



**LAND USE APPLICATION SUMMARY**

*Property Location:* 41 North 12<sup>th</sup> Street  
*Project Name:* PPL YouthLink Supportive Housing and YouthLink Renovation  
*Prepared By:* Hilary Dvorak, Principal Planner, (612) 673-2639  
*Applicant:* Project for Pride in Living, Inc. (PPL)  
*Project Contact:* Abbie Loosen with PPL  
*Request:* To add a new 17-unit (47 beds) residential building addition to the existing YouthLink community center

*Required Applications:*

<b>Rezoning</b>	Petition to rezone the property from the II Light Industrial District and B4C-1 Downtown Commercial District to the B4C-1 Downtown Commercial District.
<b>Site Plan Review</b>	For a new 47-unit residential building addition.
<b>Preliminary Plat</b>	PL-307.
<b>Vacation</b>	Of a portion of North 12 <sup>th</sup> Street between Chestnut and Linden Avenues.

**SITE DATA**

<b>Existing Zoning</b>	II Light Industrial District B4C-1 Downtown Commercial District DP Downtown Parking Overlay District
<b>Lot Area</b>	49,114 square feet / 1.13 acres
<b>Ward</b>	5
<b>Neighborhoods</b>	North Loop; adjacent to Loring Park and Downtown West
<b>Designated Future Land Use</b>	Transitional Industrial
<b>Land Use Features</b>	Growth Center (Downtown)
<b>Small Area Plan</b>	<i>North Loop Small Area Plan (2010)</i>

<b>Date Application Deemed Complete</b>	June 1, 2016	<b>Date Extension Letter Sent</b>	June 9, 2016
<b>End of 60-Day Decision Period</b>	July 31, 2016	<b>End of 120-Day Decision Period</b>	September 29, 2016

## BACKGROUND

**SITE DESCRIPTION AND PRESENT USE.** The site is located on the west side of downtown Minneapolis. The site is located between Chestnut Avenue and Linden Avenue West and west of North 12<sup>th</sup> Street. The site is currently occupied by YouthLink, a community center, and a surface parking lot.

**SURROUNDING PROPERTIES AND NEIGHBORHOOD.** The site is surrounded by various industrial businesses and Interstate 394. The site is located in the North Loop neighborhood.

**PROJECT DESCRIPTION.** YouthLink operates a day drop-in center at 41 North 12<sup>th</sup> Street for youth ages 16-23 that are experiencing homelessness. Clients are able to talk with staff about educational and employment goals, seek assistance finding housing, visit the medical clinic, eat meals, take showers and do laundry. The site is also home to the Youth Opportunity Center (YOC) which is a collaboration of organizations and agencies that provide resources for young people experiencing homelessness.

The applicant is proposing to construct a new five-story, 17-unit (47 beds) residential addition to the existing building. As part of the development, a small portion of the existing building will be demolished. YouthLink will renovate their existing space and expand into the basement of the building. Project for Pride in Living (PPL) and YouthLink are partnering on this development. There will be a total of 46 beds for youth ages 18-23 and one resident advisor bed. The beds will be grouped into ten quad units with shared kitchen and bathroom facilities, one one-bedroom unit and six studio units. On the ground floor of the building there will be shared common space, a health and wellness area and the Career Pathways center which will provide formerly homeless youth with guidance and assistance related to their educational and career goals. The residents will also have access to the services provided by YouthLink and at the YOC.

The existing YouthLink property is zoned II Light Industrial District and the portion of the property that is being vacated is zoned B4C-1 Downtown Commercial District. Since land cannot be combined into one zoning lot that results in more than one primary zoning classification the applicant has submitted a petition to rezone the entire property to the B4C-1 Downtown Commercial District.

The applicant is proposing to install a solar energy system on top of the addition once it is complete. The exact type of system has not been determined but the applicant believes that it will meet the regulations of the zoning code.

**RELATED APPROVALS.** Not applicable.

**PUBLIC COMMENTS.** Public comments have been submitted regarding the project. Any additional correspondence received prior to the public meeting will be forwarded on to the City Planning Commission for consideration.

## ANALYSIS

### REZONING

The Department of Community Planning and Economic Development has analyzed the application for a petition to rezone the property from the II Light Industrial District and B4C-I Downtown Commercial District to the B4C-I Downtown Commercial District based on the following findings:

1. *Whether the amendment is consistent with the applicable policies of the comprehensive plan.*

The proposed zoning would be consistent with the applicable policies of *The Minneapolis Plan for Sustainable Growth*. The property is designated as Transitional Industrial on the future land use map. Transitional industrial sites may eventually evolve to other uses compatible with surrounding development. Although they may remain industrial for some time, they do not have the same level of policy protection as areas within Industrial Employment Districts. The site is located in Downtown Minneapolis which is a designated Growth Center.

The following principles and policies outlined in the comprehensive plan apply to this proposal:

**Land Use Policy 1.15: Support development of Growth Centers as locations for concentration of jobs and housing, and supporting services.**

- 1.15.1 Support development of Growth Centers through planning efforts to guide decisions and prioritize investments in these areas.
- 1.15.3 Encourage the development of high- to very high-density housing within Growth Centers.

**Housing Policy 3.4: Preserve and increase the supply of safe, stable, and affordable supportive housing opportunities for homeless youth, singles and families.**

- 3.4.2 Support the creation of additional supportive housing units for homeless youth, singles and families.

The City Council approved the *North Loop Small Area Plan* in 2010. In the plan, the future land use for this property is Transitional Industrial. The plan further breaks up the neighborhood into land use districts which provide further land use guidance. This site is located in the Lower Industrial district. This district is the most self-contained industrial area. The primary land use in the future should remain industrial with intermittent opportunities for residential and commercial. It is a high priority of this plan to perpetuate the unique location of these industrial job opportunities in proximity to the Downtown Core and nearby transit. The proposed development is consistent with the principles and policies outlined in the *North Loop Small Area Plan*.

2. *Whether the amendment is in the public interest and is not solely for the interest of a single property owner.*

The proposed rezoning is not solely for the interest of the property owner. Rezoning the site to the B4C-I Downtown Commercial District will allow for redevelopment of the property in a manner consistent with the comprehensive plan which calls for intermittent residential uses as noted above.

3. *Whether the existing uses of property and the zoning classification of property within the general area of the property in question are compatible with the proposed zoning classification, where the amendment is to change the zoning classification of particular property.*

Properties in the immediate area are zoned II Light Industrial District, B4C-I Downtown Commercial District, B4N Downtown Neighborhood District and OR3 Institutional Office

Residence District. The site is surrounded by various industrial businesses and Interstate 394. On the opposite side of Interstate 394 there are numerous residential developments of varying densities. Given the surrounding zoning classifications, the context and uses in the area, as well as adopted policy, rezoning the subject property to the B4C-1 Downtown Commercial District would be appropriate and compatible in this location.

4. *Whether there are reasonable uses of the property in question permitted under the existing zoning classification, where the amendment is to change the zoning classification of particular property.*

There are reasonable uses permitted in the II Light Industrial District. However, the future guidance in the comprehensive for this site is Transitional Industrial. Rezoning the property to the B4C-1 Downtown Commercial District will allow for redevelopment of the site that is consistent with that guidance.

5. *Whether there has been a change in the character or trend of development in the general area of the property in question, which has taken place since such property was placed in its present zoning classification, where the amendment is to change the zoning classification of particular property.*

The surrounding area has and continues to be primarily industrial in nature.

## SITE PLAN REVIEW

The Department of Community Planning and Economic Development has analyzed the application based on the required findings and applicable standards in the site plan review chapter:

### ***1. Conformance to all applicable standards of Chapter 530, Site Plan Review.***

## BUILDING PLACEMENT AND DESIGN

### **Building placement – Requires alternative compliance**

- The building addition will be located between eight-and-a-half and nine-and-a-half feet from the front property line along Chestnut Avenue and between one and 36 feet from the corner side property line along North 12<sup>th</sup> Street. Alternative compliance is required.
- The placement of the building addition will reinforce the street walls, maximize natural surveillance and visibility, and facilitate pedestrian access and circulation. The building addition will be set relatively close to the front and corner side property lines. There will be a principal entrance for the housing component facing Chestnut Avenue and there will be a principal entrance for the community center facing North 12<sup>th</sup> Street. There will be large windows on all sides of the building addition that maximize the opportunities for people to observe adjacent spaces.
- The area between the building and the lot lines include amenities such as landscaping and seating areas.
- All of the on-site accessory parking will be located towards the interior side of the site.

### **Principal entrances – Meets requirements**

- The principal entrance for the housing component will face Chestnut Avenue and the principal entrance for the community center will face North 12<sup>th</sup> Street.
- The principal residential entrance will be emphasized through the use of an awning, floor to ceiling windows and signage. The principal community center entrance will be emphasized through the use of floor to ceiling windows and signage.

**Visual interest – Requires alternative compliance**

- The building walls provide architectural detail and contain windows in order to create visual interest.
- There is one area of the building along Chestnut Avenue that will be over 25 feet in length and blank. Alternative compliance is required.

**Exterior materials – Meets requirements**

- The applicant is proposing to use Nichiha and brick as the building’s primary exterior materials. Each elevation would comply with the City’s durability standards for exterior materials (see Table 1). Please note that exterior material changes at a later date may require review by the Planning Commission and an amendment to the site plan review.
- In addition, the application is consistent with the City’s policy of allowing no more than three exterior materials per elevation, excluding windows, doors, and foundation materials.
- Plain face concrete block is not proposed to be used as an exterior building material on the addition.
- The exterior materials and appearance of the rear and side walls of the building addition are similar to and compatible with the front of the building addition. It should be noted that the proposed brick on the addition will be the same as the brick on the existing building which will help tie the two together.

**Table 1. Percentage of Exterior Materials per Elevation**

<b>Material</b>	<b>Allowed Max</b>	<b>North</b>	<b>South</b>	<b>East</b>	<b>West</b>
<b>Nichiha</b>	<b>100%</b>	67%	55%	40%	41%
<b>Brick</b>	<b>100%</b>	8%	20%	31%	28%
<b>CMU (existing)</b>	<b>100%</b>	0%	4%	0%	21%
<b>Glass</b>	<b>100%</b>	25%	21%	29%	10%

**Windows – Requires alternative compliance**

- For residential uses, the zoning code requires that no less than 20 percent of the walls on the first floor, and no less than ten percent of the walls on each floor above the first that face a public street, public sidewalk, public pathway, or on-site parking lot, shall be windows. The project is in compliance with the residential window requirement except on the first floor facing the on-site parking lot (see Table 2). Alternative compliance is required.
- For nonresidential uses, the zoning code requires that no less than 30 percent of the walls on the first floor are windows with clear or lightly tinted glass with a visible light transmittance ratio of six-tenths (0.6) or higher. No less than ten percent of the walls on each floor above the first that face a public street, public sidewalk, public pathway, or on-site parking lot, shall be windows. Based on the floor plans, all proposed shelving, mechanical equipment, and other similar fixtures allow views into and out of the building between four and seven feet above the adjacent grade. The project is in compliance with the nonresidential minimum window requirement (see Table 2).
- All windows are vertical in proportion and are evenly distributed along the building walls.

**Table 2. Percentage of Windows per Applicable Elevation**

	Code Requirement		Proposed	
<b>Residential Uses</b>				
1st floor facing Chestnut Avenue	20% minimum	178 sq. ft.	48%	430 sq. ft.
2nd floor and above facing Chestnut Avenue	10% minimum	17 sq. ft.	13%	155 sq. ft.
1st floor facing North 12 <sup>th</sup> Street	20% minimum	96 sq. ft.	31%	150 sq. ft.
2nd floor and above facing North 12 <sup>th</sup> Street	10% minimum	63 sq. ft.	Between 20% and 27%	Between 126 sq. ft. and 168 sq. ft.
1st floor facing on-site parking lot	20% minimum	96 sq. ft.	0%	0 sq. ft.
2nd floor and above facing on-site parking lot	10% minimum	63 sq. ft.	11%	70 sq. ft.
<b>Residential Uses</b>				
1st floor facing North 12 <sup>th</sup> Street	30% minimum	43 sq. ft.	54%	76 sq. ft.
1st floor facing on-site parking lot	30% minimum	190 sq. ft.	38%	243 sq. ft.

**Ground floor active functions – Meets requirements**

- The ground floor facing both Chestnut Avenue and North 12<sup>th</sup> Street contains 100 percent active functions.

**Roof line – Meets requirements**

- The principal roof line of the building will be flat, which is similar to that of surrounding buildings.

**Parking garages – Not applicable**

- There are no parking garages proposed as part of this project.

**ACCESS AND CIRCULATION**

**Pedestrian access – Meets requirements**

- There are clear and well-lit walkways at least four feet in width connecting the building entrances to the adjacent public sidewalks.

**Transit access – Not applicable**

- No transit shelters are proposed as part of this development.

**Vehicular access – Meets requirements**

- Vehicular access and circulation has been designed to minimize conflicts with pedestrian traffic. The on-site accessory parking lot contains 36 parking spaces. The parking lot can be accessed from both Chestnut Avenue and Linden Avenue. The curb cut on Chestnut Avenue allows for ingress and egress whereas the curb cut on Linden Avenue allows for ingress only.
- There are no public alleys adjacent to the site.
- The applicant is proposing to have one small loading space on the site. It is proposed to be located near the building entrance on the northwest corner of the site.
- There is no maximum impervious surface requirement in the B4C-1 Downtown Commercial District. According to the materials submitted by the applicant, 90 percent of the site will be impervious, while 67 percent of the existing site is impervious.

**LANDSCAPING AND SCREENING**

**General landscaping and screening – Not applicable**

- In the Downtown Districts, any building containing 50,000 square feet or more of gross floor area is exempt from the general landscaping and screening requirements.
- The applicant is proposing approximately 8,712 square feet of landscaping on site, or approximately 34 percent of the site not occupied by the building (see Table 3).

**Table 3. Landscaping and Screening Requirements**

	<b>Code Requirement</b>	<b>Proposed</b>
<b>Lot Area</b>	--	49,114 sq. ft.
<b>Building Footprint</b>	--	23,678 sq. ft.
<b>Remaining Lot Area</b>	--	25,436 sq. ft.
<b>Landscaping Required</b>	5,087 sq. ft.	8,712 sq. ft.
<b>Canopy Trees (1:500 sq. ft.)</b>	11 trees	9 trees
<b>Shrubs (1:100 sq. ft.)</b>	51 shrubs	338 shrubs

**Parking and loading landscaping and screening – Requires alternative compliance**

- The parking lot has frontage on both Chestnut Avenue and Linden Avenue. Between the parking lot and Chestnut Avenue there is a telecommunications tower and its associated base equipment. Between the parking lot and Linden Avenue there is between zero and four feet of landscaping. Alternative compliance is required.
- The applicant is not proposing any type of screening between the parking lot and Linden Avenue. CPED is recommending that a three-foot screen consisting of a masonry wall, fence, berm, hedge, or combination thereof that is at least 60 percent opaque be installed between the parking lot and Linden Avenue.
- There is at least one tree provided for each 25 linear feet, or fraction thereof, of parking or loading area frontage along Linden Avenue.
- Because the existing surface parking lot contains ten or more spaces, each parking space must be located within 50 feet of the center of an on-site deciduous tree. All of the parking spaces are located more than 50 feet from an on-site deciduous tree. Alternative compliance is required.

**ADDITIONAL STANDARDS**

**Concrete curbs and wheel stops – Meets requirements**

- The parking lot is existing. The parking lot currently drains to a catch basin in Chestnut Avenue and will continue to do so after the building addition is complete.

**Site context – Meets requirements**

- There are no important elements of the city such as parks, greenways, significant buildings, and water bodies near the site that will be obstructed by the proposed building addition.
- This building should have minimal shadowing effects on public spaces and adjacent properties.
- The building has been designed with recesses and projections and canopies over the entryways which should help minimize wind effects on the surrounding area.

**Crime prevention through environmental design – Meets requirements**

- The site plan complies with crime prevention design elements as the principal entrances will be oriented towards the public sidewalks, walkways will direct people to and from the building entrances, there will be large windows on all sides of the building that maximize the opportunities for people to observe adjacent spaces and the public sidewalks and there will be lights located near all of the building entrances and throughout the grounds.

**Historic preservation – Not applicable**

- This site is neither historically designated nor is it located in an historic district.

**2. Conformance with all applicable regulations of the zoning ordinance.**

The proposed use is permitted in the B4C-1 Downtown Commercial District.

**Off-street Parking and Loading – Meets requirements**

**Table 4. Vehicle Parking Requirements Per Use (Chapter 54I)**

Use	Minimum	Reductions	Total with Reductions	Maximum Allowed	Proposed
Residential Dwellings	0	--	0	27	36
Community Center	0	--	0	41	
	<b>0</b>	--	<b>0</b>	<b>68</b>	<b>36</b>

**Table 5. Bicycle Parking Requirements (Chapter 54I)**

Use	Minimum	Short-Term	Long-Term	Proposed
Residential Dwellings	9	--	Not less than 90%	50
Community Center	6	Not less than 50%	--	14
	<b>15</b>	<b>3</b>	<b>8</b>	<b>64</b>

**Table 6. Loading Requirements (Chapter 541)**

Use	Loading Requirement	Minimum Requirement	Proposed
Residential Dwellings	None	None	1 small
Community Center	Low	1 small	

**Building Bulk and Height – Meets requirements**

**Table 7. Building Bulk and Height Requirements**

	Code Requirement	Proposed
Lot Area	--	49,114 sq. ft. / 1.13 acres
Gross Floor Area	--	97,720 sq. ft.
Floor Area Ratio (Minimum)	Not applicable	1.99
Floor Area Ratio (Maximum)	4.0	
Building Height (Maximum)	Not applicable	5 stories or 60 ft.

**Lot Requirements – Meets requirements**

**Table 8. Lot Requirements Summary**

	Code Requirement	Proposed
Dwelling Units (DU)	--	17 DUs
Density (DU/acre)	--	15 DUs/acre
Lot Area (Minimum)	5,000 sq. ft.	49,114 sq. ft.
Impervious Surface Area (Maximum)	Not applicable	90%
Lot Coverage (Maximum)	Not applicable	48%
Lot Width (Maximum)	40 ft.	Between 112 ft. and 185 ft.

**Yard Requirements – Meets requirements**

**Table 1. Minimum Yard Requirements**

<b>Setback</b>	<b>Zoning District</b>	<b>Overriding Regulations</b>	<b>Total Requirement</b>	<b>Proposed</b>
<b>Front</b> (Chestnut Avenue)	0 ft.	--	0 ft.	Between 8.5 and 9.5 ft.
<b>Front</b> (Linden Avenue)	0 ft.	--	0 ft.	Between 6 and 63 ft.
<b>Corner Side</b> (North 12 <sup>th</sup> Street)	0 ft.	--	0 ft.	Between 1 and 36 ft.
<b>Interior side</b> (West)	13 ft.	--	15ft.	52 ft.

**Signs – Meets requirements**

- Signs are subject to the requirements of Chapter 543, On-Premise Signs. In the B4C zoning district there can be two-and-a-half square feet of signage for every one linear foot of primary building wall. Wall signs are limited to 120 square feet in size. Projecting signs are limited to 48 square feet in size. The maximum height of both wall signs and projecting signs is 28 feet. Freestanding monument signs are limited to 32 square feet in size and can be no taller than 8 feet. However, a freestanding monument sign shall not be allowed if the amount of signage exceeds two-and-a-half square feet of signage for every one foot of primary building wall. The zoning code limits the number of freestanding signs on a zoning lot to one.
- The applicant is proposing to have five wall signs located on the building. One near the principal entrance for the housing component and two near each of the entrances to the community center. All five of the signs meet the dimensional requirements of the zoning code.

**Screening of Mechanical Equipment – Meets requirements**

- There is existing mechanical equipment located on the roof of the building that will remain and there will be new mechanical equipment located on the roof of the building addition. All of the rooftop mechanical equipment will be screened with horizontal metal panels.
- There will also be mechanical equipment, including a generator and transformers located on the ground towards the west side of the building. The mechanical equipment will be screened by a six-foot tall cedar wood fence.

**Refuse Screening – Meets requirements**

- All refuse and recycling storage containers will be located within the building.

**Lighting – Meets requirements**

- The photometric plan that was submitted conforms to the standards of Chapter 535, Regulations of General Applicability.

**Fences – Meets requirements**

- The applicant is proposing to install a four-foot high decorative metal fence around the perimeter of the outdoor courtyard located on the east side of the building.

**Specific Development Standards – Not applicable**

**DP Downtown Parking Overlay District Standards – Meets requirements**

- The parking lot is existing. Minor modifications will be made to the parking lot including the reduction of six parking spaces.

**3. Conformance with the applicable policies of The Minneapolis Plan for Sustainable Growth.**

*The Minneapolis Plan for Sustainable Growth* identifies the site as Transitional Industrial on the future land use map. The proposed development is consistent with the following principles and policies outlined in the comprehensive plan:

**Urban Design Policy 10.1: Promote building designs and heights that enhance and complement the image and form of the Downtown skyline, provide transition to the edges of Downtown and protect the scale and quality in areas of distinctive physical or historical character.**

10.1.3 Building placement should allow light and air into the site and surrounding properties.

**Urban Design Policy 10.5: Support the development of multi-family residential dwellings of appropriate form and scale.**

10.5.3 Large-scale, high-rise, multi-family residential development is more appropriate in the Downtown Minneapolis Growth Center.

**Urban Design Policy 10.6: New multi-family development or renovation should be designed in terms of traditional urban building form with pedestrian scale design features at the street level.**

10.6.1 Design buildings to fulfill light, privacy, and view requirements for the subject building as well as for adjacent properties by building within required setbacks.

10.6.2 Promote the preservation and enhancement of view corridors that focus attention on natural or built features, such as the Downtown skyline, landmark buildings, significant open spaces or bodies of water.

10.6.3 Provide appropriate physical transition and separation using green space, setbacks or orientation, stepped down height, or ornamental fencing to improve the compatibility between higher density and lower density residential uses.

10.6.4 Orient buildings and building entrances to the street with pedestrian amenities like wider sidewalks and green spaces.

10.6.5 Street-level building walls should include an adequate distribution of windows and architectural features in order to create visual interest at the pedestrian level.

10.6.6 Integrate transit facilities and bicycle parking amenities into the site design.

**Urban Design Policy 10.17: Provide sufficient lighting to reflect community character, provide a comfortable environment in a northern city and promote environmentally friendly lighting systems.**

10.17.1 Provide high-quality lighting fixture designs that are appropriate to street types and land use, and that provide pedestrian friendly illumination, but minimize glare and dark sky conditions, and other unnecessary light pollution.

10.17.5 Integrate exterior building lighting design to attune with building designs and landscaping.

- 10.17.6 Provide sufficient lighting for better way-finding and safe circulation within and around a development.

**Urban Design Policy 10.19: Landscaping is encouraged in order to complement the scale of the site and its surroundings, enhance the built environment, create and define public and private spaces, buffer and screen, incorporate crime prevention principles, and provide shade, aesthetic appeal, and environmental benefits.**

- 10.19.1 In general, larger, well-placed, contiguous planting areas that create and define public and private spaces shall be preferred to smaller, disconnected areas.
- 10.19.2 Plant and tree types should complement the surrounding area and should include a variety of species throughout the site that include seasonal interest. Species should be indigenous or proven adaptable to the local climate and should not be invasive on native species.
- 10.19.3 Landscaped areas should include plant and tree types that address ecological function, including the interception and filtration of stormwater, reduction of the urban heat island effect, and preservation and restoration of natural amenities.
- 10.19.4 Landscaped areas should be maintained in accordance with Crime Prevention Through Environmental Design (CPTED) principles, to allow views into and out of the site, to preserve view corridors and to maintain sight lines at vehicular and pedestrian intersections.
- 10.19.5 Landscaping plans should be designed to facilitate future maintenance including the consideration of irrigation systems, drought and salt-resistant species, ongoing performance of storm water treatment practices, snow storage, access to sun, proximity to buildings, paved surfaces and overhead utilities.

#### **4. Conformance with applicable development plans or objectives adopted by the City Council.**

The City Council approved the *North Loop Small Area Plan* in 2010. In the plan, the future land use for this property is Transitional Industrial. The plan further breaks up the neighborhood into land use districts which provide further land use guidance. This site is located in the Lower Industrial district. In this district, the primary land use in the future should remain industrial with intermittent opportunities for residential and commercial. The plan calls for buildings between two and ten stories in height with an urban street frontage and direct access to the public sidewalk. Buildings should have a prominent front entrance and an abundant amount of windows. The proposed development is consistent with the principles and policies outlined in the *North Loop Small Area Plan*.

#### **5. Alternative compliance.**

The Planning Commission or zoning administrator may approve alternatives to any site plan review requirement upon finding that the project meets one of three criteria required for alternative compliance. Alternative compliance is requested for the following requirements:

- **Building placement.** The building addition will be located between eight-and-a-half and nine-and-a-half feet from the front property line along Chestnut Avenue and between one and 36 feet from the corner side property line along North 12<sup>th</sup> Street. Since the development proposal is to add a residential component to what is a primarily industrial area, the additional setback allows for landscaping which will provide a buffer between the building and the property lines. CPED is recommending that the City Planning Commission grant alternative compliance.

- **Blank walls.** There is one area of the building along Chestnut Avenue that will be over 25 feet in length and blank. The blank wall is located on the first floor of the building and is 28 feet in length. All of the proposed Nichiha material will be blue but will be both smooth and ribbed. In this area of the building the different textures of the Nichiha material will be installed in a random pattern which visually breaks up the overall length of the wall. CPED is recommending that the City Planning Commission grant alternative compliance.
- **Windows.** The project is in compliance with the minimum window requirement except on the first floor facing the on-site parking lot. There are no windows proposed along this side of the addition. There is currently a mural painted on the north end of the YouthLink building. The applicant has indicated that a new mural will be added to the building on the first floor facing the on-site parking lot. CPED is recommending that the City Planning Commission grant alternative compliance. In addition, CPED is recommending that a mural be painted on the first floor of the building facing the on-site parking lot.
- **Parking lot landscaping and screening.** The parking lot has frontage on both Chestnut Avenue and Linden Avenue. Between the parking lot and Chestnut Avenue there is a telecommunications tower and its associated base equipment. Between the parking lot and Linden Avenue there is between zero and four feet of landscaping. The parking lot is existing. Given the placement of the telecommunications tower and its associated base equipment there is not adequate room to add landscaping along Chestnut Avenue. On the Linden Avenue side of the parking lot there is between 12 and 17 feet of public right-of-way that is proposed to be grass. CPED is recommending that the City Planning Commission grant alternative compliance.
- **Distance to trees.** All of the parking spaces are located more than 50 feet from an on-site deciduous tree. However, the southerly nine parking spaces are located within 50 feet of off-site deciduous trees. The parking lot is existing. Minor modifications will be made to the parking lot including the reduction of six parking spaces. If the distance to trees requirement were to be met an additional four parking spaces would need to be removed. The parking lot is screened from Chestnut Avenue by the telecommunications tower and its associated base equipment and the parking lot will be screened from Linden Avenue with landscaping. The existing building and the proposed addition will screen the parking lot from North 12<sup>th</sup> Street. In addition, there will be nine deciduous trees, 338 shrubs and 515 perennials planted on the site. CPED is recommending that the City Planning Commission grant alternative compliance.

## PRELIMINARY PLAT

The Department of Community Planning and Economic Development has analyzed the application for a preliminary and final plat based on the following findings:

1. *The subdivision is in conformance with these land subdivision regulations, the applicable regulations of the zoning ordinance and policies of the comprehensive plan.*

The applicant is proposing to combine several platted lots and vacated right-of-way into one platted lot. The subdivision is in conformance with the design requirements of the land subdivision regulations.

### Zoning Ordinance:

The subdivision is in conformance with the design requirements of the zoning code.

### Comprehensive Plan:

The subdivision is in conformance with the policies of the comprehensive plan.

- The subdivision will not be injurious to the use and enjoyment of other property in the immediate vicinity, nor be detrimental to present and potential surrounding land uses, nor add substantially to congestion in the public streets.*

The applicant is proposing to combine several platted lots and vacated right-of-way into one platted lot. The subdivision will not be injurious to the use and enjoyment of other property in the immediate vicinity, nor be detrimental to present and potential surrounding land uses, nor add substantially to congestion in the public streets.

- All land intended for building sites can be used safely without endangering the residents or users of the subdivision or the surrounding area because of flooding, erosion, high water table, soil conditions, improper drainage, steep slopes, rock formations, utility easements or other hazard.*

The land intended for building can be used safely without endangering the users of the subdivision or the surrounding area because of flooding, erosion, high water table, soil conditions, improper drainage, steep slopes, rock formations, utility easements or other hazard.

- The lot arrangement is such that there will be no foreseeable difficulties, for reasons of topography or other conditions, in securing building permits and in providing driveway access to buildings on such lots from an approved street. Each lot created through subdivision is suitable in its natural state for the proposed use with minimal alteration.*

The parcel created by this application presents no foreseeable difficulties for development. No significant alterations to the land appear necessary.

- The subdivision makes adequate provision for stormwater runoff, and temporary and permanent erosion control in accordance with the rules, regulations and standards of the city engineer and the requirements of these land subdivision regulations. To the extent practicable, the amount of stormwater runoff from the site after development will not exceed the amount occurring prior to development.*

The Department of Public Works has reviewed the preliminary plans and will review the final plans for compliance with standards related to drainage and sanitary system plans. The applicant will be required to continue to work closely with the Department of Public Works, the Plan Review Section of CPED and the various utility companies during the duration of the development to ensure that all procedures are followed and that the development complies with all city and other applicable requirements.

## VACATION

The applicant is proposing to vacate a portion of the North 12<sup>th</sup> Street street easement between Chestnut Avenue and Linden Avenue (Vacation 1649).

The area to be vacated is legally described as follows:

- Commencing at the northeast corner of Lot 1, Block 18, Wilson, Bell and Wagner's Addition to Minneapolis, according to the recorded plat thereof, Hennepin County, Minnesota; thence South 02 degrees 18 minutes 20 seconds West, assumed bearing, along the east line of said Lot 1 a distance of 0.65 feet to the point of beginning of the land to be described; thence South 85 degrees 42 minutes 22 seconds East 22.50 feet; thence Southeasterly 25.26 feet along a tangential curve concave to the southwest having a radius of 22.15 feet and a central angle of 65 degrees 20 minutes 09 seconds; thence South 20 degrees 22 minutes 14 seconds East, tangent to last described curve, 11.01 feet; thence South 14 degrees 33 minutes 58 seconds East 46.85 feet to the east right of way line of said 12<sup>th</sup> Street North; thence South 02 degrees 18 minutes 20 seconds West along said right of way line 15.25 feet; thence South 33 degrees 05 minutes 12

seconds West 117.24 feet to the east line of Lot 12 of said Block 18; thence North 02 degrees 18 minutes 20 seconds East along the east lines of said Lots 1 and 12 a distance of 185.34 feet to the point of beginning and there terminate.

**RESPONSES FROM UTILITIES AND AFFECTED PROPERTY OWNERS.** The Department of Public Works has reviewed the vacation petition and recommends approval of the vacation. Of the utility companies that have responded, none have requested easements.

**FINDINGS.** The Department of Public Works and the Department of Community Planning and Economic Development find that the area proposed for vacation is not needed for any public purpose, and it is not part of a public transportation corridor, and that it can be vacated.

## FOR REZONINGS ONLY

### ZONING PLATE NUMBER. 13

### LEGAL DESCRIPTION.

For 41 12<sup>th</sup> Street North

Tract A

Lots 1, 2, 10, 11 and 12, except that part taken by the City of Minneapolis for Linden Avenue, and except the North 15 feet of said Lot 10, all in Block 18, Wilson, Bell & Wagner's Addition to Minneapolis, together with that part of Block 4, Harmon's Addition to Minneapolis, lying South of said Lots 10, 11 and 12 and North of Linden Avenue and East of the West line of said Lot 10, produced South, according to the plat thereof on file and of record in the office of the Registrar of Deeds in and for Hennepin County, Minnesota, except that part thereof which lies southeasterly on Line 1 described below:

Line 1

Beginning at a point on the east line of said Lot 12, distant 91 feet south of the northeast corner thereof, thence run southwesterly to a point on the south line of said Lot 12, distant 16 feet easterly of the southwest corner thereof, thence continue southwesterly on the last described course to an intersection with the southerly line of course to an intersection with the southerly line of Tract A hereinbefore described and there terminating. Hennepin County, Minnesota.

Tract B

Lot 3 and the North 15 feet of Lot 10, Block 18, Wilson, Bell and Wagner's Addition to Minneapolis, according to the recorded plat thereof, Hennepin County, Minnesota.

For Former 12<sup>th</sup> Street Right of Way

That part of 12<sup>th</sup> Street North described as follows:

Commencing at the northeast corner of Lot 1, Block 18, Wilson, Bell and Wagner's Addition to Minneapolis, according to the recorded plat thereof, Hennepin County, Minnesota; thence South 02 degrees 18 minutes 20 seconds West, assumed bearing, along the east line of said Lot 1 a distance of 0.65 feet to the point of beginning of the land to be described; thence South 85 degrees 42 minutes 22 seconds East 22.50 feet; thence Southeasterly 25.26 feet along a tangential curve concave to the southwest having a radius of 22.15 feet and a central angle of 65 degrees 20 minutes 09 seconds; thence South 20 degrees 22 minutes 14 seconds East, tangent to last described curve, 11.01 feet; thence South 14 degrees 33 minutes 58 seconds East 46.85 feet to the east right of way line of said 12<sup>th</sup> Street North; thence South 02 degrees 18 minutes 20 seconds West along said right of way line 15.25 feet; thence South 33 degrees 05 minutes 12 seconds West 117.24 feet to the east line of Lot 12 of said Block 18;

thence North 02 degrees 18 minutes 20 seconds East along the east lines of said Lots 1 and 12 a distance of 185.34 feet to the point of beginning and there terminate.

## RECOMMENDATIONS

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt staff findings for the applications by Project for Pride in Living, Inc. for the properties located at 41 North 12<sup>th</sup> Street:

### A. Rezoning.

Recommended motion: **Approve** the application to rezone the properties from the II Light Industrial District and B4C-I Downtown Commercial District to the B4C-I Downtown Commercial District.

### B. Site Plan Review.

Recommended motion: **Approve** the site plan review application for a new 47-unit residential building addition, subject to the following conditions:

1. All site improvements shall be completed by August 5, 2018, unless extended by the Zoning Administrator, or the permit may be revoked for non-compliance.
2. CPED staff shall review and approve the final site, elevation, landscaping, and lighting plans before building permits may be issued.
3. A three-foot screen consisting of a masonry wall, fence, berm, hedge, or combination thereof that is at least 60 percent opaque shall be installed between the parking lot and Linden Avenue.
4. A mural shall be painted on the first floor of the building facing the on-site parking lot.

### C. Preliminary Plat.

Recommended motion: **Approve** the Preliminary Plat.

### D. Vacation of a portion of North 12th Street between Chestnut and Linden Avenues (Vac-1649).

Recommended motion: **Approve** the vacation of a portion of the North 12<sup>th</sup> Street street easement between Chestnut Avenue and Linden Avenue.

## ATTACHMENTS

1. PDR report
2. Project description
3. Vacation information
4. Subdivision information
5. Zoning map
6. Architectural and civil plans
7. Renderings
8. Photos
9. Correspondence



Minneapolis Development Review  
250 South 4<sup>th</sup> Street  
Room 300  
Minneapolis, MN 55415

## Preliminary Development Review Report

**Development Coordinator Assigned:** **JENNIFER THORESON**  
**(612) 673-5867**  
**jennifer.thoreson@minneapolismn.gov**

<b>Status *</b>

<b>Tracking Number:</b>	PDR 1001426
<b>Applicant:</b>	PROJECT PRIDE IN LIVING 1035 EAST FRANKLIN AVE MPLS, MN 55404
<b>Site Address:</b>	41 12TH ST N
<b>Date Submitted:</b>	12-APR-2016
<b>Date Reviewed:</b>	20-APR-2016

### Purpose

The purpose of the Preliminary Development Review (PDR) is to provide Customers with comments about their proposed development. City personnel, who specialize in various disciplines, review site plans to identify issues and provide feedback to the Customers to assist them in developing their final site plans.

The City of Minneapolis encourages the use of green building techniques. For additional information please check out our green building web page at: [http://www.ci.minneapolis.mn.us/mdr/GreenBuildingOptions\\_home.asp](http://www.ci.minneapolis.mn.us/mdr/GreenBuildingOptions_home.asp).

**DISCLAIMER:** *The information in this review is based solely on the preliminary site plan submitted. The comments contained in this report are preliminary ONLY and are subject to modification.*

### Project Scope

Renovation and addition of Youthlink's office space and an addition of five stories of 46 unit housing units with associated office and amenity space on sublevel and level 1.

### Review Findings (by Discipline)

#### Zoning - Planning

- Staff has identified the following land use applications for the project:
- Rezoning from I1 and B4C-1 to B4C-1.
- Site plan review.
- Preliminary and final plat.
- Vacation of a portion of North 12th Street between Chestnut and Linden Avenues.

---

\***Approved:** You may continue to the next phase of developing your project.

\***Resubmission Required:** You cannot move forward or obtain permits until your plans have been resubmitted and approved.

**□ Addressing**

- We will use the same address for the YouthLink addition (41 12th Street N) as the existing YouthLink building. The residential addition will be addressed as 1205 Chestnut Ave.
- Per City of Minneapolis Street Naming and Address Standard V1.22, the City of Minneapolis holds authority for assignment of all addresses, verification, change, and/or additions. Contact Development Coordinator for new address assignment. Each assigned address number uses the street that provides the best/direct access for life safety equipment and best/direct access to the occupants.
- When assigning suite sequences the following guidelines are as follows:
  - The first one to two digits of the suite sequence number will designate the floor number of the site.
  - The last two digits of the suite sequence number will designate the unique ID for the unit (condo, suite, unit, or apartment).
  - Suite sequence digit numbers will be assigned to dwelling, commercial and retail units, not common areas. For example, laundry rooms, saunas, workout rooms, etc., would not be assigned numbers.
  - Please provide each condo, suite, unit or apartment number.

**□ Parks - Forestry**

- Contact Craig Pinkalla (cpinkalla@minneapolisparcs.org), Telephone (612)-499-9233 regarding removal or protection of trees during construction in the city right of way.
- Effective January 1, 2014, the City of Minneapolis and the Minneapolis Park and Recreation Board adopted an update to the existing Parkland Dedication Ordinance. The adopted City of Minneapolis Parkland Dedication ordinance is located in Section 598.340 of the City's Land Subdivision ordinance: <http://library.municode.com/index.aspx?clientId=11490>
- As adopted, the fee in lieu of dedication for new residential units is \$1,521 per unit (affordable units excluded per ordinance) and for commercial and industrial development it is \$202.80 per development employee (as defined in ordinance). Any dedication fee (if required) must be paid at the time of building permit issuance. There is also an administration fee that is 5% of the calculated park dedication fee.
- As proposed, for your project YouthLink addition and new residential construction, the calculated dedication fee is as follows:
 

Residential (46 units are affordable) - 1 x \$1521	= \$1521.00
Administrative Fee - 5% of \$1521	= \$ 76.05
<b>Total</b>	<b>= \$1597.05</b>
- This is a preliminary calculation based on your current proposal; a final calculation will be made at the time of building permit submittal. For further information, please contact Jennifer Thoreson at 612-673-5867.

**□ Right of Way**

- An encroachment permit shall be required for all streetscape elements in the Public right-of-way such as: plants & shrubs, planters, tree grates and other landscaping elements, sidewalk furniture (including bike racks and bollards), and sidewalk elements other than standard concrete walkways such as pavers, stairs, raised landings, retaining walls, access ramps, and railings (NOTE: railings may not extend into the sidewalk pedestrian area). Please contact Bob Boblett at (612) 673-2428 for further information.
- Note to the Applicant: Any elements of an earth retention system and related operations (such as construction crane boom swings) that fall within the Public right-of-way will require an encroachment permit application.
- Please contact Paul Cao at (612) 673-2943 for position and alignment of bike racks proposed in the Public right-of-way. If the racks are privately owned, they will require an encroachment permit.
- The Applicant shall continue to work with Bob Boblett at (612) 673-2428, regarding the vacation of 12th St. N. and securing the proper permits from Mn/DOT related to proposed utility work within the Mn/DOT right-of-way.

### □ Street Design

- The plan as submitted meets the requirements of the Public Works Street Design Division.

### □ Sidewalk

- The plans indicate that a portion of the drive apron, curb and gutter and sidewalk will be removed and replaced along Chestnut Avenue. Please modify the plans to indicate that the sidewalk will be carried through the new driveway.
- Note to the Applicant: Any currently defective sidewalks or other concrete infrastructure within the public right of way, or any concrete infrastructure damaged during construction, must be removed and replaced.
- All existing and proposed trees in the Public right-of-way are subject to the review and approval of the Minneapolis Park Board. Please contact Craig Pinkalla at (612) 499-9233 to discuss tree species removal and/or selection, planting method, spacing and locations.

### □ Traffic and Parking

- The plans reference the potential for an optional curb cut off of Linden Avenue. Due to heavy vehicular volumes, speeds and proximity to the freeway ramp, detailed information must be provided regarding the need for this access point (including parking requirements, vehicle counts, truck types, delivery schedules, etc.) as well as an explanation regarding why other on-site options would not work. It should not be assumed that the curb cut to Linden Avenue will be approved without further review of the requested additional traffic information.
- Please note that the streets adjacent to the site need to remain open during construction in order for Metro Transit bus circulation. Metro Transit buses currently use Linden Avenue to 15th Street to Chestnut Avenue. In addition there is a PM layover for buses on Chestnut Avenue nearside of 12th Street. This layover area must be preserved during and after construction. Metro Transit has already minimized this layover, making it smaller in order to accommodate surrounding business complaints.
- Current ordinance states that all maneuvers associated with loading, parking or sanitation pick up for a private development shall occur on private property. Please provide a narrative explaining the trash removal operations and show turning maneuvers for all truck type vehicles that will be using the loading dock/parking entrance areas.
- Per City Ordinance the Applicant shall provide for (and identify) a solid waste collection point (SWCP) on the site plans. The location of the SWCP is subject to the review and approval of the Public Works Department.
- All street lighting (existing and proposed) shall be shown clearly on the site plan. Prior to site plan approval, the Applicant shall contact Joseph Laurin at 612-673-5987 to determine street lighting requirements. Note: If decorative street lighting exists on the proposed site it must be preserved or replaced at existing levels. Please be aware that 12th St N is identified as a Pedestrian Street Light Corridor per the Street Light Policy. The Minneapolis Street Light policy is available at the following:  
<http://www.minneapolismn.gov/publicworks/streetlighting/index.htm>
- All street lights shall be designed and constructed to City standards. Please refer to the following:  
[http://www.ci.minneapolis.mn.us/publicworks/plates/public-works\\_traffic](http://www.ci.minneapolis.mn.us/publicworks/plates/public-works_traffic).
- Note to the Applicant: The construction of this development will likely require the use of Public right-of-way (roadway and sidewalks) for construction purposes. A request for an estimate of street use and obstruction permit fees can be made to the City's Traffic Department; please contact Scott Kramer at (612) 673-2383 for further information.
- Note to the Applicant: Please add the following notes to the site plan:
  - Street lighting installed as part of the Project shall be inspected by the City. Contractors shall arrange for inspections with the Traffic Department, please contact Dave Prehall at (612) 673-5759 for further information. Any lighting installations not meeting City specifications will be required to be reinstalled at Owner expense.

- An obstruction permit is required anytime construction work is performed in the Public right-of-way. Please contact Scott Kramer at (612) 673-2383 regarding details of sidewalk and lane closures. Log on to <http://minneapolis.mn.roway.net/> for a permit.
- Contact Allan Klugman at (612) 673-2743 prior to construction for the temporary removal/temporary relocation of any City of Minneapolis lighting or traffic signal system that may be in the way of construction.
- All costs for relocation and/or repair of City Traffic facilities shall be borne by the Contractor and/or Property Owner.
- Contact Doug Maday at (612) 673-5755 prior to construction for the removal of any City of Minneapolis right of way signs that may be in the way of construction.

#### □ Water

- The plan as submitted meets the requirements of the Public Works Water Maintenance & Distribution Division.
- Note to the Applicant: The proposed irrigation system cannot be tied directly to the City watermain; irrigation supply must be plumbed from a source internal to the building.

#### □ Sewer Design

**Groundwater:** Please identify the lowest floor elevation on the grading plan and provide a copy of any geotechnical reports for the site. Please also identify on the plan if any groundwater discharge would be proposed to keep the below grade portions of the building dry after completion of construction.

**Stormwater Management:** The stormwater flows for Drainage Area 2 in the 10-year event on Sheet C600 appears to be incorrect. There is a flow identified for the 2-year event, but none for the 10-year. This does not seem accurate.

- Sheet C200 includes a couple of notes on the plans indicating "Stormwater Garden" on the east side of the site. It does not appear that any stormwater management BMPs are proposed in those location however. Please clarify. One of the locations is also located outside the property boundaries, on Mn/DOT right-of-way. If a stormwater BMP were proposed here a permit from Mn/DOT would be required.
- Please identify the existing and proposed impervious square footages within the disturbed area.

**Utility Connections:** The proposed sanitary and storm sewers appear to be located partially outside the property boundaries on the southeast side. As this appears to be Mn/DOT right-of-way, a permit will be required from Mn/DOT. Please provide a copy of the approved permit from Mn/DOT.

- The existing sanitary sewer from SMH 1 to the manhole in Chestnut Ave will be considered a portion of the private sanitary sewer service for this property and will be the responsibility of the property owner. This was previously commented on as part of the right-of-way vacation procedure.
- The Applicant shall continue to work with Bob Boblett at (612) 673-2428

**Non Stormwater Discharges:** Detail all mechanical and non-stormwater discharges. Non-stormwater discharges are not permitted unless approved by the City of Minneapolis. Non-stormwater discharges not declared and approved will not be permitted. If there currently are none and nothing is proposed declare this status on the plans.

- For comments or questions on Public Works Surface Water & Sewers Division related requirements please contact Jeremy Strehlo, (Professional Engineer) at (612) 673-3973, or [jeremy.strehlo@minneapolismn.gov](mailto:jeremy.strehlo@minneapolismn.gov)

#### □ Fire Safety

- Provide required fire suppression system throughout building.
- Fire Department connection must be located on the address side of building and within 150 feet of a fire hydrant.
- Provide required fire alarm system throughout building.
- Provide and maintain fire apparatus access at all times.

**❑ Business Licensing**

- There is not a Business Licensing review required at this time.

**❑ Environmental Health**

- City records indicate the presence of 6,000 gallon buried fuel oil tank on site, N18611. No records have been identified if the tank is still in use, been removed, abandoned-in-place or is out-of-service. Documentation on the current tank status must be submitted to environmental services. If no documentation exists a contingency plan needs to be submitted to Tom Frame (tom.frame@minneapolismn.gov) on actions that will be taken regarding the UST if the tank is found during these activities. If the tank is actively being used it must be registered with Minneapolis Environmental Services and the Minnesota Pollution Control Agency.
- If the project will be disturbing identified impacted soils on the site preapproval for removal, disposal and/or reuse of must occur from the MCPA and the City of Minneapolis prior to beginning excavation activities. If impacted soil is encountered during site activities call the MN State Duty officer at (615) 649-5451.
- If dewatering is required during site construction see below for city permit requirements. Subgrade structures should be designed to prevent infiltration of groundwater without the need for a permanent dewatering system being installed. If a continuously operating permanent dewatering system is needed it must be approved as part of the sanitary sewer and storm drain site plan approval prior to construction beginning.
- No construction, demolition or commercial power maintenance equipment shall be operated within the city between the hours of 6:00 p.m. and 7:00 a.m. on weekdays or during any hours on Saturdays, Sundays and state and federal holidays, except under permit. Contact Environmental Services at 612-673-3867 for permit information.
- Permits and approval are required from Environmental Services for the following activities: Temporary storage of impacted soils on site prior to disposal or reuse; Reuse of impacted soils on site; Dewatering and discharge of accumulated storm water or ground water, underground or aboveground tank installation or removal, well construction or sealing. Contact Tom Frame at 612-673-5807 for permit applications and approvals.

**❑ Historical Preservation Committee**

- There is not an HPC flag on this property and a preservation review is not required at this time.

**❑ Construction Code Services**

- Provide signage at non accessible entrances directing public to accessible entrances.
- A SAC determination will be required and any associated fees will be attached to the construction permit fees. Please, contact Met Council to obtain a SAC determination. <http://www.metrocouncil.org/Wastewater-Water/Funding-Finance/Rates-Charges/Sewer-Availability-Charge.aspx>

END OF REPORT

## **PPL YouthLink Housing and Youth Opportunity Center Renovation Statement of Proposed Use & Project Description**

Two long-standing local non-profit organizations, Project for Pride in Living (PPL) and YouthLink, are working together to develop housing tailored to the needs of homeless youth, ages 18-23. This new-construction development will provide high-quality housing and supportive services at a critical time in young people's lives, a time in which stable housing and relationships with caring adults will allow formerly homeless youth to develop the goals, relationships and skills needed to navigate life as a self-sufficient adult. With these supports, homeless young people at a crossroads in life will change their trajectories from homelessness and despair to pathways of hope and opportunity.

The need is great. The most recent report from Wilder Research estimates that there are over 14,000 homeless people on any given day, with the vast majority located in the Twin Cities. Young people are disproportionately represented, making up nearly half of the homeless population (while making up only a third of the general population, according to Census data). YouthLink's experience makes these statistics real: over 2,000 homeless young people turn to YouthLink every year as a safe and supportive refuge from life on the street. YouthLink's existing day drop-in center, host site for the Youth Opportunity Center (or the 'YOC'), offers youth the chance to find a meal or some clean clothes, take a shower or use the laundry facilities, or visit the medical clinic. The YOC also offers homeless young people a safe place to be during the daytime.

While the effects of homelessness are devastating, especially for young people who are at the age of transition from adolescence to adulthood (ages 18-23), young people from this demographic are quite resilient and very likely to make positive progress toward becoming healthy, contributing, system-independent adults. Stable housing is absolutely vital to this transition out of homelessness.

This project has two primary components: 46 units of new affordable housing with service space, plus the renovation of, and addition to, YouthLink's existing service center at 41 12<sup>th</sup> Street North. The proposed housing will be attached to YouthLink's existing building.

The proposed PPL YouthLink Affordable Housing development will provide 46 units of supportive housing in a new 5-story building attached to the existing Youth Opportunity Center. The majority of the 46 SRO-style units will be grouped into suites of four rooms, with shared kitchens and bathrooms to encourage community-building amongst residents and to fight against the isolation that can be a barrier to these youths' success. One apartment for a resident advisor (staff member) will also be provided, for a grand total of 47 new housing units. The ground floor will house community spaces such as a lounge and a fitness/wellness room in addition to offices for property management and service providers. Another feature of the proposed housing is the Career Pathways Center, which will provide formerly homeless young people with guidance and assistance related to their educational and career goals.

The PPL YouthLink Supportive Housing project will be situated on YouthLink's property at 41 12<sup>th</sup> St North in Minneapolis, and on vacant land directly adjacent – for which we will be requesting vacation of the former 12<sup>th</sup> Street North right-of-way. Constructing this new housing as an addition to the current YOC allows for many efficiencies, including ease of access to the additional services offered at the YOC. Just as importantly, it allows for one central "Welcome Center" for the building, a 24-hour staffed front desk that allows for long-term cost savings by sharing this function between two programs. Residents of the proposed housing will have a separate entry off of Chestnut Avenue, but Welcome Center staff will be able to monitor comings and goings in the housing entry to forestall any crises.

In tandem with this housing development, YouthLink will be constructing a new Welcome Center and replacing their administrative offices that must be demolished to make way for the housing. They will also be undertaking a general remodel of their building. The remodel is required to maximize the use of the existing space (in particular, the underutilized basement) and to better accommodate the nearly-doubling of the number of homeless young people that YouthLink has been serving in recent years.

Anticipated land use applications include:

1. The vacation of a portion of the former 12<sup>th</sup> St right-of-way as described on the attached survey;
2. Re-zoning of the site. The site currently has split zoning, and housing is not a permitted use in part of the site (the I1 district.) Other existing zoning is B4C-1 and the DP (Downtown Parking) overlay. We will need to re-zone to B4C (Downtown Commercial District) as underlying zoning;
3. Replatting the site to create one parcel of the two currently (former 12<sup>th</sup> St right-of-way and YouthLink's parcel at 41 12<sup>th</sup> St N); and
4. Site Plan Review.

**Petition to Vacate  
City Of Minneapolis Street, Alley or Utility Easement**

Petitioner: Youthlink  
Address: 41 12<sup>th</sup> St. N., Minneapolis, MN 55403  
Contact: Michael Broich, Atty., (612)-252-1200

Vacation File No.  
**1649**  
Page 1 of 2

**Description of Easement to be vacated:** Part of 12<sup>th</sup> Street North, adjacent to Block 18, Wilson, Bell and Wagner's Addition, between Linden and Chestnut Streets – the area to be vacated by the City of Minneapolis and transferred to Youthlink by MNDoT.

**Review and Comment**

Utility easements cannot be reserved unless there is an existing facility within the area to be vacated. If there is an existing utility, please enclose a map showing its location.

Name of Reviewing Agency \_\_\_\_\_

Phone: \_\_\_\_\_

e-Mail: \_\_\_\_\_

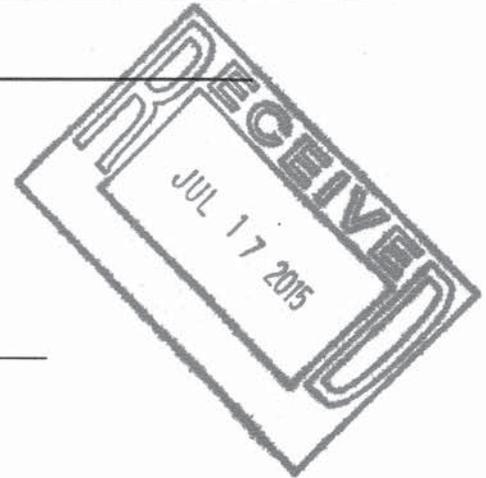
Approve petition as requested

Deny petition (provide explanation)

Reserve Easements (provide description)

By: \_\_\_\_\_

Date \_\_\_\_\_



Comments:

100' 100' 100' 100'

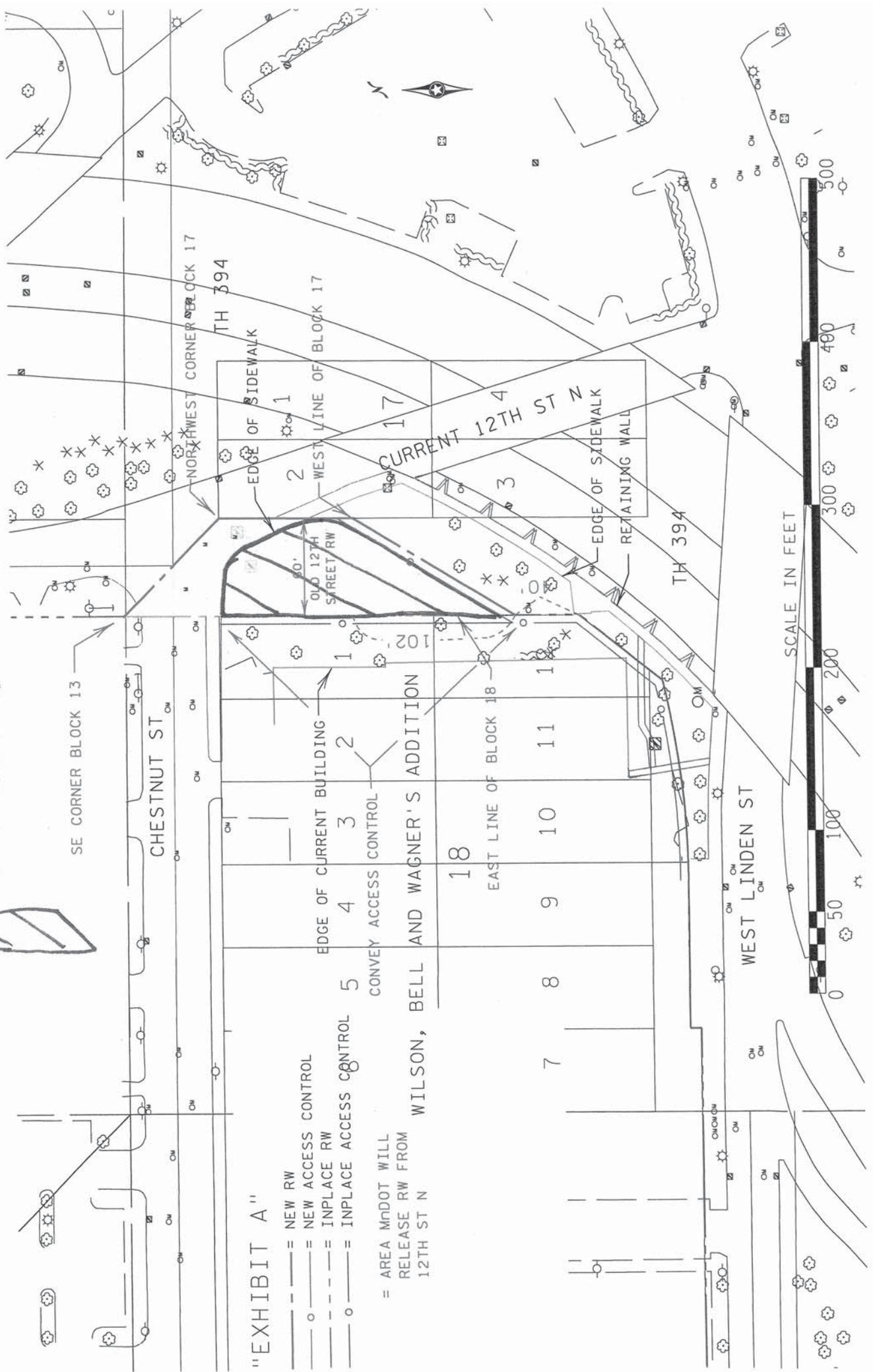
Area to be Vacated



"EXHIBIT A"

- = NEW RW
- - - = NEW ACCESS CONTROL
- = NEW ACCESS RW
- = INPLACE RW
- = INPLACE ACCESS CONTROL

= AREA MDDOT WILL RELEASE RW FROM 12TH ST N



SCALE IN FEET





Minneapolis  
City of Lakes

Department of  
Public Works

Steven A Kolke, P.E.  
City Engineer  
Director

350 South 5th Street – Room 203  
Minneapolis MN 55415

Office 612 673-3000  
Fax 612 673-3565  
TTY 612 673-2157

May 19, 2016

Hilary Dvorak  
CPED-Planning  
250 4<sup>th</sup> St. So., Room 100  
Minneapolis, MN 55415

RE: Vacating a portion of the 12<sup>th</sup> Street North street easement between  
Chestnut Avenue and Linden Avenue (Vacation 1649)

Dear Ms. Dvorak:

Public Works staff has reviewed this vacation petition and recommends Approval of  
said petition.

That part of 12th Street North to be vacated is described as follows:

*Commencing at the northeast corner of Lot 1, Block 18, Wilson, Bell and Wagner's Addition to Minneapolis, according to the recorded plat thereof, Hennepin County, Minnesota; thence South 02 degrees 18 minutes 20 seconds West, assumed bearing, along the east line of said Lot 1 a distance of 0.65 feet to the point of beginning of the land to be described; thence South 85 degrees 42 minutes 22 seconds East 22.50 feet; thence Southeasterly 25.26 feet along a tangential curve concave to the southwest having a radius of 22.15 feet and a central angle of 65 degrees 20 minutes 09 seconds; thence South 20 degrees 22 minutes 14 seconds East, tangent to last described curve, 11.01 feet; thence South 14 degrees 33 minutes 58 seconds East 46.85 feet to the east right of way line of said 12th Street North; thence South 02 degrees 18 minutes 20 seconds West along said right of way line 15.25 feet; thence South 33 degrees 05 minutes 12 seconds West 117.24 feet to the east line of Lot 12 of said Block 18; thence North 02 degrees 18 minutes 20 seconds East along the east lines of said Lots 1 and 12 a distance of 185.34 feet to the point of beginning and there terminate.*

Sincerely,

Don Elwood, Director  
Transportation Engineering & Design

Cc: Dennis Morris, Right of Way Supervisor





700 West Linden Avenue  
PO Box 1165  
Minneapolis, MN 55440-1165

August 25, 2015

City of Minneapolis  
250 South 4<sup>th</sup> Street Room 300  
Minneapolis, MN 55415  
Hilary Dvorak  
Principal Planner

RE: Vacation file No. 1649

Dear Mrs. Dvorak:

With reference to your requests, CenterPoint Energy has no natural gas mains or services in conflict within the requesting area and CenterPoint Energy has no objection to this proposal.

If you have any questions, please contact me at 612-321-5381.

Respectfully,  
CENTERPOINT ENERGY

A handwritten signature in cursive script that reads "Chuck Mayers".

Chuck Mayers  
Right-of-Way Specialist  
Engineering Services  
charles.mayers@centerpointenergy.com  
612-321-5381

**Petition to Vacate  
City Of Minneapolis Street, Alley or Utility Easement**

Petitioner: Youthlink  
Address: 41 12<sup>th</sup> St. N., Minneapolis, MN 55403  
Contact: Michael Broich, Atty., (612)-252-1200

Vacation File No.  
**1649**  
Page 1 of 2

**Description of Easement to be vacated:** Part of 12<sup>th</sup> Street North, adjacent to Block 18, Wilson, Bell and Wagner's Addition, between Linden and Chestnut Streets – the area to be vacated by the City of Minneapolis and transferred to Youthlink by MNDOT.

**Review and Comment**

Utility easements cannot be reserved unless there is an existing facility within the area to be vacated. If there is an existing utility, please enclose a map showing its location.

Name of Reviewing Agency XCEL ENERGY - SEAN LAWLER

Phone: 612-330-1956

e-Mail: sean.w.lawler@xcelenergy.com

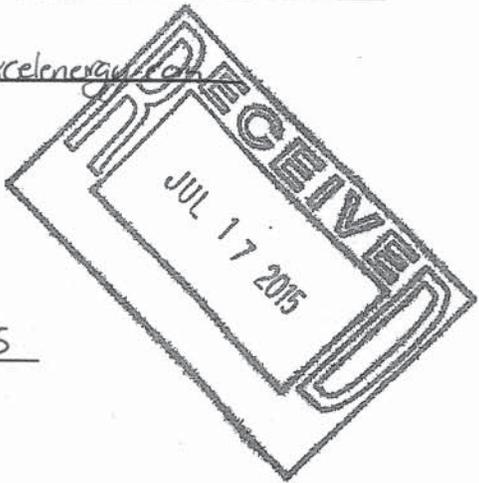
Approve petition as requested

Deny petition (provide explanation)

Reserve Easements (provide description)

By: [Signature]

Date 8/25/15



Comments:  
XCEL MAINTAINS NO FACILITIES IN THIS AREA.

**Petition to Vacate**  
**City Of Minneapolis Street, Alley or Utility Easement**

Petitioner: Youthlink  
Address: 41 12<sup>th</sup> St. N., Minneapolis, MN 55403  
Contact: Michael Broich, Atty., (612)-252-1200

Vacation File No.  
**1649**  
Page 1 of 2

**Description of Easement to be vacated:** Part of 12<sup>th</sup> Street North, adjacent to Block 18, Wilson, Bell and Wagner's Addition, between Linden and Chestnut Streets – the area to be vacated by the City of Minneapolis and transferred to Youthlink by MNDoT.

**Review and Comment**

Utility easements cannot be reserved unless there is an existing facility within the area to be vacated. If there is an existing utility, please enclose a map showing its location.

Name of Reviewing Agency Fire

Phone: 612-919-7805 e-Mail: \_\_\_\_\_

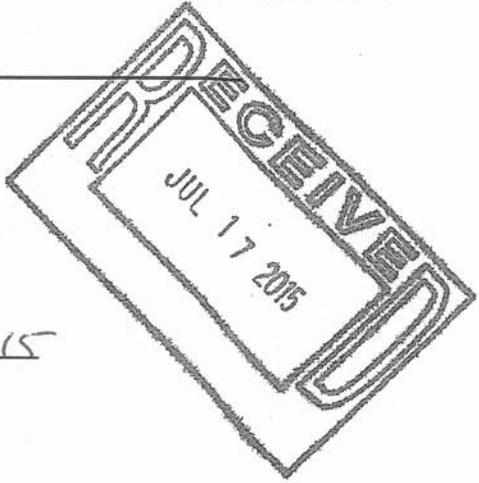
Approve petition as requested

Deny petition (provide explanation)

Reserve Easements (provide description)

By: Michael Dickinson  
Michael Dickinson

Date 8-27-15



Comments: The area to be vacated is already covered with grass and has several trees growing within its boundaries.



OSP National Support /  
Investigations  
2400 North Glenville  
Richardson, TX 75082

---

**MCI Communications Services, Inc.**

08/28/2015

**CITY OF MINNEAPOLIS  
PLANNING AND DEVELOPMENT  
HILARY DVORAK  
250 S. 4TH STREET, ROOM 300  
MINNEAPOLIS, MN 55415**

**RE: VACATION FILE NO. 1649 – EASEMENT VACATION REQUEST  
12TH STREET BETWEEN LINDEN AVE. AND CHESTNUT AVE. –  
MINNEAPOLIS, HENNEPIN COUNTY, MN.**

**Verizon Business ID: 7443-2015**

**Dear Sir or Madam:**

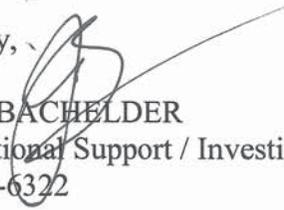
MCI has been notified by your office regarding the above referenced project.

For your records, in reviewing the area in question, it has been determined that MCI does not have facilities within your project area.

You should address correspondence concerning any future projects to the attention of **OSP National Support/Investigations** at the above address.

If you need further assistance with this project, please do not hesitate to call me.

Sincerely,

  
JOHN BACHELDER  
OSP National Support / Investigations  
972-729-6322

***PPL YouthLink Supportive Housing – Required Findings***

- (1) The subdivision is in conformance with these land subdivision regulations, the applicable regulations of the zoning ordinance, and policies of the comprehensive plan.*

The request herein is a plat to combine two currently-separate parcels into one. One parcel, 41 12<sup>th</sup> Street North, is currently owned and occupied by YouthLink, a provider of social services to homeless youth. The second parcel is a portion of former 12<sup>th</sup> Street North right-of-way that became vacant land during the construction of Interstate 394. At that time, 12<sup>th</sup> Street shifted slightly east, leaving this parcel vacant. YouthLink has obtained a QuitClaim Deed from the Minnesota Department of Transportation and is requesting vacation of this former right-of-way from the City, concurrently with this plat. The plat would expand the area of the YouthLink-owned parcel slightly and would be in accordance with lot minimums for the B4C-1 district.

- (2) The subdivision will not be injurious to the use and enjoyment of other property in the immediate vicinity, nor be detrimental to present and potential surrounding land uses, nor add substantially to congestion in the public streets.*

As stated above, the plat will combine two currently-separate parcels into one. The newly platted parcel will be surrounded by public right-of-way on three sides. The proposed plat will not create a parcel that would restrict adjacent property owners from accessing their property, nor will it negatively impact surrounding uses in any way.

The plat is being proposed in conjunction with a new affordable housing development for homeless youth. This project would add 46 small affordable housing units (with a 47<sup>th</sup> unit for a resident staff member) to the site. The vast majority of the formerly homeless youth will not own cars, so the addition of this housing to the area will create more pedestrians and transit-riders than additional vehicles on the public streets. The project will not contribute to congestion but will create a new sense of vitality in this neighborhood currently dominated by one-story warehouse buildings.

- (3) All land intended for building sites can be used safely without endangering the residents or users of the subdivision or the surrounding area because of flooding, erosion, high water table, soil conditions, improper drainage, steep slopes, rock formations, utility easements, or other hazard.*

The land intended to be used as the site to construct the proposed PPL YouthLink Supportive Housing is level and free from all of the hazards listed above. A utility easement will be created across a portion of the site to accommodate a City-owned water main that currently runs through the former 12<sup>th</sup> Street right-of-way property, but the project will maintain the required clearances from this main and therefore avoid any hazards that this water main could potentially present.

- (4) The lot arrangement is such that there will be no foreseeable difficulties, for reasons of topography or other conditions, in securing building permits and in providing driveway access on*

*such lots from an approved street. Each lot created through subdivision is suitable in its natural state for the proposed use with minimal alteration.*

The proposed plat would add about 7200 square feet to the eastern side of YouthLink's property and would create no foreseeable difficulties in securing building permits and providing driveway access to the one lot proposed. All vehicular access would take place west of YouthLink's existing building, as it does now. Conversations with Public Works have resulted in permission to install an "Exit Only" curb cut access to Linden Avenue to create better vehicular flow within the site.

- (5) *The subdivision makes adequate provision for stormwater runoff, and temporary and permanent erosion control in accordance with the rules, regulations, and standards of the City engineer and the requirements of these land subdivision regulations. To the extent practicable, the amount of stormwater runoff from the site after development will not exceed the amount occurring prior to development.*

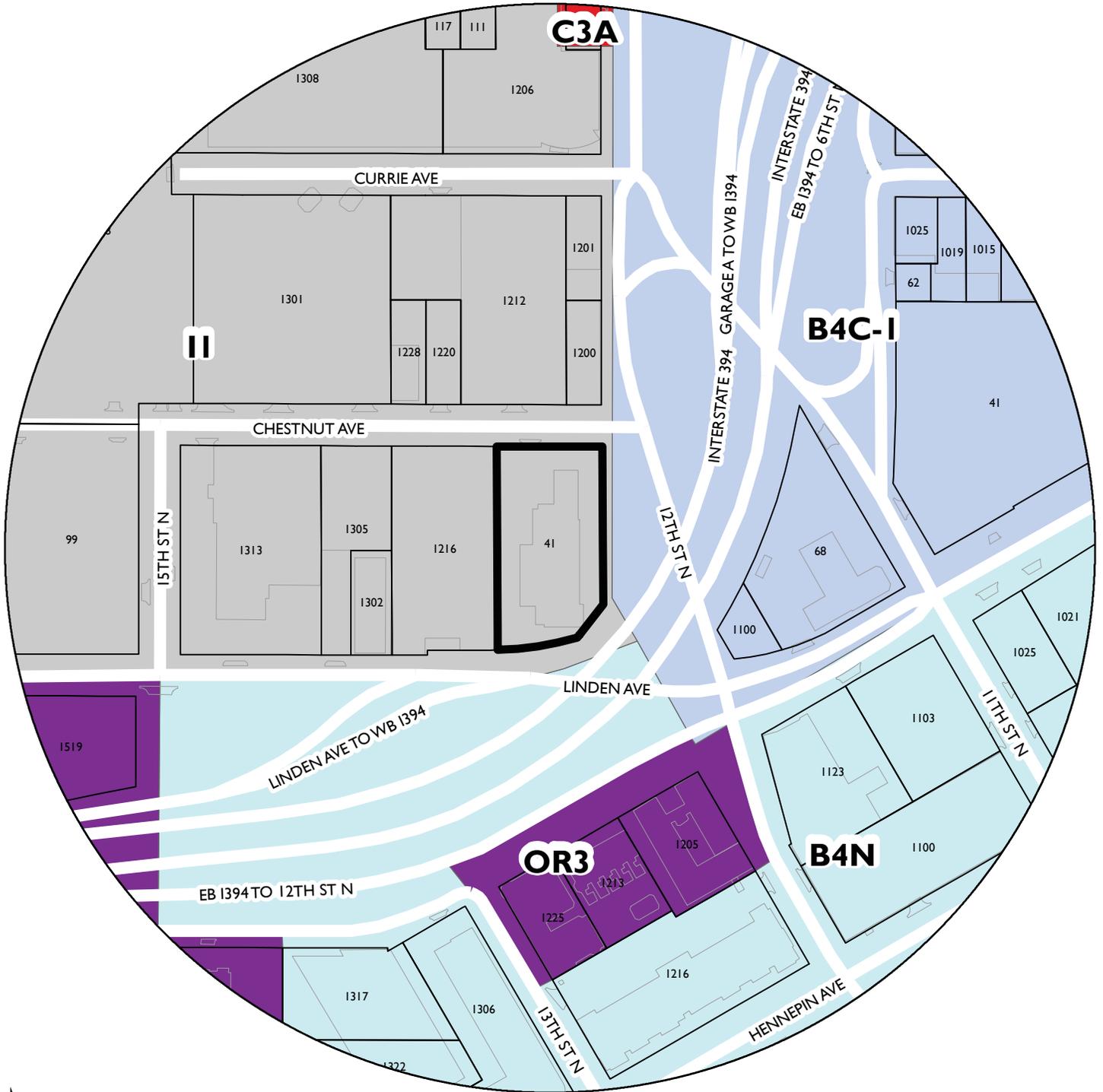
The affordable housing project proposed as part of this plat application will add 73,422 gross square feet of building area to the site, while adding only 10,890 square feet of impervious surface. The project has been designed to maximize stormwater infiltration to the extent possible on this tight site, and will utilize roof ponding, porous paving, underground stormwater tanks, and infiltration beds as part of the stormwater management plan.

# Project for Pride in Living/YouthLink

5th

NAME OF APPLICANT

WARD



PROPERTY ADDRESS

**41 North 12th Street**

FILE NUMBER

**BZZ-7709**



**GENERAL NOTES**

1. DO NOT BUILD DRAWINGS
2. SHOWN FOR INFORMATION ONLY. THE JOB OWNER SHALL OBTAIN THE CITY OF MINNEAPOLIS PERMITS FOR THE PROJECT AND SHALL OBTAIN THE NECESSARY PERMITS FOR THE PROJECT. THE CITY OF MINNEAPOLIS SHALL BE RESPONSIBLE FOR THE PROJECT'S COMPLIANCE WITH ALL CITY ORDINANCES.

**VICINITY MAP**

NOT TO SCALE

UrbnWorks  
ARCHITECTURAL  
CONSULTANTS

811 NORTH THIRD STREET, SUITE 416  
MINNEAPOLIS, MN 55411

PHONE: 612-338-9000  
WWW.URBNWORKS.COM



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**PARKING STALLS**

**STALL TYPE**

STALL TYPE	RECOMMENDATION	DATE OF EXISTING DATA
Handicap	24	0
Standard	15	0
Other	0	0
<b>Grand Total</b>	<b>39</b>	<b>0</b>

**BUILDING AREA**

**COMMON CORE GROSS BUILDING**

LEVEL	AREA (SQ FT)
LEVEL 1	17298 SF
LEVEL 2	6498 SF
LEVEL 3	6498 SF
LEVEL 4	6498 SF
LEVEL 5	6498 SF
<b>Grand Total</b>	<b>39390 SF</b>

**UNIT COUNT**

UNIT TYPE	LEVEL 1	LEVEL 2	LEVEL 3	LEVEL 4	LEVEL 5
CLUB UNIT	0	0	0	0	0
STUDENT	0	0	0	0	0
OVERSTAY	17	0	0	0	0

**HOUSING GROSS BUILDING**

HOUSING LEVEL	AREA (SQ FT)
HOUSING LEVEL 1	6498 SF
HOUSING LEVEL 2	6498 SF
HOUSING LEVEL 3	6498 SF
HOUSING LEVEL 4	6498 SF
HOUSING LEVEL 5	6498 SF
<b>Grand Total</b>	<b>32490 SF</b>

**CONTACTS**

**ARCHITECT**

URBNWORKS ARCHITECTURAL CONSULTANTS  
CONTACT: MARY WARD  
ADDRESS: 811 NORTH THIRD STREET, SUITE 416  
MINNEAPOLIS, MN 55411  
PHONE: 612-338-9000  
E-MAIL: mary.ward@urbnworks.com

**MECHANICAL ENGINEERS**

STERN ENGINEERS  
CONTACT: SUZANNE HAYES  
ADDRESS: 1000 BROADVIEW AVENUE  
MINNEAPOLIS, MN 55415  
PHONE: 612-338-9000  
E-MAIL: suzanne.hayes@sterneng.com

**STRUCTURAL ENGINEERS**

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DATE: 4/11/2016  
DRAWN BY: J. SMITH  
CHECKED BY: M. HAYES  
REVISIONS:  
# DATE DESCRIPTION

**TITLE SHEET**

ROOM TAG  
ELECTRICAL  
MECHANICAL  
STRUCTURAL  
FOUNDATION TAG

**SYMBOLS**

**LEGEND**

ROOM TAG  
ELECTRICAL  
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**DETAILS**

SECTION MARKER  
ELEVATION MARKER  
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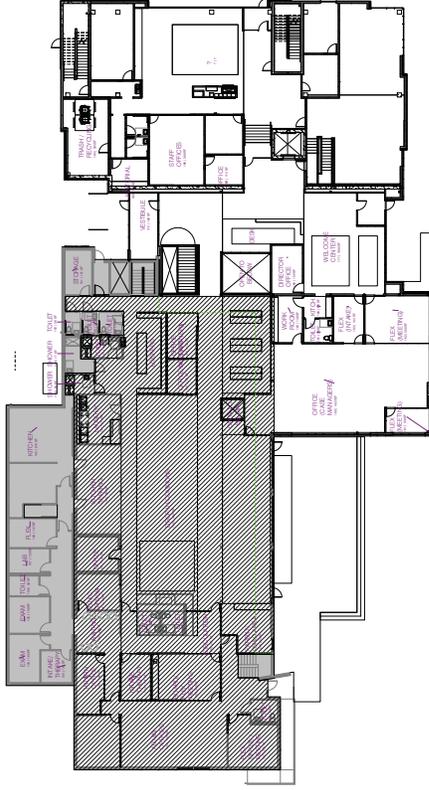
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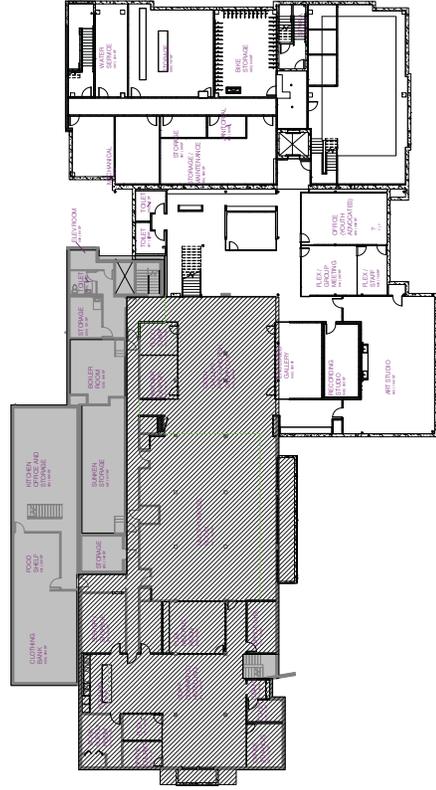
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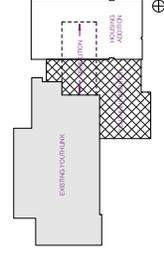




**2 LEVEL 1 SCOPE**  
1/8" = 1'-0"



**1 SUBLEVEL 1 SCOPE**  
1/8" = 1'-0"



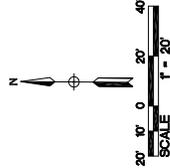
AREA OF EXISTING  
AREA OF RENOVATION AND RENOVATION  
AREA OF DEMOLITION AND ADDITION











**PROPOSED PLAN SYMBOLS**

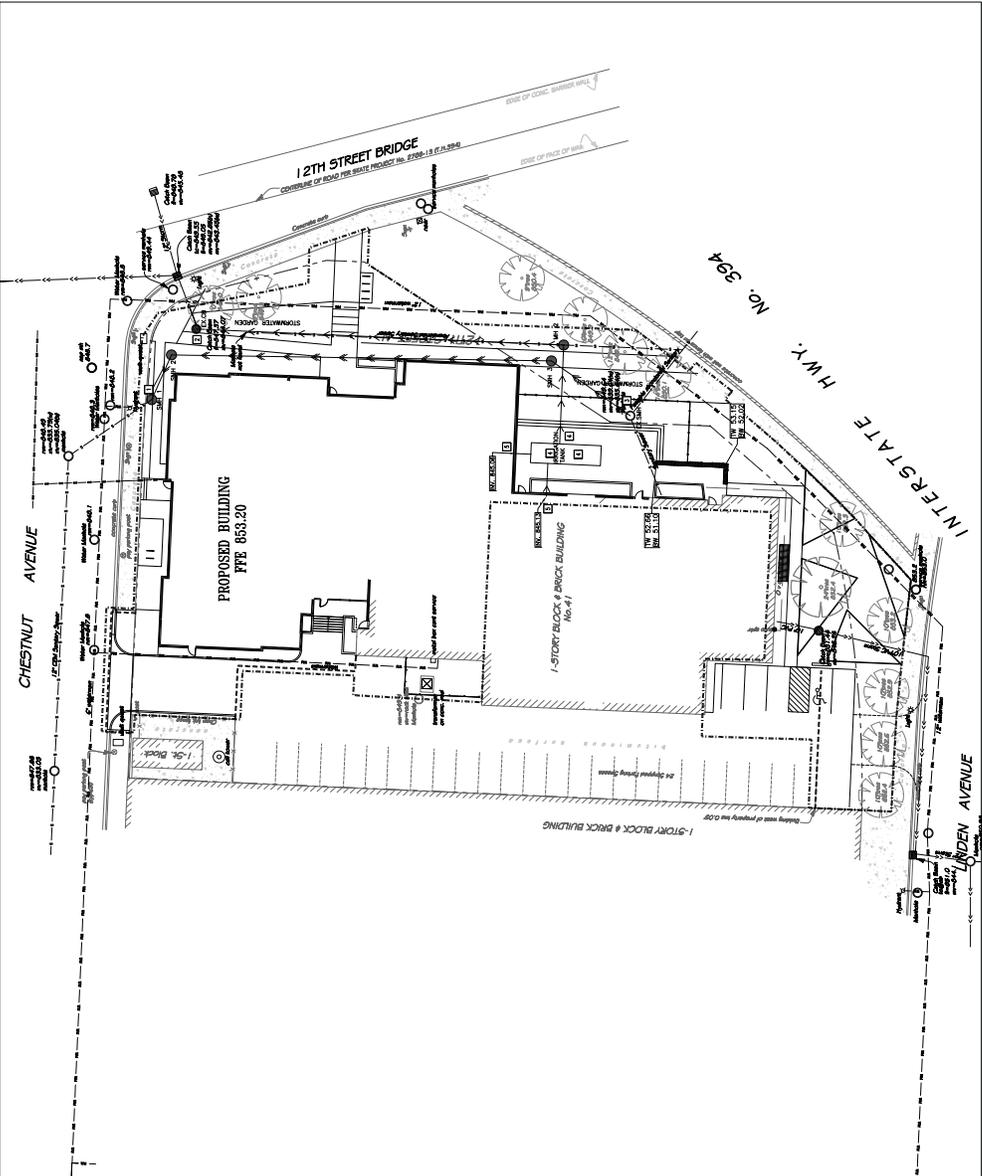
CONSTRUCTION LIMITS	CONCRETE	CONCRETE	CONCRETE
PROPERTY LINE	CONCRETE	CONCRETE	CONCRETE
STORM SEWER	CONCRETE	CONCRETE	CONCRETE
MANHOLE	CONCRETE	CONCRETE	CONCRETE
PIPE INCLINATION	CONCRETE	CONCRETE	CONCRETE
SEWER SHARP ELEVATION	CONCRETE	CONCRETE	CONCRETE

**KEYED NOTES**

1. ALL WORK SHALL BE DONE BY A LICENSED CONTRACTOR.
2. ALL UTILITIES MUST BE LOCATED BY A MANHOLE LOCATED CONTRACTOR.
3. ALL UTILITIES MUST BE PROTECTED BY A MANHOLE LOCATED CONTRACTOR.
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- UTILITY NOTES:**
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  12. ALL UTILITIES MUST BE PROTECTED BY A MANHOLE LOCATED CONTRACTOR.



**STORM SEWER TABLE**

STRUCTURE IDENTIFICATION	MANHOLE NUMBER	INVERT ELEVATION	PIPE LENGTH	DIAMETER	SLOPE	NOTES
ST-1	8-1733	849.45	20.0	12"	0.005	12" P.C. PIPE @ 1.00% SLOPE
ST-2	8-1733	849.40	151.0	12"	0.005	12" P.C. PIPE @ 1.00% SLOPE
ST-3	8-1733	850.55	38.0	12"	0.005	12" P.C. PIPE @ 1.00% SLOPE
ST-4	8-1733	851.22	0.0	12"	0.005	12" P.C. PIPE @ 1.00% SLOPE

**SANITARY SEWER TABLE**

STRUCTURE IDENTIFICATION	MANHOLE NUMBER	INVERT ELEVATION	PIPE LENGTH	DIAMETER	SLOPE	NOTES
SM-1	8-1733	849.45	20.0	12"	0.005	12" P.C. PIPE @ 1.00% SLOPE
SM-2	8-1733	849.40	151.0	12"	0.005	12" P.C. PIPE @ 1.00% SLOPE
SM-3	8-1733	850.55	38.0	12"	0.005	12" P.C. PIPE @ 1.00% SLOPE
SM-4	8-1733	851.22	0.0	12"	0.005	12" P.C. PIPE @ 1.00% SLOPE

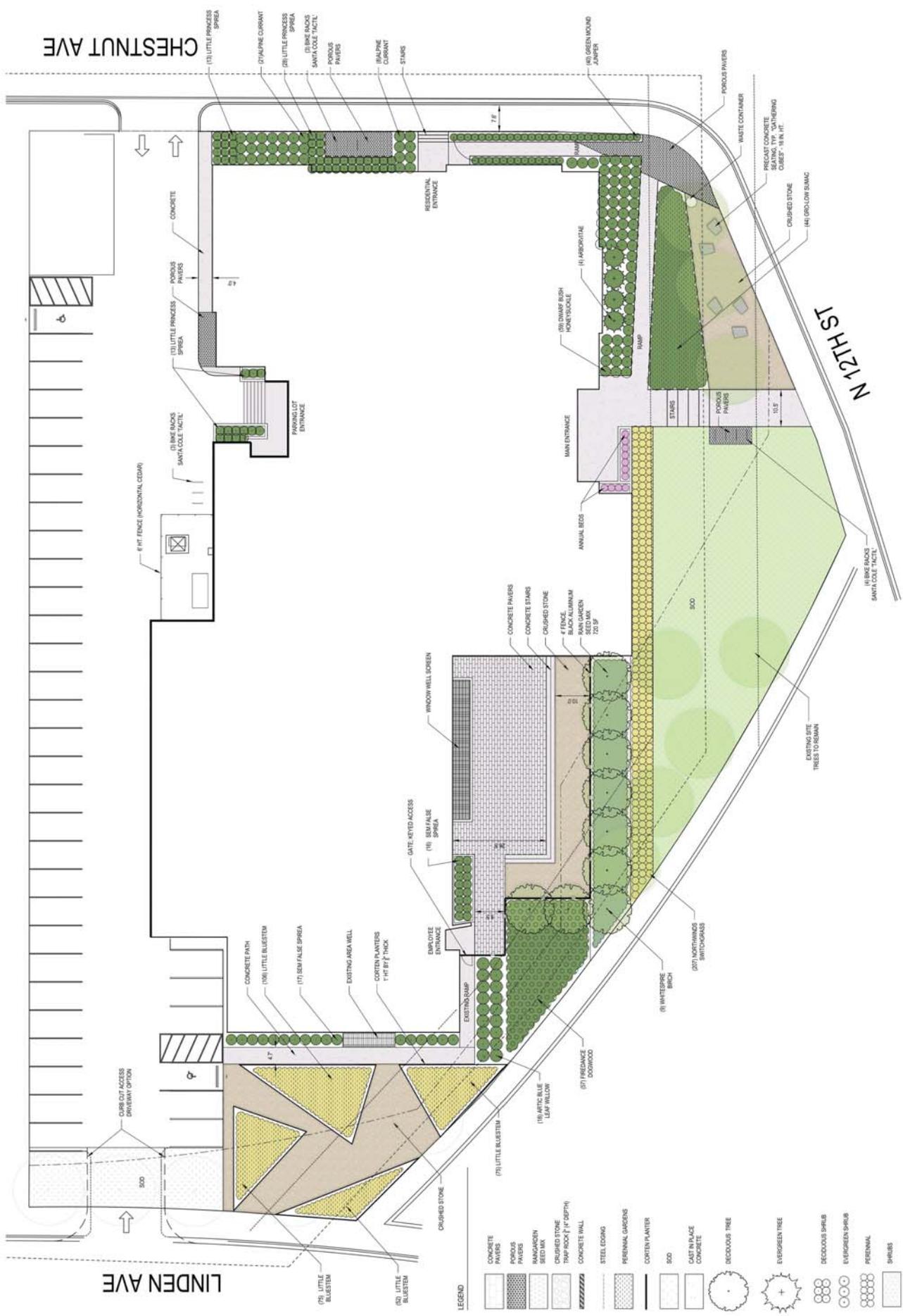
UTILITY PLAN









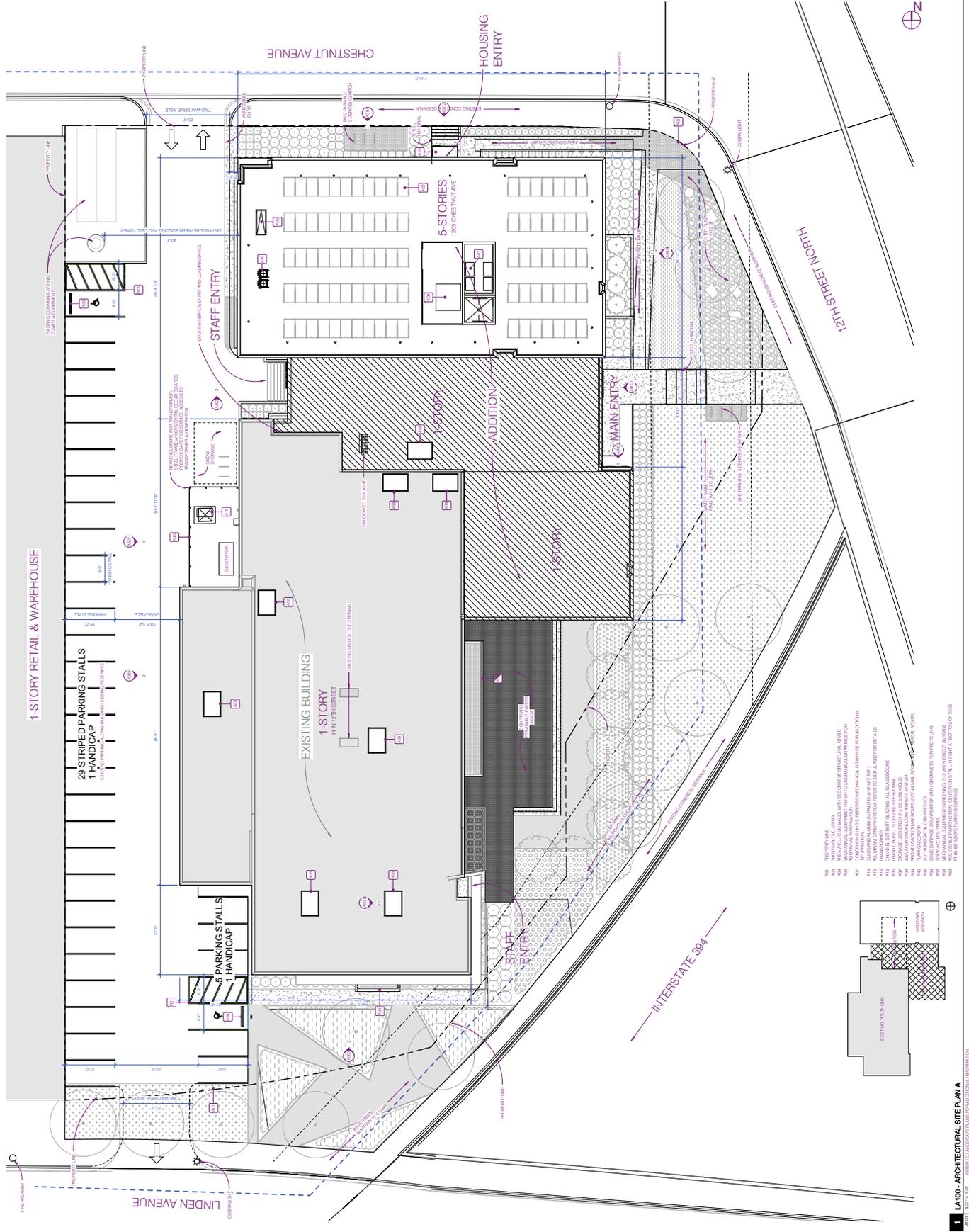


**LEGEND**

[Symbol]	CONCRETE PAVERS
[Symbol]	POROUS PAVERS
[Symbol]	MANGROVE SEED MIX
[Symbol]	CRUSHED STONE TOP ROCK (1" DEPTH)
[Symbol]	CONCRETE WALL
[Symbol]	STEEL EDGING
[Symbol]	PERENNIAL GARDENS
[Symbol]	CORTEN PLANTER
[Symbol]	SOO
[Symbol]	CAST IN PLACE CONCRETE
[Symbol]	DECIDUOUS TREE
[Symbol]	EVERGREEN TREE
[Symbol]	DECIDUOUS SHRUB
[Symbol]	EVERGREEN SHRUB
[Symbol]	PERENNIAL
[Symbol]	SHRUBS

COMPOSITE LANDSCAPE PLAN

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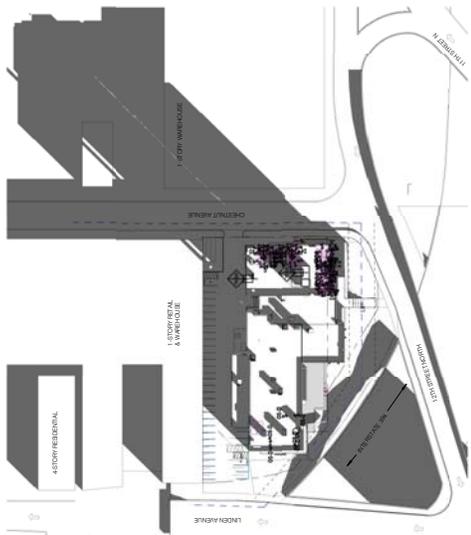


- AA1 PROPERTY LINE
- AA2 PHOTOGRAPHY AREA
- AA3 EXISTING BUILDING
- AA4 EXISTING 5-STORY ADDITION
- AA5 EXISTING 1-STORY BUILDING
- AA6 EXISTING 1-STORY BUILDING
- AA7 EXISTING 1-STORY BUILDING
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- AA99 EXISTING 1-STORY BUILDING
- AA100 EXISTING 1-STORY BUILDING

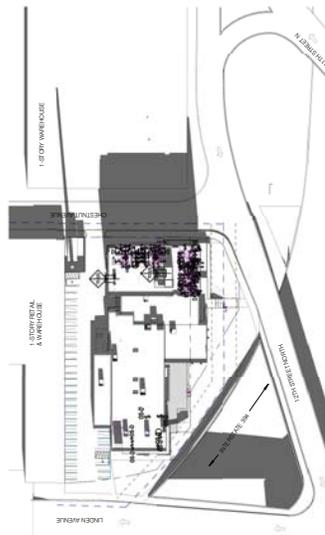
1. LA100 - ARCHITECTURAL SITE PLAN A

REVISIONS AND DATE OF ADDITIONAL INFORMATION

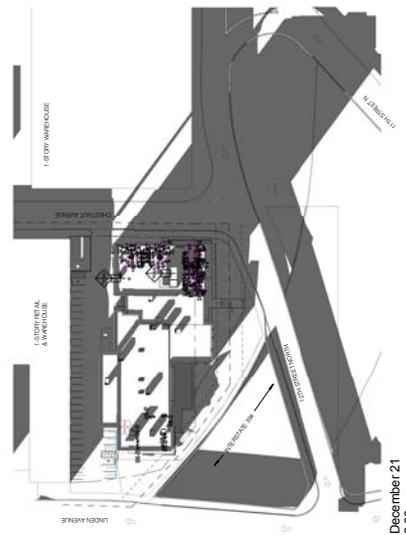




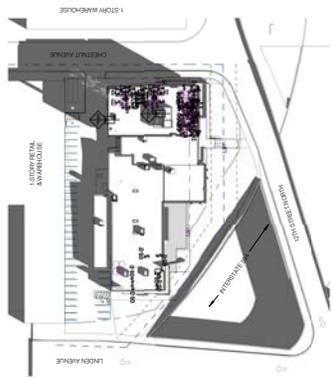
December 21  
9:00 am



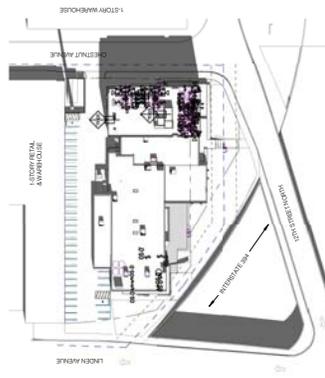
December 21  
12:00 pm



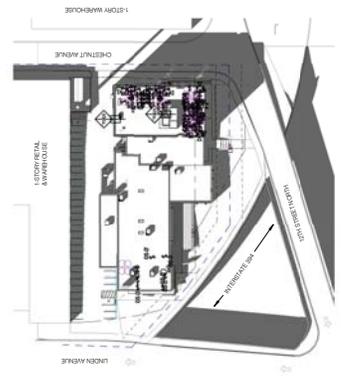
December 21  
3:00 pm



March / September 21  
9:00 am



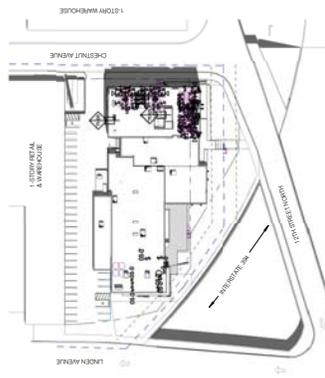
March / September 21  
12:00 pm



March / September 21  
3:00 pm



June 21  
9:00 am



June 21  
12:00 pm



June 21  
3:00 pm







801 NORTH THIRD STREET, SUITE 40  
MINNEAPOLIS, MN 55415  
312.436.8393  
CONTRACT NO.

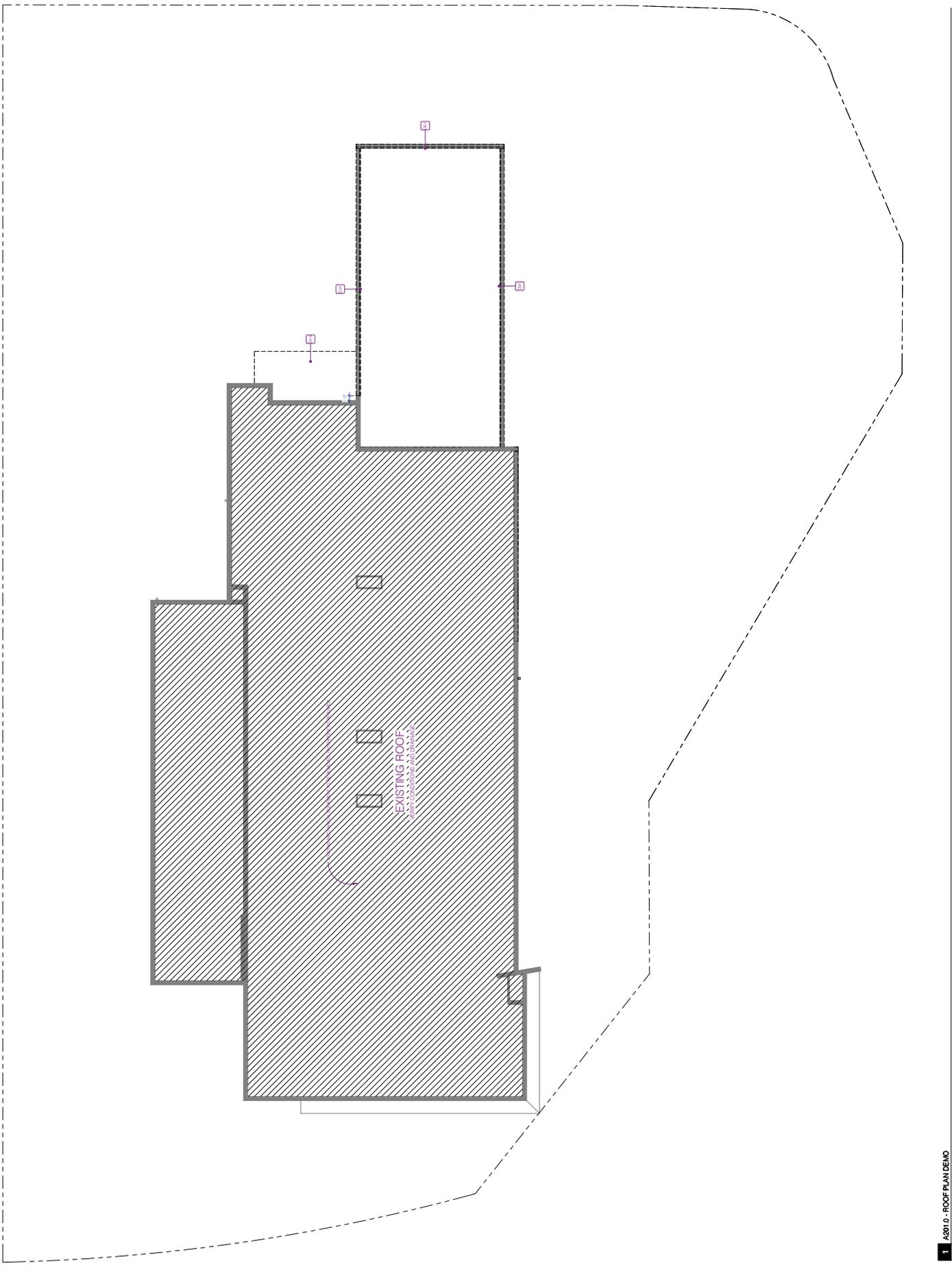
PRELIMINARY  
NOT FOR  
CONSTRUCTION

REVISIONS  
# DATE DESCRIPTION

DATE: 11/11/2014  
PROJECT # 14110101  
PHASE: 111101  
DRAWN BY: C/STW  
CHECKED BY: C/STW

ROOF PLAN -  
DEMO

D201

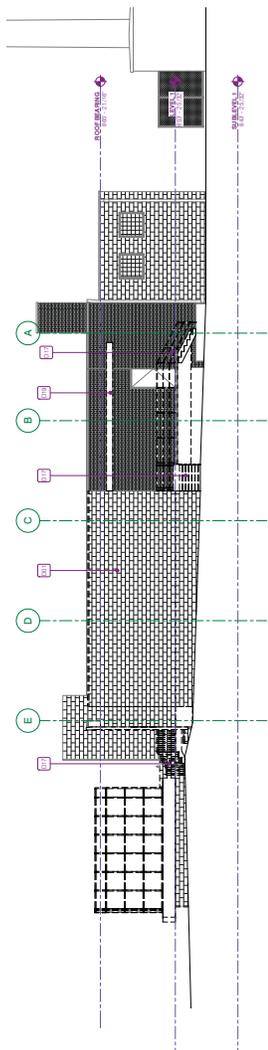


**GENERAL DEMO NOTES:**

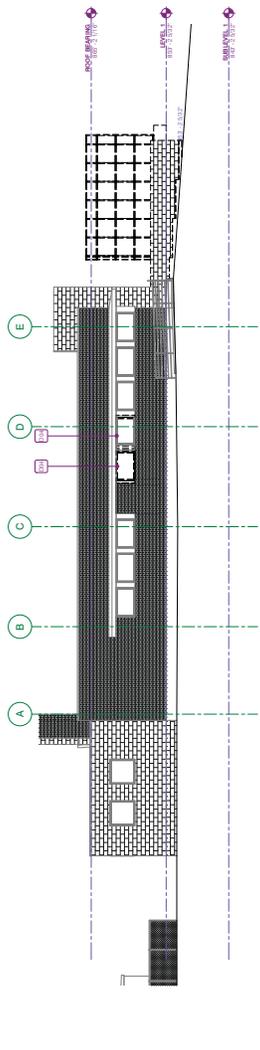
1. REFER TO DEMOLITION PLANS FOR IDENTIFICATION OF DEMOLITION.
2. REFER TO DEMOLITION PLANS FOR IDENTIFICATION OF DEMOLITION.

**DEMOLITION KEYNOTES:**

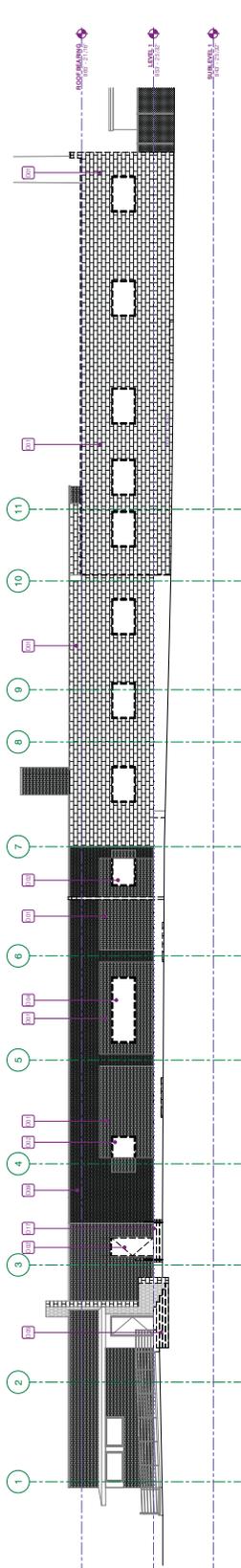
- DD1 REMOVE EXISTING WALL TO EXPOSE SKEWAL. PROTECT ADJACENT WALLS TO REMAIN.
- DD2 REMOVE EXISTING WALL TO EXPOSE SKEWAL. PROTECT ADJACENT WALLS TO REMAIN.
- DD3 REMOVE EXISTING WALL TO EXPOSE SKEWAL. PROTECT ADJACENT WALLS TO REMAIN.
- DD4 REMOVE EXISTING WALL TO EXPOSE SKEWAL. PROTECT ADJACENT WALLS TO REMAIN.
- DD5 REMOVE EXISTING WALL TO EXPOSE SKEWAL. PROTECT ADJACENT WALLS TO REMAIN.
- DD6 REMOVE EXISTING WALL TO EXPOSE SKEWAL. PROTECT ADJACENT WALLS TO REMAIN.
- DD7 REMOVE EXISTING WALL TO EXPOSE SKEWAL. PROTECT ADJACENT WALLS TO REMAIN.
- DD8 REMOVE EXISTING WALL TO EXPOSE SKEWAL. PROTECT ADJACENT WALLS TO REMAIN.
- DD9 REMOVE EXISTING WALL TO EXPOSE SKEWAL. PROTECT ADJACENT WALLS TO REMAIN.
- DD10 REMOVE EXISTING WALL TO EXPOSE SKEWAL. PROTECT ADJACENT WALLS TO REMAIN.



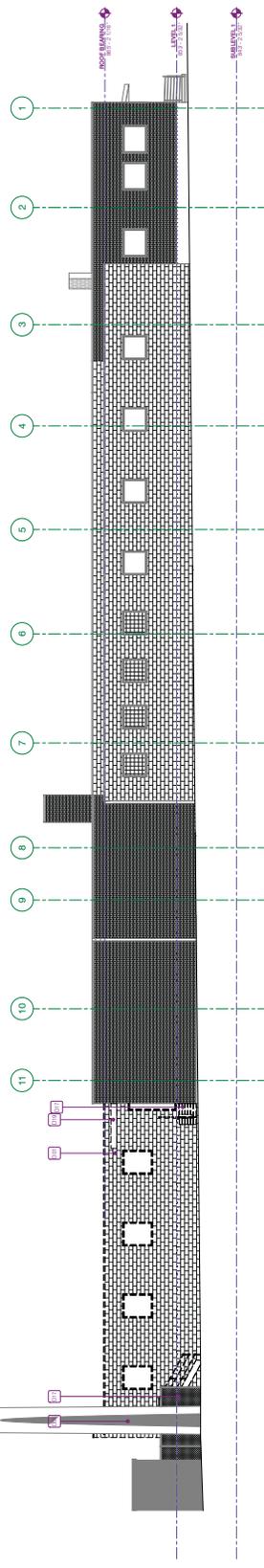
**2 East DEMO**  
1/8" = 1'-0"



**4 West DEMO**  
1/8" = 1'-0"



**3 South DEMO**  
1/8" = 1'-0"



**1 North DEMO**  
1/8" = 1'-0"



PRELIMINARY  
NOT FOR  
CONSTRUCTION

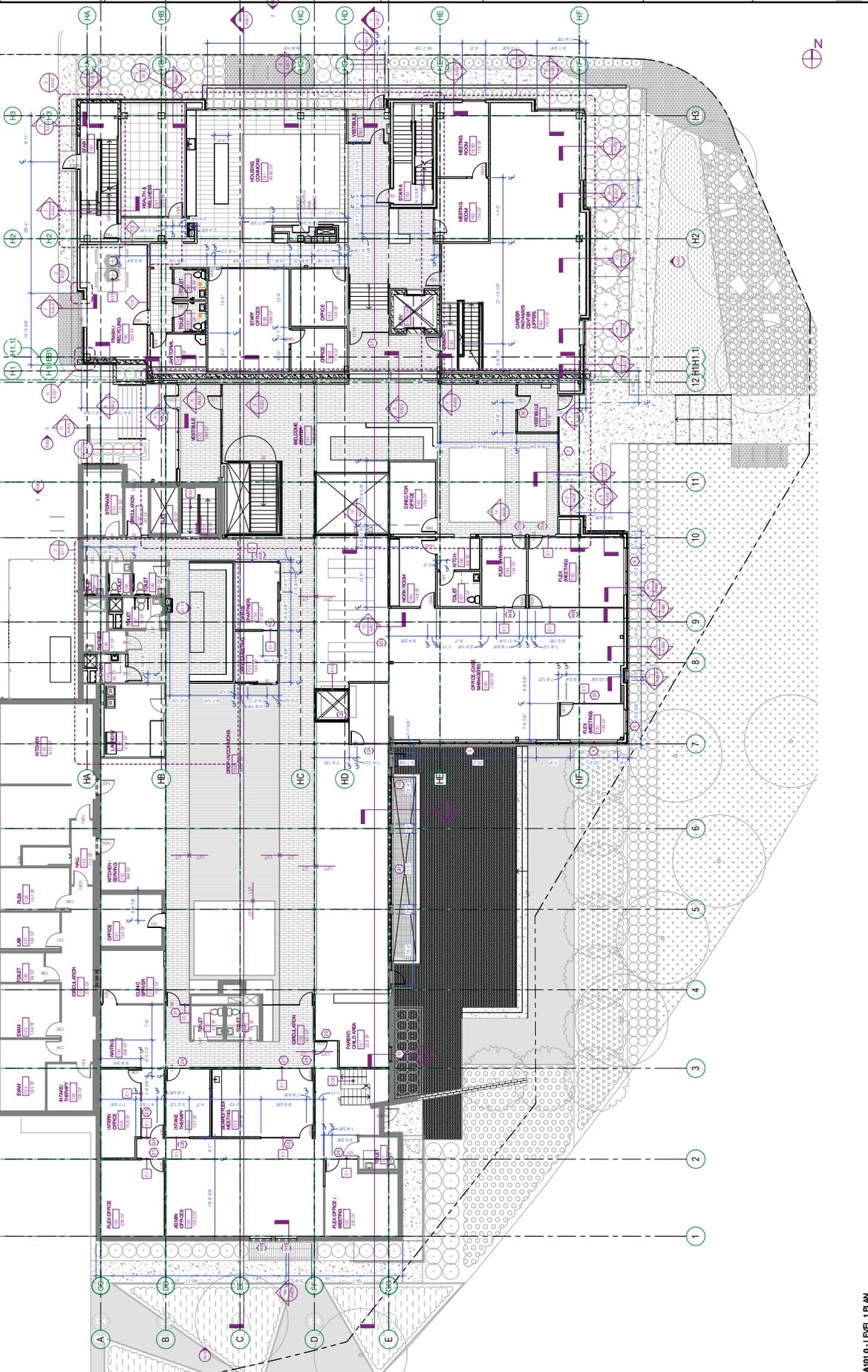
DATE	##/##/##
PHASE	1:00
DESIGNED BY	CH/MB
CHECKED BY	CH/MB
DATE	##/##/##
PHASE	1:00
DESIGNED BY	CH/MB
CHECKED BY	CH/MB

GENERAL NOTES:

KEYNOTES:

1. UNLESS NOTED OTHERWISE, ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 MINNESOTA BUILDING CODE.
2. DIMENSIONS AT INTERIOR WALLS ARE TO INTERIOR FINISH OF WALL.
3. DIMENSIONS AT EXTERIOR WALLS ARE TO EXTERIOR FINISH OF WALL.
4. DIMENSIONS AT EXISTING WALLS ARE TO FACE OF WALL.
5. DIMENSIONS AT EXISTING WALLS ARE TO FACE OF WALL.
6. ALL WALLS IN THE EXISTING BUILDING ARE TO REMAIN UNLESS NOTED OTHERWISE.
7. ALL WALLS IN THE EXISTING BUILDING ARE TO REMAIN UNLESS NOTED OTHERWISE.
8. ALL INTERIOR CORNER WALLS SHALL BE TO FACE UNLESS NOTED OTHERWISE.
9. ALL INTERIOR CORNER WALLS SHALL BE TO FACE UNLESS NOTED OTHERWISE.
10. ALL INTERIOR CORNER WALLS SHALL BE TO FACE UNLESS NOTED OTHERWISE.
11. DIMENSIONS TO FACE OF WALL.

- A01. PROPERTY LINE
- A02. PROPERTY LINE
- A03. PROPERTY LINE
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- A99. PROPERTY LINE
- A100. PROPERTY LINE





901 NORTH THIRD STREET, SUITE 140  
MINNEAPOLIS, MN 55415  
312.454.8000

CONTRACT NO.

**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

REVISIONS  
# DATE DESCRIPTION

DATE: 04/11/2019  
PROJECT: YOUTH LINK  
PHASE: 1100  
DRAWN BY: JACOB  
CHECKED BY: CHRIS  
DATE: 04/11/2019

LEVELS 2 & 3  
PLAN - OVERALL

A102.0

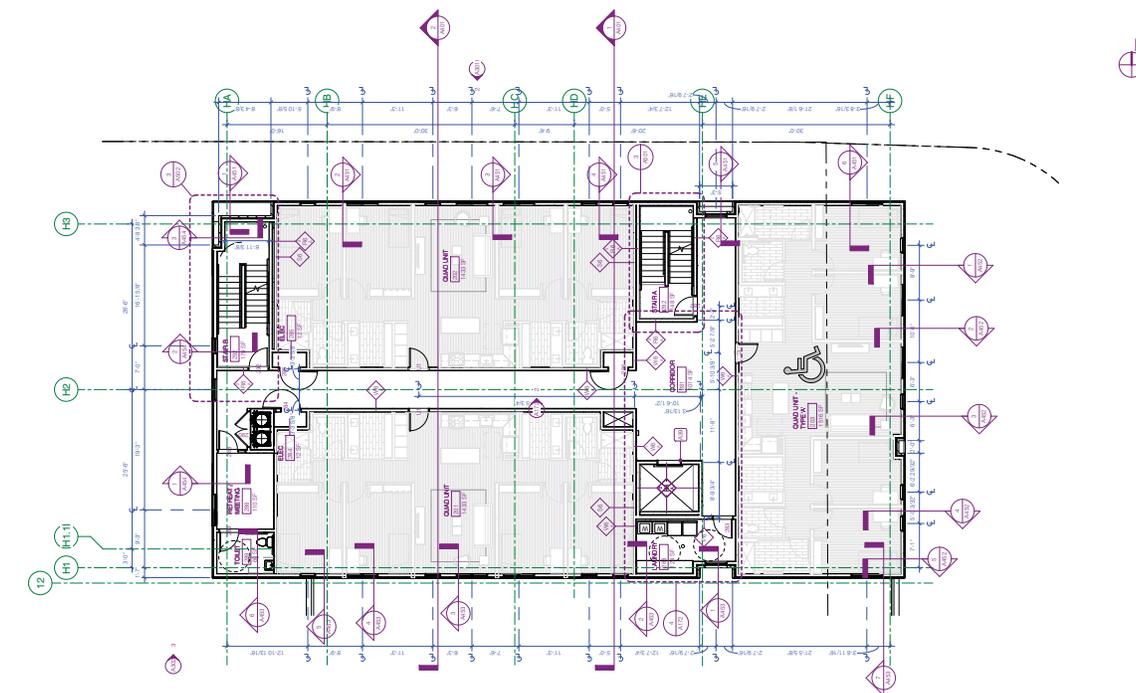
PROJECT: 10010000000000000000

GENERAL NOTES:

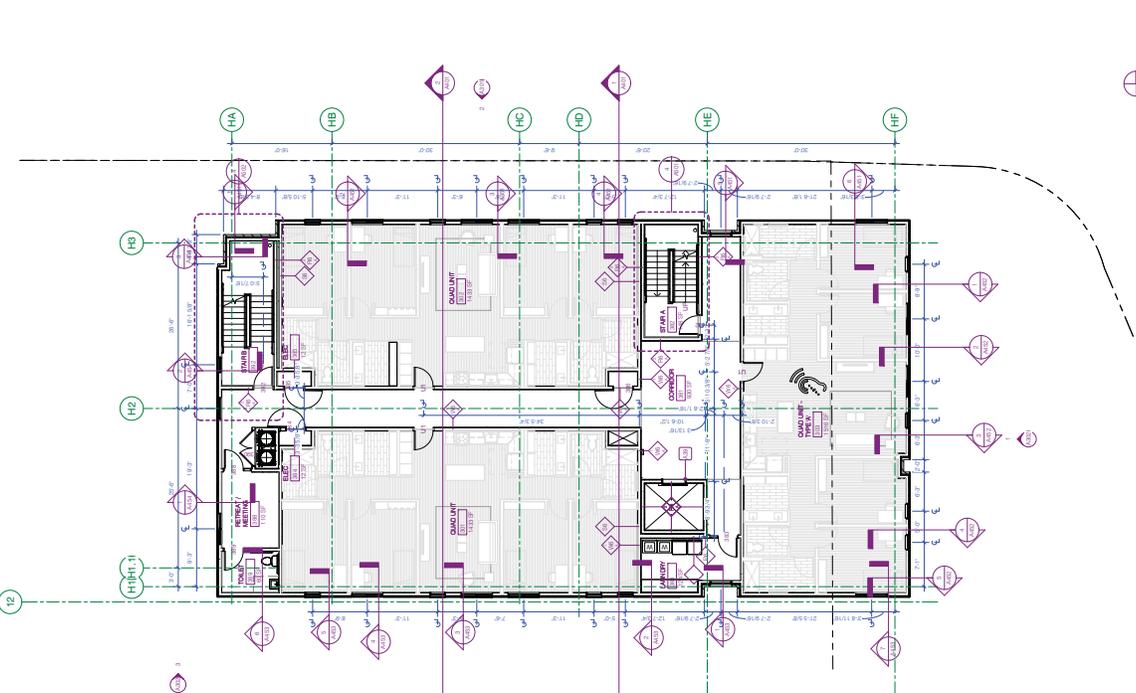
- 1. DIMENSIONS BETWEEN WALL CENTERLINES UNLESS OTHERWISE NOTED.
- 2. DIMENSIONS AT LINTEL/HEADER WALLS ARE TO CENTERLINE OF WALL.
- 3. DIMENSIONS AT EXISTING WALLS ARE TO FACE OF WALL.
- 4. DIMENSIONS AT EXISTING WALLS ARE TO FACE OF WALL.
- 5. DIMENSIONS AT EXISTING WALLS ARE TO FACE OF WALL.
- 6. ALL WALLS IN THE EXISTING BUILDING ARE TYPE **AI** UNLESS INDICATED OTHERWISE.
- 7. ALL WALLS IN THE EXISTING BUILDING ARE TYPE **AI** UNLESS INDICATED OTHERWISE.
- 8. ALL WALLS IN THE EXISTING BUILDING ARE TYPE **AI** UNLESS INDICATED OTHERWISE.
- 9. ALL WALLS IN THE EXISTING BUILDING ARE TYPE **AI** UNLESS INDICATED OTHERWISE.
- 10. ALL WALLS IN THE EXISTING BUILDING ARE TYPE **AI** UNLESS INDICATED OTHERWISE.
- 11. DIMENSIONS TO FACE OF WALL.

KEYNOTES:

- AK1: INTERIOR WALL
- AK2: INTERIOR WALL
- AK3: INTERIOR WALL
- AK4: INTERIOR WALL
- AK5: INTERIOR WALL
- AK6: INTERIOR WALL
- AK7: INTERIOR WALL
- AK8: INTERIOR WALL
- AK9: INTERIOR WALL
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- AK97: INTERIOR WALL
- AK98: INTERIOR WALL
- AK99: INTERIOR WALL
- AK100: INTERIOR WALL



3 A102.1 - LEVEL 2 PLAN  
SCALE: 1/8" = 1'-0"



2 A102.1 - LEVEL 3 PLAN  
SCALE: 1/8" = 1'-0"



90 NORTH THIRD STREET, SUITE 40  
MINNEAPOLIS, MN 55401  
02.26.2018  
CONTRACT NO.

PRELIMINARY  
NOT FOR  
CONSTRUCTION

REVISIONS  
# DATE DESCRIPTION

DATE 04/14/2018  
PROJECT # 15100  
PHASE 1  
DRAWN BY  
CHECKED BY  
DATE

LEVELS 4 & 5  
PLAN - OVERALL

A103.0

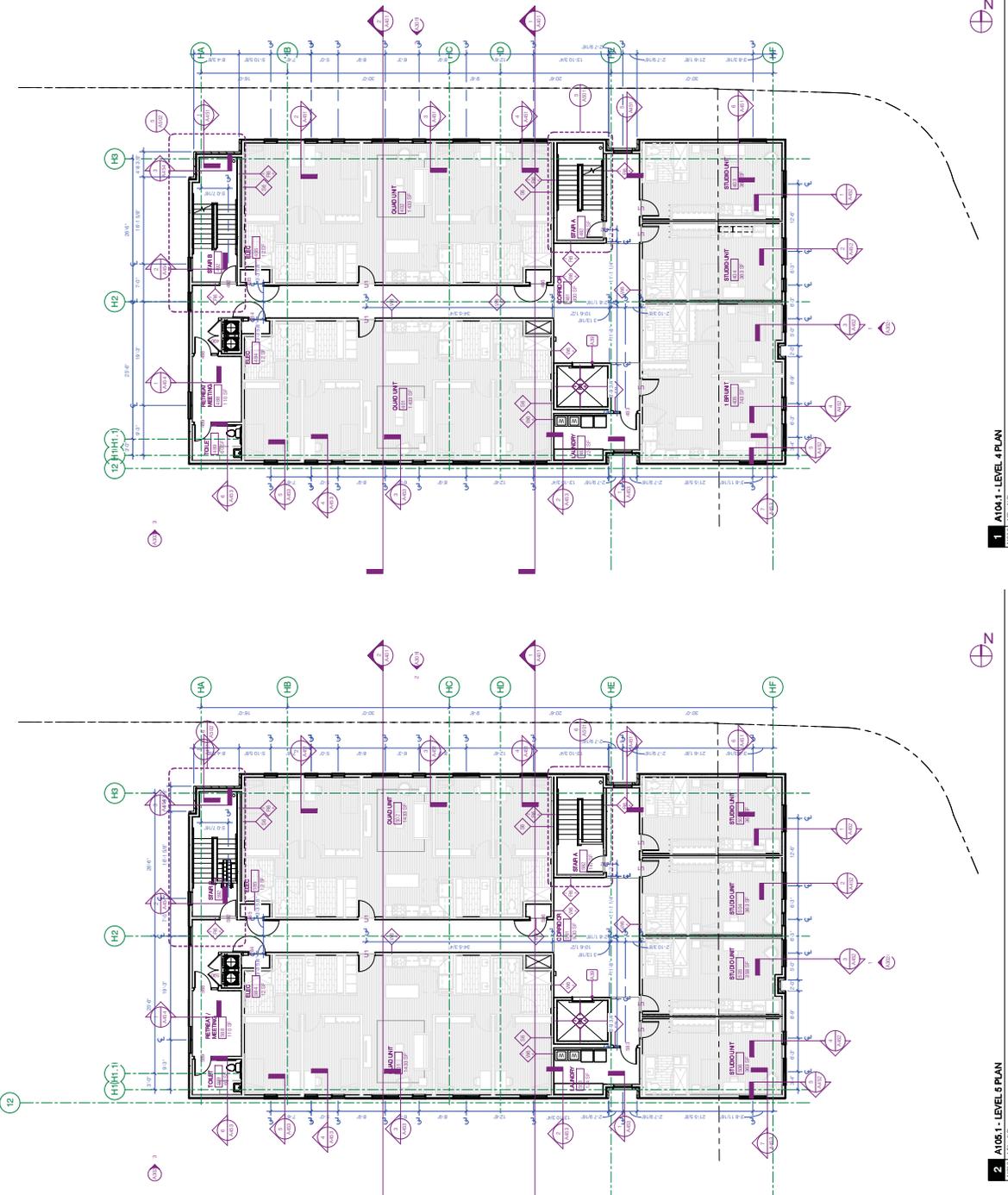
CONTRACT # 15100 (04/14/2018) 15100 (04/14/2018)

GENERAL NOTES:

1. DIMENSIONS BETWEEN WALL CENTERLINES UNLESS OTHERWISE NOTED.
2. DIMENSIONS AT EXTREMITIES WALLS ARE TO CENTERLINE OF WALLS.
3. DIMENSIONS AT CORNERS WALLS ARE TO CENTERLINE OF WALLS.
4. DIMENSIONS AT EXISTING WALLS ARE TO FACE OF WALL.
5. DIMENSIONS AT EXISTING WALLS ARE TO FACE OF WALL.
6. DIMENSIONS AT EXISTING WALLS ARE TO FACE OF WALL.
7. ALL WALLS IN THE EXISTING BUILDING ARE THE ALL DIMENSIONS TAGGED OTHERWISE.
8. ALL DIMENSIONS BETWEEN WALLS ARE TO FACE OF WALL.
9. ALL DIMENSIONS BETWEEN WALLS ARE TO FACE OF WALL.
10. ALL DIMENSIONS BETWEEN WALLS ARE TO FACE OF WALL.
11. DIMENSIONS (ROOM ARE TO FACE OF DIM.

KEYNOTES:

- AK01 REVISIONS TO BE MADE
- AK02 REVISIONS TO BE MADE
- AK03 REVISIONS TO BE MADE
- AK04 REVISIONS TO BE MADE
- AK05 REVISIONS TO BE MADE
- AK06 REVISIONS TO BE MADE
- AK07 REVISIONS TO BE MADE
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- AK100 REVISIONS TO BE MADE

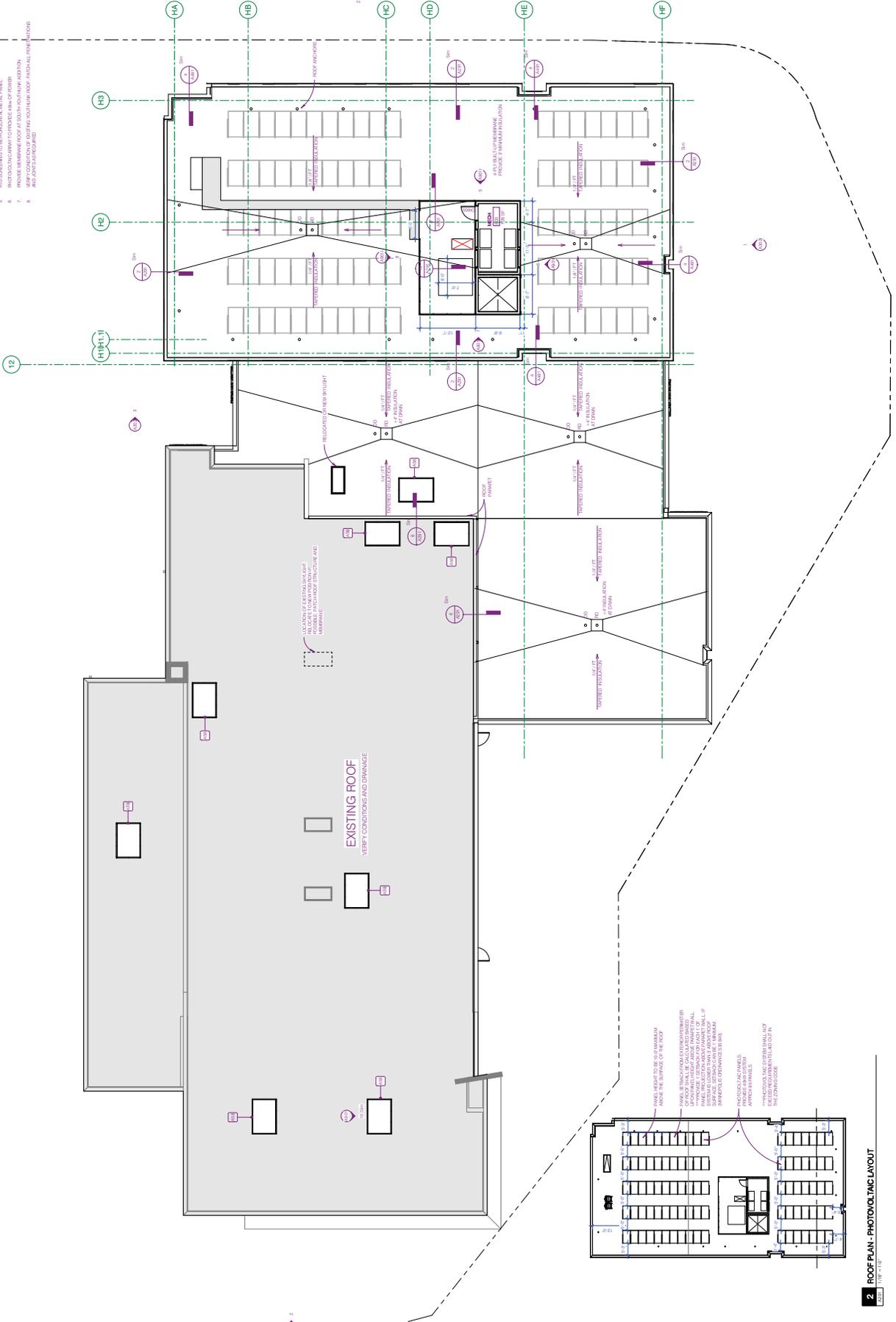


1 A104.1 - LEVEL 4 PLAN  
1/8" = 1'-0"

2 A105.1 - LEVEL 5 PLAN  
1/8" = 1'-0"

**GENERAL NOTES:**

1. PROVIDE 4" x 8" BATT INSULATION TO BE APPROX. 1" THICKNESS
2. PROVIDE ROOF FLASHING TO BE APPROX. 1" THICKNESS
3. PROVIDE ROOF FLASHING TO BE APPROX. 1" THICKNESS
4. PROVIDE ROOF FLASHING TO BE APPROX. 1" THICKNESS
5. PROVIDE ROOF FLASHING TO BE APPROX. 1" THICKNESS
6. PROVIDE ROOF FLASHING TO BE APPROX. 1" THICKNESS
7. PROVIDE ROOF FLASHING TO BE APPROX. 1" THICKNESS
8. PROVIDE ROOF FLASHING TO BE APPROX. 1" THICKNESS
9. PROVIDE ROOF FLASHING TO BE APPROX. 1" THICKNESS
10. PROVIDE ROOF FLASHING TO BE APPROX. 1" THICKNESS



**2 ROOF PLAN - PHOTOVOLTAIC LAYOUT**  
SCALE: 1/8" = 1'-0"

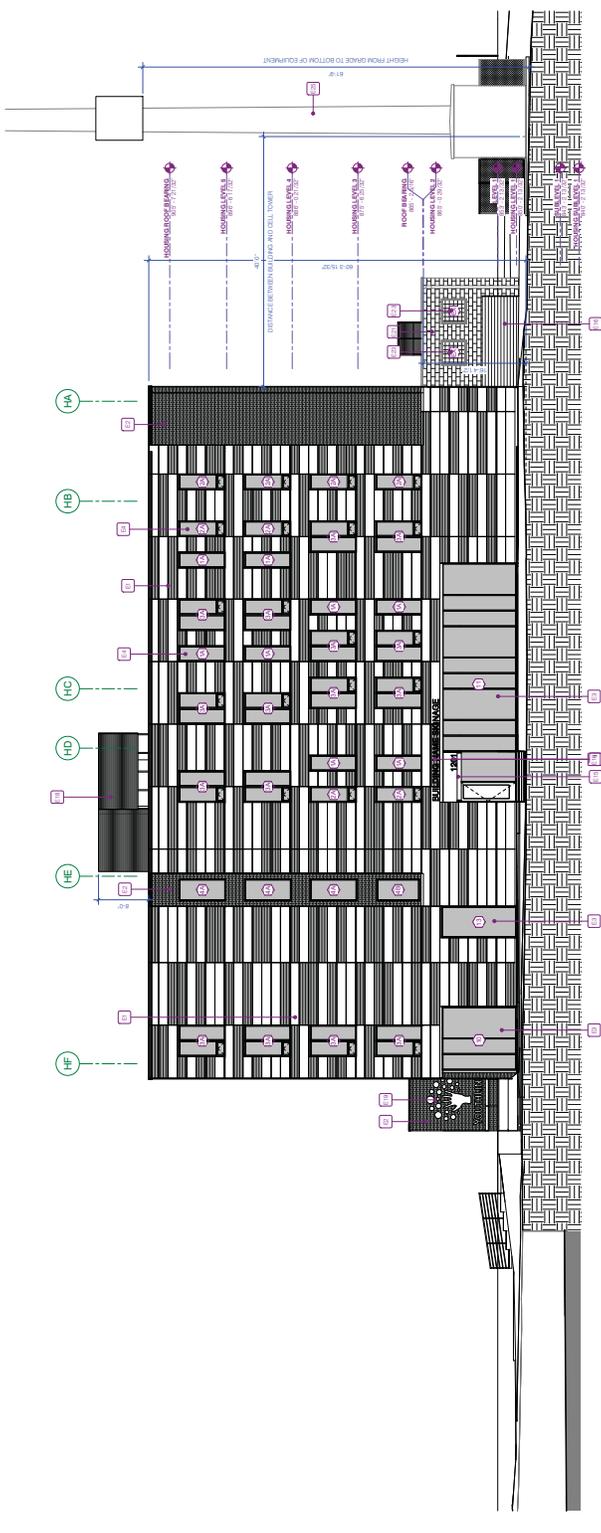
**1 OVERALL ROOF PLAN**  
SCALE: 1/8" = 1'-0"

**GENERAL NOTES:**

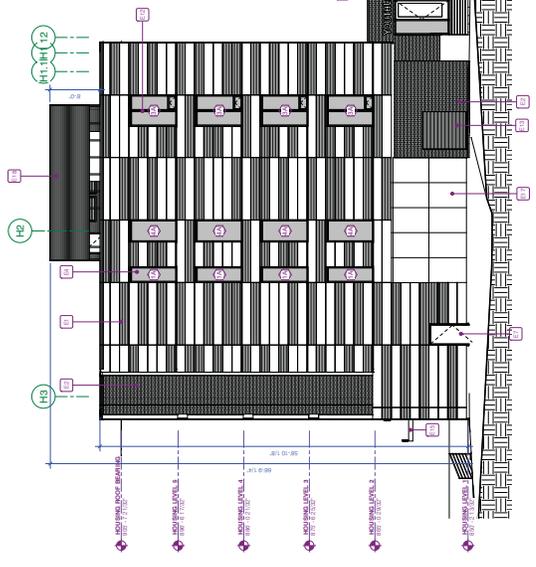
1. REFER TO SPEC SECTION FOR COMPLETE GENERAL NOTES.

**KEYNOTES:**

- K1 NOMIX ILLUMINATA & METALLIC SERIES HORIZONTAL SPANEL PROFILE
- K2 ELECTROLYSE POLYMER COATING SYSTEM
- K3 BRASS ANODIZED ALUMINUM STRIP PROF
- K4 ALUMINUM ANODIZED
- K5 INTERLOCKING SYSTEM
- K6 ANODIZED ALUMINUM
- K7 BRASS ANODIZED ALUMINUM STRIP PROF
- K8 BRASS ANODIZED ALUMINUM STRIP PROF
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- K50 BRASS ANODIZED ALUMINUM STRIP PROF



**2** EXTERIOR ELEVATION - NORTH  
1/8" = 1'-0"



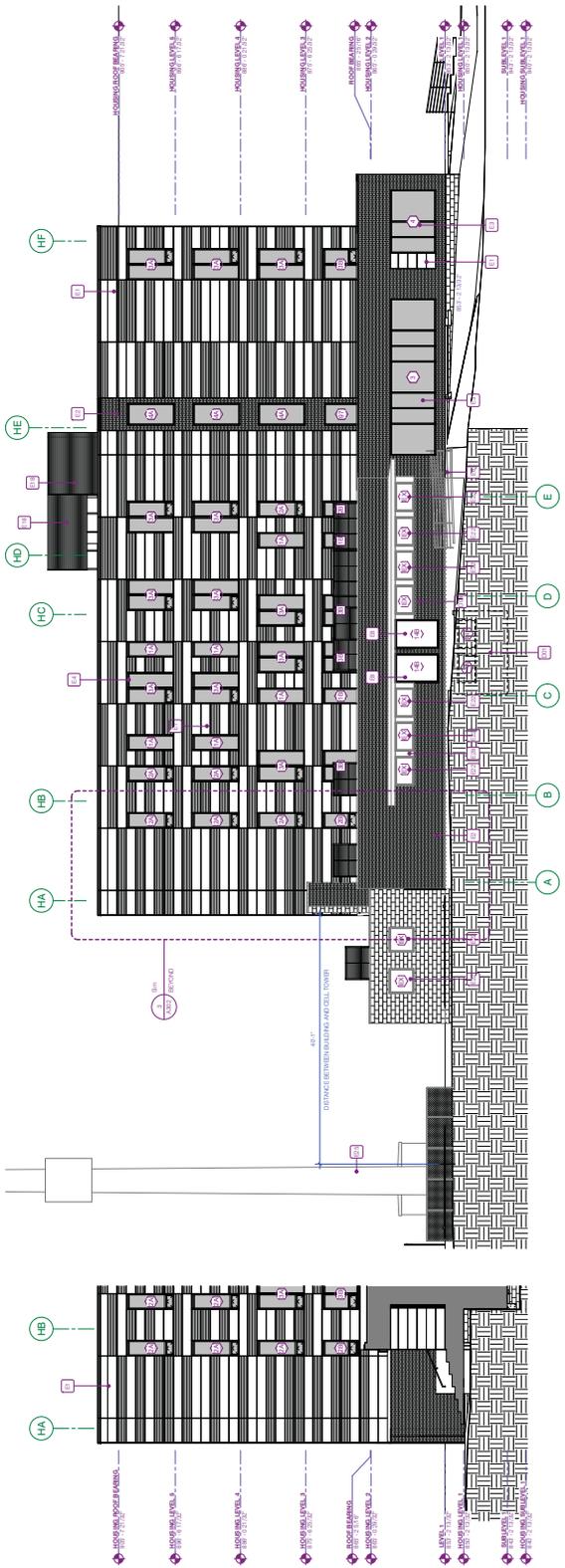
**1** EXTERIOR ELEVATION - WEST  
1/8" = 1'-0"

GENERAL NOTES:

REFER TO SPEC SECTION 05100 FOR ALL CONSTRUCTION DETAILS.

KEYNOTES:

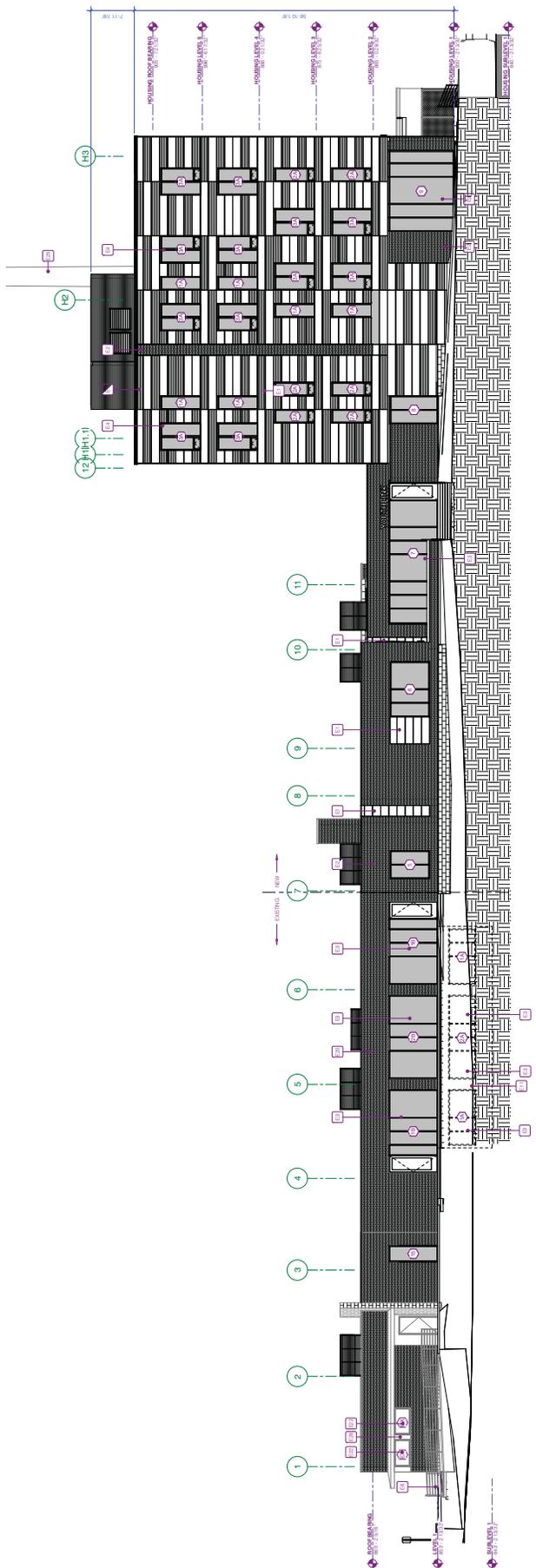
- K1 NORMAL ILLUMINATION & METALLIC FINISHES - HORIZONTAL SPAN OF PANEL, PROVIDE ELECTRODES TO MATCH DIMENSIONS OF PANEL.
- K2 BACK ANGLE OF ALUMINUM STRIP JOINTS TO MATCH DIMENSIONS OF PANEL.
- K3 ALUMINUM FINISH TO MATCH DIMENSIONS OF PANEL.
- K4 METALLIC FINISH TO MATCH DIMENSIONS OF PANEL.
- K5 ALUMINUM FINISH TO MATCH DIMENSIONS OF PANEL.
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- K99 ALUMINUM FINISH TO MATCH DIMENSIONS OF PANEL.
- K100 ALUMINUM FINISH TO MATCH DIMENSIONS OF PANEL.



3 EXTERIOR ELEVATION - SOUTH - PARTIAL  
SCALE: 1/8" = 1'-0"

2 EXTERIOR ELEVATION - SOUTH  
SCALE: 1/8" = 1'-0"

1 EXTERIOR ELEVATION - EAST  
SCALE: 1/8" = 1'-0"



1 EXTERIOR ELEVATION - EAST  
SCALE: 1/8" = 1'-0"





90 NORTH THIRD STREET, SUITE 40  
MINNEAPOLIS, MN 55401  
87.348.8284  
CONTRACT #

PRELIMINARY  
NOT FOR  
CONSTRUCTION

REVISIONS  
# DATE DESCRIPTION

DATE 4/14/2014  
PROJECT # 1100  
PHONE 612.338.1100  
DRAWN BY C. BROWN  
CHECKED BY C. BROWN  
LDR C. BROWN

BUILDING  
ELEVATIONS

A305

GENERAL NOTES:

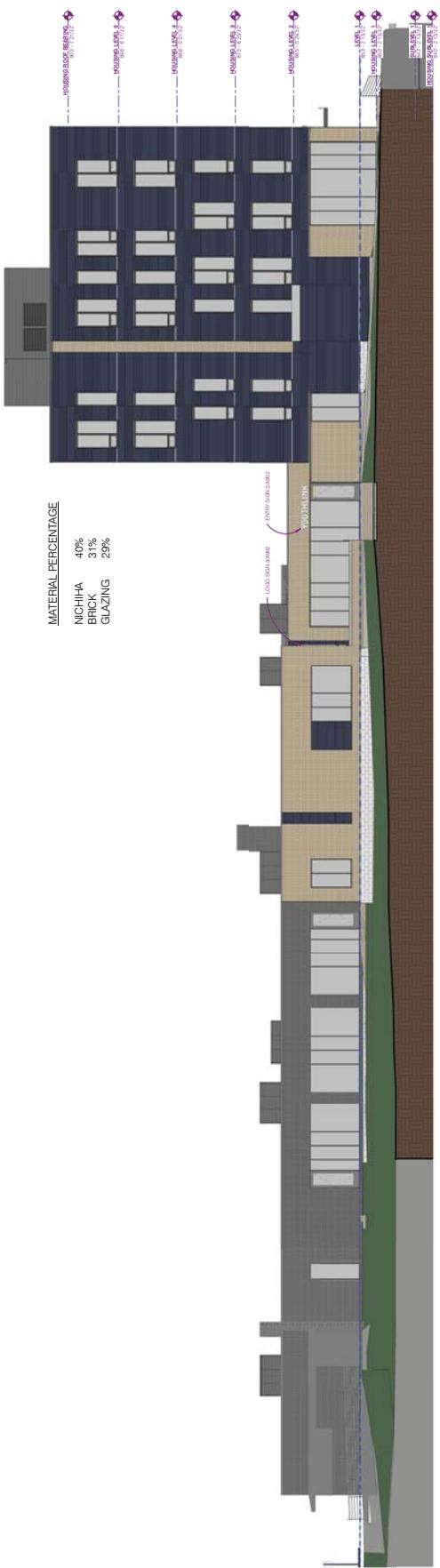
1. REFER TO SPEC CONTRACT FOR SCHEDULE OF MATERIALS DETAILS.

KEYNOTES:

- K1. MODERN ILLUMINATION & METALLIC SERIES HORIZONTAL SPANEL POUCE ELECTRONICS
- K2. BRICK TO MATCH EXISTING BRICK ON ADJACENT BUILDING
- K3. BRICK ANODIZED ALUMINUM STORE FRONT
- K4. ALUMINUM FINISH
- K5. INTERIORS FINISH
- K6. INTERIORS FINISH
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- K50. INTERIORS FINISH

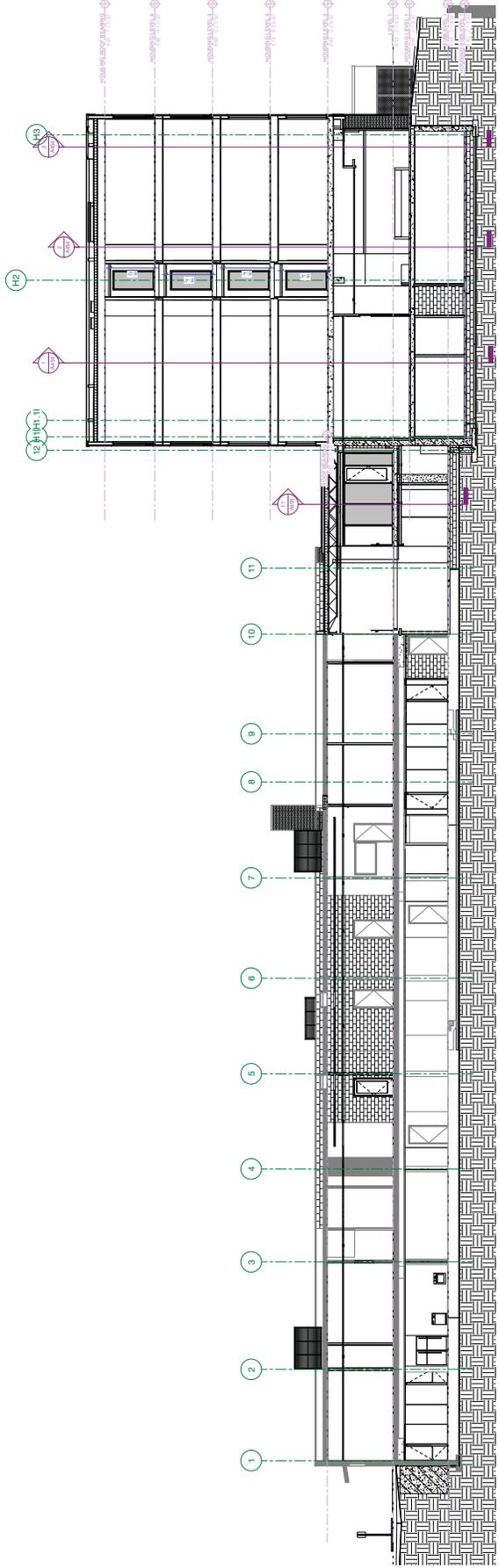


2 SOUTH GRAPHIC

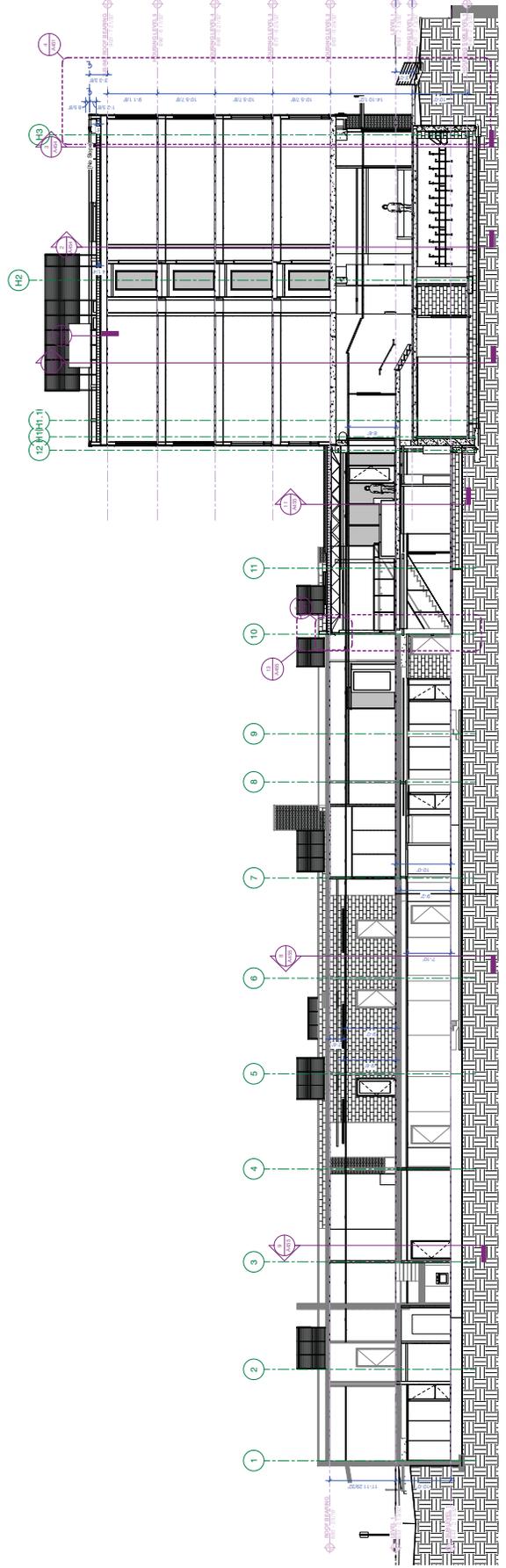


1 EAST GRAPHIC

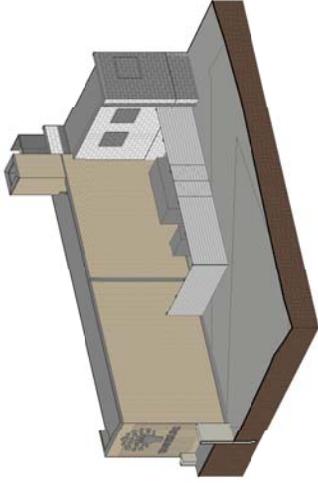




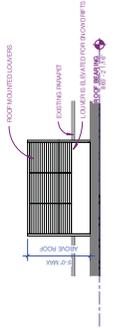
**2** North - South Section1  
1/8" = 1'-0"



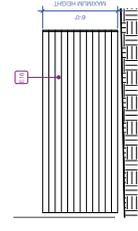
**1** North - South Section  
1/8" = 1'-0"



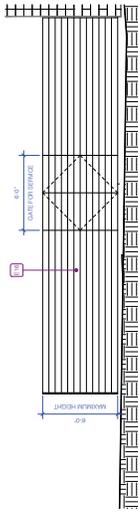
**2** TRANSFORMER & GENERATOR SCREENING  
1/8" = 1'-0"



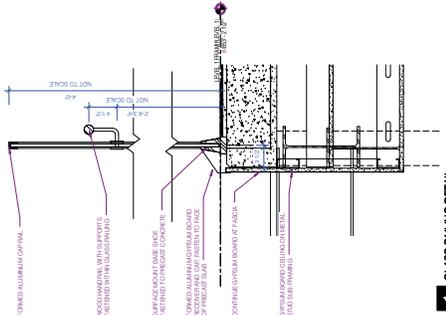
**10** SCREENING @ EXISTING MECHANICAL EQUIPMENT  
1/8" = 1'-0"



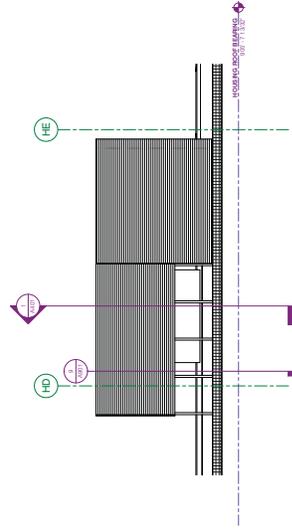
**3** NORTH ELEVATION - TRANSFORMER SCREEN  
1/8" = 1'-0"



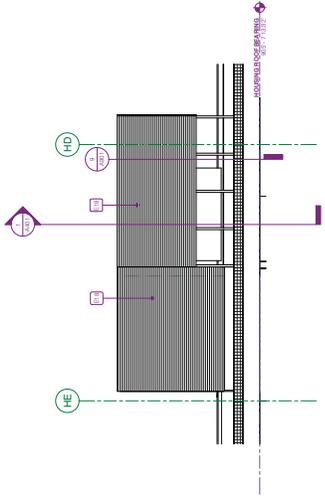
**4** WEST ELEVATION - TRANSFORMER SCREEN  
1/8" = 1'-0"



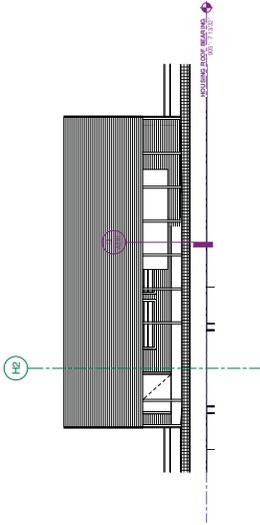
**1** GLASS PILING DETAIL  
1/8" = 1'-0"



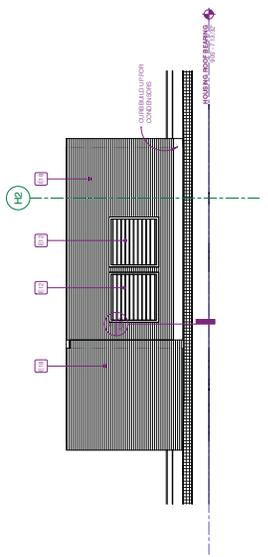
**7** Elevation Roof Screening South  
1/8" = 1'-0"



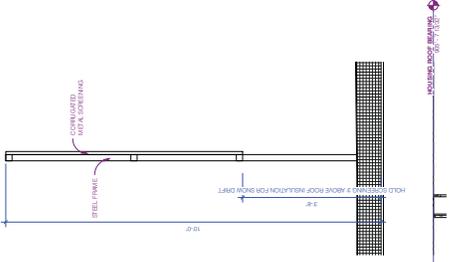
**5** Elevation - Roof Screening North  
1/8" = 1'-0"



**8** Elevation Roof Screening West  
1/8" = 1'-0"



**6** Elevation Roof Screening East  
1/8" = 1'-0"



**9** Section - Roof Screening  
1/8" = 1'-0"



901 NORTH THIRD STREET, SUITE 40  
MINNEAPOLIS, MN 55401  
87.00.000  
CONTRACT

PRELIMINARY  
NOT FOR  
CONSTRUCTION

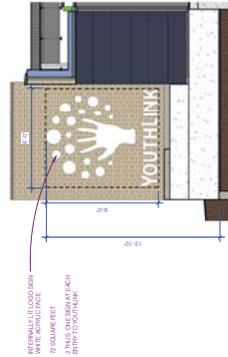
REVISIONS  
# Date Description

DATE: 4/14/2014  
PROJECT # 411N10TH  
PHASE 11100  
DRAWN BY: C. B. B. / CBB  
CHECKED BY: C. B. B. / CBB

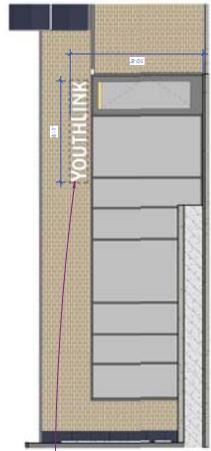
BUILDING  
SIGNAGE

A902

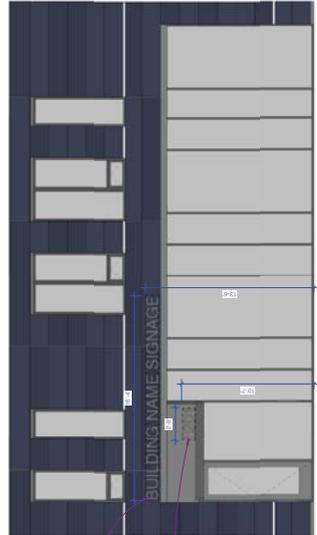
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**3** YOUTHLINK LOGO SIGNAGE  
A902 1/4" = 1'-0"



**2** YOUTHLINK ENTRY SIGNAGE  
A902 1/4" = 1'-0"



**1** HOUSING ENTRY SIGNAGE  
A902 1/4" = 1'-0"



971 NORTH PARK STREET, SUITE 410  
MINNEAPOLIS, MN 55415  
TEL: 612.338.2200  
WWW.URBANWORKS.COM

CONSULTANT

**STEEN**  
ENGINEERS, ARCHITECTS & INTERIORS, INC.  
700 UNIVERSITY AVENUE, SUITE 200  
MINNEAPOLIS, MN 55415  
TEL: 612.338.2200  
WWW.STEENENGINEERS.COM

I hereby certify that this document was prepared by me or under my direct supervision and that I am a duly licensed engineer under the laws of the State of Minnesota.

Signature: \_\_\_\_\_  
Title: \_\_\_\_\_  
Date: \_\_\_\_\_

Project Development  
4/11/2016

PRELIMINARY  
**NOT FOR CONSTRUCTION**

REVISIONS  
# Date Description

DATE: APRIL 11, 2016  
PROJECT #:  
PHASE:  
DRAWN BY:  
CHECKED BY:  
BY:  
SAY:

SITE  
PHOTOMETRIC  
PLAN

E003

### TYPE EE

#### LUMINAIRE SPECIFICATION

**USM-10692**  
Smith ballast LED

Smith ballast LED luminaire is a high performance, energy efficient luminaire. It is designed for use in a variety of applications, including street lighting, parking lot lighting, and general area lighting. The luminaire is available in a variety of colors and finishes, and is designed to be easy to install and maintain.

**Physical Data:**  
 LED Color: Warm White (3000K)  
 LED Power: 100W  
 LED Voltage: 120V  
 Luminaire Height: 10.5 ft  
 Luminaire Width: 10.5 ft  
 Luminaire Depth: 10.5 ft

**Options (Please Specify):**  
 □ 100W LED  
 □ 150W LED  
 □ 200W LED  
 □ 300W LED  
 □ 400W LED  
 □ 500W LED  
 □ 600W LED  
 □ 700W LED  
 □ 800W LED  
 □ 900W LED  
 □ 1000W LED

**Mounting Accessories:**  
 □ 1/2" J-Bolts, 6" Spacing  
 □ 3/4" J-Bolts, 6" Spacing  
 □ 1" J-Bolts, 6" Spacing  
 □ 1 1/2" J-Bolts, 6" Spacing  
 □ 2" J-Bolts, 6" Spacing  
 □ 3" J-Bolts, 6" Spacing  
 □ 4" J-Bolts, 6" Spacing  
 □ 5" J-Bolts, 6" Spacing  
 □ 6" J-Bolts, 6" Spacing  
 □ 8" J-Bolts, 6" Spacing  
 □ 10" J-Bolts, 6" Spacing  
 □ 12" J-Bolts, 6" Spacing  
 □ 14" J-Bolts, 6" Spacing  
 □ 16" J-Bolts, 6" Spacing  
 □ 18" J-Bolts, 6" Spacing  
 □ 20" J-Bolts, 6" Spacing  
 □ 24" J-Bolts, 6" Spacing  
 □ 30" J-Bolts, 6" Spacing  
 □ 36" J-Bolts, 6" Spacing  
 □ 42" J-Bolts, 6" Spacing  
 □ 48" J-Bolts, 6" Spacing  
 □ 54" J-Bolts, 6" Spacing  
 □ 60" J-Bolts, 6" Spacing  
 □ 72" J-Bolts, 6" Spacing  
 □ 84" J-Bolts, 6" Spacing  
 □ 96" J-Bolts, 6" Spacing  
 □ 108" J-Bolts, 6" Spacing  
 □ 120" J-Bolts, 6" Spacing

**Quantity:** \_\_\_\_\_  
**Notes:** \_\_\_\_\_  
**Project:** \_\_\_\_\_  
**Date:** \_\_\_\_\_

### TYPE FF

#### LUMINAIRE SPECIFICATION

**USM-21121**  
Smith light column 6' Diameter

Smith light column 6' Diameter luminaire is a high performance, energy efficient luminaire. It is designed for use in a variety of applications, including street lighting, parking lot lighting, and general area lighting. The luminaire is available in a variety of colors and finishes, and is designed to be easy to install and maintain.

**Physical Data:**  
 LED Color: Warm White (3000K)  
 LED Power: 100W  
 LED Voltage: 120V  
 Luminaire Height: 10.5 ft  
 Luminaire Width: 10.5 ft  
 Luminaire Depth: 10.5 ft

**Options (Please Specify):**  
 □ 100W LED  
 □ 150W LED  
 □ 200W LED  
 □ 300W LED  
 □ 400W LED  
 □ 500W LED  
 □ 600W LED  
 □ 700W LED  
 □ 800W LED  
 □ 900W LED  
 □ 1000W LED

**Mounting Accessories:**  
 □ 1/2" J-Bolts, 6" Spacing  
 □ 3/4" J-Bolts, 6" Spacing  
 □ 1" J-Bolts, 6" Spacing  
 □ 1 1/2" J-Bolts, 6" Spacing  
 □ 2" J-Bolts, 6" Spacing  
 □ 3" J-Bolts, 6" Spacing  
 □ 4" J-Bolts, 6" Spacing  
 □ 5" J-Bolts, 6" Spacing  
 □ 6" J-Bolts, 6" Spacing  
 □ 8" J-Bolts, 6" Spacing  
 □ 10" J-Bolts, 6" Spacing  
 □ 12" J-Bolts, 6" Spacing  
 □ 14" J-Bolts, 6" Spacing  
 □ 16" J-Bolts, 6" Spacing  
 □ 18" J-Bolts, 6" Spacing  
 □ 20" J-Bolts, 6" Spacing  
 □ 24" J-Bolts, 6" Spacing  
 □ 30" J-Bolts, 6" Spacing  
 □ 36" J-Bolts, 6" Spacing  
 □ 42" J-Bolts, 6" Spacing  
 □ 48" J-Bolts, 6" Spacing  
 □ 54" J-Bolts, 6" Spacing  
 □ 60" J-Bolts, 6" Spacing  
 □ 72" J-Bolts, 6" Spacing  
 □ 84" J-Bolts, 6" Spacing  
 □ 96" J-Bolts, 6" Spacing  
 □ 108" J-Bolts, 6" Spacing  
 □ 120" J-Bolts, 6" Spacing

**Quantity:** \_\_\_\_\_  
**Notes:** \_\_\_\_\_  
**Project:** \_\_\_\_\_  
**Date:** \_\_\_\_\_

### TYPE AA, BB, CC

#### CSAW LED LED Wall Luminaire

CSAW LED LED Wall Luminaire is a high performance, energy efficient luminaire. It is designed for use in a variety of applications, including street lighting, parking lot lighting, and general area lighting. The luminaire is available in a variety of colors and finishes, and is designed to be easy to install and maintain.

**Specifications:**  
 LED Color: Warm White (3000K)  
 LED Power: 100W  
 LED Voltage: 120V  
 Luminaire Height: 10.5 ft  
 Luminaire Width: 10.5 ft  
 Luminaire Depth: 10.5 ft

**Quantity:** \_\_\_\_\_  
**Notes:** \_\_\_\_\_  
**Project:** \_\_\_\_\_  
**Date:** \_\_\_\_\_

### TYPE DD

#### New and Existing Construction

**LBSLEDA10L**  
**LBSQLEDA10L**  
1000 Luminaire  
3000K

LBSLEDA10L and LBSQLEDA10L luminaires are high performance, energy efficient luminaires. They are designed for use in a variety of applications, including street lighting, parking lot lighting, and general area lighting. The luminaires are available in a variety of colors and finishes, and are designed to be easy to install and maintain.

**Applications:**  
 Street lighting, parking lot lighting, general area lighting, etc.

**Installation:**  
 Mounting height: 10.5 ft  
 Mounting width: 10.5 ft  
 Mounting depth: 10.5 ft

**Quantity:** \_\_\_\_\_  
**Notes:** \_\_\_\_\_  
**Project:** \_\_\_\_\_  
**Date:** \_\_\_\_\_

**resolite**  
1000 Luminaire  
3000K

resolite 1000 Luminaire 3000K is a high performance, energy efficient luminaire. It is designed for use in a variety of applications, including street lighting, parking lot lighting, and general area lighting. The luminaire is available in a variety of colors and finishes, and is designed to be easy to install and maintain.

**Quantity:** \_\_\_\_\_  
**Notes:** \_\_\_\_\_  
**Project:** \_\_\_\_\_  
**Date:** \_\_\_\_\_



974 BERTH STREET, SUITE 410  
MINNEAPOLIS, MN 55401  
TEL: 612.339.2200  
WWW.URBANWORKS.COM

CONSULTANT

**STEEN**  
ENGINEERS, ARCHITECTS & PLANNERS  
2000 WASHINGTON AVENUE  
SUITE 200  
MINNEAPOLIS, MN 55401  
TEL: 612.339.2200  
WWW.STEENENGINEERS.COM

1 hereby certify that this document was prepared by me or under my direct supervision and that I am a duly Licensed engineer under the laws of the State of Minnesota.

Signature: \_\_\_\_\_  
Title: \_\_\_\_\_

Project Name: \_\_\_\_\_  
Project #: \_\_\_\_\_

Date: \_\_\_\_\_

Scale: \_\_\_\_\_

Sheet No: \_\_\_\_\_

Project No: \_\_\_\_\_

Revision: \_\_\_\_\_

Drawn By: \_\_\_\_\_

Checked By: \_\_\_\_\_

Scale: \_\_\_\_\_

Date: \_\_\_\_\_

Project No: \_\_\_\_\_

Sheet No: \_\_\_\_\_

Revision: \_\_\_\_\_

Drawn By: \_\_\_\_\_

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Project No: \_\_\_\_\_

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Drawn By: \_\_\_\_\_

Checked By: \_\_\_\_\_

Scale: \_\_\_\_\_

Date: \_\_\_\_\_

Project No: \_\_\_\_\_

Sheet No: \_\_\_\_\_

Revision: \_\_\_\_\_

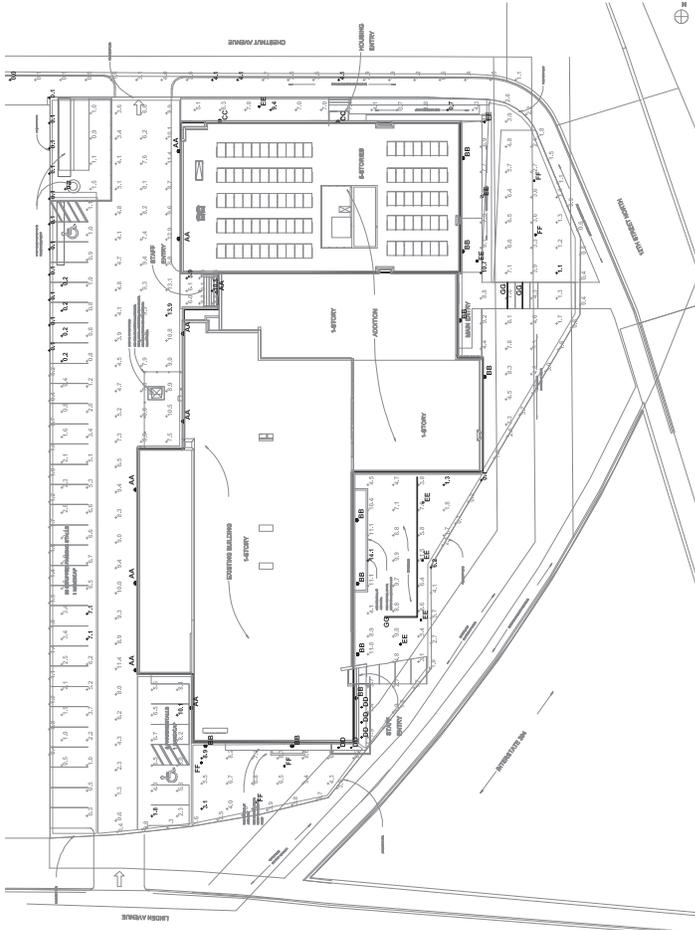
Drawn By: \_\_\_\_\_

Checked By: \_\_\_\_\_

SITE  
PHOTOMETRIC  
PLAN

E004

DATE: APRIL 11, 2016  
PROJECT #:  
PHASE:  
DRAWN BY:  
CHECKED BY:  
SCALE:



① SITE PHOTOMETRIC PLAN  
1" = 20'-0"

Symbol	Level	City	Material	Color	Finish	Notes	Area	Volume	Weight	Value	Notes
AA	1	AA	CONCRETE	1000	1000	CONCRETE	1000	1000	1000	1000	CONCRETE
BB	2	BB	CONCRETE	1000	1000	CONCRETE	1000	1000	1000	1000	CONCRETE
CC	3	CC	CONCRETE	1000	1000	CONCRETE	1000	1000	1000	1000	CONCRETE
DD	4	DD	CONCRETE	1000	1000	CONCRETE	1000	1000	1000	1000	CONCRETE
EE	5	EE	CONCRETE	1000	1000	CONCRETE	1000	1000	1000	1000	CONCRETE
FF	6	FF	CONCRETE	1000	1000	CONCRETE	1000	1000	1000	1000	CONCRETE
GG	7	GG	CONCRETE	1000	1000	CONCRETE	1000	1000	1000	1000	CONCRETE

Symbol	Level	City	Material	Color	Finish	Notes	Area	Volume	Weight	Value	Notes
AA	1	AA	CONCRETE	1000	1000	CONCRETE	1000	1000	1000	1000	CONCRETE
BB	2	BB	CONCRETE	1000	1000	CONCRETE	1000	1000	1000	1000	CONCRETE
CC	3	CC	CONCRETE	1000	1000	CONCRETE	1000	1000	1000	1000	CONCRETE
DD	4	DD	CONCRETE	1000	1000	CONCRETE	1000	1000	1000	1000	CONCRETE
EE	5	EE	CONCRETE	1000	1000	CONCRETE	1000	1000	1000	1000	CONCRETE
FF	6	FF	CONCRETE	1000	1000	CONCRETE	1000	1000	1000	1000	CONCRETE
GG	7	GG	CONCRETE	1000	1000	CONCRETE	1000	1000	1000	1000	CONCRETE

Symbol	Level	City	Material	Color	Finish	Notes	Area	Volume	Weight	Value	Notes
AA	1	AA	CONCRETE	1000	1000	CONCRETE	1000	1000	1000	1000	CONCRETE
BB	2	BB	CONCRETE	1000	1000	CONCRETE	1000	1000	1000	1000	CONCRETE
CC	3	CC	CONCRETE	1000	1000	CONCRETE	1000	1000	1000	1000	CONCRETE
DD	4	DD	CONCRETE	1000	1000	CONCRETE	1000	1000	1000	1000	CONCRETE
EE	5	EE	CONCRETE	1000	1000	CONCRETE	1000	1000	1000	1000	CONCRETE
FF	6	FF	CONCRETE	1000	1000	CONCRETE	1000	1000	1000	1000	CONCRETE
GG	7	GG	CONCRETE	1000	1000	CONCRETE	1000	1000	1000	1000	CONCRETE



# PPL YouthLink Housing and Youth Opportunity Center Renovation

LAND USE APPLICATION 05.02.2016





PPL YouthLink Housing and Youth Opportunity Center Renovation

MINNEAPOLIS, MN | 03.21.2016 | 15-0032

AERIAL PHOTOGRAPH



1.  
VIEW FROM EAST



2.  
VIEW FROM NORTHEAST



## PPL YouthLink Housing and Youth Opportunity Center Renovation

MINNEAPOLIS, MN | 03.21.2016 | 15-0032



3.

VIEW OF EXISTING ENTRY



4.

VIEW FROM SOUTHWEST



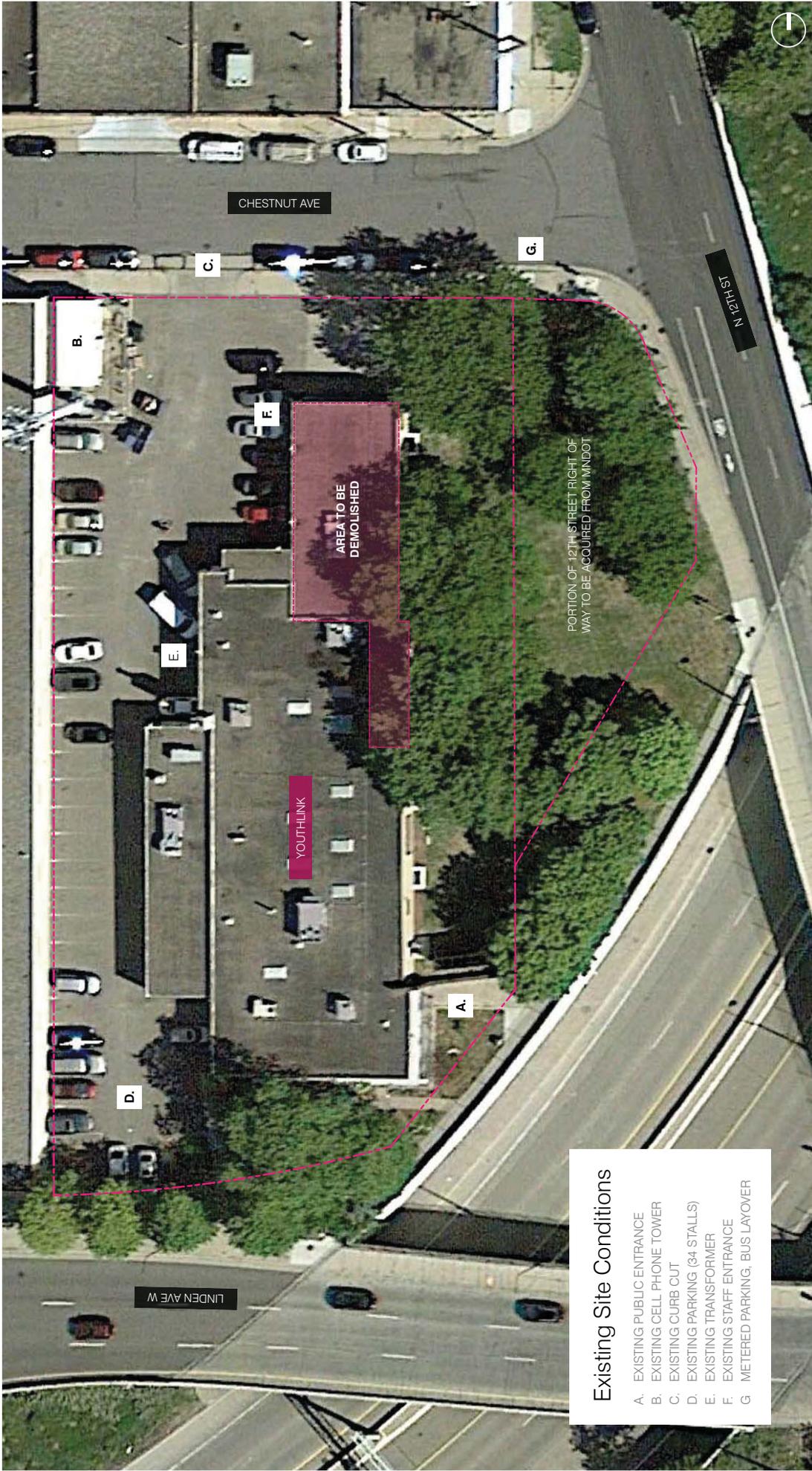
5.

VIEW FROM NORTHWEST



# PPL YouthLink Housing and Youth Opportunity Center Renovation

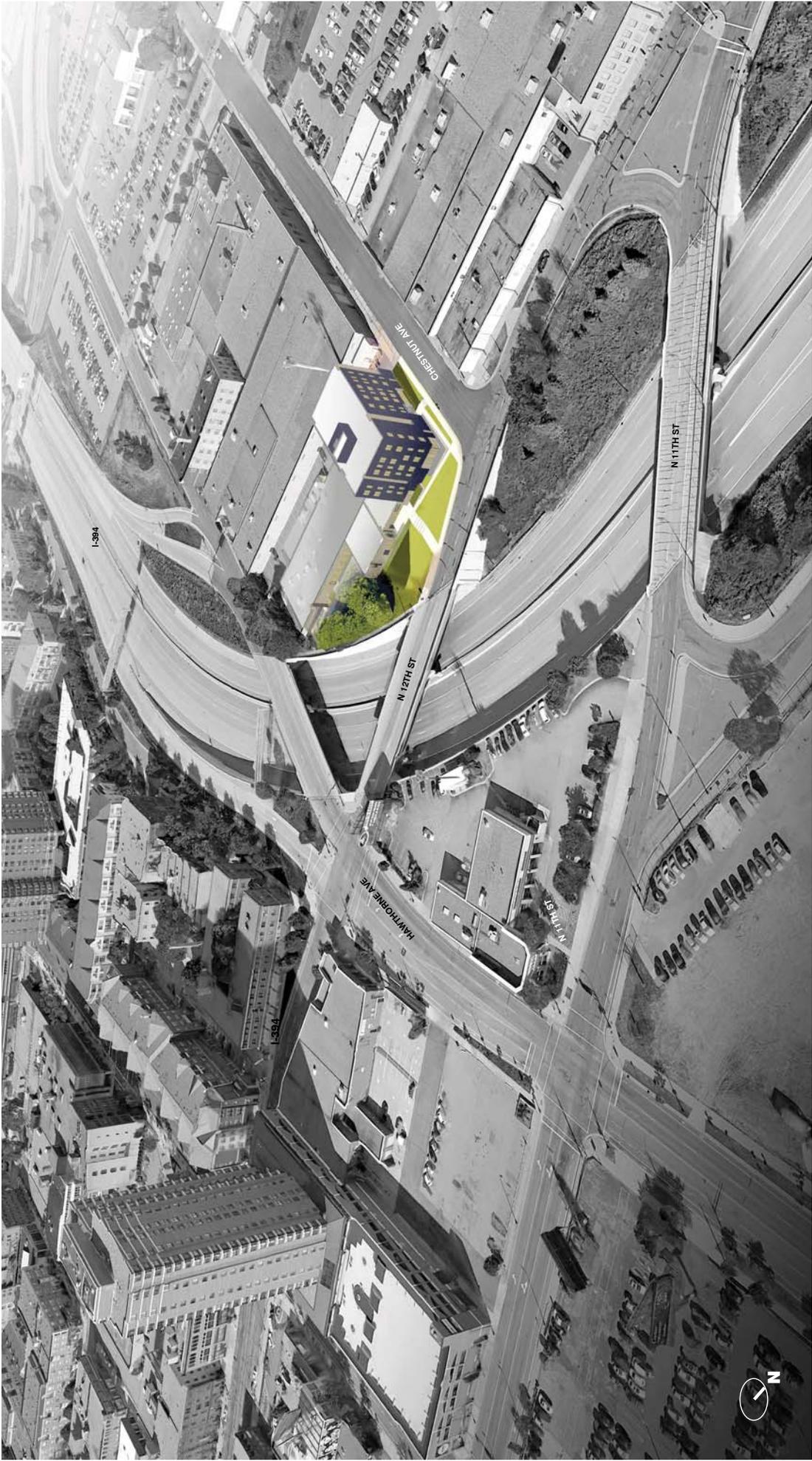
MINNEAPOLIS, MN | 03.21.2016 | 15-0032



### Existing Site Conditions

- A. EXISTING PUBLIC ENTRANCE
- B. EXISTING CELL PHONE TOWER
- C. EXISTING CURB CUT
- D. EXISTING PARKING (34 STALLS)
- E. EXISTING TRANSFORMER
- F. EXISTING STAFF ENTRANCE
- G. METERED PARKING, BUS LAYOVER





# PPL YouthLink Housing and Youth Opportunity Center Renovation

MINNEAPOLIS, MN | 03.21.2016 | 15-0032





Councilmember Blong Yang  
350 S. 5th St., Room 307  
Minneapolis, MN 55415

April 27, 2016

Re: PPL YouthLink Supportive Housing Development

Dear Councilmember Yang:

We are sending this letter as part of the formal land use application for the PPL YouthLink Supportive Housing project. As you may recall, this project will provide life-changing stable housing and social services to 46 formerly homeless young people. The project's target age of 18-23 is a critical time in young people's lives, a time in which stable housing and relationships with caring adults will allow formerly homeless young people to develop the goals, relationships and skills needed to navigate life as self-sufficient adults. Project for Pride in Living (or 'PPL') will develop, own and manage the housing long-term, and YouthLink will provide supportive services to residents. The new housing will be located on YouthLink-owned land at 41 12<sup>th</sup> Street North and will be attached to the existing Youth Opportunity Center. The project has the formal support of the North Loop Neighborhood Association.

We are submitting our application for the following land use changes and reviews in early May:

- Site Plan Review
- Vacation of the former 12<sup>th</sup> Street right-of-way (vacant land directly adjacent to YouthLink's current site)
- Rezoning from Industrial 1 to B4C
- Replat of the property into one parcel
- Solar Energy Systems application (for a roof-mounted photovoltaic array)

PPL will be submitting the land use applications, with YouthLink's acknowledgement and support. Both of our organizations appreciate the staunch support City of Minneapolis staff and Councilmembers have provided to the project to date, and we look forward to continued fruitful collaboration as we get closer to closing and construction start!

Please let me know if you have any questions about the land use application, or the project more generally. I can be reached at 612-455-5220 or [abbie.loosen@ppl-inc.org](mailto:abbie.loosen@ppl-inc.org).

Sincerely,

Abbie Loosen, Project Manager



North Loop Neighborhood Association  
207 5<sup>th</sup> Avenue North  
Minneapolis, MN 55401

April 27, 2016

Re: PPL YouthLink Supportive Housing Development

Dear North Loop neighbors:

We are sending this letter as part of the formal land use application for the PPL YouthLink Supportive Housing project. As you may recall from our recent presentations to the Land Use Committee and Board of the North Loop Neighborhood Association, this project will provide life-changing stable housing and social services to 46 formerly homeless young people. The project's target age of 18-23 is a critical time in young people's lives, a time in which stable housing and relationships with caring adults will allow formerly homeless young people to develop the goals, relationships and skills needed to navigate life as self-sufficient adults. Project for Pride in Living (or 'PPL') will develop, own and manage the housing long-term, and, thanks in part to the North Loop's support, YouthLink will provide supportive services to residents. The new housing will be located on YouthLink-owned land at 41 12<sup>th</sup> Street North and will be attached to the existing Youth Opportunity Center, hosted by YouthLink. Though we have visited the North Loop Neighborhood Association many times about this project, Minneapolis' land use application requirements dictate that we document our communication in writing – hence this letter.

We are submitting our application for the following land use changes and reviews in early May:

- Site Plan Review
- Vacation of the former 12<sup>th</sup> Street right-of-way (vacant land directly adjacent to YouthLink's current site)
- Rezoning from Industrial 1 to B4C
- Replat of the property into one parcel
- Solar Energy Systems application (for a roof-mounted photovoltaic array)

This project is a collaboration between two local non-profit organizations, each with a long history of results-oriented service to low-income households. PPL will be submitting the land use applications, with YouthLink's acknowledgement and support. Please let me know if you have any questions about the land use application – my direct number is 612-455-5220.

Sincerely,

Abbie Loosen, Project Manager



Downtown Minneapolis Neighborhoods Association  
40 South Seventh Street, Suite 212 PMB 172  
Minneapolis, MN 55402

April 27, 2016

Re: PPL YouthLink Supportive Housing Development

To the Downtown Minneapolis Neighborhoods Association:

We are sending this letter as part of the formal land use application for the PPL YouthLink Supportive Housing project. As you may recall from our recent presentations to Committees and Board of the DMNA, this project will provide life-changing stable housing and social services to 46 formerly homeless young people. The project's target age of 18-23 is a critical time in young people's lives, a time in which stable housing and relationships with caring adults will allow formerly homeless young people to develop the goals, relationships and skills needed to navigate life as self-sufficient adults. Project for Pride in Living (or 'PPL') will develop, own and manage the housing long-term, and, thanks in part to the DMNA's support, YouthLink will provide supportive services to residents. The new housing will be located on YouthLink-owned land at 41 12<sup>th</sup> Street North and will be attached to the existing Youth Opportunity Center, hosted by YouthLink. This project will not be located within either of the Downtown Neighborhoods, but will be located very close to DMNA boundaries, which is why we are providing this formal notice.

We are submitting our application for the following land use changes and reviews in early May:

- Site Plan Review
- Vacation of the former 12<sup>th</sup> Street right-of-way (vacant land directly adjacent to YouthLink's current site)
- Rezoning from Industrial 1 to B4C
- Replat of the property into one parcel
- Solar Energy Systems application (for a roof-mounted photovoltaic array)

This project is a collaboration between two local non-profit organizations, each with a long history of results-oriented service to low-income households. PPL will be submitting the land use applications, with YouthLink's acknowledgement and support. Please let me know if you have any questions about this application or the project more generally. My direct number is 612-455-5220.

Sincerely,

Abbie Loosen, Project Manager



Citizens for A Loring Park Community  
430 Oak Grove Street # 117  
Minneapolis, MN 55403

April 27, 2016

Re: PPL YouthLink Supportive Housing Development

To Citizens for a Loring Park Community:

We are sending this letter as part of the formal land use application for the PPL YouthLink Supportive Housing project. As you may recall from our presentation to your Land Use Committee in winter of 2015, this project will provide life-changing stable housing and social services to 46 formerly homeless young people. The project's target age of 18-23 is a critical time in young people's lives, a time in which stable housing and relationships with caring adults will allow formerly homeless young people to develop the goals, relationships and skills needed to navigate life as self-sufficient adults. Project for Pride in Living (or 'PPL') will develop, own and manage the housing long-term, and YouthLink will provide supportive services to residents. The new housing will be located on YouthLink-owned land at 41 12<sup>th</sup> Street North and will be attached to the existing Youth Opportunity Center, hosted by YouthLink. This project will not be located within the Loring Park neighborhood, but will be located very close to Loring Park's boundaries, which is why we are providing this formal notice.

We are submitting our application for the following land use changes and reviews in early May:

- Site Plan Review
- Vacation of the former 12<sup>th</sup> Street right-of-way (vacant land directly adjacent to YouthLink's current site)
- Rezoning from Industrial 1 to B4C
- Replat of the property into one parcel
- Solar Energy Systems application (for a roof-mounted photovoltaic array)

This project is a collaboration between two local non-profit organizations, each with a long history of results-oriented service to low-income households. PPL will be submitting the land use applications, with YouthLink's acknowledgement and support. Please let me know if you have any questions about this application or the project more generally. My direct number is 612-455-5220.

Sincerely,

Abbie Loosen, Project Manager



**NORTH  
LOOP**  
NEIGHBORHOOD

Abbie Loosen  
Project Manager  
Project for Pride in Living  
1035 E. Franklin Avenue  
Minneapolis, MN 55404

February 29, 2016

**RE: Letter of Support – Project for Pride & Youthlink**

---

Dear Abbie,

Thank you for presenting the Youthlink and Project for Pride in Living joint development project on February 17<sup>th</sup> at 41 N 12<sup>th</sup> St. The proposed project would be a housing development of 46 units to add to the headquarters and opportunity center now located on the property. The project includes a remodel to the central Youthlink facility and would also include a community space, conference area, lobby, and new entrance. The North Loop Neighborhood Association (NLNA) understands that to develop the project the site requires a vacation of 12<sup>th</sup>, rezoning to B4C and replatting.

The NLNA supports the project team with their plans as presented. The NLNA also supports the continuing programming that Youthlink and Project for Pride perform in the community and strongly support the affordable housing goals of the project. NLNA wishes the team well in gathering the remainder of the fundraising dollars needed for the project.

Sincerely,  
North Loop Neighborhood Association

DJ Heinle, AIA  
Co-Chair P&Z Committee