



LAND USE APPLICATION SUMMARY

Property Location: 1201 & 1203 Bryant Ave N, 1130 7th St N
Project Name: Banaadir Academy Addition
Prepared By: Mei-Ling Smith, Senior Planner, (612) 673-5342
Applicant: 1130 LLC
Project Contact: V. Cletis Levisay II
Request: To construct an addition on an existing school.
Required Applications:

Expansion of a Legal Nonconforming Use	To construct an addition to an existing school located in the II Light Industrial District.
Site Plan Review	For a 14,725 square foot addition to an existing building.

SITE DATA

Existing Zoning	II Light Industrial District
Lot Area	74,360 square feet / 1.71 acres
Ward(s)	5
Neighborhood(s)	Northside Residents Redevelopment Council (Near North)
Designated Future Land Use	Transitional Industrial
Land Use Features	N/A
Small Area Plan(s)	<u>Minneapolis Near Northside Master Plan (2000)</u>

Date Application Deemed Complete	June 2, 2016	Date Extension Letter Sent	Not applicable
End of 60-Day Decision Period	August 1, 2016	End of 120-Day Decision Period	Not applicable

BACKGROUND

SITE DESCRIPTION AND PRESENT USE. The subject site contains three parcels and is approximately 74,360 square feet in size. The site has an irregular wedge shape, with seven sides and two street frontages – 7th St N and Bryant Ave N – which connect in front of the site. The natural grade of the southern portion of the site is between four and six feet lower compared to the grade at street level on Bryant Ave N and the natural grade of the northern portion of the site. The site contains a surface parking area between the building and the 7th St N and Bryant Ave N street frontages. There is also an outdoor play area located in the northeast corner of the site.

The existing two-story building was constructed for offices and warehouse space in 1984 and has been used as a charter school since 2002. It contains 24 classrooms and serves approximately 300 students in kindergarten through eighth grade, based on the materials submitted by the applicant.

SURROUNDING PROPERTIES AND NEIGHBORHOOD. The site is just outside the northwest boundaries of downtown. Plymouth Ave N, which is lined with a variety of institutional, commercial, light industrial, and residential uses, is located a half block to the north. I-94 is approximately 900 feet to the east. The majority of the parcels on the north side of 7th St N are zoned I1 Light Industrial District, while property across 7th St N contains a series of six, three-story apartment buildings. The greater area contains a mixture of low-to-high density residential uses in addition to industrial uses.

PROJECT DESCRIPTION. The applicant is proposing to expand the building's footprint toward the south and west boundaries of the site, resulting in approximately 14,725 square feet of gross floor area. The project would reconfigure both levels of the southern portion of the existing building and connect it to the addition, which would contain a two-story gymnasium, an entrance facing the parking lot between the building and Bryant Ave N, and additional storage, offices, and restrooms. Two classrooms and two offices would be added to the second level. The renovation would result in a net increase of four classrooms, including the gymnasium. The primary exterior material of the addition would be 30-inch tall precast concrete panels, while the existing building is primarily painted concrete block.

The surface parking area along the southern part of the property would be relocated to the eastern portion of the site, which currently contains a play area and parking and maneuvering areas. The area between the building and the southern boundary of the property would become a fenced-in outdoor play area. The applicant would regrade the site to accommodate an appropriate slope for the new parking lot. The total number of surface parking spaces would increase from 38 to 49, and the number of bicycle parking spaces would increase from zero to 16. The applicant is proposing to install landscaping materials along Bryant Ave N and within the new surface parking area. However, the addition would result in the loss of three mature trees along 7th St N.

The addition requires an expansion of a legal nonconforming use application, as the existing school is considered a nonconforming use in the I1 district. Site plan review is required for any building additions over 1,000 square feet to a non-residential or mixed use building.

PUBLIC COMMENTS. No correspondence from the neighborhood or from the public has been received as of the printing of this report. Any additional correspondence received prior to the public meeting will be forwarded on to the Planning Commission for consideration.

ANALYSIS

EXPANSION OF A NONCONFORMING USE

The Department of Community Planning and Economic Development has analyzed the application to construct an addition to an existing school located in the II Light Industrial District based on the following findings:

1. *A rezoning of the property would be inappropriate.*

Schools, grades K-12, are allowed in all residence, office residence, commercial, and downtown zoning districts, and are not allowed in the industrial districts unless they are also located within the IL Industrial Living Overlay District. Adding the IL Industrial Living Overlay District would not be appropriate, in this case, as it would allow for residential and retail uses, whereas the immediate area surrounding the subject site is zoned II and consistently contains industrial uses. The site is not immediately adjacent to any land use features where City policies support residential densities or commercial activity. Rezoning the site to include the IL Industrial Living Overlay District would largely be in the interest of one property owner while not being supported by broader Citywide goals or policies. The current zoning designation of II is appropriate given the context.

2. *The enlargement, expansion, relocation, structural alteration or intensification will be compatible with adjacent property and the neighborhood.*

The expansion is compatible with adjacent properties and the neighborhood. The proposed expansion would total approximately 14,425 square feet in gross floor area and would meet all bulk and height requirements in the II district.

3. *The enlargement, expansion, relocation, structural alteration or intensification will not result in significant increases of adverse, off-site impacts such as traffic, noise, dust, odors, and parking congestion.*

The expansion of the non-conforming use would not result in a significant increase in adverse off-site impacts. The expansion would result in the addition of four classrooms, including a gymnasium, and the site would provide adequate off-site parking, including 11 additional vehicle parking spaces and 16 bicycle parking spaces. The project also includes stormwater and utility work to improve on-site retention and infiltration. No additional traffic, noise, dust, odors or parking congestion would be expected with the proposed modifications.

4. *The enlargement, expansion, relocation, structural alteration or intensification, because of improvements to the property, will improve the appearance or stability of the neighborhood.*

The changes to the use would be both internal and external to the structure. Allowing the applicant to construct an addition that is in compliance with the bulk and height requirements in the zoning code would likely improve the stability of the area, as the appearance of the structure would be improved. As conditioned, the project would include additional landscaping, screening, stormwater, and parking lot improvements throughout the 74,360 square foot site. No adverse impacts are anticipated as a result of the proposal.

5. *In districts in which residential uses are allowed, the enlargement, expansion, relocation, structural alteration or intensification will not result in the creation or presence of more dwelling units on the subject property than is allowed by the regulations of the district in which the property is located.*

The proposed addition would not result in the creation of any dwelling units. The building would be utilized entirely as a school.

6. *The enlargement, expansion, relocation, structural alteration or intensification will not be located in the Floodway District.*

The property is not located within the Floodway District.

SITE PLAN REVIEW

The Department of Community Planning and Economic Development has analyzed the application based on the required findings and applicable standards in the site plan review chapter:

I. Conformance to all applicable standards of Chapter 530, Site Plan Review.

BUILDING PLACEMENT AND DESIGN

Building placement – Meets requirements

- The existing building is located approximately 78 feet from the property line adjacent to 7th St N, and between 76 and 80 feet from the property line adjacent Bryant Ave N. The proposed addition would be located between 8 and 8.5 feet from the 7th St N property line, and between 19.5 and 76 feet from the Bryant Ave N property line. The first floor of the building is required to be located within eight feet of the front lot line. As the proposed addition would bring the site into greater compliance with this standard, alternative compliance is not required.
- The placement of the proposed addition reinforces the street wall along both street frontages, maximizes natural surveillance and visibility, and facilitates pedestrian access and circulation.
- The area between the building and lot line includes amenities. The applicant is proposing a fenced-in outdoor play area between the building and south property line facing Bryant Ave N and 7th St N, as well as walkways, bicycle racks, and landscaping improvements between the building and the Bryant Ave N frontage.
- The applicant is proposing to move the surface parking area at the front of the site between 7th St N and Bryant Ave N to the northeast side of the building, which is adjacent to an industrial property and Bryant Ave N. The property frontage along 7th St N has more vehicle traffic compared to Bryant Ave N, and staff finds that it would be appropriate to move the surface parking area away from the primary street frontage of the site. The proposed location of the surface parking would bring the site into greater compliance with the standard that requires surface parking to be located to the rear or interior of the site.

Principal entrances – Meets requirements

- The building is oriented so that at least one principal entrance faces the front property line. The principal entrance to the building faces the Bryant Ave N frontage.
- The principal entrance is clearly defined and emphasized through the use of aluminum awnings.

Visual interest – Requires alternative compliance

- The building walls provide architectural detail and contain windows in order to create visual interest.
- The proposed building emphasizes architectural elements – including recesses, projections, windows, and entries – to divide the building into smaller identifiable sections.
- The west, south, and east elevations of the proposed addition contain blank, uninterrupted walls exceeding 25 feet in length. Alternative compliance is being requested.

Exterior materials – Meets requirements

- The applicant is proposing two types of precast concrete panel – light and medium sandblast finishes – for the addition’s primary exterior materials. The light sandblast finish would be light brown, and the medium sandblast would be medium brown. The portion of the existing building that would be visible has painted concrete block on the exterior. Each elevation of the addition would comply with the City’s durability standards for exterior materials (see Table 1). Please note that exterior material changes at a later date may require review by the Planning Commission and an amendment to the site plan review.
- In addition, the application is consistent with the City’s policy of allowing no more than three exterior materials per elevation, excluding windows, doors, and foundation materials.
- Plain face concrete block is not proposed along any public streets, sidewalks, or adjacent to a residence or office residence district.
- The exterior materials and appearance of the rear and side walls of the building are similar to and compatible with the front of the building.

Table 1. Percentage of Exterior Materials per Elevation

Material	Allowed Max	North	South	East	West
Concrete	100%	100%	100%	100%	100%

Windows – Requires alternative compliance

- For nonresidential uses, the zoning code requires that no less than 30 percent of the walls on the first floor are windows with clear or lightly tinted glass with a visible light transmittance ratio of six-tenths (0.6) or higher. In addition, at least ten percent of the walls on each floor above the first that face a public street, public sidewalk, public pathway, or on-site parking lot, is required to be windows. The project is in compliance with the 10 percent minimum window requirement for the second floor of the west elevation, but is not in compliance with minimum window requirement on all other floors facing the public street on the west, east, and south elevations (see Table 2). Alternative compliance is required.
- All windows are generally vertical in proportion and are evenly distributed along the building walls.

Table 2. Percentage of Windows per Applicable Elevation

	Code Requirement		Proposed	
West Elevation				
1st floor	30% minimum	331 sq. ft.	8%	88 sq. ft.
2nd floor and above	10% minimum	170 sq. ft.	13%	220 sq. ft.
East Elevation				
1st floor	30% minimum	216 sq. ft.	14%	103 sq. ft.
2nd floor and above	10% minimum	111 sq. ft.	8%	92 sq. ft.
South Elevation				
1st floor	30% minimum	250 sq. ft.	23%	188 sq. ft.
2nd floor and above	10% minimum	127 sq. ft.	9%	114 sq. ft.

Ground floor active functions – Requires alternative compliance

- The ground floor of the addition facing Bryant Ave N contains 100 percent active functions. The 70 percent minimum ground floor active functions requirement is also met on the southwest elevation and southeast elevations.

- The ground floor facing 7th St N does not comply with the 70 percent minimum requirement, as 41 percent (61 feet) of the ground floor facing 7th St N contains storage or mechanical rooms, leaving only 59 percent as active functions. The applicant is requesting alternative compliance for the ground floor active functions requirement on the west elevation.

Roof line – Meets requirements

- The principal roof line of the building will be flat, which is similar to that of surrounding buildings.

Parking garages – Not applicable

- There are no parking garages proposed as part of this project.

ACCESS AND CIRCULATION

Pedestrian access – Meets requirements

- There are clear and well-lit walkways at least four feet in width connecting building entrances to the adjacent public sidewalk and on-site parking facilities. The walkway along the east side of the building is over 5.5 feet in width and would connect to the sidewalk adjacent to the east property line, adjacent to Bryant Ave N. There is no sidewalk adjacent to the site north of the Bryant Ave N curb cut, but there is a public sidewalk on all other street frontages.
- The applicant is also proposing a five-foot-wide concrete walk along the west side of the building that would connect to the public sidewalk at the southwest portion of the side. As part of their regrading plan, the concrete walk would be supported by a retaining wall and there would be a narrow landscaped strip with rock mulch installed between the most of the length of the on-site walkway and the public sidewalk.

Transit access – Not applicable

- No transit shelters are proposed as part of this development.

Vehicular access – Meets requirements

- Vehicular access and circulation has been designed to minimize conflicts with pedestrian traffic and with surrounding residential uses.
- The site is currently served by two curb cuts on Bryant Ave N. The applicant is proposing to retain both curb cuts as part of the project to accommodate bus circulation through the site.
- There are no public alleys adjacent to the site.
- Service vehicle access is not expected to conflict with pedestrian traffic.
- There is no maximum impervious surface requirement in the II Light Industrial zoning district. According to the materials submitted by the applicant, 83.1 percent of the site (61,885 square feet) will be impervious, while 74.3 percent (55,093 square feet) of the existing site is impervious.

LANDSCAPING AND SCREENING

General landscaping and screening – Requires alternative compliance

- The overall composition and location of landscaped areas complement the scale of development and its surroundings.
- At least 20 percent of the site not occupied by the building is landscaped. The site will contain approximately 12,475 square feet of landscaping after the proposed development is completed, or approximately 28 percent of the site not occupied by buildings (see Table 3).

- The applicant is proposing at least one canopy tree per 500 square feet of the required landscaped area, including all required landscaped yards. The tree requirement for the site is 18 and the applicant is proposing a total of nine canopy trees; two new Skyline Honeylocust trees would be planted on-site, and six Ash and one Maple would remain. The applicant is requesting alternative compliance to reduce the minimum canopy tree requirement from 18 to 9.
- The applicant is proposing at least one shrub per 100 square feet of the required landscaped area, including all required landscaped yards. The shrub requirement for the site is 88 and the applicant is proposing 36 coniferous shrubs, and is therefore requesting alternative compliance.
- The remainder of the required landscaped area is covered with turf grass, native grasses, perennial flowering plants, vines, shrubs and other trees.

Table 3. Landscaping and Screening Requirements

	Code Requirement	Proposed
Lot Area	--	74,360 sq. ft.
Building Footprint	--	30,355 sq. ft.
Remaining Lot Area	--	44,005 sq. ft.
Landscaping Required	8,801 sq. ft.	12,475 sq. ft.
Canopy Trees (1:500 sq. ft.)	18 trees	9 trees
Shrubs (1:100 sq. ft.)	88 shrubs	36 shrubs

Parking and loading landscaping and screening – Requires alternative compliance

- The parking and loading area facing the public street or public sidewalk contains an on-site landscaped yard of at least seven feet in width. The on-site portion of the existing landscaped yard between the parking area and Bryant Ave N is approximately 10.5 feet wide, while the width of the landscaped yard including the portion that is in the public right-of-way is approximately 22 feet in width.
- The applicant is proposing to install 11 Mint Julep Junipers between the parking area and Bryant Ave N to screen the parking area. The proposed landscaping materials would mature to a height of between four and six feet, where three feet is required. Staff recommends a condition of approval that a three-foot height be maintained in this location to comply with section 530.170 of the zoning code.
- There is at least one tree provided for each 25 linear feet, or fraction thereof, of parking or loading area frontage. The Bryant Ave N parking frontage is 62 linear feet, which requires a minimum of three trees. There are three existing Ash trees in this location, which complies with the requirement.
- The site is not adjacent to an alley or residential district or use.
- The landscaping plan submitted by the applicant does not show landscaping as specified for a required landscaped yard in the corners of the parking lot that are unavailable for parking or vehicular circulation. This item requires alternative compliance.
- Because the proposed surface parking lot contains ten or more spaces, each parking space must be located within 50 feet of the center of an on-site deciduous tree. The spaces located in the northern portion of the parking area are more than 50 feet from the center of an on-site deciduous tree and this requires alternative compliance.
- The landscaping plan submitted by the applicant does not include any tree islands.
- As conditioned, the plant materials, and the installation and maintenance of the plant materials, would comply with sections 530.200 and 530.210 of the zoning code.
- All areas not occupied by buildings, parking and loading facilities, or driveways are required to be covered with turf grass, native grasses, perennials, wood mulch, shrubs, and trees. As mentioned

above, the corners of the parking areas are not landscaped. Alternative compliance is being requested for this standard.

ADDITIONAL STANDARDS

Concrete curbs and wheel stops – Meets requirements

- The parking lot would be defined by a six-inch by six-inch continuous concrete curb. The final stormwater management plan will be reviewed by Public Works Surface Water & Sewers as part of the Preliminary Development Review process.

Site context – Meets requirements

- There are no important elements of the city near the site that will be obstructed by the proposed building.
- This building should have minimal shadowing effects on public spaces and adjacent properties.
- This building has been designed to minimize the generation of wind currents at ground level.

Crime prevention through environmental design – Meets requirements

- The site plan employs best practices to increase natural surveillance and visibility, to control and guide movement on the site, and to distinguish between public and non-public spaces.
- The proposed site, landscaping, and buildings promote natural observation and maximize the opportunities for people to observe adjacent spaces and public sidewalks.
- The project provides lighting on site, at all building entrances, and along walkways that maintains a minimum acceptable level of security while not creating glare or excessive lighting of the site.
- The landscaping, sidewalks, lighting, fencing, and building features are located to clearly guide pedestrian movement on or through the site and to control and restrict people to appropriate locations.
- The entrances, exits, signs, fencing, landscaping, and lighting are located to distinguish between public and private areas, to control access, and to guide people coming to and going from the site.

Historic preservation – Not applicable

- This site is neither historically designated nor is it located in a historic district.

2. Conformance with all applicable regulations of the zoning ordinance.

The proposed use is legally nonconforming in the II District.

Off-street Parking and Loading – Meets requirements

- There are currently 38 surface parking spaces on the site. The off-street vehicle parking requirement is based on the number of classrooms (28) and the number students of legal driving age enrolled at the school (0). Since there are no students of legal driving age, the minimum requirement is one space per classroom (28), while the maximum allowed is two per classroom (56). The applicant is proposing a total of 49 vehicle parking spaces (46 standard, three accessible), which complies with the parking requirements for the school (see Table 4).
- The minimum bicycle parking requirement is three per classroom, with at least 50 percent meeting the standards for short-term bicycle parking (see Table 5). The bicycle parking requirement is 84 based on the total number of classrooms proposed for the school. However, the site has nonconforming rights to 72 bicycle spaces, as the site currently has zero bicycle parking spaces for 24 classrooms. The applicant is required to provide a minimum of 12 bicycle parking spaces based

on the four-classroom increase. The submitted site plan shows a total of 16 bicycle parking spaces near the front entrance facing Bryant Ave N. Staff encourages the applicant to add additional bicycle parking spaces in the final site plan.

- The school use has “Low” loading requirement, and would be required to provide one small loading space based the building’s overall square footage. However, the existing school building has grandfather rights to one small loading space. As a result, no additional loading spaces are required (see Table 6).

Table 4. Vehicle Parking Requirements Per Use (Chapter 541)

Use	Minimum	Maximum Allowed	Proposed
School, grades K-12	28	56	49

Table 5. Bicycle Parking Requirements (Chapter 541)

Use	Minimum	Short-Term	Long-Term	Proposed
School, grades K-12	12	6 (not less than 50%)	--	16 short-term

Table 6. Loading Requirements (Chapter 541)

Use	Loading Requirement	Minimum Requirement	Proposed
School, grades K-12	Low	0 (nonconforming rights to 1 small space)	0

Building Bulk and Height – Meets requirements

- The proposed building addition complies with the maximum bulk and height regulations of the II district (see Table 7).

Table 7. Building Bulk and Height Requirements

	Code Requirement	Proposed
Lot Area	--	74,360 sq. ft. / 1.71 acres
Gross Floor Area	--	52,549 sq. ft.
Floor Area Ratio (Minimum)	--	0.7
Floor Area Ratio (Maximum)	1.7	
Building Height (Maximum)	4 stories or 56 feet, whichever is less	2 stories / 28 feet, 8 inches

Lot Requirements – Not applicable

- Schools, grades, K-12, are typically located in residential zoning districts, which have lot area, coverage, and width requirements for schools. However, the existing school is a nonconforming use in the II district, and the lot requirements do not apply. In addition, there is no maximum impervious surface area or maximum lot coverage requirement in the II zoning district.

Yard Requirements – Not applicable

- In the II district, yards are not required unless adjacent to a residence or office residence district, or permitted or conditional residential use. The site is not adjacent to any residential uses or residence or office residence districts.

Signs – Meets requirements with Conditions of Approval

- All signs are subject to Chapter 543, On-Premise Signs. The applicant will be required to submit a separate sign permit application for any signage that is proposed.

Screening of Mechanical Equipment – Meets requirements

- All mechanical equipment is subject to the screening requirements of Chapter 535 and district requirements. The mechanical equipment associated with the addition will be located on the rooftop or enclosed within the building. The elevations submitted by the applicant demonstrate that the rooftop mechanical equipment would be fully screened on all four sides.

Refuse Screening – Meets requirements with Conditions of Approval

- All refuse and recycling storage containers are subject to the screening requirements in Chapter 535:

535.80. Screening of refuse and recycling storage containers.

Refuse, recycling storage, and compost containers shall be enclosed on all four (4) sides by screening compatible with the principal structure not less than two (2) feet higher than the refuse container or shall be otherwise effectively screened from the street, adjacent residential uses located in a residence or office residence district and adjacent permitted or conditional residential uses. Single and two-family dwellings and multiple-family dwellings of three (3) and four (4) units shall not be governed by this provision.

- The applicant has not indicated where trash and recycling containers would be located. Staff recommends a condition of approval that any refuse and recycling storage containers located on the exterior of the building shall be screened per section 535.80.

Lighting – Meets requirements

- Existing and proposed lighting must comply with Chapter 535 and Chapter 541 of the zoning code. The lighting plan submitted by the applicant demonstrates compliance with the applicable requirements.

Fences – Meets requirements

- Fences must comply with the requirements in Chapter 535. The applicant is proposing a six-foot tall black vinyl coated chain link fence around the perimeter of the playground at the south end of the site. The fence complies with the zoning code requirements for location, material, and height.

Specific Development Standards – Meets requirements

- The applicant's proposal meets the specific development standards for schools, grades K-12, in Chapter 536.
 - 1) The use shall include a regular course of study accredited by the State of Minnesota.
 - 2) To the extent practical, all new construction or additions to existing buildings shall be compatible with the scale and character of the surroundings, and exterior building materials shall be harmonious with other buildings in the neighborhood.

- 3) An appropriate transition area between the facility and adjacent property shall be provided by landscaping, screening and other site improvements consistent with the character of the neighborhood.

3. Conformance with the applicable policies of The Minneapolis Plan for Sustainable Growth.

The Minneapolis Plan for Sustainable Growth identifies the site as Transitional Industrial on the future land use map. CPED finds that, as conditioned, the proposed development is consistent with the following principles and policies outlined in the comprehensive plan:

Land Use Policy 1.1: Establish land use regulations to achieve the highest possible development standards, enhance the environment, protect public health, support a vital mix of land uses, and promote flexible approaches to carry out the comprehensive plan.

- 1.1.5 Ensure that land use regulations continue to promote development that is compatible with nearby properties, neighborhood character, and natural features; minimizes pedestrian and vehicular conflict; promotes street life and activity; reinforces public spaces; and visually enhances development.

Public Services and Facilities Policy 5.2: Support the efforts of public and private institutions to provide a wide range of educational choices for Minneapolis students and residents throughout the city.

- 5.2.1 Work with institutions to ensure that school facilities are safe, accessible, and functionally appropriate for a diverse array of educational programs.
- 5.2.2 Encourage new educational institutions to locate in existing school buildings, or at sites that take advantage of proximity to transit such as neighborhood commercial nodes or commercial and community corridors.

Urban Design Policy 10.8: Strengthen the character and desirability of the city's urban neighborhood residential areas while accommodating reinvestment through infill development.

- 10.8.8 Appropriate non-residential land uses, such as institutional, public and suitable commercial uses, should be integrated into low density residential areas through proper building location and design, landscaping, and other site improvements.

Urban Design Policy 10.13: Work with institutional and public partners to assure that the scale and form of new development or expansion will occur in a manner most compatible with the surrounding area.

- 10.13.3 Encourage institutional uses and public buildings and facilities to incorporate architectural and site design that is reflective of their civic importance and that identifies their role as focal points for the community.
- 10.13.4 Promote active uses at the ground floor level.

Urban Design Policy 10.18: Reduce the visual impact of automobile parking facilities.

- 10.18.1 Require that parking lots meet or exceed the landscaping and screening requirements of the zoning code, especially along transit corridors, adjacent to residential areas, and areas of transition between land uses.
- 10.18.4 Provide walkways within parking lots in order to guide pedestrians through the site.

4. Conformance with applicable development plans or objectives adopted by the City Council.

The site is located within the boundaries of the *Minneapolis Near Northside Master Plan* adopted by the City Council in 2000. The plan specifically discusses a vision for infill residential and mixed-use development within the Near North community, but does not contain specific guidance for the subject site.

5. Alternative compliance.

The Planning Commission or zoning administrator may approve alternatives to any site plan review requirement upon finding that the project meets one of three criteria required for alternative compliance. Alternative compliance is requested for the following requirements:

- **Blank walls.** The west, south, and east elevations contain blank, uninterrupted walls exceeding 25 feet in length. Alternative compliance is being requested. The west elevation is adjacent to 7th St N, which is a high-traffic corridor in this area and there is a large apartment complex on the opposite side of the street. The south and east elevations would also be visible from the intersection of 7th St N and Bryant Ave N. Because of the high visibility of these elevations from the public realm and from nearby residential properties, staff finds that it would be practical to require greater compliance with this standard by providing additional windows, entries, recesses or projections, or other architectural elements on the southernmost portion of the addition facing west, south, and east to create visual interest.
- **Windows.** The project is in compliance with the 10 percent minimum window requirement for the second floor of the west elevation, but is not in compliance with minimum window requirement on all other floors facing the public street on the west, east, and south elevations (see Table 3). Staff recommends that the applicant provide no less than 100 square feet of additional windows on both the west and east elevations to bring the addition into greater compliance with the minimum window requirement.
- **Ground floor active functions.** The ground floor facing the 7th St N does not comply with the 70 percent minimum requirement, as 41 percent (61feet) of the ground floor facing 7th St N contains storage or mechanical rooms, leaving only 59 percent as active functions. The applicant is requesting alternative compliance for the ground floor active functions requirement on the west elevation. Staff finds that it would be reasonable to grant alternative compliance, given that the recommended conditions of approval would require the applicant to add visual interest to the west elevation.
- **Canopy trees.** The applicant is requesting alternative compliance to reduce the minimum canopy tree requirement from 18 to 9. The applicant is proposing to remove three on-site Ash trees from the site to allow for the construction of the addition, retaining wall, and walkway along the south site of the property. As an alternative, the applicant is proposing to plant six ornamental trees on-site and in the adjacent City-owned parcel. Provided that additional trees are planted to meet the screening, interior parking lot landscaping, and 50-foot canopy tree radius requirements, staff recommends granting alternative compliance for this standard.
- **Shrubs.** The shrub requirement for the site is 88 and the applicant is proposing 36 coniferous shrubs, and is therefore requesting alternative compliance. With the recommended conditions of approval, 920 square feet of landscaping would be added to the corners of the parking lot, and at least 10 additional shrubs would need to be planted. There is also approximately 320 square feet of on-site landscaped area between the playground and 7th St N where there are no trees, shrubs, perennials, or grasses proposed. Staff recommends that the applicant provide no fewer than 10 shrubs in this location.
- **Interior landscaping of parking lots.** The landscaping plan submitted by the applicant does not show landscaping as specified for a required landscaped yard in the corners of the parking lot that

are unavailable for parking or vehicular circulation. This item requires alternative compliance, as the corners of the parking lot along the north property line would be striped. Staff finds that it would be reasonable to require full compliance with the standard that all parking lot corners shall be landscaped and shall contain no less than one canopy tree per 500 square feet and one shrub per 100 square feet, resulting in additional 920 square feet of landscaping.

- **Parking within 50 feet of an on-site deciduous tree.** Because the proposed surface parking lot contains ten or more spaces, each parking space must be located within 50 feet of the center of an on-site deciduous tree. The spaces located in the northern portion of the parking area are more than 50 feet from the center of an on-site deciduous tree and this requires alternative compliance. Staff finds that it would be practical to require compliance with the standard that every surface parking space shall be within 50 feet from the center of an on-site deciduous tree.
- **Landscaping in areas not covered by buildings, parking facilities, or driveways.** All areas not occupied by buildings, parking and loading facilities, or driveways are required to be covered with turf grass, native grasses, perennials, wood mulch, shrubs, and trees. As mentioned above, the corners of the parking areas are not landscaped, so alternative compliance is being requested. Staff finds that it would be reasonable to require full compliance with this standard.

RECOMMENDATIONS

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt staff findings for the applications by V. Cletis Levisay II, on behalf of 1130, LLC, for the properties located at 1201-1203 Bryant Ave N and 1130 7th St N:

A. Expansion of a Nonconforming Use.

Recommended motion: **Approve** the application for an expansion of a nonconforming use to construct an addition to an existing school located in the 11 district.

B. Site Plan Review.

Recommended motion: **Approve** the application for site plan review for a 14,725 square foot addition to an existing building, subject to the following conditions:

1. All site improvements shall be completed by June 27, 2018, unless extended by the Zoning Administrator, or the permit may be revoked for non-compliance.
1. CPED staff shall review and approve the final site, elevation, landscaping, and lighting plans before building permits may be issued.
2. The plant materials, and installation and maintenance of the plant materials, shall comply with sections 530.200 and 530.210 of the zoning code.
3. All signs shall comply with Chapter 543 of the Zoning Code. All new signage requires a separate permit from CPED.
4. Any refuse and recycling storage containers located on the exterior of the building shall be shown on the site plan and be screened per the requirements in section 535.80 of the zoning code.
5. The applicant shall eliminate the blank walls exceeding 25 feet on the southernmost portion of the west, south, and east elevations by adding windows, entries, recesses or projections, or other architectural elements.
6. The applicant shall provide no less than 100 square feet of additional windows on both the west and east elevations.
7. A three-foot screen that is at least 60 percent opaque shall be maintained between all parking areas and the public street, as required by section 530.170 of the zoning code.

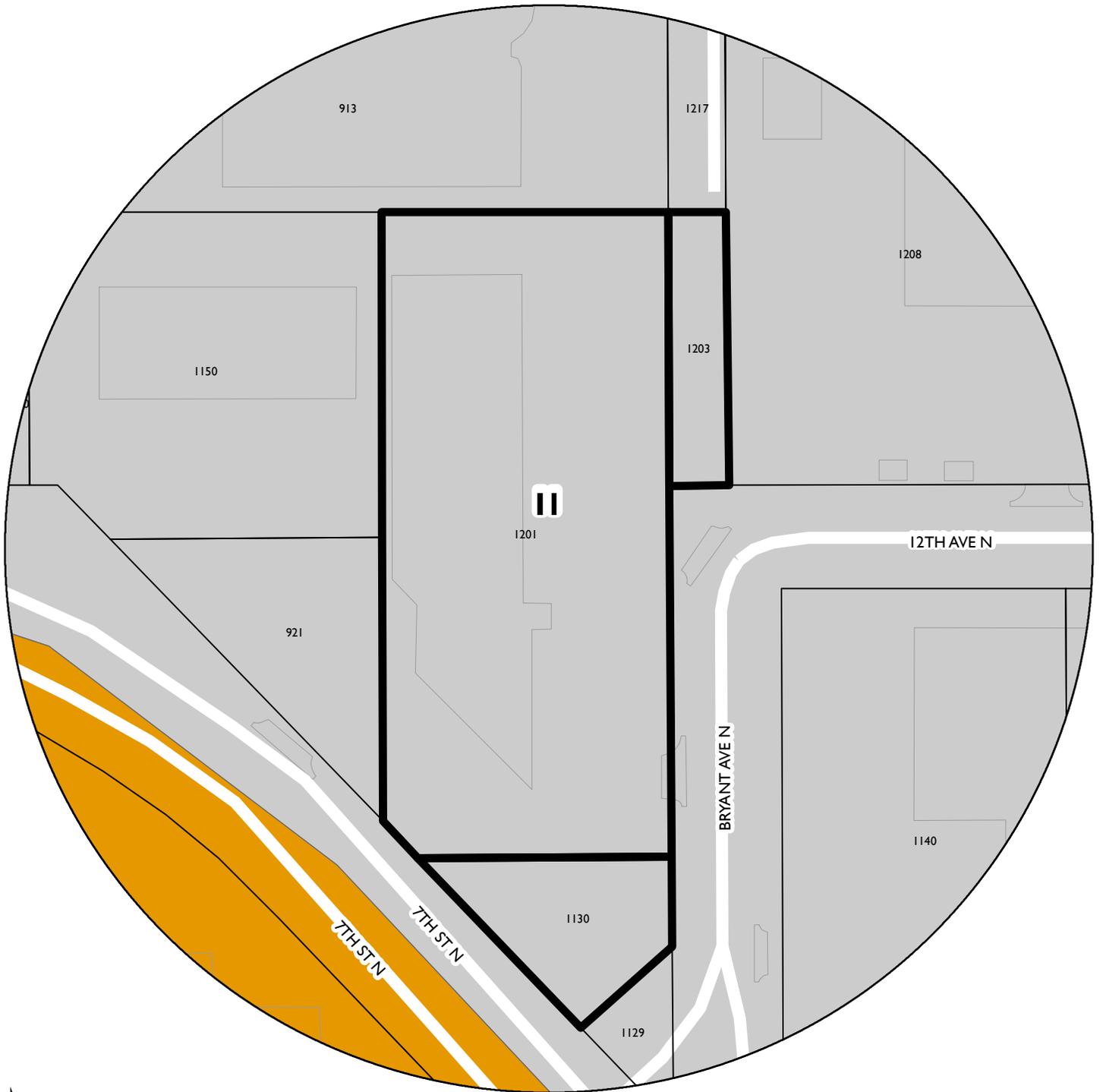
8. The corners of parking lots unavailable for parking or vehicle circulation shall be landscaped as specified for a landscaped yard, as required by section 530.170 of the zoning code.
9. All surface parking spaces shall be located within 50 feet from the center of an on-site deciduous tree, as required by section 530.170 of the zoning code.
10. The applicant shall provide no fewer than 20 additional on-site shrubs, of which 10 shall be distributed in the corners of the parking lot and 10 shall be planted between the proposed playground and 7th St N.

ATTACHMENTS

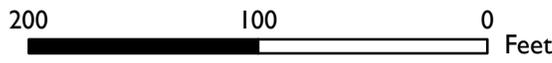
1. Zoning map
2. Oblique aerial photo
3. Written description and findings submitted by applicant
4. Survey
5. Site plan
6. Plans
7. Building elevations
8. Renderings
9. Photos
10. PDR report

NAME OF APPLICANT

WARD



▲
N

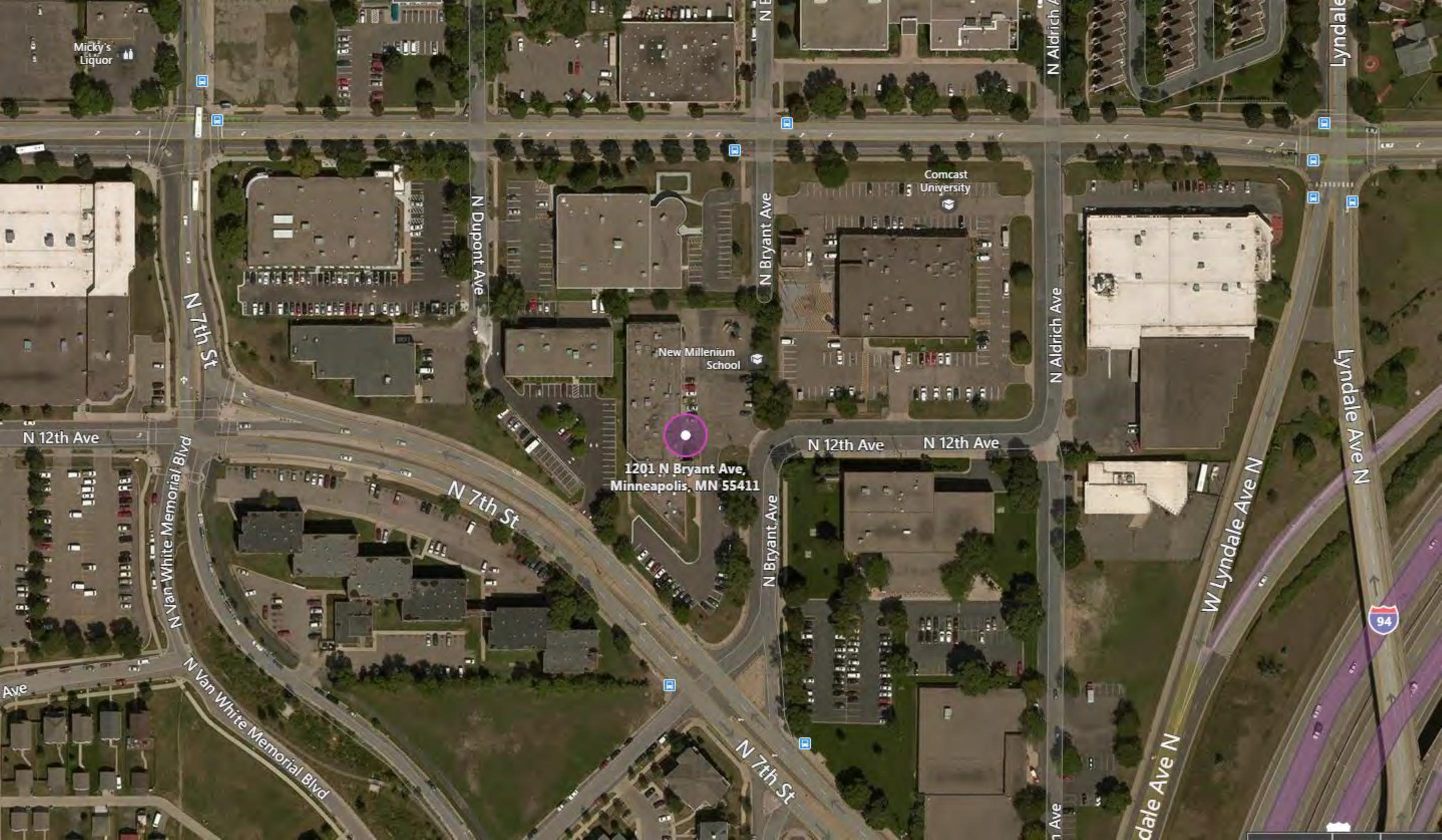


PROPERTY ADDRESS

1201 & 1203 Bryant Ave N, 1130 Street N

FILE NUMBER

BZZ-7711



1201 N Bryant Ave,
Minneapolis, MN 55411

New Millenium
School

Comcast
University

N 7th St

N 12th Ave

N Van White Memorial Blvd

N 7th St

N Dupont Ave

N Bryant Ave

N Bryant Ave

N 12th Ave

N 12th Ave

N Aldrich Ave

N 1st Ave

W Lyndale Ave N

Lyndale Ave N

Lyndale Ave N

Lyndale Ave N

94

Banaadir Academy Addition

Project Description:

Banaadir Academy, located at 1201 Bryant Avenue North, is a free K-8 charter school connected to MTS (Minnesota Transitions Charter School). Located in north Minneapolis, the school is focused on serving 300+ students in the community. The mission of Banaadir Academy is to enable each student to become a responsible, competent, and prepared life-long learner as well as a conscientious citizen. Their ELL Program provides instruction for academic and linguistic competence. Such competence will enable students to achieve on the same basis as native speakers of English and to participate successfully in the mainstream of American society. The academy provides programs and opportunities that enable students to:

- Develop positive self-esteem and interpersonal relationships
- Continue building academic competencies and critical thinking skills
- Practice problem solving and decision making
- Explore their aptitudes, interests, and creative abilities
- Develop a sense of responsibility to themselves, their home, and their community

Because Banaadir Academy lacks adequate physical education and storage space, the school has decided to propose a major addition to the existing facility which will consist of the following new spaces:

- Main level:
 - Full sized high school gymnasium with bleacher seating for 120 people
 - Gymnasium storage
 - New gymnasium staff office
 - Handicapped accessible men's and women's restrooms
 - New exterior entrance with complete handicapped accessibility from the parking lot to the gymnasium
 - Additional school display space and storage
 - Mechanical, electrical, and sprinkler riser rooms
- Second level:
 - Two new staff offices
 - Two new classrooms

The addition is being added to the south portion of the structure which will allow the least disruption to the existing facility during the construction process. The south addition will also help develop a presence to the neighborhood and the rest of the community that the school has lacked in the past. The site will be re-graded to provide proper slope for the new parking lot, as well as adding some needed parking spaces. The existing playground will be relocated from the north end of the property to the south end.

The new addition will be constructed using sand blasted, aggregate faced, precast concrete panels approximately 30' tall. Several colors will be used to accent the new addition and to blend it into the existing concrete block charter school. Glazing will consist of 1" insulated glass in thermally broken, clear anodized aluminum frames. The design also includes a clear

anodized aluminum canopy across a portion of the west, south, and east facades to provide variety to the exterior elevations. This canopy will be similar in material and color to the new window and door frames.

All mechanical HVAC rooftop units will be properly screened with metal panels or louvers which will be similar in color to one of the exterior precast wall colors. The existing monument sign will be removed. Even though there is no new signage currently shown on the new addition, there is the possibility that Banaadir Academy may add new signage in the future.

A new landscaping plan for the site is also being submitted to provide the needed buffer zones that the City of Minneapolis is requiring.

Expansion or Alteration of Nonconforming Use:

1. The site is currently zoned I1. The Banaadir Academy is currently a non-conforming use within this industrial zone. They are not asking for a change in zoning, as this would be inappropriate. They are requesting an expansion and alteration to the current non-conforming use of the property.
2. The expansion and structural alterations to the existing building will be fully compatible with the adjacent property and neighborhood. A majority of facilities in the area are precast concrete warehouses, showrooms, and similar buildings. The construction of the new facility will be primarily precast concrete wall panels, steel bar joists roof structure, insulated glazing, with anodized aluminum frames and flashings. The suggested colors of the new structure will be medium to dark earth toned colors which will blend with the color of the existing facility and neighborhood.
3. The enlargement, expansion, and structural alterations to the existing school will not result in an significant increase of adverse off-site impacts such as traffic, noise, dust, odors or parking congestion. The anticipated plan is to add additional parking stalls for staff and visitors. No increase in traffic, noise, odors, or parking congestion is anticipated.
4. The enlargement, expansion, and structural alterations to the existing school will dramatically improve the appearance of the neighborhood. The surrounding community consists of many manufacturing warehouses, showrooms, and offices built with concrete masonry units or precast concrete panels in a variety of colors and plans. Many of the neighboring facilities lack cohesiveness and identity. Banaadir Academy's addition and remodeling will help develop a presence and identity to the neighborhood that it has lacked in the past. New and additional landscaping will further enhance the beauty and stability of facility.
5. The current project is not located in a residential area. There will not be an increase or decrease in dwelling units in the neighborhood due to this addition and alteration.
6. The enlargement, expansion, and structural alteration to the Banaadir Academy will not be located in the Floodway District.

Consolidation:

Banaadir Academy is also requesting a lot consolidation of three parcels of land into a single parcel.

05/02/16	PDR APPLICATION
05/06/16	PRICING SET
05/16/16	LAND USE APPLICATION
06/21/16	SITE PLAN REVISION

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer in the State of Minnesota.

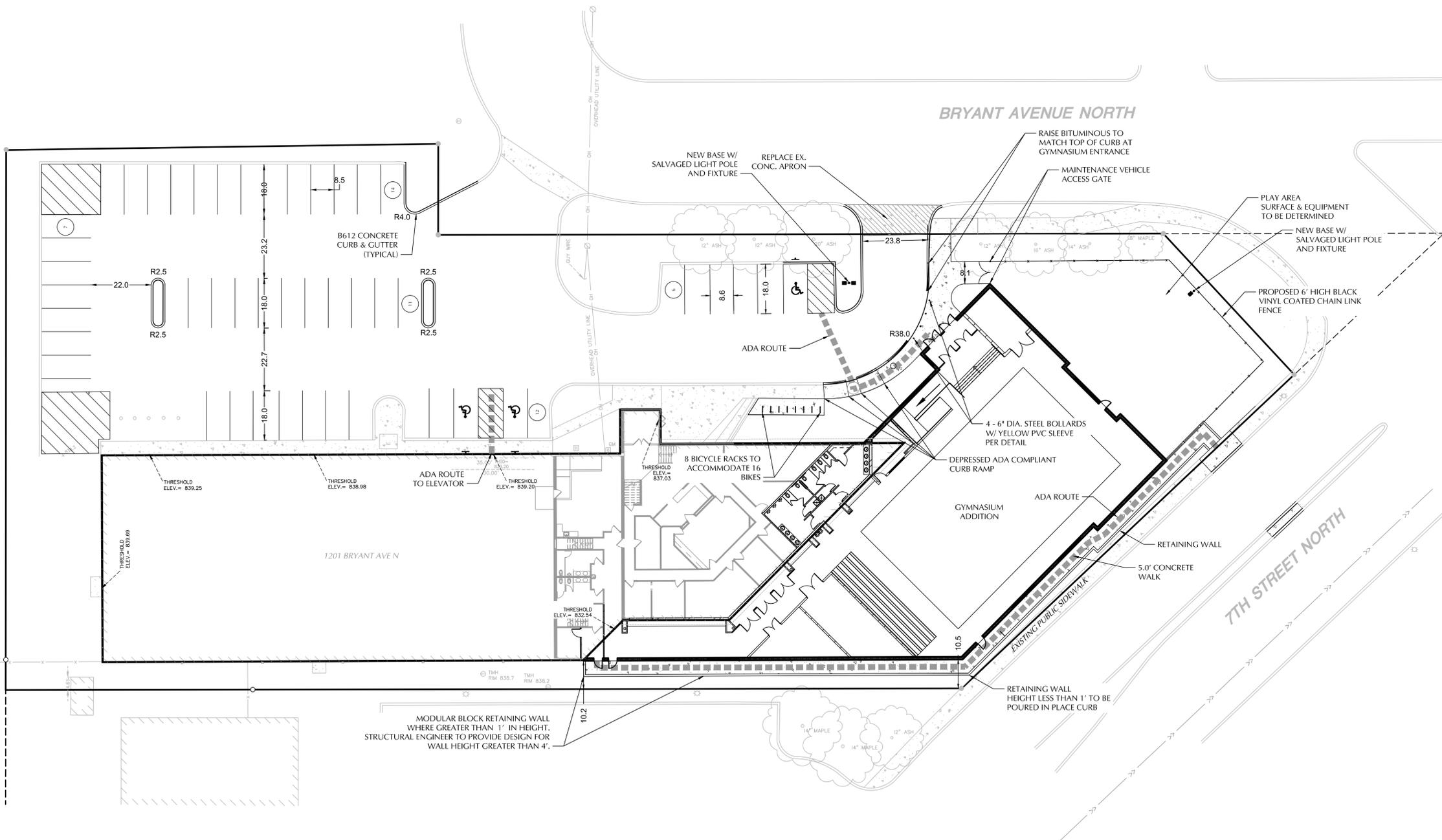
Nicholas M. Mammel - PE
License No. 45861
Date N/A

Loucks Project No.	16100.00
Project Lead	CDL
Drawn By	CDL
Checked By	NMM
Review Date	05/02/16

C1-2	SITE DEMOLITION PLAN
C2-1	SITE PLAN
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C8-1	CIVIL DETAILS
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1 OF 1	ALTA/NSPS SURVEY
L1-1	LANDSCAPE PLAN
L1-2	LANDSCAPE DETAILS
1 OF 1	SITE LIGHTING PLAN

EXISTING	CIVIL LEGEND	PROPOSED
	SANITARY MANHOLE	
	STORM MANHOLE	
	CATCH BASIN	
	CULVERT	
	HYDRANT	
	GATE VALVE	
	POST INDICATOR VALVE	
	LIGHT POLE	
	POWER POLE	
	SIGN	
	BENCHMARK	
	SOL. BORINGS	
	WATER MANHOLE	
	TELEPHONE MANHOLE	
	UTILITY MANHOLE	
	ELECTRIC MANHOLE	
	WATER SERVICE	
	SANITARY SERVICE	
	HANDICAP PARKING	
	DIRECTION OF FLOW	
	SPOT ELEVATION	
	CONTOURS	
	SANITARY SEWER	
	STORM SEWER	
	WATERMAIN	
	FORCEMAIN	
	DRAINLINE	
	SLF FENCE	
	CURB & GUTTER	
	RETAINING WALL	
	TREE LINE	
	EASEMENT LINE	
	SETBACK LINE	
	FENCE LINE	
	UNDERGROUND TELE	
	UNDERGROUND GAS	
	UNDERGROUND TEL	
	UNDERGROUND FIBER OPTIC	
	UNDERGROUND ELECTRIC	
	UNDERGROUND CABLE TV	
	PROPERTY LINE	
	CONIFEROUS TREE	
	DECIDUOUS TREE	
	PARKING COUNTS	

*REFER TO EXISTING CONDITIONS PLAN FOR COMPLETE SURVEY LEGEND



CITY OF MINNEAPOLIS NOTES

- STREET LIGHTING INSTALLED AS PART OF THE PROJECT SHALL BE INSPECTED BY THE CITY. CONTRACTORS SHALL ARRANGE FOR INSPECTIONS WITH THE TRAFFIC DEPARTMENT, PLEASE CONTACT DAVE PREHALL AT (612-673-5759) FOR FURTHER INFORMATION. ANY LIGHTING INSTALLATIONS NOT MEETING CITY SPECIFICATIONS WILL BE REQUIRED TO BE REINSTALLED AT OWNER EXPENSE.
- AN OBSTRUCTION PERMIT IS REQUIRED ANYTIME CONSTRUCTION WORK IS PERFORMED IN THE PUBLIC RIGHT-OF-WAY. PLEASE CONTACT SCOTT KRAMER AT (612-673-2383) REGARDING DETAILS OF SIDEWALK AND LANE CLOSURES. LOG ON TO [HTTP://MINNEAPOLIS.MN.ROWAY.NET/](http://MINNEAPOLIS.MN.ROWAY.NET/) FOR A PERMIT.
- CONTACT ALLAN KLUGMAN AT (612-673-2743) PRIOR TO CONSTRUCTION FOR THE REMOVAL / TEMPORARY RELOCATION OF ANY CITY OF MINNEAPOLIS LIGHTING OR SIGNAL SYSTEM THAT MAY BE IN THE WAY OF CONSTRUCTION.
- ALL COSTS FOR RELOCATION AND / OR REPAIR OF CITY TRAFFIC FACILITIES SHALL BE BORNE BY THE CONTRACTOR AND / OR PROPERTY OWNER.
- CONTACT DOUG MADAY AT (612-673-5755) PRIOR TO CONSTRUCTION FOR THE REMOVAL OF ANY CITY OF MINNEAPOLIS RIGHT OF WAY SIGNS THAT MIGHT BE IN THE WAY OF CONSTRUCTION
- NO CONSTRUCTION, DEMOLITION OR COMMERCIAL POWER MAINTENANCE EQUIPMENT SHALL BE OPERATED WITHIN THE CITY BETWEEN THE HOURS OF 6:00 PM AND 7:00 AM ON WEEKDAYS OR DURING ANY HOURS ON SATURDAYS, SUNDAYS AND STATE AND FEDERAL HOLIDAYS, EXCEPT UNDER PERMIT. CONTACT ENVIRONMENTAL SERVICES AT (612-673-3867) FOR PERMIT INFORMATION.
- PERMITS AND APPROVAL ARE REQUIRED FROM ENVIRONMENTAL SERVICES FOR THE FOLLOWING ACTIVITIES: TEMPORARY STORAGE OF IMPACTED SOILS ON SITE PRIOR TO DISPOSAL OR REUSE; REUSE OF IMPACTED SOILS ON SITE; DEWATERING AND DISCHARGE OF ACCUMULATED STORM WATER OR GROUND WATER, UNDERGROUND OR ABOVEGROUND TANK INSTALLATION OR REMOVAL, WELL CONSTRUCTION OR SEALING. CONTACT TOM FRAME AT (612-673-5807) FOR PERMIT APPLICATIONS AND APPROVALS.

PAVEMENT TYPES

	CONCRETE APRON
	CONCRETE PAVEMENT
	BITUMINOUS PAVEMENT

SITE NOTES

- MINNESOTA STATE STATUTE REQUIRES NOTIFICATION PER "GOPHER STATE ONE CALL" PRIOR TO COMMENCING ANY GRADING, EXCAVATION OR UNDERGROUND WORK.
- CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR VARIATIONS FROM THE PLANS.
- ALL PAVING, CONCRETE CURB, GUTTER AND SIDEWALK SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH THE DETAILS SHOWN PER THE DETAIL SHEET(S) AND CITY STANDARDS.
- A SIGNIFICANT PORTION OF SITE IMPROVEMENTS NOT SHOWN ON THIS SHEET ARE DESCRIBED AND PROVIDED IN FURTHER DETAIL ON THE ARCHITECTURAL AND LANDSCAPE PLANS.
- ALL CURB DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF WALL UNLESS OTHERWISE NOTED.
- BITUMINOUS IMPREGNATED FIBER BOARD TO BE PLACED AT FULL DEPTH OF CONCRETE ADJACENT TO EXISTING STRUCTURES AND BEHIND CURB ADJACENT TO DRIVEWAYS AND SIDEWALKS.
- SNOW STORAGE AREAS ARE NOT PROVIDED ON SITE; ALL SNOW TO BE TRUCKED OFF SITE.
- CITY TO RELOCATE EXISTING PUBLIC SIGNALS, PARKING METERS, AND LIGHT POLES. COST TO BE INCLUDED IN PROJECT.

SITE DATA

AREA SUMMARY:

SITE AREA:	1.71 AC (100%)
EXISTING IMPERVIOUS AREA:	1.26 AC (74.3%)
PROPOSED IMPERVIOUS AREA:	1.42 AC (83.1%)
PROPOSED AREA OF DISTURBANCE:	0.926 AC.

BUILDING SUMMARY:

EXISTING BUILDING:	18,912 SF
PROPOSED BUILDING:	11,443 SF
TOTAL BUILDING AFTER ADDITION:	30,355 SF

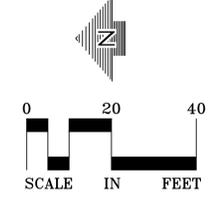
FIRST FLOOR AREA RATIO: 0.41

PARKING SUMMARY

PARKING REQUIRED: ONE STALL PER CLASSROOM PLUS 1 STALL FOR EVERY FIVE STUDENTS OF LEGAL DRIVING AGE	
EXISTING CLASSROOMS:	26
PROPOSED CLASSROOMS:	3
TOTAL CLASSROOMS:	29
EXISTING PARKING STALLS:	38
PARKING STALLS PROVIDED:	50*
*INCLUDING 3 ADA ACCESSIBLE STALLS	
EXISTING BICYCLE PARKING:	0
PROPOSED BICYCLE PARKING:	16

ZONING & SETBACKS

EXISTING USE: CHARTER SCHOOL GRADES K-6
PROPOSED USE: CHARTER SCHOOL GRADES K-6
CURRENT ZONING: I1
PROPOSED ZONING: I1
REQUIRED SETBACKS: 0' (ALL SIDES)



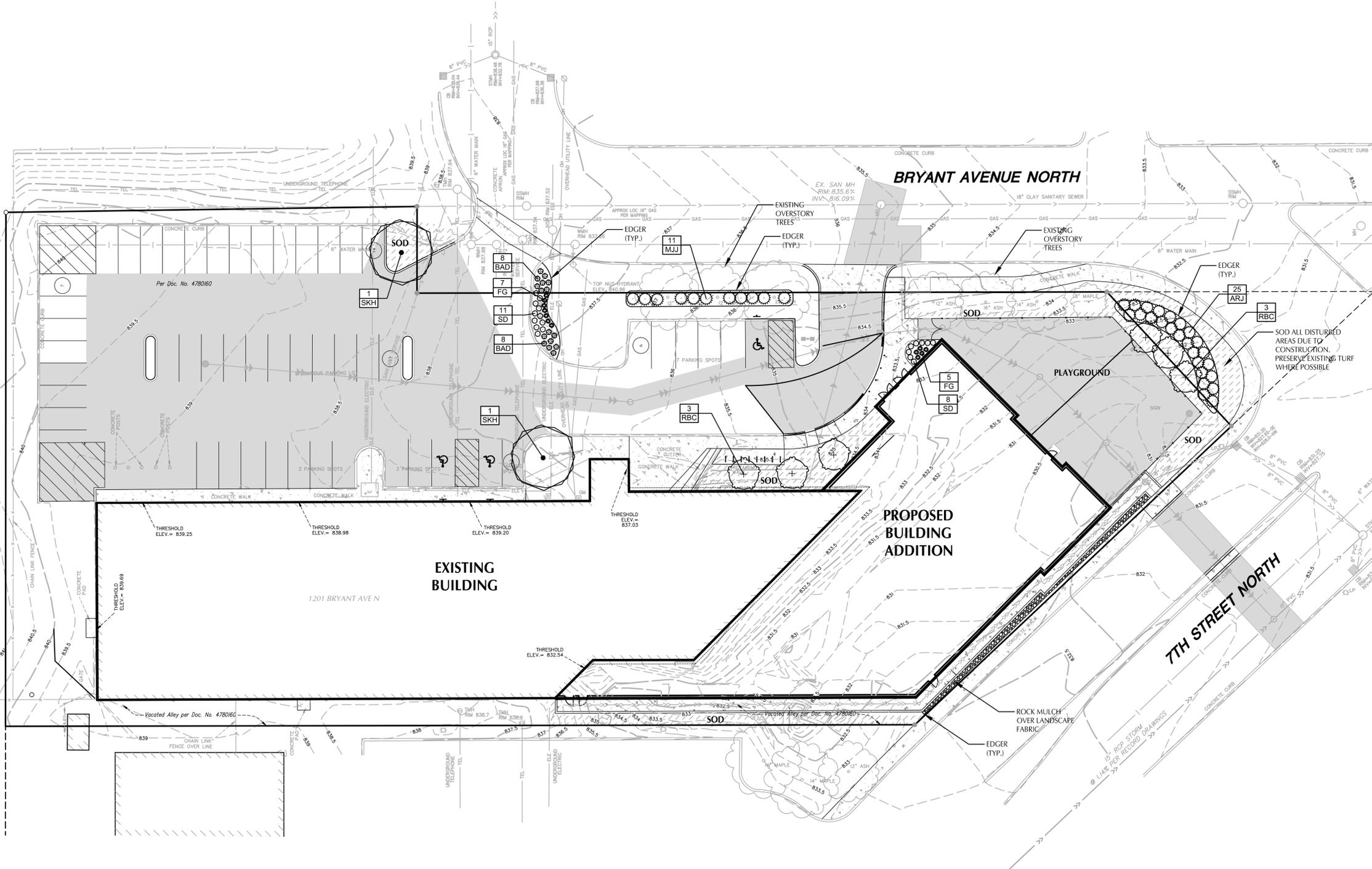
CALL BEFORE YOU DIG!
Gopher State One Call
TWIN CITY AREA: 651-454-0002
TOLL FREE: 1-800-252-1166

05/02/16	PDR APPLICATION
05/06/16	PRICING SET
05/16/16	LAND USE APPLICATION

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
Douglas D. Loken - LA
License No. 45591
Date

Loucks Project No.	16100
Project Lead	NMM
Drawn By	DDL
Checked By	DDL
Review Date	05/16/16

C1-2	SITE DEMOLITION PLAN
C2-1	SITE PLAN
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L1-2	LANDSCAPE DETAILS
1 OF 1	SITE LIGHTING PLAN



PLANT SCHEDULE					
DECIDUOUS TREES	QTY	COMMON NAME	BOTANICAL NAME	CONT	CAL
SKH	2	SKYLINE HONEYLOCUST	Gleditsia triacanthos 'Skycole'	B & B	2.5" Cal
ORNAMENTAL TREES	QTY	COMMON NAME	BOTANICAL NAME	CONT	CAL
RBC	6	Red Barron Crab Apple	Malus x 'Red Barron'	B & B	1.5" Cal
CONIFEROUS SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE AT PLANTING
MJJ	11	MINT JULEP JUNIPER	Juniperus chinensis 'Monlep'	5 gal	24" HGT. MIN.
ARJ	25	ARCADIA JUNIPER	Juniperus sabina 'Arcadia'	5 gal	24" SPRD. MIN.
GRASSES	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE AT PLANTING
FG	12	FEATHER REED GRASS	Calamagrostis x acutiflora 'Karl Foerster'	1 gal	36" HGT
PERENNIALS	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE AT PLANTING
BAD	16	BAJA DAYLILY	Hemerocallis x 'Baja'	1 gal	
SD	19	STELLA D'ORO DAYLILY	Hemerocallis x 'Stella de Oro'	1 gal	

LANDSCAPE REQUIREMENTS

PARKING LOT SCREENING
SCREENING CONSISTING OF EITHER A MASONRY WALL, FENCE, BERM OR HEDGE OR COMBINATION THEREOF THAT FORMS A SCREEN 3 FEET IN HEIGHT AND NOT LESS THAN 60 PERCENT OPAQUE SHALL BE PROVIDED.

GENERAL LANDSCAPING
LANDSCAPE YARDS TO HAVE: NOT LESS THAN 1 CANOPY TREE FOR EACH 500 SF, NOT LESS THAN 1 SHRUB FOR EACH ONE HUNDRED SF, REMAINDER OF THE LANDSCAPED AREA SHALL BE COVERED WITH TRIF GRASS, NATIVE GRASSES OR OTHER PERENNIAL FLOWERING PLANTS, VINES, SHRUBS, OR TREES.

GENERAL NOTES

CONTRACTOR SHALL VISIT SITE PRIOR TO SUBMITTING BID. HE SHALL INSPECT SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS RELATING TO THE NATURE AND SCOPE OF WORK.

VERIFY LAYOUT AND ANY DIMENSIONS SHOWN AND BRING TO THE ATTENTION OF THE LANDSCAPE ARCHITECT ANY DISCREPANCIES WHICH MAY COMPROMISE THE DESIGN AND/OR INTENT OF THE PROJECT'S LAYOUT.

ASSURE COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS GOVERNING THE WORK OR MATERIALS SUPPLIED.

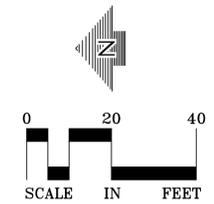
CONTRACTOR SHALL PROTECT ALL EXISTING ROADS, CURBS/GUTTERS, TRAILS, TREES, LAWNS AND SITE UTILITIES DURING PLANTING OPERATIONS. ANY DAMAGE TO SAME SHALL BE REPAIRED AT NO COST TO THE OWNER.

CONTRACTOR SHALL VERIFY ALIGNMENT AND LOCATION OF ALL UNDERGROUND AND ABOVE GRADE UTILITIES AND PROVIDE THE NECESSARY PROTECTION FOR SAME BEFORE CONSTRUCTION / MATERIAL INSTALLATION BEGINS (MINIMUM 10' - 0" CLEARANCE).

ALL UNDERGROUND UTILITIES SHALL BE LAID SO THAT TRENCHES DO NOT CUT THROUGH ROOT SYSTEMS OF ANY EXISTING TREES TO REMAIN.

EXISTING CONTOURS, TRAILS, VEGETATION, CURB/GUTTER AND OTHER EXISTING ELEMENTS BASED UPON INFORMATION SUPPLIED TO LANDSCAPE ARCHITECT BY OTHERS. CONTRACTOR SHALL VERIFY ANY AND ALL DISCREPANCIES PRIOR TO CONSTRUCTION AND NOTIFY LANDSCAPE ARCHITECT OF SAME.

THE ALIGNMENT AND GRADES OF THE PROPOSED WALKS, TRAILS AND/OR ROADWAYS ARE SUBJECT TO FIELD ADJUSTMENT REQUIRED TO CONFORM TO LOCALIZED TOPOGRAPHIC CONDITIONS AND TO MINIMIZE TREE REMOVAL AND GRADING. ANY CHANGE IN ALIGNMENT MUST BE APPROVED BY LANDSCAPE ARCHITECT.



CALL BEFORE YOU DIG!
Gopher State One Call
TWIN CITY AREA: 651-454-0002
TOLL FREE: 1-800-252-1166

CADD QUALIFICATION

CADD files prepared by the Consultant for this project are instruments of the Consultant's professional services for use solely with respect to this project. These CADD files shall not be used on other projects...

SUBMITTAL/REVISIONS

Table with 2 columns: Date, Description. Includes 05/02/16 SURVEY ISSUED and 05/13/16 ADDRESS CORRECTION.

PROFESSIONAL SIGNATURE

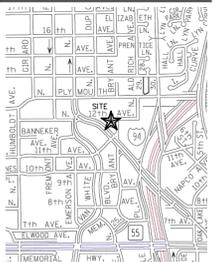
I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Signature: Max L. Stanislawski - PLS License No. 48988 Date: 05/02/16

QUALITY CONTROL

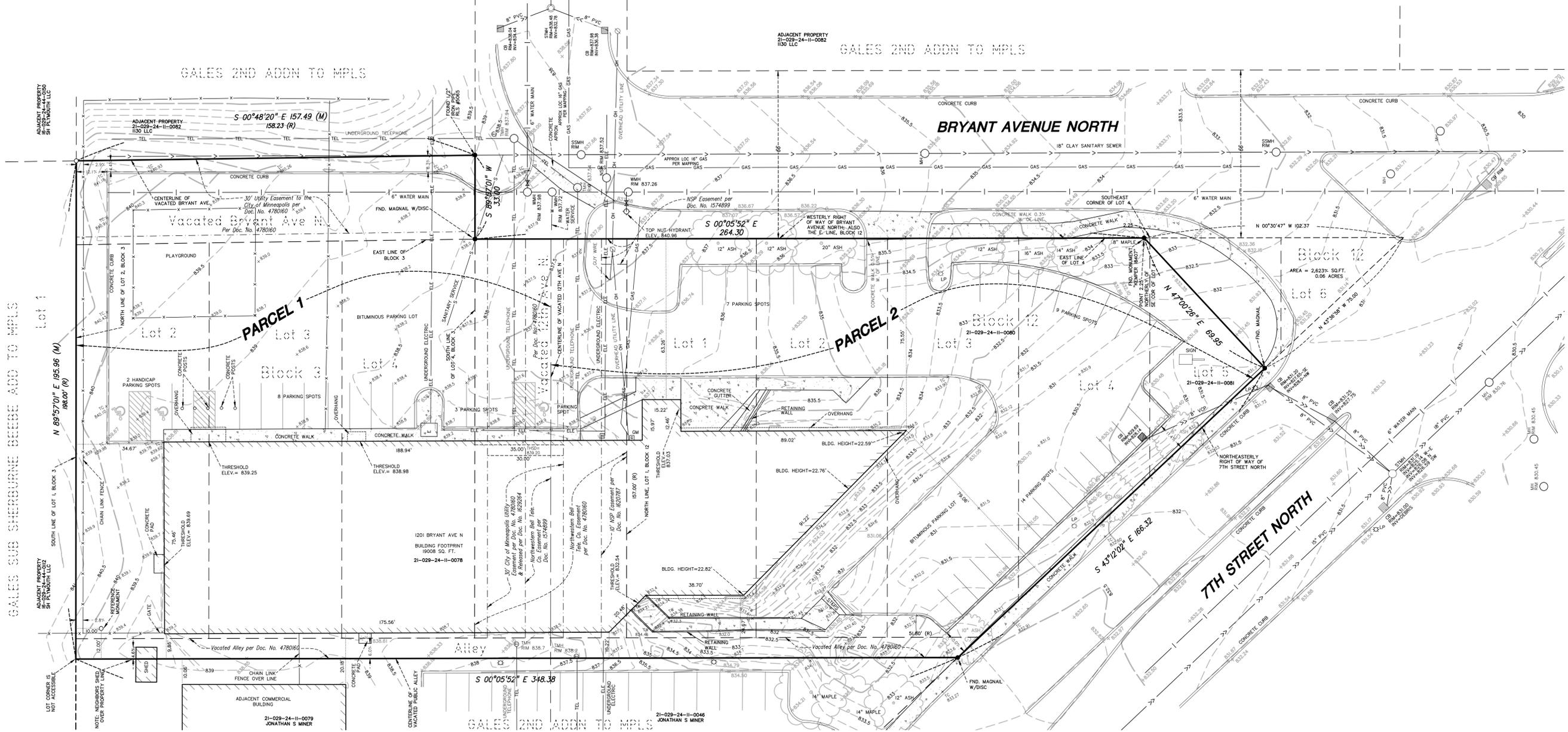
Loucks Project No. 16100 Project Lead HN Drawn By KM Checked By MS Field Crew JB/SH

VICINITY MAP



ALTA/NSPS LAND TITLE SURVEY

1 OF 1



DESCRIPTION OF PROPERTY SURVEYED

Parcel 1: Lots 2, 3 and 4, Block 3; Parcel 2: All of Lots 1 and 2 and those parts of Lots 3, 4 and 5 lying Easterly of the Northeastly line of 7th Street North...

ALTA/NSPS OPTIONAL TABLE A NOTES

- 1. Monuments placed (or a reference monument or witness to the corner) at all major corners of the boundary of the property... 2. The address, if disclosed in documents provided to or obtained by the surveyor...

SURVEY REPORT

- 1. The Surveyor was not provided utility easement documents for the subject property except for those shown on the Survey. 2. The bearings for this survey are based on the east line of Block 12, Gale's Second Addition To The City of Minneapolis...

CERTIFICATION

To 1130 LLC, a Minnesota limited liability company, Franklin National Bank of Minneapolis, a national banking association, Commercial Partners Title, LLS and Old Republic National Title Insurance Company:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys...

Date of Plat or Map: May 13, 2016

Signature: Max L. Stanislawski

Max L. Stanislawski, PLS Minnesota License No. 48988 mstanislawski@loucksinc.com

SURVEY LEGEND - EXISTING CONDITIONS

- STORM SEWER, SANITARY SEWER, WATER MAIN, UNDERGROUND ELECTRIC, UNDERGROUND GAS, UNDERGROUND TELEPHONE, OVERHEAD UTILITY, CHAIN LINK FENCE, CONCRETE CURB, CONTOUR, DECIDUOUS TREE, etc.



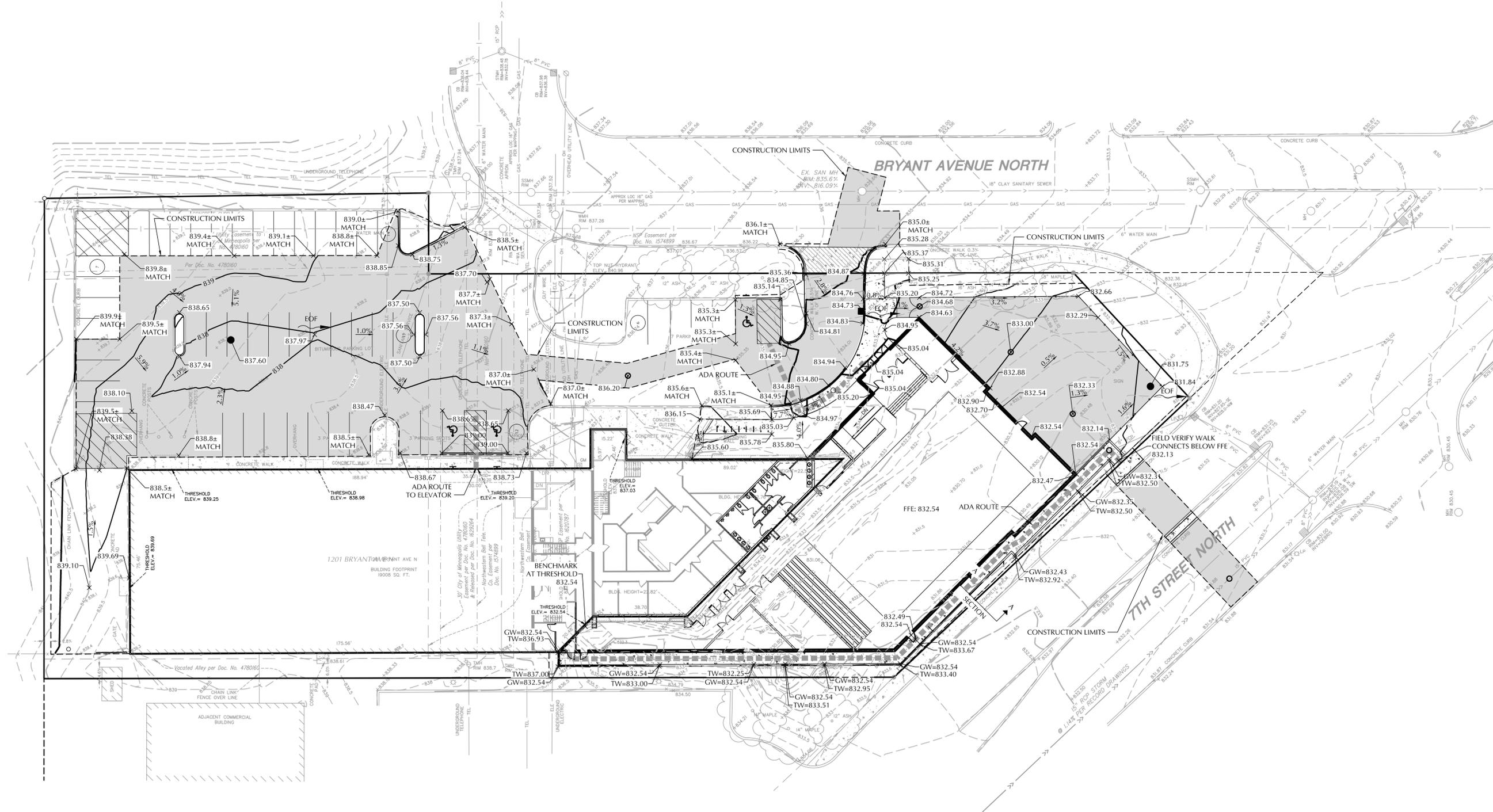
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Nicholas M. Mammel - PE
License No. 45861
Date N/A

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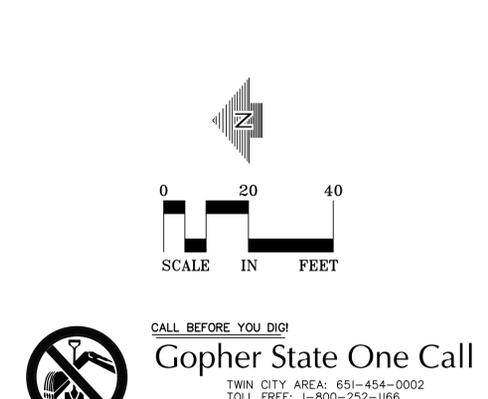
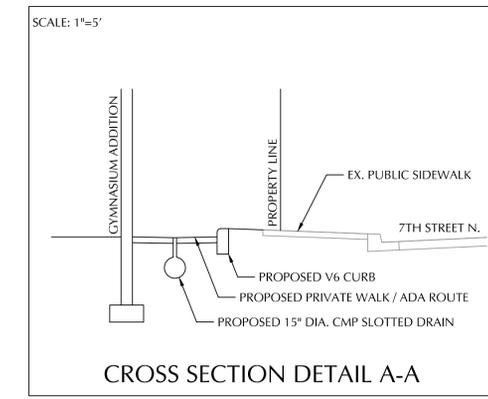


GRADING, DRAINAGE & EROSION CONTROL NOTES

- SPOT ELEVATIONS REPRESENT FINISHED SURFACE GRADES, GUTTER/FLOW LINE, FACE OF BUILDING, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- CATCH BASINS AND MANHOLES IN PAVED AREAS SHALL BE SUMPED 0.04 FEET. ALL CATCH BASINS IN GUTTERS SHALL BE SUMPED 0.16 FEET. RIM ELEVATIONS SHOWN ON PLANS DO NOT REFLECT SUMPED ELEVATIONS.
- ALL DISTURBED UNPAVED AREAS ARE TO RECEIVE MINIMUM OF 4 INCHES OF TOP SOIL AND SEED/MULCH OR SOD. THESE AREAS SHALL BE WATERED/MAINTAINED BY THE CONTRACTOR UNTIL VEGETATION IS ESTABLISHED.
- FOR SITE RETAINING WALLS "TW" EQUALS SURFACE GRADE AT TOP FACE OF WALL (NOT TOP OF WALL), "GW" EQUALS SURFACE GRADE AT WALL GRADE TRANSITION, AND "BW" EQUALS SURFACE GRADE AT BOTTOM FACE OF WALL (NOT BOTTOM OF BURIED WALL COURSES).
- REFER TO THE REPORT OF GEOTECHNICAL EXPLORATION AND REVIEW (REPORT NO. _____), DATED _____ AS PREPARED BY _____ FOR AN EXISTING SUBSURFACE SITE CONDITION ANALYSIS AND CONSTRUCTION RECOMMENDATIONS.
- STREETS MUST BE CLEANED AND SWEEPED WHENEVER TRACKING OF SEDIMENTS OCCURS AND BEFORE SITES ARE LEFT IDLE FOR WEEKENDS AND HOLIDAYS. A REGULAR SWEEPING SCHEDULE MUST BE ESTABLISHED.
- DUST MUST BE ADEQUATELY CONTROLLED.
- SEE SWPPP FOR ADDITIONAL EROSION CONTROL NOTES AND REQUIREMENTS.
- SEE UTILITY PLAN FOR WATER, STORM AND SANITARY SEWER INFORMATION.
- SEE SITE PLAN FOR CURB AND BITUMINOUS TAPER LOCATIONS.

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- ALL COSTS FOR RELOCATION AND / OR REPAIR OF CITY TRAFFIC FACILITIES SHALL BE BORNE BY THE CONTRACTOR AND / OR PROPERTY OWNER.
- CONTACT DOUG MADAY AT (612-673-5755) PRIOR TO CONSTRUCTION FOR THE REMOVAL OF ANY CITY OF MINNEAPOLIS RIGHT OF WAY SIGNS THAT MIGHT BE IN THE WAY OF CONSTRUCTION
- NO CONSTRUCTION, DEMOLITION OR COMMERCIAL POWER MAINTENANCE EQUIPMENT SHALL BE OPERATED WITHIN THE CITY BETWEEN THE HOURS OF 6:00 PM AND 7:00 AM ON WEEKDAYS OR DURING ANY HOURS ON SATURDAYS, SUNDAYS AND STATE AND FEDERAL HOLIDAYS, EXCEPT UNDER PERMIT. CONTACT ENVIRONMENTAL SERVICES AT (612-673-3867) FOR PERMIT INFORMATION.
- PERMITS AND APPROVAL ARE REQUIRED FROM ENVIRONMENTAL SERVICES FOR THE FOLLOWING ACTIVITIES: TEMPORARY STORAGE OF IMPACTED SOILS ON SITE PRIOR TO DISPOSAL OR REUSE; REUSE OF IMPACTED SOILS ON SITE; DEWATERING AND DISCHARGE OF ACCUMULATED STORM WATER OR GROUND WATER, UNDERGROUND OR ABOVEGROUND TANK INSTALLATION OR REMOVAL, WELL CONSTRUCTION OR SEALING. CONTACT TOM FRAME AT (612-673-5807) FOR PERMIT APPLICATIONS AND APPROVALS.



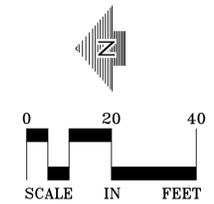
05/02/16	PDR APPLICATION
05/06/16	PRICING SET
05/16/16	LAND USE APPLICATION

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of Minnesota.
NOT FOR CONSTRUCTION
Nicholas M. Mammel - PE

License No. 45861
Date N/A

Loucks Project No. 16100.00
Project Lead CDL
Drawn By CDL
Checked By NMM
Review Date 05/02/16

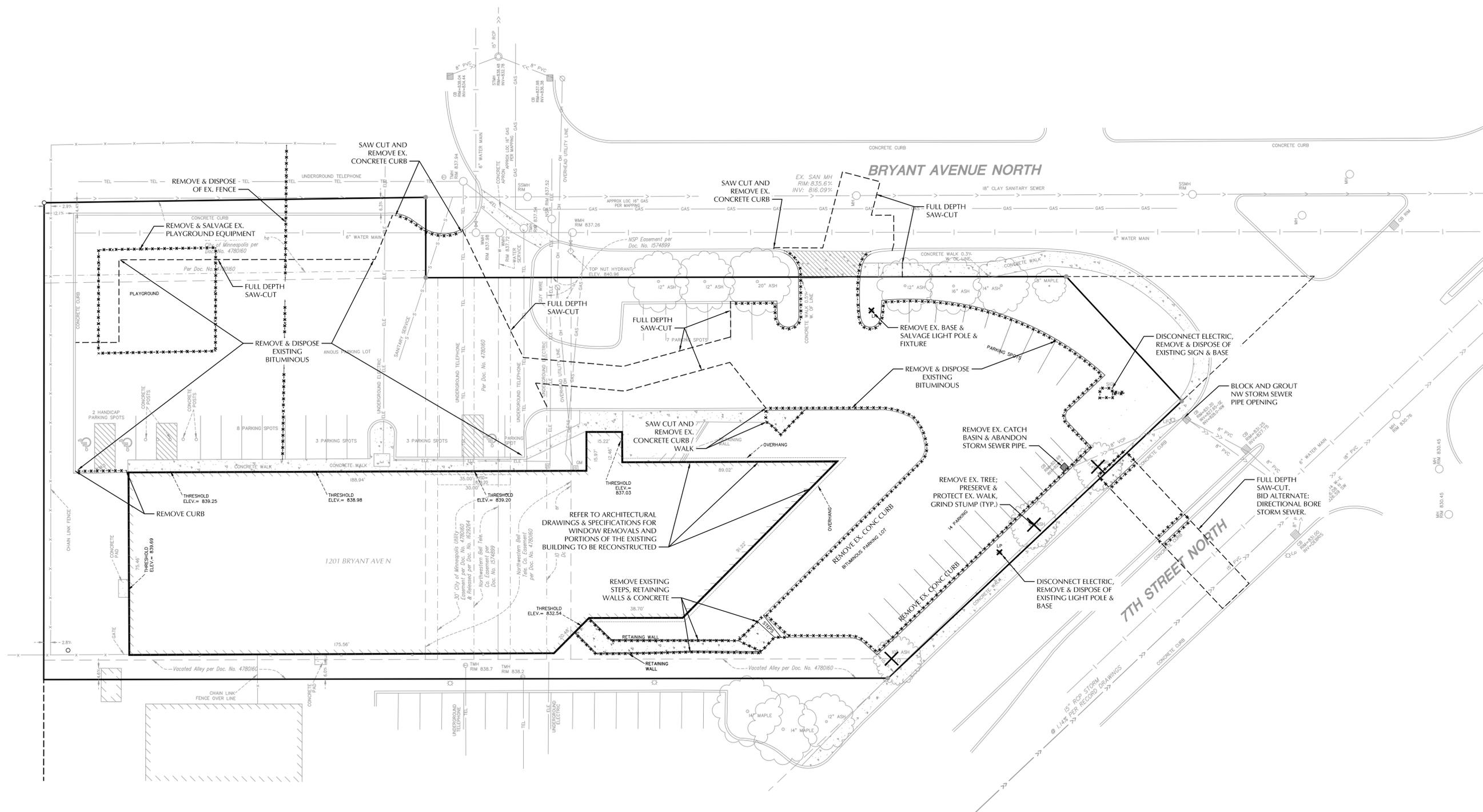
C1-2	SITE DEMOLITION PLAN
C2-1	SITE PLAN
C3-1	GRADING PLAN
C3-2	EROSION CONTROL PLAN
C4-1	UTILITY PLAN
C8-1	CIVIL DETAILS
C8-2	CIVIL DETAILS
1 OF 1	ALTA/NSPS SURVEY
L1-1	LANDSCAPE PLAN
L1-2	LANDSCAPE DETAILS
1 OF 1	SITE LIGHTING PLAN



CALL BEFORE YOU DIG!

Gopher State One Call

TWIN CITY AREA: 651-454-0002
TOLL FREE: 1-800-252-1166



SITE DEMOLITION NOTES

- CONTRACTOR SHALL REMOVE AND/OR RELOCATE EXISTING PRIVATE UTILITIES AS NECESSARY. CONTRACTOR TO COORDINATE ACTIVITIES WITH UTILITY COMPANIES.
- CONTRACTOR SHALL PROTECT SURFACE AND SUBSURFACE FEATURES NOT NOTED FOR REMOVAL.
- CONTRACTOR TO CLEAR AND GRUB EXISTING VEGETATION WITHIN CONSTRUCTION LIMITS, STRIP TOP SOIL, AND STOCKPILE ON-SITE. REFER TO GRADING PLAN AND SWPPP FOR SEDIMENT AND EROSION CONTROL REQUIREMENTS.
- CLEAR AND GRUB AND REMOVE ALL TREES, VEGETATION AND SITE DEBRIS PRIOR TO GRADING. ALL REMOVED MATERIAL SHALL BE HAULED FROM THE SITE DAILY. ALL CLEARING AND GRUBBING AND REMOVALS SHALL BE PERFORMED PER THE CONTRACT SPECIFICATIONS. EROSION CONTROL MEASURES SHALL BE IMMEDIATELY ESTABLISHED UPON REMOVAL. SEE THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP).
- CONTRACTOR SHALL REMOVE ALL SITE SURFACE FEATURES WITHIN REMOVAL LIMITS UNLESS OTHERWISE NOTED.
- CONTRACTOR IS RESPONSIBLE FOR ALL TRAFFIC CONTROL MEASURES IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF MINNEAPOLIS INCLUDING OBTAINING REQUIRED OBSTRUCTION PERMITS, NOTIFICATIONS AND ASSOCIATED UTILITY PERMITS.
- ALL WORK WITHIN THE PUBLIC RIGHT OF WAY IS TO BE PERFORMED IN ACCORDANCE WITH THE DETAILS AND SPECIFICATIONS OF THE CITY OF MINNEAPOLIS.

CITY OF MINNEAPOLIS NOTES

- STREET LIGHTING INSTALLED AS PART OF THE PROJECT SHALL BE INSPECTED BY THE CITY. CONTRACTORS SHALL ARRANGE FOR INSPECTIONS WITH THE TRAFFIC DEPARTMENT. PLEASE CONTACT DAVE PREHALL AT (612-673-5759) FOR FURTHER INFORMATION. ANY LIGHTING INSTALLATIONS NOT MEETING CITY SPECIFICATIONS WILL BE REQUIRED TO BE REINSTALLED AT OWNER EXPENSE.
- AN OBSTRUCTION PERMIT IS REQUIRED ANYTIME CONSTRUCTION WORK IS PERFORMED IN THE PUBLIC RIGHT-OF-WAY. PLEASE CONTACT SCOTT KRAMER AT (612-673-2383) REGARDING DETAILS OF SIDEWALK AND LANE CLOSURES. LOG ON TO [HTTP://MINNEAPOLIS.MN.ROADWAY.NET/](http://minneapolis.mn.roadway.net/) FOR A PERMIT.
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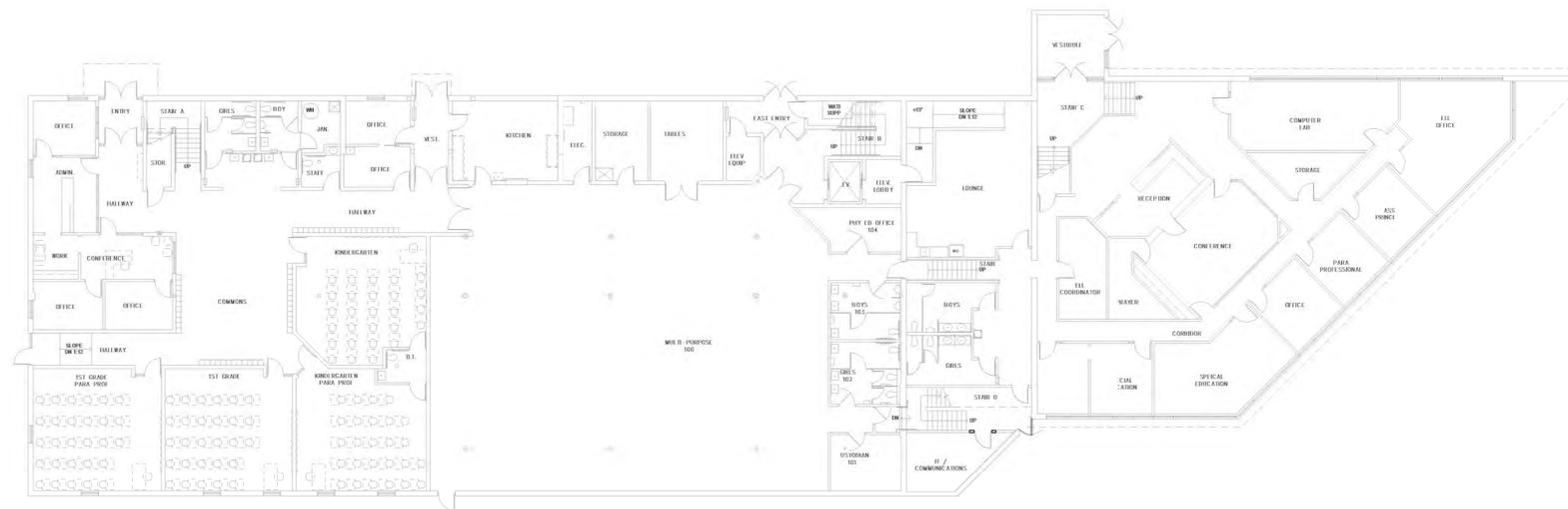
6115 Cahill Avenue
Inver Grove Heights
Minnesota 55076

651.451.4605
fax 651.451.0917
komainc@komainc.com

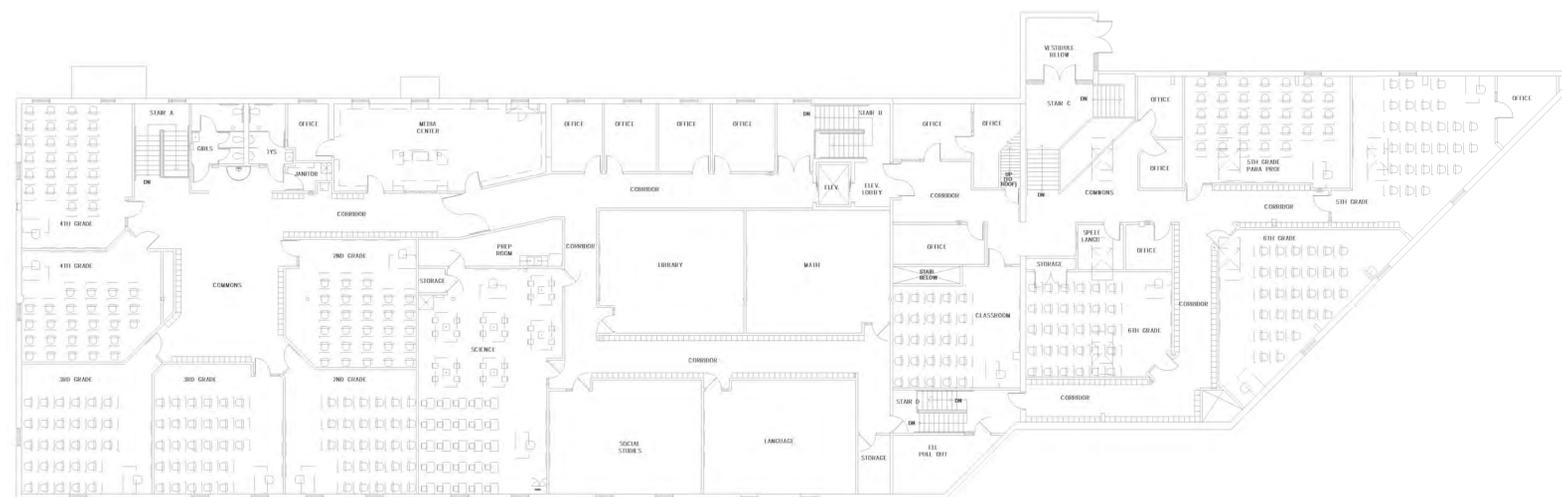
**THE
BAINEY
GROUP
INC.**
CONSTRUCTION

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DATE: _____ REG. NO.: _____



① MAIN LEVEL FLOOR PLAN - EXISTING
1/16" = 1'-0"



② UPPER LEVEL FLOOR PLAN - EXISTING
1/16" = 1'-0"



**OVERALL EXISTING
BUILDING FLOOR PLANS**
BANAADIR ACADEMY ADDITION
1201 BRYANT AVE N
MINNEAPOLIS, MN 55411

PROJECT: 16036
DRAWN BY: LAS
CHECKED BY: BRM
DATE: 05/16/2016
REVISIONS:

LAND USE
APPLICATION

A000



**KRECH, O'BRIEN,
MUELLER & ASSOCIATES, INC.**
Architecture Structural Engineering Interior Design

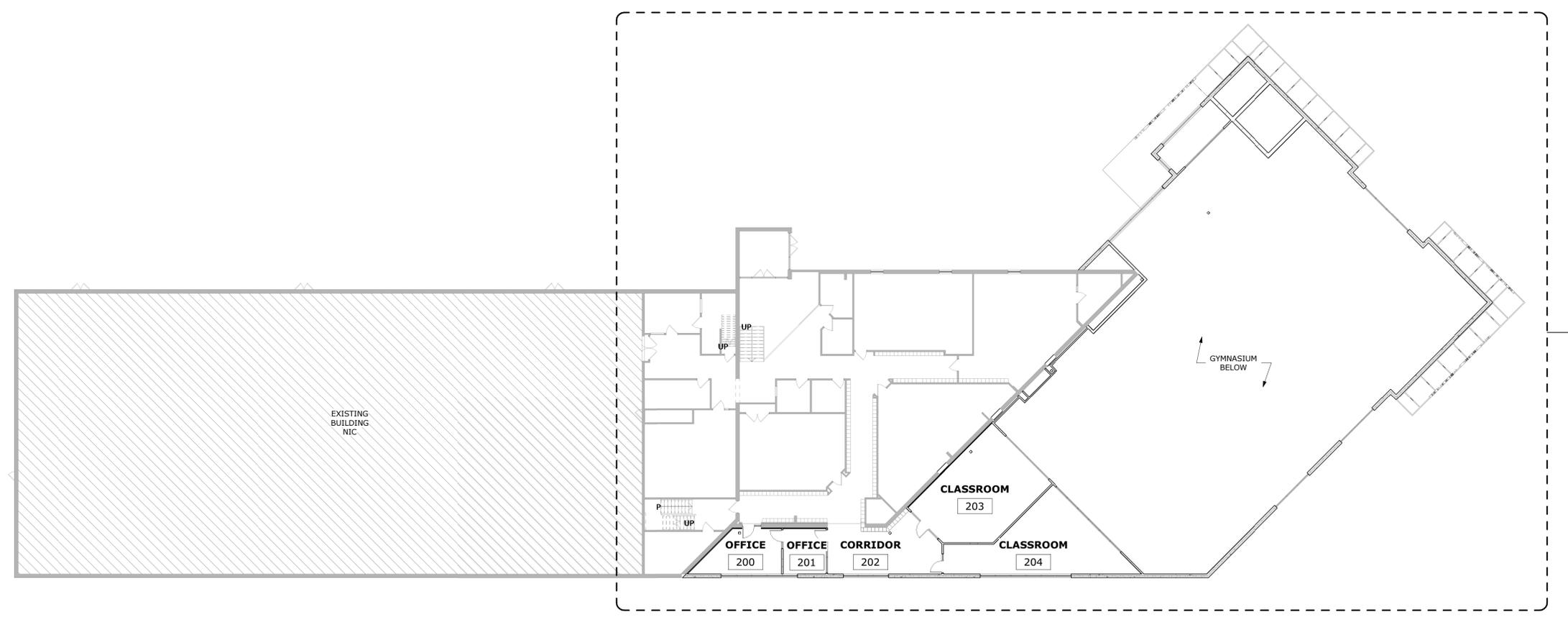
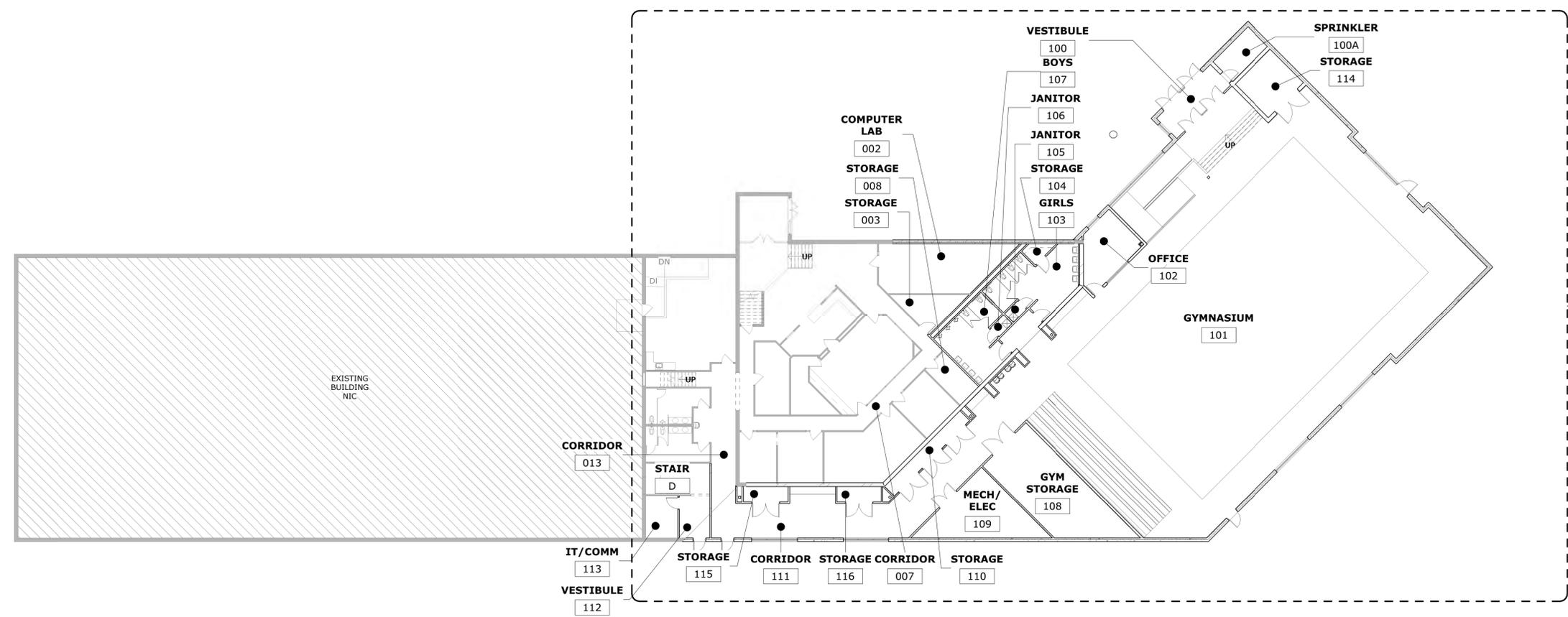
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DATE: _____ REG. NO.: _____



OVERALL FLOOR PLANS

**BANAADIR ACADEMY ADDITION
1201 BRYANT AVE N
MINNEAPOLIS, MN 55411**

PROJECT: 16036
DRAWN BY: LAS
CHECKED BY: BRM
DATE: 05/16/2016
REVISIONS:

LAND USE
APPLICATION

A100

5/16/2016 7:14:42 AM C:\Working\16036 Banaadir\16036 Banaadir_las.rvt



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Architecture Structural Engineering Interior Design

6115 Cahill Avenue
Inver Grove Heights
Minnesota 55076

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fax 651.451.0917
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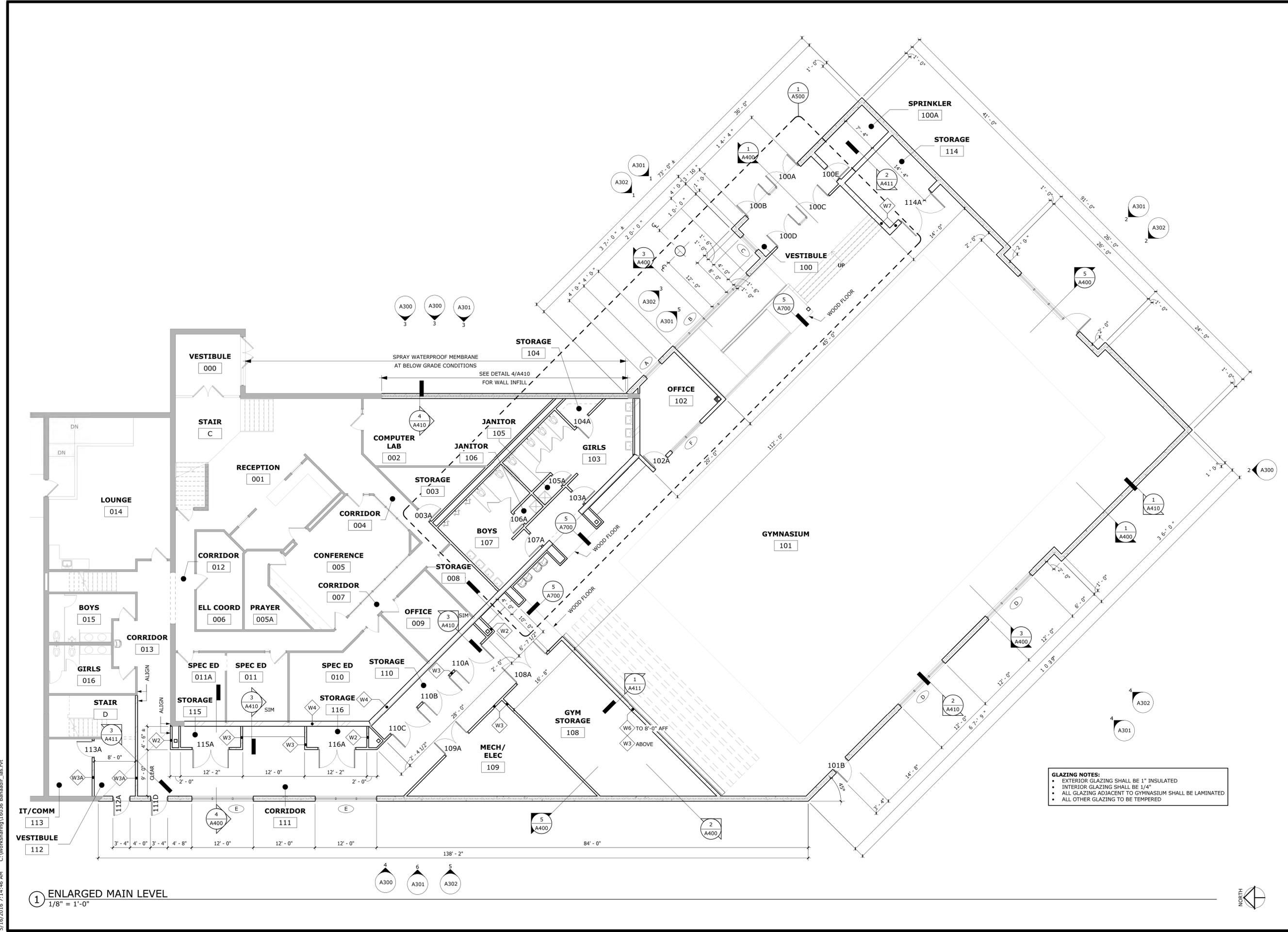
MAIN LEVEL FLOOR PLANS

**BANAADIR ACADEMY ADDITION
1201 BRYANT AVE N
MINNEAPOLIS, MN 55411**

PROJECT: 16036
DRAWN BY: LAS
CHECKED BY: BRM
DATE: 05/16/2016
REVISIONS:

LAND USE APPLICATION

A110



1 ENLARGED MAIN LEVEL
1/8" = 1'-0"

5/16/2016 7:14:46 AM C:\Working\16036 Banaadir\16036 Banaadir_las.rvt



**KRECH, O'BRIEN,
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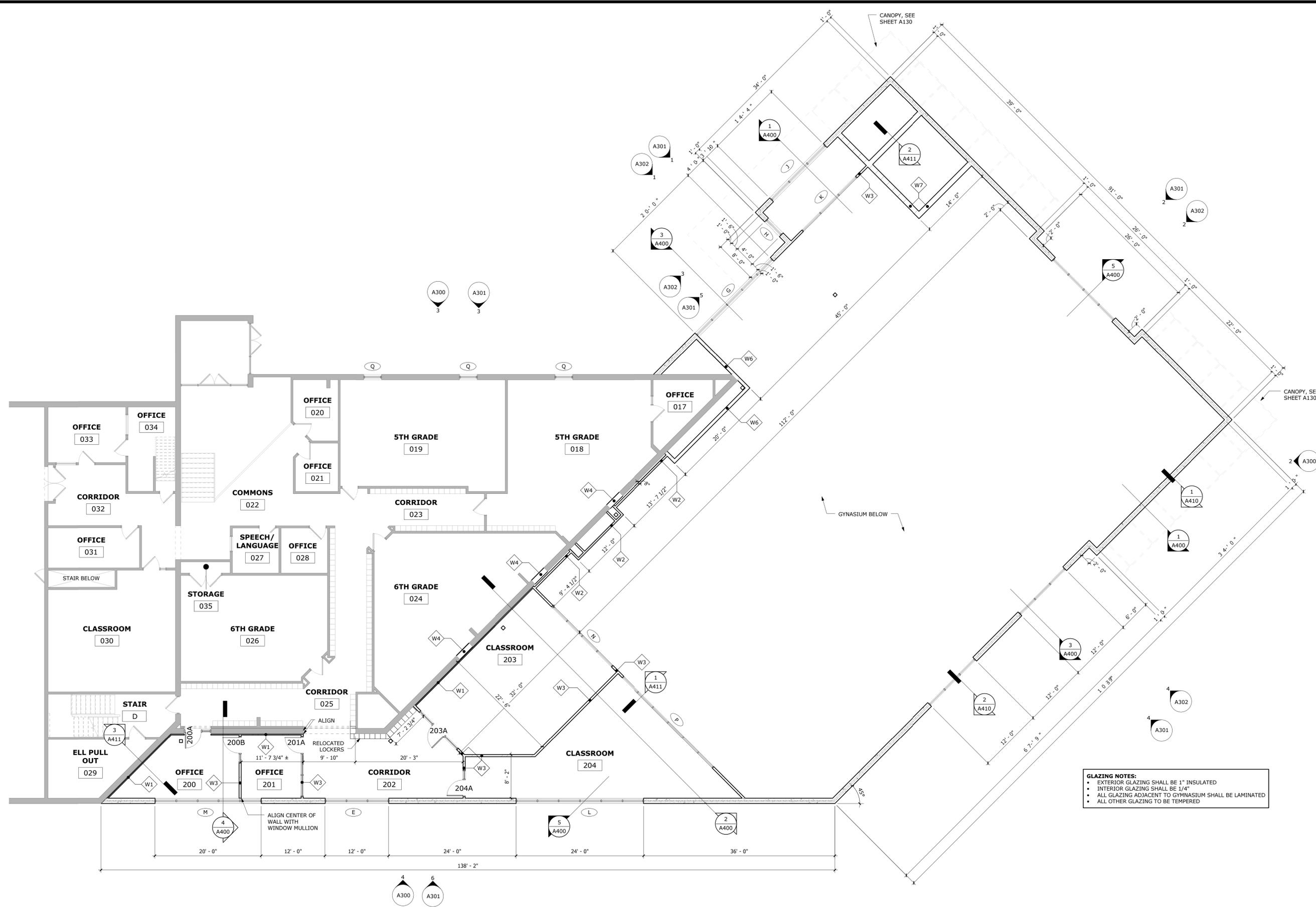
UPPER LEVEL FLOOR PLANS

**BANAADIR ACADEMY ADDITION
1201 BRYANT AVE N
MINNEAPOLIS, MN 55411**

PROJECT: 16036
DRAWN BY: LAS
CHECKED BY: BRM
DATE: 05/16/2016
REVISIONS:

LAND USE APPLICATION

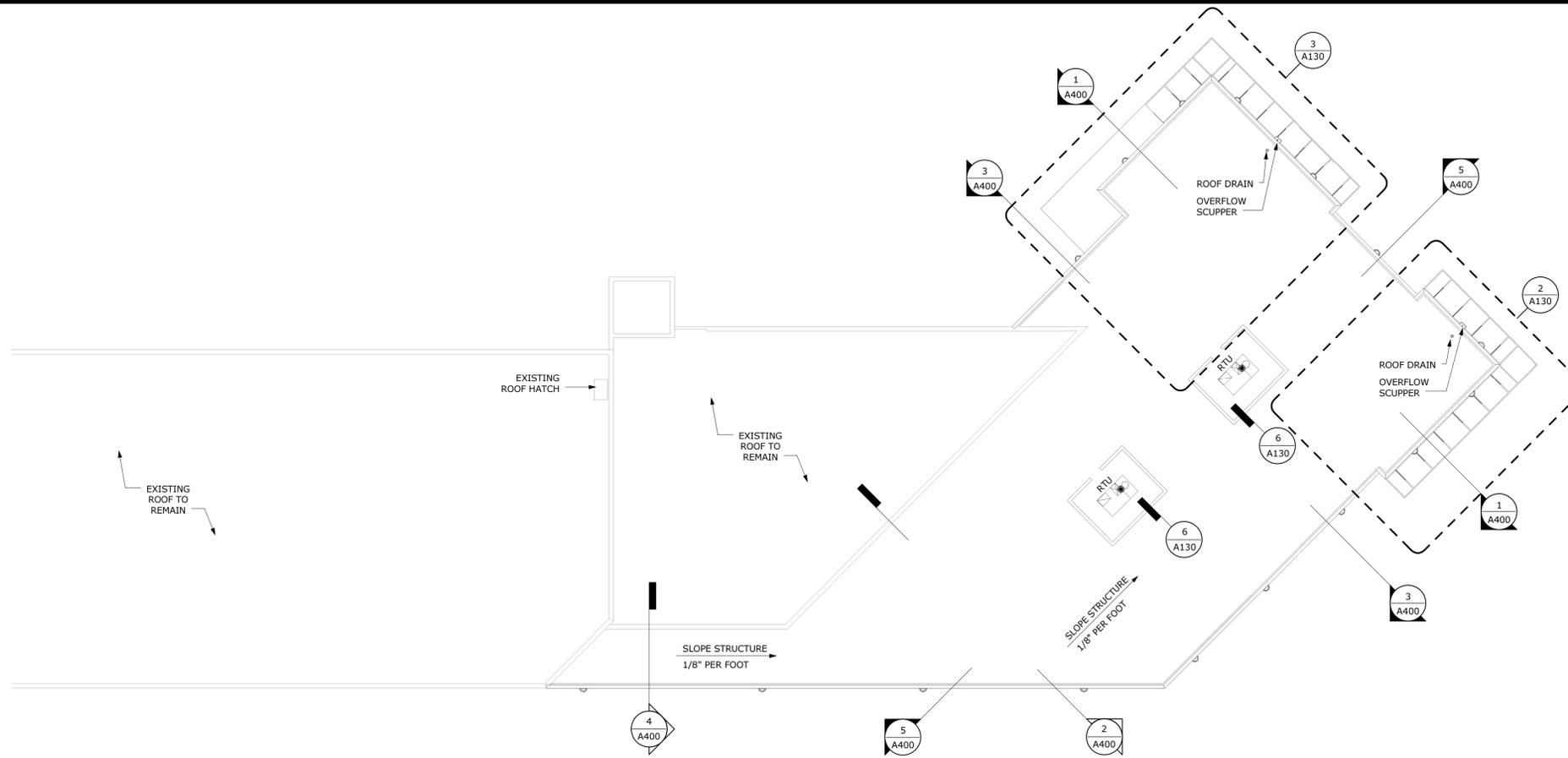
A120



GLAZING NOTES:
 • EXTERIOR GLAZING SHALL BE 1" INSULATED
 • INTERIOR GLAZING SHALL BE 1/4"
 • ALL GLAZING ADJACENT TO GYNASIUM SHALL BE LAMINATED
 • ALL OTHER GLAZING TO BE TEMPERED

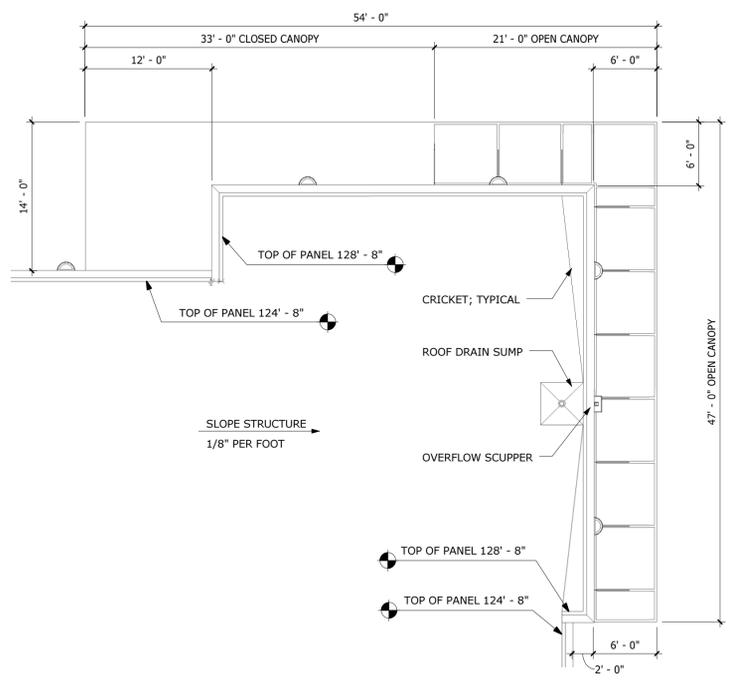
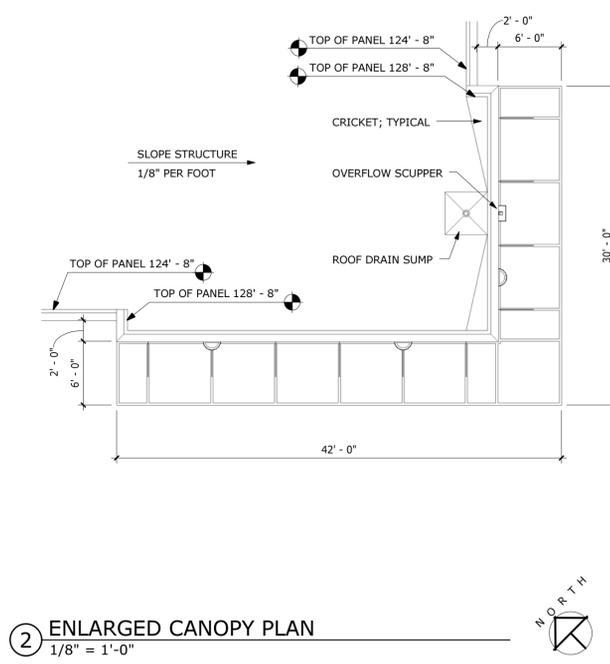
1 UPPER LEVEL ENLARGED PLAN
1/8" = 1'-0"

5/16/2016 7:14:48 AM C:\Working\16036 Banaadir_Las.rvt

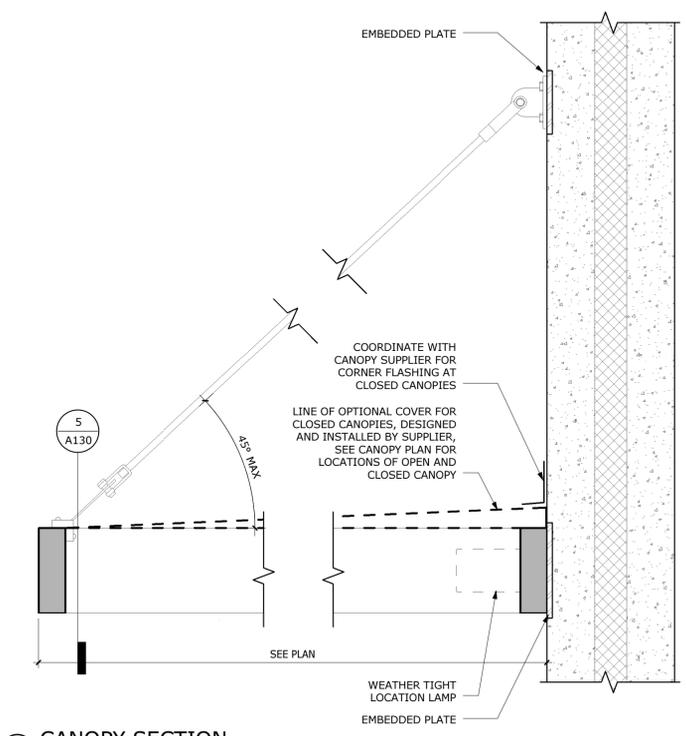


① OVERALL ROOF PLAN
1/16" = 1'-0"

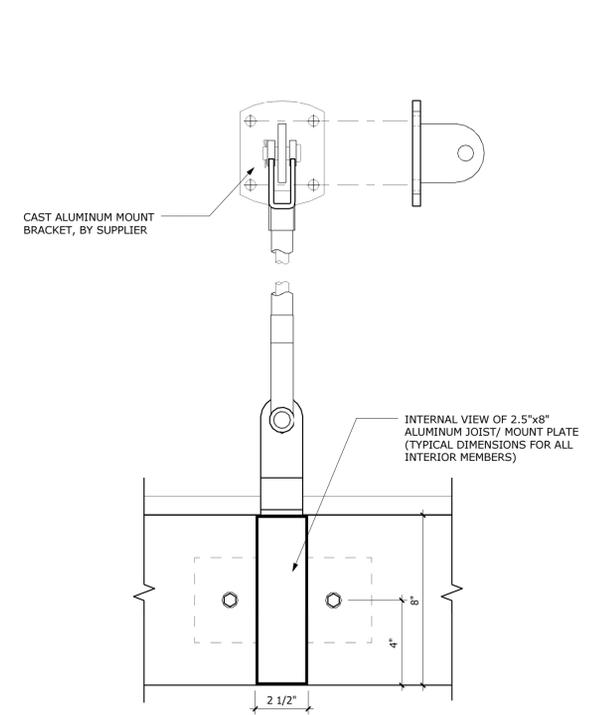
② ENLARGED CANOPY PLAN
1/8" = 1'-0"



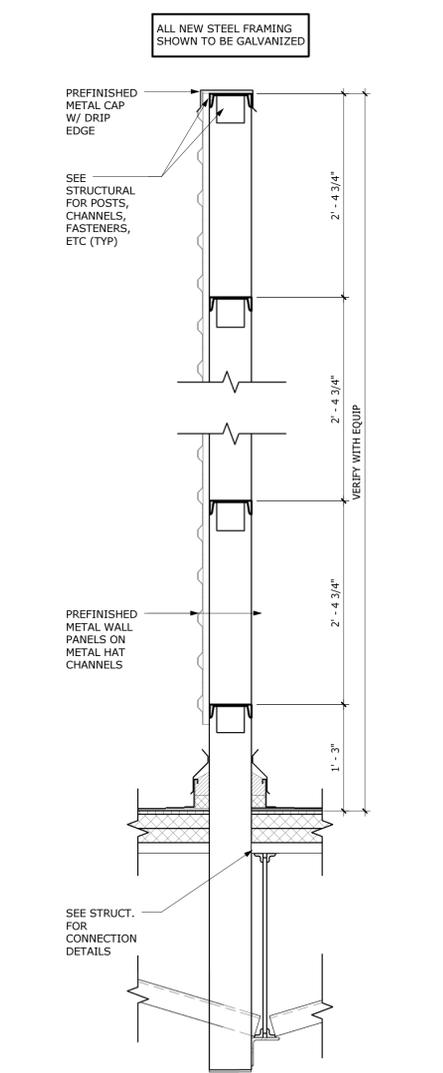
③ ENLARGED CANOPY PLAN
1/8" = 1'-0"



④ CANOPY SECTION
1 1/2" = 1'-0"



⑤ CANOPY SUPPORT DETAIL
3" = 1'-0"



⑥ SCREEN WALL
1" = 1'-0"

**KRECH, O'BRIEN,
MUELLER & ASSOCIATES, INC.**
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Inver Grove Heights
Minnesota 55076
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komainc@komainc.com

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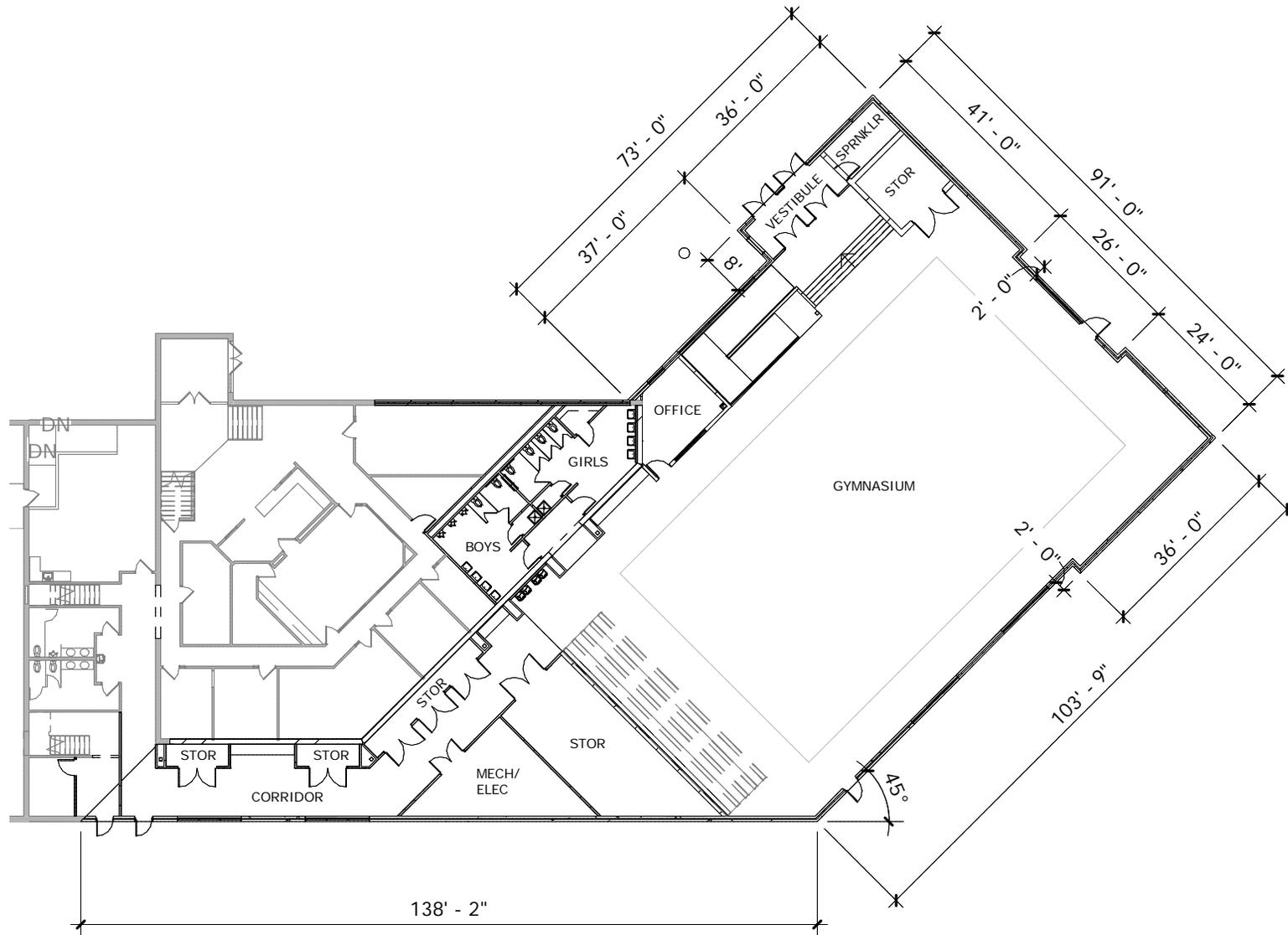
ROOF PLAN
BANAADIR ACADEMY ADDITION
1201 BRYANT AVE N
MINNEAPOLIS, MN 55411

PROJECT: 16036
DRAWN BY: LAS
CHECKED BY: BRM
DATE: 05/16/2016
REVISIONS:

LAND USE APPLICATION

A130

5/16/2016 7:14:50 AM C:\Working\16036 Banaadir\16036 Banaadir_las.rvt



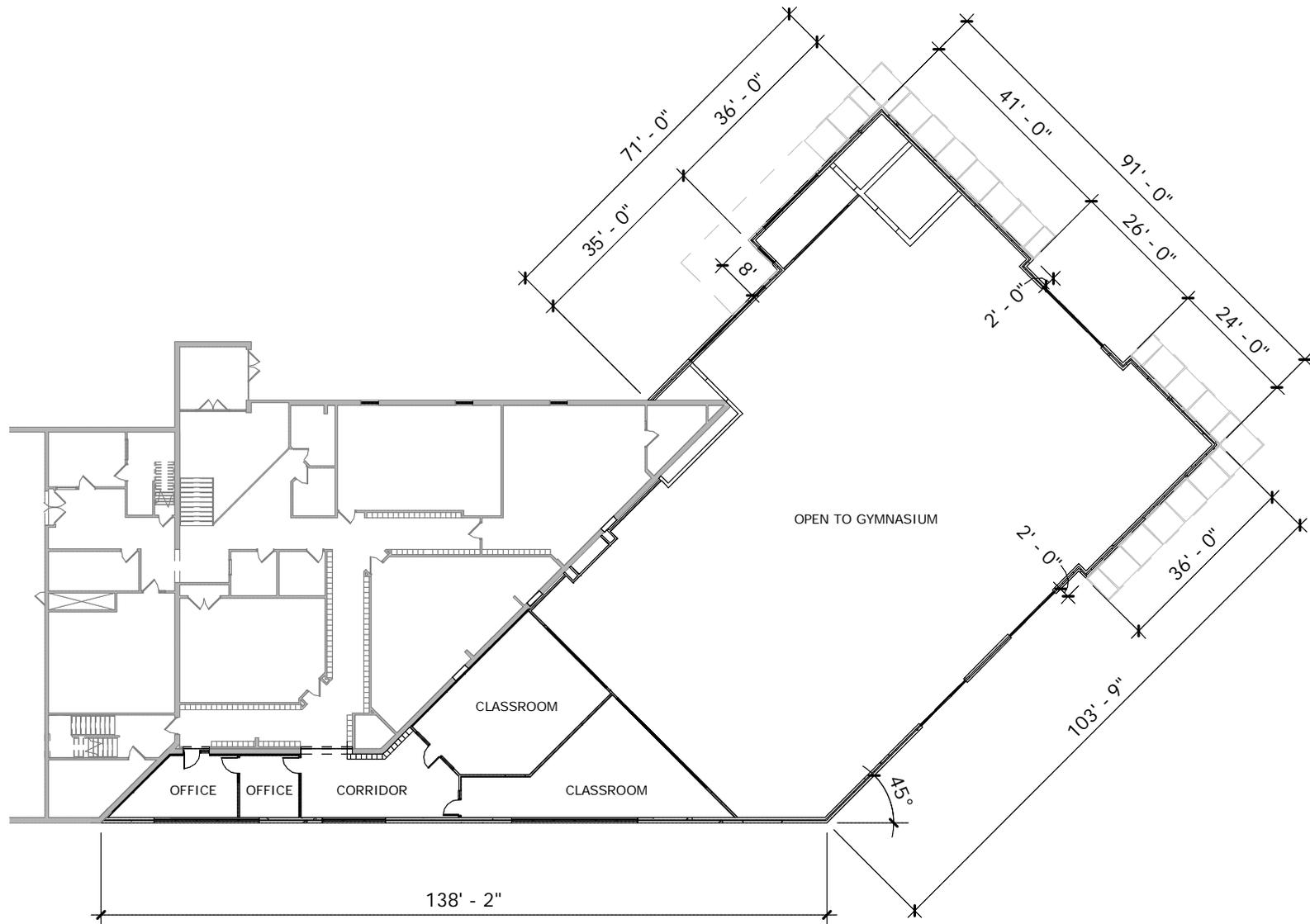
LAND USE APPLICATION

BANAADIR ACADEMY ADDITION

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 651.451.4605 p 651.451.0917 f komainc@komainc.com

MAIN LEVEL (1" = 30'-0")

PROJECT:	16036	A11
DRAWN BY:	LAS	
DATE:	05/16/2016	



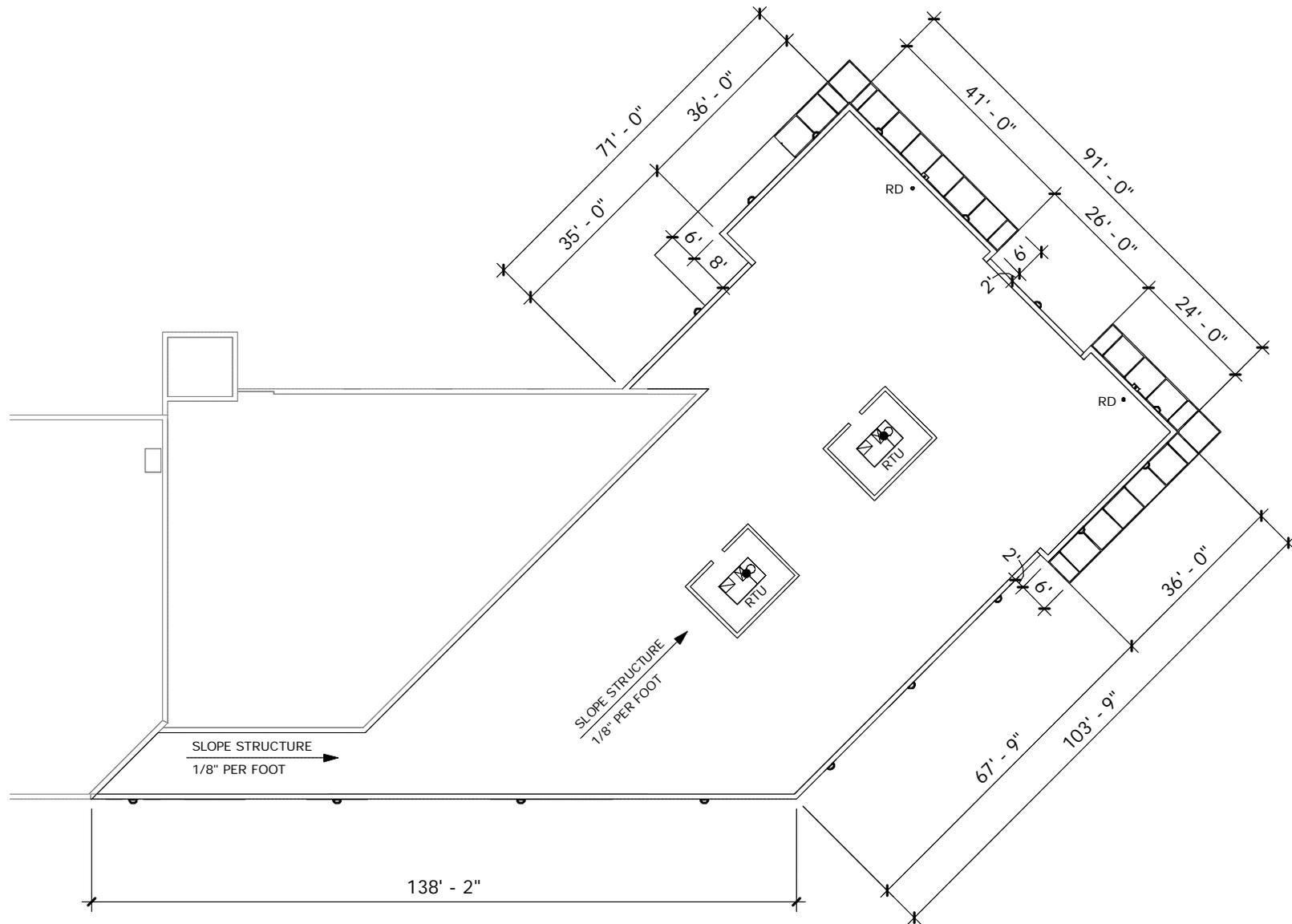
LAND USE APPLICATION

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UPPER LEVEL (1" = 30'-0")

PROJECT:	16036	A12
DRAWN BY:	LAS	
DATE:	05/16/2016	



LAND USE APPLICATION

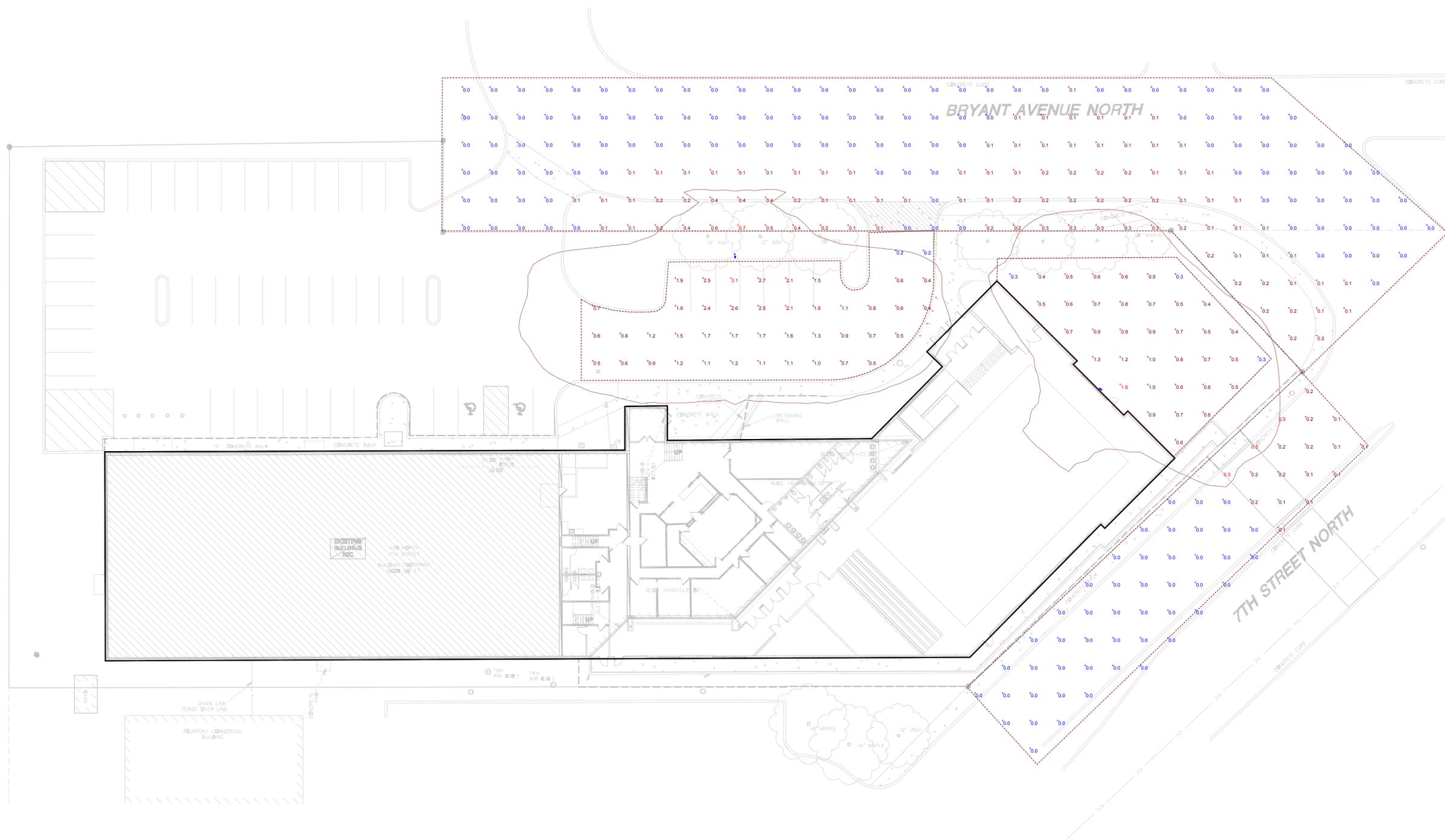
BANAADIR ACADEMY ADDITION

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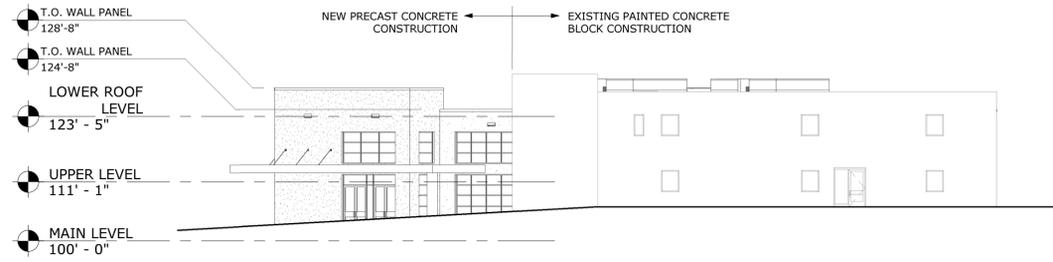
ROOF PLAN (1" = 30'-0")

PROJECT:	16036	A13
DRAWN BY:	LAS	
DATE:	05/16/2016	

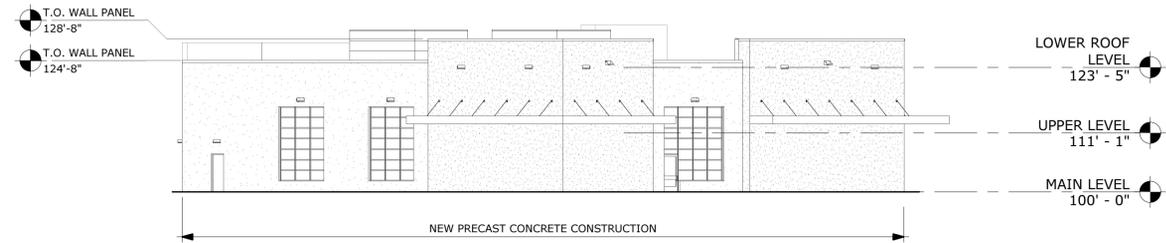
Luminaire Schedule											
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	A	1	Lithonia Lighting	DSX0 LED 40C 1000 40K T3M MVOLT HS	DSX0 LED with 40 LEDs @1000 mA, 4000K, Type 3 Medium Optics with HOUSE-SIDE SHIELD	LED	1	DSX0_LED_40C_1000_40K_T3M_MVOLT_HS.ies	11923.35	0.85	138
	B	1	Lithonia Lighting	DSXW1 LED 20C 1000 40K T4M MVOLT	DSXW1 LED WITH (2) 10 LED LIGHT ENGINES, TYPE T4M OPTIC, 4000K, @ 1000mA.	LED	1	DSXW1_LED_20C_1000_40K_T4M_MVOLT.ies	7419.826	0.85	73.2



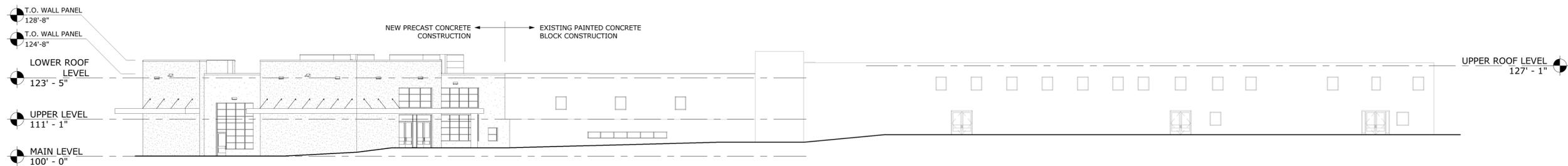
Plan View
Scale - 1" = 20'



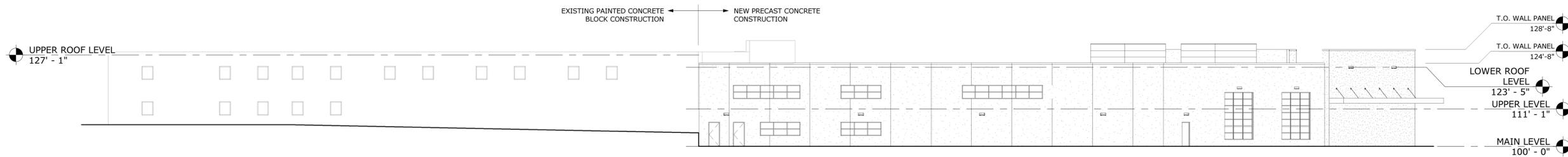
① NORTH EXTERIOR ELEVATION
1/16" = 1'-0"



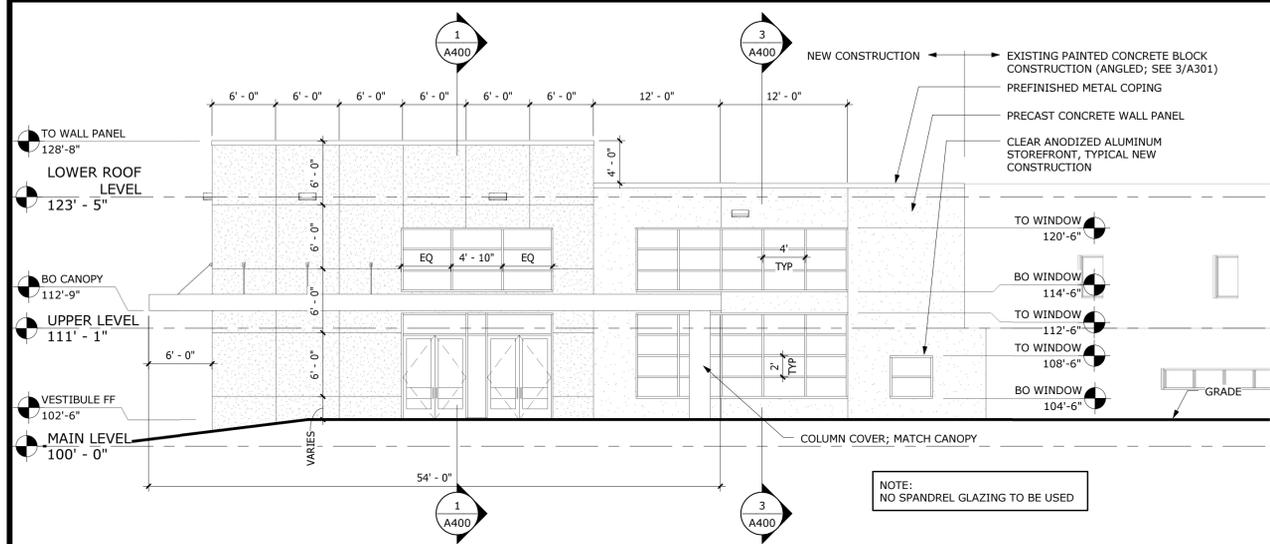
② SOUTH EXTERIOR ELEVATION
1/16" = 1'-0"



③ EAST EXTERIOR ELEVATION
1/16" = 1'-0"

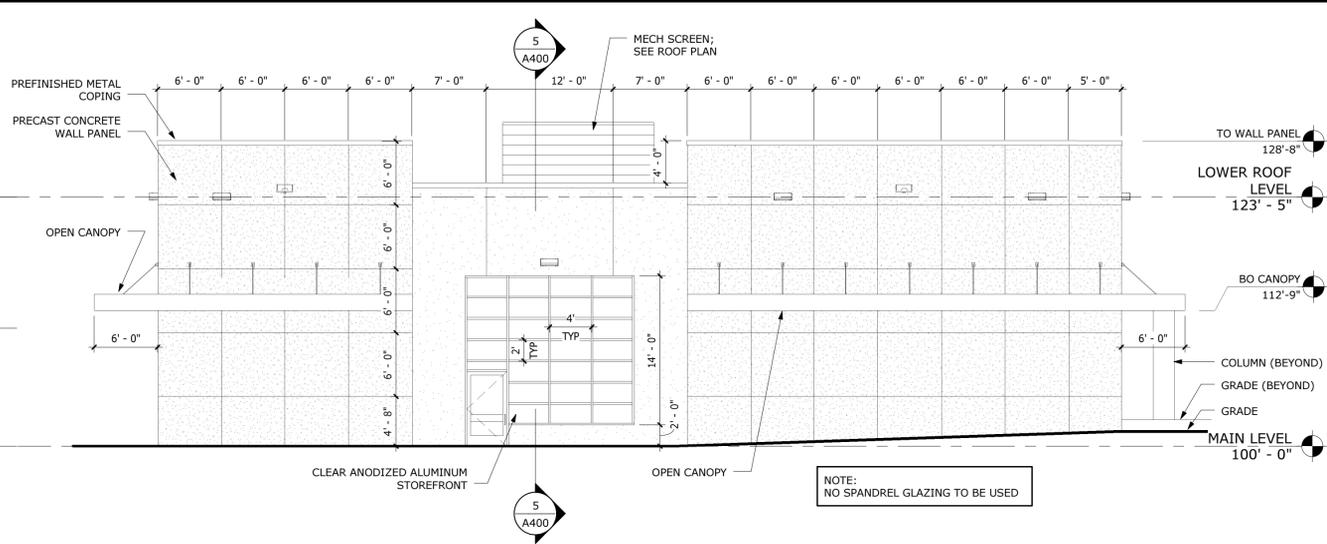


④ WEST EXTERIOR ELEVATION
1/16" = 1'-0"



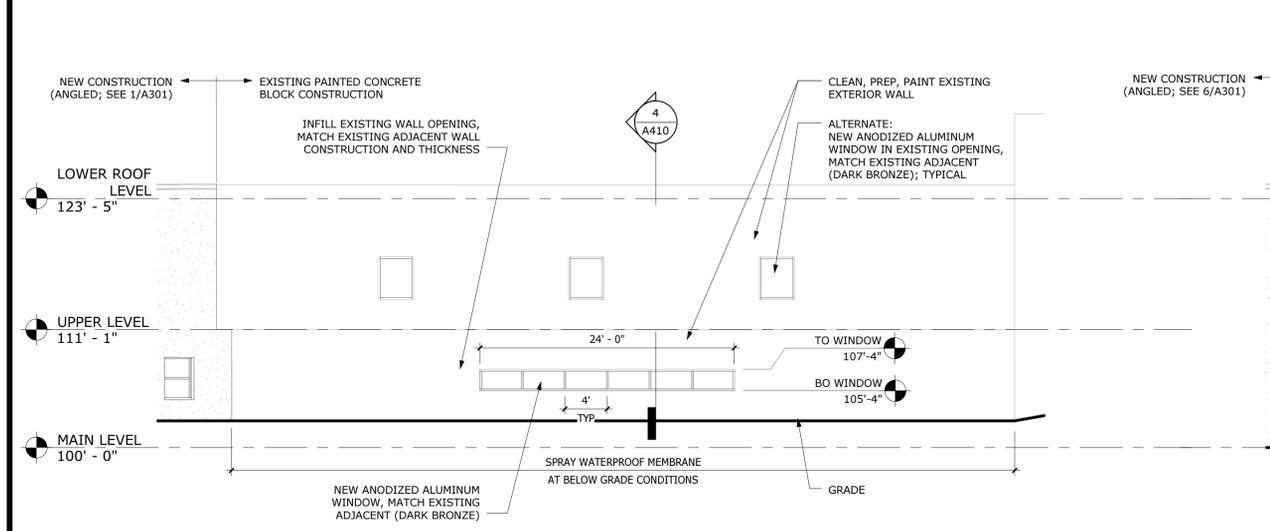
1 EXTERIOR ELEVATION (NORTH)

1/8" = 1'-0"



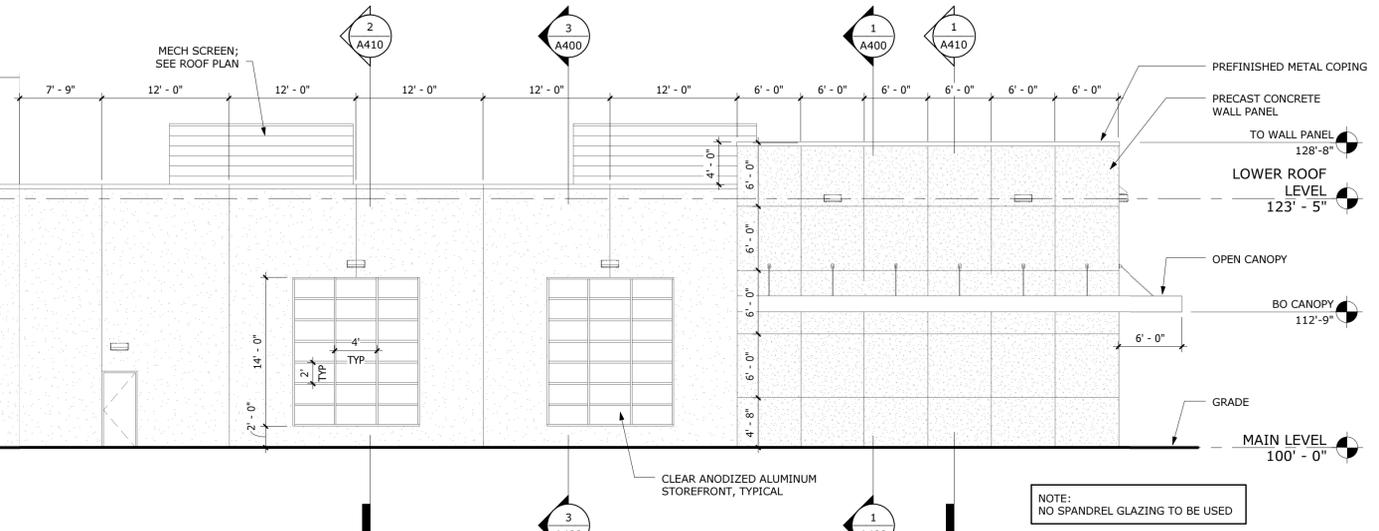
2 EXTERIOR ELEVATION (EAST)

1/8" = 1'-0"



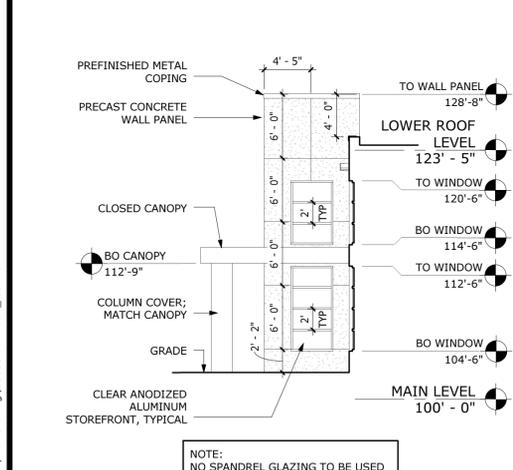
3 EXTERIOR ELEVATION (EAST)

1/8" = 1'-0"



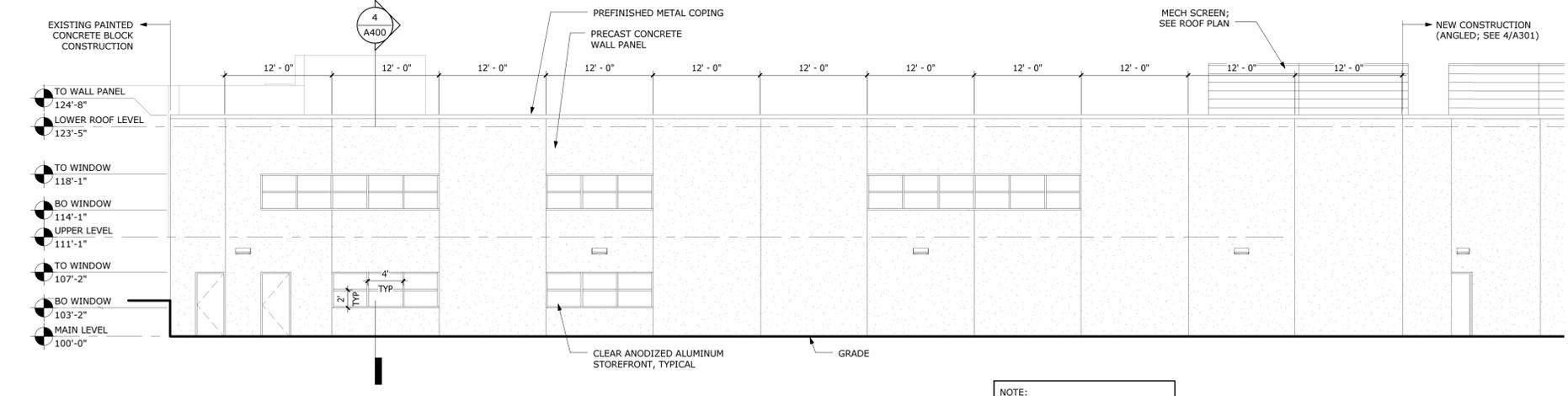
4 EXTERIOR ELEVATION (SOUTH)

1/8" = 1'-0"



5 EXTERIOR ELEVATION (WEST)

1/8" = 1'-0"



6 EXTERIOR ELEVATION (WEST)

1/8" = 1'-0"



KRECH, O'BRIEN,
MUELLER & ASSOCIATES, INC.
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6115 Cahill Avenue
Inver Grove Heights
Minnesota 55076

651.451.4605
fax 651.451.0917
komainc@komainc.com

THE
BAINEY
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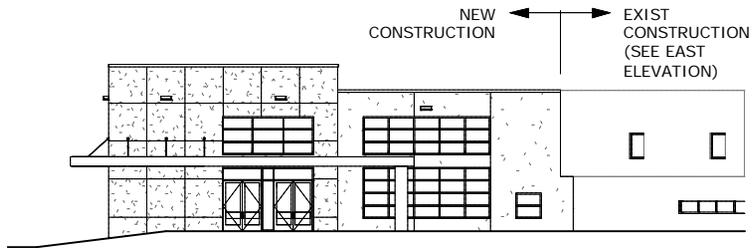
DATE: _____ REG. NO.: _____

ENLARGED EXTERIOR
ELEVATIONS
BANAADIR ACADEMY ADDITION
1201 BRYANT AVE N
MINNEAPOLIS, MN 55411

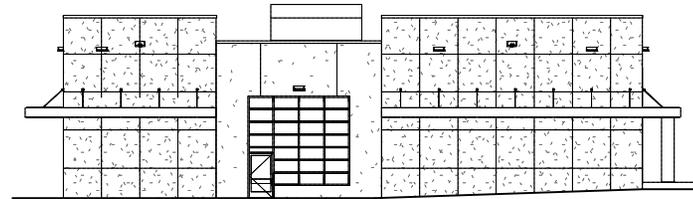
PROJECT: 16036
DRAWN BY: LAS
CHECKED BY: BRM
DATE: 05/16/2016
REVISIONS:

LAND USE
APPLICATION

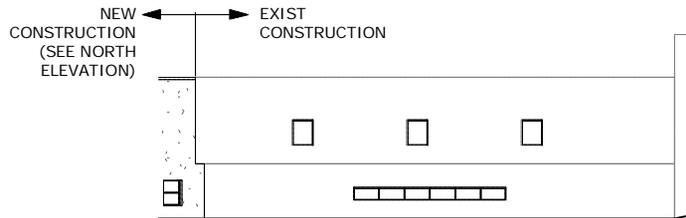
A301



NORTH ELEVATION

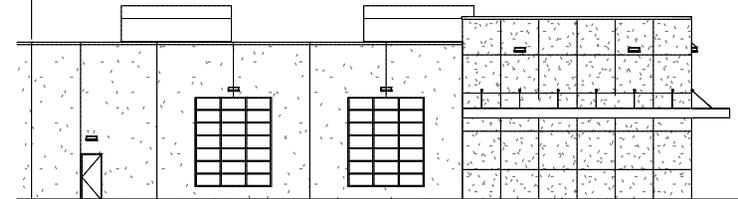


EAST ELEVATION

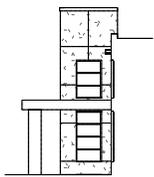


EAST ELEVATION

NEW CONSTRUCTION
(ANGLED; SEE WEST
ELEVATION)

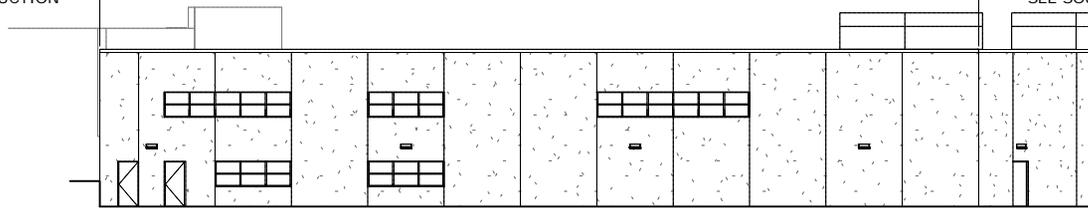


SOUTH ELEVATION



WEST ELEVATION

EXIST
CONSTRUCTION



WEST ELEVATION

LAND USE APPLICATION

BANAADIR ACADEMY ADDITION



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 651.451.4605 p 651.451.0917 f komainc@komainc.com

ELEVATIONS (1" = 30'-0")

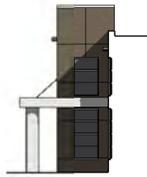
PROJECT:	16036	A30
DRAWN BY:	LAS	
DATE:	05/16/2016	



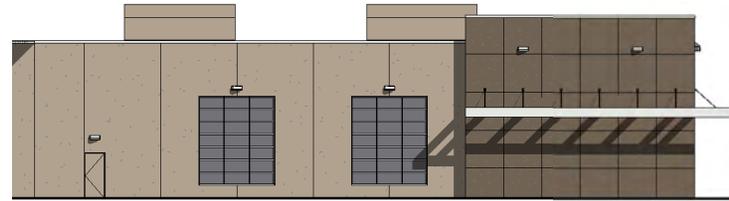
NORTH ELEVATION



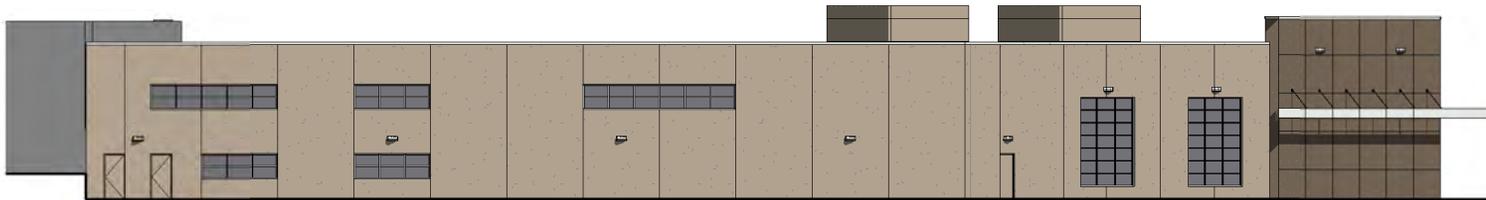
EAST ELEVATION



WEST ELEVATION



SOUTH ELEVATION



WEST ELEVATION

LAND USE APPLICATION

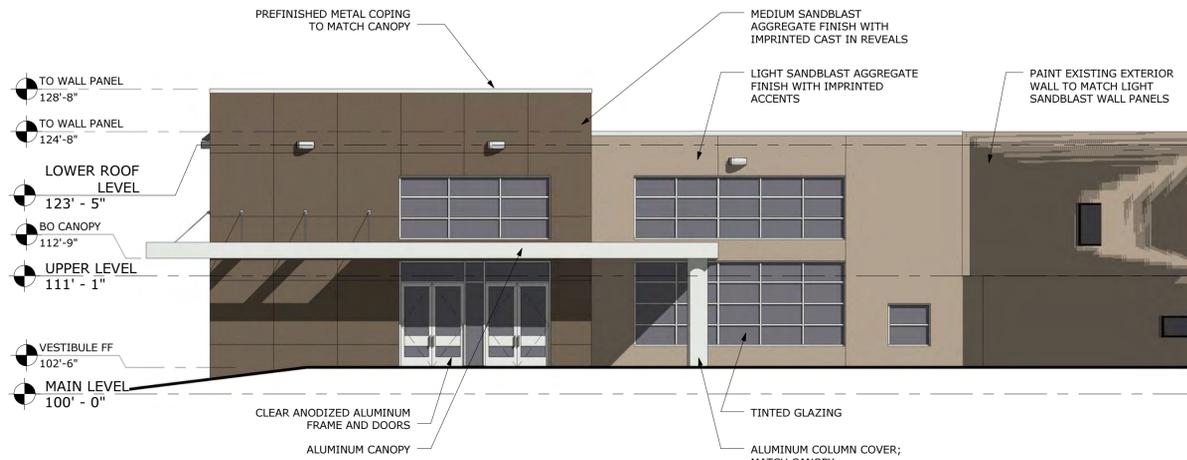
BANAADIR ACADEMY ADDITION



KRECH, O'BRIEN, MUELLER & ASSOCIATES, INC.
Architecture Structural Engineering Interior Design
6115 Cahill Avenue, Inver Grove Heights, Minnesota 55076
651.451.4605 p 651.451.0917 f komainc@komainc.com

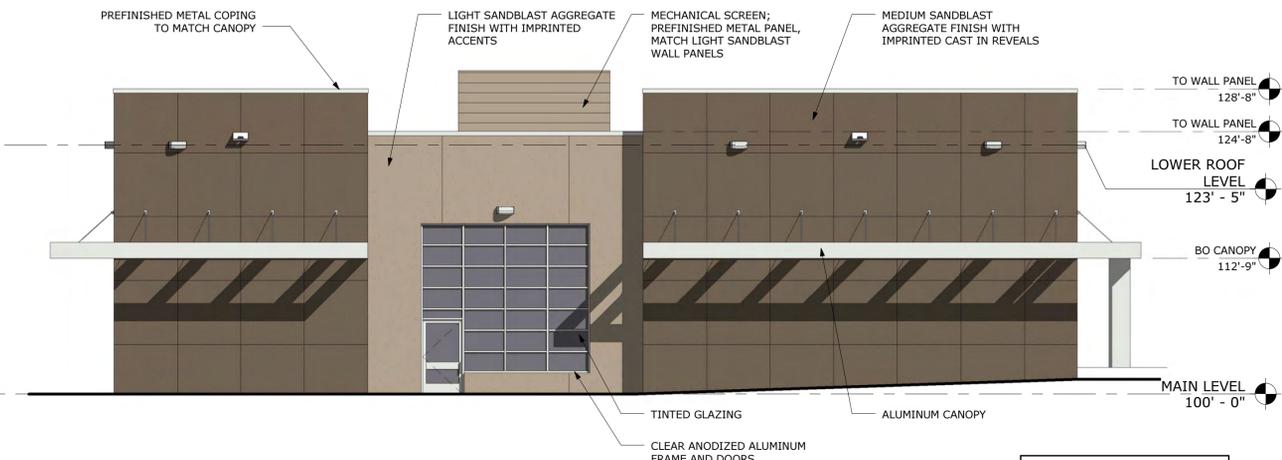
COLORED ELEVATIONS (1" = 30'-0")

PROJECT:	16036	A31
DRAWN BY:	LAS	
DATE:	05/16/2016	



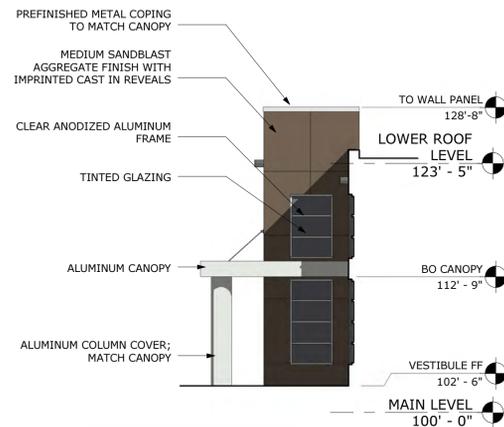
1 EXTERIOR ELEVATION (NORTH)
1/8" = 1'-0"

NOTE: NO SPANDREL GLAZING TO BE USED



2 EXTERIOR ELEVATION (EAST)
1/8" = 1'-0"

NOTE: NO SPANDREL GLAZING TO BE USED



3 EXTERIOR ELEVATION (NORTHWEST)
1/8" = 1'-0"

NOTE: NO SPANDREL GLAZING TO BE USED



4 EXTERIOR ELEVATION (SOUTH)
1/8" = 1'-0"

NOTE: NO SPANDREL GLAZING TO BE USED



5 EXTERIOR ELEVATION (WEST)
1/8" = 1'-0"

NOTE: NO SPANDREL GLAZING TO BE USED



① PERSPECTIVE - BRYANT AVE & 12th AVE



② PERSPECTIVE - PARKING LOT (GYM ENTRANCE)



③ PERSPECTIVE - BRYANT AVE (NORTHEAST CORNER)



④ PERSPECTIVE - 7th ST & BRYANT AVE (SOUTHEAST CORNER)



⑤ PERSPECTIVE - 7th ST



KRECH, O'BRIEN,
MUELLER & ASSOCIATES, INC.
Architecture Structural Engineering Interior Design

6115 Cahill Avenue
Inver Grove Heights
Minnesota 55076

651.451.4605
fax 651.451.0917
komainc@komainc.com

**THE
BAINEY
GROUP
INC.**
CONSTRUCTION

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DATE: _____ REG. NO.: _____

PERSPECTIVE VIEWS

**BANAADIR ACADEMY ADDITION
1201 BRYANT AVE N
MINNEAPOLIS, MN 55411**

PROJECT: 16036
DRAWN BY: LAS
CHECKED BY: BRM
DATE: 06/21/2016
REVISIONS:

LAND USE
APPLICATION

A910



LAND USE APPLICATION

BANAADIR ACADEMY ADDITION



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 6115 Cahill Avenue, Inver Grove Heights, Minnesota 55076
 651.451.4605 p 651.451.0917 f komainc@komainc.com

PRESPERSPECTIVE VIEWS (NTS)

PROJECT:	16036	A90
DRAWN BY:	LAS	
DATE:	05/16/2016	



LAND USE APPLICATION

BANAADIR ACADEMY ADDITION



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Architecture Structural Engineering Interior Design
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651.451.4605 p 651.451.0917 f komainc@komainc.com

PERSPECTIVE VIEWS (NTS)

PROJECT:	16036	A91
DRAWN BY:	LAS	
DATE:	05/16/2016	



LAND USE APPLICATION

BANAADIR ACADEMY ADDITION

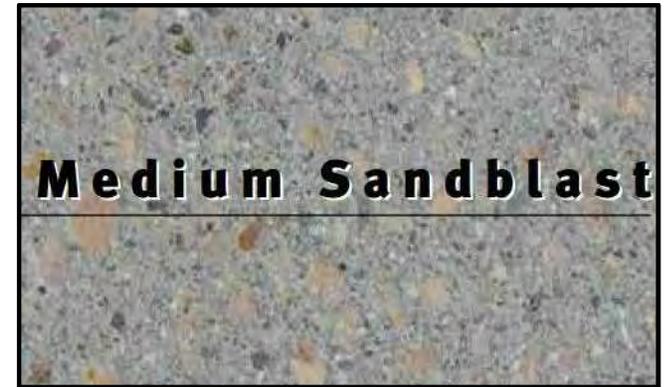
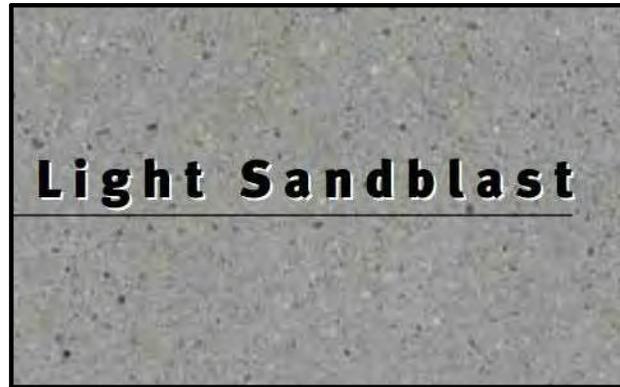


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651.451.4605 p 651.451.0917 f komainc@komainc.com

PERSPECTIVE VIEW (NTS)

PROJECT:	16036	A92
DRAWN BY:	LAS	
DATE:	05/16/2016	

PRECAST PANEL FINISHES

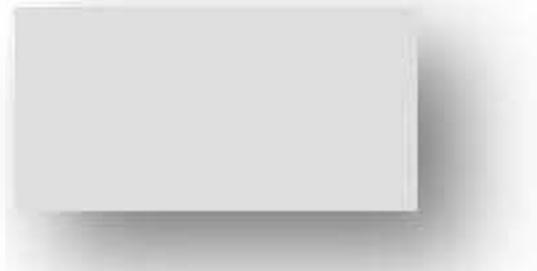


ANODIZED ALUMINUM COLORS

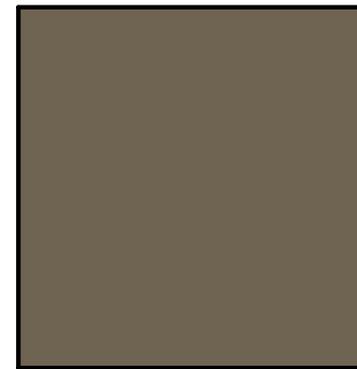
COLOR SAMPLES



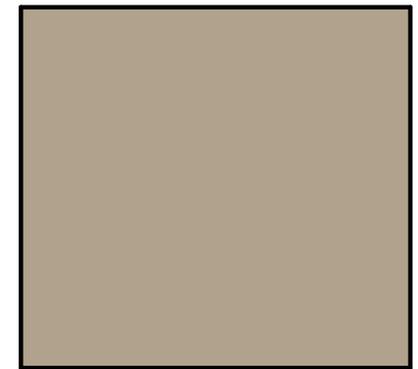
DARK BRONZE
MATCH EXISTING (VERIFY)



CLEAR
NEW CONSTRUCTION



MEDIUM SANDBLAST
PANELS



LIGHT SANDBLAST
PANELS

BANAADIR ACADEMY ADDITION

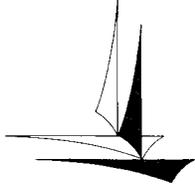


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COLORS

PROJECT:	16036	A99
DRAWN BY:	LAS	
DATE:	06/01/2016	





Minneapolis Development Review
250 South 4th Street
Room 300
Minneapolis, MN 55415

Preliminary Development Review Report

Development Coordinator Assigned: **MATTHEW JAMES**
(612) 673-2547
matthew.james@minneapolismn.gov

Status *

Tracking Number:	PDR 1001434
Applicant:	BANAADIR ACEDEMY 7920 LAKEVILLE BLDV. LAKEVILLE, MN 55044
Site Address:	1201 BRYANT AVE N 1203 BRYANT AVE N 1130 7TH ST N
Date Submitted:	03-MAY-2016
Date Reviewed:	11-MAY-2016

Purpose

The purpose of the Preliminary Development Review (PDR) is to provide Customers with comments about their proposed development. City personnel, who specialize in various disciplines, review site plans to identify issues and provide feedback to the Customers to assist them in developing their final site plans.

The City of Minneapolis encourages the use of green building techniques. For additional information please check out our green building web page at: http://www.ci.minneapolis.mn.us/mdr/GreenBuildingOptions_home.asp.

DISCLAIMER: *The information in this review is based solely on the preliminary site plan submitted. The comments contained in this report are preliminary ONLY and are subject to modification.*

Project Scope

Gym addition (11,443 squ. ft.) to existing structure.

Review Findings (by Discipline)

Historical Preservation Committee

- There is no HPC flag on this property. HPC review is not required at this time.

***Approved:** You may continue to the next phase of developing your project.

***Resubmission Required:** You cannot move forward or obtain permits until your plans have been resubmitted and approved.

□ Business Licensing

- There is no Minneapolis Business Licensing review required for the proposed project.

□ Addressing

- Per City of Minneapolis Street Naming and Address Standard V1.22, the City of Minneapolis holds authority for assignment of all addresses, verification, change, and/or additions. Each assigned address number uses the street that provides the best/direct access for life safety equipment and best/direct access to the occupants.
- The original address of the structure (1201 Bryant Ave. N.) will be retained as this project is an addition.

□ Parks - Forestry

- Contact Craig Pinkalla (612-499-9233 cpinkalla@minneapolisparks.org) regarding any questions related to planting, removal or the process for protection of trees during construction in the city right of way.
- Effective January 1, 2014, the City of Minneapolis and the Minneapolis Park and Recreation Board adopted an update to the existing Parkland Dedication Ordinance. The adopted City of Minneapolis Parkland Dedication ordinance is located in Section 598.340 of the City's Land Subdivision ordinance:
 - <http://library.municode.com/index.aspx?clientId=11490>
- As adopted, the fee in lieu of dedication for new residential units is \$1,521 per unit (affordable units excluded per ordinance) and for commercial and industrial development it is \$202.80 per development employee (as defined in ordinance). Any dedication fee (if required) must be paid at the time of building permit issuance.
- There is also an administration fee that is 5% of the calculated park dedication fee.
- As proposed, for your PROJECT, the calculated dedication fee is as follows:
 - Park Dedication Fee Calculation =
 - Non-Residential Commercial Space = \$3,448.00
 - 5% of \$3,448 (Administration Fee) = \$ 172.00
 - Total Park Dedication Administrative Fee: = \$3,620.00
- This is a preliminary calculation based on your current proposal; a final calculation will be made at the time of building permit submittal. For further information, please contact Matthew D. James at (612) 673-2547.

□ Zoning - Planning

- Based on staff's preliminary review, the following land use applications have been identified:
 - Expansion of a nonconforming use for an addition to a school in the I1 district
 - Variance of the maximum quantity of signs allowed (6 are proposed, but only 1 is allowed on the east façade facing Bryant, and 1 is allowed on the southwest façade facing 7th St N).
 - Variance to increase the maximum area per sign (32 square feet max).
 - Variance to increase the maximum height of a sign (14 feet max).
 - Site plan review for an addition exceeding 1,000 square feet.
- In addition, please address the following on the plans:
 - Please note that wall signs cannot extend away from the structure more than 24 inches.
 - Please verify the parking counts provided on the site plan. I am counting 50 spaces total, whereas 53 is the listed number.
 - Please list the building footprint on the site plan.
 - Please indicate where bicycle parking will be located and how many bikes will be able to park there.
 - Please provide additional detail on the transparency of the glazing.
 - Please indicate the location of any exterior mechanical equipment. If applicable, a roof plan will be required. Please note that all mechanical equipment must be screened on all four sides (535.70).
- Please provide additional detail on the exterior materials of the existing building on the elevations.
- A landscape plan was not provided. Parking and loading areas are subject to the requirements in section 530.170 of Chapter 530, Site Plan Review.
- The land use application will require exterior material samples as well as renderings or colored elevations.
- A lighting plan that complies with section 535.590 of the zoning code will be required upon resubmission.

- A land use application has not been submitted.

❑ Right of Way

- The submitted plans indicate the existing location of an electric utility transformer adjacent to the east elevation of the existing building. Are any additional transformers needed as a result of the proposed addition? If so, the location would need to be identified on the site plan. It is recommended that if discussions with Xcel Energy have not taken place to date, that they should as soon as possible in order to identify if additional electric utility and/or transformer locations are needed. It should not be assumed that the City will approve any proposed transformer location in the Public right-of-way.
- There was no landscaping plan in the submittal. Please be aware that an encroachment permit shall be required for any/all streetscape elements in the Public right-of-way such as: plants & shrubs, planters, tree grates and other landscaping elements, sidewalk furniture (including bike racks and bollards), and sidewalk elements other than standard concrete walkways such as pavers, stairs, raised landings, retaining walls, access ramps, and railings (NOTE: railings may not extend into the sidewalk pedestrian area). Please contact Bob Boblett at (612) 673-2428 for further information.
- Note to the Applicant: Any elements of an earth retention system and related operations (such as construction crane boom swings) that fall within the Public right-of-way will require an encroachment permit application. If there are to be any earth retention systems which will extend outside the property line of the development then a plan must be submitted showing details of the system. All such elements shall be removed from the Public right-of-way following construction with the exception of tie-backs which may remain but must be uncoupled and de-tensioned. Please contact Bob Boblett at (612) 673-2428 for further information.
- In addition, any elements of an earth retention system and related excavations that fall within the Public right-of-way will require a "Right-of-Way Excavation Permit". This permit is typically issued to the General Contractor just prior to the start of construction. However, it is the Applicant's responsibility to insure that all required permits have been acquired by its consultants, contractors, sub-contractor's prior to the start of work.
- Bike racks are not located or identified on the submitted site plan. Please be aware that if bike racks are proposed in the Public right-of-way and are privately owned, they will require an encroachment permit. Contact Paul Cao at (612) 673-2943 for position and alignment of bike racks if proposed in the Public right-of-way.

❑ Street Design

- The plan as submitted meets the requirements of the Public Works Street Design Division.

❑ Sidewalk

- Note to the Applicant: Any currently defective sidewalks or other concrete infrastructure within the public right of way, or any concrete infrastructure damaged during construction, must be removed and replaced.
- There was no landscaping plan in the submittal. Please be aware that all proposed/existing trees located in the Public right-of-way are subject to the review and approval of the Minneapolis Park Board. Please contact Craig Pinkalla at (612) 499-9233 to discuss tree species selection, planting method, spacing and locations as applicable. Tree planting details shall be included as necessary in the plans.
- Please provide written clarification and a detailed cross section of the private walkway/ramp along 7th which provides egress from the west elevation of the building and that is separated from the public sidewalk by a retaining wall. As you are aware, there is an existing attached sidewalk along 7th. Please consider combining the sidewalk/walkways. This would allow for the potential incorporation of a green boulevard with street trees (given that the proposal results in the removal of existing trees on the subject property abutting 7th). There is also an existing street light in the middle of the sidewalk near the intersection - the width of the sidewalk does not meet ADA requirements -please consider expanding the sidewalk in this location/at the intersection.

□ Traffic and Parking

- All street lighting (existing and proposed) shall be shown clearly on the site plan. Prior to site plan approval, the Applicant shall contact Joseph Laurin at (612) 673-5987 to determine street lighting requirements. Note: If decorative street lighting exists on the proposed site it must be preserved or replaced at existing levels.
- Please provide a narrative of the operations that occur on site. If buses provide transportation to and from the site please verify the size and volume of buses as well as the drop-off loading areas on site. Current ordinance states that all maneuvers associated with loading, parking or sanitation pick up for a private development shall occur on private property. Please provide a narrative explaining the trash removal operations and show turning maneuvers for all truck type vehicles and buses that will be using the parking entrance areas. Per City Ordinance the Applicant shall provide for (and identify) a solid waste collection point (SWCP) on the site plans. The location of the SWCP is subject to the review and approval of the Public Works Department.
- Traffic staff has requested that you investigated whether the northernmost drive apron that provides access to the parking lot could be reconstructed to have a perpendicular curb to the roadway which would result in more of a defined vehicle drive lane instead of a merge point.
- Note to the Applicant: The construction of this development will likely require the use of Public right-of-way (roadway and sidewalks) for construction purposes. A request for an estimate of street use and obstruction permit fees can be made to the City's Traffic Department; please contact Scott Kramer at (612) 673-2383 for further information.
- Note to the Applicant: Please update current notes or add the following notes to the site plan:
 - Street lighting installed as part of the Project shall be inspected by the City. Contractors shall arrange for inspections with the Traffic Department, please contact Dave Prehall at (612) 673-5759 for further information. Any lighting installations not meeting City specifications will be required to be reinstalled at Owner expense.
 - An obstruction permit is required anytime construction work is performed in the Public right-of-way. Please contact Scott Kramer at (612) 673-2383 regarding details of sidewalk and lane closures. Log on to <http://minneapolis.mn.roway.net> /for a permit.
 - Contact Allan Klugman at (612) 673-2743 prior to construction for the temporary removal/temporary relocation of any City of Minneapolis lighting or traffic signal system that may be in the way of construction.
 - All costs for relocation and/or repair of City Traffic facilities shall be borne by the Contractor and/or Property Owner.
 - Contact Doug Maday at (612) 673-5755 prior to construction for the removal of any City of Minneapolis right of way signs that may be in the way of construction.

□ Water

- All existing and proposed underground Public Utilities (water, sanitary sewer, and storm drain) shall be shown on the site plan with corresponding pipe sizes and types. For Public watermain infrastructure records call (612) 673-2865. Any existing water service connections to the site shall be noted on the plans for removal, and shall be removed per the requirements of the Utility Connections Department before any new service lines can be installed, call (612) 673-2451 for more information.
- A second fire line will be allowed given an addition is proposed on site but it cannot be a combination line. The water service connections to 7th St. N. should be designed to avoid bends into the proposed building and the tap sleeve with a long extension to the gate valve is not permitted; rather it is recommended to connect to the 6" water main located in Bryant Avenue. Meters shall be set at the point where the service line enters the building and shall be set in a location where it is easily assessable. Domestic service lines larger than three inches require a Bypass Assembly (see attachment). Please contact Rock Rogers at (612) 673-2286, to review domestic and fire service design, connections, and sizes.

❑ Sewer Design

- Stormwater Management: Please provide a tabulation of the disturbed area square footage, and the square footage of the existing and proposed impervious surfaces within that disturbed area. If the disturbed area is greater than 1 acre, the site would be subject to the stormwater management requirements of Chapter 54 of the Minneapolis Code of Ordinances.
- Surface Drainage: The proposed grading on the north side of the existing building does not seem feasible without retaining walls. No walls appear to be proposed. Please appropriately address grading of this area.
- Please identify the location of the roof drains of the existing building.
- Utility Connections: The invert of the proposed sanitary connection at the manhole should be at or above the spring line of the outgoing sewer, but no more than 2' above the crown of the outgoing sewer.
- Further review of the proposed storm sewer connection will be necessary based on the stormwater management aspects of the project being addressed, per the above comment.
- Non Stormwater Discharges: Detail all mechanical and non-stormwater discharges. Non-stormwater discharges are not permitted unless approved by the City of Minneapolis. Non-stormwater discharges not declared and approved will not be permitted. If there currently are none and nothing is proposed declare this status on the plans.
- For comments or questions on Public Works Surface Water & Sewers Division related requirements please contact Jeremy Strehlo, (Professional Engineer) at (612) 673-3973, or jeremy.strehlo@minneapolismn.gov.

❑ Construction Code Services

- Clarify accessible route from accessible parking to accessible entrances.
- Verify the opening protections on south wall new openings based on the set back.
- A Service Availability Charge (SAC) determination will need to be submitted to the Metropolitan Council for the proposed project. Please refer to this link for more information http://www.ci.minneapolis.mn.us/mdr/docs/sac_availability_charge.pdf or SACprogram@metc.state.mn.us.

❑ Environmental Health

- If impacted soil is encountered during site activities call the MN State Duty officer at (651) 649-5451.
- If dewatering is required during site construction see below for city permit requirements. Subgrade structures should be designed to prevent infiltration of groundwater without the need for a permanent dewatering system being installed. If a continuously operating permanent dewatering system is needed it must be approved as part of the sanitary sewer and storm drain site plan approval prior to construction beginning.
- No construction, demolition or commercial power maintenance equipment shall be operated within the city between the hours of 6:00 p.m. and 7:00 a.m. on weekdays or during any hours on Saturdays, Sundays and state and federal holidays, except under permit. Contact Environmental Services at (612) 673-3867 for permit information.
- Permits and approval are required from Environmental Services for the following activities: Temporary storage of impacted soils on site prior to disposal or reuse; Reuse of impacted soils on site; Dewatering and discharge of accumulated storm water or ground water, underground or aboveground tank installation or removal, well construction or sealing. Contact Tom Frame at (612) 673-5807 for permit applications and approvals.
- A review of the project, permits issued and an inspection from Environmental Service for identification of equipment and site operations that require annual registration with the City of Minneapolis will occur for this project.

❑ Fire Safety

- Provide fire suppression and fire alarm protection throughout new addition.
- Maintain fire apparatus access at all times.