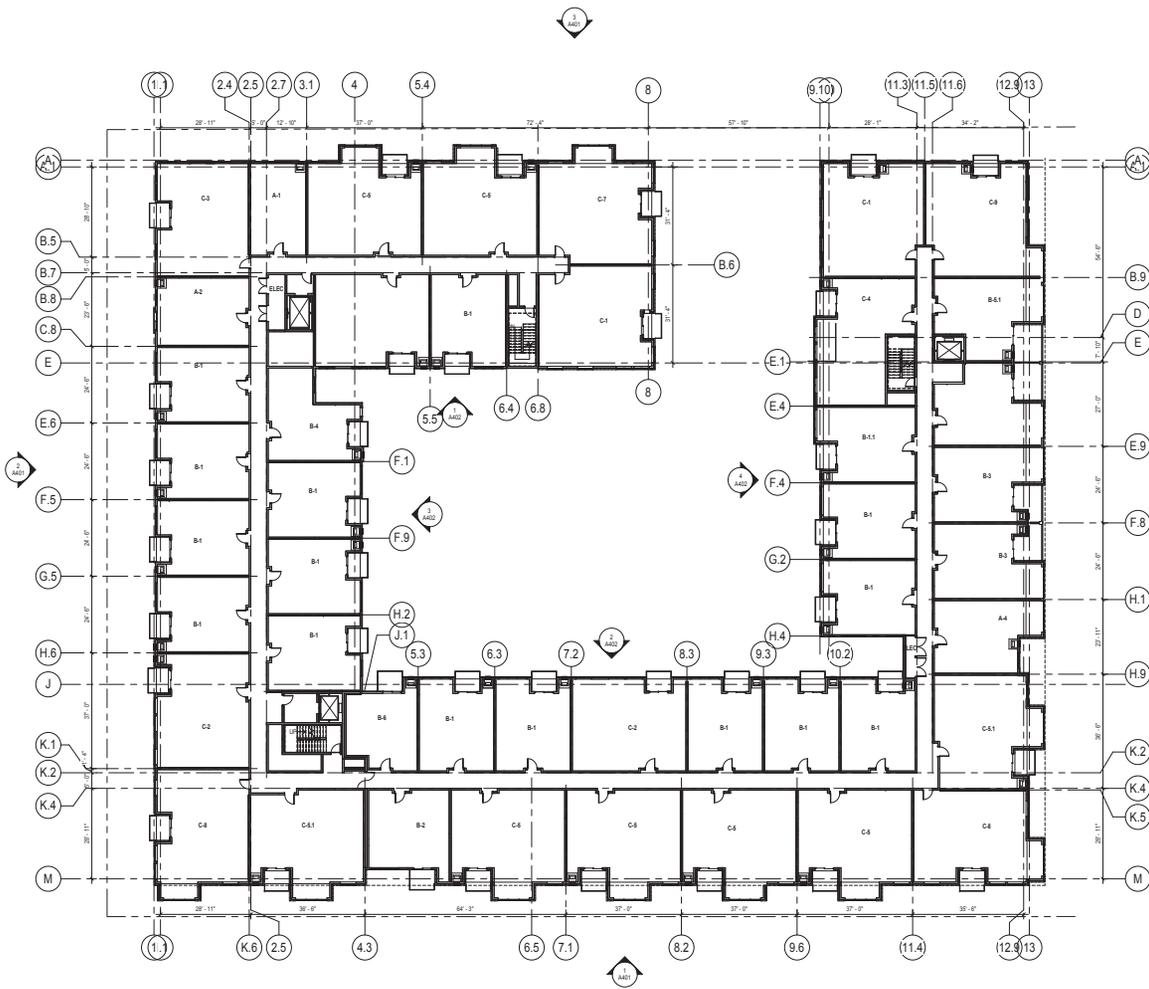
DATE	2/14/2016
DRAWN BY	AJL/ST
CHECKED BY	CHW
COMMISSION NUMBER	2042/PT

SHEET TITLE

PLAN LEVEL 2

SHEET NUMBER

A101



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PROJECT TITLE

1400 PARK AVE
APARTMENTS

KEY PLAN



ISSUE #	DATE	DESCRIPTION
1	20150314	Land Use Submission

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CONSTRUCTION**

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License Number _____ Date _____

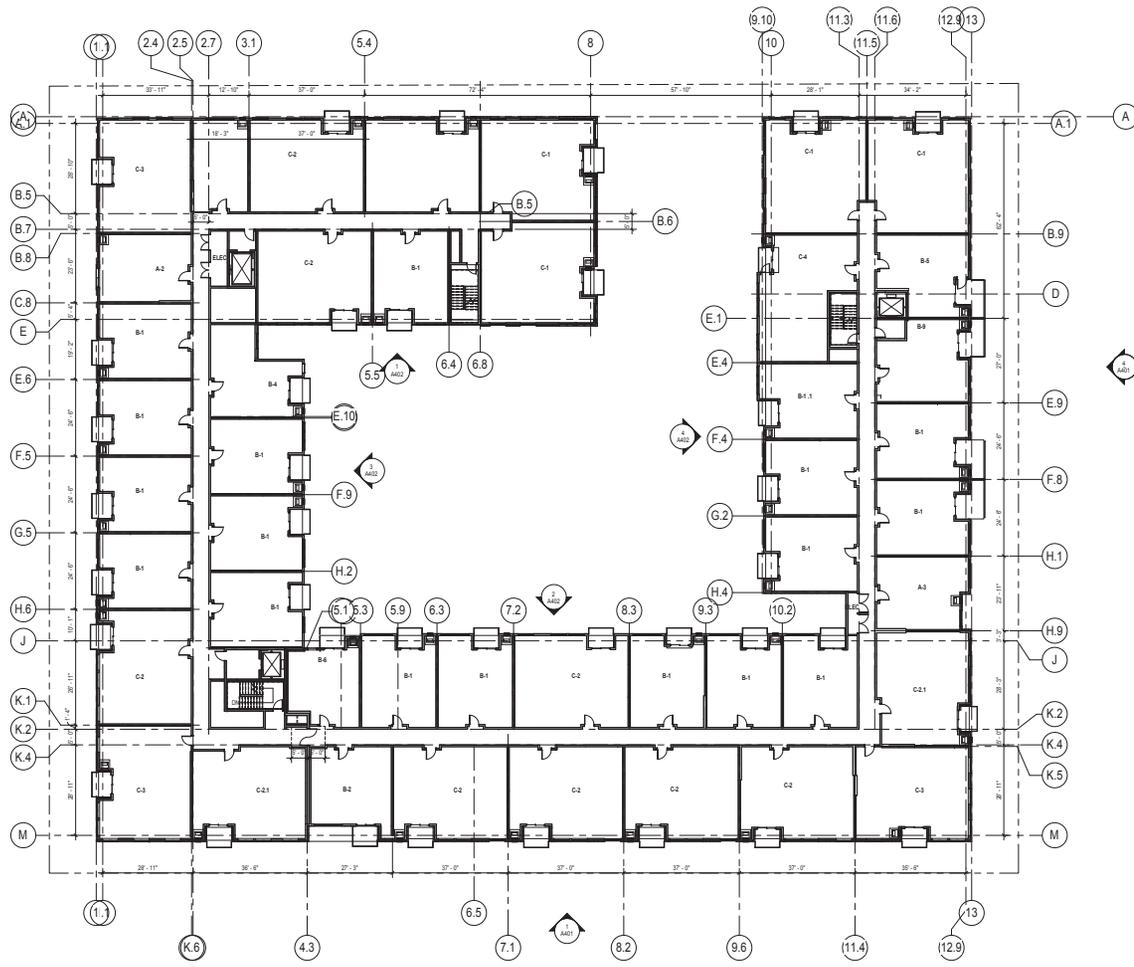
DATE	03/14/2015
DRAWN BY	AJL
CHECKED BY	CHW
COMMISSION NUMBER	204297

SHEET TITLE

PLAN LEVEL 3-5

SHEET NUMBER

A102



A102 PLAN - LEVEL 3-5 TYP

C:\rent\locat\2015\1400ParkAve_AIS_2015_0314.dwg
3/14/2015 9:11:29 AM

CONSULTANTS

PROJECT TITLE

1400 PARK AVE
APARTMENTS

KEY PLAN



ISSUE #	DATE	DESCRIPTION
1	20160314	Land Use Submittal

**NOT FOR
CONSTRUCTION**

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License Number

DATE: 03/14/2016

DRAWN BY: AUTHOR

CHECKED BY: CHASE

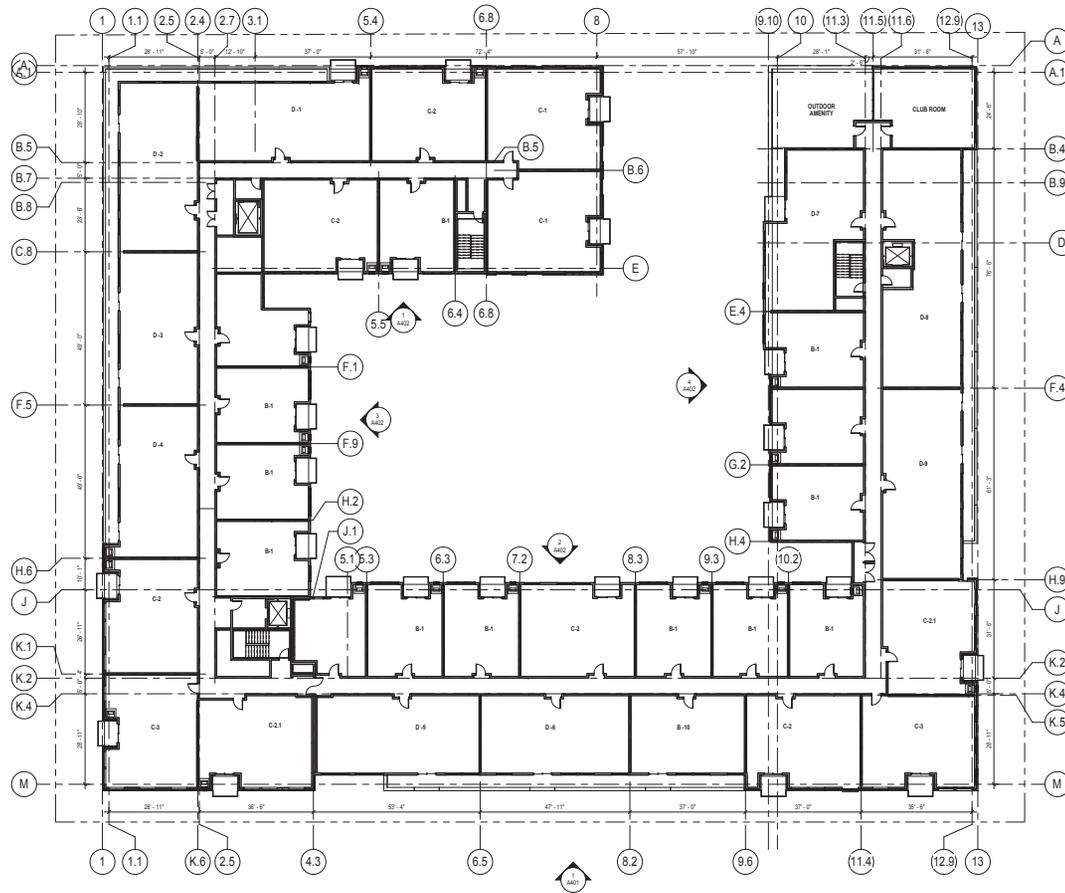
COMMISSION NUMBER: 200127

SHEET TITLE

PLAN LEVEL 6

SHEET NUMBER

A103



LEVEL 6
1/8" = 1'-0"

CONSULTANTS

PROJECT TITLE

1400 PARK AVE
APARTMENTS

KEY PLAN



ISSUE #	DATE	DESCRIPTION
1	20150314	Land Use Submission

**NOT FOR
CONSTRUCTION**

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License Number _____ Date _____

DATE	03/14/2015
DRAWN BY	AJW
CHECKED BY	CHW
COMMISSION NUMBER	20427

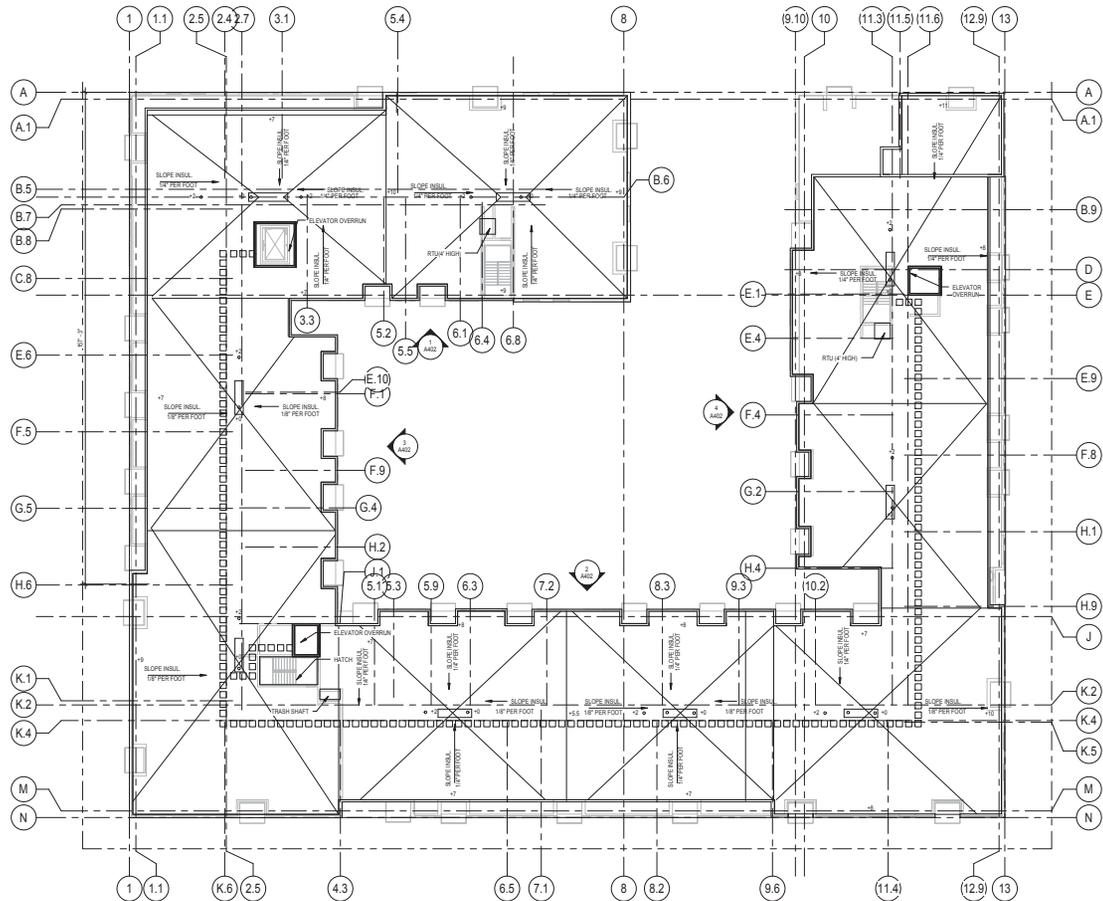
SHEET TITLE

ROOF PLAN

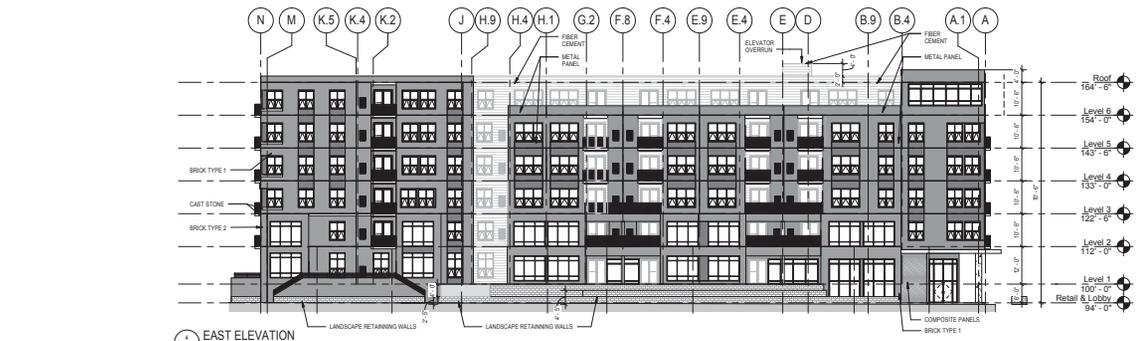
SHEET NUMBER

A104

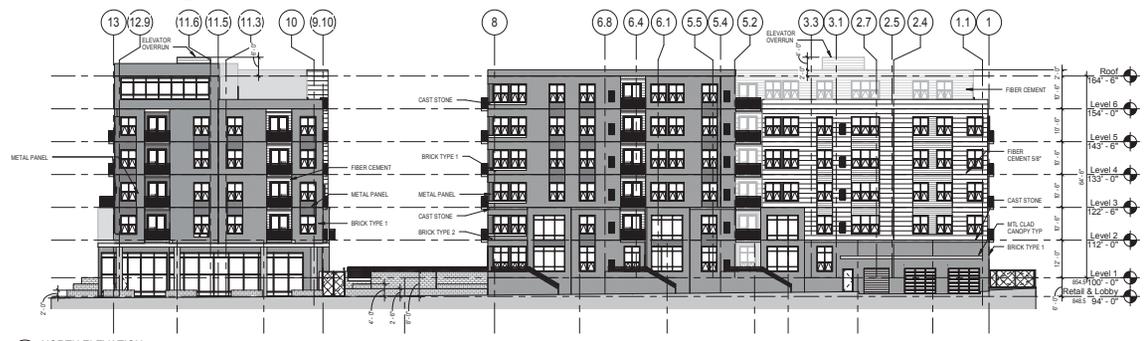
© 2015 BKV Group, Inc. EOE



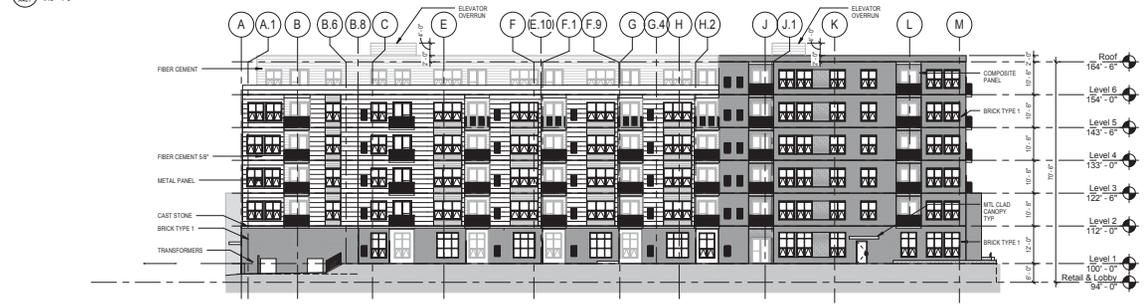
ROOF PLAN
1/8\"/>



1 EAST ELEVATION
 1/8" = 1'-0"



1 NORTH ELEVATION
 1/8" = 1'-0"



1 WEST ELEVATION
 1/8" = 1'-0"



1 SOUTH ELEVATION
 1/8" = 1'-0"

1400 Park Ave. - CDW Submittal Exterior Materials Calculation

East Elevation	Material	Area	Percentage
Masonry		9510	22%
Glass		6194	38%
Composite Siding		111	1%
Fiber Cement Siding - 5/8"		0	0%
Fiber Cement Siding - 1/4"		2153	13%
Metal Panel		3965	25%
Metal Trim		175	1%
			100%

North Elevation	Material	Area	Percentage
Masonry		3950	23%
Glass		8924	53%
Composite Siding		475	3%
Fiber Cement Siding - 5/8"		1725	10%
Fiber Cement Siding - 1/4"		1445	9%
Metal Panel		381	2%
Metal Trim		34	0%
			100%

South Elevation	Material	Area	Percentage
Masonry		9212	47%
Glass		6624	34%
Composite Siding		500	3%
Fiber Cement Siding - 5/8"		2540	13%
Fiber Cement Siding - 1/4"		0	0%
Metal Panel		544	3%
Metal Trim		20	0%
			100%

West Elevation	Material	Area	Percentage
Masonry		3385	24%
Glass		5830	36%
Composite Siding		860	4%
Fiber Cement Siding - 5/8"		3950	18%
Fiber Cement Siding - 1/4"		2510	16%
Metal Panel		0	0%
Metal Trim		200	1%
			100%

CONSULTANTS

PROJECT TITLE
 1400 PARK AVE
 APARTMENTS

KEY PLAN

ISSUE #	DATE	DESCRIPTION
1	2/16/2014	Land Use Submittal

NOT FOR
 CONSTRUCTION

CERTIFICATION
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License Number	Date
DATE: 03/14/2014	
DRAWN BY: ABOU	
CHECKED BY: CHOW	
COMMISSION NUMBER: 2042/01	

SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER

A401

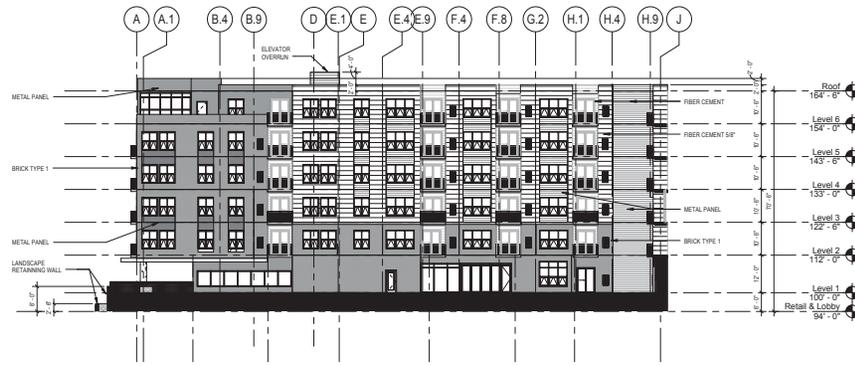
1400 Park Ave. - CDW Submittal Exterior Materials Calculation

Courtyard - East Elevation		
Material	Area	Percentage
Masonry	0	0%
Glass	2935	88%
Composite Siding	0	0%
Fiber Cement Siding - 5/8"	1610	24%
Fiber Cement Siding - 1/4"	2525	38%
Metal Panel	0	0%
Metal Trim	55	1%

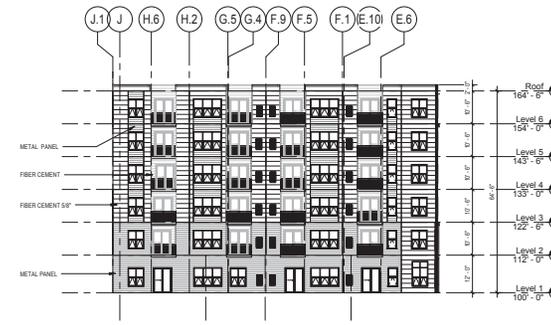
Courtyard - North Elevation		
Material	Area	Percentage
Masonry	0	0%
Glass	4235	86%
Composite Siding	0	0%
Fiber Cement Siding	3310	33%
Fiber Cement Siding - 1/4"	3990	34%
Metal Panel	0	0%
Metal Trim	265	2%

Courtyard - South Elevation		
Material	Area	Percentage
Masonry	1380	32%
Glass	2358	33%
Composite Siding	0	0%
Fiber Cement Siding - 5/8"	1093	24%
Fiber Cement Siding - 1/4"	1740	24%
Metal Panel	150	2%
Metal Trim	27	0%

Courtyard - West Elevation		
Material	Area	Percentage
Masonry	1335	13%
Glass	3608	37%
Composite Siding	663	7%
Fiber Cement Siding - 5/8"	2175	22%
Fiber Cement Siding - 1/4"	1910	19%
Metal Panel	530	6%
Metal Trim	38	0%



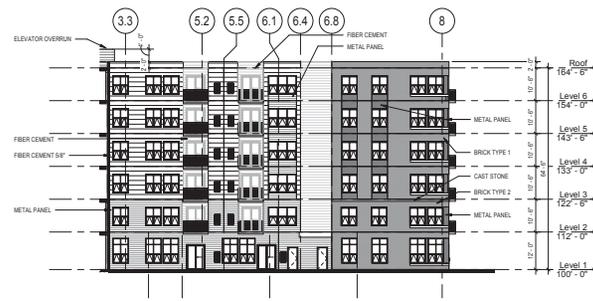
1 EAST ELEVATION COURTYARD
1/8" = 1'-0"



2 WEST COURTYARD ELEVATION
1/8" = 1'-0"



3 SOUTH ELEVATION COURTYARD
1/8" = 1'-0"



4 NORTH ELEVATION COURTYARD
1/8" = 1'-0"

CONSULTANTS

PROJECT TITLE

1400 PARK AVE
APARTMENTS

KEY PLAN



ISSUE # DATE DESCRIPTION

ISSUE #	DATE	DESCRIPTION
1	2016.03.14	Land Use Submittal

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License Number

DATE	03/14/2016
DRAWN BY	AJW
CHECKED BY	CHW
COMMISSION NUMBER	20427

SHEET TITLE

EXTERIOR
ELEVATIONS

SHEET NUMBER

A402

ISSUE #	DATE	DESCRIPTION
20180515		FOR SUBMITTAL
20180515		LANDSCAPE SUBMITTAL

CERTIFICATION
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Client Name	Chad S. Kaulb
License Number	42678
DATE	05/14/2018
DRAWN BY	ZJO
CHECKED BY	CSK
COMMISSION NUMBER	284021

SHEET TITLE

PHOTOMETRIC
SITE PLAN

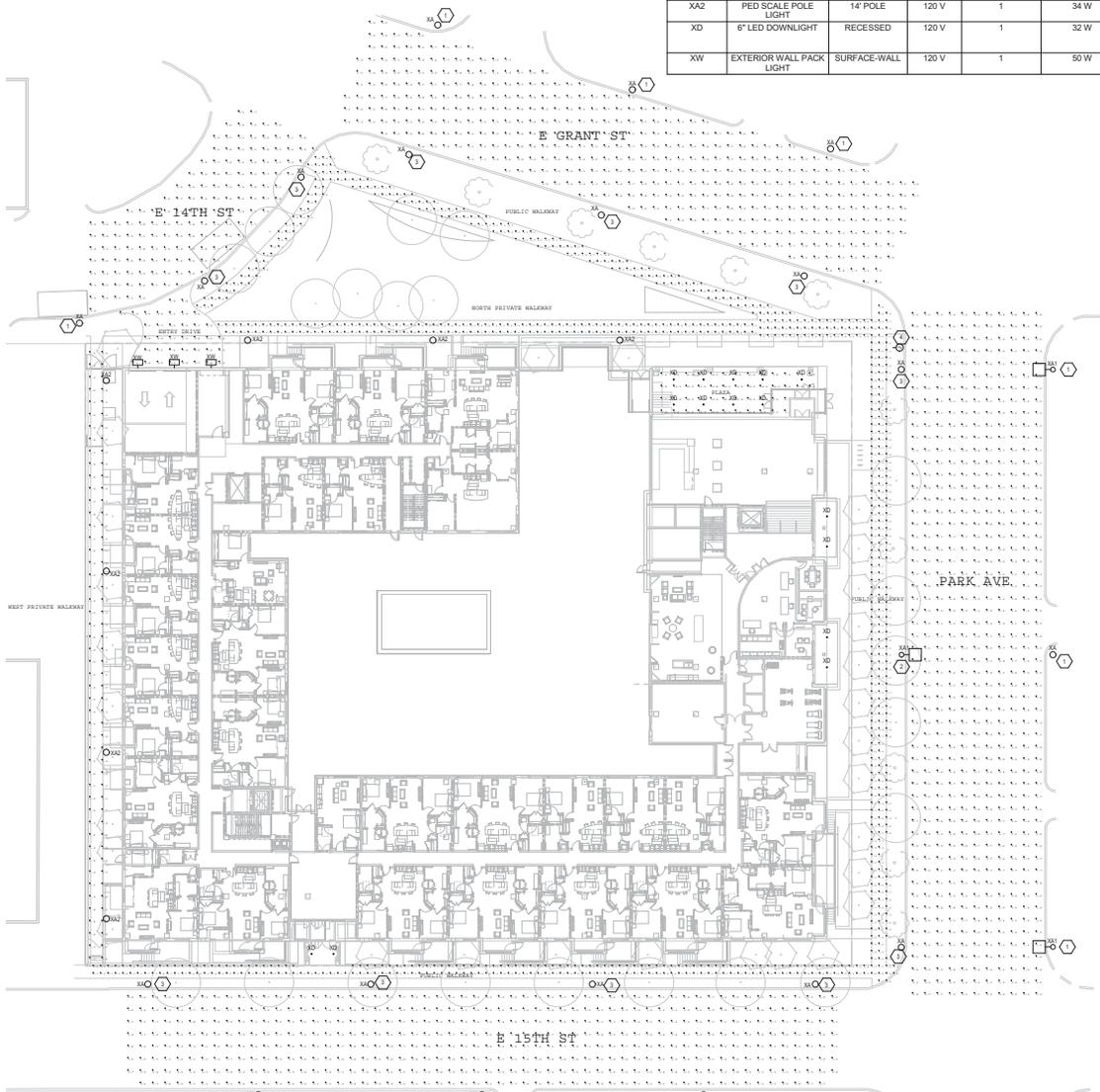
SHEET NUMBER

E010

LUMINAIRE FIXTURE SCHEDULE (EXTERIOR)										
ID	FIXTURE TYPE	MOUNTING	VOLTS	FIXTURE LAMP QUANTITY	FIXTURE WATTAGE	FIXTURE LAMP TYPE	CONTROL MEDIA (LENS, LOUVERS, ETC.)	FIXTURE DESCRIPTION TYPE	MANUFACTURER SERIAL NUMBER	NOTES
XA	LOW LEVEL POLE LIGHT	15' POLE	120 V	1	70 W	LED	TYPE III DISTRIBUTION	MINNEAPOLIS STANDARD LOW LEVEL POLE LIGHT	HOLOGRAPHIC WASHINGTON FULL CUTOFF SERIES W/ MINNEAPOLIS STANDARD 15' POLE	
XA1	HIGH LEVEL POLE LIGHT	30' POLE	120 V	1	92 W	LED	TYPE III DISTRIBUTION	MINNEAPOLIS STANDARD HIGH LEVEL POLE LIGHT	LEOTEK GC1-40F-MV-NW-3-GY-700	
XA2	PED SCALE POLE LIGHT	14' POLE	120 V	1	34 W	LED	TYPE II DISTRIBUTION	PEDESTRIAN SCALE POLE LIGHT	LUMINIS MAYA 20 SERIES W/ PAA14-BKT POLE	
XD	6" LED DOWNLIGHT	RECESSED	120 V	1	32 W	33-35W LED, 3000K, 2200 LUMENS	OPEN APERTURE	6" APERTURE DOWNLIGHT	GOTHAM EVO SERIES	
XW	EXTERIOR WALL PACK LIGHT	SURFACE-WALL	120 V	1	50 W	LED	TYPE IV DISTRIBUTION		LITHONIA WSR-LED	

ELECTRICAL KEYNOTES

- 1 HYPOTHETICAL FUTURE CITY STREET LIGHT LOCATION. LIGHT FIXTURE SHOWN FOR PHOTOMETRIC CALCULATION PURPOSES ONLY.
- 2 NEW CITY OF MINNEAPOLIS HIGH LEVEL STREET LIGHT. TO BE CONNECTED TO CITY CONTROL AND POWER. PROVIDED AND INSTALLED BY CITY.
- 3 NEW CITY OF MINNEAPOLIS LOW LEVEL STREET LIGHT. TO BE CONNECTED TO CITY CONTROL AND POWER. PROVIDED AND INSTALLED BY CITY.
- 4 CITY OF MINNEAPOLIS CBD CABINET TO BE LOCATED IN RIGHT-OF-WAY NEXT TO SIGNAL CABINET AT THIS LOCATION. CABINET TO INCLUDE PULL OUT DISCONNECT AND SPACE FOR TWO METERS. PROVIDED AND INSTALLED BY CITY.



Label	Calc Type	Units	Avg	Max	Min	Avg/Min	Max/Min
E 14th St	Illuminance	FC	1.75	3.7	0.5	3.50	7.40
E 15th St	Illuminance	FC	1.49	3.4	0.5	2.98	6.80
E GRANT ST	Illuminance	FC	1.62	3.5	0.6	3.70	6.50
Entry Drive	Illuminance	FC	6.49	9.7	3.9	1.66	2.49
NORTH PRIVATE WALKWAY	Illuminance	FC	1.72	5.3	0.3	5.73	17.67
PARK AVE	Illuminance	FC	1.38	4.0	0.6	3.97	6.67
PKP&R	Illuminance	FC	10.38	15.3	3.4	3.05	4.50
PUBLIC WALKWAY	Illuminance	FC	0.74	3.9	0.2	3.40	19.00
West Private Walkway	Illuminance	FC	1.85	3.6	0.8	3.33	4.50

ELECTRICAL PHOTOMETRIC SITE PLAN

CONSULTANTS

PROJECT TITLE

1400 PARK AVE
APARTMENTS

KEY PLAN



ISSUE # DATE DESCRIPTION

ISSUE #	DATE	DESCRIPTION

**NOT FOR
CONSTRUCTION**

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License Number Date

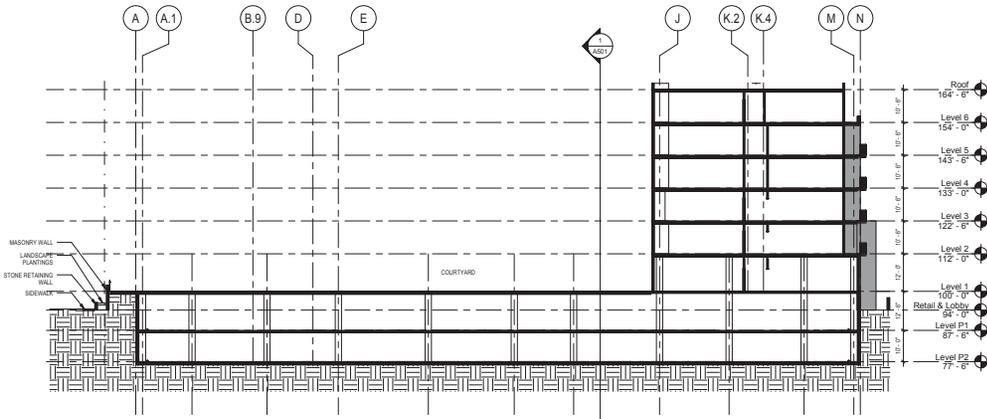
DATE	1/24/2018
DRAWN BY	J. BOORMAN
CHECKED BY	J. BOORMAN
COMMISSION NUMBER	284121

SHEET TITLE

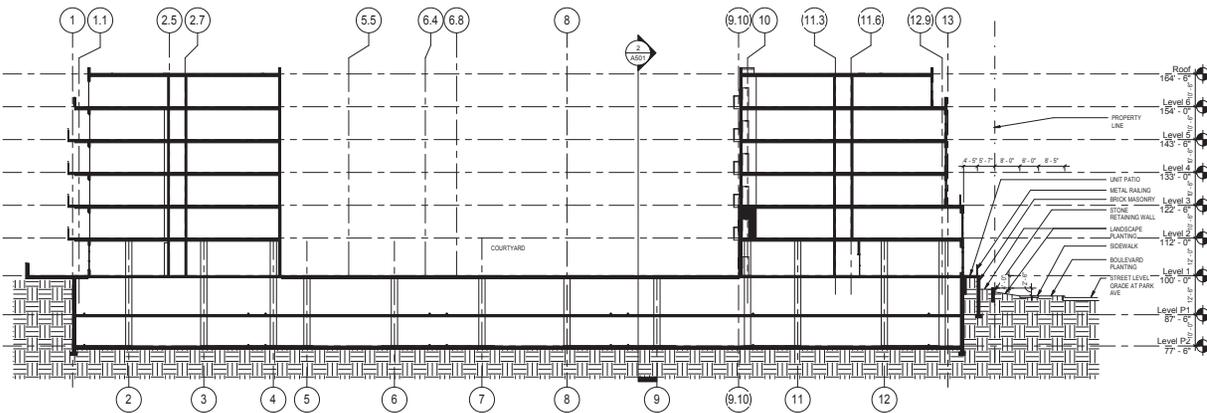
BUILDING
SECTIONS

SHEET NUMBER

A501



N-S SECTION 1
1/8" = 1'-0"



E-W SECTION 1
1/8" = 1'-0"

1400 Park Avenue Apartments LLC

February 17, 2016

Lynn Regnier
609 South 10th Street, Suite 170
Minneapolis, Minnesota 55404

Dear Lynn:

This letter is given to inform you that the developer is submitting a General Land Use Application for a mixed use project (residential and commercial) called 1400 Park Avenue Apartments.

Executive Summary

The project site for the proposed 1400 Park Avenue Apartments is bounded by 14th Street E and Grant Street on the north, Park Avenue on the east, and 15th Street E on the south. The properties to the west contain a parking lot on the north end (facing 14th street E) and an existing church that has a historic resource designation on the south (facing 15th Street E.). The site is currently occupied by a 2-story brick office building (1400 Park Ave), a parking lot (627 14th Street E), and a single family home (622 15th Street E). The proposed project is an infill, dense urban development that will include mostly residential units, plus a small area of commercial/retail space. This use is consistent with the OR2 and R6 zoning of the site and with the adjacent residential and retail uses. The existing 2-story building at 1400 Park Ave. and the single family home on 622 15th St. are proposed to be demolished. The property containing the existing church at 624 15th St. is also owned by the developers. This building is proposed to remain however the long range use for it not yet been determined. Some options for this property would be to rehabilitate the building for a non-profit use or raze the building to make way for a dog park and garden plots for the proposed project.

The proposed project consists of 6 stories of residential dwelling units and 2 levels of below grade parking. The main entrance, lobby, leasing offices, and common areas are located on Level-1 adjacent to Park Avenue on the east side of the site with the main entrance doors facing the intersection of Park Avenue and Grant Street. The lobby will include commercial space for a cafe that will be available to neighborhood residents as well as to residents of the building. Vehicular access to below-grade parking and the grade-level loading zone will be from the northwest corner of the site from 14th Street E. A large courtyard located at the interior of the site at Level-1 will include residential amenities such as swimming pool, spa, grilling and dining areas, landscaping, and unit patios. The building design is intended to be pedestrian friendly and consistent with the scale and architectural rhythm of the neighborhood. Walk-up entries to individual dwelling units are provided at 14th Street, 15th Street, Park Avenue, and the interior side yard. Also along Park Avenue, patios for fitness and the leasing office are included to provide outdoor space for these areas and to activate the street-front.

Planning Department Considerations

In order for the project to be accepted for review by the Planning Commission, there are some applications that are required by the City in addition to the Land Use Application.

- Rezoning Application. This City has requested that the property at 622 15th Street East be rezoned from R6 to OR2 so that it matches the other properties in the proposed development.
- Conditional Use Permit Application. This permit is required in order to increase the maximum height allowed from 4-stories, 56 feet to 6-stories, 75 feet. The applicant believes that this increase in height will not be detrimental to the neighborhood and will fit within the existing scale and character of the neighborhood.
- Variance Application for Yard Requirements. The development design is proposed to reduce the required side yard as follows:
 - Reduce the required yard from 15 feet to 0 feet at East 15th Street, East Grant Street, and East 14th Street. As shown on the Site Plan, stairs and dwelling unit patios are located between 0 feet and 5 feet from the property line. 2-story walk-up entry “bump outs” are located in the area between 5 feet and 10 feet from the property line. The main building wall ranging in height from 5-stories to 6-stories is located 10 feet back from the property line.
 - Reduce the required yard from 15 feet to 5 feet at Park Avenue. As can be seen on the Site Plan, stairs and dwelling unit patios are located between 5 feet and 10 feet from the property line. 2-story walk-up entry “bump outs” are located in the area between 10 feet and 15 feet from the property line. The main building wall ranging in height from 5-stories to 6-stories is located 15 feet back from the property line and does not require a variance.
 - Allow electrical transformer to be located within the 15 feet side yard. As shown on the Site Plan, the transformers are proposed to be located on the northeast corner of the building between the building and proposed fence.
- Variance Application to increase Floor Area Ratio (FAR). The allowed FAR for the OR2 zoning district is 3.0. The development design proposes a 3.5 FAR.

We thank you for your efforts in working with us on this proposed development and hope that you will continue to support this project.

Sincerely,



Daniel E. Hunt

Hunt Development

Phone: 612.910.5414

Fax: 612.284.5337

Email: dhunt@huntassociatesllc.com

1400 Park Avenue Apartments LLC

February 17, 2016

Councilmember Lisa Goodman
350 South 5th Street
Room 307
Minneapolis, MN 55415-1383

Dear Councilmember Goodman:

This letter is given to inform you that the developer is submitting a General Land Use Application for a mixed use project (residential and commercial) called 1400 Park Avenue Apartments.

Executive Summary

The project site for the proposed 1400 Park Avenue Apartments is bounded by 14th Street E and Grant Street on the north, Park Avenue on the east, and 15th Street E on the south. The properties to the west contain a parking lot on the north end (facing 14th street E) and an existing church that has a historic resource designation on the south (facing 15th Street E.). The site is currently occupied by a 2-story brick office building (1400 Park Ave), a parking lot (627 14th Street E), and a single family home (622 15th Street E). The proposed project is an infill, dense urban development that will include mostly residential units, plus a small area of commercial/retail space. This use is consistent with the OR2 and R6 zoning of the site and with the adjacent residential and retail uses. The existing 2-story building at 1400 Park Ave. and the single family home on 622 15th St. are proposed to be demolished. The property containing the existing church at 624 15th St. is also owned by the developers. This building is proposed to remain however the long range use for it not yet been determined. Some options for this property would be to rehabilitate the building for a non-profit use or raze the building to make way for a dog park and garden plots for the proposed project.

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We thank you for your efforts in working with us on this proposed development and hope that you will continue to support this project.

Sincerely,



Daniel E. Hunt

Hunt Development

Phone: 612.910.5414

Fax: 612.284.5337

Email: dhunt@huntassociatesllc.com

1400 Park Avenue Apartments LLC

March 24, 2016

Councilmember Abdi Warsame
350 South 5th Street
Room 307
Minneapolis, MN 55415-1383

Dear Councilmember Warsame:

This letter is given to inform you that the developer is submitting a General Land Use Application for a mixed use project (residential and commercial) called 1400 Park Avenue Apartments.

Executive Summary

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We thank you for your efforts in working with us on this proposed development and hope that you will continue to support this project.

Sincerely,

A handwritten signature in black ink, appearing to read 'D E H', with a stylized flourish at the end.

Daniel E. Hunt

Hunt Development

Phone: 612.910.5414

Fax: 612.284.5337

Email: dhunt@huntassociatesllc.com



ELLIOT PARK

NEIGHBORHOOD

March 15, 2016

Lisa Steiner, City Planner
Minneapolis Community Planning and Economic Development
250 South Fourth Street, Room 300
Minneapolis, MN 55415

Re: 1400 Park Avenue Apartments

Dear Ms. Steiner:

Over the course of the last year Dan Hunt, Hunt Associates, has met with the Elliot Park community regarding his proposal for 1400 Park Avenue. As noted in a previous letter the neighborhood is very pleased with this mixed use development. The size, massing and mix of materials create a handsome building, particularly on the east façade along Park Avenue. The façade hints at elements of historic neighborhood buildings and the red brick helps to ground all of the materials into a complimentary design. The commercial space is a much appreciated asset and the building's grand entrance is attractive. The courtyard design and recreational spaces were considered to be an appealing amenity for building residents. Additionally, community members also appreciated the replication of existing historic first floor row-style porch entries encircling the perimeter of much the building. The community appreciates the attractive green spaces as well and welcomes softening of the urban hardscape at this site.

Concern was expressed, however, for the height and length of an exterior wall on the Park Avenue side of the building. The details for this wall design were difficult to discern on the drawings but Mr. Hunt has assured us that the wall will be terraced with appealing design elements, planted with a variety of plant materials and include decorative lighting. It is hoped that these components will be less daunting to pedestrians and motorists and more attractively presented in keeping with the overall building design.

Task force members are encouraged by Dan Hunt's attention to the historic First Christ Church and we are willing to work with him on any viable solutions that might be available to rehabilitate the building and develop it into a useful and contributing property. We are pleased that he has hired a firm to assess the condition and potential of the building and we look forward to future updates.

On February 18th the Building, Land Use & Housing Committee (BLUH) approved a motion "*to support the development described as 1400 Park Avenue Apartments LLC as presented*" and the motion was ratified by the EPNI Board of Directors on March 14th. Please contact me if you have any questions.

Sincerely,

Lynn Regnier, Executive Director

cc. 7th Ward Council Member Lisa Goodman
Dan Hunt, Hunt Associates