

LAND USE APPLICATION SUMMARY

Property Location: 2730 East 31st Street
Project Name: Holy Trinity Lutheran Church Entry
Prepared By: [Janelle Widmeier](#), Senior City Planner, (612) 673-3156
Applicant: Holy Trinity Lutheran Church
Project Contact: Dawn Wieczorek
Request: To allow relocation of the main entrance.
Required Applications:

| | |
|-----------------|---|
| Variance | To reduce the minimum interior side yard requirement adjacent to the east lot line from 14 feet to 0 feet to allow an entrance canopy, from 5 feet to 0 feet to allow walkways, and from 5 feet to 4 feet to allow a pergola for a place of assembly. |
|-----------------|---|

SITE DATA

| | |
|-----------------------------------|--|
| Existing Zoning | R6 Multiple-family District PO Pedestrian Oriented Overlay District |
| Lot Area | 45,154 square feet |
| Ward(s) | 2 |
| Neighborhood(s) | Longfellow |
| Designated Future Land Use | Urban Neighborhood |
| Land Use Features | Transit Station Area (Lake Street/Midtown) North and west lot lines abut an Activity Center (Lake Street LRT Station) |
| Small Area Plan(s) | Hiawatha/Lake Station Area Master Plan (2001) |

| | | | |
|---|----------------|---------------------------------------|----------------|
| Date Application Deemed Complete | April 11, 2016 | Date Extension Letter Sent | Not applicable |
| End of 60-Day Decision Period | June 10, 2016 | End of 120-Day Decision Period | Not applicable |

BACKGROUND

SITE DESCRIPTION AND PRESENT USE. A place of assembly, Holy Trinity Lutheran Church, exists on the site. It was permitted for construction in 1922. It was authorized to be expanded to the north in 1952. The main entrance is currently on the east building elevation, which faces vacated 28th Avenue South. The church has a driveway and sidewalk access easement over part of vacated 28th Avenue. The building is considered to be a 5-story building because of the steeple at the front of the building.

SURROUNDING PROPERTIES AND NEIGHBORHOOD. There is a mix of uses in the surrounding area. An 8-story, multiple-family dwelling is located on the adjacent property to the east, one-story commercial buildings are located across the public alley to the west, a public library is located directly to the north, and predominantly low-density residential uses are located to the south across 31st Street.

PROJECT DESCRIPTION. The applicant is proposing to relocate the existing east facing main entrance to the south side of the main entrance lobby. The new entrance would be sheltered by a 168 square foot canopy (12 feet by 14 feet). A new walkway would connect the new entrance to 31st Street and would branch off to connect to the parking area and sidewalk in vacated 28th Avenue. One branch would be flanked by benches. To emphasize the walkway for the main entrance, an 11 foot tall pergola would be constructed over the walkway in front of the building. Bicycle parking is also proposed near the street. To ensure that the proposed walkway is accessible, grade would be excavated up to the building and a retaining wall would be constructed between the new walkway and the building. An interior side yard is required along the east lot line adjacent to the proposed construction. In required interior side yards for a nonresidential use, only fences and retaining walls retaining natural grade are permitted obstructions. Most of the proposed work would be located outside of the required yard. However, part of the canopy, walkways, and pergola would extend into the required yard. Because the canopy would be connected to the building, it is subject to a 13 foot setback requirement, which is based on the overall height of the building. The other obstructions are subject to a 5 foot setback. Both the canopy and walkways would extend up to the side lot line. A small part of the pergola would extend into the side yard and would be setback 4 feet. The applicant is requesting variances to reduce the yard requirements to allow the proposed obstructions.

PUBLIC COMMENTS. As of the writing of this staff report, no correspondence from the neighborhood group has been received. Any correspondence received prior to the public meeting will be forwarded on to the Zoning Board of Adjustment for consideration.

ANALYSIS

VARIANCE

The Department of Community Planning and Economic Development has analyzed the application for a variance to reduce the minimum interior side yard requirement adjacent to the east lot line from 13 feet to 0 feet to allow an entrance canopy, from 5 feet to 0 feet to allow walkways, and from 5 feet to 4 feet to allow a pergola for a place of assembly based on the following findings:

- 1. Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

Practical difficulties exist in complying with the ordinance due to circumstances unique to the property. Part of the subject site is unplatted land. When 28th Avenue was vacated in the 1970's, the portion of the street adjacent to the unplatted land accrued to the property on the east side of former 28th Avenue. Typically, half of the vacated area accrues to property on each side. The distribution of land in the vacated street by Hennepin County resulted in part of the existing east side of the building being located 3.5 feet from the side lot line. The site only has frontage on one street, 31st Street. The church has an entrance facing 31st Street; however, it is not accessible. The main accessible entrance currently faces vacated 28th Avenue. It is set back 120 feet from 31st Street, and therefore not very visible from the street. A street facing entrance with a canopy and pergola would improve its visibility. Some walkway encroachments into the side yard are needed to access the driveway and sidewalks that are used by the church through an easement.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

In general, yard controls are established to provide for the orderly development and use of land and to minimize conflicts among land uses by regulating the dimension and use of yards in order to provide adequate light, air, open space and separation of uses. The relocated entrance location would improve visibility of the main accessible entrance from the street. The proposed canopy and pergola would emphasize the location of the main entrance. The proposed canopy, walkways, benches and pergola would be separated from the residential building to the east by a surface parking lot. The proposal would have no effect on access to light and air of adjacent properties. The requests are reasonable and consistent with the intent of the ordinance and the comprehensive plan.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

The granting of the variance would not affect the character of the area or be injurious to the use or enjoyment of other property in the vicinity. The relocated entrance location would improve visibility of the main entrance from the street. The proposed canopy, walkways, benches and pergola would be separated from the residential building to the east by a surface parking lot. The proposal would have no effect on access to light and air of adjacent properties. The design of the pergola and canopy would be compatible with the design of the building. Both would have exposed cedar rafters and posts. The posts would be set in a concrete base. No windows would be blocked by the canopy structure. If granted, the proposed variance would not be detrimental to the health, safety or welfare of the public or those utilizing the property provided the proposed construction is built to current building codes.

RECOMMENDATIONS

The Department of Community Planning and Economic Development recommends that the Zoning Board of Adjustment adopt staff findings for the application by Holy Trinity Lutheran Church for the property located at 2730 East 31st Street:

A. Variance of the minimum interior side yard requirement.

Recommended motion: **Approve** the application for a variance to reduce the minimum interior side yard requirement adjacent to the east lot line from 13 feet to 0 feet to allow an entrance canopy, from 5 feet to 0 feet to allow walkways, and from 5 feet to 4 feet to allow a pergola for a place of assembly, subject to the following conditions:

1. Approval of the final site, elevation and floor plans by the Department of Community Planning and Economic Development.
2. All site improvements shall be completed by May 5, 2018, unless extended by the Zoning Administrator, or the permit may be revoked for non-compliance.

ATTACHMENTS

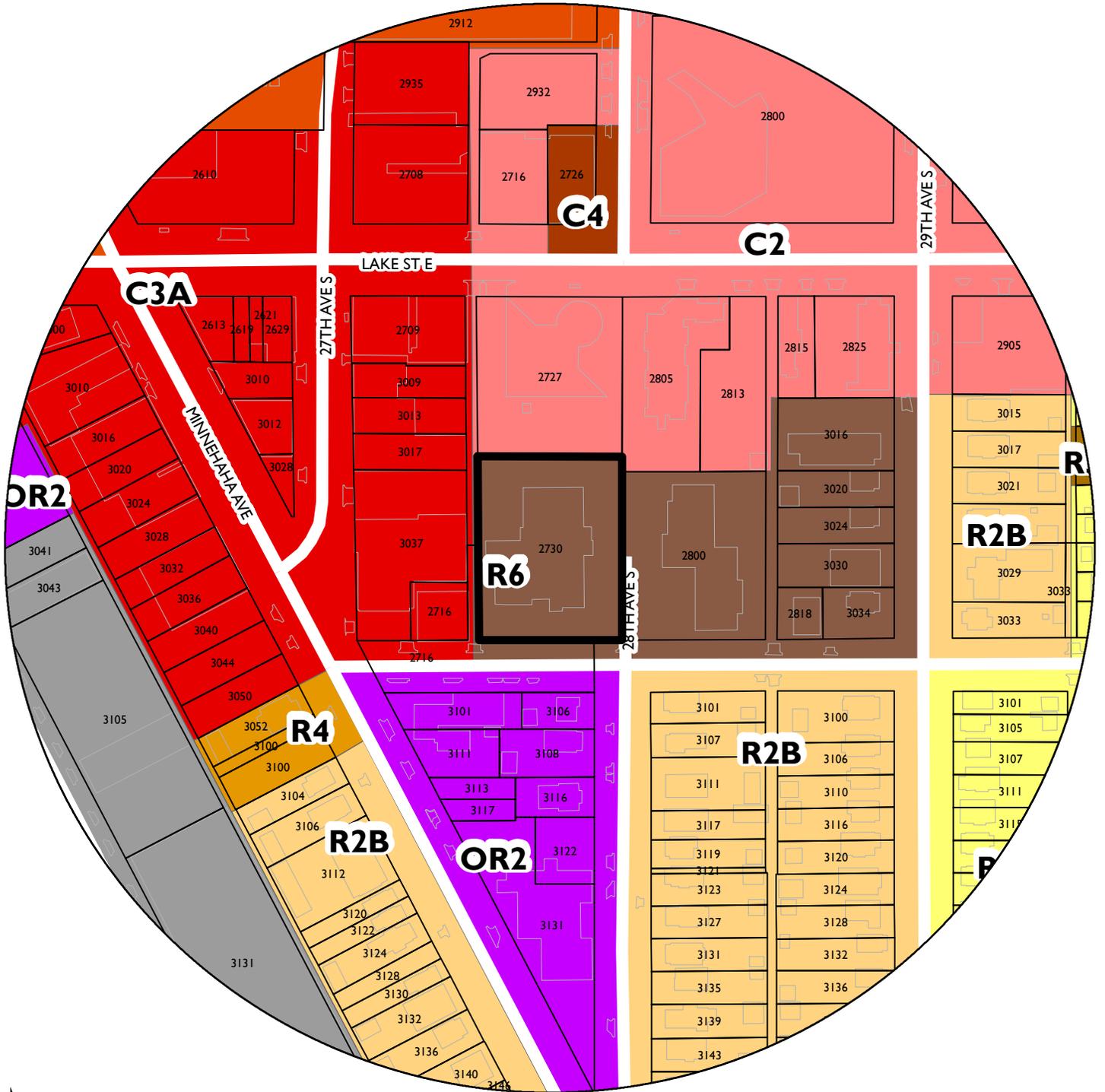
1. Zoning map
2. Written description and findings submitted by applicant
3. Site survey
4. Site plan with yard requirements
5. Site plan, floor and elevation plans
6. Photos

Holy Trinity Lutheran Church

2

NAME OF APPLICANT

WARD



PROPERTY ADDRESS
2730 East 31st Street

FILE NUMBER
BZZ-7669

Holy Trinity Lutheran Church

2730 East 31st Street, Minneapolis

Revised Entry Project – Statement of Proposed Use

April 11, 2016

The congregation of Holy Trinity Lutheran Church is planning to relocate our east side entrance and add a covered canopy and sloping sidewalk to provide easier access and more visibility and a welcoming presence to our members, other building tenants and others in the neighborhood who visit our building.

The project includes revising the existing entry to a window and the sidewalk leading to it to a planting bed, removing a planting bed and bermed area to waterproof the existing foundation wall and install a new sidewalk with sloped section for accessibility to the building, adding a new door and covered entry area, adding benches and planting beds adjacent to the new sidewalk, and adding a pergola closer to 31st Street to increase visibility of the new entry.

Holy Trinity Lutheran Church

2730 East 31st Street, Minneapolis

Revised Entry Project – Specific Application Requirements, Variance

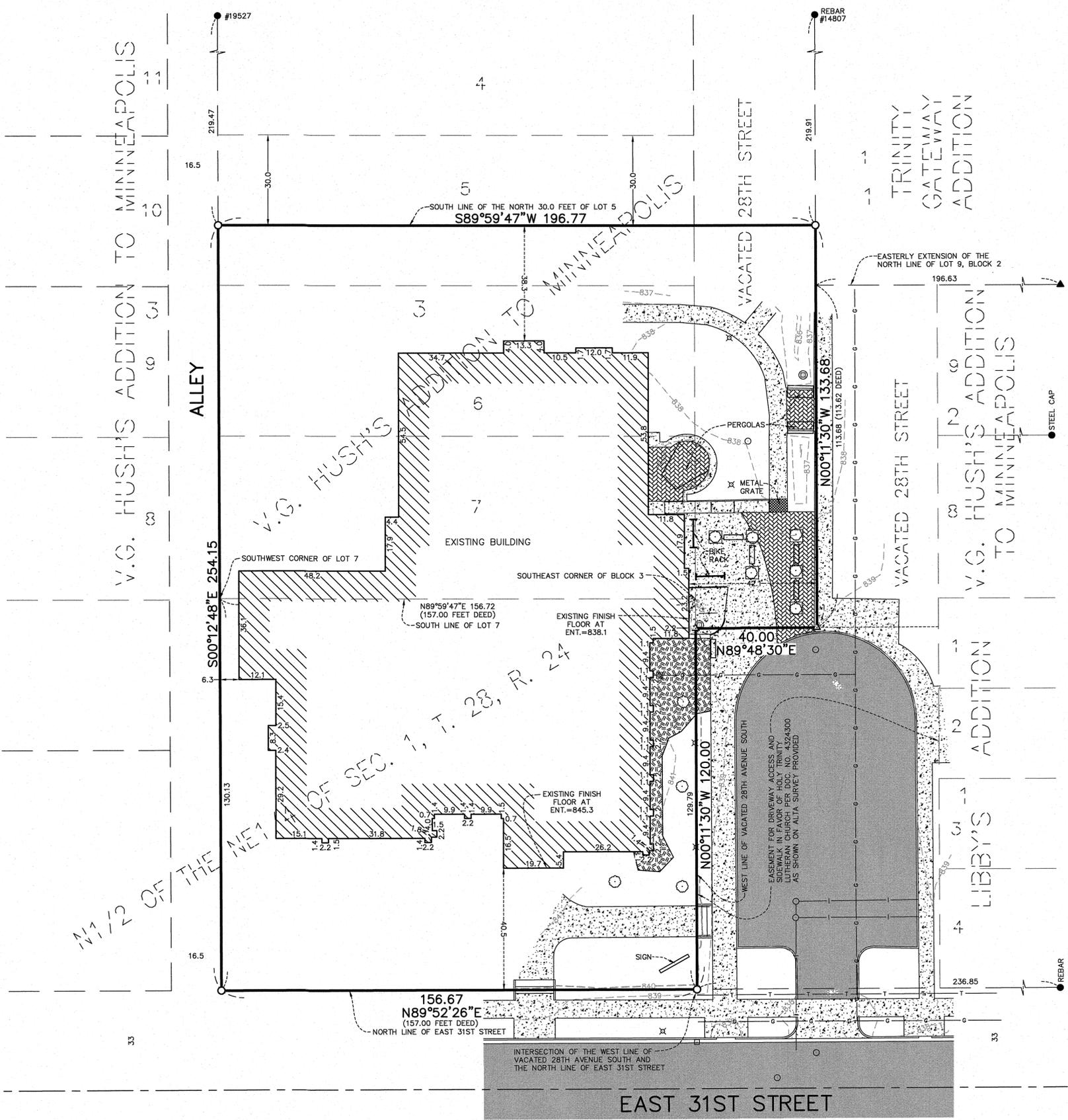
April 11, 2016

The congregation of Holy Trinity Lutheran Church sold adjacent land to build a senior affordable apartment building in the 1970s and vacated 28th Avenue as part of the project. As the church property was not platted at the time, the property line for the vacated street reverted to the church side of the street, which was/is approx. 3'6" from the existing building at the east side entry. The main building steps back to be approx. 16'0" from the property line in this area. These unique circumstances prove to be a hardship for current proposed improvements.

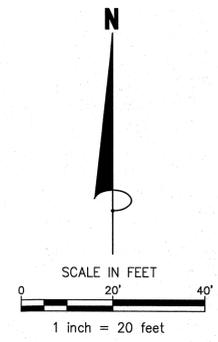
The proposed project relocates the east side entrance with a six foot wide, sloped sidewalk for easier access, and a covered entry canopy with columns for protection from the weather. The sidewalk is located approx. 3' from the face of the building, to allow for retaining walls and planting areas to protect existing footings from frost upheaval. The canopy columns will be located approx. 3'6" from the property line, in line with the existing building, and the sidewalk will be approx. 7' from the property line. The required sideyard setback is 5' + 2x3 stories above first floor) = 11'.

We are requesting a sideyard setback variance to allow the new covered entry canopy, columns and sidewalk within the setback. We believe these improvements are reasonable and do not alter the character of the church or neighborhood, and will improve the safety and accessibility of members and visitors to the church.

F:\Civil_3D\Projects\23208\23208s.dwg - 9/29/2015 03:25PM



- LEGEND**
- IRON SET
 - IRON FOUND
 - ▲ MAGNETIC NAIL SET
 - ▲ MAGNETIC NAIL FOUND
 - LIGHT POLE
 - MANHOLE
 - CATCH BASIN MANHOLE
 - X900 EXISTING ELEVATION
 - DECIDUOUS TREE
 - ▨ LANDSCAPE MATERIAL
 - ▨ ASPHALT SURFACE
 - ▨ CONCRETE SURFACE
 - ▨ PAVER SURFACE
 - 1000--- EXISTING CONTOURS
 - I — RAILING
 - T — WATER MAIN
 - T — UNDERGROUND TELEPHONE LINE
 - G — UNDERGROUND GAS LINE



PROPERTY DESCRIPTION

That part of Lot 5, Block 3, V. G. HUSH'S ADDITION TO MINNEAPOLIS, lying south of the north 30 feet thereof; including the West 1/2 of adjacent Vacated 28th Avenue South;

Also Lots 6 and 7, Block 3, V. G. HUSH'S ADDITION TO MINNEAPOLIS and all that part of North 1/2 of the Northeast 1/4 of Section 1, Township 28, Range 24 described as follows, to wit:

Beginning at the southeast corner of Block 3, V. G. HUSH'S ADDITION TO MINNEAPOLIS; thence south along the west line of 28th Avenue South to the north line of East 31st Street as opened by the city; thence west along the north line of East 31st Street a distance of 157 feet; thence north parallel with the west line of 28th Avenue South to the southwest corner of Lot 7, Block 3, V. G. HUSH'S ADDITION TO MINNEAPOLIS; thence east along the south line of said Lot a distance of 157 feet to the point of beginning;

Also all that part of adjacent vacated 28th Avenue South lying northerly and westerly of the following described line:

Commencing at the intersection of the west line of 28th Avenue South and the north line of East 31st Street as opened by the city; thence north along the West line of 28th Avenue South 120 feet to the point of beginning of the line to be described; thence easterly deflecting to the right 90 degrees a distance of 40 feet; thence northerly deflecting to the left 90 degrees a distance of 113.62 feet to the easterly extension of the north line of Lot 9, Block 2, V. G. HUSH'S ADDITION TO MINNEAPOLIS and said line there ending.

NOTES

1. Subject property's address is 2730 31st Street East, Minneapolis, MN, its property identification number is 01-028-24-11-0123.
 2. The bearing system is based on the North line of East 31st Street which is assumed to bear North 89 degrees 52 minutes 26 seconds West.
 3. Field work was completed 9/19/2015.
 4. The building(s) and exterior dimensions of the outside wall at ground level are shown on the survey. It may not be the foundation wall.
 5. No specific title search for existence or non-existence of recorded or un-recorded easements has been conducted by the surveyor as a part of this survey.
 6. The gross area of the subject property is 1.037 Acres or 45,154 square feet.
 7. This survey is based on the Tax Parcel Description per Hennepin County property information search.
 8. Underground utilities are shown per: Observed evidence and Gopher State One Call, Ticket No. 152451527, dated 9/2/2015.
- A Gopher State One Call (GSOC) request was placed on 9/2/2015 for utility locates on this site. The underground utility locations, shown hereon, if any, are based upon locates from those utility providers that actually performed a locate as a result of the request. Utility suppliers often do not respond to these requests but may provide ambiguous maps, plans, and drawings in lieu of physical location. The surveyor makes no guarantees that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. Utility information shown hereon, if any, is a compilation of this map information and those visible utilities that were located during the survey field work. The surveyor further does not warrant that the underground utilities shown hereon, if any, are in the exact location as indicated, although he does certify that they are located as accurately as possible from information available. The surveyor has not physically located the underground utilities. Pursuant to MS 216.D contact Gopher State One Call at 651-454-0002 prior to any excavation.

BENCHMARK

The vertical datum is based on NGVD29 datum.

Benchmark #1
Minneapolis benchmark monument number 320A at the intersection of 28th Avenue South and East Lake Street.
Elevation = 835.24

Benchmark #2
Minneapolis benchmark monument number 349 at the intersection of 27th Avenue South and Minnehaha Avenue.
Elevation = 837.81

SURVEYOR'S CERTIFICATE

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota. That this survey does not purport to show all improvements, easements or encroachments, to the property except as shown thereon.

Signed this 28th day of September, 2015

Marcus F. Hampton

 Marcus F. Hampton MN L.S. No. 47481

James R. Hill, Inc.
 PLANNERS / ENGINEERS / SURVEYORS
 2500 W. CT. RD. 42, SUITE 120, BURNSVILLE, MN 55337
 PHONE: (952)890-6044 FAX: (952)890-6244

2730 East 31st Street Site
 MINNEAPOLIS, MINNESOTA
Boundary and Topographic Survey
 FOR
Holy Trinity Lutheran Church

| | |
|---------------------|------------|
| DRAWN BY | PLM |
| DATE | 9/28/15 |
| REVISIONS | |
| | |
| | |
| CAD FILE | 23208s.dwg |
| PROJECT NO. | 23208 |
| FILE NO. | 1-15-072 |
| SHEET 1 OF 1 | |

13 foot minimum interior side yard setback requirement for building structure, including canopy addition

- ### PLAN GENERAL NOTES
- DIMENSIONING: DIMENSIONS SHOWN TO FACE OF EXISTING WALLS AND TO CENTERLINE OF NEW WALLS U.N.O.
 - SEE SHEET A500 FOR PARTITION TYPES. ALL NEW WALLS TYPE P3 UNLESS NOTED OTHERWISE. INSTALL ACOUSTIC BATT INSULATION FOR SOUND CONTROL AT ALL NEW WALLS.
 - PATCH OPENINGS CREATED FOR GENERAL, MECHANICAL, ELECTRICAL, PLUMBING, OR STRUCTURAL WORK. WHERE EXPOSED, PATCH SHALL MATCH EXISTING ADJACENT MATERIALS AND CONFORM TO CODE REQUIREMENTS.
 - SEE CIVIL FOR ADDITIONAL SITE WORK.

- ### PLAN KEYNOTES
- (P1) INFILL FLOOR, ALIGN WITH LEVEL OF ADJACENT FLOOR
 - (P2) PATCH AND REPAIR WALL WHERE EXISTING MECHANICAL EQUIPMENT WAS REMOVED
 - (P3) FLUID-APPLIED WATERPROOFING AT EXCAVATED AREA
 - (P4) DRYSTACK STONE RETAINING WALL - INSTALL PER MANUFACTURER INSTRUCTIONS, INCLUDE DRAINAGE SYSTEM
 - (P5) REPLACE GLASS AT WINDOWS
 - (P6) STAIRS
 - (P7) SIDEWALK - SEE CIVIL
 - (P8) GYP BD ENCLOSURE AROUND EXISTING AND/OR NEW COLUMNS
 - (P9) REPLACE WINDOW IN EXISTING MASONRY OPENING
 - (P10) 60" TEAK BENCHES (4 TOTAL) - SELECTED BY OWNER - ANCHOR INTO GROUND
 - (P11) 4" SLAB ON GRADE WITH 1.5 LB/CUBIC YARD POLYPROPYLENE FIBERS (WHERE EXISTING SLAB IS BEING REMOVED) - SAND BED AND V.B.
 - (P12) INFILL EXISTING TUNNEL WITH SAND OR CELLULAR CONCRETE - ASSUME 3'X3' BY 20 LINEAL FEET OF INFILL
 - (P13) 8" CMU WITH #5@24" O.C. VERT UP TO NEW WINDOW SILL. DRILL AND ADHESIVE VERTS 8" INTO EXISTING FOUNDATION WALL
 - (P14) MASONRY STOOP FOUNDATION WALLS AND 16" WIDE X 12" THICK FOOTING
 - (P15) 4" CONCRETE STOOP SLAB ON GRADE - SEE DETAIL 1/S100
 - (P16) LINTEL IN EXISTING NON-LOAD BEARING WALL W16X26
 - (P17) COLUMN AND BASE:
 - 36" DIA. X 5'-0" DEEP DRILLED PIER WITH 8-#7 VERT AND #4 TIES 16" O.C.
 - 24" X 24" CONCRETE BASE - 6" THICK WALLS WITH #4 HORIZONTAL AND VERTICALS 12" O.C., EPOXY COATED
 - 8"X8" WOOD COLUMN - WESTERN CEDAR NO.2 - EMBEDDED IN CONCRETE 5'-0" ABOVE, EPOXY COAT REINFORCEMENT, TYPICAL
 - (P18) VENEER WALL WATER TABLE AND CAP - TIE TO EXISTING FOUNDATION WALL FOR SUPPORT
 - (P19) RATED GLAZING IN 2-HR WALL
 - (P20) RADIUS EDGE AT LANDSCAPE BED; INFILL CONCRETE PAVING AT REMAINDER OF EXCAVATED AREA
 - (P21) HANDICAP DOOR ACTIVATION PUSH BUTTON
 - (P22) SALVAGE BOULDERS AND RELOCATED TO LANDSCAPE BED
 - (P23) NEW MONUMENT SIGN - COORDINATE LOCATION WITH OWNER
 - (P24) BIKE RACKS (3 TOTAL) ON CONCRETE SLAB - MATCH EXISTING. COORDINATE LOCATION WITH OWNER
 - (P25) DOWNSPOUT - TIE TO STORM SEWER
 - (P26) HANDICAP DOOR ACTIVATION PUSH BUTTON ON 42"H BOLLARD
 - (P27) GALVANIZED STEEL HANDRAILS - POWDER COAT PAINTED

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

Signature: *Paul G. May*
Name: PAUL G. MAY
Date: 1/11/2016 License #: 19503

PROJECT:
Holy Trinity Lutheran Church Renovation

Minneapolis
Minnesota

REVISED:

| Mark | Date | Description |
|--------|---------|-------------|
| 4/6/16 | PHASE 2 | |

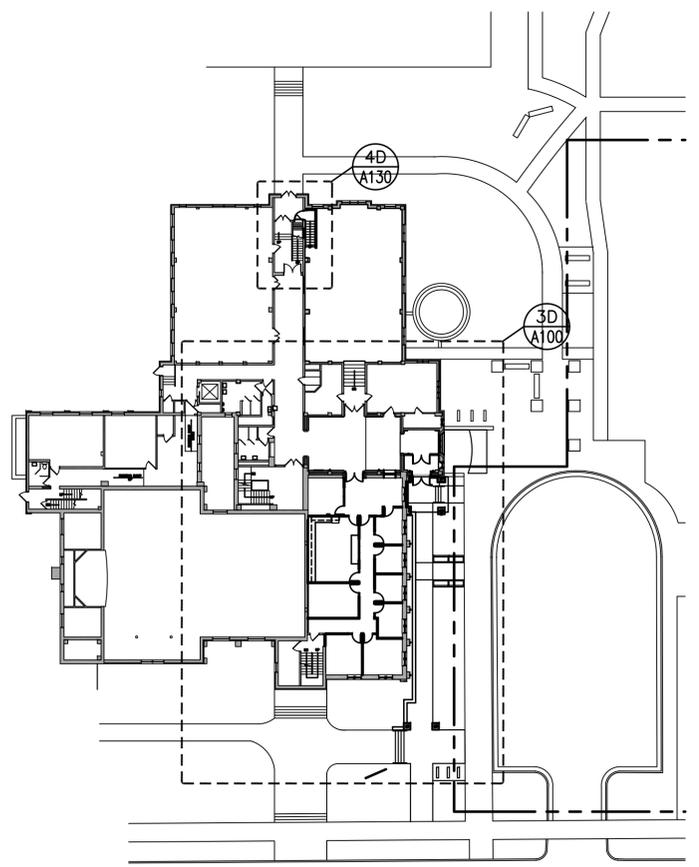
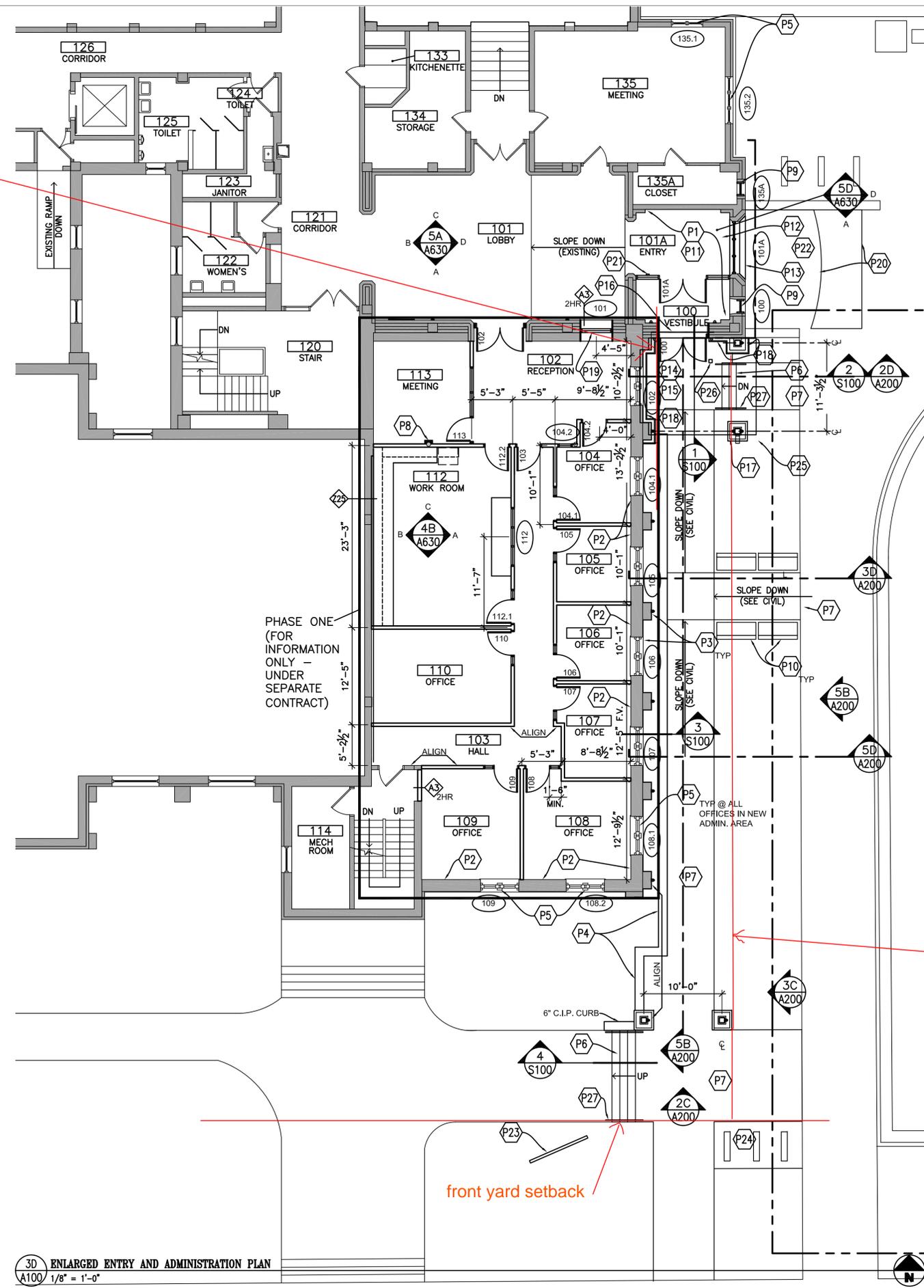
PHASE TWO

COMM. NO.: HTL1501
DATE: JANUARY 11, 2016
DRAWN: KPM, KHH
CHECKED: PGM
© 2016 Miller Dunwiddie Architecture, Inc.
DRAWING TITLE:

FIRST FLOOR PLAN AND ENLARGED PLANS

DRAWING NUMBER:

A100



5D KEY PLAN
A100 1/32" = 1'-0"

3D ENLARGED ENTRY AND ADMINISTRATION PLAN
A100 1/8" = 1'-0"

front yard setback

5 foot side yard setback requirement for other encroachments

KEY

| | | | |
|--|----------------|--|---------------|
| | EXISTING WALL | | EXISTING DOOR |
| | NEW WALL | | NEW DOOR |
| | PARTITION TYPE | | |

HOLY TRINITY LUTHERAN CHURCH RENOVATION - PHASE TWO

2730 EAST 31ST STREET
MINNEAPOLIS, MN 55406

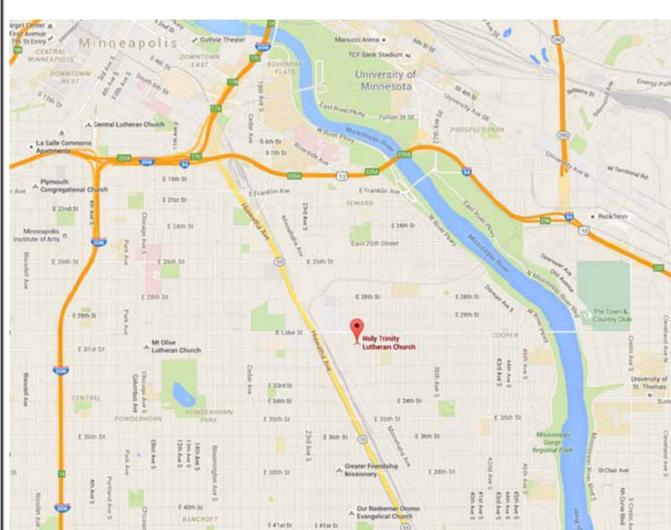
MDA PROJECT #: HTL1501

miller dunwiddie
ARCHITECTURE

123 North Third Street Suite 104
Minneapolis MN 55401-1657
www.millerdunwiddie.com
p 612-337-0000 f 612-337-0031

LOCATION MAP

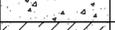
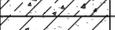
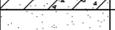
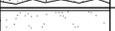
N.T.S. 



GENERAL NOTES

- INFORMATION SHOWN IN THE DRAWINGS REGARDING EXISTING CONDITIONS REPRESENTS THE CURRENT AND GENERAL FIELD CONDITIONS TO THE BEST OF OUR KNOWLEDGE. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS & DIMENSIONS AND REPORT DISCREPANCIES TO ARCHITECT BEFORE PROCEEDING.
- WHERE "MATCH EXISTING" IS INDICATED, PROVIDE SALVAGED OR NEW MATERIAL AS NECESSARY TO PATCH, EXTEND, OR REPLACE EXISTING MATERIAL. NEW MATERIAL SHALL MATCH EXISTING.
- PROTECT BUILDING COMPONENTS TO REMAIN. DAMAGE TO BUILDING ELEMENTS BEYOND WHAT IS IDENTIFIED IN THESE DRAWINGS, SHALL BE REPAIRED/REPLACED BY THE CONTRACTOR.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE DURING CONSTRUCTION OF BUILDING COMPONENTS. CONTRACTOR SHALL PROVIDE REPAIR/ REPLACEMENT/ RESTORATION AS DETERMINED BY ARCHITECT/ OWNER.
- CONTRACTOR SHALL VERIFY DESIGNATED ROUTES, METHODS AND SCHEDULES FOR DELIVERY, STORAGE, AND REMOVAL OF CONSTRUCTION MATERIALS AND DEBRIS WITH OWNER/ ARCHITECT.
- HVAC, PLUMBING, FIRE PROTECTION AND ELECTRICAL INFORMATION SHOWN ON ARCHITECTURAL DRAWINGS IS SHOWN FOR DESIGN INTENT ONLY. THE FINAL DESIGN OF ALL SYSTEMS SHALL BE PERFORMED ON A DESIGN/BUILD BASIS BY THE RESPECTIVE CONTRACTORS IN ACCORDANCE WITH ALL CODES AND/OR PROFESSIONAL ENGINEERING LICENSURE STATUTES, AS APPLICABLE.
- ALL ACCESS AND EGRESS FROM BUILDING SHALL REMAIN ACCESSIBLE AT ALL TIMES OF CONSTRUCTION.

MATERIALS

| GRAPHIC REPRESENTATION | MATERIAL |
|---|-------------------------|
|  | EXISTING CONSTRUCTION |
|  | EARTH |
|  | CAST-IN-PLACE CONCRETE |
|  | PRECAST CONCRETE |
|  | CONCRETE / CMU |
|  | SAND, CONCRETE, GYPSUM |
|  | GRAVEL, BALLAST |
|  | BITUMINOUS |
|  | STONE |
|  | BRICK |
|  | STEEL, METAL STUD |
|  | PLYWOOD |
|  | FINISH WOOD |
|  | ROUGH WOOD |
|  | PARTICLE BOARD / O.S.B. |
|  | BATT INSULATION |
|  | RIGID INSULATION |
|  | FOAM INSULATION |
|  | PLASTER ON LATH |
|  | GYPSUM BOARD |
|  | ACOUSTIC CEILING PANEL |

PROJECT TEAM

OWNER

HOLY TRINITY LUTHERAN CHURCH
2730 E 31ST ST
MINNEAPOLIS, MN 55406
PH: (612) 724-1230
CONTACT: DEB SODT
dksodt@gmail.com

ARCHITECT

MILLER DUNWIDDIE ARCHITECTURE
123 NORTH 3RD STREET, SUITE 104
MINNEAPOLIS, MN 55401
PH: (612) 278-7734
CONTACT: KELLY MASTIN
kmasin@millerdunwiddie.com

CIVIL ENGINEER

BKBM ENGINEERS
5930 BROOKLYN BLVD
MINNEAPOLIS, MN 55420
PH: (763) 843-0477
CONTACT: JOEL MAIER
jmaier@bkbm.com

STRUCTURAL ENGINEER

BKBM ENGINEERS
5930 BROOKLYN BLVD
MINNEAPOLIS, MN 55420
PH: (763) 843-0440
CONTACT: QUENTIN ODES
qodes@bkbm.com

CONSTRUCTION MANAGER

WATSON-FORSBERG
6465 WAYZATA BLVD, SUITE 110
MINNEAPOLIS, MN 55426-1728
PH: (952) 564-3865
CONTACT: BOB TIMPERLEY
bobt@watson-forsberg.com

M/E/P DESIGN-BUILD

ERICKSON
1471 92ND LANE NE
BLAINE, MN 55449
PH: (763) 783-4545
CONTACT: RON ERICKSON
erickson@iheartherickson.com

SHEET INDEX

GENERAL

T100 TITLE SHEET
- BOUNDARY AND TOPOGRAPHIC SURVEY (JAMES R. HILL, INC.)

CIVIL

C1.0 SELECTIVE SITE DEMOLITION AND EROSION CONTROL PLAN
C2.0 GRADING, DRAINAGE AND EROSION CONTROL PLAN
C3.0 UTILITY PLAN
C4.0 PAVING PLAN
C5.0 CIVIL DETAILS
C5.1 CIVIL DETAILS

ARCHITECTURAL

D100 FIRST FLOOR DEMOLITION AND ENLARGED DEMOLITION PLANS
A100 FIRST FLOOR PLAN AND ENLARGED PLANS
A130 ENLARGED PLANS AND ELEVATIONS
A150 FIRST FLOOR REFLECTED CEILING PLANS
A170 ROOF PLAN
A200 ELEVATIONS
A500 DOOR AND FRAME TYPES, SCHEDULE, AND DETAILS
A540 WINDOW TYPES, SCHEDULE, AND DETAILS
A800 FINISH PLAN
A630 INTERIOR ELEVATIONS

STRUCTURAL

S100 STRUCTURAL PLAN SECTIONS AND NOTES

MECHANICAL

M1 MECHANICAL DRAWING

ELECTRICAL

ET ELECTRICAL DRAWING

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.


Signature

PAUL G. MAY
Name

1/11/2016 19503
Date License #

PROJECT:

Holy Trinity
Lutheran
Church
Renovation

Minneapolis
Minnesota

REVISED:

| Mark | Date | Description |
|------|--------|-------------|
| | 4/6/16 | PHASE 2 |

APPLICABLE CODES

BUILDING CODE
INTERNATIONAL BUILDING CODE, 2012 EDITION
MINNESOTA STATE BUILDING CODE, 2015 EDITION

ACCESSIBILITY CODE
MINNESOTA ACCESSIBILITY CODE, 2015 EDITION
INCORPORATES INTERNATIONAL BUILDING CODE, 2012 EDITION CHAPTER 11

STRUCTURAL CODE
INTERNATIONAL BUILDING CODE, 2012 EDITION
MINNESOTA STATE BUILDING CODE, 2015 EDITION

MECHANICAL CODE
INTERNATIONAL MECHANICAL CODE, 2012 EDITION
MINNESOTA STATE MECHANICAL CODE, 2015 EDITION

PLUMBING CODE
MINNESOTA STATE PLUMBING CODE, 2012 EDITION

FIRE PROTECTION CODE
INTERNATIONAL FIRE CODE, 2006 EDITION
LIFE SAFETY CODE, 2000 EDITION - NFPA-101
MINNESOTA STATE FIRE CODE, 2007 EDITION

ELECTRICAL CODE
NATIONAL ELECTRICAL CODE, 2014 EDITION

ABBREVIATIONS

| | | | |
|--|----------------------------|----------------------------|------------------------------|
| ABV ABOVE | EXIST EXISTING | MIN MINIMUM | REV REVERSE |
| ACP ACOUSTICAL CEILING PANEL | EXP EXPOSED | MNTD MOUNTED | RM ROOM |
| ADJ ADJUSTABLE | EXT EXTERIOR | MO MASONRY OPENING | RO ROUGH OPENING |
| AED AUTOMATIC ELECTRONIC DEFIBRILLATOR | FD FLOOR DRAIN | MP METAL PANEL | SHT SHEET |
| AFF ABOVE FINISH FLOOR | FDN FOUNDATION | MR MOISTURE RESISTANT | SIM SIMILAR |
| ALUM ALUMINUM | FE FIRE EXTINGUISHER | MTL METAL | SP SPACE |
| BLDG BUILDING | FF FINISH FLOOR | MULL MULLION | SS SOLID SURFACE |
| BLKG BLOCKING | FGLASS FIBERGLASS | NIC NOT IN CONTRACT | SSTL STAINLESS STEEL |
| BO BOTTOM OF | FIN FINISH | NOM NOMINAL | STC SOUND TRANSMISSION CLASS |
| BP BID PACKAGE | FLR FLOOR | NTS NOT TO SCALE | STL STEEL |
| BRKT BRACKET | FO FACE OF | OC ON CENTER | STRUCT STRUCTURE |
| CIP CAST IN PLACE | FV FIELD VERIFY | OD OUTSIDE DIAMETER | T TREAD |
| CLG CEILING | FT FIRE TREATED | OFD OVER FLOW DRAIN | T&G TONGUE & GROOVE |
| CMU CONCRETE MASONRY UNIT | FTG FOOTING | OFS OVER FLOW SCUPPER | TEMP TEMPORARY |
| CONC CONCRETE | GA GAUGE | OH OVERHEAD | TO TOP OF |
| CONT CONTINUOUS | GALV GALVANIZED | OTB OPEN TO BELOW | TS TUBE STEEL |
| COORD COORDINATE | GENL GENERAL CONTRACTOR | PC PRECAST | TYP TYPICAL |
| CT CERAMIC TILE | GF GROUND FACE | PERIM PERIMETER | UG UNDERGROUND |
| CW CURTAIN WALL | GISM GALVANIZED IRON SHEET | PLAM PLASTIC LAMINATE | UL UNDERWRITERS LABORATORY |
| DETL DETAIL | METAL | PLYWD PLYWOOD | UNLESS NOTED OTHERWISE |
| DIA DIAMETER | GYP BD GYPSUM BOARD | PSF POUNDS PER SQUARE FOOT | UNO UNLESS NOTED OTHERWISE |
| DIM DIMENSIONS | HM HOLLOW METAL | PT PAINT | VB VINYL BASE |
| DN DOWN | HT HEIGHT | R RISER | VERT VERTICAL |
| DSP DOWN SPOUT | ID INSIDE DIAMETER | RAD RADIUS | VFY VERIFY |
| EA EACH | INSUL INSULATION | RD ROOF DRAIN | VR VAPOR RETARDER |
| EJ EXPANSION JOINT | INT INTERIOR | RDL ROOF DRAIN LEADER | W/ WITH |
| EL ELEVATION | JT JOINT | REINF REINFORCED/ | WD WOOD |
| ELEC ELECTRICAL | KO KNOCK OUT | REINFORCING | WR WASTE RECEPTACLE |
| EQ EQUAL | LOC LOCATION | REQD REQUIRED | |
| EQPT EQUIPMENT | MECH MECHANICAL | REV REVERSE | |
| | MFR MANUFACTURER | | |

SYMBOLS

| | |
|---|----------------------------|
|  | BUILDING SECTION MARKER |
|  | WALL SECTION MARKER |
|  | DETAIL MARKER |
|  | ELEVATION MARKER |
|  | ELEVATION/HEIGHT MARKER |
|  | PARTITION TYPE DESIGNATION |
|  | WINDOW MARKER |
|  | DOOR MARKER |

PROJECT PHASING

WORK WILL BE PHASED TO ALLOW FOR TWO SEPARATE REVIEW AND PERMIT PHASES.

PHASE ONE:
PHASE ONE IS UNDER SEPARATE CONTRACT, AND INCLUDED FOR INFORMATION ONLY.

INTERIOR WORK AT NEW ADMINISTRATIVE OFFICES ONLY.

AREA INCLUDED IN PHASE ONE IS INDICATED ON DRAWINGS WITH A HEAVY BOX AROUND EFFECTED PORTION OF DRAWING AND NOTED AS "PHASE ONE".

PHASE TWO:
INTERIOR WORK AT ENTRY AND LOBBY, INTERIOR WORK AT CHAPEL EXIT, AND ALL EXTERIOR WORK.

PHASE TWO

COMM. NO.: HTL1501

DATE: JANUARY 11, 2016

DRAWN: KPM

CHECKED: CDL

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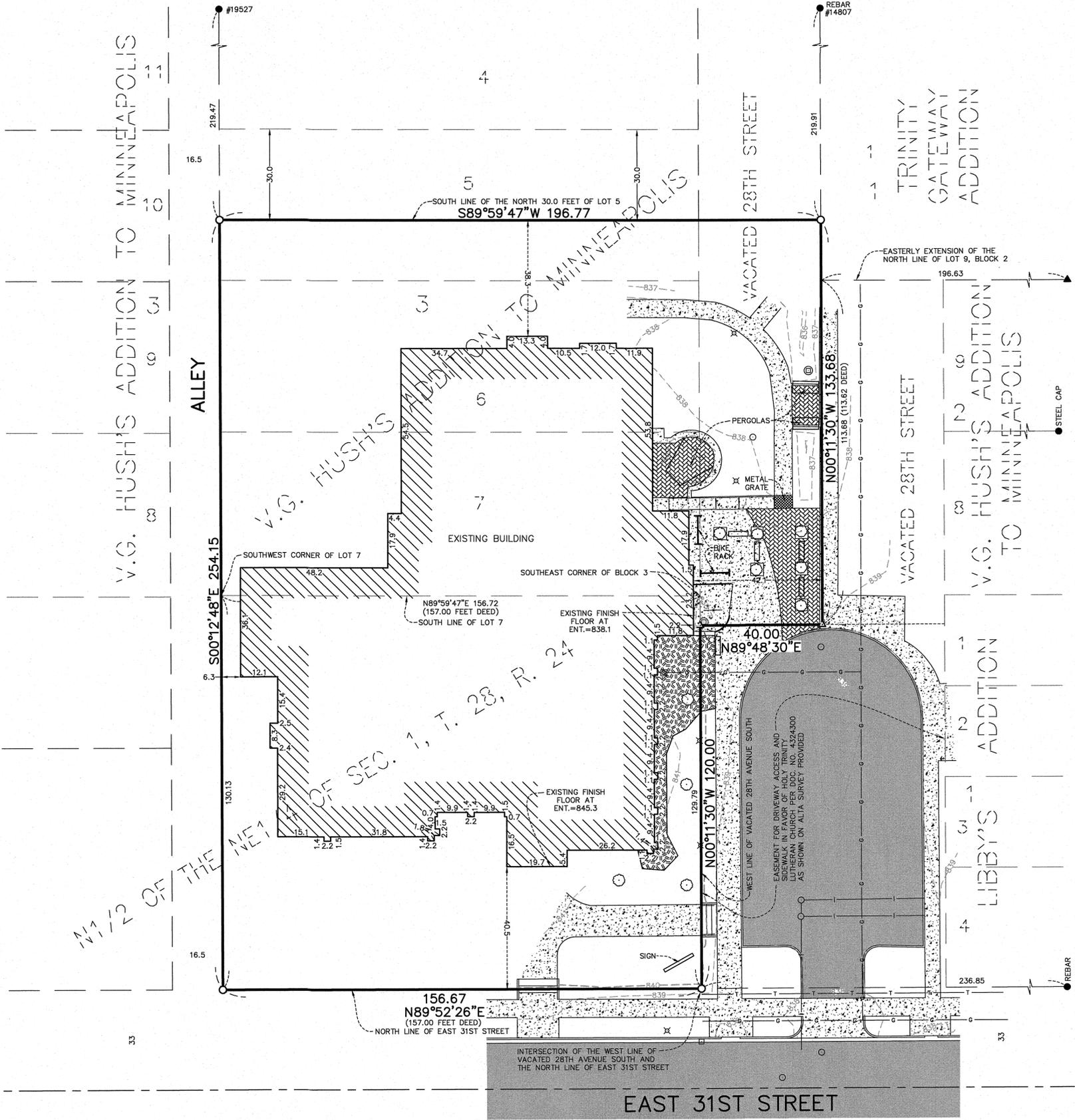
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TITLE SHEET

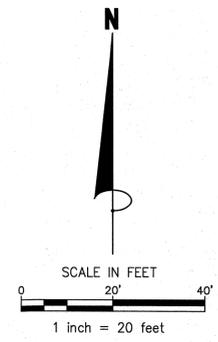
DRAWING NUMBER:

T100

F:\Civil_3D\Projects\23208\23208s.dwg - 9/29/2015 03:25PM



- LEGEND**
- IRON SET
 - IRON FOUND
 - ▲ MAGNETIC NAIL SET
 - ▲ MAGNETIC NAIL FOUND
 - LIGHT POLE
 - MANHOLE
 - CATCH BASIN MANHOLE
 - X900 EXISTING ELEVATION
 - DECIDUOUS TREE
 - ▨ LANDSCAPE MATERIAL
 - ▨ ASPHALT SURFACE
 - ▨ CONCRETE SURFACE
 - ▨ PAVER SURFACE
 - 1000--- EXISTING CONTOURS
 - I — RAILING
 - T — WATER MAIN
 - T — UNDERGROUND TELEPHONE LINE
 - G — UNDERGROUND GAS LINE



PROPERTY DESCRIPTION

That part of Lot 5, Block 3, V. G. HUSH'S ADDITION TO MINNEAPOLIS, lying south of the north 30 feet thereof; including the West 1/2 of adjacent Vacated 28th Avenue South;

Also Lots 6 and 7, Block 3, V. G. HUSH'S ADDITION TO MINNEAPOLIS and all that part of North 1/2 of the Northeast 1/4 of Section 1, Township 28, Range 24 described as follows, to wit:
Beginning at the southeast corner of Block 3, V. G. HUSH'S ADDITION TO MINNEAPOLIS; thence south along the west line of 28th Avenue South to the north line of East 31st Street as opened by the city; thence west along the north line of East 31st Street a distance of 157 feet; thence north parallel with the west line of 28th Avenue South to the southwest corner of Lot 7, Block 3, V. G. HUSH'S ADDITION TO MINNEAPOLIS; thence east along the south line of said Lot a distance of 157 feet to the point of beginning;

Also all that part of adjacent vacated 28th Avenue South lying northerly and westerly of the following described line:
Commencing at the intersection of the west line of 28th Avenue South and the north line of East 31st Street as opened by the city; thence north along the West line of 28th Avenue South 120 feet to the point of beginning of the line to be described; thence easterly deflecting to the right 90 degrees a distance of 40 feet; thence northerly deflecting to the left 90 degrees a distance of 113.62 feet to the easterly extension of the north line of Lot 9, Block 2, V. G. HUSH'S ADDITION TO MINNEAPOLIS and said line there ending.

NOTES

1. Subject property's address is 2730 31st Street East, Minneapolis, MN, its property identification number is 01-028-24-11-0123.
2. The bearing system is based on the North line of East 31st Street which is assumed to bear North 89 degrees 52 minutes 26 seconds West.
3. Field work was completed 9/19/2015.
4. The building(s) and exterior dimensions of the outside wall at ground level are shown on the survey. It may not be the foundation wall.
5. No specific title search for existence or non-existence of recorded or un-recorded easements has been conducted by the surveyor as a part of this survey.
6. The gross area of the subject property is 1.037 Acres or 45,154 square feet.
7. This survey is based on the Tax Parcel Description per Hennepin County property information search.
8. Underground utilities are shown per:
Observed evidence and Gopher State One Call, Ticket No. 152451527, dated 9/2/2015.
A Gopher State One Call (GSOC) request was placed on 9/2/2015 for utility locates on this site. The underground utility locations, shown hereon, if any, are based upon locates from those utility providers that actually performed a locate as a result of the request. Utility suppliers often do not respond to these requests but may provide ambiguous maps, plans, and drawings in lieu of physical location. The surveyor makes no guarantees that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. Utility information shown hereon, if any, is a compilation of this map information and those visible utilities that were located during the survey field work. The surveyor further does not warrant that the underground utilities shown hereon, if any, are in the exact location as indicated, although he does certify that they are located as accurately as possible from information available. The surveyor has not physically located the underground utilities. Pursuant to MS 216.D contact Gopher State One Call at 651-454-0002 prior to any excavation.

BENCHMARK

The vertical datum is based on NGVD29 datum.

Benchmark #1
Minneapolis benchmark monument number 320A at the intersection of 28th Avenue South and East Lake Street.
Elevation = 835.24

Benchmark #2
Minneapolis benchmark monument number 349 at the intersection of 27th Avenue South and Minnehaha Avenue.
Elevation = 837.81

SURVEYOR'S CERTIFICATE

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota. That this survey does not purport to show all improvements, easements or encroachments, to the property except as shown thereon.

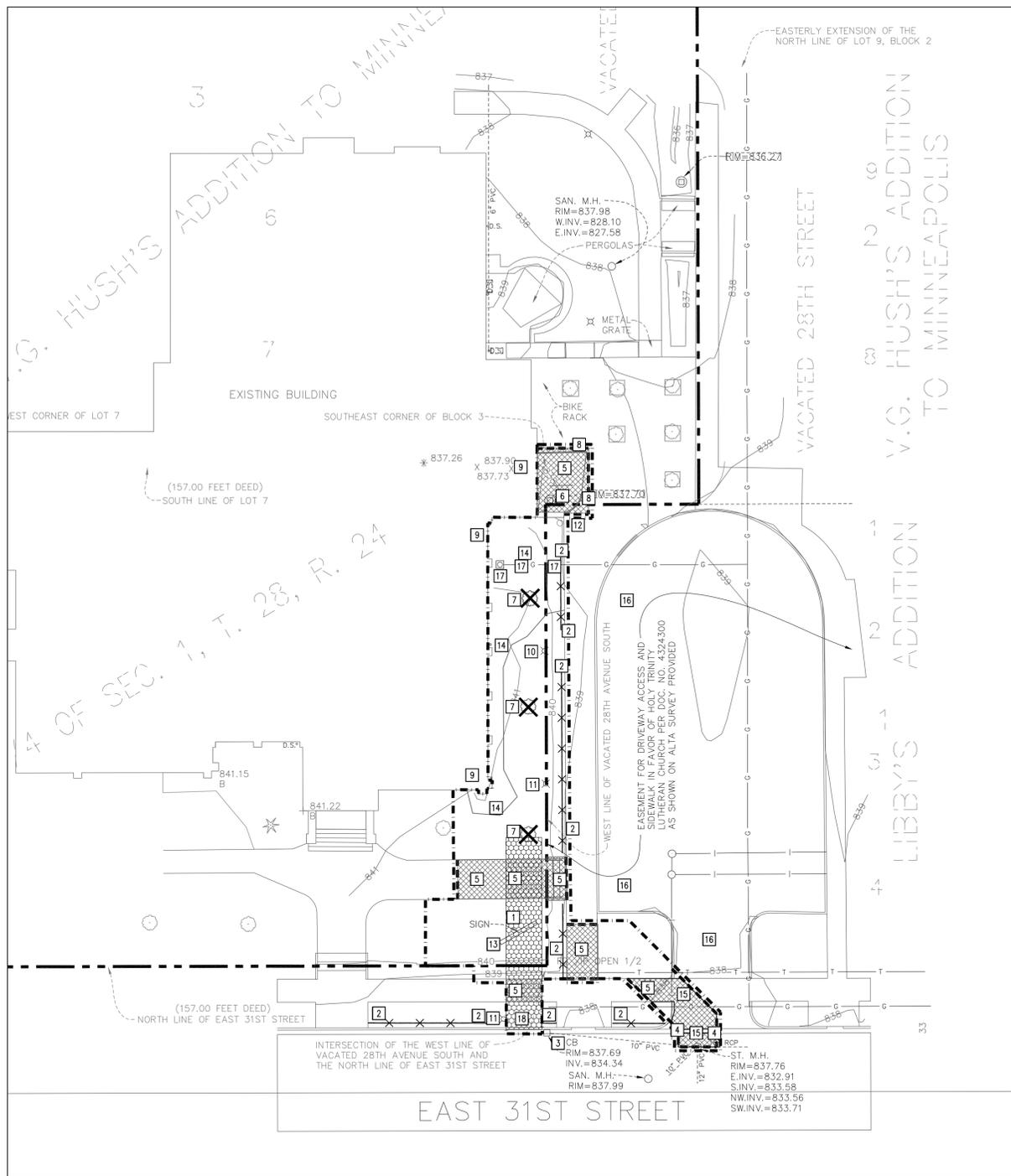
Signed this 28th day of September, 2015

 Marcus F. Hampton MN L.S. No. 47481

James R. Hill, Inc.
 PLANNERS / ENGINEERS / SURVEYORS
 2500 W. CT. RD. 42, SUITE 120, BURNSVILLE, MN 55337
 PHONE: (952)890-6044 FAX: (952)890-6244

2730 East 31st Street Site
 MINNEAPOLIS, MINNESOTA
Boundary and Topographic Survey
 FOR
Holy Trinity Lutheran Church

| | |
|---------------------|------------|
| DRAWN BY | PLM |
| DATE | 9/28/15 |
| REVISIONS | |
| | |
| | |
| CAD FILE | 23208s.dwg |
| PROJECT NO. | 23208 |
| FILE NO. | 1-15-072 |
| SHEET 1 OF 1 | |



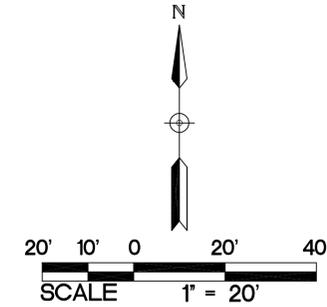
1
C1.0 SELECTIVE SITE DEMOLITION AND EROSION CONTROL PLAN
1"=20'

| PROPOSED PLAN SYMBOLS | |
|----------------------------|-----------|
| CONSTRUCTION LIMITS | --- |
| SILTATION FENCE | X X |
| PROPERTY LINE | --- |
| SAWCUT LINE (APPROX.) | --- |
| ROCK CONSTRUCTION ENTRANCE | [Pattern] |
| CONCRETE REMOVAL | [Pattern] |
| CURB REMOVAL | [Pattern] |
| TREE REMOVAL | [Symbol] |

| ABBREVIATIONS | |
|---------------|--------------------------|
| BLDG | Building |
| BM | Bench Mark |
| CB | Catch Basin |
| CONC | Concrete |
| ELEV | Elevation |
| EX | Existing |
| FFE | Finished Floor Elevation |
| INV | Invert |
| MAX | Maximum |
| MH | Manhole |
| MIN | Minimum |
| PVC | Polyvinyl Chloride |
| RCP | Reinforced Concrete Pipe |

NOTE: STORM SEWER INLETS NOT SHOWN ON PLAN MAY RECEIVE RUNOFF FROM CONSTRUCTION ACTIVITIES. INSTALL INLET SEDIMENT PROTECTION PER DETAIL 1/C5.0 ON ALL STORM INLETS THAT MAY RECEIVE RUNOFF.

APPROXIMATE DISTURBED AREA IS 4,150 SQUARE FEET



KEYED NOTES

- KEYED NOTES ARE DENOTED BY [Symbol] ON PLAN.
- INSTALL ROCK CONSTRUCTION ENTRANCE. REFER TO DETAIL 2/C5.0.
 - INSTALL SILT FENCE. REFER TO DETAIL 3/C5.0.
 - INSTALL INLET SEDIMENT PROTECTION. REFER TO DETAIL 1/C5.0.
 - REMOVE CURB AND GUTTER IN ITS ENTIRETY TO THE EXTENT SHOWN. SAWCUT AND REMOVE AT NEAREST JOINT.
 - REMOVE CONCRETE SIDEWALK PAVEMENT AND STAIRS IN ITS ENTIRETY TO THE EXTENTS SHOWN.
 - REMOVE DRY WELL STORM SEWER STRUCTURE IN ITS ENTIRETY.
 - REMOVE TREE IN ITS ENTIRETY INCLUDING STUMP.
 - REMOVE METAL RAILING IN ITS ENTIRETY.
 - EXISTING BUILDING TO REMAIN. PROTECT AT ALL TIMES.
 - REMOVE/RELOCATE LIGHT POLE. COORDINATE BOULEVARD LIGHT RELOCATION WITH THE CITY OF MINNEAPOLIS.
 - EXISTING SITE LIGHT SHALL REMAIN. PROTECT LIGHT POLE AND BASE AT ALL TIMES.
 - SALVAGE EXISTING BENCH AND PLACE AS DIRECTED BY OWNER.
 - REMOVE/RELOCATE CHURCH MONUMENT SIGN AS DIRECTED BY OWNER.
 - REMOVE LANDSCAPE EDGING AND LANDSCAPE PLANTS.
 - SAWCUT AND REMOVE CONCRETE ROADWAY AND DRIVEWAY PAVEMENT IN ITS ENTIRETY TO THE EXTENTS SHOWN. MANHOLE IN STREET IS TO REMAIN. PROTECT AT ALL TIMES.
 - PARKING AREA IS NOT TO BE DISTURBED.
 - REMOVE GAS LINE AND REMOVE AND SALVAGE METER. COORDINATE REMOVAL WITH CONTRACTOR AND GAS COMPANY.
 - REMOVE AND SALVAGE PARKING SIGN AND POST. COORDINATE REMOVAL WITH CONTRACTOR.

DEMOLITION AND REMOVAL NOTES:

- PRIOR TO START OF DEMOLITION, ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE INSTALLED BY THE CONTRACTOR AND INSPECTED BY THE CITY OF MINNEAPOLIS. ALL SILT FENCES SHALL BE INSTALLED AND INSPECTED PRIOR TO ANY CONSTRUCTION ACTIVITY. SILT FENCES SHALL BE INSTALLED ALONG THE CONTOUR.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ASCERTAIN THE LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY THE LOCATION, ELEVATION AND MARK ALL EXISTING UTILITIES 48 HOURS BEFORE CONSTRUCTION STARTS. THE ENGINEER, ARCHITECT OR OWNER DOES NOT GUARANTEE THAT ALL THE UTILITIES ARE MAPPED, OR IF MAPPED, ARE SHOWN CORRECTLY. CONTACT Gopher State One Call AT 651-434-0002 FOR FIELD LOCATING EXISTING UTILITIES. CONTACT UTILITY OWNER IF DAMAGE OCCURS DUE TO CONSTRUCTION.
- THERE MAY BE MISCELLANEOUS ITEMS TO BE REMOVED THAT ARE NOT IDENTIFIED ON THESE PLANS. THE CONTRACTOR SHALL VISIT THE SITE AND REVIEW THE DOCUMENTS TO OBTAIN A CLEAR UNDERSTANDING OF THE INTENDED SCOPE OF WORK.
- ANY UTILITIES NOT INDICATED FOR REMOVAL OR ABANDONMENT, ARE TO BE PROTECTED AT ALL TIMES.
- ALL EXISTING CURB AND GUTTER IS TO BE REMOVED WITHIN THE SCOPE OF THE PROJECT FROM THE SAW CUT LINES TO THE NEAREST JOINT.
- THE BACKGROUND INFORMATION WAS PREPARED BY JAMES R HILL. (952) 890-6044.
- ALL WORK IN THE PUBLIC RIGHT OF WAY IS TO BE COORDINATED WITH THE CITY OF MINNEAPOLIS. ROADWAY REPAIRS, BOULEVARD REPAIRS, AND TRAFFIC CONTROL ARE TO BE PER CITY OF MINNEAPOLIS STANDARDS AND SPECIFICATIONS.

GENERAL NOTES:

- CONCRETE CURB AND GUTTER REMOVAL, PAVEMENT REMOVAL, AND UTILITY REMOVAL LIMITS ARE TO BE COORDINATED THE CITY OF MINNEAPOLIS AND UTILITY OWNER. REFER TO ALL CONSTRUCTION DOCUMENTS.
- THE CONTRACTOR SHALL DEVELOP AND IMPLEMENT A TRAFFIC CONTROL PLAN WHILE WORKING WITHIN THE RIGHT-OF-WAY. THE TRAFFIC CONTROL PLAN SHALL BE APPROVED BY THE CITY ENGINEERING DEPARTMENT PRIOR TO STREET ENCROACHMENT.
- CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING AND REVIEW ALL CONSTRUCTION DOCUMENTS AND GEOTECHNICAL REPORTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR ITEMS THAT SHOULD HAVE BEEN ANTICIPATED BY PERFORMING THE ABOVE.
- THE ROCK CONSTRUCTION ENTRANCE INDICATED ON THE PLAN IS SHOWN IN AN APPROXIMATE LOCATION. PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR IS TO COORDINATE WITH THE CITY OF MINNEAPOLIS FOR THE EXACT ROCK CONSTRUCTION ENTRANCE LOCATION.

MINNEAPOLIS STANDARD EROSION CONTROL NOTES - (JANUARY 7, 2011)

- CONTRACTOR MUST CALL A CONSTRUCTION START 48 HOURS PRIOR TO ANY LAND DISTURBANCES 612-673-3867. FAILURE TO DO SO MAY RESULT IN FINES, THE REVOCATION OF PERMIT AND A STOP WORK ORDER BEING ISSUED.
- INSTALL PERIMETER EROSION CONTROL AT THE LOCATIONS SHOWN ON THE PLANS PRIOR TO THE COMMENCEMENT OF ANY LAND DISTURBANCE OR CONSTRUCTION ACTIVITIES.
- BEFORE BEGINNING CONSTRUCTION, INSTALL A TEMPORARY ROCK CONSTRUCTION ENTRANCE AT EACH POINT WHERE VEHICLES EXIT THE CONSTRUCTION SITE. USE 2 INCH OR GREATER DIAMETER ROCK IN A LAYER AT LEAST 6 INCHES THICK ACROSS THE ENTIRE WIDTH OF THE ENTRANCE. EXTEND THE ROCK ENTRANCE AT LEAST 50 FEET INTO THE CONSTRUCTION ZONE USING A GEO-TEXTILE FABRIC BENEATH THE AGGREGATE TO PREVENT MIGRATION OF SOIL INTO THE ROCK FROM BELOW.
- REMOVE ALL SOILS AND SEDIMENTS TRACKED OR OTHERWISE DEPOSITED ONTO PUBLIC AND PRIVATE PAVEMENT AREAS. REMOVAL SHALL BE ON A DAILY BASIS WHEN TRACKING OCCURS AND MAY BE ORDERED BY MINNEAPOLIS INSPECTORS AT ANY TIME IF CONDITIONS WARRANT. SWEEPING SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE CONSTRUCTION AND DONE IN A MANNER TO PREVENT DUST BEING BLOWN TO ADJACENT PROPERTIES.
- INSTALL INLET PROTECTION AT ALL PUBLIC AND PRIVATE CATCH BASIN INLETS, WHICH RECEIVE RUNOFF FROM THE DISTURBED AREAS. CONTRACTOR SHALL CLEAN, REMOVE SEDIMENT OR REPLACE STORM DRAIN INLET PROTECTION DEVICES ON A ROUTINE BASIS SUCH THAT THE DEVICES ARE FULLY FUNCTIONAL FOR THE NEXT RAIN EVENT. SEDIMENT DEPOSITED IN AND/OR PLUGGING DRAINAGE SYSTEMS IS THE RESPONSIBILITY OF THE CONTRACTOR. HAY BALES OR FILTER FABRIC WRAPPED GRATES ARE NOT ALLOWED FOR INLET PROTECTION.
- LOCATE SOIL OR DIRT STOCKPILES NO LESS THAN 25 FEET FROM ANY PUBLIC OR PRIVATE ROADWAY OR DRAINAGE CHANNEL. IF REMAINING FOR MORE THAN SEVEN DAYS, STABILIZE THE STOCKPILES BY MULCHING, VEGETATIVE COVER, TARPS, OR OTHER MEANS. CONTROL EROSION FROM ALL STOCKPILES BY PLACING SILT BARRIERS AROUND THE PILES. TEMPORARY STOCKPILES LOCATED ON PAVED SURFACES MUST BE NO LESS THAN TWO FEET FROM THE DRAINAGE/GUTTER LINE AND SHALL BE COVERED IF LEFT MORE THAN 24 HOURS.
- MAINTAIN ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES IN PLACE UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED. INSPECT TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES ON A DAILY BASIS AND REPLACE DETERIORATED, DAMAGED, OR ROTTED EROSION CONTROL DEVICES IMMEDIATELY.
- TEMPORARILY OR PERMANENTLY STABILIZE ALL CONSTRUCTION AREAS WHICH HAVE UNDERGONE FINAL GRADING, AND ALL AREAS IN WHICH GRADING OR SITE BUILDING CONSTRUCTION OPERATIONS ARE NOT ACTIVELY UNDERWAY AGAINST EROSION DUE TO RAIN, WIND AND RUNNING WATER WITHIN 7-14 DAYS. USE SEED AND MULCH, EROSION CONTROL MATTING, AND/OR SODDING AND STAKING IN GREEN SPACE AREAS. REMOVE ALL TEMPORARY SYNTHETIC, STRUCTURAL, NON-BIODEGRADABLE EROSION AND SEDIMENT CONTROL DEVICES AFTER THE SITE HAS UNDERGONE FINAL STABILIZATION WITH PERMANENT VEGETATION ESTABLISHMENT. FINAL STABILIZATION FOR PURPOSES OF THIS REMOVAL IS 70% ESTABLISHED COVER OVER DENUDED AREA.
- READY MIXED CONCRETE AND CONCRETE BATCH/MIX PLANTS ARE PROHIBITED WITHIN THE PUBLIC RIGHT OF WAY. ALL CONCRETE RELATED PRODUCTION, CLEANING AND MIXING ACTIVITIES SHALL BE DONE IN THE DESIGNATED CONCRETE MIXING/WASHOUT LOCATIONS AS SHOWN IN THE EROSION CONTROL PLAN. UNDER NO CIRCUMSTANCE MAY WASHOUT WATER DRAIN ONTO THE PUBLIC RIGHT OF WAY OR INTO ANY PUBLIC OR PRIVATE STORM DRAIN CONVEYANCE.
- CHANGES TO APPROVED EROSION CONTROL PLAN MUST BE APPROVED BY THE EROSION CONTROL INSPECTOR PRIOR TO IMPLEMENTATION. CONTRACTOR TO PROVIDE INSTALLATION AND DETAILS FOR ALL PROPOSED ALTERNATE TYPE DEVICES.
- IF DEWATERING OR PUMPING OF WATER IS NECESSARY, THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS AND/OR APPROVALS PRIOR TO DISCHARGE OF ANY WATER FROM THE SITE. IF THE DISCHARGE FROM THE DEWATERING OR PUMPING PROCESS IS TURBID OR CONTAINS SEDIMENT LADEN WATER, IT MUST BE TREATED THROUGH THE USE OF SEDIMENT TRAPS, VEGETATIVE FILTER STRIPS, OR OTHER SEDIMENT REDUCING MEASURES SUCH THAT THE DISCHARGE IS NOT VISIBLY DIFFERENT FROM THE RECEIVING WATER. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED AT THE DISCHARGE POINT TO PREVENT SCOUR EROSION. THE CONTRACTOR SHALL PROVIDE A DEWATERING/PUMPING PLAN TO THE EROSION CONTROL INSPECTOR PRIOR TO INITIATING DEWATERING ACTIVITIES.

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BKBM PROJECT NO. 16100

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DAILY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Joel W. Maier
Signature

Joel W. Maier
Name

04/01/2016 19181
Date License #

PROJECT:

Holy Trinity Lutheran Church Renovation

Minneapolis
Minnesota

| REVISED | | |
|---------|------|-------------|
| Mark | Date | Description |
| | | |

COMM. NO.: HTL1501

DATE: APRIL 1, 2016

DRAWN:

CHECKED:

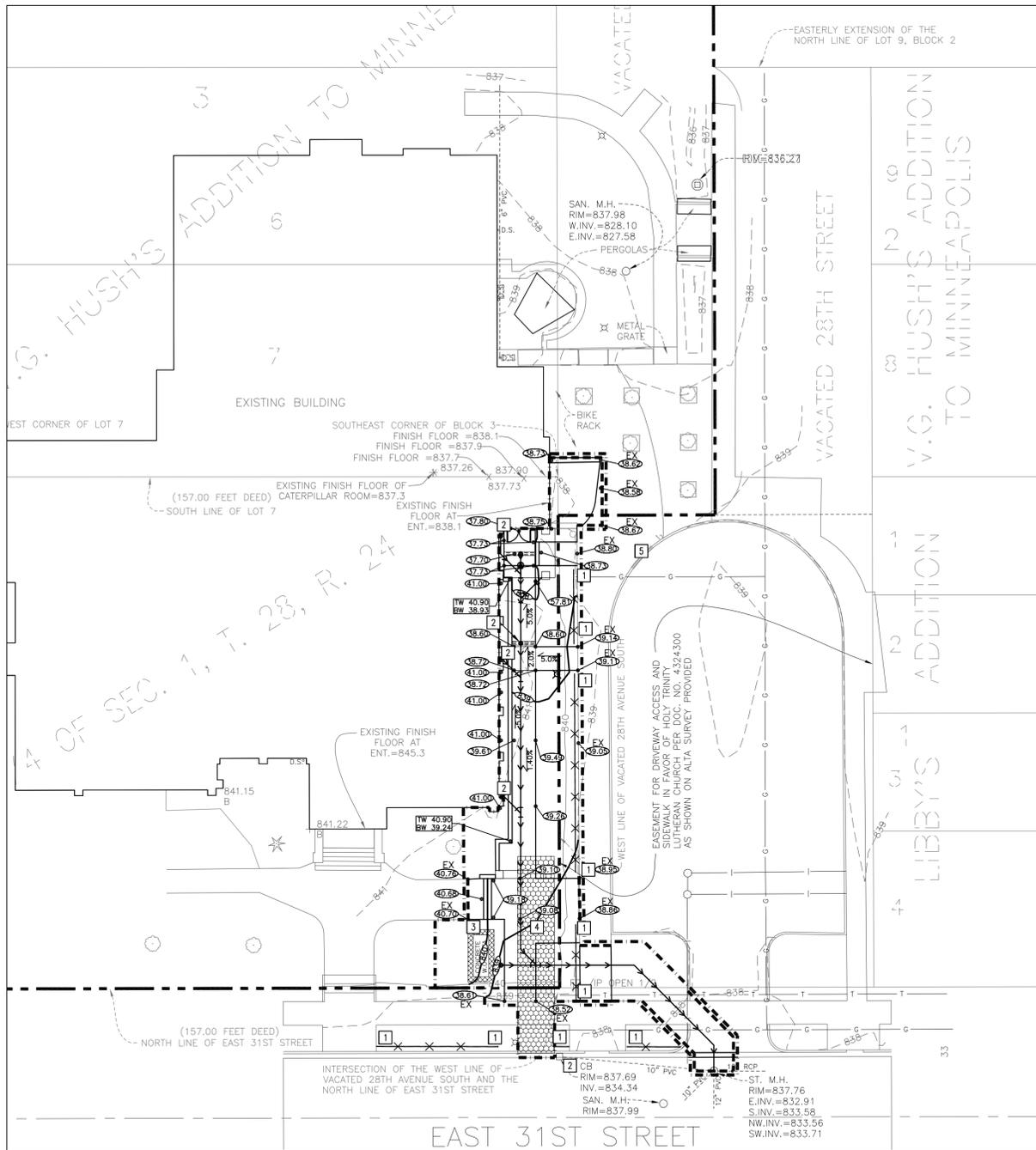
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DRAWING TITLE:

SELECTIVE SITE DEMOLITION AND EROSION CONTROL PLAN

DRAWING NUMBER:

C1.0



1 GRADING, DRAINAGE, AND EROSION CONTROL PLAN
1"=20'

PROPOSED PLAN SYMBOLS

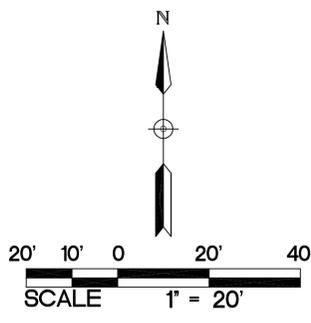
| | |
|----------------------------|---------------|
| CONSTRUCTION LIMITS | --- |
| SILTATION FENCE | XX |
| PROPERTY LINE | --- |
| SAWCUT LINE (APPROX.) | --- |
| PROPOSED CONTOUR | ---(ELEV.)--- |
| STORM SEWER | --- |
| DRAINAGE FLOW ARROW | → |
| SPOT ELEVATION | 837.26 |
| CONCRETE WASHOUT AREA | [Pattern] |
| ROCK CONSTRUCTION ENTRANCE | [Pattern] |

ABBREVIATIONS

| | |
|------|--------------------------|
| BLDG | Building |
| BM | Bench Mark |
| CB | Catch Basin |
| CONC | Concrete |
| ELEV | Elevation |
| EX | Existing |
| FTE | Finished Floor Elevation |
| INV | Invert |
| MAX | Maximum |
| MH | Manhole |
| MIN | Minimum |
| PVC | Polyvinyl Chloride |
| W.O. | Washout |

NOTE: STORM SEWER INLETS NOT SHOWN ON PLAN MAY RECEIVE RUNOFF FROM CONSTRUCTION ACTIVITIES. INSTALL INLET SEDIMENT PROTECTION PER DETAIL 1/C5.0 ON ALL STORM INLETS THAT MAY RECEIVE RUNOFF.

APPROXIMATE DISTURBED AREA IS 4,150 SQUARE FEET



NOTE: ALL SIDEWALK, CURB AND GUTTER, DRIVEWAY ENTRANCES, AND ALLEYS ARE TO BE CONSTRUCTED PER:
STANDARD SUPPLEMENTAL SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC INFRASTRUCTURE IN THE CITY OF MINNEAPOLIS 2011 EDITION
BY
DEPARTMENT OF PUBLIC WORKS
MINNEAPOLIS, MINNESOTA
FEBRUARY 1, 2011

KEYED NOTES

KEYED NOTES ARE DENOTED BY [NO] ON PLAN.

- 1] INSTALL SILT FENCE. REFER TO DETAIL 3/C5.0.
- 2] INSTALL INLET SEDIMENT PROTECTION. REFER TO DETAIL 1/C5.0.
- 3] APPROXIMATE LOCATION OF TEMPORARY CONTAINED CONCRETE WASH OUT BIN. REFER TO THE MINNESOTA'S NPDES/SDS GENERAL STORMWATER PERMIT FOR CONSTRUCTION ACTIVITY FOR MORE DETAILS. SELF CONTAINED CONCRETE WASHOUTS ON CONCRETE DELIVERY TRUCKS IS AN ACCEPTABLE ALTERNATIVE TO ON-SITE CONTAINMENT.
- 4] INSTALL ROCK CONSTRUCTION ENTRANCE. REFER TO DETAIL 2/C5.0.
- 5] LOCATION OF EXISTING PEDESTRIAN RAMP.

MINNEAPOLIS STANDARD EROSION CONTROL NOTES - (JANUARY 7, 2011)

1. CONTRACTOR MUST CALL A CONSTRUCTION START 48 HOURS PRIOR TO ANY LAND DISTURBANCES 612-673-3867. FAILURE TO DO SO MAY RESULT IN FINES, THE REVOCATION OF PERMIT AND A STOP WORK ORDER BEING ISSUED.
2. INSTALL PERIMETER EROSION CONTROL AT THE LOCATIONS SHOWN ON THE PLANS PRIOR TO THE COMMENCEMENT OF ANY LAND DISTURBANCE OR CONSTRUCTION ACTIVITIES.
3. BEFORE BEGINNING CONSTRUCTION, INSTALL A TEMPORARY ROCK CONSTRUCTION ENTRANCE AT EACH POINT WHERE VEHICLES EXIT THE CONSTRUCTION SITE. USE 2 INCH OR GREATER DIAMETER ROCK IN A LAYER AT LEAST 6 INCHES THICK ACROSS THE ENTIRE WIDTH OF THE ENTRANCE. EXTEND THE ROCK ENTRANCE AT LEAST 50 FEET INTO THE CONSTRUCTION ZONE USING A GEO-TEXTILE FABRIC BENEATH THE AGGREGATE TO PREVENT MIGRATION OF SOIL INTO THE ROCK FROM BELOW.
4. REMOVE ALL SOILS AND SEDIMENTS TRACKED OR OTHERWISE DEPOSITED ONTO PUBLIC AND PRIVATE PAVEMENT AREAS. REMOVAL SHALL BE ON A DAILY BASIS WHEN TRACKING OCCURS AND MAY BE ORDERED BY MINNEAPOLIS INSPECTORS AT ANY TIME IF CONDITIONS WARRANT. SWEEPING SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE CONSTRUCTION AND DONE IN A MANNER TO PREVENT DUST BEING BLOWN TO ADJACENT PROPERTIES.
5. INSTALL INLET PROTECTION AT ALL PUBLIC AND PRIVATE CATCH BASIN INLETS, WHICH RECEIVE RUNOFF FROM THE DISTURBED AREAS. CONTRACTOR SHALL CLEAN, REMOVE SEDIMENT OR REPLACE STORM DRAIN INLET PROTECTION DEVICES ON A ROUTINE BASIS SUCH THAT THE DEVICES ARE FULLY FUNCTIONAL FOR THE NEXT RAIN EVENT. SEDIMENT DEPOSITED IN AND/OR PLUGGING DRAINAGE SYSTEMS IS THE RESPONSIBILITY OF THE CONTRACTOR. HAY BALES OR FILTER FABRIC WRAPPED GRATES ARE NOT ALLOWED FOR INLET PROTECTION.
6. LOCATE SOIL OR DIRT STOCKPILES NO LESS THAN 25 FEET FROM ANY PUBLIC OR PRIVATE ROADWAY OR DRAINAGE CHANNEL. IF REMAINING FOR MORE THAN SEVEN DAYS, STABILIZE THE STOCKPILES BY MULCHING, VEGETATIVE COVER, TARPS, OR OTHER MEANS. CONTROL EROSION FROM ALL STOCKPILES BY PLACING SILT BARRIERS AROUND THE PILES. TEMPORARY STOCKPILES LOCATED ON PAVED SURFACES MUST BE NO LESS THAN TWO FEET FROM THE DRAINAGE/GUTTER LINE AND SHALL BE COVERED IF LEFT MORE THAN 24 HOURS.
7. MAINTAIN ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES IN PLACE UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED. INSPECT TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES ON A DAILY BASIS AND REPLACE DETERIORATED, DAMAGED, OR ROTTED EROSION CONTROL DEVICES IMMEDIATELY.
8. TEMPORARILY OR PERMANENTLY STABILIZE ALL CONSTRUCTION AREAS WHICH HAVE UNDERGONE FINAL GRADING, AND ALL AREAS IN WHICH GRADING OR SITE BUILDING CONSTRUCTION OPERATIONS ARE NOT ACTIVELY UNDERWAY AGAINST EROSION DUE TO RAIN, WIND AND RUNNING WATER WITHIN 7-14 DAYS. USE SEED AND MULCH, EROSION CONTROL MATTING, AND/OR SODDING AND STAKING IN GREEN SPACE AREAS. REMOVE ALL TEMPORARY SYNTHETIC, STRUCTURAL, NON-BIODEGRADABLE EROSION AND SEDIMENT CONTROL DEVICES AFTER THE SITE HAS UNDERGONE FINAL STABILIZATION WITH PERMANENT VEGETATION ESTABLISHMENT. FINAL STABILIZATION FOR PURPOSES OF THIS REMOVAL IS 70% ESTABLISHED COVER OVER DENUDDED AREA.
9. READY MIXED CONCRETE AND CONCRETE BATCH/MIX PLANTS ARE PROHIBITED WITHIN THE PUBLIC RIGHT OF WAY. ALL CONCRETE RELATED PRODUCTION, CLEANING AND MIXING ACTIVITIES SHALL BE DONE IN THE DESIGNATED CONCRETE MIXING/WASHOUT LOCATIONS AS SHOWN IN THE EROSION CONTROL PLAN. UNDER NO CIRCUMSTANCE MAY WASHOUT WATER DRAIN ONTO THE PUBLIC RIGHT OF WAY OR INTO ANY PUBLIC OR PRIVATE STORM DRAIN CONVEYANCE.
10. CHANGES TO APPROVED EROSION CONTROL PLAN MUST BE APPROVED BY THE EROSION CONTROL INSPECTOR PRIOR TO IMPLEMENTATION. CONTRACTOR TO PROVIDE INSTALLATION AND DETAILS FOR ALL PROPOSED ALTERNATE TYPE DEVICES.
11. IF DEWATERING OR PUMPING OF WATER IS NECESSARY, THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS AND/OR APPROVALS PRIOR TO DISCHARGE OF ANY WATER FROM THE SITE. IF THE DISCHARGE FROM THE DEWATERING OR PUMPING PROCESS IS TURBID OR CONTAINS SEDIMENT LADEN WATER, IT MUST BE TREATED THROUGH THE USE OF SEDIMENT TRAPS, VEGETATIVE FILTER STRIPS, OR OTHER SEDIMENT REDUCING MEASURES SUCH THAT THE DISCHARGE IS NOT VISIBLY DIFFERENT FROM THE RECEIVING WATER. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED AT THE DISCHARGE POINT TO PREVENT SCOUR EROSION. THE CONTRACTOR SHALL PROVIDE A DEWATERING/PUMPING PLAN TO THE EROSION CONTROL INSPECTOR PRIOR TO INITIATING DEWATERING ACTIVITIES.

GRADING NOTES:

1. THE CONTRACTOR SHALL VISIT THE SITE, REVIEW ALL CONSTRUCTION DOCUMENTS AND FIELD VERIFY THE EXISTING CONDITIONS PRIOR TO BIDDING. NO ADDITIONAL COMPENSATION WILL BE GIVEN FOR WORK THAT COULD HAVE BEEN IDENTIFIED BY A SITE VISIT OR CONSTRUCTION DOCUMENT REVIEW.
2. THE BACKGROUND INFORMATION WAS PREPARED BY JAMES R. HILL. (952) 890-6044.
3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ASCERTAIN THE LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY THE LOCATION, ELEVATION AND MARK ALL EXISTING UTILITIES 48 HOURS BEFORE CONSTRUCTION STARTS. THE ENGINEER, ARCHITECT OR OWNER DOES NOT GUARANTEE THAT ALL THE UTILITIES ARE MAPPED, OR IF MAPPED, ARE SHOWN CORRECTLY. CONTACT GOPHER ONE AT 651-454-0002 FOR FIELD LOCATING EXISTING UTILITIES. CONTACT UTILITY OWNER IF DAMAGE OCCURS DUE TO CONSTRUCTION.
4. PROTECT ALL EXISTING STRUCTURES AND UTILITIES WHICH ARE NOT SCHEDULED FOR REMOVAL.
5. NOTIFY CITY BUILDING INSPECTOR BEFORE TRENCHING AND EXCAVATION WORK COMMENCES. THE CONTRACTOR SHALL OBTAIN ALL APPLICABLE PERMITS PRIOR TO START OF CONSTRUCTION.
6. ALL SPOT ELEVATIONS SHOWN AS 39.56, FOR EXAMPLE, ARE TO BE UNDERSTOOD TO MEAN 839.56.
7. ALL SPOT ELEVATIONS ALONG THE CURB-LINE INDICATE THE ELEVATION OF THE GUTTER, UNLESS NOTED OTHERWISE.
8. NO LANDSCAPED SLOPES ARE TO EXCEED 3:1 (3 FEET HORIZONTAL TO 1 FOOT VERTICAL) UNLESS NOTED OTHERWISE.
9. PROVIDE POSITIVE DRAINAGE FROM BUILDINGS AT ALL TIMES.
10. PRIOR TO ISSUANCE OF BUILDING PERMITS, ALL NECESSARY EROSION CONTROL DEVICES MUST BE IN PLACE AND FUNCTIONING. THE CITY OF MINNEAPOLIS WILL INSPECT THE SITE TO DETERMINE ITS SUITABILITY FOR BUILDING ACTIVITIES. IF THE PUBLIC UTILITIES HAVE NOT BEEN INSTALLED AT THIS POINT, IT MAY BE NECESSARY TO WITHHOLD BUILDING PERMITS FOR VARIOUS LOTS TO ALLOW THE CONTRACTOR ADEQUATE SPACE TO PERFORM THIS WORK.
11. ALL DEBRIS CREATED IN THE PROCESS OF CLEARING AND GRADING THE SITE SHALL BE REMOVED FROM THE SITE. THIS INCLUDES TREES AND SHRUBS. UNDER NO CIRCUMSTANCES SHALL THIS TYPE OF MATERIAL BE BURIED OR BURNED ON THE SITE.
12. THE INTENT IS TO STRIP AND SALVAGED TOPSOIL FOR POTENTIAL RE-SPREADING ON THE SITE, SIX INCHES OF TOPSOIL - AFTER COMPACTION - SHALL BE RE-SPREAD PRIOR TO SEEDING AND MULCHING. EXCESS TOPSOIL MAY BE REMOVED FROM THE SITE PROVIDING THERE IS ADEQUATE TOPSOIL REMAINING TO PROPERLY FINISH THE SITE AS NOTED ABOVE.
13. ALL GRADING OPERATIONS SHALL BE CONDUCTED IN A MANNER TO MINIMIZE THE POTENTIAL FOR SITE EROSION. EROSION CONTROL MEASURES SHALL BE INSTALLED TO PREVENT SEDIMENT FROM RUNNING OFF ONTO ADJACENT PROPERTIES. ANY DAMAGE TO ADJACENT PROPERTIES MUST BE CORRECTED AND RESTORED AS SOON AS PERMISSION IS GRANTED FROM THE ADJACENT PROPERTY OWNER(S).
14. THE CONTRACTOR SHALL LIMIT THE DISTURBED AREA AS MUCH AS POSSIBLE.

WALKWAY NOTES:

1. GRADING CONTRACTOR IS TO COORDINATE WITH PAVING CONTRACTOR SO THAT ALL STEPS AND LANDINGS ARE SLOPED PER CODE.
2. ALL SIDEWALK LONGITUDINAL AND TRANSVERSE SLOPES ARE TO BE PER CODE.

RETAINING WALL NOTES:

1. ALL TOP AND BOTTOM ELEVATIONS CORRESPOND TO THE RESPECTIVE GRADE ELEVATIONS ON EACH SIDE OF THE WALL.
2. THE BOTTOM ELEVATION IS THE ELEVATION OF THE LOW-GRADE SIDE OF THE WALL, NOT THE TOP ELEVATION OF THE BURIED BLOCK COURSE.
3. ALL RETAINING WALLS SHALL HAVE PROTECTIVE FENCING AT THE TOP WHERE THE VERTICAL HEIGHT EXCEEDS 30 INCHES. REFER TO ARCHITECTURAL AND LANDSCAPE PLANS AND SPECIFICATIONS.
4. MODULAR BLOCK RETAINING WALL SHALL BE DESIGNED AND CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER. DESIGN CALCULATIONS AND SHOP DRAWINGS SHALL BE SUBMITTED TO THE OWNER AND ARCHITECT PRIOR TO CONSTRUCTION OF WALL.

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Joel W. Maier
Signature
Name
04/01/2016 19181
Date License #

PROJECT:

Holy Trinity Lutheran Church Renovation

Minneapolis
Minnesota

| REVISION | Mark | Date | Description |
|----------|------|------|-------------|
| | | | |

COMM. NO.: HTL1501

DATE: APRIL 1, 2016

DRAWN:

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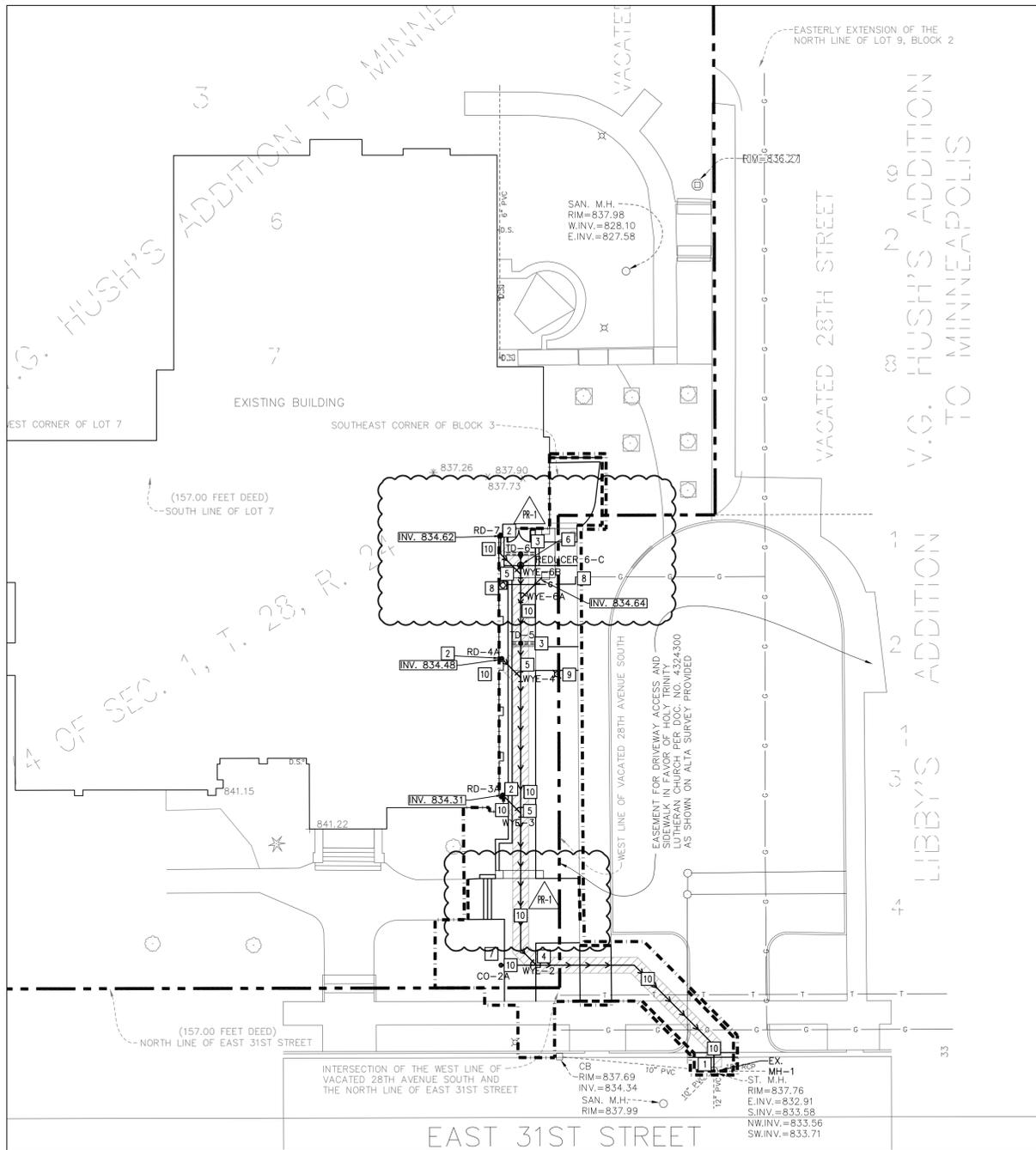
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DRAWING TITLE:

GRADING, DRAINAGE AND EROSION CONTROL PLAN

DRAWING NUMBER:

C2.0



1 UTILITY PLAN
C3.0 1"=20'

| PROPOSED PLAN SYMBOLS | | ABBREVIATIONS | |
|------------------------|-------------|---------------|---------------------------|
| CONSTRUCTION LIMITS | --- | BLDG | Building |
| PROPERTY LINE | --- | BM | Bench Mark |
| SAWCUT LINE (APPROX.) | --- | CB | Catch Basin |
| REDUCER | ● | CONC | Concrete |
| CLEANOUT | ○ | DIP | Ductile Iron Pipe |
| STORM SEWER | → | ELEV | Elevation |
| SEWER INVERT ELEVATION | INV. 834.50 | EX | Existing |
| PIPE INSULATION | ▨ | FFE | Finished Floor Elevation |
| | | HDPE | High Density Polyethylene |
| | | INV | Invert |
| | | MAX | Maximum |
| | | MH | Manhole |
| | | MIN | Minimum |
| | | PIV | Post Indicator Valve |
| | | PVC | Polyvinyl Chloride |
| | | RCP | Reinforced Concrete Pipe |
| | | RED | Reducer |
| | | RD | Roof Drain |

KEYED NOTES

- KEYED NOTES ARE DENOTED BY [NO] ON PLAN.
- 8-INCH PVC STORM SEWER SHALL CONNECT TO STORM SEWER IN EAST 31ST STREET.
 - STORM SEWER VERTICAL RISER PIPE TO CONNECT TO EXISTING ROOF DRAIN DOWNSPOUT. REFER TO DETAIL 7/CS.0.
 - POLYCAST TRENCH DRAIN WITH DG0675HD CASTING, OR EQUAL.
 - 8"x8" SEWER WYE
 - 8"x6" SEWER WYE
 - 8"x4" REDUCER. CONNECT 4" PVC TO TRENCH DRAIN.
 - INSTALL SEWER CLEAN OUT. FOLLOW ALL CITY OF MINNEAPOLIS STANDARDS AND SPECIFICATIONS. REFER TO DETAIL 2/CS.1.
 - INSTALL GAS METER AND GAS LINE. COORDINATE WITH CONTRACTOR AND GAS COMPANY PRIOR TO INSTALLATION.
 - INSTALL RELOCATED LIGHT POLE AND BASE TO WORKING ORDER. COORDINATE WITH CONTRACTOR, ELECTRIC COMPANY, AND CITY OF MINNEAPOLIS PRIOR TO INSTALLATION.
 - INSULATE PIPE TO THE EXTENTS SHOWN. REFER TO DETAIL 3/5.1.

CITY OF MINNEAPOLIS UTILITY NOTES:

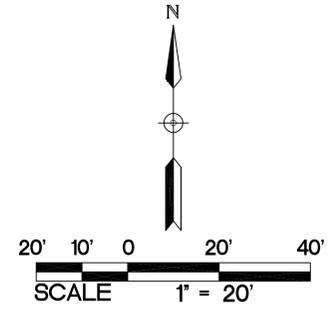
- ALL WORK DONE OUTSIDE OF THE LOT LINE ON PUBLIC RIGHT-OF-WAY MUST BE DONE BY A CONTRACTOR LICENSED TO WORK IN THE CITY OF MINNEAPOLIS WHO HAS THE \$100,000.00 SIDEWALK CONTRACTOR'S BOND ON FILE WITH THE SIDEWALK DIVISION.
- ALL UTILITIES MUST BE INSTALLED BY A MINNEAPOLIS LICENSED CONTRACTOR.

UTILITY NOTES:

- ALL SERVICE CONNECTIONS WITH LESS THEN 5 FEET OF COVER OVER THE TOP OF PIPE ARE TO BE INSULATED. INSULATION SHALL BE INSTALLED FROM THE CONNECTION OF THE SERVICE AT THE BUILDING TO THE POINT WHICH THE SERVICE ATTAINS 5 FEET OF COVER. CONTRACTOR SHALL OBTAIN WRITTEN PERMISSION FROM ARCHITECT OR ENGINEER PRIOR TO INSTALLATION OF INSULATION.
- PROTECT ALL EXISTING STRUCTURES AND UTILITIES WHICH ARE NOT SCHEDULED TO BE REMOVED.
- STORM SEWER PIPING SHALL BE POLY VINYL CHLORIDE (PVC) SDR 26, UNLESS NOTED OTHERWISE. PVC PIPE AND FITTINGS SHALL CONFORM TO THE REQUIREMENTS OF ASTM D3034.
- CONTRACTORS ARE TO COORDINATE ALL WORK WITH GAS, ELECTRIC, TELEVISION AND TELEPHONE COMPANIES PRIOR TO START OF CONSTRUCTION.
- ALL PORTIONS OF THE STORM SEWER SYSTEM LOCATED WITHIN 10- FEET OF THE BUILDING OR WATER SERVICE LINE SHALL BE TESTED IN ACCORDANCE WITH MN PLUMBING CODE.
- ALL JOINTS AND CONNECTIONS IN THE STORM SEWER SYSTEM SHALL BE GAS TIGHT OR WATER TIGHT IN ACCORDANCE TO MN PLUMBING CODE. APPROVED RESILIENT RUBBER JOINTS MUST BE USED TO MAKE WATER TIGHT CONNECTIONS TO MANHOLES, CATCH BASINS, AND OTHER STRUCTURES. GROUT RINGS ARE AN ACCEPTABLE ALTERNATIVE. CEMENT MORTAR JOINTS ARE PERMITTED ONLY FOR REPAIRS AND CONNECTIONS OF EXISTING LINES CONSTRUCTED WITH SUCH JOINTS.

STORM SEWER TABLE

| STRUCTURE IDENTIFICATION | STRUCTURE DIMENSION (INCHES) | NEENAH CASTING | TOP ELEVATION | INVERT ELEVATION | PIPE LENGTH, DIAMETER, SLOPE & NEXT UPSTREAM STRUCTURE |
|--------------------------|------------------------------|----------------|---------------|---|---|
| EX MH-1 | NA | NA | 837.76 | E. 832.91 S. 833.58 NW. 833.56 SW. 833.71 N. 833.66 | 60 L.F. OF 8" PVC PIPE @ 0.50%, WYE-2 |
| WYE-2 | 8X8 | NA | NA | E. 833.96 W. 833.96 N. 833.96 | 9 L.F. OF 8" PVC PIPE @ 0.50%, CLEANOUT 2A 40 L.F. OF 8" PVC PIPE @ 0.50%, WYE-3 |
| CO-2A | 8 | R-1970 | 838.90 | E. 834.01 | ----- |
| WYE-3 | 8X6 | NA | NA | S. 834.16 NW. 834.24 N. 834.16 | 7 L.F. OF 6" PVC PIPE @ 1.00%, RD-3A 34 L.F. OF 8" PVC PIPE @ 0.50%, WYE-4 |
| WYE-4 | 8X6 | NA | NA | S. 834.33 NW. 834.41 N. 834.33 | 7 L.F. OF 6" PVC PIPE @ 1.00%, RD-4A 9 L.F. OF 8" PVC PIPE @ 0.50%, TD-5 |
| TD-5 | 8X4 WYE WITH 4" RISER | DG0675HD | 838.58 | S. 834.38 N. 834.38 | 11 L.F. OF 8" PVC PIPE @ 0.50%, WYE-6A |
| WYE-6A | 8X4 | NA | NA | S. 834.44 NE. 834.60 N. 834.44 | 8 L.F. OF 4" PVC PIPE @ 0.50%, RD-CANOPY 6 L.F. OF 8" PVC PIPE @ 0.50%, WYE-6B |
| WYE-6B | 8X6 | NA | NA | NW. 834.55 N. 834.47 | 7 L.F. OF 6" PVC PIPE @ 1.00%, RD-6A 3 L.F. OF 8" PVC PIPE @ 0.50%, REDUCER-6B |
| REDUCER-6B | 8X4 | NA | NA | S. 834.49 N. 834.66 | 3 L.F. OF 4" PVC PIPE @ 0.50%, TD-6 |
| TD-6 | 4X4 BENDS WITH 4" RISER | DG0675HD | 837.70 | S. 834.68 | ----- |



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Signature: *Joel W. Maier*

Name: Joel W. Maier
Date: 04/01/2016 License #: 19181

PROJECT:

Holy Trinity Lutheran Church Renovation

Minneapolis Minnesota

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|---------|------------|-------------|
| Mark | Date | Description |
| PR-1 | 04/01/2016 | PR-1 |

COMM. NO.: HTL1501

DATE: APRIL 1, 2016

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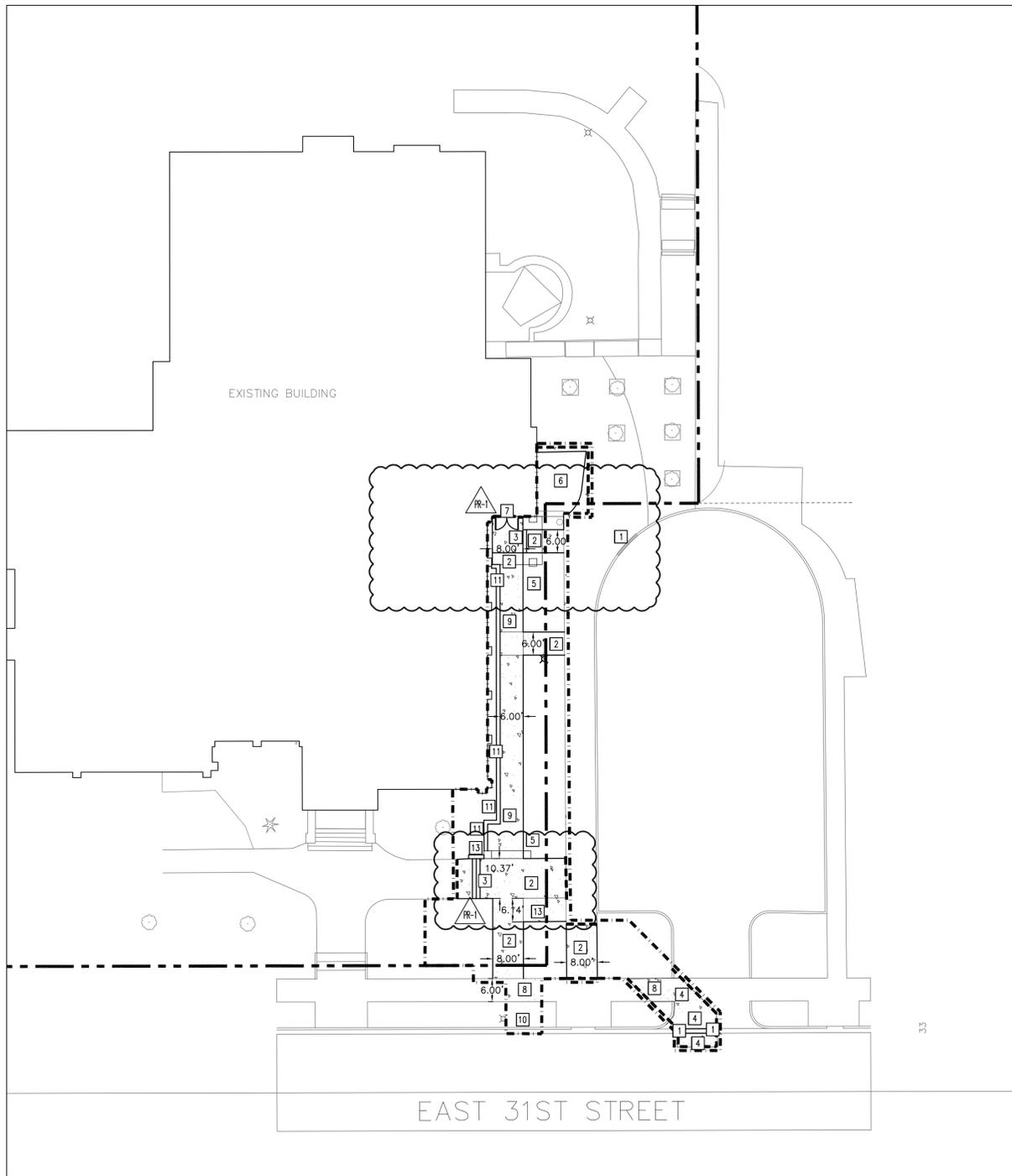
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DRAWING TITLE:

UTILITY PLAN

DRAWING NUMBER:

C3.0



1 PAVING PLAN
C4.0 1"=20'

| PROPOSED PLAN SYMBOLS | |
|----------------------------|----------|
| CONSTRUCTION LIMITS | --- |
| PROPERTY LINE | --- |
| SAWCUT LINE (APPROX.) | --- |
| BITUMINOUS PAVEMENT | [Symbol] |
| CONCRETE PAVEMENT/SIDEWALK | [Symbol] |
| PEDESTRIAN CURB RAMP | [Symbol] |

| ABBREVIATIONS | |
|---------------|--------------------------|
| BLDG | Building |
| BM | Bench Mark |
| CONC | Concrete |
| ELEV | Elevation |
| EX | Existing |
| FFE | Finished Floor Elevation |
| MAX | Maximum |
| MIN | Minimum |
| R | Radius |
| TYP. | Typical |

KEYED NOTES

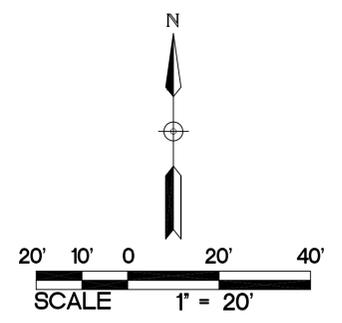
- KEYED NOTES ARE DENOTED BY [NO] ON PLAN.
- 1 LOCATION OF EXISTING PEDESTRIAN RAMP.
 - 2 INSTALL CONCRETE SIDEWALK. REFER TO DETAIL 6/C5.0.
 - 3 CONCRETE STAIRS. REFER TO DETAIL 1/C5.1 AND ARCHITECTURAL DRAWINGS.
 - 4 RESTORE CONCRETE DRIVEWAY APRON AND CONCRETE PAVEMENT IN EAST 31ST STREET PER CITY OF MINNEAPOLIS STANDARDS AND REQUIREMENTS.
 - 5 REFER TO ARCHITECTURAL DRAWINGS FOR ENTRY AND SIDEWALK CANOPIES.
 - 6 AREA SHALL BE LANDSCAPED.
 - 7 STOOP. REFER TO ARCHITECTURAL AND STRUCTURAL DRAWINGS.
 - 8 RESTORE CONCRETE SIDEWALK PER CITY OF MINNEAPOLIS STANDARDS AND REQUIREMENTS.
 - 9 6-FOOT WIDE WALK.
 - 10 INSTALL SALVAGED PARKING SIGN AND POST. FOLLOW ALL CITY OF MINNEAPOLIS STANDARDS AND REQUIREMENTS.
 - 11 MODULAR BLOCK RETAINING WALL. REFER TO ARCHITECTURAL SECTIONS AND DETAILS.
 - 12 BIKE RACK LOCATION.
 - 13 6-INCH CAST-IN-PLACE CURB.

GENERAL NOTES:

1. ALL CURB DIMENSIONS ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.
2. ALL CURB AND GUTTER IS TO BE B624 CONCRETE CURB AND GUTTER UNLESS NOTED OTHERWISE.
3. NO SIDEWALK IS TO HAVE MORE THAN A 2% CROSS SLOPE OR MORE THAN A 5% LONGITUDINAL SLOPE.
4. REFER TO ARCHITECTURAL PLANS FOR PROPOSED BUILDING ENTRY AND CANOPIES.
5. FOLLOW ALL CITY OF MINNEAPOLIS RULES, REGULATIONS AND SPECIFICATIONS WHEN WORKING IN PUBLIC RIGHT OF WAY.
6. NO PONDING OF WATER OR ABRUPT TRANSITIONS WILL BE ALLOWED WHERE NEW PAVEMENT/CURB/SIDEWALK MATCHES INTO EXISTING PAVEMENT/CURB/SIDEWALK.

PAVING NOTES:

1. REFER TO STRUCTURAL PLANS FOR STOOP DETAILS. ALL WALKS ARE TO BE CENTERED ON THE DOORS.
2. INSTALL APPROPRIATE EXPANSION MATERIAL WHERE CONCRETE IS ADJACENT TO BUILDING FACE.
3. SAWCUT AND MATCH PAVEMENT INTO EXISTING PAVEMENT. NO ABRUPT GRADE TRANSITIONS OR PONDING OF WATER WILL BE ALLOWED.
4. MATCH NEW CONCRETE CURB AND GUTTER INTO EXISTING. FOLLOW ALL CITY OF MINNEAPOLIS STANDARDS AND SPECIFICATIONS FOR CURB TYPE, MATERIAL AND INSTALLATION METHODS.
5. SAWCUT EXISTING PAVEMENT AND CURB AND GUTTER TO NEAREST JOINT. COORDINATE REMOVAL LIMITS WITH SITE DEMOLITION CONTRACTOR AND CONSTRUCTION MANAGER. FOLLOW ALL CITY OF MINNEAPOLIS REQUIREMENTS FOR TRAFFIC CONTROL.



NOTE: ALL SIDEWALK, CURB AND GUTTER, DRIVEWAY ENTRANCES, AND ALLEYS ARE TO CONSTRUCTED PER:
STANDARD SUPPLEMENTAL SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC INFRASTRUCTURE IN THE CITY OF MINNEAPOLIS 2011 EDITION
BY
DEPARTMENT OF PUBLIC WORKS
MINNEAPOLIS, MINNESOTA
FEBRUARY 1, 2011

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Joel W. Maier
Signature

Joel W. Maier
Name

04/01/2016 19181
Date License #

PROJECT:

**Holy Trinity
Lutheran
Church
Renovation**

Minneapolis
Minnesota

| REVISED | | |
|---------|------------|-------------|
| Mark | Date | Description |
| PR-1 | 04/01/2016 | PR-1 |

COMM. NO.: HTL1501

DATE: APRIL 1, 2016

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DRAWING TITLE:
PAVING PLAN

DRAWING NUMBER:

C4.0

DEMOLITION GENERAL NOTES

1. PROTECT BUILDING COMPONENTS TO REMAIN. DEMOLITION OF BUILDING ELEMENTS BEYOND WHAT IS IDENTIFIED IN THESE DRAWINGS SHALL BE REPAIRED/ REPLACED BY THE CONTRACTOR.
2. REVIEW EXISTING CONDITIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH DEMOLITION.
3. OWNER MAY WANT TO SALVAGE AND KEEP EXISTING HARDWARE, PLUMBING FIXTURES, LIGHT FIXTURES, AND OTHER MATERIALS. COORDINATE DEMOLITION WITH OWNER.
4. ADDITIONAL DEMOLITION MAY BE REQUIRED FOR REMOVAL AND INSTALLATION OF FINISHED CONSTRUCTION.

DEMOLITION KEYNOTES

- D1 REMOVE EXISTING PLUMBING FIXTURES, FLOOR AND WALL TILE, AND ACCESSORIES. REPAIR AND PREPARE SURFACES TO RECEIVE NEW FINISHES.
- D2 REMOVE EXISTING FLOOR RAMP TO ALIGN WITH LEVEL OF EXISTING ENTRY TO REMAIN
- D3 NOT USED
- D4 REMOVE EXISTING EXTERIOR DOORS AND FRAME, STONE ARCH TO REMAIN IN PLACE
- D5 REMOVE EXISTING PARTIAL HEIGHT WALL
- D6 REMOVE EXISTING RAILING
- D7 EXCAVATE - COORDINATE WITH CIVIL
- D8 REMOVE EXISTING STAIRS AND SIDEWALK
- D9 REMOVE EXISTING ROLLING STEEL FIRE DOOR
- D10 CUT NEW WINDOW OPENING IN EXISTING MASONRY WALL
- D11 REMOVE EXISTING BOULDERS AND SALVAGE FOR REINSTALLATION
- D12 REMOVE EXISTING MONUMENT SIGN
- D13 REMOVE EXISTING TILE FLOOR, PREPARE SURFACE FOR NEW FLOORING INSTALLATION
- D14 REMOVE EXISTING SLOPING CONCRETE
- D15 SHORE EXISTING WALL FOR 3000 PLF FOR NEW LINTEL PLACEMENT
- D16 STEEL BEAM, ASSUMED
- D17 2X FLOOR FRAMING SPAN
- D18 EXISTING WALL IS ASSUMED TO BE NON-LOAD BEARING. FIELD VERIFY THAT EXISTING WOOD FLOOR FRAMING IS NOT SUPPORTED BY WALL PRIOR TO DEMO. NOTIFY ENGINEER IF WALL IS SUPPORTING FLOOR LOAD.

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Name: PAUL G. MAY
Date: 1/11/2016 License #: 19503

PROJECT:

Holy Trinity Lutheran Church Renovation

Minneapolis
Minnesota

REVISED:

| Mark | Date | Description |
|--------|---------|-------------|
| 4/6/16 | PHASE 2 | |

PHASE TWO

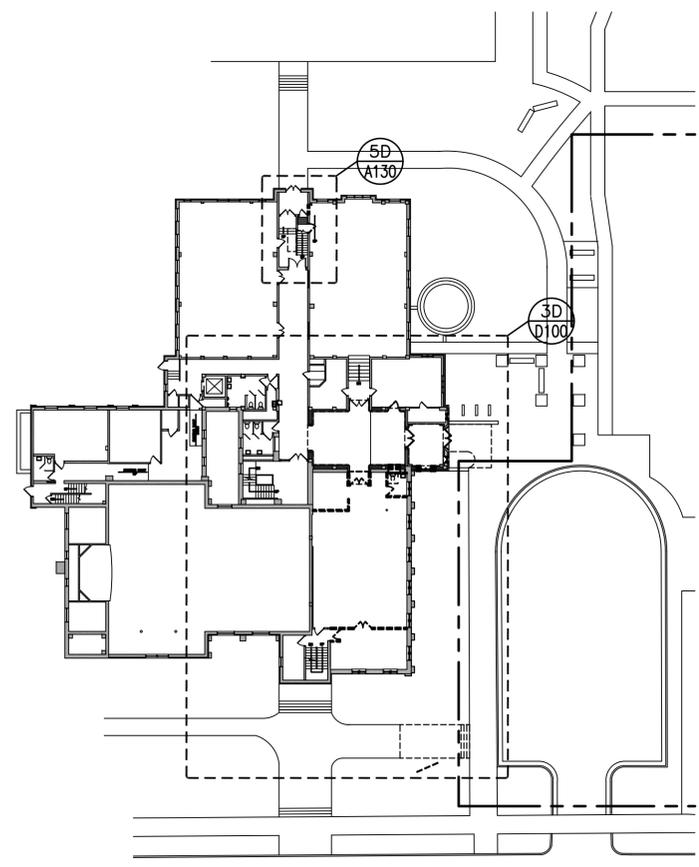
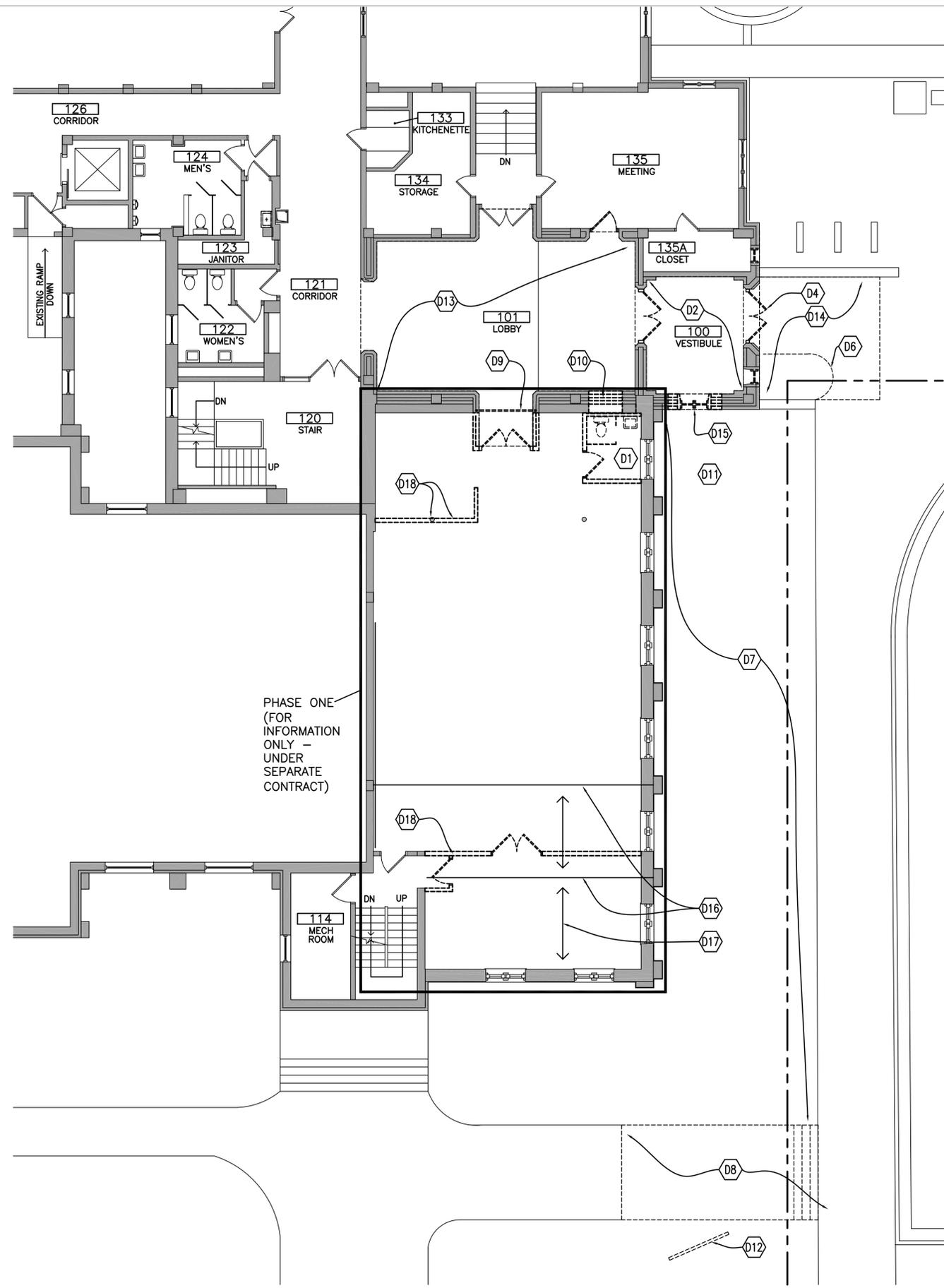
COMM. NO.: HTL1501
DATE: JANUARY 11, 2016
DRAWN: KPM, KHH
CHECKED: PGM
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DRAWING TITLE:

FIRST FLOOR
DEMOLITION AND
ENLARGED
DEMOLITION PLANS

DRAWING NUMBER:

D100



5D DEMOLITION KEY PLAN
D100 1/32" = 1'-0"

3D ENLARGED ENTRY AND ADMINISTRATION DEMOLITION PLAN
D100 1/8" = 1'-0"

KEY

- EXISTING WALL
- DEMOLITION WALL
- EXISTING DOOR
- DEMOLITION DOOR

PLAN GENERAL NOTES

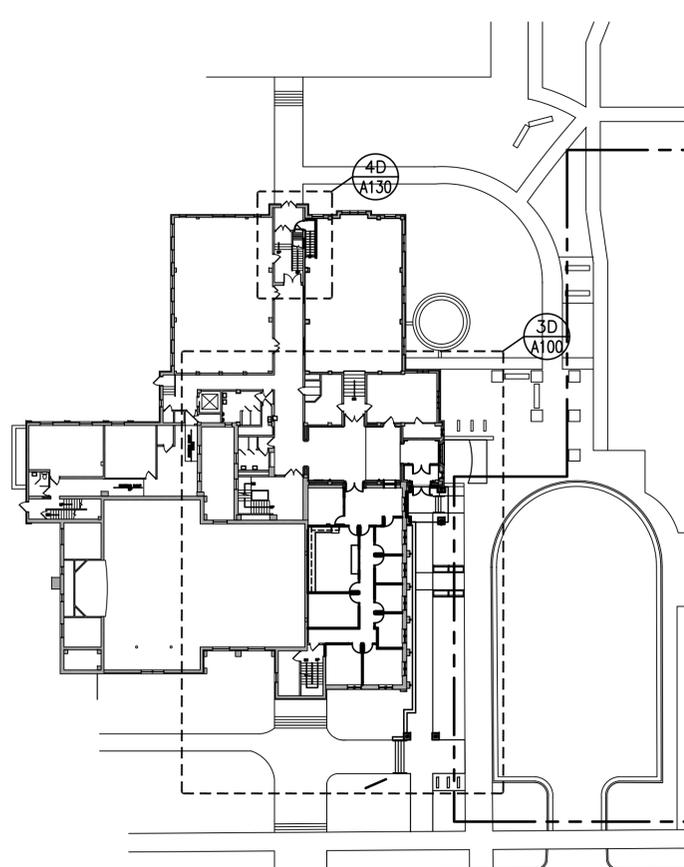
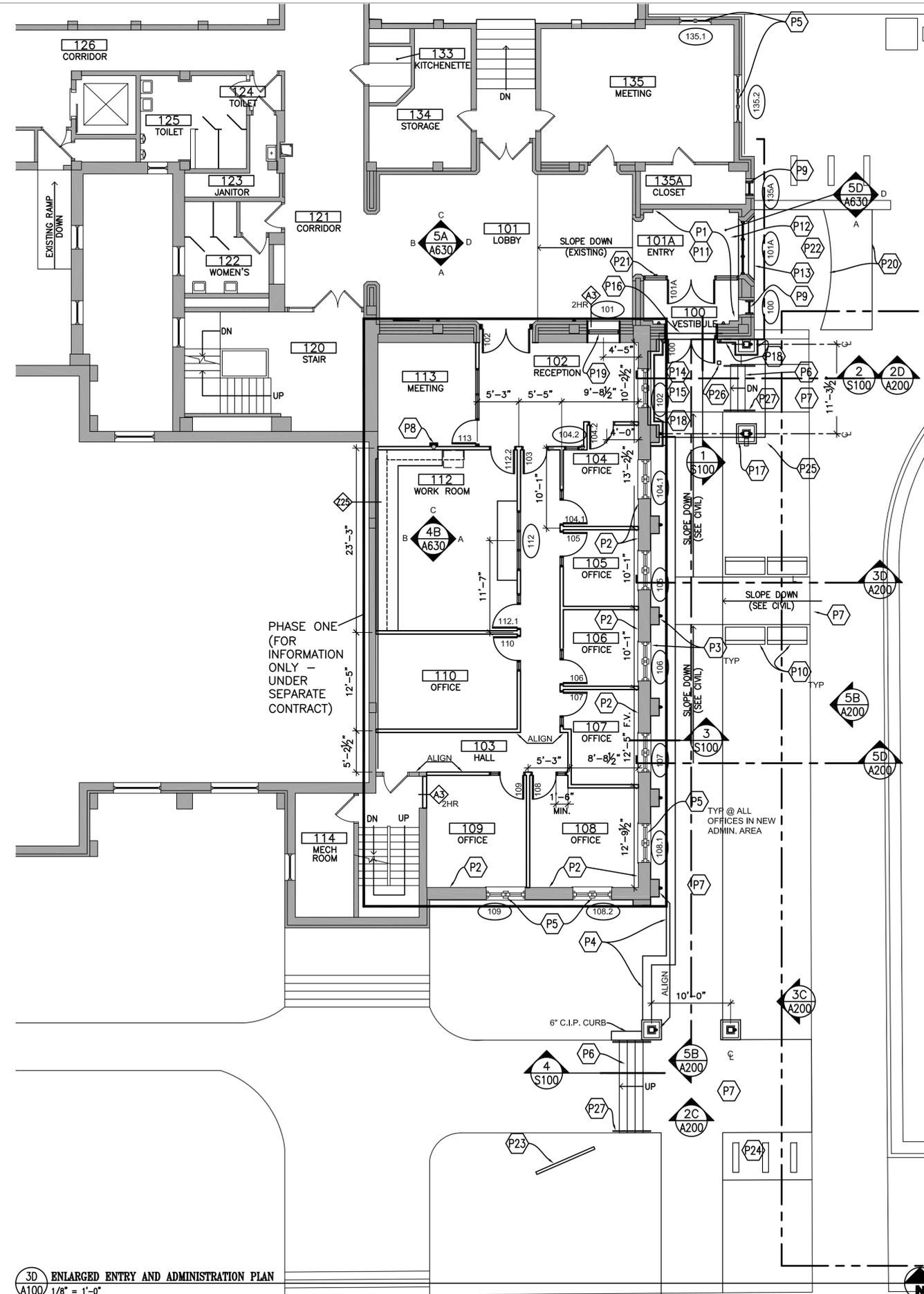
- DIMENSIONING: DIMENSIONS SHOWN TO FACE OF EXISTING WALLS AND TO CENTERLINE OF NEW WALLS U.N.O.
- SEE SHEET A500 FOR PARTITION TYPES. ALL NEW WALLS TYPE P3 UNLESS NOTED OTHERWISE. INSTALL ACOUSTIC BATT INSULATION FOR SOUND CONTROL AT ALL NEW WALLS.
- PATCH OPENINGS CREATED FOR GENERAL, MECHANICAL, ELECTRICAL, PLUMBING, OR STRUCTURAL WORK. WHERE EXPOSED, PATCH SHALL MATCH EXISTING ADJACENT MATERIALS AND CONFORM TO CODE REQUIREMENTS.
- SEE CIVIL FOR ADDITIONAL SITE WORK.

PLAN KEYNOTES

- (P1) INFILL FLOOR, ALIGN WITH LEVEL OF ADJACENT FLOOR
- (P2) PATCH AND REPAIR WALL WHERE EXISTING MECHANICAL EQUIPMENT WAS REMOVED
- (P3) FLUID-APPLIED WATERPROOFING AT EXCAVATED AREA
- (P4) DRYSTACK STONE RETAINING WALL - INSTALL PER MANUFACTURER INSTRUCTIONS, INCLUDE DRAINAGE SYSTEM
- (P5) REPLACE GLASS AT WINDOWS
- (P6) STAIRS
- (P7) SIDEWALK - SEE CIVIL
- (P8) GYP BD ENCLOSURE AROUND EXISTING AND/OR NEW COLUMNS
- (P9) REPLACE WINDOW IN EXISTING MASONRY OPENING
- (P10) 60" TEAK BENCHES (4 TOTAL) - SELECTED BY OWNER - ANCHOR INTO GROUND
- (P11) 4" SLAB ON GRADE WITH 1.5 LB/CUBIC YARD POLYPROPYLENE FIBERS (WHERE EXISTING SLAB IS BEING REMOVED) - SAND BED AND V.B.
- (P12) INFILL EXISTING TUNNEL WITH SAND OR CELLULAR CONCRETE - ASSUME 3'X3' BY 20 LINEAL FEET OF INFILL
- (P13) 8" CMU WITH #5@24" O.C. VERT UP TO NEW WINDOW SILL. DRILL AND ADHESIVE VERTS 8" INTO EXISTING FOUNDATION WALL
- (P14) MASONRY STOOP FOUNDATION WALLS AND 16" WIDE X 12" THICK FOOTING
- (P15) 4" CONCRETE STOOP SLAB ON GRADE - SEE DETAIL 1/S100
- (P16) LINTEL IN EXISTING NON-LOAD BEARING WALL W16X26
- (P17) COLUMN AND BASE:
 - 36" DIA. X 5'-0" DEEP DRILLED PIER WITH 8-#7 VERT AND #4 TIES 16" O.C.
 - 24" X 24" CONCRETE BASE - 6" THICK WALLS WITH #4 HORIZONTAL AND VERTICALS 12" O.C., EPOXY COATED
 - 8"X8" WOOD COLUMN - WESTERN CEDAR NO.2 - EMBEDDED IN CONCRETE 5'-0" ABOVE, EPOXY COAT REINFORCEMENT, TYPICAL
- (P18) VENEER WALL WATER TABLE AND CAP - TIE TO EXISTING FOUNDATION WALL FOR SUPPORT
- (P19) RATED GLAZING IN 2-HR WALL
- (P20) RADIUS EDGE AT LANDSCAPE BED; INFILL CONCRETE PAVING AT REMAINDER OF EXCAVATED AREA
- (P21) HANDICAP DOOR ACTIVATION PUSH BUTTON
- (P22) SALVAGE BOULDERS AND RELOCATED TO LANDSCAPE BED
- (P23) NEW MONUMENT SIGN - COORDINATE LOCATION WITH OWNER
- (P24) BIKE RACKS (3 TOTAL) ON CONCRETE SLAB - MATCH EXISTING. COORDINATE LOCATION WITH OWNER
- (P25) DOWNSPOUT - TIE TO STORM SEWER
- (P26) HANDICAP DOOR ACTIVATION PUSH BUTTON ON 42" H BOLLARD
- (P27) GALVANIZED STEEL HANDRAILS - POWDER COAT PAINTED

KEY

- EXISTING WALL
- NEW WALL
- PARTITION TYPE
- EXISTING DOOR
- NEW DOOR



5D KEY PLAN
A100 1/32" = 1'-0"

3D ENLARGED ENTRY AND ADMINISTRATION PLAN
A100 1/8" = 1'-0"

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

Signature: *Paul G. May*
Name: PAUL G. MAY
Date: 1/11/2016 License #: 19503

PROJECT:

Holy Trinity Lutheran Church Renovation

Minneapolis Minnesota

REVISED:
Mark Date Description
4/6/16 PHASE 2

PHASE TWO

COMM. NO.: HTL1501

DATE: JANUARY 11, 2016

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DRAWING TITLE:

FIRST FLOOR PLAN AND ENLARGED PLANS

DRAWING NUMBER:

A100

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

Signature: *Paul G. May*
Name: PAUL G. MAY
Date: 1/11/2016 License #: 19503

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| Mark | Date | Description |
|------|--------|-------------|
| | 4/6/16 | PHASE 2 |

PHASE TWO

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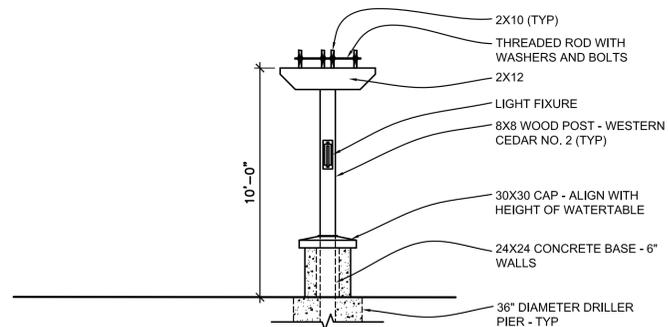
ELEVATIONS

DRAWING NUMBER:

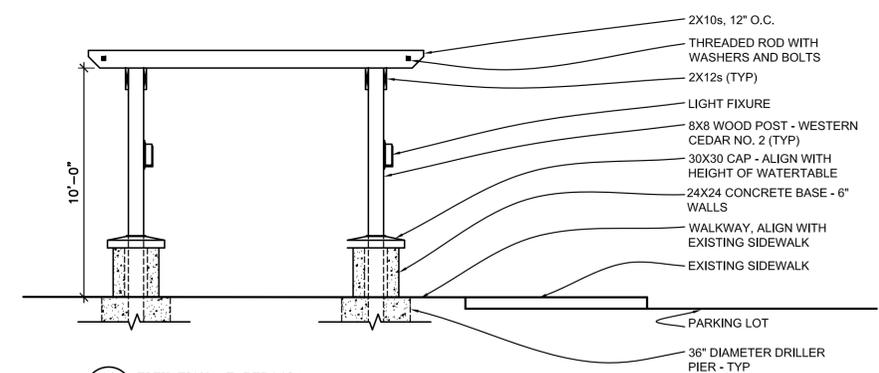
A200



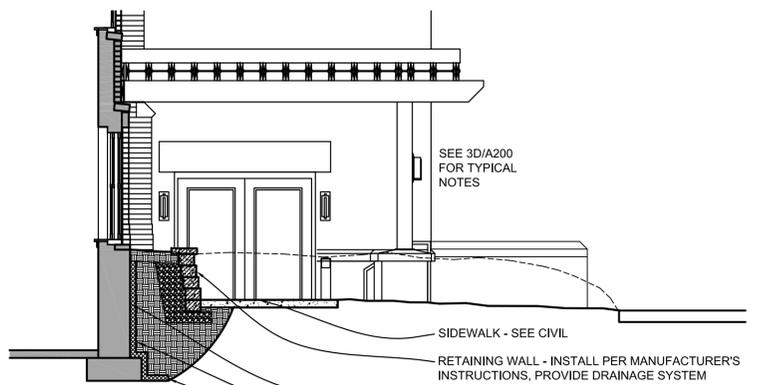
5B EAST ELEVATION AT ENTRY
A200 1/4" = 1'-0"



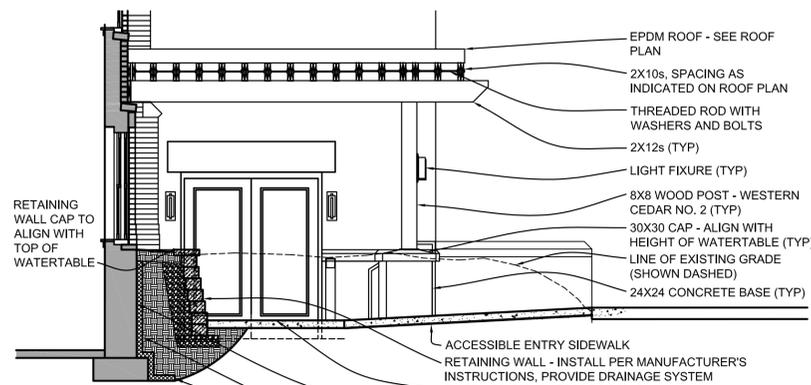
3C ELEVATION AT PERGOLA
A200 1/4" = 1'-0"



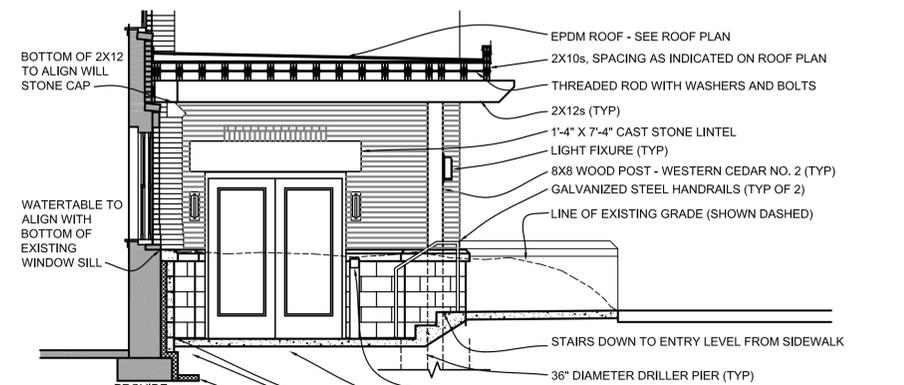
2C ELEVATION AT PERGOLA
A200 1/4" = 1'-0"



5D SECTION/ELEVATION AT ENTRY
A200 1/4" = 1'-0"



3D SECTION/ELEVATION AT ENTRY
A200 1/4" = 1'-0"



2D SECTION/ELEVATION AT ENTRY
A200 1/4" = 1'-0"



