

LAND USE APPLICATION SUMMARY

Property Location: 915 West Broadway
Project Name: Brix Grocery and Deli
Prepared By: Aaron Hanauer, Senior City Planner, (612) 673-2494
Applicant: Nadar H Abu-Ammo
Project Contact: George S. Barr
Request: To allow for the construction of a mixed-use building with grocery store and three residential units.

Required Applications:

Variance	Variance to reduce the interior side yard setback from seven feet to 0 feet along the western interior side property line.
Variance	Variance to reduce the minimum required parking from three spaces to zero spaces.
Site Plan Review	To allow for the construction of a mixed-use building with grocery store and three residential units.

SITE DATA

Existing Zoning	CI/Neighborhood Commercial District WB/West Broadway Overlay District
Lot Area	4,847 square feet / 0.11 acres
Ward(s)	5
Neighborhood(s)	Near North; adjacent to Hawthorne
Designated Future Land Use	Urban Neighborhood
Land Use Features	Commercial Corridor (West Broadway)
Small Area Plan(s)	<u>West Broadway Alive! Plan (2008)</u>

Date Application Deemed Complete	June 2, 2016	Date Extension Letter Sent	N/A
End of 60-Day Decision Period	August 1, 2016	End of 120-Day Decision Period	N/A

BACKGROUND

SITE DESCRIPTION AND PRESENT USE.

The subject site is currently vacant. In April 2015, a fire took place that led to the demolition of the late 19th century, two-story building on the subject property and three other building along West Broadway (905-913 West Broadway). The former building on the subject property was a mixed-use building with Brix Grocery and Meat on the first floor and four dwelling units on the second floor.

SURROUNDING PROPERTIES AND NEIGHBORHOOD.

Prior to the building fire, the West Broadway southern block face between Bryant Avenue North and Dupont Avenue North was a continuous building wall of nine buildings. All of these parcels are zoned C1. These commercial properties along the south side of West Broadway are separated from the low-density residential structures to the south by an east-west public alley and a slim surface parking lot that runs the length of the block. The surface parking lots are owned by the City of Minneapolis and are for the parking of the commercial and mixed-use structures along West Broadway. There is no formal agreement with the businesses in terms of having rights to the parking spaces. The parking spaces are zoned R4/Multiple-Family Residential and have a Transitional Parking Overlay District. The low-density residential structures to the south of the alley are zoned R2B.

PROJECT DESCRIPTION.

The applicant is proposing to rebuild a two-story, mixed-use building with a grocery store on the first floor and three residential units on the second floor. The building would be built to within a foot of the eastern and western interior property lines. Behind the building, the applicant is proposing an outdoor space for the residential units.

Redevelopment plans for the neighboring buildings that were destroyed by the fire have not been submitted for land use approval.

PUBLIC COMMENTS. As of the publication of the staff report on June 21, 2016, no public comments have been received. Any correspondence received after the publication of the staff report but prior to the public meeting will be forwarded on to the Planning Commission for consideration.

ANALYSIS

VARIANCE-SETBACK

The Department of Community Planning and Economic Development has analyzed the application for a variance to reduce the interior setback along the western interior side property line from 7 feet to 0 feet based on the following findings:

- 1. Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

The applicant is proposing to have the new building (both floors) within a foot of the eastern and western property lines. Per Section 548.140-Yard requirements, the project requires an interior side yard setback along the western property line of seven feet given that the neighboring building to the west contains two residential units on the upper floor.

As recognized by the *West Broadway Alive!* Plan, the project site is unique in that it is located within the commercial core of West Broadway. It is typical for the buildings within the commercial core of West Broadway to be late 19th century buildings and to have a continuous building wall (i.e. from side lot line to side line) for all building floors. The applicant is proposing to rebuild the building that was destroyed by a fire to be similar to what was previously there and consistent with the neighboring buildings. In addition, at 4,847 square feet, the subject property is smaller than a typical commercial lot in Minneapolis which is commonly 5,000 square feet or greater.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The property owner is proposing to use the property in a reasonable manner that will be keeping with the spirit and intent of the ordinance and the comprehensive plan. The intent of the interior setback requirement is to minimize conflict among the land uses and to buffer residential uses from adjacent commercial uses and to ensure access to light and air for the residential units.

The proposed building will have similar uses as the neighboring buildings along this stretch of West Broadway; a commercial storefront with residential units above. Therefore, it is not anticipated that the rebuilding of the subject building will have any conflict among land uses. Even though the sides of the building will not have windows (and access to light and air), the residential units above will have ample access to light and air with the proposed fenestration on the front and rear elevations that exceed 20 percent window coverage.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

Granting the proposed variance will not alter the essential character of the locality or be injurious to the use and enjoyment of other property in the vicinity. In addition, granting of the variance will not be detrimental to the health, safety, and welfare of the general public or those utilizing the property or nearby properties. Historically, buildings along this stretch of West Broadway were built out to the interior side property lines which typically created a continuous building wall. Granting of the proposed variance will allow the proposed building to better relate to the neighboring historic character and allow for a continuous building wall which is recognized as a positive urban design characteristic for commercial corridors. It should also be noted that there are no windows on the adjacent wall of the 919 West Broadway building that face the shared lot line.

VARIANCE-PARKING SPACES

The Department of Community Planning and Economic Development has analyzed the application for a variance to reduce the minimum required parking from three spaces to zero spaces, based on the following findings:

1. *Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone.*

The applicant is not proposing to provide onsite parking for either the residential or grocery store component of the project. Given the proximity to transit, the residential portion of the project does not have an off-street parking requirement. As outlined in Table 541-I, a grocery store greater than 1,000 square feet but less than 4,000 sq. ft. requires four off-street parking spaces. The proposed grocery store is 2,676 square feet. Therefore, the proposed grocery store requires four spaces. Per

Section 541.220-Bicycle incentive, the minimum automobile parking requirement for each non-residential use may be reduced ten (10) percent or one (1) space, whichever is greater, where bicycle parking spaces are provided equal to twenty-five (25) percent of the number of required automobile spaces specified in Table 541-1. Therefore, the applicant is able to reduce the required off-street parking for the grocery store (and the entire project) from four spaces to three spaces by providing four bicycle parking spaces for the grocery store.

Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently having an interest in the property and are not based on economic considerations alone. The subject property, which is 4,847 square feet, is smaller than a typical commercial lot in Minneapolis which is typically 5,000 square feet or greater. The limited lot area reduces the opportunities to provide off-street parking that meets all zoning requirements such as maneuvering onsite and landscaped yards.

2. *The property owner or authorized applicant proposes to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.*

The property owner is proposing to use the property in a reasonable manner that will be keeping with the spirit and intent of the ordinance and the comprehensive plan. The intent of the off-street parking regulations are to establish off-street parking requirements that can help reduce traffic and congestions, while also recognizing that providing off-street parking can conflict with mass transit, land use, urban design, and sustainability goals when.

The applicant is proposing to rebuild a building that was destroyed by a fire. The previous building and site did not have off-street parking. To help encourage alternative modes of transportation, which is encouraged by the comprehensive plan, the applicant is proposing to provide more bike parking than is required (providing eight bike parking spaces while only three spaces are required). It should also be noted that the subject site and surrounding area is well served by mass transit and that the project site will maintain having access to the surface parking lots behind the building at 1838 Dupont North and 1839 Bryant Avenue North. Furthermore, the applicant is proposing to provide a quality outdoor green space for the residents that will also serve as a good transition between the proposed mixed use building and the low-density residential uses to the south. As a condition of approval, the applicant shall provide a total of eight bike parking spaces as shown on the submitted site plan.

3. *The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties.*

The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby properties. The proposed development is located along a commercial corridor, which encourages mixed-use development like the proposed project. In addition, the subject site is located near high frequency transit which provides transportation alternatives. Furthermore, the proposed development with three residential units and a 2,676 square foot grocery store is smaller compared to typical mixed-use development projects in the area and throughout the city.

It should be noted that if the applicant did provide off-street parking at the back of the lot there is a strong likelihood that they would not be able to provide the required amount of off-street parking and would also require a variance to allow for vehicles to maneuver in the alley.

SITE PLAN REVIEW

The Department of Community Planning and Economic Development has analyzed the application based on the required [findings](#) and [applicable standards](#) in the site plan review chapter:

I. Conformance to all applicable standards of Chapter 530, Site Plan Review.

BUILDING PLACEMENT AND DESIGN

Building placement – Meets requirements

- The first floor of the building is located within eight feet of the front lot line along West Broadway.
- The placement of the building reinforces the street wall with its proximity to West Broadway, maximizes natural surveillance and visibility with the large amount of glazing on the elevations, and facilitates pedestrian access and circulation with entrances that lead directly to West Broadway.
- The area between the building and the front lot line are required to include amenities such as landscaping, tables and seating. However, a majority of the proposed building is located at the front property line. The only portions of the building that are not at the front property line are the recessed building entrances.
- There is no proposed onsite accessory parking.

Principal entrances – Meets requirements

- The building is oriented so that at least one principal entrance faces the front property line rather than the interior of the site. There are two proposed entrances that face West Broadway: one for the commercial storefront and another for the residential units.
- The two entrances on West Broadway are clearly defined and emphasized through the use of architectural details. The commercial storefront entrance is proposed to have a fabric awning and external lighting. The residential entrance will have a brick soldier course above and canned lighting within the ceiling of the recessed opening.

Visual interest – Requires alternative compliance

- The building walls include architectural detail that will create visual interest including a face brick soldier course cornice, window sills and lintels, large storefront windows, and a fabric awning,
- The east and west elevations are proposed to have blank, uninterrupted walls exceeding 25 feet in length. Alternative compliance is required.

Exterior materials – Requires alternative compliance

- The proposed exterior materials are durable. The applicant is proposing to use brick, concrete masonry units (CMU) and stucco.
- The front and rear elevations are in compliance with the percentage of exterior material allowed as outlined in the [Guide to Exterior Building Walls and Materials](#). However, the east and west elevation are not in compliance with the percentage of exterior materials allowed. Alternative compliance is required (see Table I).
- The proposed building will not have more than three exterior materials on each elevation excluding windows, doors, accent materials and foundation materials (see Table I).
- Plain face concrete block is not proposed along any public streets, sidewalks, or adjacent to a residence or office residence district.
- The exterior materials and appearance of the rear and side walls of the building are not fully compatible with the front of the building. Alternative compliance is required.

Table 1. Percentage of Exterior Materials per Elevation

Material	Allowed Max	North	South	East	West
Brick (face)	100%	60%	--	2%	2%
Stucco	75%	--	70%	--	--
Tinted red CMU	N/A	--	--	98%	98%

Windows – Meets requirements

- The front elevation is the only elevation that is required to meet a minimum percentage of windows. The side and rear elevations are not required to meet a minimum percentage requirement as they do not face a public street, public sidewalk, public pathway, or onsite parking lot.
- Chapter 530-Site plan review requires that no less than 30 percent of the walls on the first floor for nonresidential uses that face a public street are windows measured between two (2) and ten (10) feet above the adjacent grade. In order to be counted, the bottom of any window used to satisfy the ground floor window requirement may not be more than four (4) feet above the adjacent grade. The applicant is proposing 34 percent window coverage that meets these measurement requirements (see Table 2).
- The West Broadway Overlay District requires that at least forty (40) percent of the first floor façade of any nonresidential use that faces a public street shall be windows or doors of clear or lightly tinted glass that allow views into and out of the building at eye level. Windows shall be distributed in a more or less even manner. Minimum window area shall be measured between the height of two (2) feet and ten (10) feet above the finished level of the first floor. When including the glazing within windows and doors, the first floor would have 43 percent glazing coverage.
- The windows on the first floor meet the requirements outlined in Section 530.120 as they are vertical in proportion, and distributed in a more or less even manner.
- As a condition of approval, the first floor windows shall have clear or lightly tinted glass with a visible light transmittance ratio of six-tenths (0.6) or higher and shall allow views into and out of the building at eye level. In addition, shelving, mechanical equipment or other similar fixtures shall not block views into and out of the building in the area between four (4) and seven (7) feet above the adjacent grade that are required to meet the minimum window area percentages.
- No less than ten percent of the walls on each floor above the first that face a public street shall be windows measured between the upper surface of a floor and the upper surface of the floor above. As proposed, the project will have approximately 28 percent window coverage on the second floor of the West Broadway elevation.

Table 2. Percentage of Windows per Applicable Elevation

	Code Requirement		Proposed	
Residential Uses				
2nd floor (West Broadway)	10% minimum	40 sq. ft.	28%	109 sq. ft.
Nonresidential Uses				
1st floor (West Broadway) Chapter 530 calculation	30% minimum	103 sq. ft.	34%	116 sq. ft.
1st floor (West Broadway)	40% minimum	138 sq. ft.	43%	149 sq. ft.

Broadway)- Chapter 551 calculation				
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Ground floor active functions – Meets requirements

- There will not be any parking, loading, storage, or mechanical equipment rooms along the linear building frontage along West Broadway. Therefore, the proposed building will have 100 percent active functions facing a public street.

Roof line – Meets requirements

- The principal roof line of the building will be flat, which is similar to that of surrounding buildings facing West Broadway.

Parking garages – Not applicable

- There is not a parking garage proposed as part of this project.

ACCESS AND CIRCULATION

Pedestrian access – Meets requirements

- There are clear and well-lit walkways at least four feet in width connecting the two building entrances to the adjacent public sidewalk along West Broadway. The entrance/exit at the rear of the building also has a walkway that is at least four feet in width connecting the entrance/exit point to the public alley.

Transit access – Not applicable

- No transit shelters exist in front of the development or are proposed as part of the new development.

Vehicular access – Meets requirements

- The project site does not have onsite parking. There is a surface parking lot at 1838 Dupont Avenue North and 1839 Bryant Avenue North that that are owned by the City of Minneapolis. The spaces within these parking lots are for the businesses along West Broadway, including the subject property. It is likely that tenants and the proposed grocery store will continue to use these parking spaces.
- There are no new curb cuts proposed for the redevelopment.
- The project site is adjacent to an east-west alley. The alley separates the buildings along West Broadway from small surface parking lots to the south (1838 Dupont Avenue North and 1839 Bryant Avenue North) that is used for the commercial businesses along West Broadway. To the south of the surface parking lot are low density residential uses. The applicant’s proposal will not include one of the prohibited uses in Section 530.150-Vehicular access. The proposed grocery store will be 2,676 square feet, which is below the maximum 4,000 square foot non-residential use allowance.
- As required by Section 530.150, access for service vehicles shall be provided which does not conflict with pedestrian traffic. Where practical, truck loading areas shall be located away from residence and office residence districts. The applicant is proposing to have off-site loading take place in the public alley behind the subject property. The offsite loading area will be separated from residential uses to the south by a surface parking lot.

- The proposed site plan minimizes the use of impervious surfaces. The applicant is proposing to exceed the minimum percentage of onsite landscaping required (see Table 3).

LANDSCAPING AND SCREENING

General landscaping and screening – Meets requirements

- The overall composition and location of landscaped areas complement the scale of development and its surroundings. The proposed landscaping at the back of the lot will help serve as a good transition from the commercial properties along West Broadway to the low-density residential properties to the south.
- At least 20 percent of the site not occupied by the building is landscaped. The applicant is proposing approximately 648 square feet of landscaping on site, or approximately 49 percent of the site not occupied by buildings (see Table 3).
- The applicant is proposing one canopy tree per 500 square feet of the required landscaped area, including all required landscaped yards. The tree requirement for the site is 1 canopy tree and the applicant is proposing a total of 1 canopy tree.
- The applicant is proposing at least one shrub per 100 square feet of the required landscaped area, including all required landscaped yards. The shrub requirement for the site is 3 and the applicant is proposing 7 shrubs.
- As a condition of approval, the required landscaped area shall be covered with turf grass, native grasses, perennial flowering plants, vines, shrubs and other trees. In addition, the plant materials, and installation and maintenance of the plant materials, shall comply with sections 530.200 and 530.210 of the zoning code.

Table 3. Landscaping and Screening Requirements

	Code Requirement	Proposed
Lot Area	--	4,847 sq. ft.
Building Footprint	--	3,529 sq. ft.
Remaining Lot Area	--	1,318 sq. ft.
Landscaping Required	264 sq. ft.	648 sq. ft.
Canopy Trees (1:500 sq. ft.)	1 tree	1 tree
Shrubs (1:100 sq. ft.)	3 shrubs	7 shrubs

Parking and loading landscaping and screening – Not applicable

- There is no onsite surface parking proposed on the project site.

ADDITIONAL STANDARDS

Concrete curbs and wheel stops – Not applicable

- There is no onsite surface parking proposed on the project site.

Site context – Meets requirements

- Important elements of the city [such as parks, greenways, significant buildings, and water bodies] near the site will not be obstructed by the proposed building.
- This building will have minimal shadowing effects on public spaces and adjacent properties.

- This building is two stories and will not have an impact on wind currents at ground level.

Crime prevention through environmental design – Meets requirements

- The site plan employs best practices to increase natural surveillance and visibility, to control and guide movement on the site, and to distinguish between public and non-public spaces.
- The proposed site, landscaping, and building promote natural observation and maximize the opportunities for people to observe adjacent spaces and public sidewalks.
- As shown, the project is proposing lighting on site, and at all building entrances that will likely maintain a minimum acceptable level of security. The applicant is proposing recessed canned lighting above the residential and commercial entrance on West Broadway and a fully cutoff wallpack at the rear entrance of the property.
- The landscaping, walkways, lighting, and building features are located to clearly guide pedestrian movement on or through the site and to control and restrict people to appropriate locations.
- The entrances, exits, signs, landscaping, and lighting are located to distinguish between public and private areas, to control access, and to guide people coming to and going from the site.

Historic preservation – Meets requirements

- This site is neither historically designated nor is it located in a historic district.

2. Conformance with all applicable regulations of the zoning ordinance.

The proposed grocery store and residential uses are permitted in the C1/Neighborhood Commercial District.

Off-street Parking and Loading – Requires variance(s)

- The residential portion of the project does not require any off-street parking spaces. Typically the off-street requirement is one space per dwelling unit requirement. However, per Section 541.200-Transit incentives, developments between 3 and 50 units within one-quarter (1/4) mile of a bus transit stop with midday service headways of fifteen (15) minutes or less are not required to provide off-street parking spaces. The subject property qualifies for this incentive as the development is 620 feet (0.12 miles) away from a qualifying bus stop (Stop number 43275 at Emerson Avenue North and West Broadway). As outlined in Table 541-1, a grocery store greater than 1,000 square feet but less than 4,000 sq. ft. requires four off-street parking spaces. The proposed grocery store is 2,676 square feet. (see Table 4). Therefore, the proposed grocery store requires four spaces. However, per Section 541.220-Bicycle incentive, the minimum automobile parking requirement for each non-residential use may be reduced ten (10) percent or one (1) space, whichever is greater, where bicycle parking spaces are provided equal to twenty-five (25) percent of the number of required automobile spaces specified in Table 541-1. Therefore, the applicant is able to reduce the required off-street parking for the grocery store (and the entire project) from four spaces to three spaces by providing four bicycle parking spaces for the grocery store. A variance is still required since the applicant is not proposing to provide any off-street parking.
- There is no maximum off-street parking requirement for the residential units with the exception of not allowing more than two surface vehicle parking spaces per dwelling unit (541.450-Maximum number of vehicles for dwellings). The maximum off-street parking requirement for a grocery store is 1 space per 200 sq. ft. of GFA. Therefore, the proposed 2,676 square foot grocery store has a maximum off-street parking requirement of 13 spaces.
- There is not a bicycle parking requirement for the three residential units. Since the grocery store has less than 5,000 square feet, it has a minimum bicycle parking requirement of 3 spaces. The

applicant is proposing four bike parking spaces near the main entrance along West Broadway and four bike parking spaces for the residential units at the back of the lot (see Table 5). As outlined in Section 541.180-Bicycle parking, (50) percent of the required bicycle parking for the grocery store shall meet the standards for short-term bicycle parking. Required short-term bicycle parking spaces shall be located in a convenient and visible area within fifty (50) feet of a principal entrance and shall permit the locking of the bicycle frame and one (1) wheel to the rack and shall support a bicycle in a stable position without damage to the wheels, frame or components. With the permission of the city engineer, required bicycle parking may be located in the public right-of-way. All of the proposed bike parking spaces for the grocery store will meet the short term parking requirement.

- Neither the three residential units nor the 2,648 square foot grocery store have an off-street loading requirement (see Table 6).

Table 4. Vehicle Parking Requirements Per Use (Chapter 541)

Use	Minimum	Reductions	Total with Reductions	Maximum Allowed	Proposed
Grocery store	4	1	3	13	0
Residential Dwellings	3	Transit Incentives (3)	0	N/A	0
	--	--	3	13	0

Table 5. Bicycle Parking Requirements (Chapter 541)

Use	Minimum	Short-Term	Long-Term	Proposed
Grocery store	3	Not less than 50%	--	4 short term
Residential Dwellings	0	--	--	4 short term

Table 6. Loading Requirements (Chapter 541)

Use	Loading Requirement	Minimum Requirement	Proposed
Grocery store	High	0	0
Residential Dwellings	Low	0	0

Building Bulk and Height – Meets requirements

- The project is within the West Broadway Overlay District. New development in commercial zoning districts in the West Broadway Overlay District are subject to a minimum floor area ratio of 1.0. The proposed development has a floor area ratio of 1.4 (see Table 7 below)
- The maximum floor area allowed in the C1 zoning district is 1.7. However, the project qualifies for a 20 percent density bonus as the project is a mixed-use building with residential units above a ground floor in which at least 50 percent of the gross floor area is devoted to commercial uses. With the bonus, the maximum floor area ratio is 2.04. The proposed project has a floor area ratio of 1.4 (see Table 7).
- The maximum height of all principal structures located in the C1 District shall be two and one-half (2.5) stories. The proposed building is two stories.
- The flat roof building is 26.1 feet tall as defined by the Minneapolis zoning code, which is below the 35-foot height requirement allowance in the C1 zoning district. The natural grade 10 feet from the center of the building is 854.42 feet above sea level. The top of the first floor slab is 854.5 feet

above sea level. The height of the building from the first floor slab to the top of the roof is 26.1 feet (880.5). Since the parapet is less than three feet in height it is not included in the height calculation (548.100-Height).

Table 7. Building Bulk and Height Requirements

	Code Requirement	Proposed
Lot Area	--	4,874 sq. ft. / 0.11 acres
Gross Floor Area	--	6,704 sq. ft.
Floor Area Ratio (Minimum)	1.0	1.4
Floor Area Ratio (Maximum)	2.04	
Building Height (Maximum)	2.5 stories or 35 feet, whichever is less	26.1 ft.

Lot Requirements – Meets requirements

- The proposed project has three residential dwelling units. Given the size of the lot (4,874 square feet), the proposed development would have a density equivalent to 27 dwelling units per acre.
- There is not a minimum lot area or lot width requirement for a mixed-use building or a grocery store in the CI zoning district.
- There is neither a maximum impervious surface area nor a lot coverage allowance in the CI zoning district.

Table 8. Lot Requirements Summary

	Code Requirement	Proposed
Dwelling Units (DU)	--	3 DUs
Density (DU/acre)	--	27 DU/acre

Yard Requirements – Requires variance(s)

- In general, uses located in the commercial districts are not subject to minimum yard requirements.
- Given that the proposed development will not have a residential use on the first floor and the neighboring properties along West Broadway that are commercially zoned do not have a residential use on the first floor, there is no front or side yard setback for the first floor of the proposed development (see Table 9).
- The second floor is subject to a seven foot setback on the western interior side yard and rear (Table 548-3). The applicant is proposing to have the building setback less than one foot from the side property lines. A variance is required.

Table 9. Minimum Yard Requirements

Setback	Zoning District	Overriding Regulations	Total Requirement	Proposed
Front (North)	0 ft.	--	0 ft.	0 ft.
Interior Side (East)	0 ft.	0 ft.	0 ft.	0 ft.
Interior Side	0 ft.	7 ft.	7 ft.	0 ft.

(West)				
Rear (South)	0 ft.	0 ft.	0 ft. first floor 7 feet second floor	8.6 ft. (entire building)

Signs – Not applicable

- The applicant did not submit sign plans to be reviewed as part of this application. The applicant will be required to submit a separate sign permit application for any signage that is proposed showing that is in compliance with Chapter 543, On-Premise Signs.

Screening of Mechanical Equipment – Meets requirements

- All mechanical equipment will be enclosed within the building and therefore meets the requirements of Section 535.70-Screening of mechanical equipment. The applicant is proposing to have gas meters located within the recessed entrance along West Broadway due to Center Point Energy requirements. CPED highly encourages the applicant to continue conversations with Center Point and see if there are opportunities to move the meters to the back of the building.

Refuse Screening – Meets requirements

- The applicant is proposing an 8-foot tall, cedar clad trash enclosure at the rear of the site. The trash enclosure is proposed to be one foot from the side property line and two feet from the rear property line. This location is permissible given that the neighboring property to the east does not retain rights to a residential use and the subject property is separated from a residentially zoned property to the south by a public alley. As a condition of approval, plans shall be submitted prior to building permit issuance showing the details of the trash enclosure in full compliance with Section 535.80-Screening of refuse and recycling storage containers.

Lighting – Meets requirements

- The proposed lighting must comply with Chapter 535 and Chapter 541 of the zoning code. The applicant’s proposal appears to be in compliance with these requirements.

Fences – Not applicable

- No fences are proposed.

Other General Regulations – Meets requirements

- The project will be in compliance with Section 535.90-General Standards for Residential Uses. The applicant is proposing one, one-bedroom, and two, two-bedrooms. All units will exceed the minimum 500 square foot floor area for a dwelling unit.

Specific Development Standards – Meets requirements

- There are no specific development standards for a mixed-use building in the commercial zoning district with three residential units.
- As conditioned, the applicant’s proposal meets the specific development standards in Chapter 536 for a grocery store. The premises, all adjacent streets, sidewalks and alleys, and all sidewalks and alleys within one hundred (100) feet of a grocery store are required to be inspected regularly for purposes of removing any litter found thereon.

West Broadway Overlay District Standards – Meets requirements

- The project site is within the West Broadway Overlay District. The WB West Broadway Overlay District is established to preserve and encourage a high-density, transit-supportive and pedestrian-oriented environment in the West Broadway commercial core, to attract destination goods and services, and to promote street life and activity by regulating building orientation and design and accessory parking facilities, and by prohibiting certain high impact and automobile-oriented uses.
- The applicant is not proposing a drive-through facility or a fast food restaurant which are prohibited uses in the West Broadway Overlay District.
- The proposed development will have two floors for the length of the West Broadway frontage, thus meeting the requirement outlined in Section 551.1250-Minimum number of floors.
- The placement of the proposed building will reinforce the street wall, maximize natural surveillance and visibility, and facilitate pedestrian access and circulation, and the first floor of buildings will be located not more than eight (8) feet from the front lot line
- The project is in compliance with the minimum floor area and window area requirement as outlined in the sections above.

3. Conformance with the applicable policies of The Minneapolis Plan for Sustainable Growth.

The Minneapolis Plan for Sustainable Growth identifies the site as mixed-use on the future land use map. The proposed development is consistent with the following principles and policies outlined in the comprehensive plan:

Urban Design Policy 10.5: Support the development of multi-family residential dwellings of appropriate form and scale.

- 10.5.2 Medium-scale, multi-family residential development is more appropriate along Commercial Corridors, Activity Centers, Transit Station Areas and Growth Centers outside of Downtown Minneapolis.

Urban Design Policy 10.6: New multi-family development or renovation should be designed in terms of traditional urban building form with pedestrian scale design features at the street level.

- 10.6.1 Design buildings to fulfill light, privacy, and view requirements for the subject building as well as for adjacent properties by building within required setbacks.
- 10.6.3 Provide appropriate physical transition and separation using green space, setbacks or orientation, stepped down height, or ornamental fencing to improve the compatibility between higher density and lower density residential uses.
- 10.6.4 Orient buildings and building entrances to the street with pedestrian amenities like wider sidewalks and green spaces.
- 10.6.5 Street-level building walls should include an adequate distribution of windows and architectural features in order to create visual interest at the pedestrian level.
- 10.6.6 Integrate bicycle parking amenities into the site design.

Urban Design Policy 10.9: Support urban design standards that emphasize traditional urban form with pedestrian scale design features at the street level in mixed-use and transit-oriented development.

- 10.9.1 Encourage both mixed-use buildings and a mix of uses in separate buildings where appropriate.
- 10.9.2 Promote building and site design that delineates between public and private spaces.

- 10.9.4 Coordinate site designs and public right-of-way improvements to provide adequate sidewalk space for pedestrian movement, street trees, landscaping, street furniture, sidewalk cafes and other elements of active pedestrian areas.

Urban Design Policy 10.10: Support urban design standards that emphasize a traditional urban form in commercial areas.

- 10.10.1 Enhance the city's commercial districts by encouraging appropriate building forms and designs, historic preservation objectives, site plans that enhance the pedestrian environment, and by maintaining high quality four season public spaces and infrastructure.
- 10.10.2 Identify commercial areas in the city that reflect, or used to reflect, traditional urban form and develop appropriate standards and preservation or restoration objectives for these areas.
- 10.10.4 Orient new buildings to the street to foster safe and successful commercial nodes and corridors.
- 10.10.6 Require storefront window transparency to assure both natural surveillance and an inviting pedestrian experience.

Urban Design Policy 10.19: Landscaping is encouraged in order to complement the scale of the site and its surroundings, enhance the built environment, create and define public and private spaces, buffer and screen, incorporate crime prevention principles, and provide shade, aesthetic appeal, and environmental benefits.

- 10.19.1 In general, larger, well-placed, contiguous planting areas that create and define public and private spaces shall be preferred to smaller, disconnected areas.

Urban Design Policy 10.22 Use Crime Prevention Through Environmental Design (CPTED) principles when designing all projects that impact the public realm, including open spaces and parks, on publicly owned and private land.

- 10.22.1 Integrate “eyes on the street” into building design through the use of windows to foster safer and more successful commercial areas in the city.
- 10.22.3 Design the site, landscaping, and buildings to promote natural observation and maximize the opportunities for people to observe adjacent spaces and public sidewalks.
- 10.22.4 Provide onsite lighting at all building entrances and along walkways that maintains a minimum acceptable level of security while not creating glare or excessive lighting of the site.
- 10.22.5 Locate landscaping, sidewalks, lighting, fencing and building features to clearly guide pedestrian movement on or through the site and to control and restrict people to appropriate locations.
- 10.22.7 Locate entrances, exits, signs, fencing, landscaping, and lighting to distinguish between public and private areas, control access, and to guide people coming to and going from the site.

CPED finds that the proposed development is in conformance with the above policies of The Minneapolis Plan for Sustainable Growth.

4. Conformance with applicable development plans or objectives adopted by the City Council.

The site is located within the boundaries of the *West Broadway Alive! Plan* adopted by the City Council in 2008. The proposed project is in compliance with this plan. It is within the Hawthorne Crossing/Historic Storefronts sub section. The *West Broadway Alive! Plan* identifies the intact three block stretch between Aldrich and Fremont Avenue as one of the strengths and assets of West Broadway. In addition, the project recognizes that this property is within the “commercial core” of West Broadway. The *West Broadway Alive* planning process devoted significant attention to considering how to transform the character of this area to a commercial main street that is comfortable and attractive, and highly activated with pedestrian activity and successful businesses. The rebuilding of the small-scale, mixed-use building with a grocery store on the first floor will help accomplish the goals of the plan. The rebuilding of this small mixed-use building will provide an improvement along West Broadway that will help build a unified character along this block face.

5. Alternative compliance.

The Planning Commission or zoning administrator may approve alternatives to any site plan review requirement upon finding that the project meets one of three criteria required for alternative compliance. Alternative compliance is requested for the following requirements:

- **Blank walls:** As required by Section 530.120-Building design, blank, uninterrupted walls that do not include windows, entries, recesses or projections, or other architectural elements, shall not exceed twenty-five (25) feet in length. The purpose of this requirement is to encourage building walls to have architectural detail and windows in order to create visual interest and to increase the security of adjacent outdoor spaces by maximizing natural surveillance and visibility. The applicant is proposing to have blank walls most of the east and west elevations. Alternative compliance is required. CPED finds that the strict adherence to the requirements is impractical because of site location or conditions. The applicant is proposing to rebuild the commercial, mixed-use building in a traditional urban fashion and similar to what was previously on this site. This includes building from side lot line to side lot line in order to have continuous building wall frontage along West Broadway. Given that the proposed building is within a foot of the side property lines, window openings are not allowed by building code. In addition, the side elevations will have significantly less visibility given that they will be masked by an existing building to the west and it is anticipated that future development plans for the parcels to the east will also build near the shared property line with the subject property.
- **Percentage of exterior building materials allowed:** Plain face concrete block is considered a durable material; however, the *Guide to Exterior Building Walls and Materials* does not provide an allowed percentage for this material on elevations. As outlined in Chapter 530, the use of plain face concrete block as an exterior material shall be prohibited where fronting along a public street, public sidewalk, public pathway, or adjacent to a residence or office residence district. The purpose of the exterior building material allowances and limiting plain face concrete block requirements is to have new buildings and additions constructed with high quality building materials that are durable, while also positively contributing to the built environment, and providing architectural details that is visually appealing. The applicant is proposing to have nearly 100 percent plain face concrete block on the east and west side elevations. The proposed concrete block would be tinted a color to complement the brick on the front elevation. Alternative compliance is required. CPED finds that the strict adherence to the requirements is impractical because of site location or conditions. The applicant is proposing to rebuild the commercial, mixed-use building in a traditional urban fashion and close to what was previously on this site. This includes building within a foot of the east and west side elevations. Given that the proposed building is within a foot of the side property lines and the adjacent building is at the shared side property line, the concrete block will have minimal visibility from West Broadway. Also, it is anticipated that the eastern elevation will not be visible from West Broadway once new construction is complete at 905-913 West

Broadway. Furthermore, it should be noted that it is a common building practice for buildings built to the property line to have a utilitarian building material along the side elevations when the side elevations will have minimal visibility, like is proposed for this project.

- **Exterior appearance of the side and rear walls for compatibility with front:** As required by Section 530.120-Building design, the exterior materials and appearance of the rear and side walls of any building shall be similar to and compatible with the front of the building. The purpose of this requirement is to have a cohesive building on all elevations. The side and rear elevations do not continue the same exterior appearance as the front elevation. Alternative compliance is required. CPED finds that the strict adherence to the requirements is impractical because of site location or conditions and that the proposed alternative meets the intent of this chapter. As previously mentioned, the applicant is proposing to rebuild the commercial, mixed-use building within a foot of the side property lines and these elevations will have minimal visibility. To help tie the side elevations in with the front elevation, the applicant is proposing to wrap the portions of the side elevations nearest West Broadway with brick detail found on the front elevation. The rear elevation is proposed to be clad in stucco. Given the low-density residential structures behind the subject property and the traditional building practice of having a less ornate building material on a tertiary elevation, CPED finds that the proposed alternatives are consistent with applicable development plans and development objectives adopted by the city council and meets the intent of Chapter 530. As a condition of approval, the stucco shall be painted a complementary color to the brick and concrete block.

RECOMMENDATIONS

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt staff findings for the application(s) by George S. Barr for the property located at 915 West Broadway, subject to the following conditions:

A. Variance to reduce the interior side yard setback.

Recommended motion: **Approve** the application for a variance to reduce the interior side yard setbacks from seven feet to 0 feet along the western interior property line.

B. Variance to reduce the minimum required off-street parking.

Recommended motion: **Approve** the application for a variance to reduce the minimum required off-street parking from three spaces to zero spaces.

1. The applicant shall provide a total of eight bike parking spaces as shown on the submitted site plan.

C. Site Plan Review for a new commercial building.

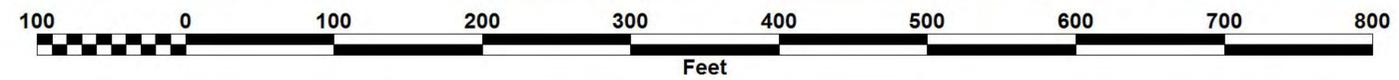
Recommended motion: **Approve** the application for the site plan review to allow for a new, mixed-use commercial building with three residential units, subject to the following conditions:

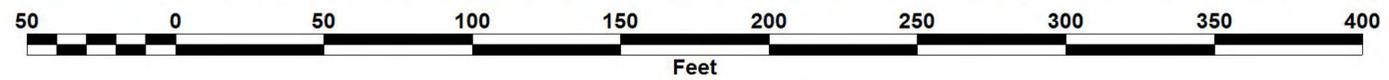
1. All site improvements shall be completed by June 27, 2018, unless extended by the Zoning Administrator, or the permit may be revoked for non-compliance.
1. CPED staff shall review and approve the final site, elevation, floor/fixture, landscaping, and lighting plans before building permits may be issued.
2. As required by Section 530.160-General landscaping and screening, the required landscaped area shall be covered with turf grass, native grasses, perennial flowering plants, vines, shrubs and other trees. In addition, the plant materials, and installation and maintenance of the plant materials, shall comply with sections 530.200 and 530.210 of the zoning code.

3. As required by Section 530.120, the first floor windows shall have clear or lightly tinted glass with a visible light transmittance ratio of six-tenths (0.6) or higher and shall allow views into and out of the building at eye level. In addition, shelving, mechanical equipment or other similar fixtures shall not block views into and out of the building in the area between four (4) and seven (7) feet above the adjacent grade that are required to meet the minimum window area percentages.
4. Plans shall be submitted prior to building permit issuance showing the details of the trash enclosure in full compliance with Section 535.80-Screening of refuse and recycling storage containers.
5. As required by Section 536.20-Specific development standards, the premises, all adjacent streets, sidewalks and alleys, and all sidewalks and alleys within one hundred (100) feet shall of the proposed grocery store are required to be inspected regularly for purposes of removing any litter found thereon.
6. The CMU proposed on the side elevations shall be tinted a color to complement the masonry on the front elevation and the stucco on the rear elevation shall be painted a complementary color to the brick and concrete block.

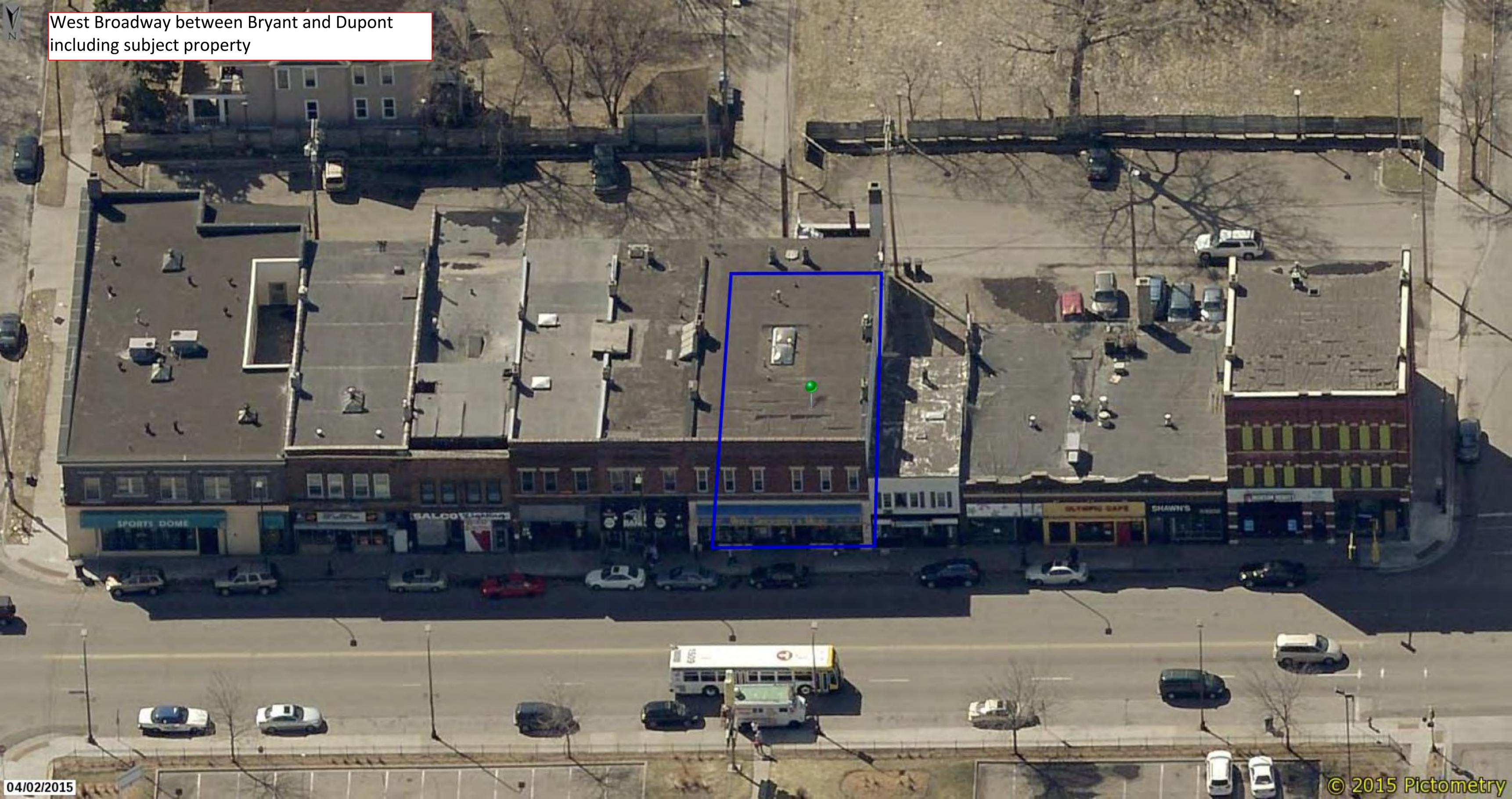
ATTACHMENTS

1. Zoning map
2. Aerials
3. Written description and findings submitted by applicant
4. Plan set: survey, site plan, floor plan, elevations, rendering
5. Photos
6. PDR report





West Broadway between Bryant and Dupont including subject property





BARR-NELSON CONSTRUCTION, LLC.
Commercial Contracting Services
Project Management, Design Build, Estimating,
Budgeting, Concrete & Masonry Services
barnelson777@aol.com
gsbarr777@aol.com
763-355-0322(GEORGE) 763-703-0941 (Office)
1-866-360-9747(fax)
11670 61st Ave No.
Plymouth, Minnesota 55442

May 16, 2016

RE:915 West Broadway North Minneapolis
Brix Grocery and Meat
Re Build

Barr-Nelson Construction, LLC will be submitting a Land Use Application to request site plan approval, a set back variance and parking request for the re building of Mr Abuamno's new grocery store. As you all know his building was destroyed by fire. We have taken this extended time to put together a new building that will fit well within the neighborhood and have the necessary architectural appeal that we feel will work given the historic nature of the previous structure.

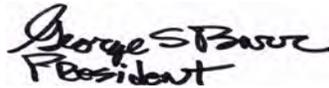
The building will be two stories with three apartment units on the second floor consisting of two 2 bedroom units and one 1 bedroom unit. The main level will be the grocery store. This will have a future area for a bakery and deli. Each floor is about 3000 square feet.

I will be including plans in this email. They are not construction tech plans, but what we are submitting for PDR approval.

If you have any questions feel free to call.

Thank you

Barr-Nelson, Inc.



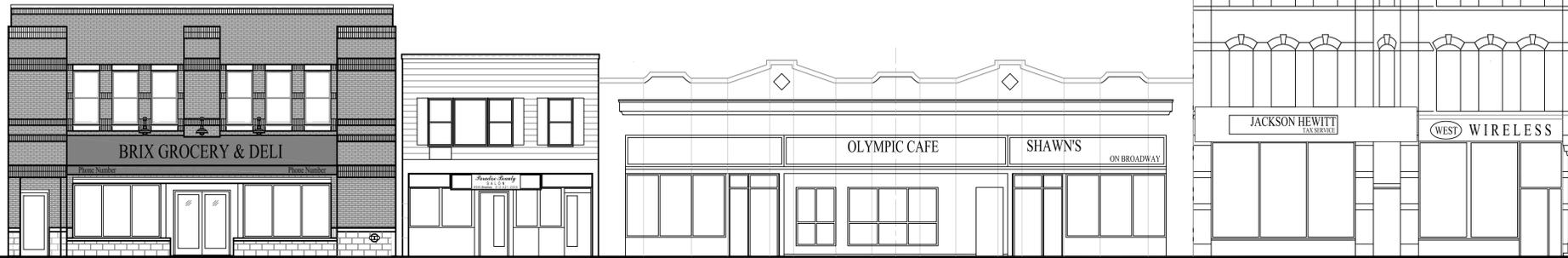
George S. Barr
President

Gsbar777@aol.com

763-355-0322

Statement to findings

- Variance to reduce the interior side yard setback from seven feet to one foot along the eastern and western property lines. To restore the site and allow the owner to reopen and operate his grocery and deli business, return three rental apartments to the neighborhood and recreate through design a similar two-story building in character (appearance), size and height as the previous building, the side yard variances requested are necessary.
- Variance to reduce the minimum required parking from four spaces to zero spaces. Rebuilding of the two-story building and providing a similar foot print as the previous building has created a space plan challenge. New code requirements diminish the first floor square footage that can be allocated to the business (the second floor apartments above the previous building were accessed by easement from the adjacent building to the east). New code compliant stairs and landings required, while diminishing the owner's available space for his grocery and deli, do not provide enough open space in the back of the proposed building to provide parking and the required maneuvering space within the boundaries of the site. Accordingly, at Planning's recommendation, the open space at the back of the site (south exposure) has been redesigned to accommodate a landscaped area (bike racks, dining terrace, grilling area and a grassy area) for residential use.



CONCEPTUAL BRICK & PRECAST VENEER EXTERIOR
Scale: 3/32" = 1'-0"

SHEET INDEX

GENERAL

T1.0 Title Sheet

CIVIL

C1.0 Site Survey
C1.1 Existing Conditions
C1.2 Site Plan
C1.3 Grading and Utility Plan
C1.4 Site Details

ARCHITECTURAL

A1.0 Not Used
A1.1 Site Plan & Planting Schedule
A1.2 Emericachment Plan
A1.3 First Floor Plan
A1.4 Second Floor Plan
A1.5 Parapet and Roof Plan
A2.1 Exterior Elevations
A2.2 West Broadway Streetscape Elevation

STRUCTURAL

No Drawings

MECHANICAL

No Drawings

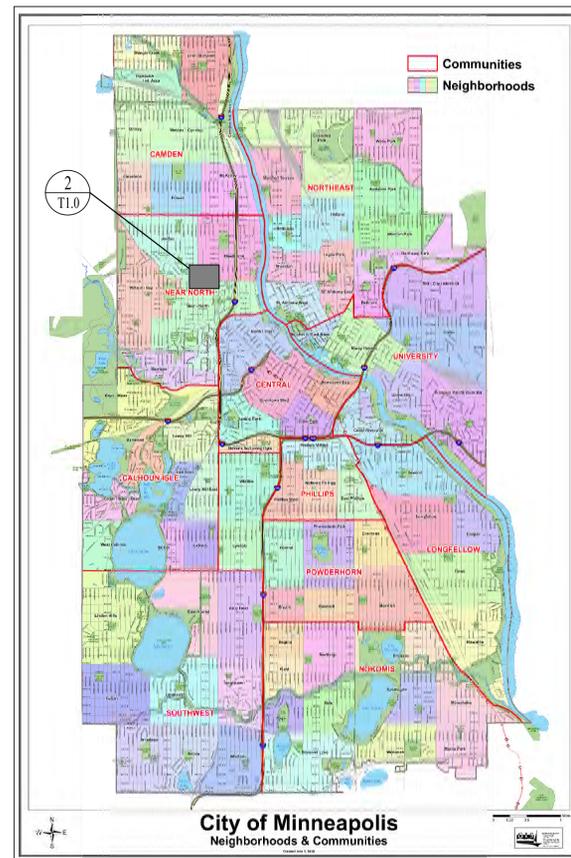
ELECTRICAL

No Drawings

SITE INFORMATION

ADDRESS 915 West Broadway Avenue, Minneapolis, MN 55411
LOT SIZE 4,847.00 S.F.
FOOT PRINT 3,434.55 S.F. Building & Cooler / Freezer
PROJECT 3,272.68 S.F. (GFA) Grocery / Deli (Building Only)
3,234.00 S.F. (GFA) 2nd. Floor Residential
ZONING C1: Neighborhood Commercial
FAR
HEIGHT 27'-9" +/- At top Of Parapet
PERMEABLE RATIO 9.24%

Existing Information: The project is on a vacant site fronting West Braodway Ave. wit alley access. Adjacent buildings along west property line.



1 T1.0 City Location Map
Not To Scale



2 T1.0 Neighborhood Location Map
Not To Scale

PROJECT TEAM

OWNER

Brix Grocery & Deli
915 West Broadway Ave.
Minneapolis, Mn 55441
Phone: 612-522-3357

DESIGN TEAM

Design Group C, LLC
14945 Ironwood Ct.
Eden Prairie, MN 55346
Phone: 952.250.9980

CIVIL ENGINEER

T.B.D.
Street:
City:
Phone:

STRUCTURAL ENGINEER

Estephan Engineering
Street:
City:
Phone:

PROJECT MANAGER

Barr-Nelson Construction Services, Inc.
11670 61st. Avenue North
Plymouth, MN 55443
Phone: 763.355.0322

GROSS FLOOR AREAS (GFA) AND FLOOR BREAKDOWN

	Total Building: 6,608.48 S.F. (GFA)
	Second Floor: 3,286.90 S.F. (GFA)
	Multifamily: 3-Apartment Units
	First Floor: 3,321.58 S.F. (GFA)
	Merchantile: 2,908.97 S.F. (GFA)
	Common Core: 412.61 S.F. (GFA)

CERTIFICATION:
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed professional Architect under the laws of the State of Minnesota.

License Number:
REVISIONS: NO. DATE:

Design Group C LLC
Designs as prepared as Your Signature
14945 Ironwood Ct.
Eden Prairie, MN 55346
Phone: 952.250.9980
Email: ccharles@designgroupc.com

BUILDER/CONTRACTOR:
BARR-NELSON CONSTRUCTION SERVICES, INC.

11670 61st. Avenue N.
Plymouth, MN 55442
Phone: 763.355.0322

PROJECT TITLE:

915 West Broadway
Retail & Rental

915 West Broadway Ave.
Minneapolis, MN 55411

SHEET TITLE:

TITLE SHEET

PROJECT NO. 201512
DATE: 06-29-15
DRAWN BY: JXX
CHECKED BY: JXX
STATUS: PDR Set-4
ISSUED: 06-20-16

FILE NO. T1.0 TITLE SHEET.DWG
COMMISSION:

PROJECT NO. 201512
DATE: 06-29-15
DRAWN BY: JXX
CHECKED BY: JXX
STATUS: PDR Set-4
ISSUED: 06-20-16

PROJECT NO. 201512
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STATUS: PDR Set-4
ISSUED: 06-20-16

T1.0

Sheet: - OF: -

BUILDER/CONTRACTOR:
**BARR-NELSON
 CONSTRUCTION
 SERVICES, INC.**

11670 61st. Avenue N.
 Plymouth, MN 55442
 Phone: 763.355.0322
 BID SET
 NOT FOR CONSTRUCTION

PROJECT TITLE:

**915
 West Broadway**
 Retail & Rental

915 West Broadway Ave.
 Minneapolis, MN 55411

SHEET TITLE:

SITE SURVEY

CERTIFICATION:

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed professional Architect under the laws of the State of Minnesota.

Date:

License Number:

REVISIONS: NO. DATE:

PROJECT NO. 201512

DATE: 06-29-15

DRAWN BY: JCK

CHECKED BY: JCK

STATUS: PDR Set-2

ISSUED: 06-14-16

FILE NO. C1.0 SITE SURVEY 2/16

COMMISSION:

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C1.0

Sheet: - OF: -

Boundary & Topography Survey - 915 West Broadway Ave - Minneapolis, MN

FOR: Barr-Nelson Construction

LEGEND:

○	Set 1/2 Inch by 14 Inch Iron Pipe with Plastic Cap Inscribed with License No. 44530 (Unless Otherwise Noted).		Building Line	Ⓣ	Telephone Manhole	
●	Found Iron Pipe		Bituminous Surface	ⓔ	Electric Manhole	
△	Control Point		Concrete Surface	Ⓢ	Sanitary Sewer Manhole	
	Existing Elevation Contour Line		Fence Line	Ⓢ ^G	Gas Valve	
x 900.0	Existing Spot Elevation			Ⓢ ^V	Water Valve	
				☀	Light Pole	
				Ⓛ	Utility Pole	
				— —	Guy Wire	
				I.P.	Iron Pipe	
				RIM	Structure Rim Elevation	
				FFE	Finished Floor Elevation	
				— —	Underground Fiber Optic Line	
				— —	GAS	Underground Gas Line
				— —	>	Sanitary Sewer Line
				— —	— —	Overhead Utility Line
				— —	— —	Underground Electric Line

PROPERTY DESCRIPTION:

East 33 feet front and rear Lot 4, and West 11 feet front and rear of Lot 3, Block 21, HIGHLAND PARK ADDITION TO THE CITY OF MINNEAPOLIS, Hennepin County, Minnesota.

AREA SUMMARY:

Total Area = 4,847 square feet +/- (0.111 acres)

SITE BENCHMARK:

Top of Nail in Power Pole Near SW Corner of Site. Elevation = 857.00

GENERAL NOTES:

- Background information is based on a survey on the ground performed by Clark Engineering Corporation on March 24, 2016, exclusively for this project.
- All dimensions depicted on this survey are in feet and decimals of a foot, unless otherwise indicated.
- At the time of this survey, all existing building dimensions are measured to the exterior finished face, unless otherwise indicated.
- For the purposes of this survey, the basis of bearing for the surveyed lines is the Hennepin County Coordinate System (1996 Adjustment). Vertical Datum is NAVD88.
- Site under construction at time of survey.

CERTIFICATION:

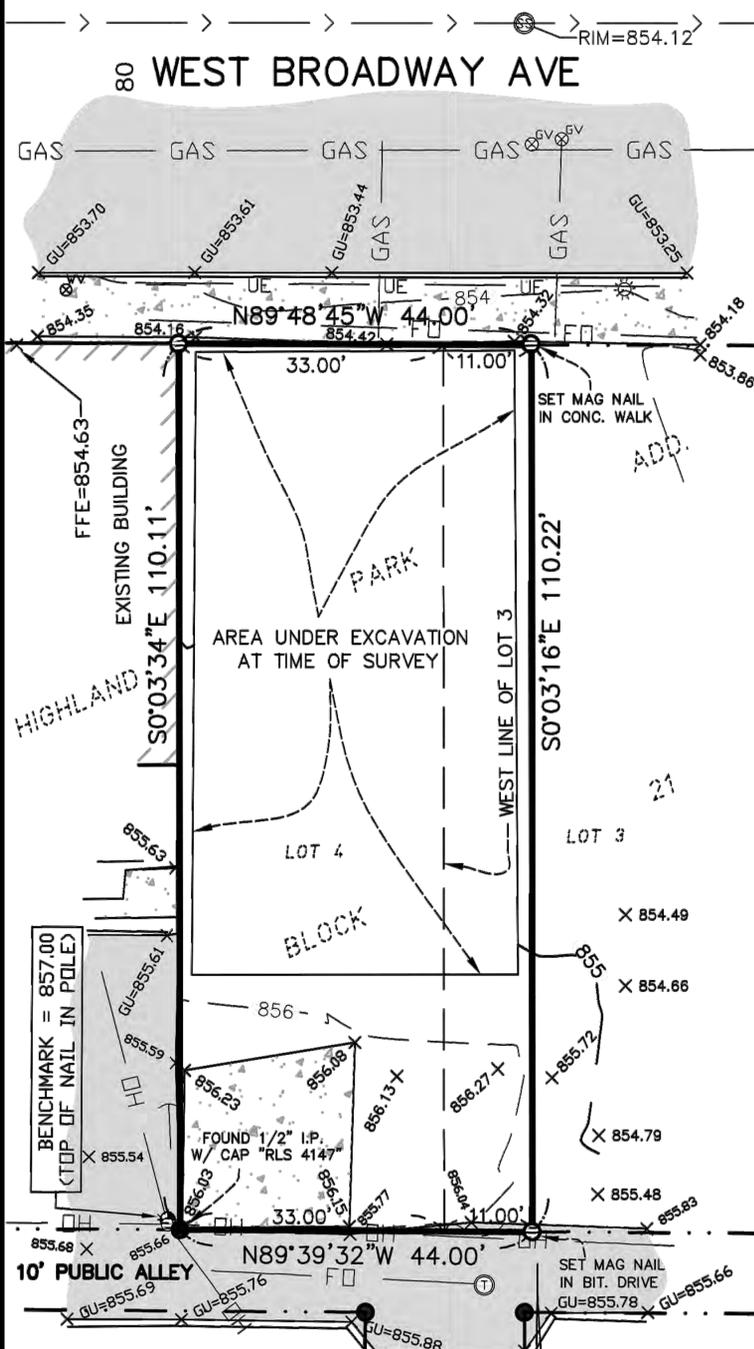
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision, and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Craig Johnson

Craig E. Johnson, LS, CFedS
 Minnesota License No. 44530

03/30/2016

Date



DRAWN BY Cody J.	DATE 03/30/2016	Sec. 16, T. 29, R. 24 Hennepin County, Minnesota	 621 Lilac Drive North Minneapolis, MN 55422-4609 (763) 545-9196 Fax (763) 541-0056 www.clark-eng.com
CHECKED BY Craig J.	PROJECT NO. C16511		

BARR-NELSON CONSTRUCTION SERVICES, INC.

11670 61st. Avenue N.
 Plymouth, MN 55442
 Phone: 763.355.0322
 BID SET
 NOT FOR CONSTRUCTION

915 West Broadway
 Retail & Rental

915 West Broadway Ave.
 Minneapolis, MN 55411

DEMOLITION & EROSION CONTROL PLAN

CERTIFICATION:
 I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed professional Architect under the laws of the State of Minnesota.

Date: _____

License Number: _____

REVISIONS:	NO.	DATE:

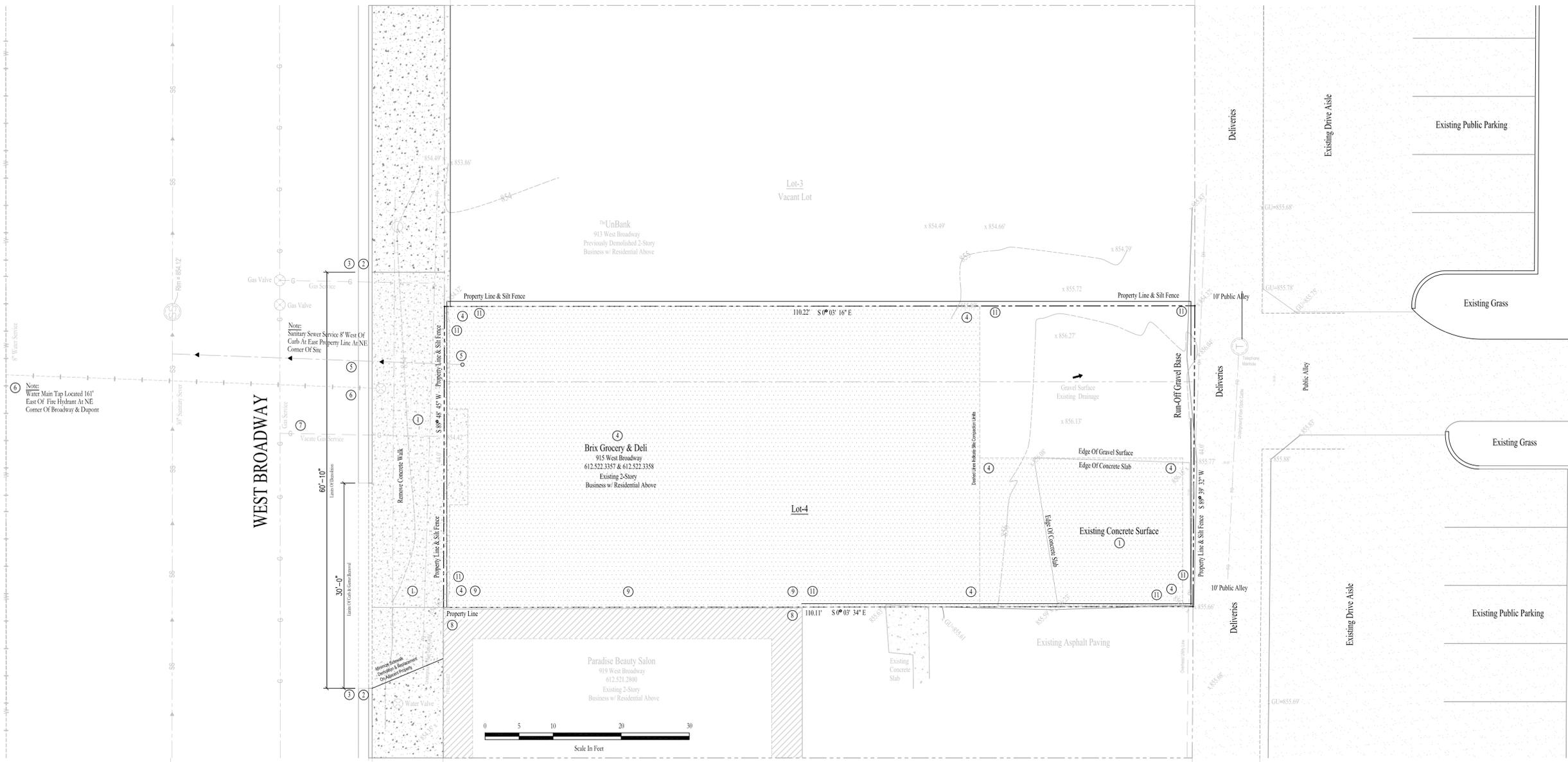
PROJECT NO.	201512
DATE:	06-29-15
DRAWN BY:	XXX
CHECKED BY:	XXX
STATUS:	PDR Set-4
ISSUED:	06-20-16
FILE NO.	C1.1 DEMOLITION & EROSION CONTROL PLANNING
COMMISSION:	

OWNER	_____	DATE	_____
DEVELOPER	_____	DATE	_____
CONTRACTOR	_____	DATE	_____

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C1.1

Sheet: - OF: -



1 DEMOLITION & EROSION CONTROL PLAN
 SCALE: 1/4" = 1'-0"
 915 West Broadway

General Plan Notes:

- State Law: 48 Hours Before Excavating, Call Gopher One-Call (651)454-0002 For Field Location Of Underground Utility Lines. This Is A Free Service That Locates Utility Company Lines But Does Not Locate Private Lines. Contractors Excavating On The Site Shall Provide For Locating Of Private Lines, Including Privately Owned Lines, By Contractor Service Or Other Suitable Means.
- Contractor Is Responsible For Providing All O.S.H.A. Safety Measures During Underground Work. This Includes Providing And Maintaining Barriers And Warning Signs, And Maintaining Angle Of Repose On All Exposed Trenches To Prevent Person And Property. Provide shoring And Shoring As Required.
- Contractor Shall Be Responsible For Locating And Protection Of Existing Structures And Utilities As Required During Excavation And Underground Work.
- Contractor Shall Be Responsible For Disposal Of All Excavated Material Not Suitable For Backfill And All Excess Material Remaining After Backfill Has Been Completed.
- Contractor Shall Be Responsible For Establishing Existing Site Conditions Including Elevation, Grades, Finished Surfaces And Existing Utilities. All Areas Affected During Construction Shall Be Returned To Their Original Condition Upon Completion Of Underground Work.
- Contractor Shall Be Responsible For Obtaining And Paying For All Permits Required Prior To Beginning Work.
- Field Verify All Elevations, Dimensions And Distances.
- An Obstruction Permit Is Required Anytime Construction Work Is Performed In The Public Right-of-Way. Please Contact Scott Kramer At 612-673-2983 Regarding Details Of Sidewalk And Lane Closures. Log On To <http://minneapolis.mn.roadwaynet/> For A Permit.
- Contact Tim Drew At 612-673-2152 Prior To Construction For The Temporary Removal / Temporary Relocation Of Any City Of Minneapolis Signal System That May Be In The Way Of Construction.
- Contact Bill Price At 612-673-3900 Regarding Impacts To The Existing Street Lighting System.
- Contact Doug Maday At 612-673-5755 Prior To Construction For The Removal Of Any City Of Minneapolis Right-of-Way Signs That May Be In The Way Of Construction.
- Permits And Approval Are Required From Environmental Services For The Following Activities: After Hours Work, Temporary Storage Of Impacted Soils On Site Prior To Disposal Or Reuse, Remediation Of Contaminated Soil And Ground Water, Dewatering And Discharge Of Accumulated Storm Water Or Ground Water To City Sewers, Flammable Waste Traps, Underground Or Above Ground Tank Installation Or Removal, Well Construction Or Sealing, Or On-Site Rock Crushing. Contact Tom Frame At tom.frame@ci.minneapolis.mn.us For Permit Applications And Approvals.
- No Construction, Demolition Or Commercial Power Maintenance Equipment Shall Be Operated Within The City Between The Hours Of 6:00 p.m. And 7:00 a.m. On Weekdays Or During Any Hours On Saturdays, Sundays, And State And Federal Holidays, Except Under Permit. Contact Environmental Services At 612-673-3867 For Permit Information.

Minneapolis Standard Erosion Control Notes:

- Contractor Must Call A Construction Start 48 Hours Prior To Any Land Disturbances 612-673-3867. Failure To Do So May Result In Fines, The Revocation Of Permit And A Stop Work Order Being Issued.
- Install Perimeter Erosion Control At The Locations Shown On The Plans Prior To The Commencement Of Any Land Disturbances Or Construction Activities.
- Before Beginning Construction, Install A Temporary Rock Construction Entrance At Each Point Where Vehicles Exit The Construction Site. Use 2 Inch Or Greater Diameter Rock In A Layer Of At Least 6 Inches Thick Across The Entire Width Of The Entrance. Extend The Rock Entrance At Least 50 Feet Into The Construction Zone Using A Geo-Textile Fabric Beneath The Aggregate To Prevent Migration Of Soil Into The Rock From Below.
- Remove All Soils And Sediments Tracked Or Otherwise Deposited Onto Public And Private Pavement Areas. Removal Shall Be On A Daily Basis When Tracking Occurs And May Be Ordered By Minneapolis Inspectors At Any Time If Conditions Warrant. Sweeping Shall Be Maintained Throughout The Duration Of The Construction And Done In A Manner To Prevent Dust Being Blown To Adjacent Properties.
- Install Inlet Protection At The Public And Private Curb Basin Inlets, Which Receive Runoff From The Disturbed Areas. Contractor Shall Clean, Remove Sediment Or Replace Storm Drain Inlet Protection Devices On A Routine Basis Such That The Devices Are Fully Functional For The Next Rain Event. Sediment Deposited In And/Or Plugging Drainage Systems Is The Responsibility Of The Contractor. Hay Bales Or Filter Fabric Wrapped Grates Are Not Allowed For Inlet Protection.
- Locate Soil Or Dirt Stockpiles No Less Than 25 Feet From Any Public Or Private Roadway Or Drainage Channel. If Remaining For More Than Seven Days, Stabilize The Stockpiles By Making, Vegetable Cover, Tarps, Or Other Means. Control Erosion From All Stockpiles By Placing Silt Barriers Around The Piles. Temporary Stockpiles Located On Paved Surfaces Must Be No Less Than Two Feet From The Drainage/Gutter Line And Shall Be Covered If Left More Than 24 Hours.
- Maintain All Temporary Erosion And Sediment Control Devices In Place Until The Contributing Drainage Area Has Been Stabilized. Inspect Temporary Erosion And Sediment Control Devices On A Daily Basis And Replace Deteriorated, Damaged, Or Rotted Erosion Control Devices Immediately.
- Temporarily Or Permanently Stabilize All Construction Areas Which Have Undergone Final Grading, And All Areas In Which Grading Or Site Building Construction Operations Are Not Actively Undertaken Against Erosion Due To Rain, Wind And Running Water Within 7-14 Days. Use Seed And Mulch, Erosion control Matting, And/Or Sealing And Staking In Green Space Areas. Remove All Temporary Synthetic, Structural, Non-Biodegradable Erosion And Sediment Control Devices After The Site Has Undergone Final Stabilization With Permanent Vegetation Establishment. Final Stabilization For Purposes Of This Removal is 70% Established Cover Over Disturbed Area.

Note:
 A Portable Concrete Wash-Out Basin Shall Be Provided During Construction For Concrete Washout Operations.

Demolition Notes:

- Remove Concrete Pavement.
- Remove Concrete Curb & Gutter.
- Remove Bituminous Pavement.
- Remove Existing Brick & Framed Building Damaged By Fire.
- Protect & Cap Existing Clay Sanitary Sewer Service Abandon: Existing Water Service & Cap Water Main.
- Vacate Existing Gas Service & Cap Gas Main.
- Protect Existing West Adjacent 2-Story Structure.
- Existing West Property Line Foundation to Remain For Shoring.
- Install Shoring During Excavation As Necessary (Verify Site Locations).
- Install Erosion Control As Indicated On Plans.

Note:
 Boundary & Topographical Information Was Prepared By Clark Engineering. This Information Has Not Been Verified As To Its Accuracy Or Completeness By Design Group C, LLC.

LEGEND

- Proposed Manhole
- Existing Sanitary Sewer
- Proposed Storm Sewer
- Proposed Sanitary Sewer
- Proposed Water Main
- Proposed Concrete
- Standard Duty Bituminous
- Proposed Contour
- Proposed Elevation
- Silt Fence
- Inlet Protection Device
- Property / Boundary Line
- Building / Parking Set-Back Line
- Existing Elevation
- Fire Hydrant
- Street Light
- Sidewalk Light
- Underground Electric
- Overhead Utility Line
- Underground Fiber Optics

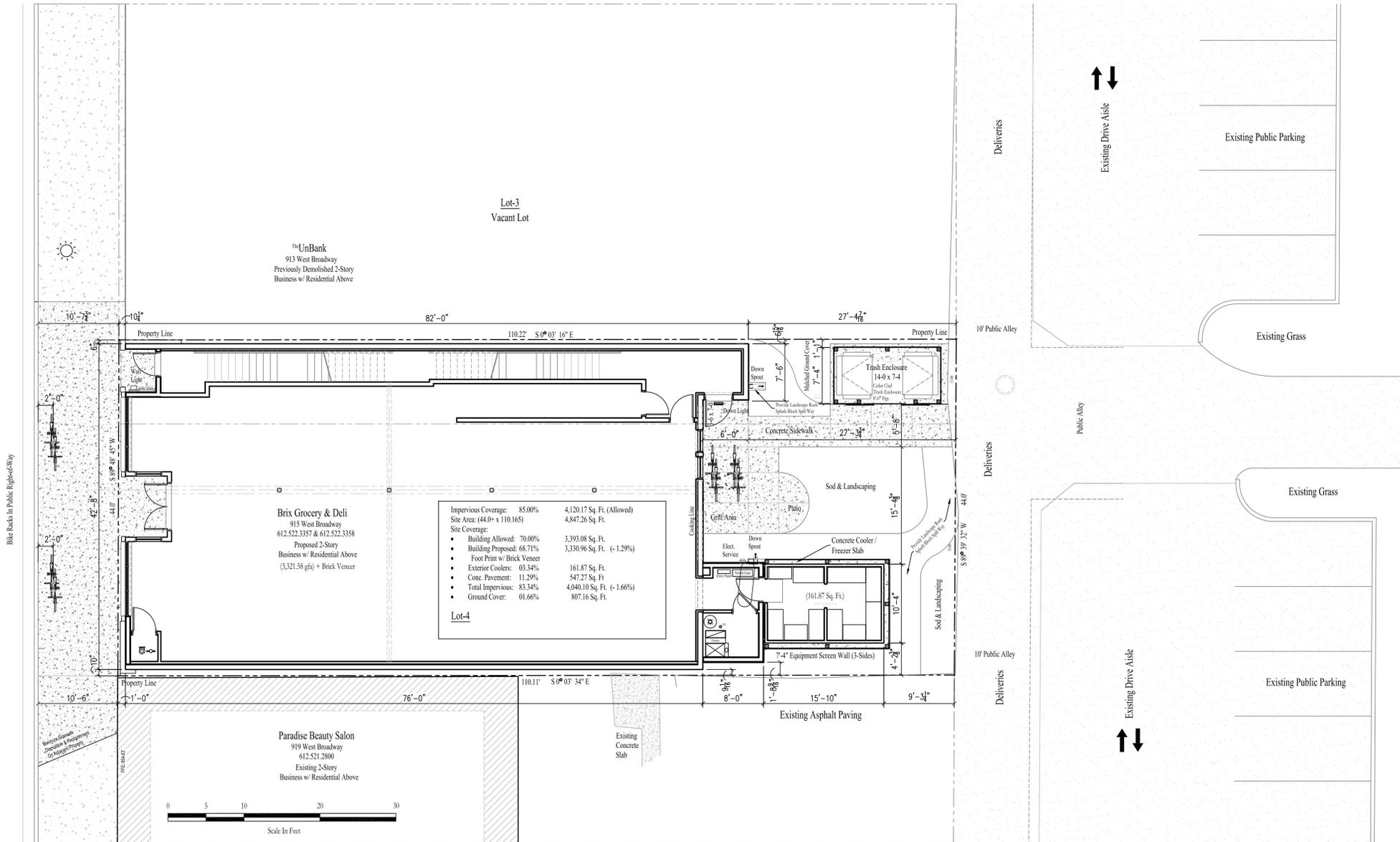
Construction Sequence Schedule:

- Install Temporary Rock Construction Entrance.
- Install Silt Fence & Inlet Protection As Required And Shown On Plans.
- Perform Demolition Of Site Items.
- Remove Topsoil From The Site And Haul Off-Site.
- Prepare & Rough Grade The Site For Construction.
- Install Site Utilities.
- Construct Building, Driveway & Sidewalks.
- Final Grade The Site.
- Install Landscaping, Sod, Seed & Hard Surfaces Per Approved Plan.
- Remove Silt Fence, Inlet Protection & Rock Construction Entrance.

Party Responsible For Maintenance Of All Erosion And Sediment Control Measures:

All Clearing, Grading, Construction Or Development Will Be Done Pursuant To The Plan:

WEST BROADWAY
↑ ↓



1 HORIZONTAL SITE DIMENSION PLAN
SCALE: 1/8" = 1'-0"
915 West Broadway

Site Notes:

- All Dimensions Between Curbing And To Radius Points Are To Face Of Curb.
- All Dimensions Abutting Curbs Are To Back Of Curbs.

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LEGEND

- Proposed Concrete
- Standard Duty Bituminous
- Property / Boundary Line
- Building / Parking Set-Back Line

Utility Pole

Design Group C LLC

Designs as prepared as Your Signature

14945 Ironwood Ct.
Eden Prairie, MN 55346
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Email: ccharles@designgroupc.com

BUILDER/CONTRACTOR:
BARR-NELSON CONSTRUCTION SERVICES, INC.

11670 61st. Avenue N.
Plymouth, MN 55442
Phone: 763.355.0322
BID SET
NOT FOR CONSTRUCTION

PROJECT TITLE:
915 West Broadway
Retail & Rental

915 West Broadway Ave.
Minneapolis, MN 55411

SHEET TITLE:
HORIZONTAL SITE DIMENSION PLAN

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License Number: _____

REVISIONS:	NO.	DATE:

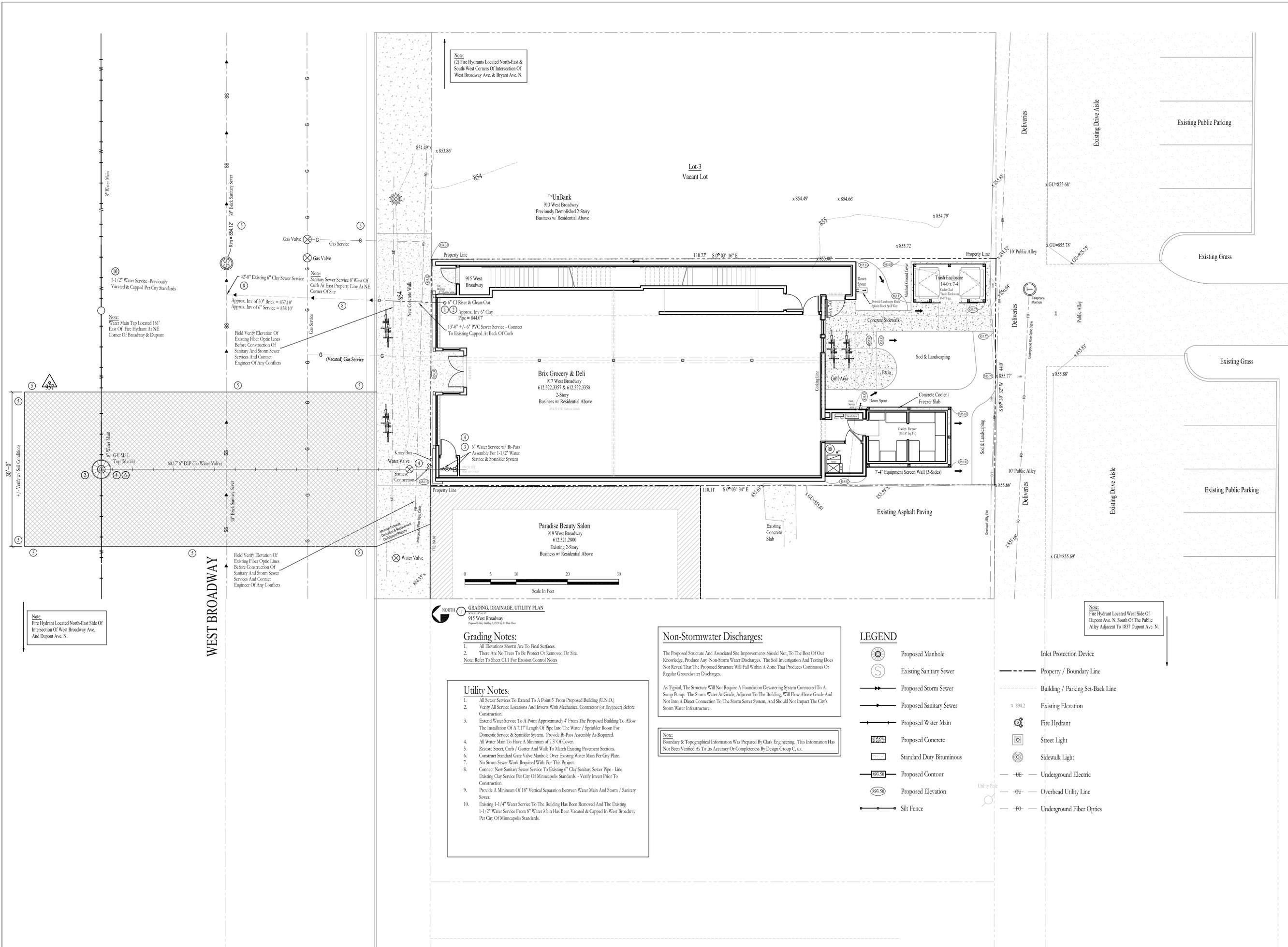
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ISSUED:	06-20-16

FILE NO. C1.2 HORIZONTAL SITE DIMENSION PLANS
COMMISSION: _____

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C1.2

Sheet: - OF: -



Note:
(2) Fire Hydrants Located North-East & South-West Corners Of Intersection Of West Broadway Ave. & Bryant Ave. N.

Note:
Sanitary Sewer Service 8" West Of Curb At East Property Line At NE Corner Of Site

Note:
Water Main Tap Located 161' East Of Fire Hydrant At NE Corner Of Broadway & Dupont

Note:
Field Verify Elevation Of Existing Fiber Optic Lines Before Construction Of Sanitary And Storm Sewer Services And Contact Engineer Of Any Conflicts

Note:
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Grading Notes:

- All Elevations Shown Are To Final Surfaces.
 - There Are No Trees To Be Protected Or Removed On Site.
- Note: Refer To Sheet C1.1 For Erosion Control Notes

Utility Notes:

- All Sewer Services To Extend To A Point 5' From Proposed Building (U.N.O.)
- Verify All Service Locations And Inverts With Mechanical Contractor (or Engineer) Before Construction.
- Extend Water Service To A Point Approximately 4' From The Proposed Building To Allow The Installation Of A 7.17' Length Of Pipe Into The Water / Sprinkler Room For Domestic Service & Sprinkler System. Provide B-Pass Assembly As Required.
- All Water Main To Have A Minimum Of 7.5' Of Cover.
- Restore Street, Curb / Gutter And Walk To Match Existing Pavement Sections.
- Construct Standard Gate Valve Manhole Over Existing Water Main Per City Plate.
- No Storm Sewer Work Required With For This Project.
- Connect New Sanitary Sewer Service To Existing 6" Clay Sanitary Sewer Pipe - Line Existing Clay Service Per City Of Minneapolis Standards - Verify Invert Prior To Construction.
- Provide A Minimum Of 18" Vertical Separation Between Water Main And Storm / Sanitary Sewer.
- Existing 1-1/4" Water Service To The Building Has Been Removed And The Existing 1-1/2" Water Service From 8" Water Main Has Been Vacated & Capped In West Broadway Per City Of Minneapolis Standards.

Non-Stormwater Discharges:

The Proposed Structure And Associated Site Improvements Should Not, To The Best Of Our Knowledge, Produce Any Non-Storm Water Discharges. The Soil Investigation And Testing Does Not Reveal That The Proposed Structure Will Fall Within A Zone That Produces Continuous Or Regular Groundwater Discharges.

As Typical, The Structure Will Not Require A Foundation Dewatering System Connected To A Sump Pump. The Storm Water At Grade, Adjacent To The Building, Will Flow Above Grade And Not Into A Direct Connection To The Storm Sewer System, And Should Not Impact The City's Storm Water Infrastructure.

Note:
Boundary & Topographical Information Was Prepared By Clark Engineering. This Information Has Not Been Verified As To Its Accuracy Or Completeness By Design Group C, LLC.

LEGEND

- Proposed Manhole
- Existing Sanitary Sewer
- Proposed Storm Sewer
- Proposed Sanitary Sewer
- Proposed Water Main
- Proposed Concrete
- Standard Duty Bituminous
- Proposed Contour
- Proposed Elevation
- Silt Fence
- Inlet Protection Device
- Property / Boundary Line
- Building / Parking Set-Back Line
- Existing Elevation
- Fire Hydrant
- Street Light
- Sidewalk Light
- Underground Electric
- Overhead Utility Line
- Underground Fiber Optics

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BARR-NELSON CONSTRUCTION SERVICES, INC.
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 Plymouth, MN 55442
 Phone: 763.355.0322
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915 West Broadway
 Retail & Rental
 915 West Broadway Ave.
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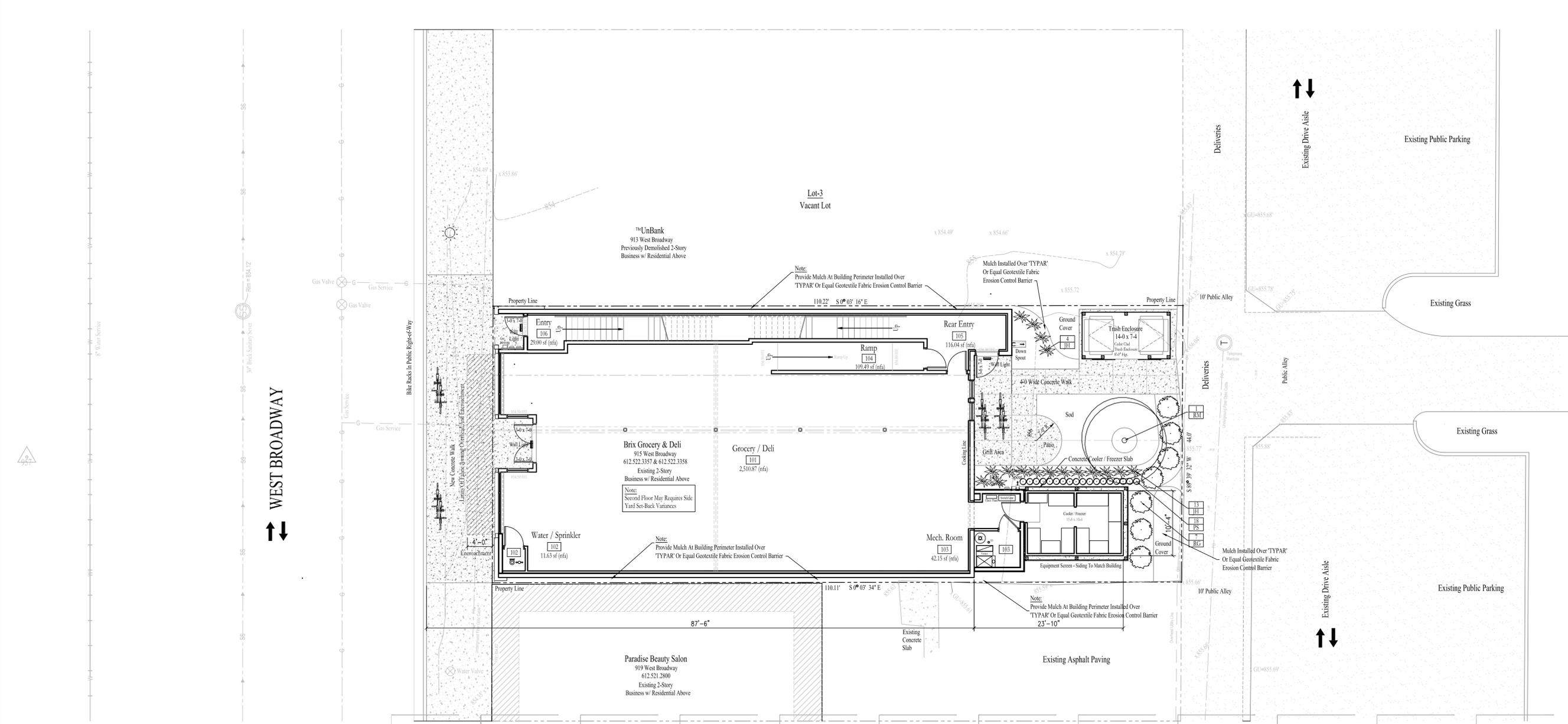
GRADING, DRAINAGE & UTILITY PLAN
 SHEET TITLE:
 PROJECT TITLE:
 SHEET TITLE:
 CERTIFICATION:
 I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed professional Architect under the laws of the State of Minnesota.
 Date:

License Number:

REVISIONS:	NO.	DATE:

PROJECT NO.	201512
DATE:	06-29-15
DRAWN BY:	XXX
CHECKED BY:	XXX
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ISSUED:	06-20-16
FILE NO.	C1.3 GRADING, DRAINAGE & UTILITY PLAN
COMMISSION:	

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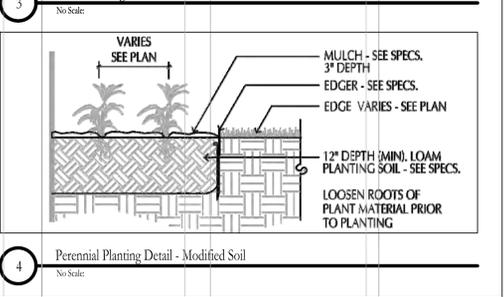
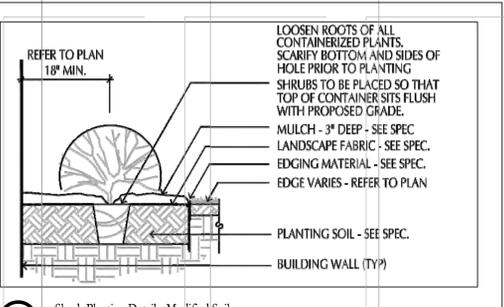
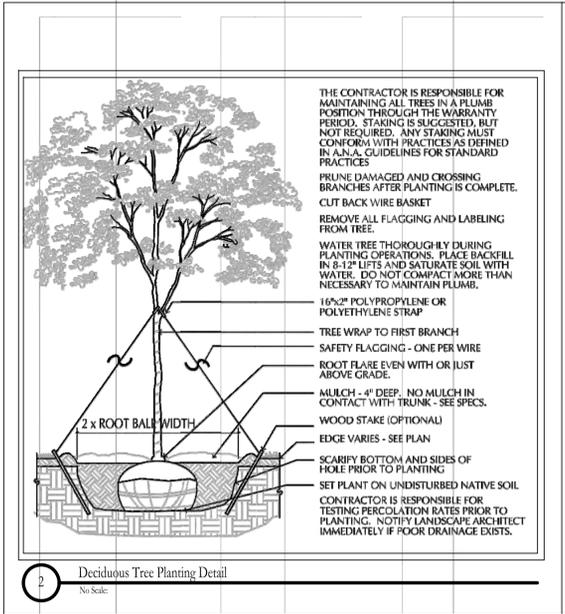
1 SITE PLAN & PLANTING SCHEDULE
 SCALE: 1/8" = 1'-0"
 915 West Broadway

Landscape Installation Notes:

- Coordinate The Phases Of Construction And Planting Installation With Other Contractors Working On Site.
- No Planting Will Be Installed Until Complete Grading And Construction Has Been Completed In The Immediate Area.
- Where Sod/Seed Abuts Paved Surfaces, Finished Grade Of Sod/Seed Shall Be Held 1" Below Surface Elevation Of Trail, Sidewalk, Curbs, Etc.
- Sod All Designated Areas Disturbed Due To Grading. Sod Shall Be Laid Parallel To The Contours And Shall Have Staggered Joints On Slopes Steeper Than 3:1 Or In Drainage Swales, The Sod Shall Be Staked To The Ground.
- All Plant Material Shall Comply With The Latest Edition Of The American Standard For Nursery Stock, American Association Of Nurserymen. Unless Noted Otherwise, Deciduous Shrubs Shall Have At Least 5 Canes At The Specified Shrub Height. Ornamental Trees Shall Have No V-Crooks And Shall Begin Branching No Lower Than 3' Above Root Ball. Street And Boulevard Trees Shall Begin Branching No Lower Than 6' Above Finish Grade. Plan Takes Precedence Over Plant Schedule If Discrepancies In Quantities Exist. Specifications Take Precedence Over Notes.
- All Proposed Plants Shall Be Located And Staked As Shown On Plan. Landscape Architect/Designer/Nursery Must Approve All Staking Of Plant Material Prior To Any And All Digging.
- No Plant Material Substitutions Will Be Accepted Unless Approval Is Requested Of The Landscape Architect/Designer/Nursery By The Landscape Contractor Prior To A Submission Of A Bid And/Or Quotation.
- Adjustments In Location Of Proposed Plant Materials May Be Needed In Field. Should An Adjustment Be Advised, The Landscape Architect/Designer/Nursery Must Be Notified. All Plant Material Shall Be Fertilized Upon Installation With Dried Bone Meal, Other Approved Fertilizer Mixed In With The Planting Soil Per The Manufacturer's Instructions Or May Be Treated For Summer And Fall Installation With An Application Of Granular 0-20-20 Or 12 oz Per 2.5' Caliper Per Tree And 6 oz Per Shrub With An Additional Application Of 10-10-10 The Following Spring In The Tree Sucker.
- All Planting Areas Receiving Ground Cover, Perennials, Annuals, And/O Vines Shall Receive A Minimum Of 12" Depth Of Planting Soil Consisting Of At Least 45 Parts Top Soil, 45 Parts Peat Or Manure, And 10 Parts Sand.
- All Plants To Be Installed Per Planting Details.
- Wrapping Materials Shall Be Corrugated PVC Piping 1" Greater In Caliper Than The Tree Being Protected Or Quality, Heavy Waterproof Crepe Paper Manufactured For The Purpose. Wrap All Deciduous Trees Planted In The Fall Prior To December 1 And Remove All Wrapping After May-1.
- Black Metal Edger To Be Used To Contain Shrubs, Perennials, And Annuals Where Bed Meets Sod/Seed Unless Noted Otherwise.
- All Shrub Bed Massings To Receive 3" Deep Shredded Hardwood Mulch And Fiber Mat Weed Barrier.
- All Trees To Receive 4" Deep Shredded Hardwood Mulch With No Mulch In Direct Contact With Tree Trunk.
- All Perennial And Annual Planting Beds To Receive 3" Deep Shredded Hardwood Mulch With No Weed Barrier.
- Spread Granular Pre-Emergent Herbicide (Peen Or Equal) Per Manufacturer's Recommendations Under All Mulched Areas.
- Verify Existing/Proposed Irrigation System Layout And Confirm Complete Limits Of Irrigation Prior To Supplying Shop Drawings.
- Landscape Contractor Shall Be Responsible For Providing An Irrigation Layout Plan And Specifications As Part Of The Scope Of Work When Bidding. These Shall Be Approved By The Landscape Architect/Designer/Nursery Prior To Order And/Or Installation. It Shall Be The Landscape Contractor's Responsibility To Insure That All Sodd/Sodded/Seeded And Planted Areas Are Irrigated Properly, Including Those Areas Directly Around And Abutting Building Foundation.
- The Landscape Contractor Shall Provide The Owner With A Watering/Lawn Irrigation Schedule Appropriate To The Project Site Conditions And To Plant Material Growth Requirements.
- If The Landscape Contractor Is Concerned Or Perceives Any Deficiencies In The Plant Selections, Soil Conditions Or Any Other Site Condition Which Might Negatively Affect Plant Establishment, Survival Or Guarantee, He/She Must Bring These Deficiencies To The Attention Of The Landscape Architect/Designer/Nursery Prior To Inspection And/Or Installation.
- Contractor Shall Submit A Written Request For The Owner Acceptance Inspection Of All Landscape And Site Improvements.
- Contractor Is Responsible For On-Going Maintenance Of All Newly Installed Materials Until Time Of Owner Acceptance. Any Acts Of Vandalism Or Damage Which May Occur Prior To Owner Acceptance Shall Be The Responsibility Of The Contractor. Contractor Shall Provide The Owner With A Maintenance Program Including, But Not Limited To, Pruning, Fertilization And Disease/Pest Control.
- Contractor Shall Guarantee New Plant Material Through One Calendar Year From The Date Of Owner Acceptance.
- Warranty (One Full Growing Season) For Landscape Materials Shall Begin On The Date Of Acceptance By The Landscape Architect/Designer/Nursery After The Completion Of Planting Of All Landscape Materials. No Partial Acceptance Will Be Considered.
- Re-Producible As-Built Drawing(s) Of All Landscape Installations And Site Improvements Upon Completion Of Construction Installation And Prior To Project Acceptance.
- Unless noted otherwise, The Appropriate Dates For Spring Plant Material Installation And Sod/Seed Placement Is From The Time Ground Has Thawed To July 15.
- Fall Sodding Is Generally Acceptable From August 15 - November 1, Planting Outside These Dates Is Not Recommended. Any Adjustment Must Be Approved In Writing By The Landscape Architect/Designer/Nursery.
- Container Planting May Occur From August 15 - October 1 And Fall Deciduous Planting From The First Frost Until November 15. Planting Outside These Dates Is Not Recommended. Any Adjustment Must Be Approved In Writing By The Landscape Architect/Designer/Nursery.
- Protect all Existing Oaks On Site Scheduled To Remain. If Existing Oaks Are Damaged In Any Manner, Above Or Below Ground In The Root System, An Asphaltic Tree Pruning Paint Should Be Applied Immediately After Wounding. Oaks Are Not To Be Pruned, Removed Or Transplanted Between April 15 And July 1. Notify Landscape Architect/Designer/Nursery If These Dates Are Unavoidable.
- Landscape Contractor Shall Establish To His/Her Satisfaction That Soil And Compaction Are Adequate To Allow For Proper Drainage At And Around The Building Site.

Plant Schedule:

Symbol	Qty	Common Name	Scientific Name	Size	Container	Comments
Deciduous Trees						
RM	1	Red Sunset Maple	Acer Rubrum 'Sunset'	2.5' Cal.	B&B	Single Stem
Deciduous Shrubs						
RG	7	Red Groome Dogwood	Cornus Alba Sibirica 'Red Groome'	24" Hgt.	Pot	Plant 4' o.c.
Perennials						
JH	13	June Hosta	Hosta 'June'	1 Gal.	Pot	Plant 3' o.c.
PS	18	Purple Emperor Sedum	Sedum 'Purple Emperor'	1 Gal.	Pot	Plant 2' o.c.



**BARR-NELSON
CONSTRUCTION
SERVICES, INC.**

11670 61st. Avenue N.
Plymouth, MN 55442
Phone: 763.355.0322
BID SET
NOT FOR CONSTRUCTION

PROJECT TITLE:

**915
West Broadway**
Retail & Rental

915 West Broadway Ave.
Minneapolis, MN 55411

SHEET TITLE:

**ENCROACHMENT
PLAN**

CERTIFICATION:

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed professional Architect under the laws of the State of Minnesota.

Date:

License Number:

REVISIONS: NO. DATE:

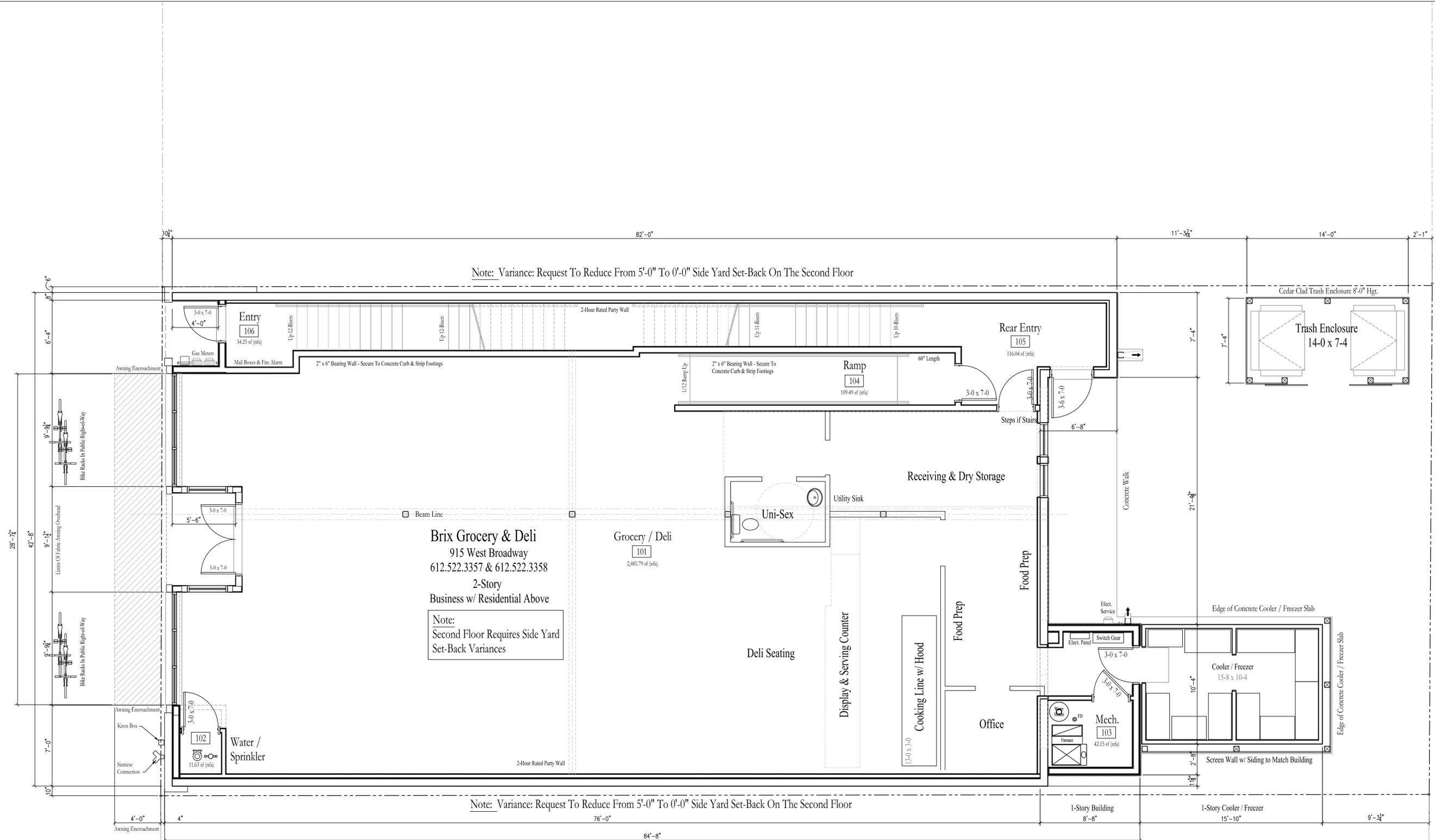
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A1.2

Sheet: - OF: -



Brix Grocery & Deli
915 West Broadway
612.522.3357 & 612.522.3358
2-Story
Business w/ Residential Above

Note:
Second Floor Requires Side Yard
Set-Back Variances

1 ENCROACHMENT PLAN
SCALE: 1/4" = 1'-0"
915 West Broadway
Proposed 2-Story Building 3,321.58 Sq. Ft. Main Floor

BUILDER/CONTRACTOR:
BARR-NELSON CONSTRUCTION SERVICES, INC.

11670 61st. Avenue N.
Plymouth, MN 55442
Phone: 763.355.0322
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Minneapolis, MN 55411

SHEET TITLE:
FIRST FLOOR PLAN

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DATE: 06-29-15
DRAWN BY: JXX
CHECKED BY: JXX
STATUS: PDR Set-4
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Key Notes

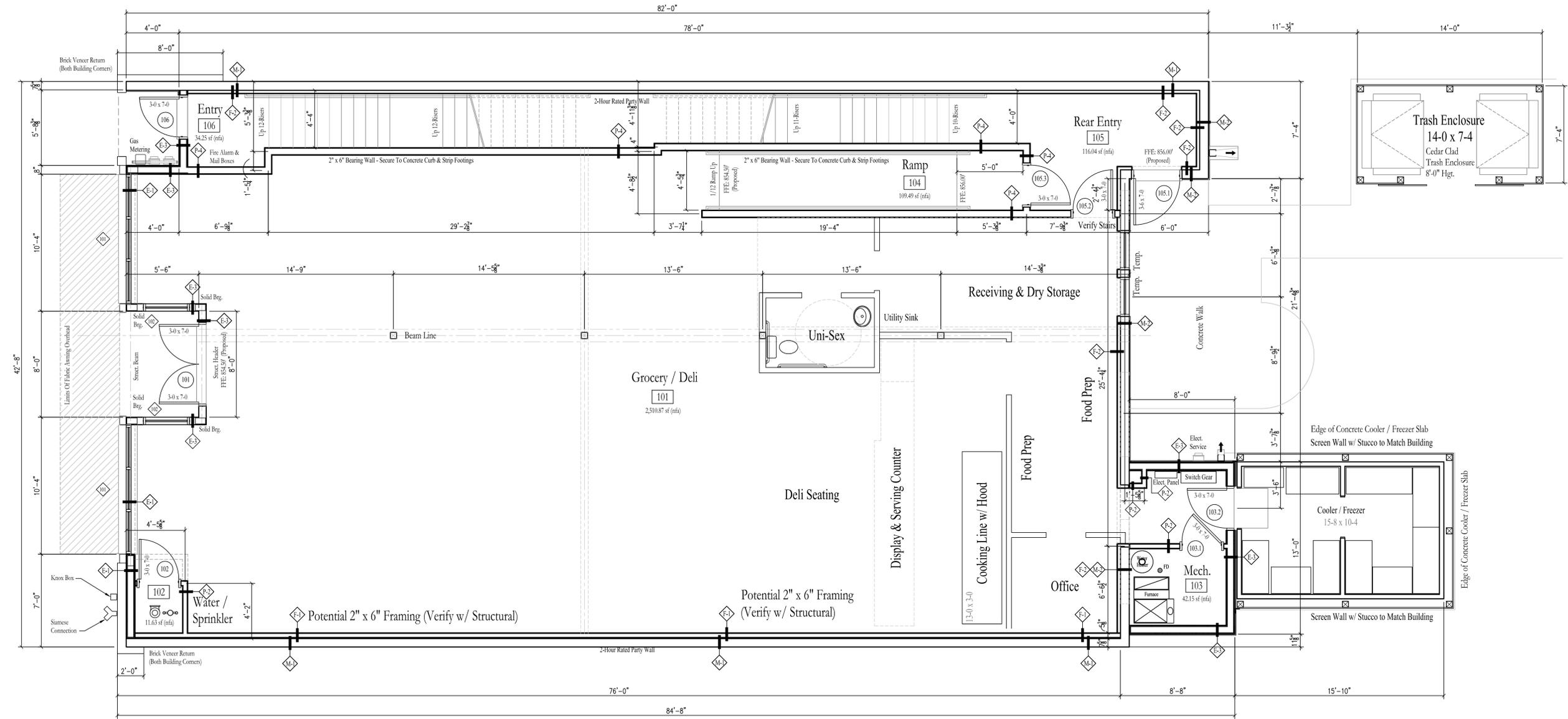
- P-1 Typical Partition 2 x 4 Wood Studs (4-3/4") (1-Hr Fire Rating UL U305)
* (1) Layer 5/8" Type-X Gyp. Brd. Each Side
* Wood Studs @ 16" o.c.
 - P-2 Typical Partition 2 x 6 Wood Studs (6-3/4") (1-Hr Fire Rating UL U305)
* (1) Layer 5/8" Type-X Gyp. Brd. Each Side
* Wood Studs @ 16" o.c.
 - P-3 Insulated Partition 2 x 4 Wood Studs (4-3/4") (1-Hr Fire Rating UL U305)
* (1) Layer 5/8" Type-X Gyp. Brd. Each Side
* Wood Studs @ 16" o.c.
* R-11 Batt Insulation
 - P-4 Insulated Partition 2 x 6 Wood Studs (6-3/4") (1-Hr Fire Rating UL U305)
* (1) Layer 5/8" Type-X Gyp. Brd. Each Side
* Wood Studs @ 16" o.c.
* R-19 Batt Insulation
- Framing Notes:
* 11'-10" Wall Hgt. (Main Floor)
* Treated Sill Plates
* 12'-0" Stud Length - Cut To Length
* No Waste Included In Quantity Notations

- D-1 Demising Wall 2 x 4 Wood Studs (11-1/2") (1-Hr Fire Rating UL U340)
* (1) Layer 5/8" Type-X Gyp. Brd. Panel
* 2 x 4 Wood Studs Staggered @ 8" o.c.
On 2" x 6" Treated Plate
* R-21 Batt Insulation
* Mineral Fiber Firestops @ 10 Ft. o.c. Max.
* (1) Layer 5/8" Type-X Gyp. Brd. Panel
- C Corridor Walls: Primary Wall Separating Residential Units To Corridor - Adjust Widths To Accommodate Special Furring Conditions Such As Plumbing, Roof Drains, Leaders, Etc.
- P-5 Corridor Wall 2 x 4 Wood Studs (5-1/4") (1-Hr Fire Rating UL U311)
* (1) Layer 5/8" Type-X Gyp. Brd. Each Side
* Wood Studs @ 16" o.c.
* R-11 Batt Insulation
* 1/2" Resilient Channel @ 24" o.c.
- P-6 Corridor Wall 2 x 6 Wood Studs (7-1/4") (1-Hr Fire Rating UL U311)
* (1) Layer 5/8" Type-X Gyp. Brd. Each Side
* Wood Studs @ 16" o.c.
* R-19 Batt Insulation
* 1/2" Resilient Channel @ 24" o.c.

- E-1 Brick Veneer Exterior Wall - 2 x 6 Wood Studs (1'-2") 2-Hr Fire Rating (UL U301) Similar
58 STC Sound
USG 810219
* 4" Modular Face Brick
* 2" Air Space
* Brick Ties As Required
* Moisture Resistant Barrier (Sealed)
* (2) Layers 5/8" Firecode Core Gypsum Sheathing
* Wood Studs @ 16" o.c.
* R-21 Batt Insulation
* Vapor Retarder (Sealed)
* (2) Layers 5/8" Type-X Gyp. Brd.
- E-2 Metal Panel Exterior Wall - 2 x 6 Wood Studs (8 1/4") 2-Hr Fire Rating (UL U301) Similar
58 STC Sound
USG 810219
* 1/4" Metal Storefront Facing
* Moisture Resistant Barrier (Sealed)
* (2) Layers 5/8" Firecode Core Gypsum Sheathing
* Wood Studs @ 16" o.c.
* R-21 Batt Insulation
* Vapor Retarder (Sealed)
* (2) Layers 5/8" Type-X Gyp. Brd.

- E-3 Cement Stucco Siding Exterior Wall - 2 x 6 Wood Studs (8-7/8") 2-Hr Fire Rating (UL U301) Similar
58 STC Sound
USG 810219
* 7/8" Cement Stucco
* Moisture Resistant Barrier (Sealed)
* (2) Layers 5/8" Firecode Core Gypsum Sheathing
* Wood Studs @ 16" o.c.
* R-21 Batt Insulation
* Vapor Retarder (Sealed)
* (2) Layers 5/8" Type-X Gyp. Brd.
- E-4 Exterior Wall Structural Masonry (7-5/8") (2-Hr Fire Rating)
* 8" CMU 'Tinted' Concrete Block
* (See Reinforcing, Furring & Finishes)
- E-5 Exterior Wall Structural Masonry (7-5/8") (2-Hr Fire Rating)
* 8" CMU Concrete Block
* (See Reinforcing, Furring & Finishes)

- F-1 Furring At Masonry Wall 2 x 4 Wood Studs (5-3/4") Non-Rated
* (1) Layer 5/8" Type-X Gyp. Brd. Ext. Face
* Wood Studs @ 16" o.c.
* R-13 Batt Insulation
* 1/2" Air Space
* (1) Layer 1" Owens Corning 'Formular 150' Rigid Insulation
- F-2 Furring At Masonry Wall 2-1/2" Metal Framing (3-1/8") Non-Rated
* (1) Layer 5/8" Type-X Gyp. Brd. Ext. Face
* Vapor Retarder (Sealed) Optional
* 2-1/2" R-16.75 Closed Cell Insulation
* 2-1/2" Metal Studs @ 16" o.c.



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"
1915 West Broadway
Proposed 2-Story Building, 3,330.06 Sq. Ft. Foot Print (w/ Brick)
3,321.58 Sq. Ft. Gross Main Floor Area + (Cooler / Freezer)

BUILDER/CONTRACTOR:
BARR-NELSON CONSTRUCTION SERVICES, INC.

11670 61st. Avenue N.
Plymouth, MN 55442
Phone: 763.355.0322
BID SET
NOT FOR CONSTRUCTION

PROJECT TITLE:

915 West Broadway
Retail & Rental

915 West Broadway Ave.
Minneapolis, MN 55411

SHEET TITLE:

SECOND FLOOR PLAN

CERTIFICATION:

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Date:

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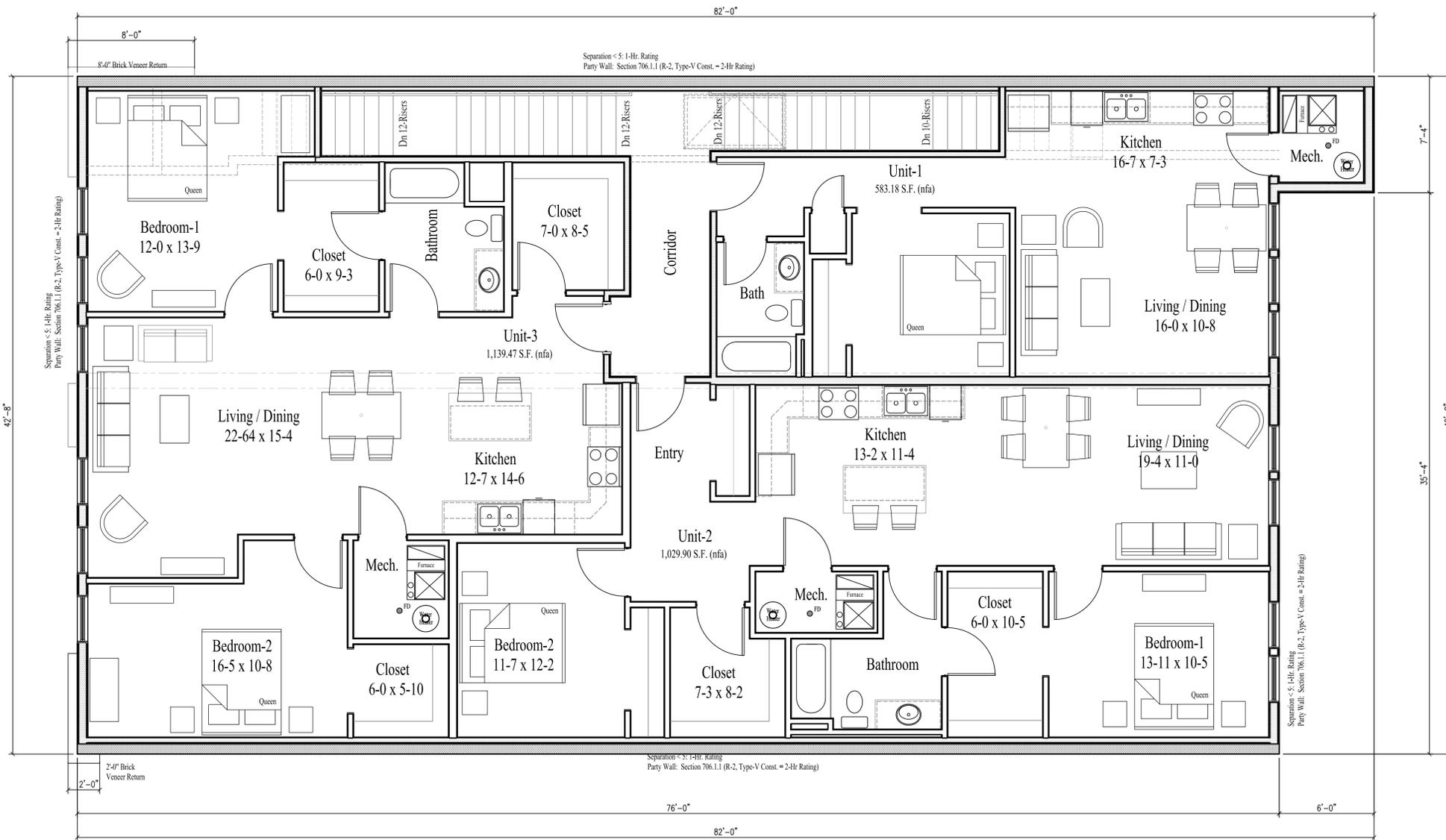
PROJECT NO.	201512
DATE:	06-29-15
DRAWN BY:	XXX
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STATUS:	PDR Set-4
ISSUED:	06-20-16

FILE NO. A1.4 SECOND FLOOR PLAN/DWG
COMMISSION:

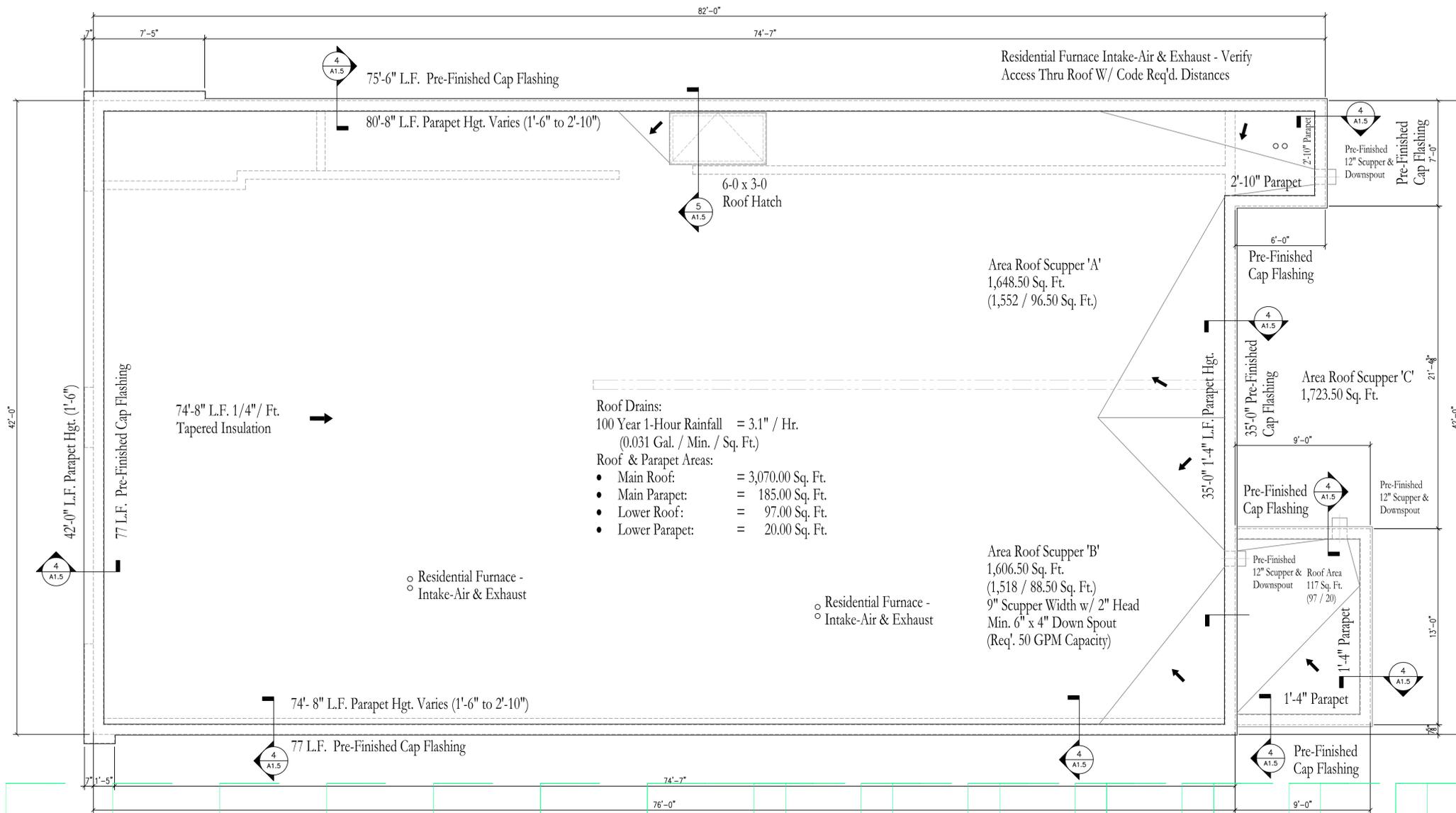
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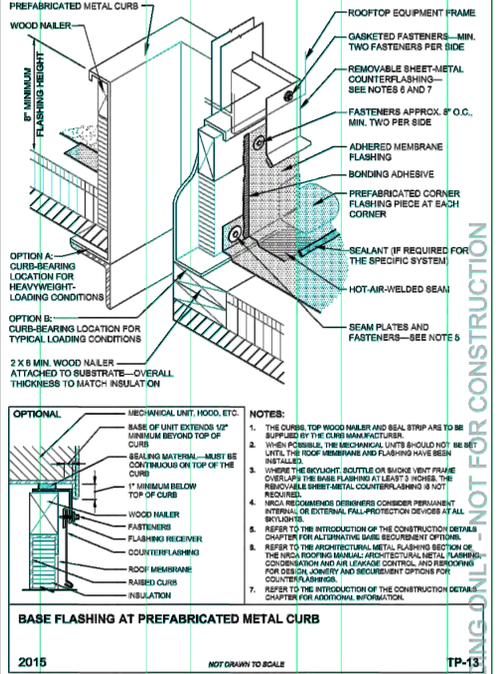
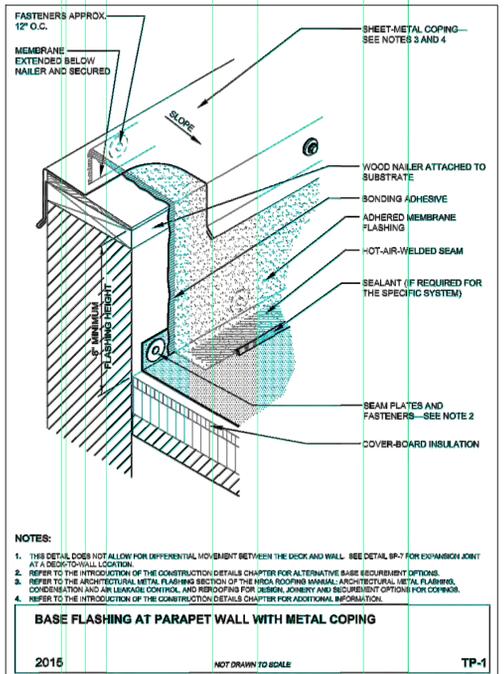
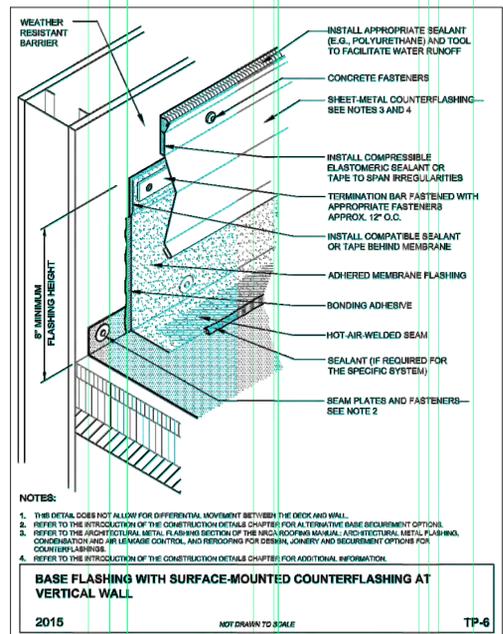
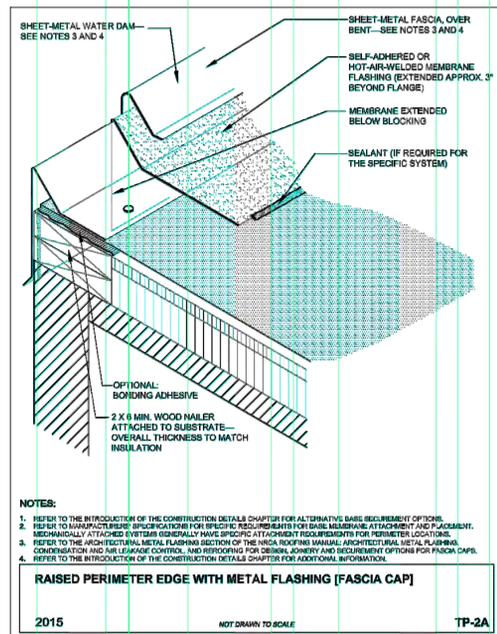
Sheet: - OF: -



1 CONCEPTUAL SITE & RESIDENTIAL PLAN
SCALE: 1/4" = 1'-0"
915 West Broadway
Proposed Second Story 3,286.90 Sq. Ft.



1 CONCEPTUAL ROOF & PARAPET PLAN
 SCALE: 1/4" = 1'-0"



2 Low Roof Detail
 No Scale

3 Low Roof Detail
 No Scale

4 Roof Parapet Detail
 No Scale

5 Roof Curb Detail
 No Scale

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 Phone: 952.250.9980
 Email: ccharles@designgroupc.com

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 Phone: 763.355.0322
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PROJECT TITLE:
915 West Broadway
 Retail & Rental

915 West Broadway Ave.
 Minneapolis, MN 55411

SHEET TITLE:
ROOF & PARAPET PLAN

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License Number: _____

REVISIONS:	NO.	DATE:

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 DATE: 06-29-15
 DRAWN BY: JXX
 CHECKED BY: JXX
 STATUS: PDR Set-4
 ISSUED: 06-20-16
 FILE NO. A1.5 ROOF & PARAPET FLASHING
 COMMISSION: _____

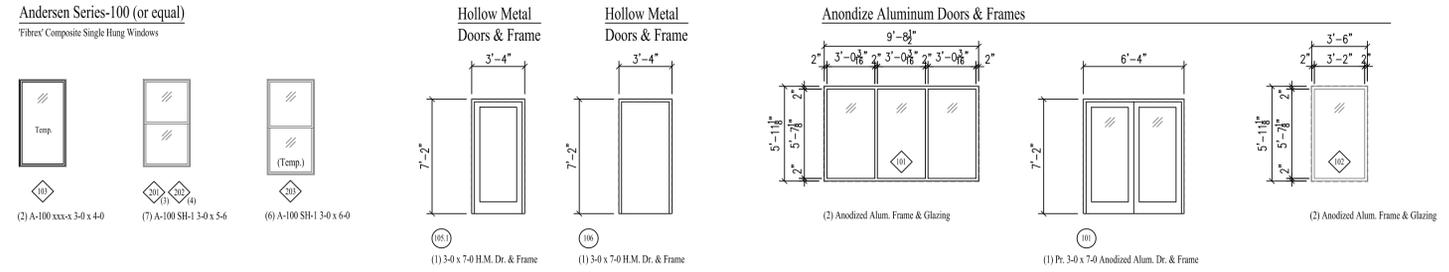
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Exterior Key Notes:

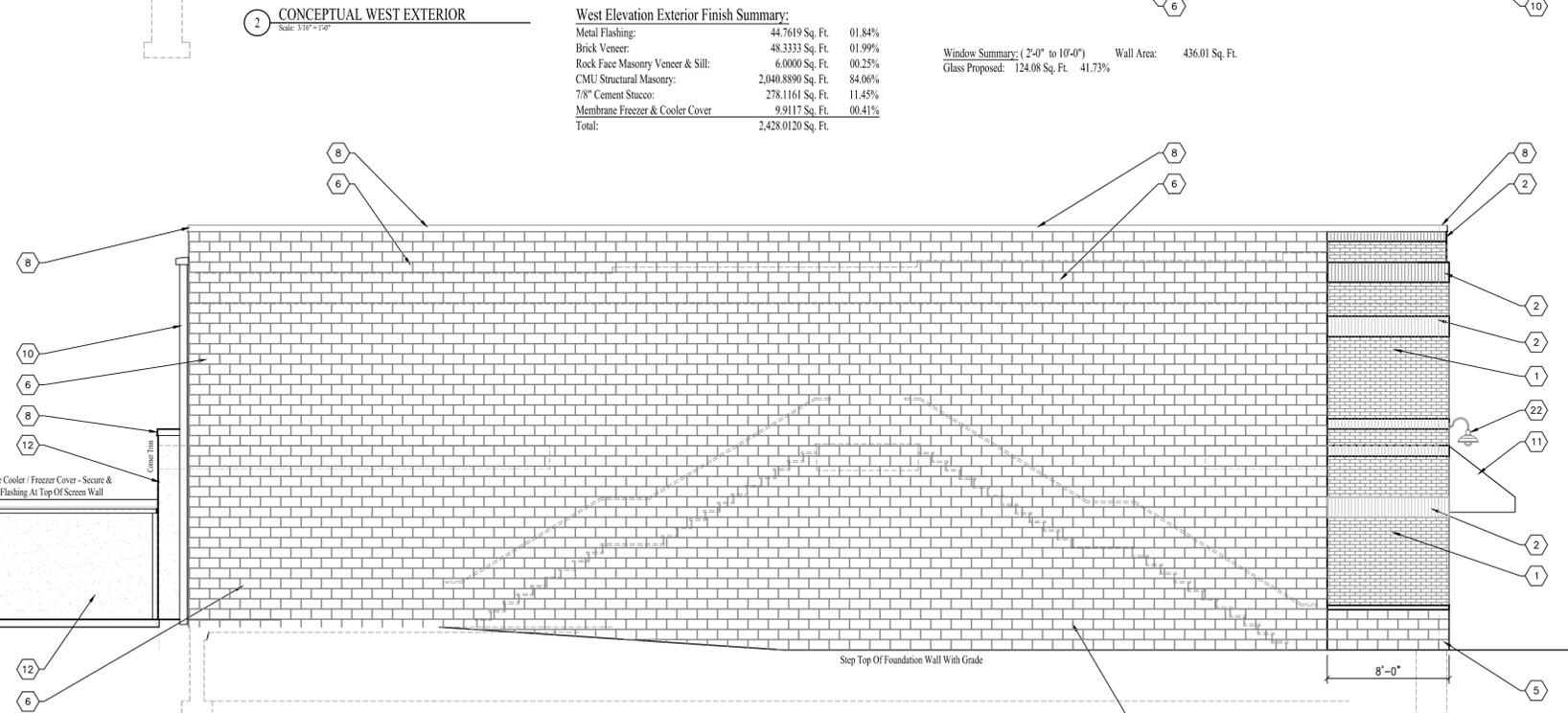
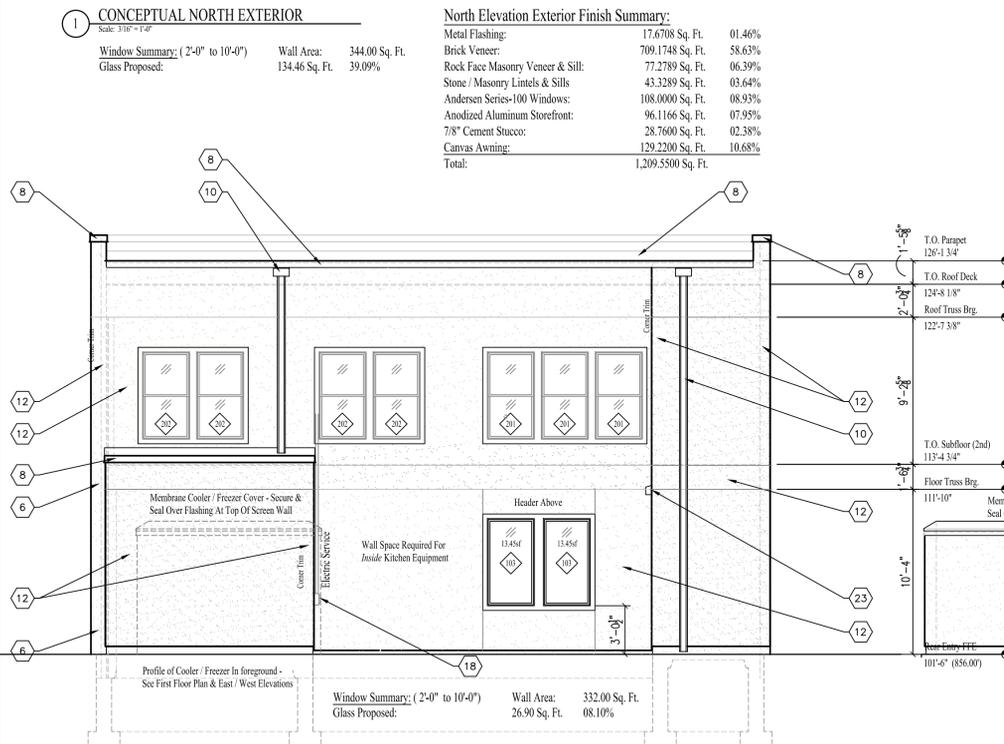
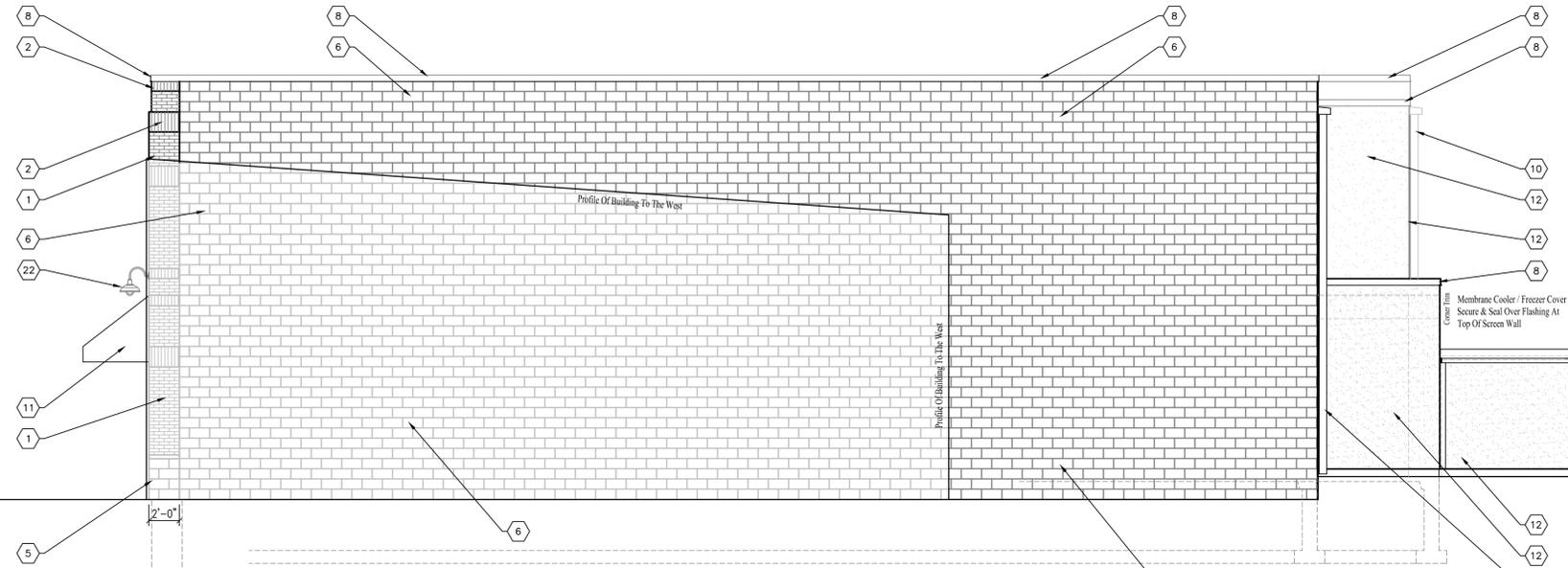
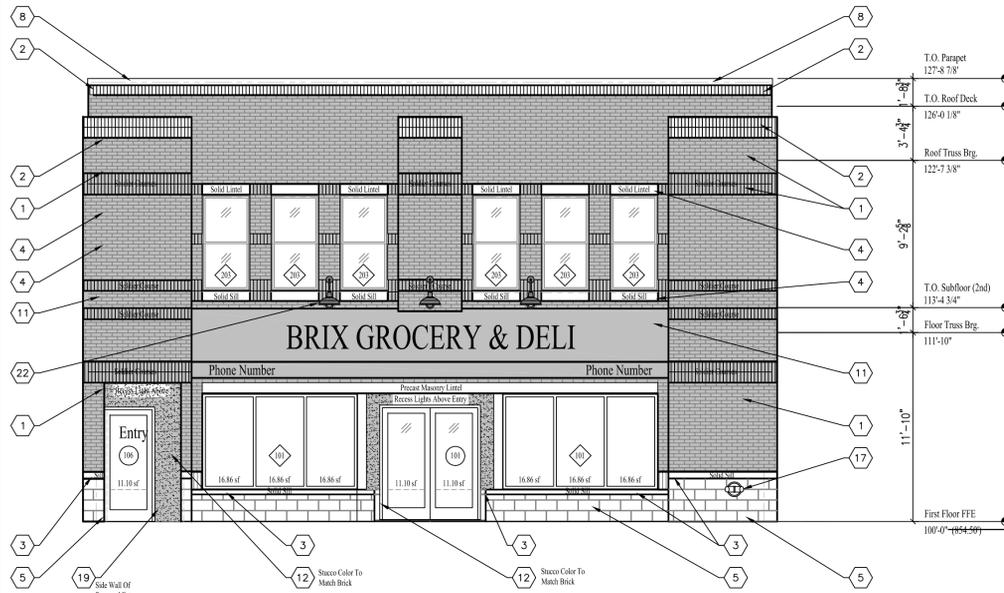
- 1 Face Brick 'A'
- 2 Face Brick 'B' (Soldier)
- 3 Concrete Sill 'A'
- 4 Concrete Sill 'B'
- 5 Precast Rock Face Masonry Anchor Block
- 6 Precast Tinted Colored Masonry Units (Stucco to Match)
- 7 Store Front Break Metal
- 8 Prefinished Metal Flashing 'A'
- 9 Prefinished Metal Flashing 'B'
- 10 Prefinished Scupper & Downspout
- 11 Fabric Awning
- 12 7/8" Cement Stucco
- 13 'Andersen' 100 Series (or Equal) Single Hung Windows (White)
- 14 Anodized Aluminum Storefront Frames w/ Insulated Glass (Clear Aluminum)
- 15 Anodized Aluminum Frame & Door w/ Insulated Glass (Clear Aluminum)
- 16 Hollow Metal Frame & Door
- 17 Siamese Connection
- 18 Electric Service, Mast & Meters
- 19 Gas Service & Meters
- 20 Bike Rack
- 21 Electrical Transformer
- 22 'Warehouse' Style Wall Mounted Light
- 23 Wall Mount 'Down Light'

Window & Door Schedule



Exterior Door Hardware:

- (2) Sets Emergency Panic Devices w/ Closer
- (1) Sets Storefront w/ Deadlatch Push Pad Panel w/ Closer



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PROJECT TITLE:
915 West Broadway
 Retail & Rental

915 West Broadway Ave.
 Minneapolis, MN 55411

SHEET TITLE:
EXTERIOR ELEVATIONS

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License Number:

REVISIONS:	NO.	DATE:

PROJECT NO.	201512
DATE:	06-29-15
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CHECKED BY:	XXX
STATUS:	PDR Set-4
ISSUED:	06-20-16
FILE NO.	A2.1 EXTERIOR ELEVATIONS.DWG

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A2.1
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CONCEPTUAL BRICK & PRECAST VENEER EXTERIOR
Scale: 3/32" = 1'-0"

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Designs as presented as Your Signature

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Email: ccharles@designgroupc.com

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Phone: 763.355.0322
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PROJECT TITLE:

915
West Broadway
Retail & Rental

915 West Broadway Ave.
Minneapolis, MN 55411

SHEET TITLE:

STREETSCAPE ELEVATION

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License Number:

REVISIONS:	NO.	DATE:

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DATE:	06-29-15
DRAWN BY:	XXX
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FILE NO. A2.2 STREETSCAPE ELEVATION.DWG
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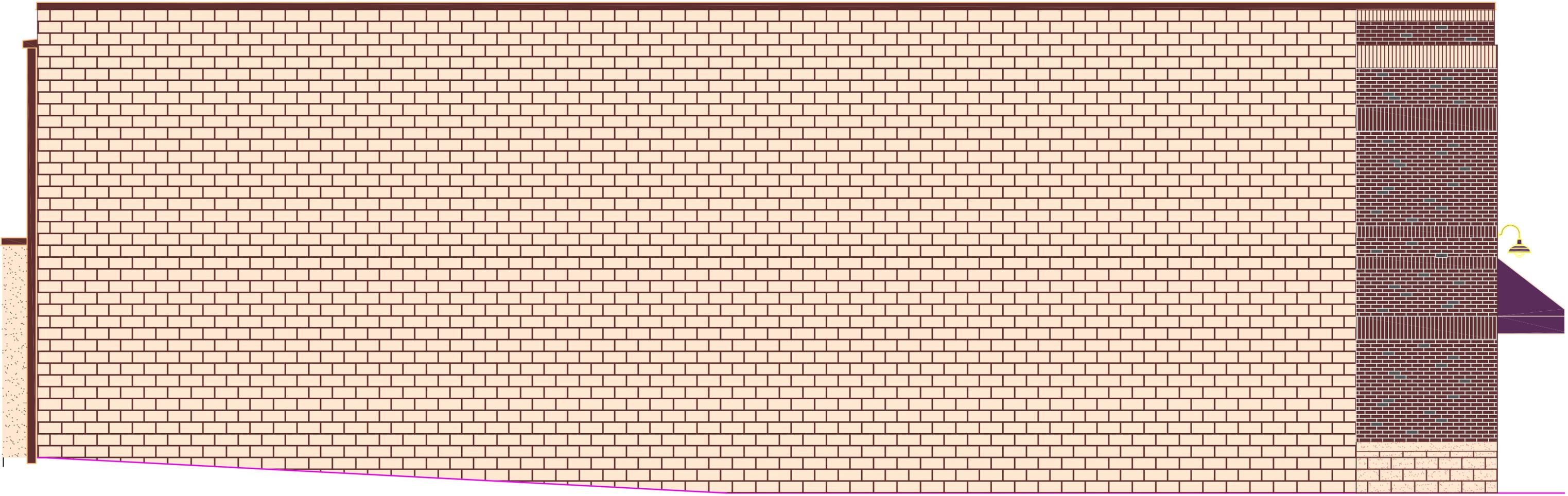
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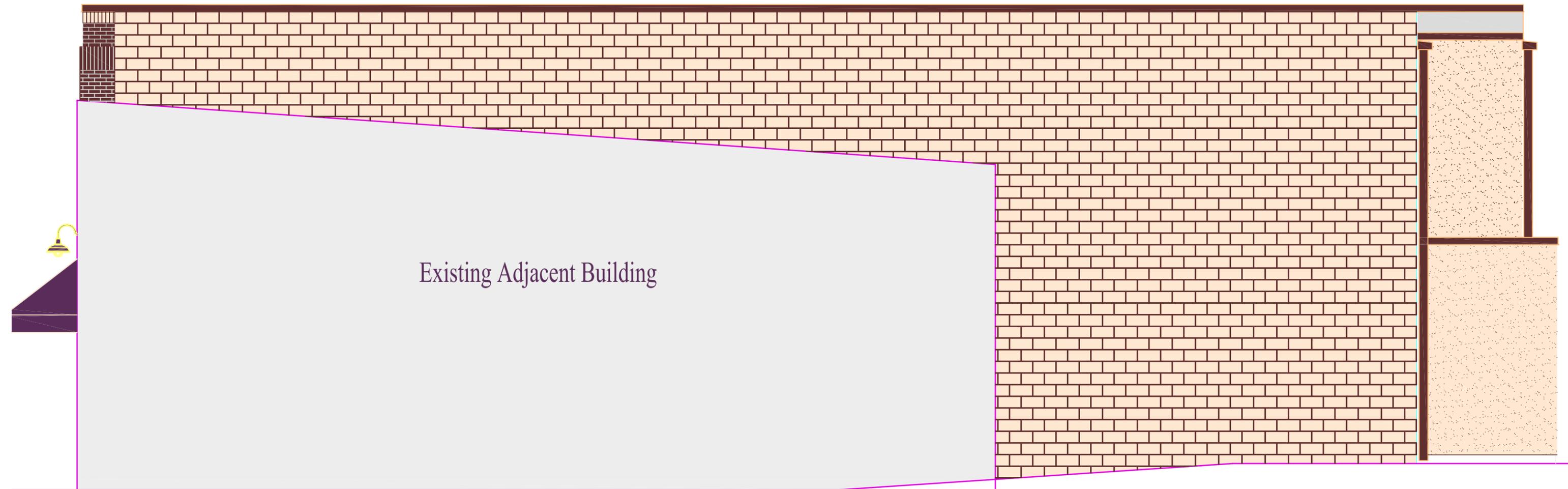


915 WEST BROADWAY AVENUE - NORTH EXTERIOR ELEVATION
CONCEPTUAL BRICK & PRECAST VENEER EXTERIOR

Scale: 3/16" = 1'-0"



915 WEST BROADWAY AVENUE - EAST EXTERIOR ELEVATION
CONCEPTUAL TINTED CONCRETE MASONRY EXTERIOR
Scale: 3/16 " = 1'-0"



Existing Adjacent Building

915 WEST BROADWAY AVENUE - WEST EXTERIOR ELEVATION

CONCEPTUAL TINTED CONCRETE MASONRY EXTERIOR

Scale: 3/16" = 1'-0"

Subject building prior to 1995 fire



522-3357

BRIX GROCERY & MEAT

522-3358

913

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PB Paradise Brads

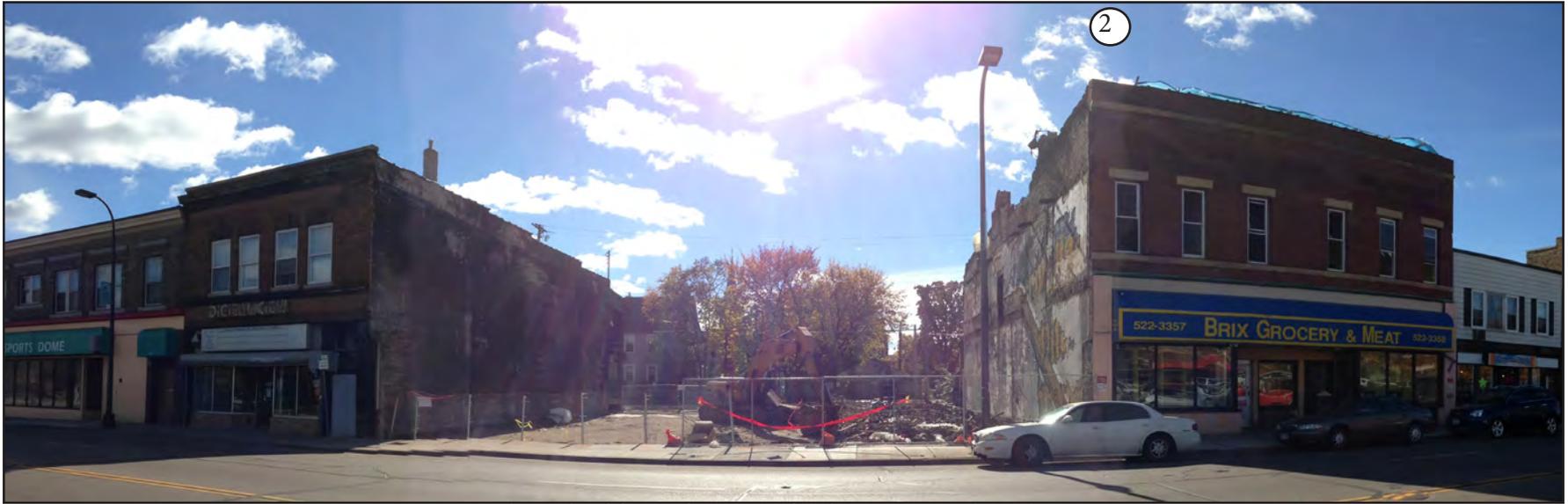
PARADISE BRADS



West Broadway between Bryant Avenue and Dupont Avenue prior to the 2015 fire: front elevations



West Broadway buildings between Bryant Avenue and Dupont Avenue prior to the 2015 fire : rear elevations



Subject building after 2015 fire but prior to demolition



Subject building after 2015 fire and after demolition



West Broadway between Bryant Avenue and Dupont Avenue prior to the 2015 fire: eastern side of block



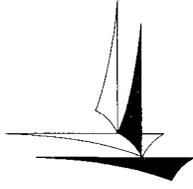
West Broadway between Bryant Avenue and Dupont Avenue prior to the 2015 fire: western side of block



View of 915 West Broadway Avenue from Bryant Avenue alley access point



View of 915 West Broadway Avenue from Dupont Avenue alley access point



Minneapolis Development Review
250 South 4th Street
Room 300
Minneapolis, MN 55415

Preliminary Development Review Report

Development Coordinator Assigned: **DONALD ZART**
(612) 673-2726
don.zart@minneapolismn.gov

Status *
RESUBMISSION REQUIRED

Tracking Number:	PDR 1001448
Applicant:	BRIX GROCERY AND MEAT 4157 TYLER ST COLUMBIA HEIGHTS, MN 55421
Site Address:	915 WEST BROADWAY
Date Submitted:	25-MAY-2016
Date Reviewed:	03-JUN-2016

Purpose

The purpose of the Preliminary Development Review (PDR) is to provide Customers with comments about their proposed development. City personnel, who specialize in various disciplines, review site plans to identify issues and provide feedback to the Customers to assist them in developing their final site plans.

The City of Minneapolis encourages the use of green building techniques. For additional information please check out our green building web page at: http://www.ci.minneapolis.mn.us/mdr/GreenBuildingOptions_home.asp.

DISCLAIMER: *The information in this review is based solely on the preliminary site plan submitted. The comments contained in this report are preliminary ONLY and are subject to modification.*

Project Scope

Rebuild of the Brix grocery store that was destroyed by fire. Building includes 3 rental units on the second floor.

Review Findings (by Discipline)

Zoning - Planning

- Proposed mixed use development requires site plan review, variance for building setback, and a variance to reduce the amount of parking.

Addressing

- There may be a need to change the address of the grocery from 915 West Broadway. Continue to work with Don Zart regarding addressing.

*Approved: You may continue to the next phase of developing your project.

*Resubmission Required: You cannot move forward or obtain permits until your plans have been resubmitted and approved.

❑ Parks - Forestry

- Contact Craig Pinkalla (cpinkalla@minneapolisparks.org), Telephone (612)-499-9233 regarding removal or protection of trees during construction in the city right of way.
- Based on the same use going into the space, along with there being 1 less rental unit, there will not be a park dedication fee collected at this time.

❑ Right of Way

- The plan as submitted meets the requirements of the Public Works Right-Of-Way Division.
- An encroachment permit shall be required for all streetscape elements in the Public right-of-way such as: plants & shrubs, planters, tree grates and other landscaping elements, sidewalk furniture (including bike racks and bollards), and sidewalk elements other than standard concrete walkways such as pavers, stairs, raised landings, retaining walls, access ramps, and railings (NOTE: railings may not extend into the sidewalk pedestrian area). Please contact Bob Boblett at (612) 673-2428 for further information.
- If proposing bike rack locations within City of Minneapolis right of way, contact Paul Cao at (612) 673-2943 for position and alignment of bike racks proposed in the Public right-of-way. If the racks are privately owned, they will require an encroachment permit.

❑ Street Design

- The plan as submitted meets the requirements of the Public Works Street Design Division.

❑ Sidewalk

- The plan as submitted meets the requirements of the Public Works Sidewalk Inspections Division.

❑ Traffic and Parking

- The plan as submitted meets the requirements of the Public Works Traffic & Parking Services Division.

❑ Water

- All existing and proposed underground Public Utilities (water, sanitary sewer, and storm drain) shall be shown on the site plan with corresponding pipe sizes and types. For Public watermain infrastructure records call (612) 673-2865. Any existing water service connections to the site shall be noted on the plans for removal, and shall be removed per the requirements of the Utility Connections Department before any new service lines can be installed, call (612) 673-2451 for more information.
- Note to the Applicant: The existing 1 ¼" water service from main to curb stop needs to be completely removed at the City main along with the curb stop assembly.
- Domestic water and fire service connections should run in a line perpendicular from the watermain straight into the proposed building to the meter location. The current site plan indicates service connections with bends which are generally not allowed. The location of the meter room needs to change as the O.S.Y. valve and meter need to be set at the point of entry (where the 6" line goes straight into the building). If the desired meter location (northwest corner) cannot be changed, the manhole will need to be moved so the line comes straight into the building at that location. Domestic service lines larger than three inches require a Bypass Assembly (see attachment). Please contact Rock Rogers at (612) 673-2286 to confirm domestic water and fire service layout, manhole construction, connections, and sizes.

❑ Fire Safety

- Fire suppression and detection may be required based on your occupancy and square footage.

❑ Business Licensing

- Please work with Don Zart (612)673-2726 regarding the required Health Department Food Plan Review.

□ Environmental Health

- If impacted soil is encountered during site activities call the MN State Duty officer at (615) 649-5451.
- If dewatering is required during site construction see below for city permit requirements. Subgrade structures should be designed to prevent infiltration of groundwater without the need for a permanent dewatering system being installed. If a continuously operating permanent dewatering system is needed it must be approved as part of the sanitary sewer and storm drain site plan approval prior to construction beginning.
- No construction, demolition or commercial power maintenance equipment shall be operated within the city between the hours of 6:00 p.m. and 7:00 a.m. on weekdays or during any hours on Saturdays, Sundays and state and federal holidays, except under permit. Contact Environmental Services at 612-673-3867 for permit information.
- Permits and approval are required from Environmental Services for the following activities: Temporary storage of impacted soils on site prior to disposal or reuse; Reuse of impacted soils on site; Dewatering and discharge of accumulated storm water or ground water, underground or aboveground tank installation or removal, well construction or sealing. Contact Tom Frame at 612-673-5807 for permit applications and approvals.

□ Historical Preservation Committee

- The preservation review was conducted as part of the wrecking permit for the fire damaged structure.

□ Sewer Design**Utility Connections:**

- Please note the existing sanitary sewer connection may be quite old. It is recommended that the condition of the service line be evaluated prior to re-use and replaced or lined if necessary. The service to the City main, including the connection, is the responsibility of the property owner.
- There are notes on Sheet C1.3 indicating proposed construction of sanitary and storm sewer services. The plans indicate re-use of an existing sanitary service and no storm service connection. Please verify what is proposed.
- For comments or questions on Public Works Surface Water & Sewers Division related requirements please contact Jeremy Strehlo, (Professional Engineer) at (612) 673-3973, or jeremy.strehlo@minneapolismn.gov

□ Construction Code Services

- Provide accessible parking and signage for parking.
- Entries and interior first floor will require accessibility.
- Exterior walls adjacent to side property lines will require rating and opening protection.

END OF REPORT