

LAND USE APPLICATION SUMMARY

Property Location: 2525 2nd St NE (formerly northern portion of 201 Lowry Ave NE)
Project Name: Marshall Flats
Prepared By: Shanna Sether, Senior City Planner, (612) 673-2307
Applicant: Clare Housing
Project Contact: Chuck Peterson
Request: To allow for a new four-story, 51-foot tall, building with 36 studio apartments for men and women living with HIV/AIDS (supportive housing).

Required Applications:

Conditional Use Permit	To allow supportive housing in the C2 District.
Variance	To reduce the front yard setback along 2 nd St NE.
Variance	To reduce the minimum width for a driveway from 12 ft. to 10 ft.
Site Plan Review	For a new four-story, 51-foot tall, building with 36 studio apartments.

SITE DATA

Existing Zoning	C2 Neighborhood Corridor Commercial District
Lot Area	21,808 square feet / .5 acres
Ward(s)	I
Neighborhood(s)	Marshall Terrace
Designated Future Land Use	Urban Neighborhood
Land Use Features	Community Corridor (Lowry Ave NE)
Small Area Plan(s)	<u>Lowry Avenue Corridor Plan (2002)</u>

Date Application Deemed Complete	March 10, 2016	Date Extension Letter Sent	April 18, 2016
End of 60-Day Decision Period	May 9, 2016	End of 120-Day Decision Period	July 8, 2016

BACKGROUND

SITE DESCRIPTION AND PRESENT USE. The subject property is on a parcel that was recently split off of a larger parcel at 201 Lowry Ave NE. This portion of the property was used as an on-site parking lot serving Little Jax, a restaurant that is now closed.

SURROUNDING PROPERTIES AND NEIGHBORHOOD. The subject property was part of a larger site at the intersection of 2nd St NE and Lowry Ave NE. The properties at the intersection and along Lowry Ave NE are commercial and office uses, including a liquor store, hardware store and music store. 2nd St NE is a community corridor until Lowry Ave NE. Lowry Ave NE is also a community corridor. The properties across 2nd St NE are industrial, the properties to the north and east are low-density residential.

PROJECT DESCRIPTION.

The applicant is proposing to construct a four-story, 51-foot tall, building with 36 studio apartments for men and women living with HIV/AIDS. The proposed use is supportive housing, a conditional use in the C2 District, which is defined as: A facility that provides housing for twenty-four (24) hours per day and requires participation by residents in programs or services designed to assist residents with improving daily living skills, securing employment or obtaining permanent housing. It does not include:

- (1) Senior housing with services designed specifically to serve the needs associated with the aging of the residents.
- (2) Inebriate housing.
- (3) Any facility licensed by the Minnesota Department of Human Services (DHS), Department of Health (DOH) or Minnesota Department of Corrections (DOC).
- (4) Any other county, state or federal community correctional facility.
- (5) Fraternities, sororities or other student housing.
- (6) Any facility owned, leased or operated by the Minneapolis Public Housing Authority (MPHA).
- (7) The use of one (1) dwelling unit on one (1) zoning lot which meets the occupancy requirements of the zoning district in which it is located.

The target population is single adults; persons living with HIV/AIDS: persons who have experienced long-term homelessness or are at risk of homelessness. Seven units are assigned for long-term homeless, of which four are for unaccompanied youth. Four units will be reserved for persons with serious and persistent mental illness. And approximately 12-14 persons will be more significantly disabled. The applicant has provided details on expected residents, eligibility screening and assessment, service summaries, staffing and outcomes and data collection and reporting (see applicant's attached submittal).

In addition to the conditional use permit to establish the use, the applicant is seeking a variance to reduce the minimum front yard setback along 2nd St NE. The subject property is zoned C2 and does not have a minimum front yard setback, unless adjacent to a residential structure or use. The property to the north is zoned R2B and a reflective setback is required for the first 25 feet of the property. The applicant is proposing to construct the new building 12.5 feet from the front property line and 11 feet from the north interior property line. The proposed canopy on the front would be located approximately 9 feet from the front property line.

The applicant has provided the required nine off-street parking spaces in a surface parking lot at the rear of the site. The proposed parking area would be accessed from 2nd St NE via a new curb cut and driveway, 10 feet wide. The zoning code allows driveways and curb cuts to be as narrow as 10 feet in the Residence and Office Residence Districts; however, driveways in all other districts require a minimum of 12 feet in width. Therefore, the applicant is also seeking a variance to reduce the minimum driveway width from 12 ft. to 10 ft.

PUBLIC COMMENTS. There have been no public comments received at the time of writing the staff report. Any correspondence received prior to the public meeting will be forwarded on to the Planning Commission for consideration.

ANALYSIS

CONDITIONAL USE PERMIT

The Department of Community Planning and Economic Development has analyzed the application to allow a new four-story, 51-foot tall, building with 36 studio apartments for men and women living with HIV/AIDS (supportive housing) based on the following findings:

1. *The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, comfort or general welfare.*

The proposed development would convert an underutilized parcel of land into a supportive housing facility that would serve 36 people living with HIV/AIDS. The surrounding area includes a diverse mix of land uses including residential, commercial and industrial. The proposed use will be located in a new residential structure that is compatible in scale to the surrounding structures. Staff finds that the proposed use would not be detrimental to or endanger the public health, safety, comfort or general welfare.

2. *The conditional use will not be injurious to the use and enjoyment of other property in the vicinity and will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.*

The proposed development would convert an underutilized parcel of land into a supportive housing facility that would serve 36 people living with HIV/AIDS. The applicant has submitted a management plan with details on staffing, coordinated entry and services provided on-site to residents. The surrounding area includes a diverse mix of land uses including residential, commercial and industrial. Staff finds that the proposed use will not be injurious to the use and enjoyment of other property in the vicinity. The previous use was a restaurant at the corner of Lowry Ave NE and 2nd St NE and this portion of the parcel was the on-site parking lot. The other portion of the lot was recently sold and will likely be redeveloped. The parcel north of the subject property is also vacant and zoned for low-density residential. The proposed use will be located in a new residential structure that is compatible in scale to the surrounding structures. Therefore, the proposed use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

3. *Adequate utilities, access roads, drainage, necessary facilities or other measures, have been or will be provided.*

Adequate utilities, access roads, drainage, necessary facilities and other measures have been or will be provided. The project was reviewed by Public Works for Preliminary Development Review. A copy of the PDR report is attached to the staff report.

4. *Adequate measures have been or will be taken to minimize traffic congestion in the public streets.*

The proposed use requires 9 off-street parking spaces, which are located in a surface lot behind the proposed building. The parking is accessed via curb cut along 2nd St NE. The applicant has indicated that very few of their residents own a vehicle and the parking will be primarily for staff. MetroTransit #11 bus has stops along 2nd St NE and the #32 bus travels along Lowry Ave NE. Staff finds that adequate measures have been taken to minimize traffic congestion in the public streets.

5. *The conditional use is consistent with the applicable policies of the comprehensive plan.*

The proposed development would be consistent with the following general land use policies of *The Minneapolis Plan for Sustainable Growth*:

Housing Policy 3.3: Increase housing that is affordable to low and moderate income households.

- 3.3.1 Continue to utilize housing development finance programs to foster growth in the city's affordable housing stock in all parts of the city.
- 3.3.2 Utilize city housing resources and partnerships to preserve the affordability of existing affordable housing.
- 3.3.3 Work to provide affordable housing for both rental and ownership markets at a broad range of income levels.
- 3.3.4 Support policies and programs that create long-term and perpetually affordable housing units.
- 3.3.5 Support the development of housing with supportive services that help households gain stability in areas such as employment, housing retention, parenting, and substance abuse challenges.
- 3.3.6 Use planning processes, requests for proposals for city owned properties, and other community engagement processes to engage in dialogue with community participants about affordable housing and its compatibility with all Minneapolis neighborhoods.
- 3.3.7 Increase low-income family access to ongoing rental assistance.
- 3.3.8 Foster partnerships with housing developers, financial institutions, faith communities and others to extend the city's capacity to create affordable housing.
- 3.3.9 Partner with other municipalities, along with county, metropolitan, state and federal agencies and policymakers, to develop a regional strategy for increasing the supply of affordable housing, supported by a more predictable, long-term revenue stream.

Housing Policy 3.4: Preserve and increase the supply of safe, stable, and affordable supportive housing opportunities for homeless youth, singles and families.

- 3.4.1 Promote increased development of housing for very low-income households earning 30% or less of metropolitan median income.
- 3.4.2 Support the creation of additional supportive housing units for homeless youth, singles and families.
- 3.4.3 Support the creation of additional shelter beds for youth.
- 3.4.4 Evaluate City policies and regulations related to the creation of supportive housing and smaller housing units, including Single Room Occupancy (SRO) housing.

- 3.4.5 Implement and promote additional strategies to reduce homelessness, such as those identified in Heading Home Hennepin
 - 3.5.11 Use education and code enforcement to ensure that rental housing is responsibly managed, and that the number and occupancy of dwelling units does not exceed legal limits.
 - 3.5.12 Continue to work in a vigorous and multidisciplinary manner to identify and remedy problem properties that have disproportionate public safety and livability impacts on the surrounding community.
6. *The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.*

If the requested land use applications are approved, the proposal will comply with all provisions of C2 District. In addition, the applicant must also comply with the following specific development standards found in section 536.20 of the zoning code:

Supportive housing.

- (1) Supportive housing shall be located at least one-fourth ($\frac{1}{4}$) mile from all existing supportive housing and from all of the following uses, except in the B4H Overlay District:
 - a. Community correctional facility.
 - b. Community residential facility.
 - c. Inebriate housing.
 - d. Motel.
 - e. Overnight shelter.
- (2) On-site services shall be for residents of the facility only, except where part of a regimen of scheduled post-residential treatment.
- (3) To the extent practical, all new construction or additions to existing buildings shall be compatible with the scale and character of the surroundings, and exterior building materials shall be harmonious with other buildings in the neighborhood.
- (4) An appropriate transition area between the use and adjacent property shall be provided by landscaping, screening, and other site improvements consistent with the character of the neighborhood.
- (5) The operator shall submit a management plan for the facility and a floor plan showing sleeping areas, emergency exits and bathrooms.

The applicant has submitted an affidavit indicating that there are no uses listed above, within $\frac{1}{4}$ mile of the proposed use. In addition, the applicant has provided a management plan with details on staffing, coordinated entry and services provided on-site to residents and a floor plan showing the areas provided for service and the 36 proposed dwelling units. Staff has found that the proposed building is compatible with the surrounding area and the applicant has provided a landscape plan showing appropriate transition areas between the proposed use and adjacent property.

VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance to reduce the required front yard setback along 2nd St NE from 20 ft to 15 ft, based on the following findings:

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

The applicant is requesting a variance to reduce the front yard setback along 2nd St NE to allow for the proposed residential structure. The subject property is zoned C2 and does not have a minimum front yard setback, unless adjacent to a residential structure or use. The property to the north is zoned R2B and a reflective setback is required for the first 25 feet of the property. The applicant is proposing to construct the new building 12.5 feet from the front property line and 11 feet from the north interior property line. The proposed canopy on the front would be located approximately 9 feet from the front property line. The adjacent parcel to the north is vacant and would be located a minimum of 16 feet from the proposed structure on the subject property. Staff has reviewed the location of residential structures to the north and found them to be located less than 20 feet, as well. Therefore, staff finds that practical difficulty exists due to circumstances unique to the parcel, that have not been created by the applicant.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The subject property is zoned C2 and does not have a minimum front yard setback, unless adjacent to a residential structure or use. The property to the north is zoned R2B and a reflective setback is required for the first 25 feet of the property. The purpose of required yards is to allow for orderly development and use of land and to minimize conflicts among land uses by providing adequate light, air, open space and separation of uses. Staff has calculated that approximately 105 sq. ft. of building footprint and 420 sq. ft. of gross floor area will be located within the front yard setback. The adjacent parcel to the north is vacant and would be located a minimum of 16 feet from the proposed structure on the subject property. Staff has reviewed the location of residential structures to the north and found them to be located less than 20 feet, as well. Therefore, staff finds that the applicant is proposing to utilize the property in a reasonable manner that is consistent with the spirit and intent of the ordinance.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

The property to the north is zoned R2B and a reflective setback is required for the first 25 feet of the property. Staff has calculated that approximately 105 sq. ft. of building footprint and 420 sq. ft. of gross floor area will be located within the front yard setback. The adjacent parcel to the north is vacant and would be located a minimum of 16 feet from the proposed structure on the subject property. Staff has reviewed the location of residential structures to the north and found them to be located less than 20 feet, as well. Therefore, staff finds that the proposed variance will not alter the essential character of the locality or be injurious to the use and enjoyment of property in the vicinity. Finally, if granted, the variance will not be detrimental to the health, safety or welfare of the general public or those utilizing the property.

VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance to reduce the minimum driveway width from 12 ft to 10 ft, based on the following findings:

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

The applicant has provided the required nine off-street parking spaces in a surface parking lot at the rear of the site. The proposed parking area would be accessed from 2nd St NE via a new curb cut and driveway, 10 feet wide. The zoning code allows driveways and curb cuts to be as narrow as 10 feet in the Residence and Office Residence Districts; however, driveways in all other districts require a minimum of 12 feet in width. The proposed use is not commercial and has a modest off-street parking requirement. The applicant requested access to the parking area via the alley, but was denied by Public Works. Staff finds that practical difficulties exist in complying with the minimum driveway width that are unique to the property and not created by the applicant.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The applicant is seeking a variance to reduce the minimum driveway width from 12 ft. to 10 ft. The purpose of regulating the width of the driveway is to ensure safe access to off-street parking areas and to minimize conflicts for vehicular and pedestrian traffic. The narrower curb cut is friendlier to pedestrians and the driveway will only access 9 off-street parking stalls. The applicant is proposing to have all trash pick-up and utility access from the public alley; therefore, the driveway will only be utilized by personal vehicles and not large service vehicles. Staff finds that the applicant is proposing to utilize the property in a reasonable manner, consistent with the spirit and intent of the ordinance.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

Staff finds that the proposed variance to reduce the minimum width of the driveway from 12 ft. to 10 ft. will not alter the essential character of the locality or be injurious to the use and enjoyment of others in the vicinity. The existing property is a surface parking lot with one curb cut, near the north end of the property. The applicant is proposing to close the existing curb cut and open a new curb cut at the south end of the property. The parcel was recently split from 201 Lowry Ave NE and there may be future plans for redevelopment. The applicant is proposing the driveway along the property line and without future plans for the adjacent site and staff is concerned about the appearance of the transition between the two properties. Staff is recommending that the applicant work with the adjacent property owner to provide an appropriate transition area between the properties with either a landscaped area or paving that is not cracked or discontinuous. Finally, if granted, the variance will not be detrimental to the health, safety or welfare of the general public or those utilizing the property.

SITE PLAN REVIEW

The Department of Community Planning and Economic Development has analyzed the application based on the required findings and applicable standards in the site plan review chapter:

I. Conformance to all applicable standards of Chapter 530, Site Plan Review.

BUILDING PLACEMENT AND DESIGN

Building placement – Meets requirements

- The first floor of the building is located 12.5 feet of the front lot line along 2nd Street NE. The applicant is seeking a variance to locate the building less than 20 feet from the property line, where adjacent to residential zoning to the north.
- The placement of the building reinforces the street wall, maximizes natural surveillance and visibility, and facilitates pedestrian access and circulation.
- The area between the building and lot line includes a landscaped yard as an amenity.
- All on-site accessory parking is located to the rear of the site.

Principal entrances – Meets requirements

- The building is oriented so that one principal entrance faces the front property line.
- The principal entrance is clearly defined and emphasized through the use of architectural overhang and windows.

Visual interest – Requires alternative compliance

- The building walls provide architectural detail and contain windows in order to create visual interest.
- There are no blank, uninterrupted walls exceeding 25 feet in length, except for the first floor, facing south at the rear of the building. This wall is 33.5 feet long and is the location of the mechanical/electrical/storage room. The applicant is requesting alternative compliance. Staff is recommending that the applicant propose recesses, projections, windows, or entries to ensure there are no blank walls, exceeding 25 feet in length.

Exterior materials – Meets requirements

- The applicant is proposing a combination of various colors of brick, glass, 5/8” fiber cement board, 5/16” fiber cement board and the cornice would be metal. Each elevation would comply with the City’s durability standards for exterior materials (see Table 2). Please note that exterior material changes at a later date may require review by the Planning Commission and an amendment to the site plan review.
- In addition, the application is consistent with the City’s policy of allowing no more than three exterior materials per elevation, excluding windows, doors, and foundation materials.
- Plain face concrete block is not proposed along any public streets, sidewalks, or adjacent to a residence or office residence district.
- The exterior materials and appearance of the rear and side walls of the building are similar to and compatible with the front of the building.

Table 1. Percentage of Exterior Materials per Elevation

Material	Allowed Max	North	South	East	West (front)
Brick (laid)	100%	46%	47%	24%	58%

Glass	100%	8%	6%	21%	31%
Fiber Cement (≥ 5/8")	75%	36%	45%	53%	0%
Metal Panel	75%	8%	2%	2%	4%
Fiber Cement (≤ 5/8")	30%	2%	0%	0%	7%

Windows – Meets requirements

- For residential uses, the zoning code requires that no less than 20 percent of the walls on the first floor, and no less than ten percent of the walls on each floor above the first that face a public street, public sidewalk, public pathway, or on-site parking lot, shall be windows. The project is in compliance with the minimum window requirement (see Table 3).
- The majority of windows is vertical in proportion and is evenly distributed along the building walls. There are narrow, horizontal bands of windows along the north and south interior sides of the building.

Table 2. Percentage of Windows per Applicable Elevation

	Code Requirement		Proposed	
Residential Uses				
1st floor (facing 2 nd St NE)	20% minimum	179 sq. ft.	50%	447 sq. ft.
2nd floor and above(facing 2 nd St NE)	10% minimum	89.5 sq. ft.	36%	327 sq. ft.
1st floor (facing on-site parking)	20% minimum	179 sq. ft.	35%	315 sq. ft.
2nd floor and above(facing on-site parking)	10% minimum	89.5 sq. ft.	26%	235 sq. ft.

Ground floor active functions – Meets requirements

- The ground floor facing 2nd St NE contains 100 percent (111 feet 8 inches) active functions. At least 70 percent of the first floor building frontage facing the public street, public sidewalk, or public walkway contains active functions.

Roof line – Meets requirements

- The principal roof line of the building will be flat, which is similar to that of surrounding buildings.

Parking garages – Not applicable

ACCESS AND CIRCULATION

Pedestrian access – Meets requirements

- There are clear and well-lit walkways at least four feet in width connecting building entrances to the adjacent public sidewalk and on-site parking facilities.

Transit access – Not applicable

- No transit shelters are proposed as part of this development.

Vehicular access – Meets requirements

- Vehicular access and circulation has been designed to minimize conflicts with pedestrian traffic and with surrounding residential uses. The applicant is proposing a driveway to accommodate the required 9 off-street parking spaces.
- Curb cuts have been consolidated into one that access the surface parking lot in the rear.
- There is no access for vehicles from public alleys adjacent to the site.
- Service vehicle access does not conflict with pedestrian traffic. Trash and recycling trucks will be allowed to pick-up from the alley.
- The proposed site plan minimizes the use of impervious surfaces. The site is majority asphalt and was previously used as an on-site parking lot for Little Jax, a restaurant that is now closed.

LANDSCAPING AND SCREENING

General landscaping and screening – Requires alternative compliance

- The overall composition and location of landscaped areas complement the scale of development and its surroundings.
- At least 20 percent of the site not occupied by the building is landscaped. The applicant is proposing approximately 6,186 square feet of landscaping on site, or approximately 43 percent of the site not occupied by buildings (see Table 4).
- The applicant is proposing at least one canopy tree per 500 square feet of the required landscaped area, including all required landscaped yards. The tree requirement for the site is 6 and the applicant is proposing a total of 13 trees; however only 3 are canopy trees. The applicant has stated that they are unable to provide canopy trees in the boulevard due to an overhead electrical line, and providing additional canopy trees elsewhere on the site is not feasible due to proximity to the building and/or other trees. Staff is recommending that the planning commission grant alternative compliance.
- The applicant is proposing at least one shrub per 100 square feet of the required landscaped area, including all required landscaped yards. The shrub requirement for the site is 29 and the applicant is proposing 142 shrubs.
- The remainder of the required landscaped area is covered with turf grass, native grasses, perennial flowering plants, vines, shrubs and other trees.

Table 3. Landscaping and Screening Requirements

	Code Requirement	Proposed
Lot Area	--	21,808 sq. ft.
Building Footprint	--	7,528 sq. ft.
Remaining Lot Area	--	14,280 sq. ft.
Landscaping Required	2,856 sq. ft.	6,186 sq. ft.
Canopy Trees (1:500 sq. ft.)	6 trees	3 canopy trees 8 ornamental trees 2 coniferous trees
Shrubs (1:100 sq. ft.)	29 shrubs	142 shrubs

Parking and loading landscaping and screening – Meets requirements

- The applicant is proposing a six-foot screen consisting of a combination of a 6-foot high, black minimesh fence and shrubs. This screening is at least 60 percent opaque.
- The parking area abutting or across the alley from a residence or office residence district, or any residential use, contains an on-site landscaped yard of eight feet in width. The applicant is showing

20 false spirea shrubs along the rear property line to create a hedge; however, staff finds that there is sufficient area to provide two additional ornamental trees to soften the edge between the parking area and the residential uses across the alley.

- The applicant is proposing a six-foot screen that is at least 95 percent opaque for the parking lot area facing the residential district or use.
- Because the proposed surface parking lot contains ten or more spaces, each parking space must be located within 50 feet of the center of an on-site deciduous tree. The applicant is meeting his requirement.
- Information included in the landscape plan indicates that the plant materials, and installation and maintenance of the plant materials, would comply with sections 530.200 and 530.210 of the zoning code
- All other areas not occupied by buildings, parking and loading facilities, or driveways would be covered with turf grass, native grasses, perennials, wood mulch, shrubs, and trees.

ADDITIONAL STANDARDS

Concrete curbs and wheel stops – *Meets requirements with Conditions of Approval*

- Staff is recommending that the parking lot be designed with wheel stops or discontinuous curbing to provide on-site retention and filtration of stormwater. Due to the width and location of the driveway, staff finds that it would be impractical to provide on-site retention and recommends that the driveway be defined by a six-inch by six-inch continuous concrete curb.

Site context – *Meets requirements*

- There are no important elements of the city, such as parks, greenways, significant buildings, and water bodies, near the site that will be obstructed by the proposed building.
- This building should have minimal shadowing effects on public spaces and adjacent properties.
- This building has been designed to minimize the generation of wind currents at ground level.

Crime prevention through environmental design – *Meets requirements*

- The site plan employs best practices to increase natural surveillance and visibility, to control and guide movement on the site, and to distinguish between public and non-public spaces.
- The proposed site, landscaping, and buildings promote natural observation and maximize the opportunities for people to observe adjacent spaces and public sidewalks.
- The project provides lighting on site, at all building entrances, and along walkways that maintains a minimum acceptable level of security while not creating glare or excessive lighting of the site.
- The landscaping, sidewalks, lighting, fencing, and building features are located to clearly guide pedestrian movement on or through the site and to control and restrict people to appropriate locations.
- The entrances, exits, signs, fencing, landscaping, and lighting are located to distinguish between public and private areas, to control access, and to guide people coming to and going from the site.

Historic preservation – *Not applicable*

- This site is neither historically designated nor is it located in a historic district.

2. Conformance with all applicable regulations of the zoning ordinance.

The proposed use is conditional in the C2 District.

Off-street Parking and Loading – Choose an item.

- The off-street vehicle parking requirement is 9 spaces (see Table 5).
- The minimum bicycle parking requirement 8 spaces, 90% shall meet the long-term requirement (see Table 6).
- There is not an off-street loading requirement (see Table 7).

Table 4. Vehicle Parking Requirements Per Use (Chapter 541)

Use	Minimum	Reductions	Total with Reductions	Maximum Allowed	Proposed
Supportive housing	9	--	9	36	9
	9	--	9	36	9

Table 5. Bicycle Parking Requirements (Chapter 541)

Use	Minimum	Short-Term	Long-Term	Proposed
Supportive housing (congregate facility)	8	--	Not less than 90%	8
	8	--	--	8

Table 6. Loading Requirements (Chapter 541)

Use	Loading Requirement	Minimum Requirement	Proposed
Supportive housing	None	None	None
	--	--	--

Building Bulk and Height – Meets requirements

Table 7. Building Bulk and Height Requirements

	Code Requirement	Proposed
Lot Area	--	21,808 sq. ft. / .5 acres
Gross Floor Area	--	30,229 sq. ft.
Floor Area Ratio (Minimum)	--	1.4
Floor Area Ratio (Maximum)	1.7	
Building Height (Maximum)	4 stories or 56 feet, whichever is less	4 stories, 51 ft.

Lot Requirements – Meets requirements

Table 8. Lot Requirements Summary

	Code Requirement	Proposed
Dwelling Units (DU)	--	--
Density (DU/acre)	--	--
Lot Area (Minimum)	5,000 sq. ft.	21,808 sq. ft.
Impervious Surface Area (Maximum)	--	37%

Lot Coverage (Maximum)	--	34.5%
Lot Width (Maximum)	40 ft.	137.8 ft.

Yard Requirements – Requires variance(s)

Table 9. Minimum Yard Requirements

Setback	Zoning District	Overriding Regulations	Total Requirement	Proposed
Front (West)	20 ft.	--	20 ft.	12.5 ft.
Interior Side (North)	11 ft.	--	11 ft.	11 ft.
Interior Side (South)	--	--	--	11 ft.
Rear (East)	--	--	--	73 ft.

Signs – Not applicable

- All signs are subject to Chapter 543, On-Premise Signs. The applicant will be required to submit a separate sign permit application for any signage that is proposed.

Screening of Mechanical Equipment – Meets requirements

- All mechanical equipment is subject to the screening requirements of Chapter 535 and district requirements:

535.70. Screening of mechanical equipment.

- a) In general. All mechanical equipment installed on or adjacent to structures shall be arranged so as to minimize visual impact using one (1) of the following methods. All screening shall be kept in good repair and in a proper state of maintenance.
 - 1) Screened by another structure. Mechanical equipment installed on or adjacent to a structure may be screened by a fence, wall or similar structure. Such screening structure shall comply with the following standards:
 - a. The required screening shall be permanently attached to the structure or the ground and shall conform to all applicable building code requirements.
 - b. The required screening shall be constructed with materials that are architecturally compatible with the structure.
 - c. Off-premise advertising signs and billboards shall not be considered required screening.
 - 2) Screened by vegetation. Mechanical equipment installed adjacent to the structure served may be screened by hedges, bushes or similar vegetation.
 - 3) Screened by the structure it serves. Mechanical equipment on or adjacent to a structure may be screened by a parapet or wall of sufficient height, built as an integral part of the structure.

- 4) Designed as an integral part of the structure. If screening is impractical, mechanical equipment may be designed so that it is balanced and integrated with respect to the design of the building.
- b) Exceptions. The following mechanical equipment shall be exempt from the screening requirements of this section:
- 1) Minor equipment not exceeding one (1) foot in height.
 - 2) Mechanical equipment accessory to a single or two-family dwelling.
 - 3) Mechanical equipment located in an I2 or I3 District not less than three hundred (300) feet from a residence or office residence district.
- The applicant is proposing to enclose the mechanical equipment at the rear of the site.

Refuse Screening – Meets requirements

- All refuse and recycling storage containers are subject to the screening requirements in Chapter 535:

535.80. Screening of refuse and recycling storage containers.

Refuse, recycling storage, and compost containers shall be enclosed on all four (4) sides by screening compatible with the principal structure not less than two (2) feet higher than the refuse container or shall be otherwise effectively screened from the street, adjacent residential uses located in a residence or office residence district and adjacent permitted or conditional residential uses. Single and two-family dwellings and multiple-family dwellings of three (3) and four (4) units shall not be governed by this provision.

- The applicant is proposing to enclose the trash at the rear of the site.

Lighting – Meets requirements with Conditions of Approval

- Existing and proposed lighting must comply with Chapter 535 and Chapter 541 of the zoning code, including:

535.590. Lighting.

- a) In general. No use or structure shall be operated or occupied as to create light or glare in such an amount or to such a degree or intensity as to constitute a hazardous condition, or as to unreasonably interfere with the use and enjoyment of property by any person of normal sensitivities, or otherwise as to create a public nuisance.
- b) Specific standards. All uses shall comply with the following standards except as otherwise provided in this section:
 - 1) Lighting fixtures shall be effectively arranged so as not to directly or indirectly cause illumination or glare in excess of one-half (1/2) footcandle measured at the closest property line of any permitted or conditional residential use, and five (5) footcandles measured at the street curb line or nonresidential property line nearest the light source.
 - 2) Lighting fixtures shall not exceed two thousand (2,000) lumens (equivalent to a one hundred fifty (150) watt incandescent bulb) unless of a cutoff type that shields the light source from an observer at the closest property line of any permitted or conditional residential use.
 - 3) Lighting shall not create a sensation of brightness that is substantially greater than ambient lighting conditions as to cause annoyance, discomfort or decreased visual performance or visibility to a person of normal sensitivities when viewed from any permitted or conditional residential use.

- 4) Lighting shall not create a hazard for vehicular or pedestrian traffic.
 - 5) Lighting of building facades or roofs shall be located, aimed and shielded so that light is directed only onto the facade or roof.
- The applicant is proposing to light the on-site parking lot with a light pole.

Fences – Meets requirements

- Fences must comply with the requirements in Chapter 535. The applicant is proposing a six-foot screen consisting of a combination of a 6-foot high, black minimesh fence and shrubs. This screening is at least 60 percent opaque.

Specific Development Standards – Meets requirements

- The applicant's proposal meets the specific development standards for supportive housing in Chapter 536.

3. Conformance with the applicable policies of The Minneapolis Plan for Sustainable Growth.

See finding #5 under Conditional Use Permit.

4. Conformance with applicable development plans or objectives adopted by the City Council.

The site is located within the boundaries of the *Lowry Avenue Corridor Plan* adopted by the City Council in 2002. This plan does not offer any specific guidance for the subject property, which no longer has frontage along Lowry Ave NE.

5. Alternative compliance.

The Planning Commission or zoning administrator may approve alternatives to any site plan review requirement upon finding that the project meets one of three criteria required for alternative compliance. Alternative compliance is requested for the following requirements:

- **Blank walls.** There are no blank, uninterrupted walls exceeding 25 feet in length, except for the first floor, facing south at the rear of the building. This wall is 33.5 feet long and is the location of the mechanical/electrical/storage room. The applicant is requesting alternative compliance. Staff is recommending that the applicant propose recesses, projections, windows, or entries to ensure there are no blank walls, exceeding 25 feet in length.
- **Canopy trees.** The applicant is proposing at least one canopy tree per 500 square feet of the required landscaped area, including all required landscaped yards. The tree requirement for the site is 6 and the applicant is proposing a total of 13 trees; however only 3 are canopy trees. The applicant has updated the plan to include five canopy trees in the boulevard. The applicant is has stated that providing additional canopy trees elsewhere on the site is not feasible due to proximity to the building and/or other trees. Staff is recommending that the planning commission grant alternative compliance.

RECOMMENDATIONS

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt staff findings for the application(s) by Chuck Peterson, on behalf of Clare Housing for the property located at 2525 2nd St NE:

A. Conditional Use Permit.

Recommended motion: **Approve** the application for a supportive housing facility in the C2 District, subject to the following conditions:

1. The conditional use permit shall be recorded with Hennepin County as required by Minn. Stat. 462.3595, subd. 4 before building permits may be issued or before the use or activity requiring a conditional use permit may commence. Unless extended by the zoning administrator, the conditional use permit shall expire if it is not recorded within two years of approval.
2. The applicant shall comply with the specific development standards per section 526.20 of the zoning code and shall submit a management plan for the facility and a floor plan showing sleeping areas, emergency exits and bathrooms.

B. Variance.

Recommended motion: **Approve** the application for a variance to reduce the minimum front yard setback along 2nd St NE from 20 feet to 12.5, measured to the building and 9 feet to the canopy.

C. Variance.

Recommended motion: **Approve** the application for a variance to reduce the minimum driveway width from 12 feet to 10 feet.

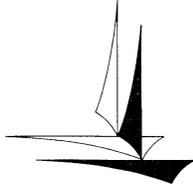
D. Site Plan Review.

Recommended motion: **Approve** the application for the site plan review of a new supportive housing residential structure, subject to the following conditions:

3. All site improvements shall be completed by April 25, 2018, unless extended by the Zoning Administrator, or the permit may be revoked for non-compliance.
4. CPED staff shall review and approve the final site, elevation, landscaping, and lighting plans before building permits may be issued.
5. The applicant shall provide a minimum of 3 canopy trees, 8 ornamental trees, 2 coniferous trees and 29 shrubs on the subject property. At least two trees shall be located in the landscaped yard between the parking area and the public alley. The plant materials, and installation and maintenance of the plant materials, shall comply with sections 530.200 and 530.210 of the zoning code.
6. The applicant shall provide sufficient detail to avoid blank walls exceeding 25 feet.
7. The parking lot shall be designed with wheel stops or discontinuous curbing to provide on-site retention and filtration of stormwater and the driveway be defined by a six-inch by six-inch continuous concrete curb.

ATTACHMENTS

1. PDR report
2. Written description and findings submitted by applicant
3. Zoning map
4. Site plan
5. Site survey
6. Plans
7. Building elevations
8. Renderings
9. Shadow study
10. Photos
11. Oblique aerials
12. Applicant's evidence



Minneapolis Development Review
250 South 4th Street
Room 300
Minneapolis, MN 55415

Preliminary Development Review Report

Development Coordinator Assigned: DONALD ZART
(612) 673-2726
don.zart@minneapolismn.gov

Status *
RESUBMISSION REQUIRED

Tracking Number:	PDR 1001408
Applicant:	CLARE HOUSING 929 CENTRAL AVE NE MINNEAPOLIS, MN 55413
Site Address:	2525 2ND ST NE
Date Submitted:	17-FEB-2016
Date Reviewed:	26-FEB-2016

Purpose

The purpose of the Preliminary Development Review (PDR) is to provide Customers with comments about their proposed development. City personnel, who specialize in various disciplines, review site plans to identify issues and provide feedback to the Customers to assist them in developing their final site plans.

The City of Minneapolis encourages the use of green building techniques. For additional information please check out our green building web page at: http://www.ci.minneapolis.mn.us/mdr/GreenBuildingOptions_home.asp.

DISCLAIMER: *The information in this review is based solely on the preliminary site plan submitted. The comments contained in this report are preliminary ONLY and are subject to modification.*

Project Scope

Proposed 4 story, 36 unit apartment building with supportive services offices for low income residents with HIV/AIDS

Review Findings (by Discipline)

Zoning - Planning

- Based on staff's preliminary review, the following land use applications have been identified:
 - Variance to reduce the driveway width from 12 feet to 11 feet.
 - Conditional use permit to allow for supportive housing.
 - Site plan review.
- The planning commission will make the final determination on the requested land use and any conditions of approval. Staff will work with the applicant through the process on any required site plan changes.

***Approved:** You may continue to the next phase of developing your project.

***Resubmission Required:** You cannot move forward or obtain permits until your plans have been resubmitted and approved.

❑ Addressing

- The proposed address will be 2525 2nd St NE
- Per City of Minneapolis Street Naming and Address Standard V1.22, the City of Minneapolis holds authority for assignment of all addresses, verification, change, and/or additions. Contact Development Coordinator for new address assignment. Each assigned address number uses the street that provides the best/direct access for life safety equipment and best/direct access to the occupants.
- When assigning suite sequences the following guidelines are as follows:
- The first one to two digits of the suite sequence number will designate the floor number of the site.
- The last two digits of the suite sequence number will designate the unique ID for the unit (condo, suite, unit, or apartment).
- Suite sequence digit numbers will be assigned to dwelling, commercial and retail units, not common areas. For example, laundry rooms, saunas, workout rooms, etc., would not be assigned numbers.
- Please provide each condo, suite, unit or apartment number.

❑ Parks - Forestry

- Contact Craig Pinkalla (cpinkalla@minneapolisparcs.org), Telephone (612)-499-9233 regarding removal or protection of trees during construction in the city right of way.
- Species selection ok
- Specify top 24" of Boulevard to be backfilled with viable soil (MnDot topsoil A or equivalent)
- Planting detail 3 on L.2.0 calls for trap rock mulch around trees. L.1.0 indicates Hardwood mulch
- Reflect hardwood mulch on both. No rock mulch in boulevard.
- Effective January 1, 2014, the City of Minneapolis and the Minneapolis Park and Recreation Board adopted an update to the existing Parkland Dedication Ordinance.
- The adopted City of Minneapolis Parkland Dedication ordinance is located in Section 598.340 of the City's Land Subdivision ordinance:
- <http://library.municode.com/index.aspx?clientId=11490>
- As adopted, the fee in lieu of dedication for new residential units is \$1,521 per unit (affordable units excluded per ordinance) and for commercial and industrial development it is \$202.80 per development employee (as defined in ordinance). Any dedication fee (if required) must be paid at the time of building permit issuance. There is also an administration fee that is 5% of the calculated park dedication fee.
- As proposed, for your project, Marshall Flats, the project is exempt from Park Dedication since it is affordable housing.
- This is a preliminary calculation based on your current proposal; a final calculation will be made at the time of building permit submittal.
- For further information, please contact Don Zart at (612)673-2726.

❑ Sidewalk

- The plan as submitted meets the requirements of the Public Works Sidewalk Inspections Division.
- Note to the Applicant: The standard comments included on Sheet C1.0 of the plans shall be updated; for the Minneapolis Park Board "tree removal and permitting" the contact is Craig Pinkalla at (612) 499-9233. See Traffic comments for further updates.

❑ Street Design

- The note "See Details on this Sheet" is repeated numerous times on Sheet C3.0 of the plans, however no details are actually provided on this sheet, and rather they are included on Sheets C7.1 and C7.2 of the plans. The Applicant shall revise the notes and plans such that the details, references and notes are correct.
- All driveway aprons shall be designed and constructed to City standards. All driveway aprons shall be shown graphically correct on all related plan sheets. Please refer to the following:
http://www.minneapolismn.gov/publicworks/plates/public-works_road. The Minneapolis Standard Plate ROAD-2003 provided on Sheet C7.2 has been updated and shall be replaced with ROAD-2003-R1.

□ Right of Way

- The plan as submitted meets the requirements of the Public Works Right-Of-Way Division.
- Note to the Applicant: An encroachment permit shall be required for all streetscape elements in the Public right-of-way such as: plants & shrubs, planters, tree grates and other landscaping elements, sidewalk furniture (including bike racks and bollards), and sidewalk elements other than standard concrete walkways such as pavers, stairs, raised landings, retaining walls, access ramps, and railings (NOTE: railings may not extend into the sidewalk pedestrian area). Please contact Bob Boblett at (612) 673-2428 for further information.
- Any elements of an earth retention system and related operations (such as construction crane boom swings) that fall within the Public right-of-way will require an encroachment permit application. If there are to be any earth retention systems which will extend outside the property line of the development then a plan must be submitted showing details of the system. All such elements shall be removed from the Public right-of-way following construction with the exception of tie-backs which may remain but must be uncoupled and de-tensioned. Please contact Bob Boblett at (612) 673-2428 for further information.
- In addition, any elements of an earth retention system and related excavations that fall within the Public right-of-way will require a "Right-of-Way Excavation Permit". This permit is typically issued to the General Contractor just prior to the start of construction. However, it is the Applicant's responsibility to insure that all required permits have been acquired by its consultants, contractors, sub-contractor's prior to the start of work.

□ Traffic and Parking

- Current ordinance states that all maneuvers associated with loading, parking or sanitation pick up for a private development shall occur on private property. Please provide a narrative explaining the trash removal operations and show turning maneuvers for all truck type vehicles that will be using the loading dock/parking entrance areas.
- Per City Ordinance the Applicant shall provide for (and identify) a solid waste collection point (SWCP) on the site plans. The location of the SWCP is subject to the review and approval of the Public Works Department.
- All street lighting (existing and proposed) shall be shown clearly on the site plan. Prior to site plan approval, the Applicant shall contact Joseph Laurin at 612-673-5987 to determine street lighting requirements. Note: If decorative street lighting exists on the proposed site it must be preserved or replaced at existing levels." Water:
- Note to the Applicant: The construction of this development will likely require the use of Public right-of-way (roadway and sidewalks) for construction purposes. A request for an estimate of street use and obstruction permit fees can be made to the City's Traffic Department; please contact Scott Kramer at (612) 673-2383 for further information.
- Note to the Applicant: Please add the following notes to the site plan:
 - Street lighting installed as part of the Project shall be inspected by the City. Contractors shall arrange for inspections with the Traffic Department, please contact Dave Prehall at (612) 673-5759 for further information. Any lighting installations not meeting City specifications will be required to be reinstalled at Owner expense.
 - An obstruction permit is required anytime construction work is performed in the Public right-of-way. Please contact Scott Kramer at (612) 673-2383 regarding details of sidewalk and lane closures. Log on to <http://minneapolis.mn.roway.net/> for a permit.
 - Contact Allan Klugman at (612) 673-2743 prior to construction for the temporary removal/temporary relocation of any City of Minneapolis lighting or traffic signal system that may be in the way of construction.
 - All costs for relocation and/or repair of City Traffic facilities shall be borne by the Contractor and/or Property Owner.
 - Contact Doug Maday at (612) 673-5755 prior to construction for the removal of any City of Minneapolis right of way signs that may be in the way of construction.

❑ Water

- All existing and proposed underground Public Utilities (water, sanitary sewer, and storm drain) shall be shown on the site plan with corresponding pipe sizes and types. For Public watermain infrastructure records call (612) 673-2865. Any existing connections not in use shall be noted on the plans for removal, and shall be removed per the requirements of the Utility Connections Department, call (612) 673-2451 for more information.
- Domestic water and fire service connections should run in a line perpendicular from the watermain straight into the proposed building to the meter location. The current site plan indicates service connections with bends which are generally not allowed. The domestic water and fire service connection locations as proposed (with bends) can be no farther than 2'-0" from the outside line of the building. It is recommended that capacity calculations be performed for fire protection based on length of the fire service line and the proposed 90 degree bend going into building. Meters shall be set at the point where the service line enters the building and shall be set in a location where it is easily assessable. Domestic service lines larger than three inches require a Bypass Assembly (see attachment). Please contact Rock Rogers at (612) 673-2286 to confirm domestic water and fire service layout, manhole construction, connections, and sizes.

❑ Fire Safety

- Provide required fire suppression system throughout building.
- Fire department connection must be located on the address side of building & within 150 feet of a fire hydrant.
- Provide fire alarm system throughout building.
- Provide and maintain fire apparatus access at all times.

❑ Business Licensing

- There is no Business Licensing requirement required at this time.

❑ Environmental Health

- If impacted soil is encountered during site activities call the MN State Duty officer at (615) 649-5451.
- If dewatering is required during site construction see below for city permit requirements. Subgrade structures should be designed to prevent infiltration of groundwater without the need for a permanent dewatering system being installed. If a continuously operating permanent dewatering system is needed it must be approved as part of the sanitary sewer and storm drain site plan approval prior to construction beginning.
- No construction, demolition or commercial power maintenance equipment shall be operated within the city between the hours of 6:00 p.m. and 7:00 a.m. on weekdays or during any hours on Saturdays, Sundays and state and federal holidays, except under permit. Contact Environmental Services at 612-673-3867 for permit information.
- Permits and approval are required from Environmental Services for the following activities: Temporary storage of impacted soils on site prior to disposal or reuse; Reuse of impacted soils on site; Dewatering and discharge of accumulated storm water or ground water, underground or aboveground tank installation or removal, well construction or sealing. Contact Tom Frame at 612-673-5807 for permit applications and approvals.
- A review of the project, permits issued and an inspection from Environmental Service for identification of equipment and site operations that require annual registration with the City of Minneapolis will occur for this project.

❑ Historical Preservation Committee

- There is no HPC flag on this property. Preservation review is not required at this time.

□ Sewer Design

Stormwater Management:

- It appears that the property being developed here is part of a larger existing parcel. Should re-development occur on the remaining parcel and if the total disturbance is over 1 acre, the projects would be subject to the stormwater treatment requirements of Chapter 54 of the Minneapolis Code of Ordinances. Please indicate if re-development is anticipated on the remainder of the parcel. If so, appropriate stormwater management should be implemented with this site plan.
- Please identify the square footage of the area proposed to be disturbed with the project, and the existing and proposed impervious square footages within the disturbed area.

Surface Drainage:

- There have been reports of flooding at the intersection of 2nd and Lowry. It is recommended that the property be re-developed appropriately to reduce the risk of flooding of the existing and proposed structures.
- As flooding has been identified in this area, it is requested that discharge rates be reduced as much as possible on the site. Please provide documentation on what is proposed and has been considered on the site to achieve this.
- Please identify the location of roof drains.

Utility Connections:

- What is the purpose of the tee installed on the storm sewer near the access driveway on 2nd St? It appears a stub is being run to the property line.
- For comments or questions on Public Works Surface Water & Sewers Division related requirements please contact Jeremy Strehlo, (Professional Engineer) at (612) 673-3973, or jeremy.strehlo@minneapolismn.gov

□ Construction Code Services

- This is not intended as a complete code review, but to confirm basic design elements for exterior building code items.
- No particular building code issues are observed in these plans.
- The following are typical code comments;
 - Exterior Accessible routes shall consist of walking surfaces or slopes not steeper than 1:20. IBC 1104.1
 - Accessible parking spaces shall be located per MN 1341.1106.6
 - Accessible parking spaces and access aisles to be 96" (8') width 502.4.2
 - Access aisles are to be marked "no parking" per 502.4.4 ANSI A117.1 2003
 - Accessible curb ramps as per MN 1341.0406
 - Maximum slope 1:48 for access aisle and parking space per 502.5
 - Accessible signage to comply with MN 1341.1110
- Please contact the Met Council for a SAC determination for this project. For more information please refer to this link:
http://www.ci.minneapolis.mn.us/www/groups/public/@regservices/documents/webcontent/convert_281675.pdf

END OF REPORT

Marshall Flats

SUPPORTIVE SERVICES PLAN & BUDGET

Project Name	Marshall Flats
Developer	Clare Housing
Owner	Clare Marshall Flats Limited Partnership
Service Provider	Clare Services LLC

Target Population:

- Single adults; persons living with HIV/AIDS; persons who have experienced long-term homelessness or are at risk of homelessness.
- Seven (7) units will be set aside for Long-term homeless, of which four (4) will be set aside for unaccompanied youth.
- Four (4) units will also be set aside for those with serious and persistent mental illness (SPMI)
- Approximately 12-14 persons will be more significantly disabled and who choose to live in a community-based setting with supportive services.

Expected program outcomes:

- Increased number of people living with HIV/AIDS who maintain stable housing
- Reduced HIV related health disparities through access to and retention in care
- Improved HIV related health outcomes
- Significantly improved HIV medication adherence and reduced hospital stays for those clients in the assisted living program
- Closer to ending homelessness for people living with HIV/AIDS

Demographics (projected)

- 36 persons living with HIV/AIDS
- 22 individuals will most likely have a history of chemical dependency
- 12-14 individuals with a permanent physical/developmental disability
- 18 with mental illness including 4 w/SPMI
- 85% male/15% female
- 10% will be between the age of 18 – 24 (at least 4)
- 45% will be between 25 – 50 years old
- 45% will be older than 51
- 100% will have a disability; over 75% will have more than one
- The majority of tenants will have incomes below 30% of the area median income [AMI]
- 60% will come from communities of color

Rental assistance:

- 36 units will utilize Group Residential Housing

Tenant selection criteria, marketing:

- Coordinated Entry: Clare Housing is committed to working with Hennepin County Coordinated Entry staff to maximize and ensure safe and affordable supportive housing options for PLWH/A in our community. Staff will work closely and collaboratively with the Coordinated Entry system to identify appropriate tenants for Marshall Flats. Staff will also seek all appropriate homeless referrals by interfacing on a regular basis with the Referral Coordinator in Hennepin County to make the match with Marshall Flats. Since Clare Housing is an agency which embraces a Housing First philosophy in serving the homeless, staff understand and support the philosophy behind this new system.

- In addition to working with Coordinated Entry, notice of the opening of Marshall Flats will be distributed to HIV/AIDS service organizations, homeless shelters and other social service agencies serving youth and those with mental illness. This will be accomplished by emailing these organizations to announce the opening of the Marshall Flats, describing the targeted populations and eligibility requirements and application process. Clare Housing staff will educate HIV service agencies and case managers about the new Coordinated Entry System which will be key to getting appropriate clients into the system and navigating it appropriately. An example of the organizations that will receive an email include the following:
 - Minnesota AIDS Project
 - African American AIDS Task Force
 - West Side Community Health Clinic
 - The Aliveness Project
 - Hennepin County Medical Center HIV case management
 - Regions Hospital HIV case management
 - Allina Infectious Disease clinic
 - Youth and AIDS Project
 - Mental Health service providers such as Resource Inc. and Touchstone
 - Youth Service providers such as The Link, YouthLink and The Bridge for Youth
 - Various homeless shelters
 - MN Department of Human Services Office of HIV/AIDS

- Persons interested in participating in the homecare program will have a nursing assessment completed by a Clare Services LLC nurse to ensure that the client is medically appropriate for the program. Clients will need to be open to a waived program (CADI, BI, etc.) or have the ability to pay privately for assisted living services.

Eligibility screening and assessment procedures

- Individuals will be screened on the basis of HIV status and income; in some instances they will also be screened on the basis of homeless status and disability.
- Individuals for the four units set aside for SPMI, will be screened to ensure requirements are met.

- All individuals must be at least 18 years old. Criminal background and rental history checks may be done.
- Marshall Flats is a permanent supportive housing program; all tenants will sign a lease agreement.
- Marshall Flats will embrace a Housing First model and evictions will occur only when there is a series of lease violations where a solution cannot be found. There will be no requirements for sobriety.
- As stated above, clients wishing to enroll in the assisted living program will need to undergo an RN assessment to make sure they are medically appropriate for the program.

Service Summary:

Clare Housing's supportive housing programs strive to increase housing stability, improve health outcomes and reduce HIV transmission.

- The service provider is Clare Services LLC.
- All services are voluntary.
- All tenants will have access to a Supportive Services Manager (SSM) who can provide information, support, referral and advocacy. In addition, there will be community building activities, e.g., education and social programming, available and there will be staff at the front desk 24/7.
- The SSM will use a low-threshold engagement strategy including an open-door approach with walk-in appointments.
- Referrals will be made to an HIV case manager if the client does not have one. Referrals will also be made to the following, as appropriate
 - Bridging, Inc. for furniture
 - People Incorporated and Resource Inc. for job training
 - Open Arms for delivered meals
 - Aliveness Project for food pantry, alternative therapies and activities
 - Park House for adult mental health day programming
 - Every Penny Counts for emergency financial assistance
- HIV/AIDS is a progressive disease, often with periods of acute illness and recovery. It is anticipated that approximately 33% of the tenants will be clients of Clare Housing's homemaker program. These services will allow individuals to remain in their home as their disease progresses and when cycling through an acute illness. The services may include:
 - nursing assessment
 - 24/7 emergency response; RN on call 24/7
 - medication monitoring and administration
 - assistance with setting up transportation and appointments
 - assistance with personal cares
 - assistance with homemaking and meal preparation

All Clare Housing staff have required trainings in HIV/AIDS, HIV prevention, common co-occurring issues such as mental and chemical health and are trained as “trauma-informed” professionals. Support services also utilize motivational interviewing techniques when working with residents. Clare Housing’s ultimate goal is to support and engage residents at a level that ensures they maintain their housing and optimize their HIV and overall health outcomes.

Clare Services Staffing:

- Supportive Services Manager, 1.0 FTE, regular business hours
- Resident Assistants, 5.2 FTE, 24/7 front desk staffing
- RN, 1.0 FTE, regular business hours and on-call

Outcomes and Data Collection and Reporting

Clare Housing's annual goals are aligned with its mission. Outcomes studies demonstrate that when a person lives in stable environment they are able to connect to the services they need to maintain their health and independence. Our 2015 supportive housing goals state that:

- 100% of residents will be linked to care
- 95% of residents will be retained in care
- 95% of residents will be on and maintain their antiretroviral therapy adherence
- 90% of residents will be virally suppressed
- 80% of residents will maintain their housing stability for at least 12 months

Michelle BaltusPribyl

From: Chuck Peterson <chuck.peterson@clarehousing.org>
Sent: Wednesday, March 09, 2016 3:36 PM
To: Shari Seymour; kevin.reich@minneapolismn.gov
Cc: McDonough, Shannon; Michelle BaltusPribyl
Subject: Clare Housing - Marshall Flats Project Update, Land Use Applications

Hello Shari and Council Member Reich,

Per the requirements of our Land Use Application, I'm writing to provide you with an update of our project.

Description of the project

Clare Housing believes all people deserve a chance to live their best lives, and every individual has a place and right to be cared for in society. It's that unwavering belief that guides every aspect of Clare Housing's vision for an AIDS free world built on a foundation of equitable access to housing and health care.

Since the opening of its first community care home in 1987, Clare Housing has been on the front lines of providing quality supportive services and stable housing for people living with and impacted by HIV in our community. Today, Clare Housing is the largest licensed provider of supportive housing for people living with HIV in Minnesota.

Over the last two decades the organization has grown from one residence serving four people to developing, owning, and managing seven residential properties accommodating 129 households each year. Each property offers a range of services including 24/7 care, nursing supports, medication management and a variety of social services.

In addition, Clare Housing currently manages 33 subsidized apartment units through its Scattered Site Housing Program that are located throughout the Twin Cities metropolitan area. 10 new units came online in January as a result of a new partnership with Project for Pride in Living's Hamline Station project in St. Paul. Clare Housing's scattered site housing units are made available to those individuals who need affordable housing and can live more independently. All individuals and families living in Clare Housing's participating in this program receive supportive services from Clare Housing Scattered Site Housing Manager to assist them in stabilizing their health and maintaining their housing.

Clare Housing's work begins with housing, the cornerstone of health care and well-being. Stable housing provides a foundation for people to get a fresh start. It provides a place to receive counseling, care and reconnect with community. By offering a continuum of person-centered housing options and supportive services for people living with HIV, Clare Housing's programs reach and support individuals at every stage of their journey, from the streets to finding a home, during illness and health, and from youth to old age.

Marshall Flats will be a newly constructed, fully accessible 36-unit supportive housing apartment building. Many of the people served at Marshall flats will be formerly homeless and live significantly below the federal poverty line and are classified either as low or very low-income. All residents will have an HIV-diagnosis. Staff will provide a continuum of supportive care services which will include 24/7 care and support, homecare services, licensed nursing care, medication management and variety social services.

Land use applications that are needed for this project

- Conditional Use Permit for Supportive Housing
- Site Plan Review
- Variance for front yard setback at NW corner of the site

- Variance for driveway width

Address of property

2525 2nd Street NE
Minneapolis, MN 55418

Again, thank you so much for your support. Shari, as I mentioned at the last neighborhood meeting, once we are through the city approval process, I'd be glad to come back and provide an update to the neighborhood. In the meantime, if you have any questions, please don't hesitate to let me know. My contact information can be found below.

Thank you!

Chuck Peterson
Executive Director
Clare Housing
929 Central Avenue NE
Minneapolis, MN 55413
612-236-9521
chuck.peterson@clarehousing.org
www.clarehousing.org

JOIN US FOR A JOURNEY HOME SESSION. A guided one-hour interactive tour of Clare Housing's HIV-specific housing programs. For a listing of dates visit - <http://www.clarehousing.org/get-involved/journey-home-tour/> Like us on Facebook at <http://www.facebook.com/pages/Clare-Housing/118471574857255> This email communication and any attachments may contain confidential information for the use of the designated recipients named above. If you are not the intended recipient, you are hereby notified that you have received this communication in error and that any review, disclosure, dissemination, distribution or copying of its contents is prohibited. If you received this communication in error, please destroy all copies of this communication and any attachments.

CONDITIONAL USE PERMIT

1. The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, comfort or general welfare.

This building will be staffed more than a typical apartment building. There will be a 24/7 front desk and on site property management and supportive services staff. Both exterior entrances are controlled for security. The building and grounds will be well maintained, as evidenced by the care taken with the other facilities owned and operated by Clare Housing. See attached service plan for more details on the building operation.

2. The conditional use will not be injurious to the use and enjoyment of other property in the vicinity and will not impede the normal and orderly development and improvement of surrounding property or uses permitted in the district.

The building and grounds will be well maintained, as evidenced by the care taken with the other facilities owned and operated by Clare Housing. The building itself will be attractive, and extensive landscaping will add to the appeal of the site for both residents and the broader community. The building has been located on the site to minimize impact of shadowing on nearby residential properties. The parking lot access has been located on the street rather than the alley per neighbors' request.

3. Adequate utilities, access roads, drainage, necessary facilities or other measures, have been or will be provided.

The building will be served by utility mains existing in the adjacent street, and existing road access is sufficient.

4. Adequate measures have been or will be taken to minimize traffic congestion in the public streets.

Per neighbors' concerns about current levels of traffic in the alley the parking lot access has been located off of 2nd St. As few if any residents will have cars and there are only nine parking spaces it is anticipated that the small amount of additional traffic will not be noticeable.

5. The conditional use is consistent with the applicable policies of the comprehensive plan.

The building's height, massing and use (residential apartment building) are all in compliance with the current zoning requirements and long term plans for the area.

6. The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.

The building's height, massing and use (residential apartment building), parking and landscaping conform with the current zoning requirements, with the exception of minor variances being sought that are unrelated to the conditional use.

VARIANCE (FRONT YARD)

1. Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.

The first 25' of the north end of the property requires a 20' setback due to the lot to the north of the site being zoned residential. However, the north lot is vacant and contains a large cottonwood tree very valued by the neighborhood. This lot provides a sufficient transition to the residential uses to the north.

2. The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.

Only a very small section of the building (less than 100 square feet of the footprint) overlap this setback. The building is otherwise well within all setback requirements. The lot to the north of the site is vacant and contains a large cottonwood tree very valued by the neighborhood. This lot provides a sufficient transition to the residential uses to the north.

3. The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.

The building placement accomplished with this variance allows the building to be placed closer to 2nd St. NE which meets the neighbors' preference to have the building placed further from the alley to reduce impact of shadowing and provide more privacy to homes across the alley. The building placement also allows the parking lot to be located behind the building to leave more frontage for attractive landscaping and building frontage. The building placement also allows for the outdoor patio for building residents to be located behind the building where it will be more private and screened from adjacent properties.

VARIANCE (DRIVEWAY – 10' in lieu of 12')

1. Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.

Several options were considered for parking and parking lot access to the property. Alley access was not preferred by the neighborhood or the city Public Works department, and off-site parking was not found to be viable at this time.

2. The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.

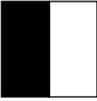
The parking lot only consists of 9 parking spaces, most of which will be used by staff. There will be very little in and out traffic and staff will be familiar with driving through the single lane driveway.

3. The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.

The parking lot only consists of 9 parking spaces, most of which will be used by staff. There will be very little in and out traffic and staff will be familiar with driving through the single lane driveway.

LANDSCAPING REQUIREMENTS

Our understanding is that based on the site area, 6 canopy trees and 29 shrubs are required. We are proposing 3 canopy trees, 8 ornamental deciduous trees, 2 coniferous trees, and 140 shrubs. We are currently unable to provide canopy trees in the boulevard due to an overhead electrical line, and providing additional canopy trees elsewhere on the site is not feasible due to proximity to the building and/or other trees. We are well exceeding the total number of both trees and shrubs required for this size of site and therefore hope that this will be acceptable as alternative compliance.



275 East Fourth Street, Suite 800, St. Paul, MN 55101
 p 651.225.8623 f 651.225 8720
 www.cermakrhoades.com

CERMAK RHOADES ARCHITECTS

February 10, 2016

**MARSHALL FLATS– 2525 2ND ST. NE MPLS.
 PROJECT DESCRIPTION**

Job No. 1342

Project Description

This new construction project will include 36 studio apartments and support space in a four story building. The site will also include an off-street surface parking area, a patio, and landscaping.

Site Area

Total current site area: 21,807.88 sf or .5 acres
 Density: 72 units/acre

Building Area

First floor	7528 gsf
Second floor	7567 gsf
Third floor	7567 gsf
<u>Fourth floor</u>	<u>7567 gsf</u>
GRAND TOTAL	30,229 gsf

Apartment Dwelling Unit Areas

<u>Efficiency Unit</u>	<u>511 gsf (36)</u>
------------------------	---------------------

TOTAL DWELLING UNITS 36 units

Height in Stories and Feet: 51'/4 stories

Floor Area Ratio: 1.4

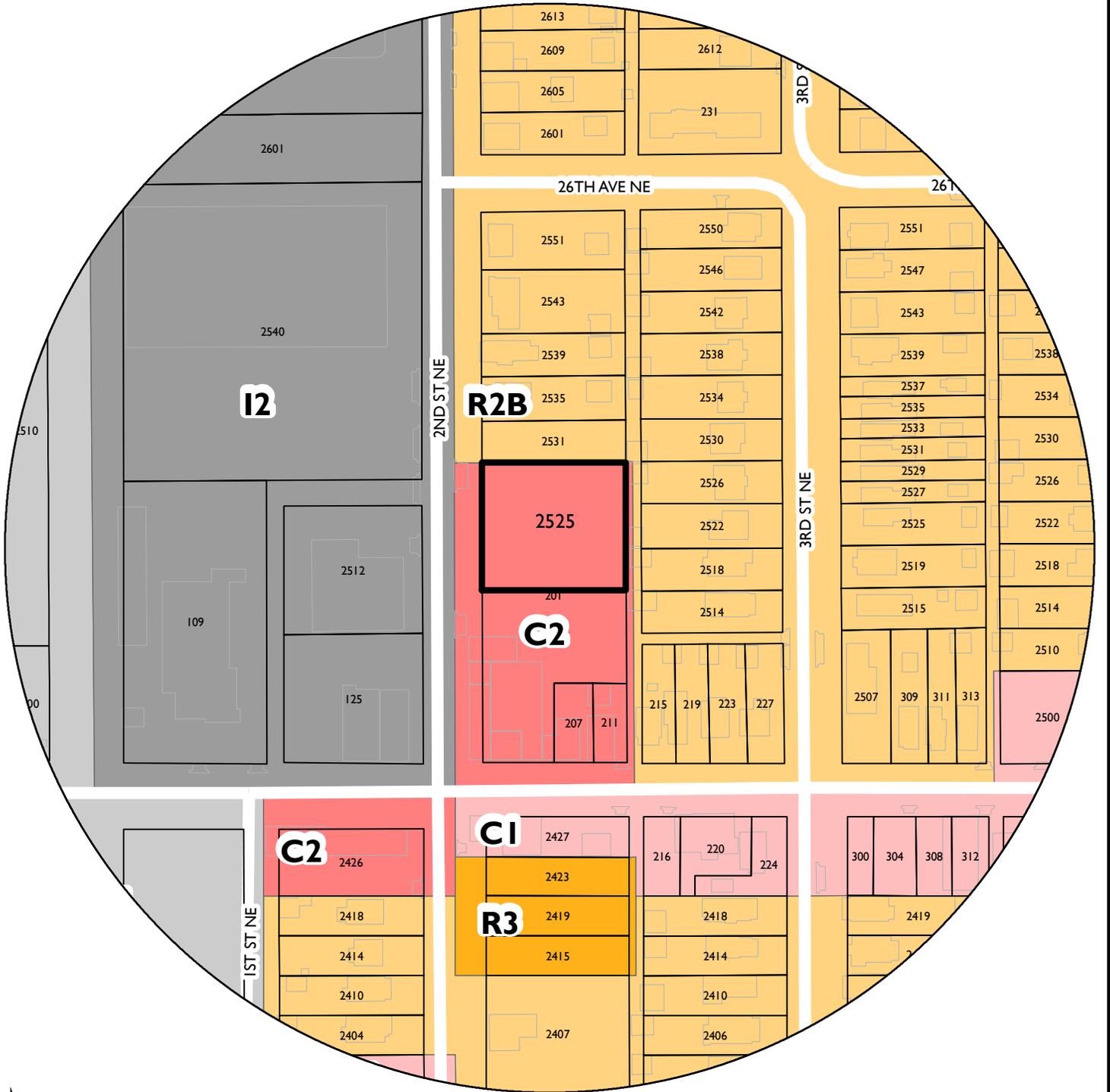
Parking Count: 9 stalls

Marshall Flats - Clare Housing

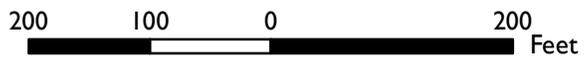
3rd

NAME OF APPLICANT

WARD

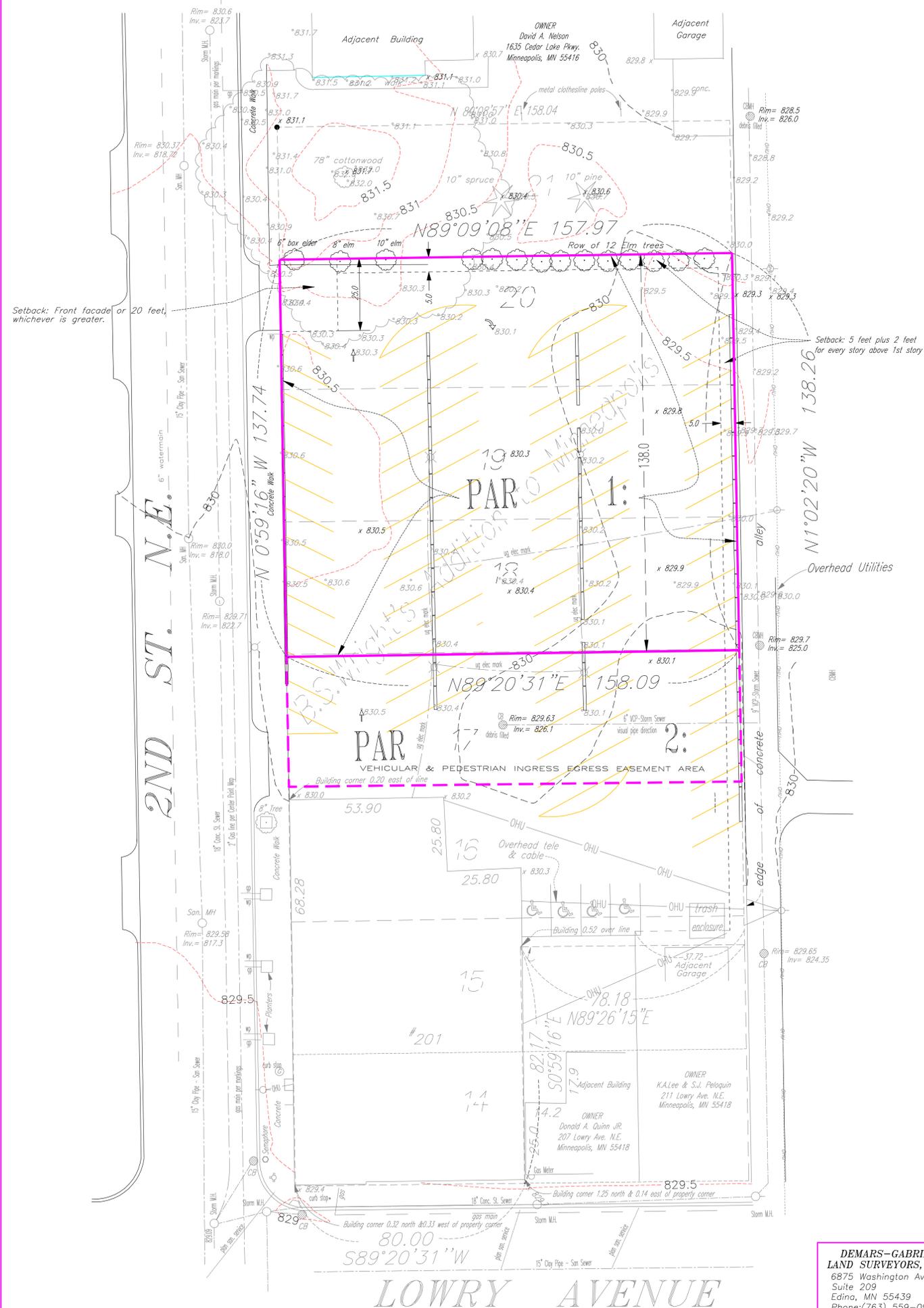


North Arrow



PROPERTY ADDRESS
2525 2nd St NE

FILE NUMBER
BZZ



LEGAL DESCRIPTION

Parcel 1:
Those parts of the property described as follows:

Lots 17, 18, 19 and 20, Block 12, B.S. Wright's Addition to Minneapolis, Hennepin County, Minnesota, which lie northerly of a line drawn parallel with and 138.00 feet southerly of the northerly line of said Lot 20.

Parcel 2:
Together with the benefit of an easement for vehicular and pedestrian ingress and egress as set forth in Access Easement dated May 29, 2015, filed May 29, 2015, as Document No. T05259521.n County, Minnesota

Torrens Property
Torrens Certificate No. 1404226

MINNESOTA HOUSING FINANCE AGENCY

CERTIFICATION OF SURVEYOR

To Clare Housing, Minnesota Housing Finance Agency, Supportive Housing Solutions, LLC, and Stewart Title Guaranty Company and Commercial Partners Title, LLC:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, [5*], 6(b), 7(a), 8, 9, 10(a), 11(b), 19 and 20(a) of Table A thereof.

The field work was completed on December 17, 2015.

Date of Plat or Map: December 17, 2015.

DOE
David E. Crook, L.S. Mn Reg. No. 22414

Subject property is zoned X and does not lie within a flood hazard area per FEMA Flood Insurance Rate Map for the City of Minneapolis, Community Panel No. 27053C0219E, Dated September 2, 2004.

Easement contained in schedule B, First American Title Insurance Company Commitment LT File No: 511822, Dated 9-11-14,

Easements servicing this property enter thru recorded easement or public right-of-way.

There are 65 regular parking spaces.

Current Zoning listed as: C2 (Neighborhood Corridor Commercial District)
Maximum building height is 4 stories or 56 feet, whichever is less.

Building Height At S.W. Building corner: 25.6' to top of facade.
19.8' to top of roof.

No party walls observed.

- LEGEND**
- - Denotes Manhole
 - ⊙ - Denotes Catch Basin
 - ⊕ - Denotes Hydrant
 - - Denotes Telephone Box
 - ⊗ - Denotes Gas Meter
 - ⊖ - Denotes Utility Pole
 - ⊗ - Denotes Light Pole
 - - Denotes iron monument
 - - Denotes found monument
 - - Denotes Tree
 - ⊕ - Denotes blue point (water location)
 - ⊗ - Denotes yellow point (gas location)
 - OHU - Denotes Overhead Utilities.

SITE ADDRESS:
2525 2ND ST. NE
Minneapolis, MN 55418

AREA: 21,807.88 sq. ft. total
(0.50 Acres)

REVISED: January 22, 2016 - gas line
REVISED: January 6, 2016 - storm invert, misc

DEMARS-GABRIEL LAND SURVEYORS, INC.
6875 Washington Ave, So. Suite 209
Edina, MN 55439
Phone: (763) 559-0908
Fax: (952) 767-0490

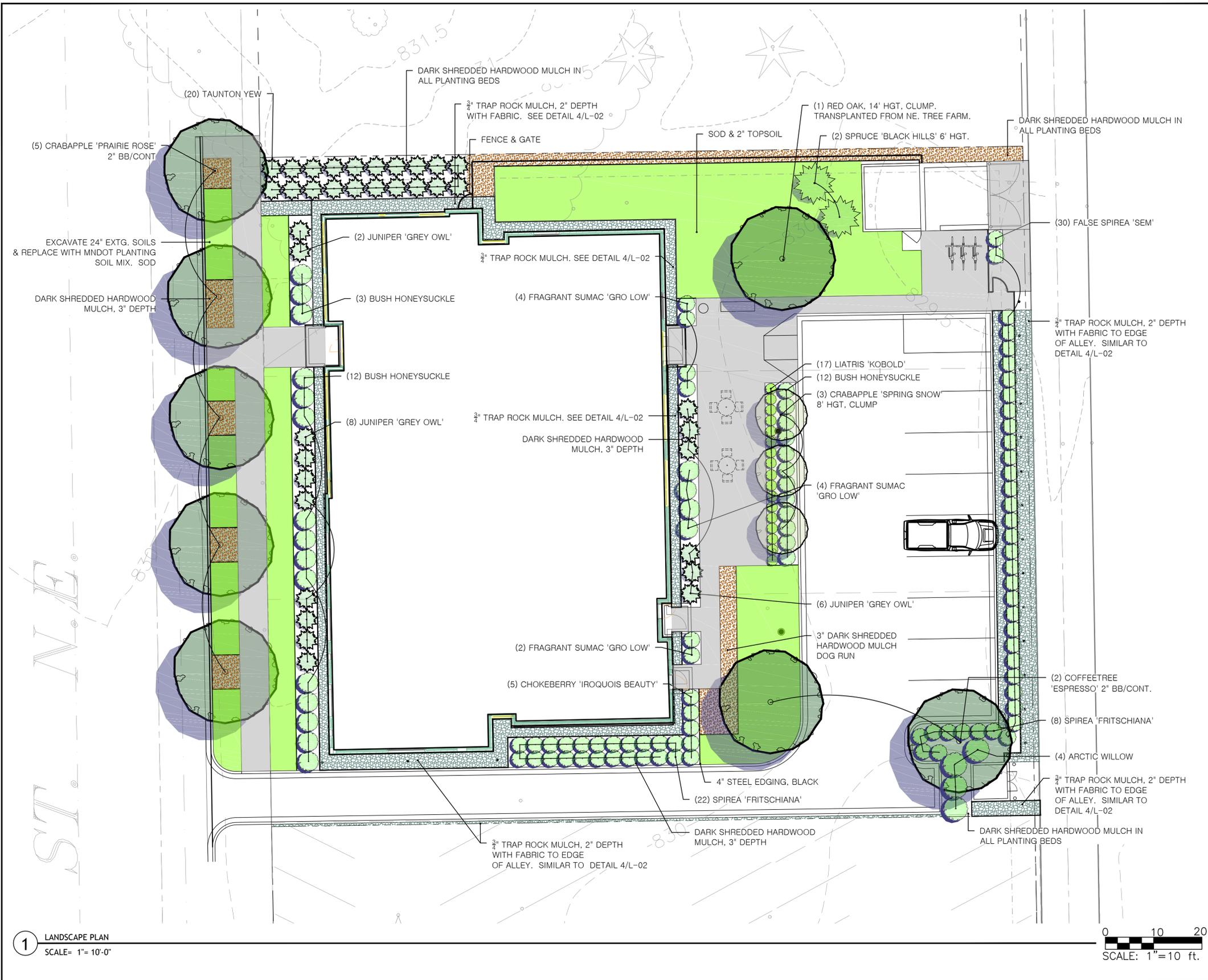
I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the Laws of the State of Minnesota.

DOE
David E. Crook
Date: December 17, 2015
Minn. Reg. No. 22414

File No. 14386
Book-Page
Scale 1"=20'

ALTA/ACSM LAND TITLE SURVEY

PREPARED FOR: **Clare Housing, Minnesota Housing Finance Agency, Supportive Housing Solutions Fund, LLC, Stewart Title Guaranty Company & Commercial Partners Title, LLC.**



SOD SPECIES MIX
 25% INTRIGUE CHEWINGS FESCUE
 25% BOREAL CREEPING RED FESCUE
 20% COVAR SHEEP FESCUE
 20% FIREFLY HARD FESCUE
 10% GULF ANNUAL RYEGRASS

- IRRIGATION SYSTEM REQUIREMENTS**
- DRIP IRRIGATION SHALL BE INSTALLED IN ALL LANDSCAPE PLANTING BEDS
 - PROVIDED SEPARATE ZONES FOR TURF AND PLANTING BEDS
 - PROVIDED A TIMER /CONTROLLER THAT ACTIVATES THE VALVES FOR EACH WATERING ZONE AT THE BEST TIME OF DAY TO MINIMIZE EVAPORATIVE LOSSES WHILE MAINTAINING HEALTHY PLANTS AND OBEYING LOCAL REGULATIONS AND WATER-USE GUIDANCE
 - SYSTEM SHALL INCLUDE A (WBC) WATERSENSE, WEATHER BASED IRRIGATION CONTROLLER.

MANDATORY	OPTIONAL POINTS	CRITERIA	STATUS	POINTS
<input type="checkbox"/>	<input type="checkbox"/>	3.1 Environmental Remediation	NO	0
<input type="checkbox"/>	<input type="checkbox"/>	3.2 Erosion and Sedimentation Control	NO	0
<input type="checkbox"/>	<input type="checkbox"/>	3.3 Low-Impact Development	NO	0
<input checked="" type="checkbox"/>	<input type="checkbox"/>	3.4 Landscaping	YES	4
<input checked="" type="checkbox"/>	<input type="checkbox"/>	3.5a Efficient Irrigation and Water Reuse	YES	4
<input checked="" type="checkbox"/>	<input type="checkbox"/>	3.5b Efficient Irrigation and Water Reuse	YES	4
<input type="checkbox"/>	<input type="checkbox"/>	3.6 Surface Stormwater Management	NO	0
<input type="checkbox"/>	<input type="checkbox"/>	3.7 Reducing Heat-Island Effect: Paving	NO	0

Marshall Flats- Plant Schedule

QTY	COMMON NAME	BOTANICAL NAME	SIZE	CONT	REMARKS
3	Large Deciduous Trees				
1	Red Oak	<i>Quercus rubra</i>	14'	BB/ CONT	transplanted from tree farm
2	Coffeetree 'Espresso'	<i>Gymnocladus dioica</i>	2'	BB/ CONT	
8	Small Deciduous Trees				
3	Crabapple 'Spring Snow'	<i>Malus sp. 'Spring Snow'</i>	8' HGT	BB/ CONT	clump
5	Crabapple 'Prairie Rose'	<i>Malus sp. 'Prairie Rose'</i>	2.5'	BB/ CONT	
2	Evergreen Trees				
2	Spruce 'Black Hills'	<i>Picea glauca densata</i>	6' HGT	BB/ CONT	
142	Deciduous / Coniferous Shrubs				
4	Arctic Blue Willow	<i>Salix purpurea 'Nana'</i>	#5	cont	
30	False Spirea 'Sem'	<i>Sorbaria sorbifolia 'Sem'</i>	#5	cont	
20	Taunton Yew	<i>Taxus cuspidata</i>	#5	cont	
5	Chokeberry 'Iroquois Beauty'	<i>Aronia melanocarpa 'Iroquois Beauty'</i>	#5	cont	
27	Dwarf Bush Honeysuckle	<i>Diervilla sp.</i>	#5	cont	
10	Fragrant Sumac 'Gro Low'	<i>Rhus aromatica 'Gro Low'</i>	#5	cont	
16	Juniper 'Grey Owl'	<i>Juniperus virginiana 'Grey Owl'</i>	#5	cont	
30	Spirea 'Fritschiana'	<i>Spirea fritschiana</i>	#5	cont	
17	Perennials/ Grasses				
17	Liatris 'Kobold'	<i>Liatris spicata 'Kobold'</i>	#1	cont	

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly registered Architect under the laws of the State of Minnesota.

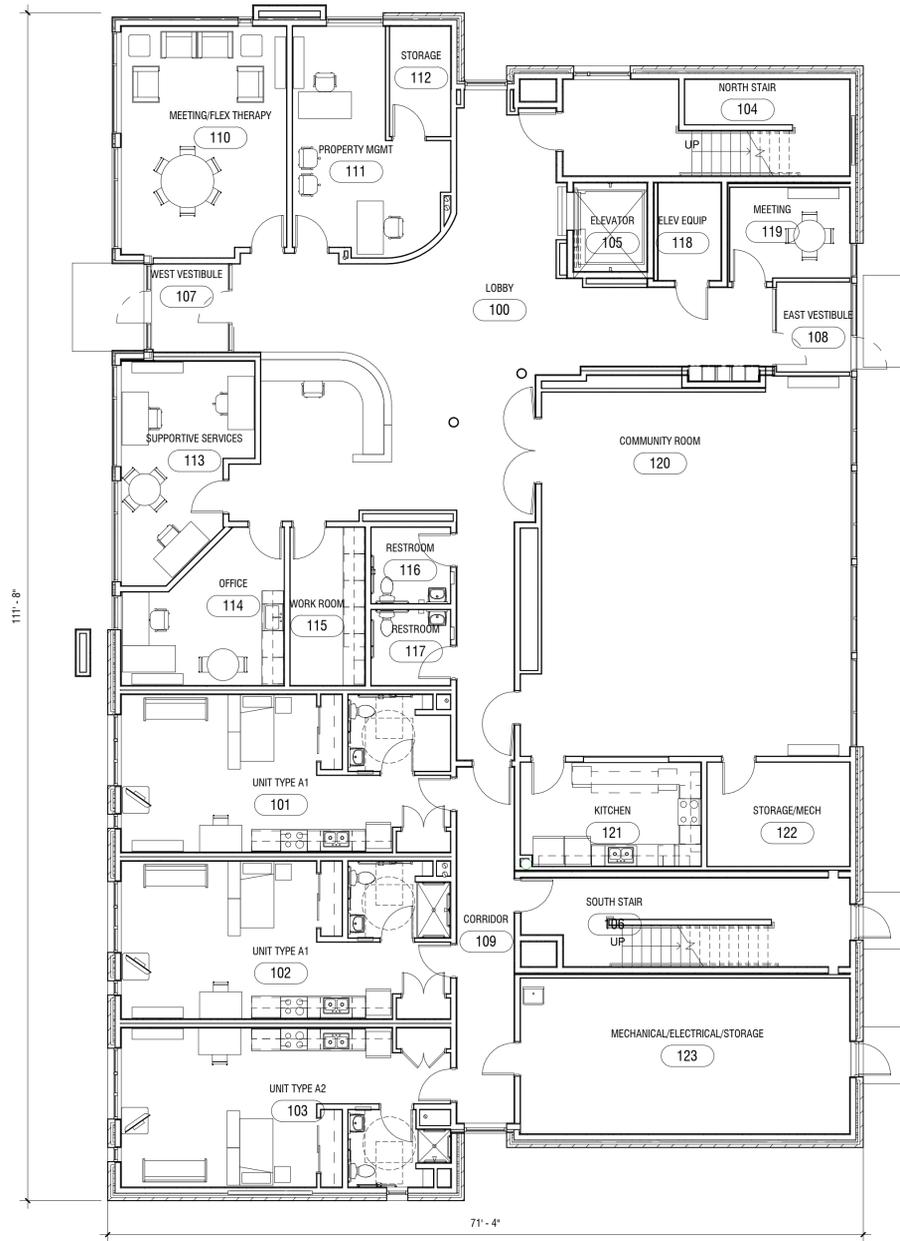
Signed _____
 DATE _____
 REG. NO. _____

PDR SUBMITTAL
 2/12/16
 NOT FOR CONSTRUCTION

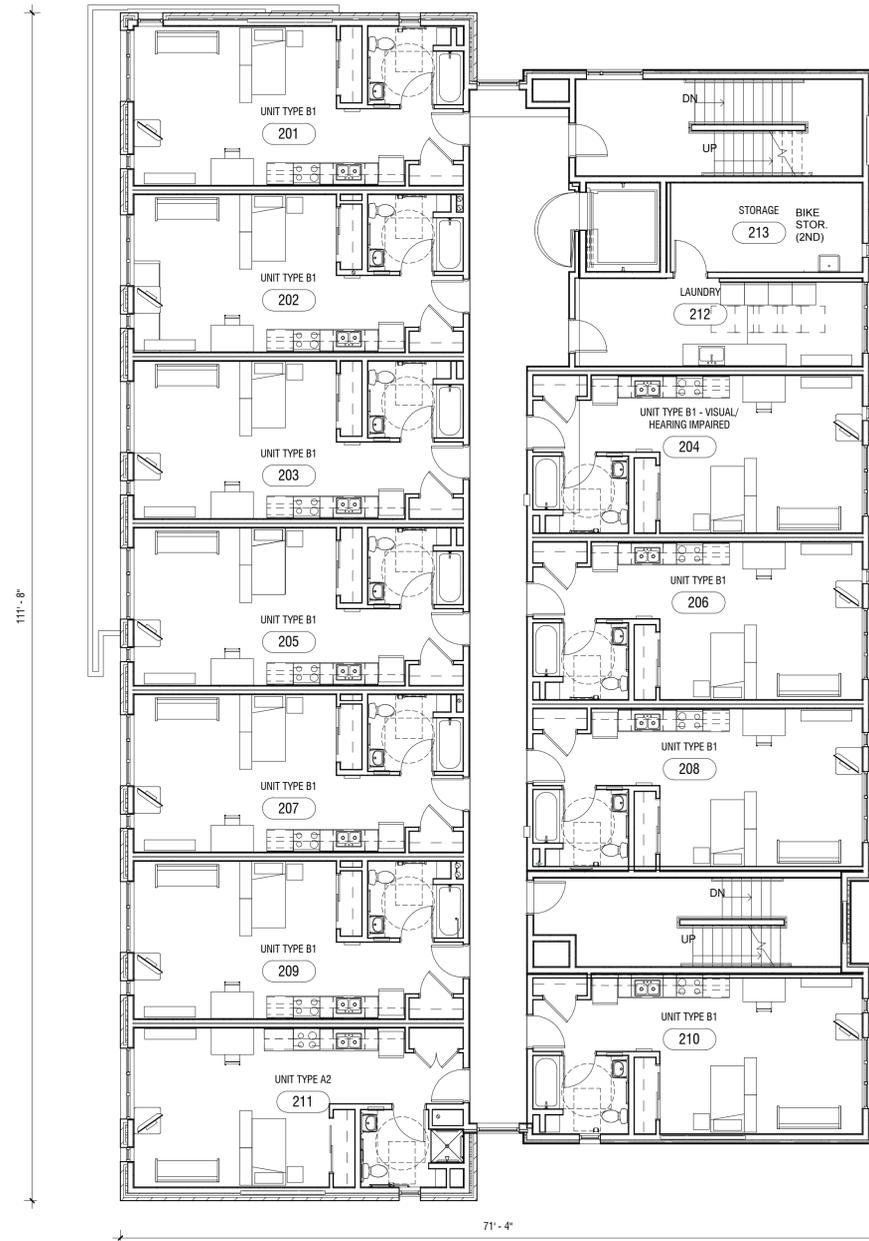
REVISIONS
 3-9-16 50% CHECK SET

DATE ISSUED XXXX/XXX
 JOB NO. 1342
 FILE NAME xxxx.dwg

L1.0



1 FIRST FLOOR PRESENTATION PLAN
1/8" = 1'-0"



2 SECOND - FOURTH FLOOR PRESENTATION PLAN
1/8" = 1'-0"

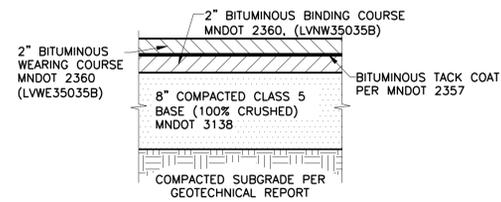


MARSHALL FLATS

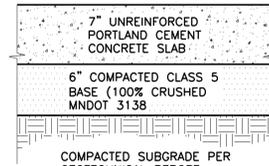
FOR CLARE HOUSING

03/10/2016

CERMAK RHOADES ARCHITECTS

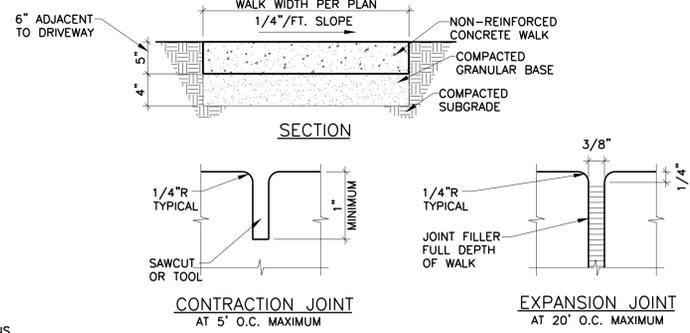


1 BITUMINOUS PAVEMENT DETAIL
C7.0 NO SCALE

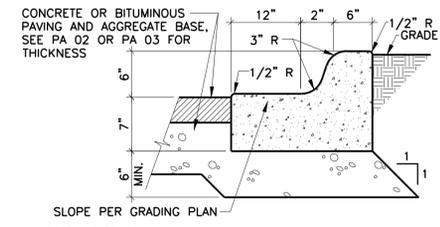


NOTES: PROVIDE CONTRACTION JOINTS AT 10' O.C. MAX. IN BOTH DIRECTIONS

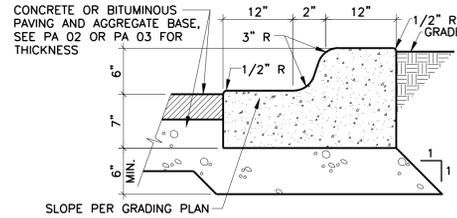
2 CONCRETE PAVEMENT
C7.0 NO SCALE



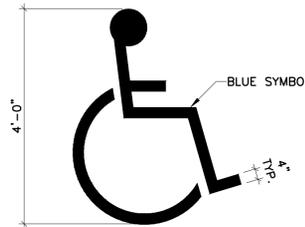
3 CONCRETE WALK & JOINT DETAILS
C7.0 NO SCALE



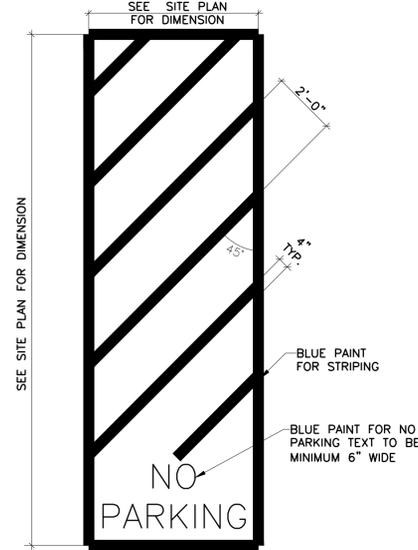
4 CONCRETE CURB & GUTTER (B612)
C7.0 NO SCALE



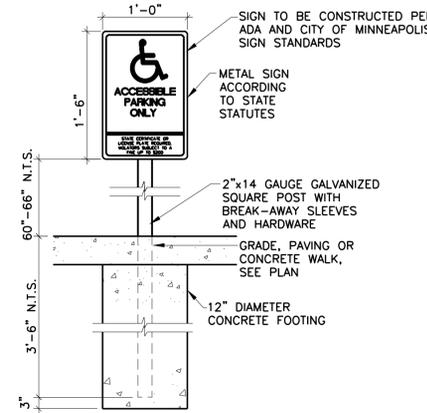
5 CONCRETE CURB & GUTTER (B1212)
C7.0 NO SCALE



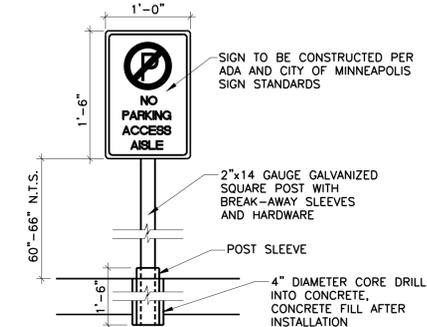
6 HC PARKING SYMBOL
C7.0 NO SCALE



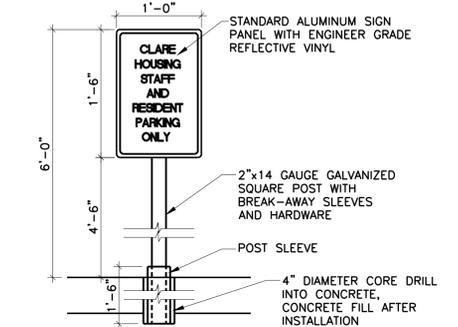
7 ACCESS AISLE STRIPING
C7.0 NO SCALE



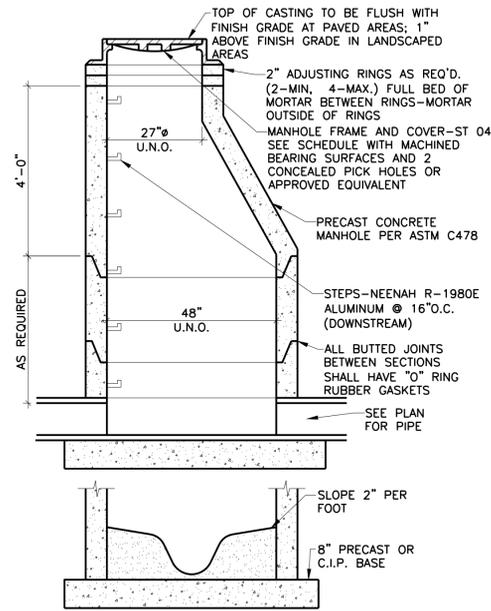
8 ACCESSIBLE PARKING SIGN
C7.0 NO SCALE



9 ACCESSIBLE PARKING SIGN
C7.0 NO SCALE

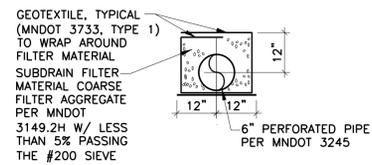


10 CLARE HOUSING PARKING STALL SIGN
C7.0 NO SCALE

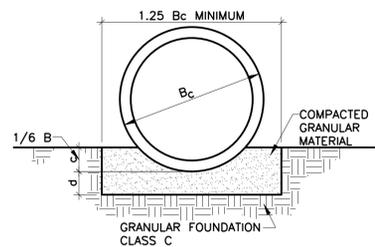


NOTES:
1. MANHOLES 8' OR DEEPER - THE PRECAST SECTION IMMEDIATELY BELOW THE CONCRETE SECTION SHALL BE 1'-0" HIGH.
2. PROVIDE STEPS IN MANHOLES OVER 4'-0" IN DEPTH.
3. REINFORCING SHALL BE A MINIMUM OF A SINGLE LINE WIRE FABRIC HAVING AN AREA OF NOT LESS THAN 0.12 SQ. IN. PER FOOT OF HEIGHT.
4. PROVIDE SNAP-IN BOOT AT ALL SANITARY SEWER CONNECTIONS TO MANHOLES.

11 STANDARD SEWER MANHOLE
C7.0 NO SCALE



12 DRAIN TILE DETAIL
C7.0 NO SCALE

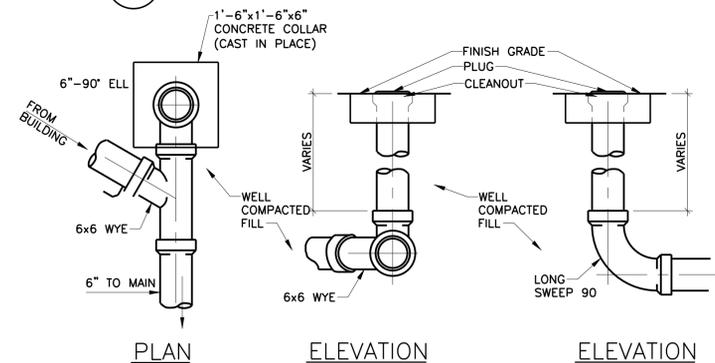


NOTE: THE PIPE IS BEDDED IN COMPACTED GRANULAR MATERIAL UP TO A HEIGHT EQUAL TO ONE SIXTH THE OUTSIDE DIAMETER OF THE PIPE. THE DEPTH OF THE BEDDING MATERIAL BELOW THE PIPE IS A MINIMUM OF 3" FOR 27" DIAMETER AND SMALLER PIPE, 6" FOR 66" DIAMETER AND LARGER PIPE, AND 4" FOR INTERMEDIATE SIZES. THE REMAINING EMBANKMENT MATERIAL IS LIGHTLY COMPACTED.

13 CLASS C PIPE BEDDING
C7.0 NO SCALE

CASTING SCHEDULE		
CATCH BASIN/MANHOLE	GRATE TYPE (NEENAH)	REMARKS
A,B,C	R-3250-A	CURB INLET
D	R-1642-A	STORM MH
1	R-1642-A	SAN MH

14 CASTING SCHEDULE
C7.0 NO SCALE



15 DRAINTILE CLEANOUT
C7.0 NO SCALE

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.

Signed _____

DATE _____
REG. NO. _____

NOT FOR CONSTRUCTION

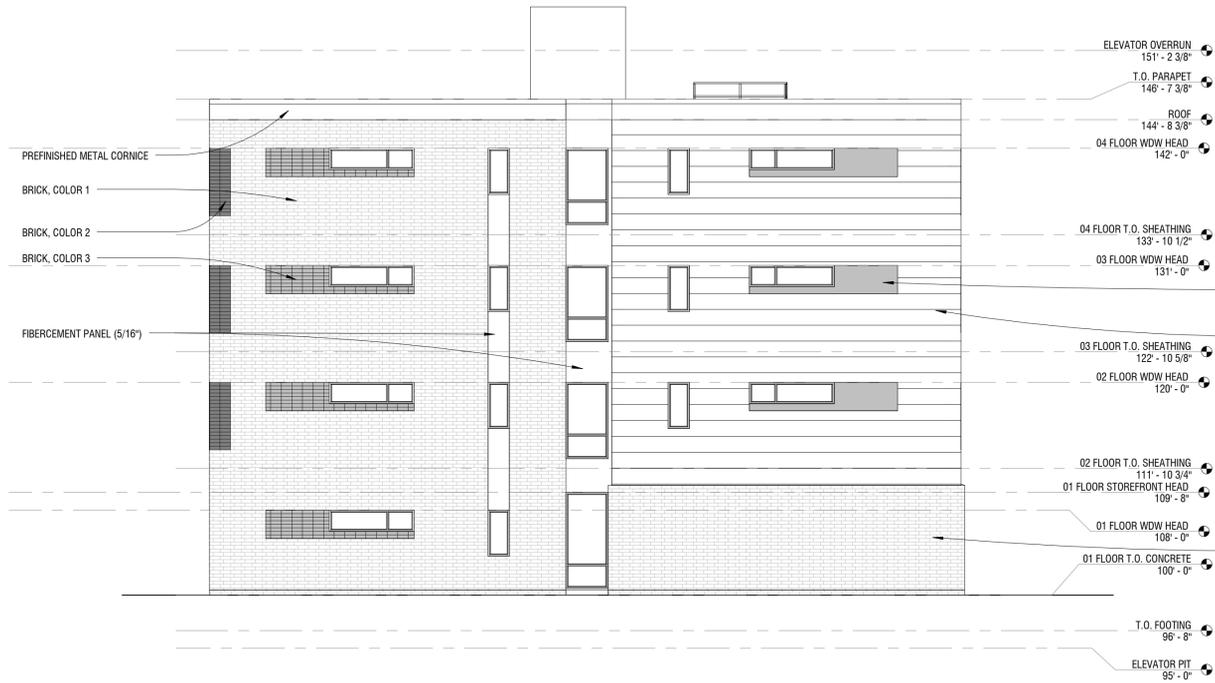
PIERCE PINI & ASSOCIATES, INC.
Consulting Civil Engineers
9298 CENTRAL AVE. NE.
SUITE 312
BLAINE, MN 55434
TEL 763-537-1311
FAX 763-537-1354

CIVIL DETAILS
MARSHALL FLATS
FOR CLARE HOUSING
2525 2ND STREET NE
MINNEAPOLIS, MN 55418

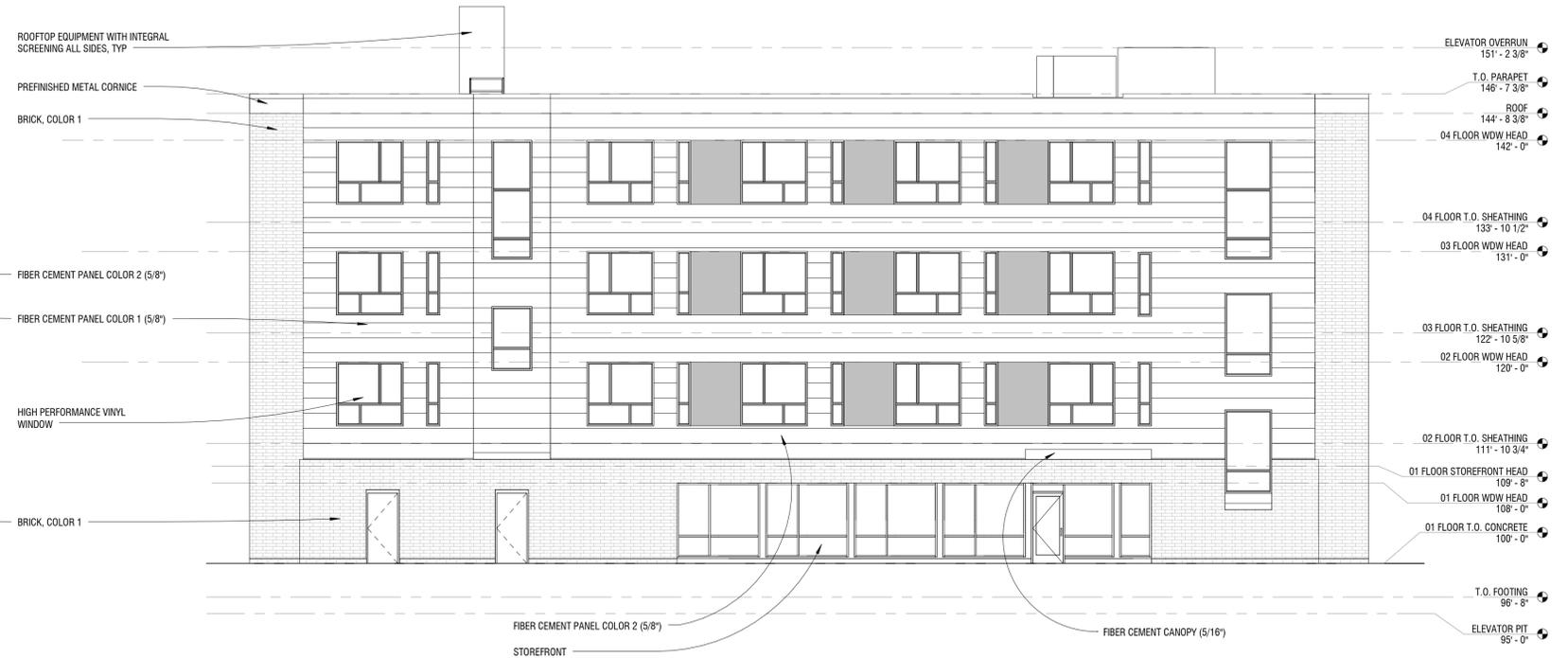
REVISIONS
50% Check Set 03/09/16

DATE ISSUED 03/09/2016
JOB NO. 1342
FILE NAME xxxx.dwg

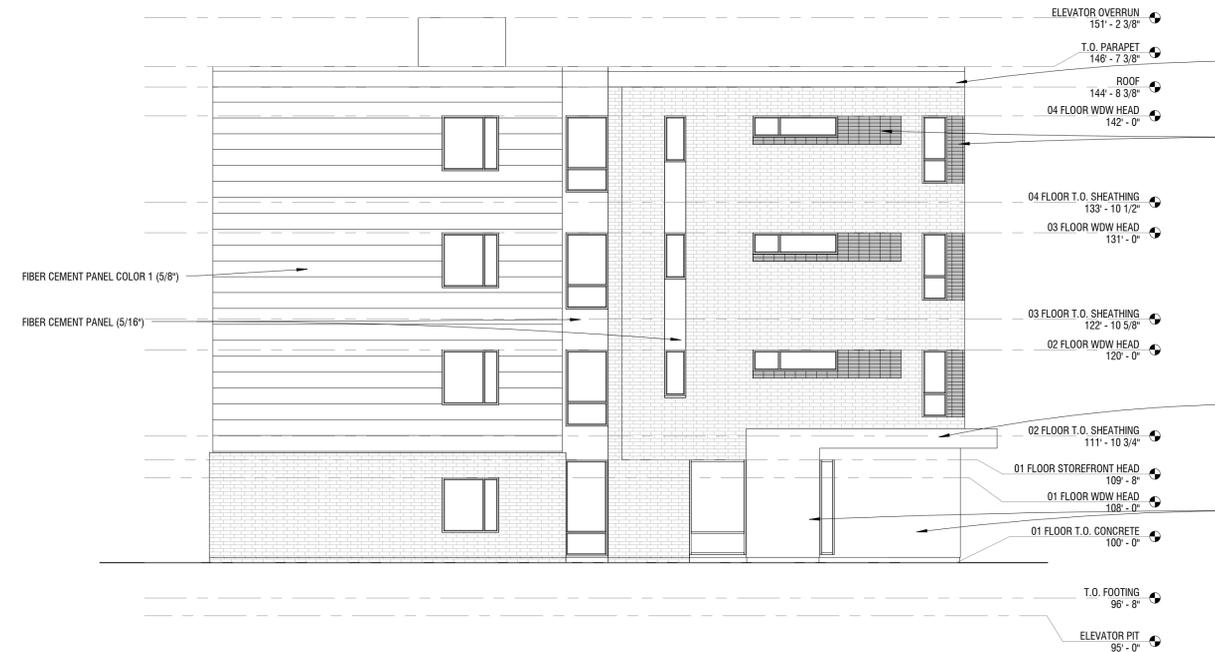
C7.0



4 SOUTH ELEVATION
1/8" = 1'-0"



2 EAST ELEVATION
1/8" = 1'-0"



3 NORTH ELEVATION
1/8" = 1'-0"



1 WEST ELEVATION
1/8" = 1'-0"



1. SOUTHEASTERN PERSPECTIVE



**MARSHALL FLATS
CLARE HOUSING**

02/12/2016 PAGE (11)

CERMAK RHOADES ARCHITECTS



2. NORTHEASTERN PERSPECTIVE



MARSHALL FLATS
CLARE HOUSING

02/12/2016 PAGE (12)

CERMAK RHOADES ARCHITECTS



MAR/SEPT 20 9:00AM



JUNE 20 9:00AM



DEC 20 9:00AM



MAR/SEPT 20 NOON



JUNE 20 NOON



DEC 20 NOON



MAR/SEPT 20 3:00PM



JUNE 20 3:00PM



DEC 20 3:00PM
SHADOW STUDIES



**MARSHALL FLATS
CLARE HOUSING**

02/12/2016 PAGE (15)

CERMAK RHOADES ARCHITECTS



2. CORNER VIEW



3. STREET VIEW



1. EXISTING CONDITIONS



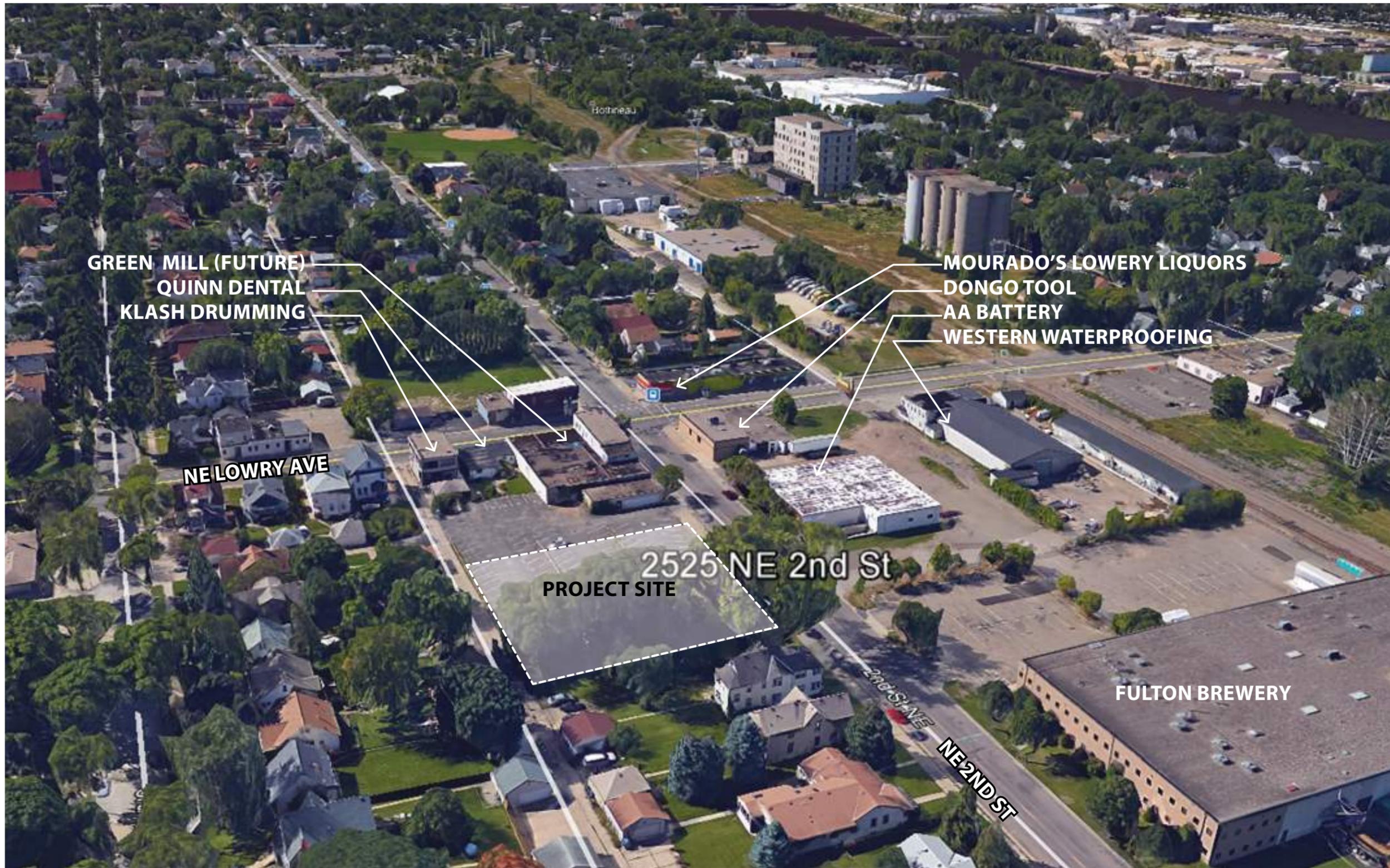
4. LOT INTERIOR
SITE CONTEXT



**MARSHALL FLATS
CLARE HOUSING**

02/12/2016 PAGE (3)

CERMAK RHOADES ARCHITECTS



NEIGHBORHOOD CONTEXT





CONCERNED CITIZENS OF **MARSHALL TERRACE**

P.O. Box 18180

MINNEAPOLIS, MN 55418

(CCMT)

Phone-612-568-7422, [Email-CCMT568@msn.com](mailto:CCMT568@msn.com), [Website-www.marshallterrace.org](http://www.marshallterrace.org)

February 9, 2016

To Whom It May Concern:

Regarding: Support by the Concerned Citizens of Marshall Terrace for Clare Housing's proposal to develop approximately 36 units of supportive housing at 2525 2nd Street Northeast, Minneapolis

The Concerned Citizens of Marshall Terrace (CCMT) understands that Clare Housing will be constructing a building on 2525 2nd Street NE, which primarily exists today as a surface parking lot. Clare Housing, a nonprofit provider of housing and services for persons living with HIV/AIDS, has requested a Letter of Support for their project to facilitate its application for final funding. The purpose of this letter is to outline the conditions under which CCMT would support such a project by Clare Housing.

First, CCMT is supportive of Clare Housing's mission and is not opposed to Clare Housing developing housing on the property. To date, Clare Housing has not provided a site plan beyond what they've termed "conceptual." Many project components, such as architecture style, finances, construction schedule, zoning, parking, access, building use, rental policies, and potential environmental and engineering problems have been informally discussed, but no formal plans have been submitted for CCMT's review. Because this project is directly adjacent to single family homes to the east, CCMT's support is based on Clare Housing's commitment and continued willingness to work with these neighbors in an effort to address their concerns. Of utmost importance is the one fundamental concern that no access be provided from the shared alleyway to the east. It is the understanding of CCMT that Clare Housing has committed to this primary concern.

In addition to the alley access mentioned, Clare Housing has agreed to do a sunlight study to insure there will be no impact on the neighbors to the east, of daily sunlight, with the modification to the new building plan. Also, to have a tree preservation analysis of the Cotton Wood tree on the adjacent property at 2531 2nd Street NE, to determine if any of the roots would or could be damaged with new construction. It is CCMT's strong recommendation that these concerns are weighed heavily during the development of this project. Examples of issues include access to sunlight, no balconies, landscaping, and trash enclosure. CCMT is committed to working cooperatively with Clare Housing to resolve these concerns in an overall effort to improve the corner of Lowry AVE. NE and 2nd ST NE.

Given the above, on February 4, 2016, CCMT passed the following resolution:

CCMT supports the proposed concept to construct approximately 36 units of permanent supportive housing. With the following stipulations; our final approval would depend on discussion and agreement for this project with the following conditions. To see and approve the final site plan, the Cotton Wood preservation analysis, a skylight study, no balconies, trash enclosure, attractive urban landscaping with urban plants and rain gardens for water retention. CCMT acknowledges that additional work is needed to refine plan details, but CCMT's support is based on Clare Housing, and its development partners' commitment that no alleyway access will be provided. Beyond no alleyway access, CCMT has outlined additional concerns to Clare Housing and CCMT commits to working cooperatively with Clare Housing, and all other parties involved in redeveloping 201 Lowry AVE NE, and to develop 2525 2nd Street NE into a mix of uses that would not be burdensome to directly affected residents to the east and would be an asset to the Marshall Terrace neighborhood, and the City of Minneapolis as a whole.

Signed,

CCMT Board

THE STRENGTH OF THE PEOPLE IS IN THEIR NEIGHBORHOOD.
THE STRENGTH OF THE NEIGHBORHOOD IS IN ITS PEOPLE.