

## MEMORANDUM

**TO:** City Planning Commission, Committee of the Whole  
Heritage Preservation Commission

**FROM:** Aaron Hanauer, Senior City Planner, (612) 673-2494

**DATE:** July 21, 2016

**SUBJECT:** University Lutheran Chapel Expansion, 316 10<sup>th</sup> Avenue Southeast, 328 10<sup>th</sup> Avenue Southeast, and 1010 4<sup>th</sup> Street Southeast

### SITE DATA

<b>Existing Zoning</b>	R5 District/Multiple Family District UA/ University Area Overlay District
<b>Lot Area</b>	Approximately 21,812 square feet / 0.5 acres
<b>Ward(s)</b>	3
<b>Neighborhood(s)</b>	Marcy Holmes
<b>Designated Future Land Use</b>	Urban Neighborhood
<b>Land Use Features</b>	Community Corridor (4 <sup>th</sup> Street Southeast)
<b>Small Area Plan(s)</b>	<a href="#">Marcy-Holmes Neighborhood Master Plan (2014)</a>

### HISTORIC PROPERTY INFORMATION

<b>Current Name</b>	Faculty House   Luther House
<b>Historic Name</b>	Henry Pratt Judson House   Delta Delta Delta Sorority
<b>Historic Address</b>	316 10 <sup>th</sup> Avenue Southeast
<b>Original Construction Date</b>	1886   1922
<b>Original Architect</b>	Original unknown   A.F. Preusch (1922 remodel)
<b>Original Builder</b>	Unknown
<b>Original Engineer</b>	Unknown
<b>Historic Use</b>	Sorority
<b>Current Use</b>	Place of assembly
<b>Proposed Use</b>	Place of assembly

**CLASSIFICATION**

<b>Local Historic District</b>	University of Minnesota Greek Chapter House
<b>Period of Significance</b>	1911-1936
<b>Criteria of Significance</b>	Events, Architecture
<b>Date of Local Designation</b>	2003
<b>Date of National Register Listing</b>	N/A
<b>Applicable Design Guidelines</b>	<i>University of Minnesota Greek Letter Chapter House Historic District Design Guidelines</i> <i>The Secretary of the Interior's Standards for Treatment of Historic Properties</i>

**SITE DESCRIPTION, HISTORY, AND PRESENT USE**

**Property Information:** The project site includes three properties. The property at 316 10<sup>th</sup> Avenue Southeast contains a contributing resource to the University of Minnesota Greek Chapter House Historic District. It is a three-story, gable-roofed building with a stucco exterior. It was originally built in 1886 as a single-family house (Henry Pratt Judson House). Delta Delta Delta purchased the property in 1917. In 1922, the sorority completed a major renovation; however, the exterior alterations from the public street were minimal. As outlined by the district designation study, the house retains its architectural integrity. In December 2012, University Lutheran Chapel purchased the property. The structure is now known as the Luther House.

The other two properties that make up the project site are non-contributing to the University of Minnesota Greek Chapter House Historic District (see attached historic map for contributing properties to the district). The property at 328 University Avenue Southeast (the corner of 4<sup>th</sup> Street Southeast and 10<sup>th</sup> Avenue Southeast), is a surface parking lot. The former residential structure at this address was demolished in 1981. The property at 1010 4<sup>th</sup> Street Southeast contains a structure that was built prior to 1900. Today, it is being used as a 13-room boarding house.

**Previous Proposal:** In 2013, the applicant presented a proposal at a joint City Planning Commission and Heritage Preservation Commission Committee of the Whole meeting. At that time, the church did not own the property at 1010 4<sup>th</sup> Street Southeast. The 2013 proposal was an addition that was attached to the north elevation of the Luther House and took up a majority of the parcel at 328 University Avenue Southeast. The previous addition design had a glass connection that was recessed from the original structure and the rest of the addition. This design and layout created a sense of separation between the historic structure and the proposed addition. No formal application was submitted after the Committee of the Whole review.

**PROJECT DESCRIPTION**

The applicant has changed their design and site layout with the purchase of the property at 1010 4<sup>th</sup> Street Southeast. The applicant is now proposing to tear down the residential structure at 1010 4<sup>th</sup> Street Southeast and build the church addition (approximately 7,200 square feet) that would be stepped back from 10<sup>th</sup> Avenue and retain the existing surface parking lot in place. The new structure is proposed to have a steep gabled roof facing 4<sup>th</sup> Street Southeast and large windows facing both public streets. The new addition would include a partial basement, main level nave, and a second floor choir

loft. At this time, the applicant states that the primary exterior material of the addition would be EIFS/stucco. The applicant states they have revised this proposal to have the addition not compete with the historic structure as well as for cost and building space efficiencies.

## **FEEDBACK AND APPLICATIONS**

**Building placement:** The key item that CPED and the applicant are seeking feedback from the HPC and CPC is on the building placement. The applicant is proposing to set the new addition 80 feet back from 10<sup>th</sup> Avenue Southeast and 13 feet from 4<sup>th</sup> Street Southeast. It is recognized that the surface parking lot at 328 University Avenue Southeast and the property at 1010 4<sup>th</sup> Street Southeast are not contributing properties to the historic district. However, the *Greek Letter Chapter House Historic District Design Guidelines* encourage new buildings to relate to the placement and orientation of adjacent historic buildings and state that parking lots should not be constructed at the front elevation. A site plan review requirement is that the placement of buildings shall reinforce the street wall, maximize natural surveillance and visibility, and facilitate pedestrian access and circulation. The first floor of buildings shall be located not more than eight (8) feet from the front lot line, except where a greater yard is required by this zoning ordinance. In the case of a corner lot, the building wall abutting each street shall be located not more than eight (8) feet from the lot line, except where a greater yard is required by this zoning ordinance.

From a heritage preservation standpoint, CPED recognizes that stepping the building back further may have it compete less with the historic structure than the previous design. However, staff does not see the proposed building placement meeting the intent of the *Greek Letter Chapter House Historic District Design Guidelines*.

From a land use and urban fabric standpoint, CPED sees the previous design or another design that creates a building presence at the intersection of 10<sup>th</sup> Avenue Southeast and 4<sup>th</sup> Street Southeast (rather than stepping the building addition back 80 feet from 10<sup>th</sup> Avenue Southeast and 40 feet from the existing structure) would better contribute to the area. From an urban design standpoint, the building to street relationship is one of the most important elements to consider in a new construction project.

Furthermore, if there is going to be accessory parking as part of the development, CPED prefers that it be located at the interior of the site where its visibility would be more limited. Please note: the current proposal does not show the surface parking lot landscaped and screened. The applicant is aware of the landscaping and screening requirements for surface parking lots if one is proposed at the current location or at the interior of the site.

**Exterior materials.** The applicant is proposing EIFS. The *Greek Letter Chapter House Historic District Design Guidelines* state that acceptable materials are stone, brick, rusticated concrete block, stucco, terra cotta and wood. A site plan review requirement is that exterior materials shall be durable, including but not limited to masonry, brick, stone, stucco, wood, metal, and glass. CPED is not supportive of EIFS based on the site plan review requirements and heritage preservation district guidelines.

**Window placement:** The bottom of the windows in the addition is proposed to be located 6 feet from grade along 10<sup>th</sup> Avenue Southeast and 7.75 feet above grade along 4<sup>th</sup> Street Southeast. The *Greek Letter Chapter House Historic District Design Guidelines* state that windows should be compatible with adjacent historic buildings in their type, size, alignment, and proportion. The site plan review requirement is that the bottom of any window used to satisfy the ground floor window requirement may not be more than four (4) feet above the adjacent grade.

**Entrances:** The applicant is proposing to retain the entrance to the historic structure and to have an entrance to the new addition along 10<sup>th</sup> Avenue Southeast that is setback approximately 80 feet from 10<sup>th</sup> Avenue Southeast. The *Greek Letter Chapter House Historic District Design Guidelines* state that entries should be compatible with adjacent historic buildings in their type, size, alignment, and proportion. The

site plan review requirement is that buildings shall be oriented so that at least one (1) principal entrance faces the public street rather than the interior of the site. In the case of a corner lot, the principal entrance shall face the front lot line. In this case, the front lot line for the lots at 328 4<sup>th</sup> Street Southeast and 1010 4<sup>th</sup> Street Southeast are 4<sup>th</sup> Street Southeast given their original platting.

Based on staff's preliminary review, the following land use applications have been identified:

Heritage Preservation Commission:

- Certificate of appropriateness to allow for the new addition.

City Planning Commission:

- Site plan review
- Variance to reduce the front yard setback from 15 feet to 13 feet.

Additional applications may be required, depending on the plans that the applicant formally submits.

**APPLICABLE POLICIES**

The Marcy Holmes Small Area Plan supports the preservation of the neighborhood's historically designated properties.

The applicable *Greek Letter Chapter House Historic District Guidelines* include Section 8. New Construction and Additions and 9. Parking Lots (see attached).

**ATTACHMENTS**

- Project description
- Zoning map
- University of Minnesota Greek Letter Chapter House Historic District map
- Historic profile in 316 10<sup>th</sup> Avenue Southeast
- University of Minnesota Greek Letter Chapter House applicable guidelines
- Aerials
- Images
- Renderings
- Site plan | floor plans | elevation
- 2013 proposal



11 July 2016

**City of Minneapolis  
Department of CPED**

Attn.: Aaron Hanauer, Senior City Planner  
Public Service Center, Room 300  
250 South 4<sup>th</sup> Street  
Minneapolis, MN 55415  
Ph. 612.673.2494

**Re: University Lutheran Chapel**  
Proposed Building Addition  
316 10<sup>th</sup> Avenue SE  
Minneapolis, Minnesota

Below is a brief summary of the proposed building design, image, and material selection.

**Background Information.**

University Lutheran Chapel has been active in campus ministry at the U of M for more than 80 years (since Feb 18, 1925).

University Lutheran Chapel was previously located at 1101 University Avenue SE. ULC's property was sold by the Minnesota South District to Doran Construction in 2011 to be torn down and replaced with student apartments.

In December 2012, ULC purchased the Faculty House at 316 10<sup>th</sup> Avenue SE. The Faculty House was originally constructed in the 1940's as a U of M Greek Chapter House (Delta Delta Delta Sorority House). University Lutheran Chapel has changed the name from The Faculty House to The Luther House.

In 2014, ULC purchased the property to the east of 316 10<sup>th</sup> Avenue SE. This property address is 1010 4<sup>th</sup> St SE.

**General.**

University Lutheran Chapel is proposing to construct a church addition to the existing building (the Faculty House) they purchased (in December 2012) at 316 10<sup>th</sup> Avenue SE and located in the southeast quadrant at the intersection of 10<sup>th</sup> Avenue SE and 4<sup>th</sup> Street SE in Minneapolis.

The property is zoned R5 Multi Family. A religious institution is allowed.

Existing Building (the Luther House)

The existing Faculty House building consists of approximately 9,000 square feet. The existing building consists of a basement of approximately 2,465 square feet; a main level of approximately 2,465 square feet; a second level of approximately 2,465 square feet; and a third level of approximately 1,500 square feet.

The intent, at this point, is to do as little work to the existing building as possible.

The existing basement level contains storage, electrical, and mechanical spaces. There is also an existing recreation or game room.

The existing main level will become the fellowship hall for the new chapel addition. This will include a kitchen (existing) and a 'Fireside Room' (or informal seating or gathering space). Accessible restrooms will also be located on this floor.

The existing second level is proposed to become office and classroom space. This level will also provide the link or connection to the choir loft of the chapel addition. Minimal work is scheduled for this floor.

The existing third level will not be remodeled at this time.

The existing entry and porch/terrace shall remain.

### Chapel Addition

The proposed addition will consist of approximately 7,200 square feet. The new addition will consist of a partial basement of approximately 610 square feet; a main level of approximately 4,905 square feet; and a second level /choir loft of approximately 1,255 square feet.

The partial basement, at this time, will contain a mechanical/electrical room. Depending on costs, this partial basement might be eliminated. It is proposed that the elevator will not connect to this floor.

The main level will contain the main entries to the Church; the narthex, vertical circulation (stair and elevator), a nave to seat 156, a sacristy on the east side of the chancel, and the chancel.

The second level will contain the choir loft. This floor will overlook the Church and will be connected to the existing second floor of the Luther House.

The new addition is proposed to be placed on the 1010 4<sup>th</sup> Street property. The existing house will be demolished.

Locating the new addition on this parcel rather than over the existing parking lot parcel is because:

- The addition will not compete with the primary façade of the Luther House. The Luther House is in the Greek Chapter Historic District. The new addition is complimentary to the Luther House.
- Construction costs will be lower. Cost will be less because ULC will not need to demolish, relocate, and construct a new parking lot
- The interior layout is efficient with a nice flow from Nave to Narthex to the Luther House. Accessible restrooms are located on the main level.
- The site layout is open to the intersection of 4<sup>th</sup> & 10<sup>th</sup>. It is felt that this provides a better sense of security.

### Parking

There is an existing parking lot in the northwest corner of the 316 property. The existing parking lot is accessed from 10<sup>th</sup> Avenue; the existing curb cut / driveway is proposed to remain.

ULC proposes to keep the existing parking lot. This will help ULC achieve their fundraising goals by not having to incur additional construction costs.

The existing parking lot will contain 20 parking stalls (today the parking lot contains 24 parking stall).

Based on parking requirements, 17 parking stalls will be required.

ULC proposes to improve the image of the existing parking lot by installing a wrought iron fence with brick fence posts. The fence post brick will match the existing Luther House. This help tie the parking, the new addition, and the existing Luther House together.

Additional landscaping would also be included.

### **Variance.**

ULC understands that they will need the following variances:

1. Building setback variance
  - a. While the new addition meets the current Zoning Ordinance for building setbacks, the new addition exceeds the established building setback.

### **Image.**

The proposed Chapel Addition is a traditional design. The current design shows an eifs/stucco transition link between the existing building and the proposed addition; blending the new addition into the existing.

The current intent is to do as little as possible to the existing Luther House exterior.

### **Exterior Materials.**

Building Façade	EIFS / Stucco
Roof/canopy overhangs	Metal fascia/coping with an asphalt shingle roof (to match existing)
Roof Structure	Exposed wood trusses (with exposed wood decking on the interior)
Floor Structure	Concrete slab-on-grade
Wall Structure	Steel studs / Masonry

Construction will start once fundraising has been secured.

Enclosed you will find a proposed site plan, preliminary south exterior elevation, and an existing conditions site plan.

Please call me with any questions.

Sincerely,

Russ Schramm  
Project Manager

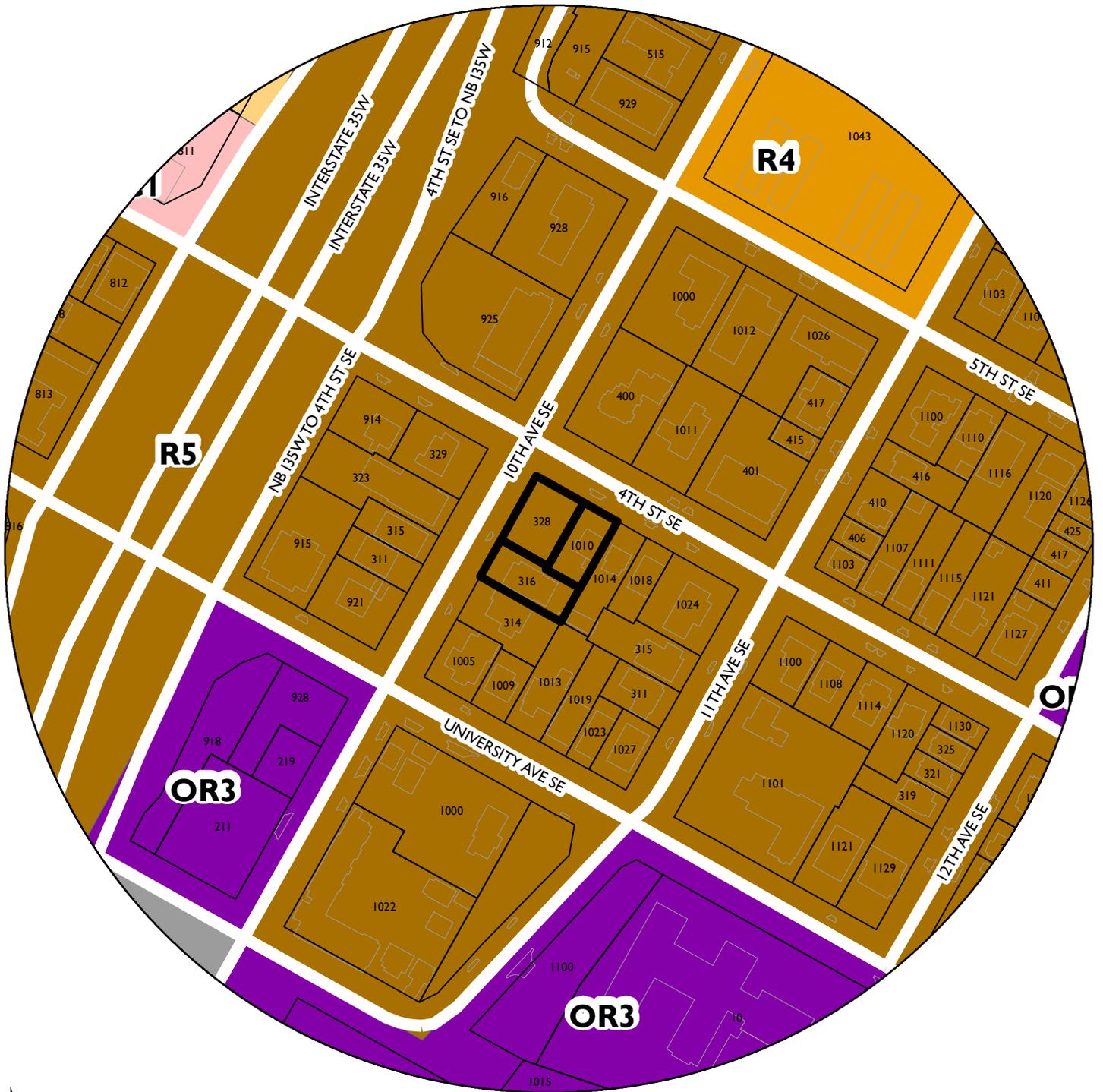
Cc: Reverend David Kind, ULC

# University Lutheran Chapel

3rd

NAME OF APPLICANT

WARD



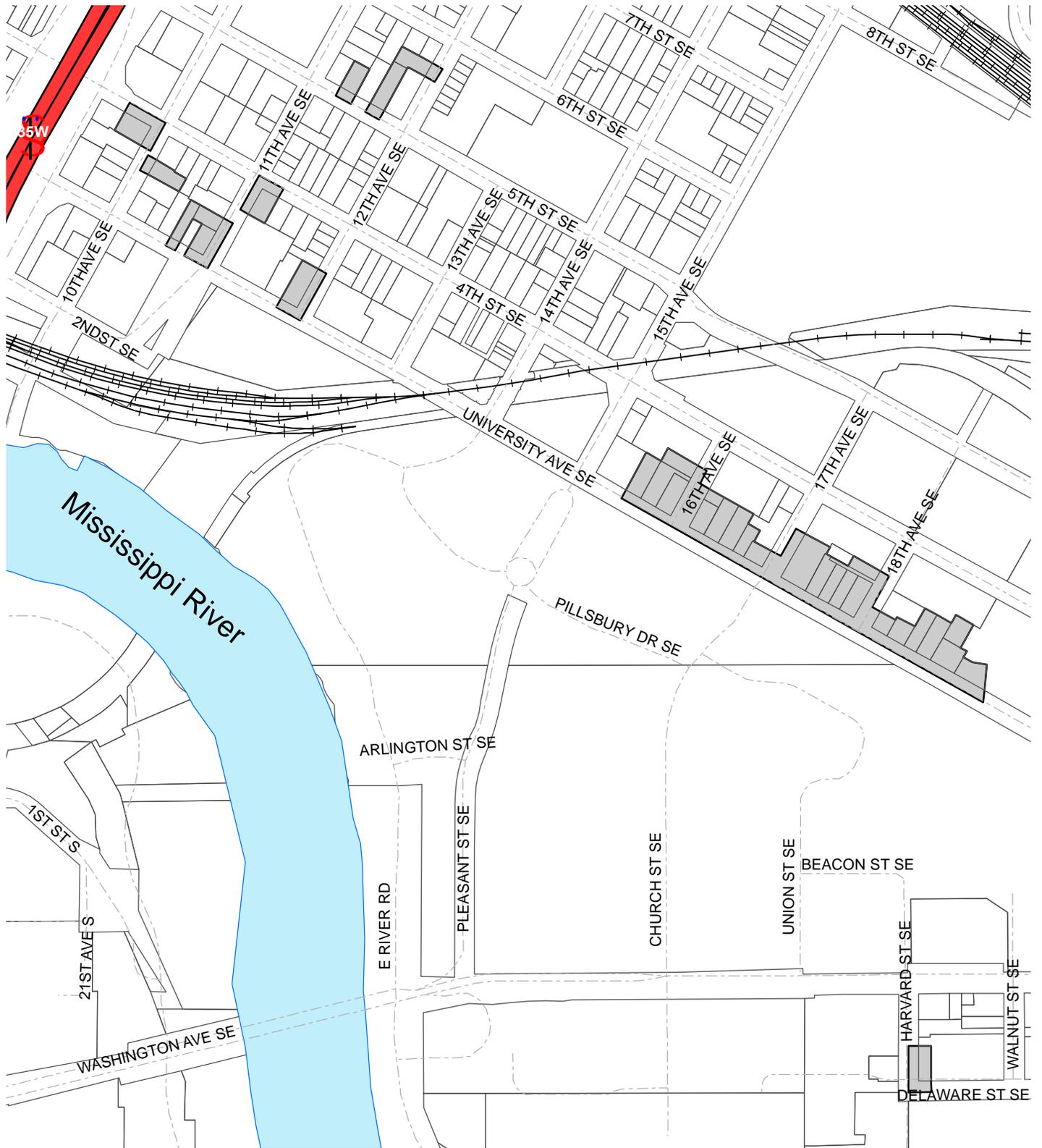
PROPERTY ADDRESS

**316-328 10th Avenue Southeast and 1010 4th Street Southeast**

FILE NUMBER

**N/A**

# University of Minnesota Greek Letter Chapter House Historic District



**University of Minnesota Greek Letter Chapter House Designation Study**  
**Property Inventory Form**

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West elevation. Photo 133. 12/05/02.

**Address:** 316 10th Ave. S.E., Minneapolis, Minnesota  
**PIN:** 24-029-24-31-0051 **Legal:** Lot 4 and 5 Block 28 St Anthony Falls Add.  
**Historic Name:** Harry Pratt Judson House / Delta Delta Delta Sorority  
**Current Name:** Delta Delta Delta Sorority  
**Builder / Contractor:** H.J.A. Reed  
**Original Owner:** Harry Pratt Judson  
**Architect:** original unknown; A. F. Preusch remodeling (1922)  
**Permit #:** B8347 (original); B162123; \$6.800+; (1922 addition); B313x92 (1950 addition)  
**Date of Original Construction** 1886  
**Historic Integrity:** Good; the façade appears to retain many of the historic features from its 1922 chapter house remodeling and present in a 1930 photo.

**SHPO #:** HE-MPC-7155  
**USGS QUAD:** St. Paul W.  
**UTM:** Pending

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### Description

The principal façade of 316 10<sup>th</sup> Ave. S.E. faces west. There is a surface parking lot at the north and the Delta Delta Delta Sorority house at the south.

The chapter house is a three-story, intersecting gable-roofed building with a prominent central chimney and half-timbering in the front gable. The exterior is stucco, with a brick terrac extending the length of the building and a brick watertable on the principal façade. Additions are detailed more simply. A pair of French doors open to the terrace. Windows are of various sizes; most are paired double hung units; some have divided lights in the upper sash. The round-arched entry is trimmed in brick and is sheltered by an arched portico. The rear of the building reveals the gable roofs and some other features of the original 1886 house that was extensively remodeled in 1922.

### Significance

316 10<sup>th</sup> Ave. S.E.—like the chapter house next door at 314—is the result of several remodelings to a single-family dwelling. Like 1601 University Ave. in Fraternity Row Historic District, the façade of this building has not been significantly altered since its initial conversion to chapter house use. The property meets Heritage Preservation Commission criteria 1 and 4 and should receive further evaluation for local designation. (See continuation sheet.)

**University of Minnesota Greek Letter Chapter House Designation Study**

**Property Inventory Form**

**Continuation Sheet    316 10<sup>th</sup> Ave. S.E.**

**Page 2**

In 1886 Harry Pratt Judson, a native of New York, commissioned a 10-room brick house costing about \$6,800. Judson was a U of M history professor. Subsequent owners were Judge Robert Jamieson and Dean George James.

Delta Delta Delta purchased the property in 1917. By 1920, this block of 10<sup>th</sup> Ave., with nearby 5<sup>th</sup> St., was regarded as Sorority Row. In 1922 the sorority made a 40 x10-foot addition and alterations for what the building permit called a "sorority clubhouse." The new façade by A. F. Preusch brought the house in line with the Period Revival styles then favored by Greek chapter houses. Another addition was made in 1950. (See "Delta Delta Delta Sorority House Cost \$20,000; Worth \$30,000 Owners Declare," *Minneapolis Journal* 25 Feb. 1923, Business, Markets and Real Estate Section.)

Delta Delta Delta was founded at Boston University in 1888 and at the University of Minnesota in 1894. Prior to this location they were at 1703 4<sup>th</sup> St. S.E.

**Historic photos:** *Minnesota Gopher* 1930 (p. 462).

**University of Minnesota  
Greek Letter Chapter House Historic District**

**Design Guidelines**



*Alpha Tau Omega Fraternity, 1821 University Avenue, ca. 1925.*

**Minneapolis Heritage Preservation Commission  
2004**

*Lighting, continued*

c. No part of the historic facade should be irreversibly damaged or altered in the installation of lighting. Electrical conduit and other hardware should be concealed and not be installed across the building facade.

**8. NEW CONSTRUCTION AND ADDITIONS**

*New Construction*

a. New buildings should relate to the placement and orientation of adjacent historic buildings. To reinforce the historic streetscape, new buildings should maintain the setback of existing historic buildings.

b. New buildings should relate to the scale, size, height, massing, and materials of adjacent historic buildings and the streetscape. Acceptable exterior materials include stone, brick, rusticated concrete block, stucco, terra cotta and wood.

c. Pitched or flat roofs should be compatible with historic buildings in the adjacent streetscape. All roofs should have appropriately detailed parapets and/or cornices.

d. Facades should maintain the traditional multi-story division of adjacent buildings, usually including an articulated entry-level base, an upper facade with appropriately spaced windows, and a well-defined roofline.

e. Windows, entries, and other openings should be compatible with adjacent historic buildings in their type, size, alignment, and proportion.

f. Large residential buildings with few entries are traditional in the district. Rowhouse-style buildings with multiple single entries and porches are not compatible.

*Additions*

a. Additions to existing historic buildings should not be placed on principal elevations. Where the rear or side elevation allows placement of an addition, the new construction should preserve the form and character of the original building. Additions should be located so as not to damage important historic architectural features and details of the original building.

b. New additions should not exactly replicate the historic building but should be a contemporary design that is compatible with the existing scale, height, massing, materials, and details of the original building and surrounding streetscape. In the case of some larger additions, it should be possible to discern the historic building from the new construction.



*Historic fraternity buildings often have rear additions.  
Such construction should not cover principal elevations.*

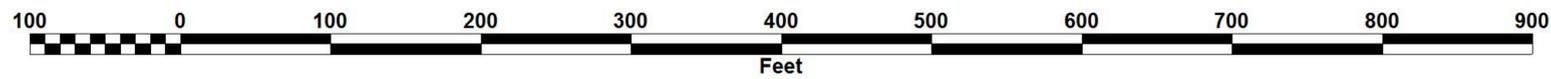
c. New windows and entries should be compatible with those on the original building and surrounding historic buildings in type, size, alignment, orientation, and proportion. Whenever possible, ADA ramps and entrances should be placed at the rear of the building.

## **9. PARKING LOTS**

- a. Parking lots should not be constructed at the front elevation.
- b. When required, parking lots at the rear and side elevations should be screened with landscaping, low masonry walls, or iron or steel fencing of appropriate design.

## **10. LANDSCAPE DESIGN**

- a. Historic masonry retaining walls should be conserved.
- b. New retaining walls should be compatible with the character of the building and surrounding area. Stone, brick, and rusticated concrete block with a square or rectangular profile are acceptable materials for new walls. In some cases, stamped concrete and stucco are acceptable choices.
- c. Pressure-treated and other timber retaining walls are not acceptable.
- d. Wood fences are acceptable at the rear and at non-principal elevations.
- e. New steps should be compatible with the building façade and historic precedent. Masonry steps should not be replaced with timbers.
- f. Existing lawn at the principal elevation should not be landscaped with berms, timbers, or boulders.





Subject building along 10th Avenue Southeast



Subject property and building near the intersection of 10th Avenue Southeast and 4th Street Southeast

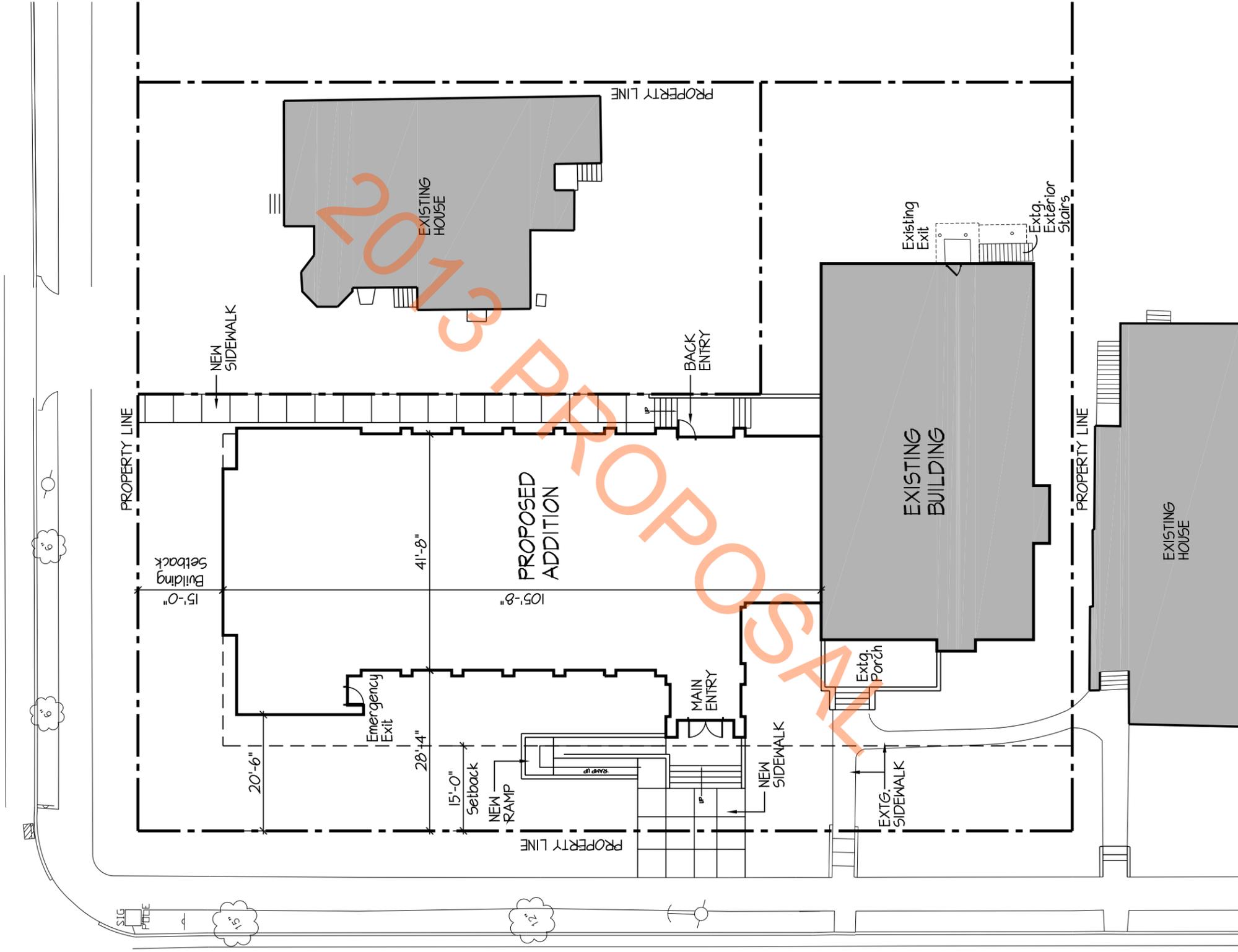


Delta Delta Delta Sorority (316 10th Avenue Southeast)



1010 4th Street Southeast (proposed to be demolished)

4th Street



10th Avenue

**SITE PLAN**  
1"=20'-0"



SHEET:

**A1.1**

PROJECT #: 12152

DATE: 3-18-13

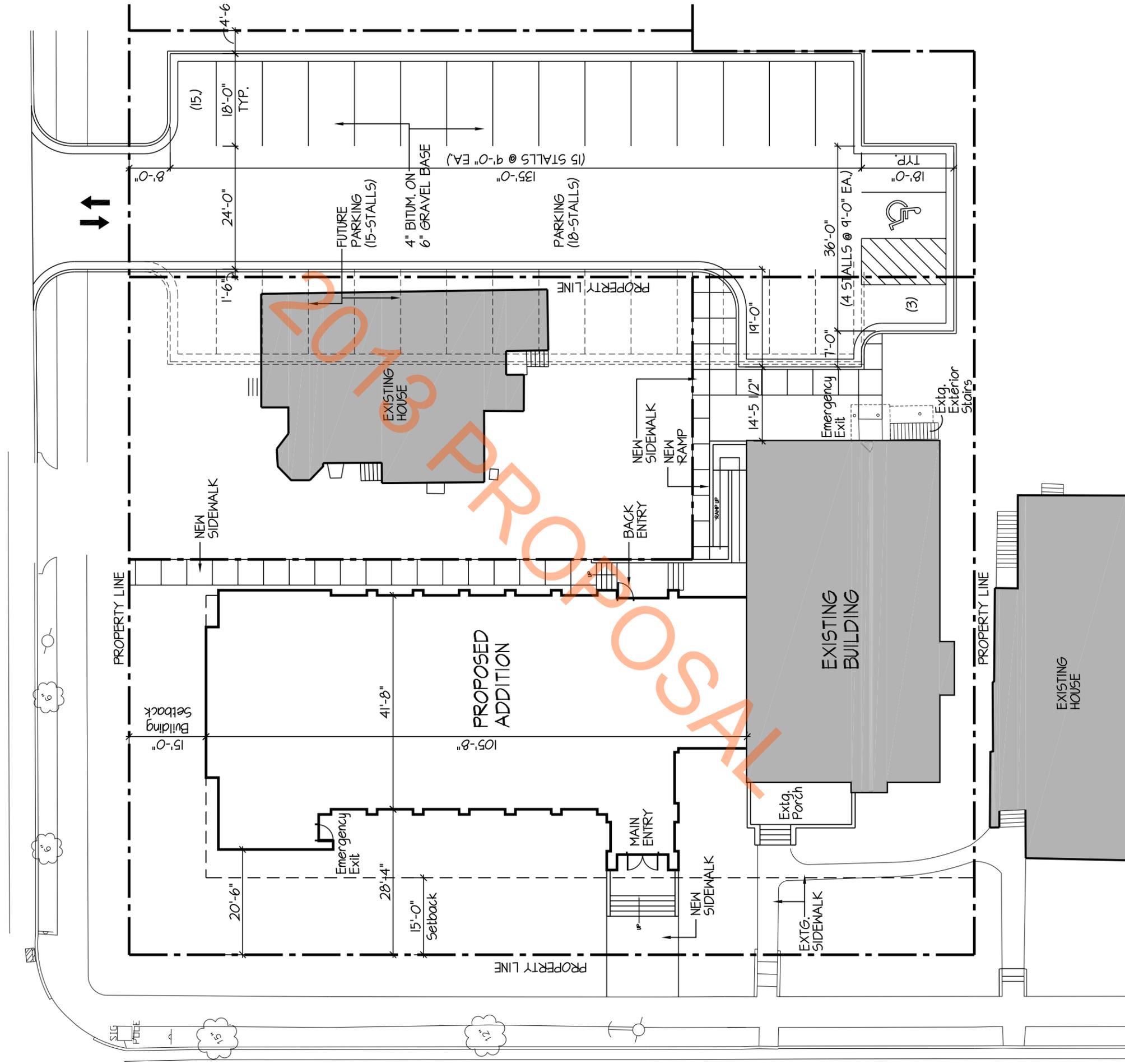
CITY SUBMITTAL

*UNIVERSITY LUTHERAN CHAPEL*  
**PROPOSED BUILDING ADDITION**  
*MINNEAPOLIS, MINNESOTA*

9300 Hennepin Town Road  
Minneapolis, MN. 55347  
Tel: 952.278.8880  
Fax: 952.278.8822



4th Street



1 SITE PLAN- FUTURE  
A1.1 1"=20'-0"



SHEET:

**A1.1**

PROJECT #: 12152

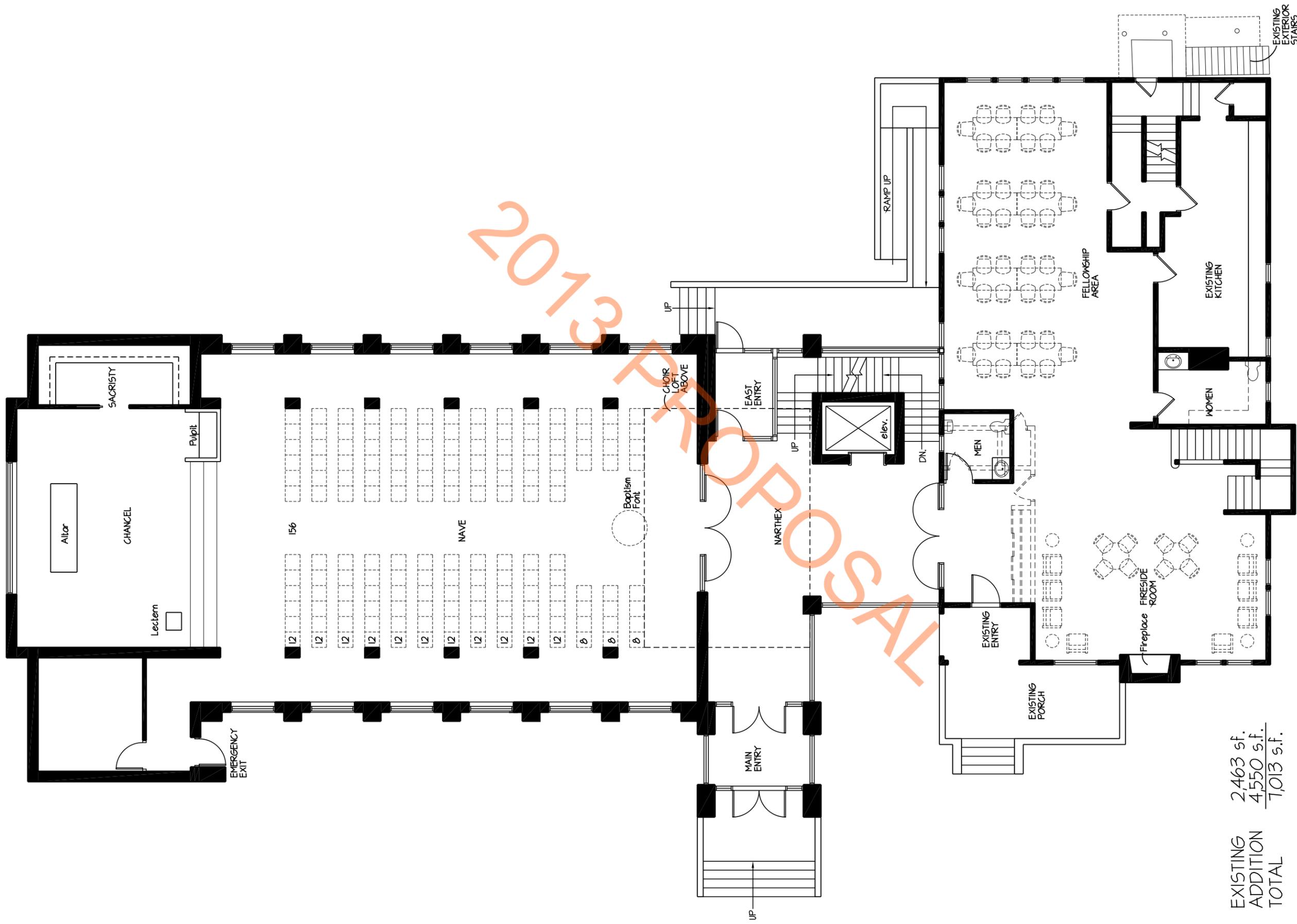
DATE: 3-18-13

CITY SUBMITTAL

UNIVERSITY LUTHERAN CHAPEL  
PROPOSED BUILDING ADDITION  
MINNEAPOLIS, MINNESOTA

9300 Hennepin Town Road  
Minneapolis, MN. 55347  
Tel: 952.278.8880  
Fax: 952.278.8822

**HTG**  
architects  
www.htg-architects.com



EXISTING 2,463 sf.  
 ADDITION 4,550 s.f.  
 TOTAL 7,013 s.f.

**1**  
**A2.2** MAIN LEVEL PLAN  
 3/32" = 1'-0"



SHEET:

**A2.2**

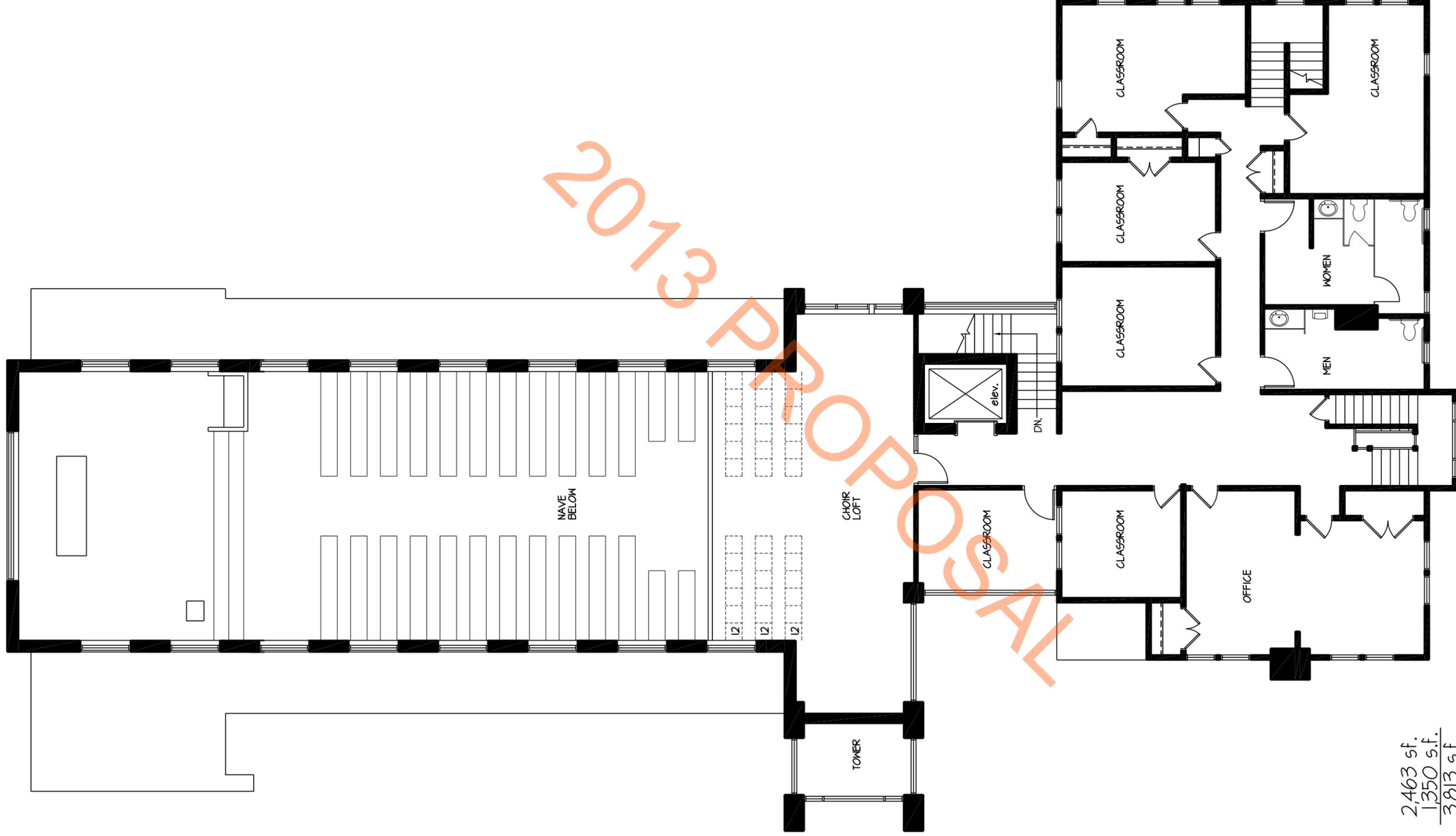
PROJECT #: 12152  
 DATE: 3-18-13  
 CITY SUBMITTAL

UNIVERSITY LUTHERAN CHAPEL  
 PROPOSED BUILDING ADDITION  
 MINNEAPOLIS, MINNESOTA

9300 Hennepin Town Road  
 Minneapolis, MN. 55347  
 Tel: 952.278.8880  
 Fax: 952.278.8822



2013 PROPOSALS



EXISTING 2,463 sf.  
 ADDITION 1,350 s.f.  
 TOTAL 3,813 s.f.

**1**  
 A2.3 UPPER LEVEL PLAN  
 3/32" = 1'-0"



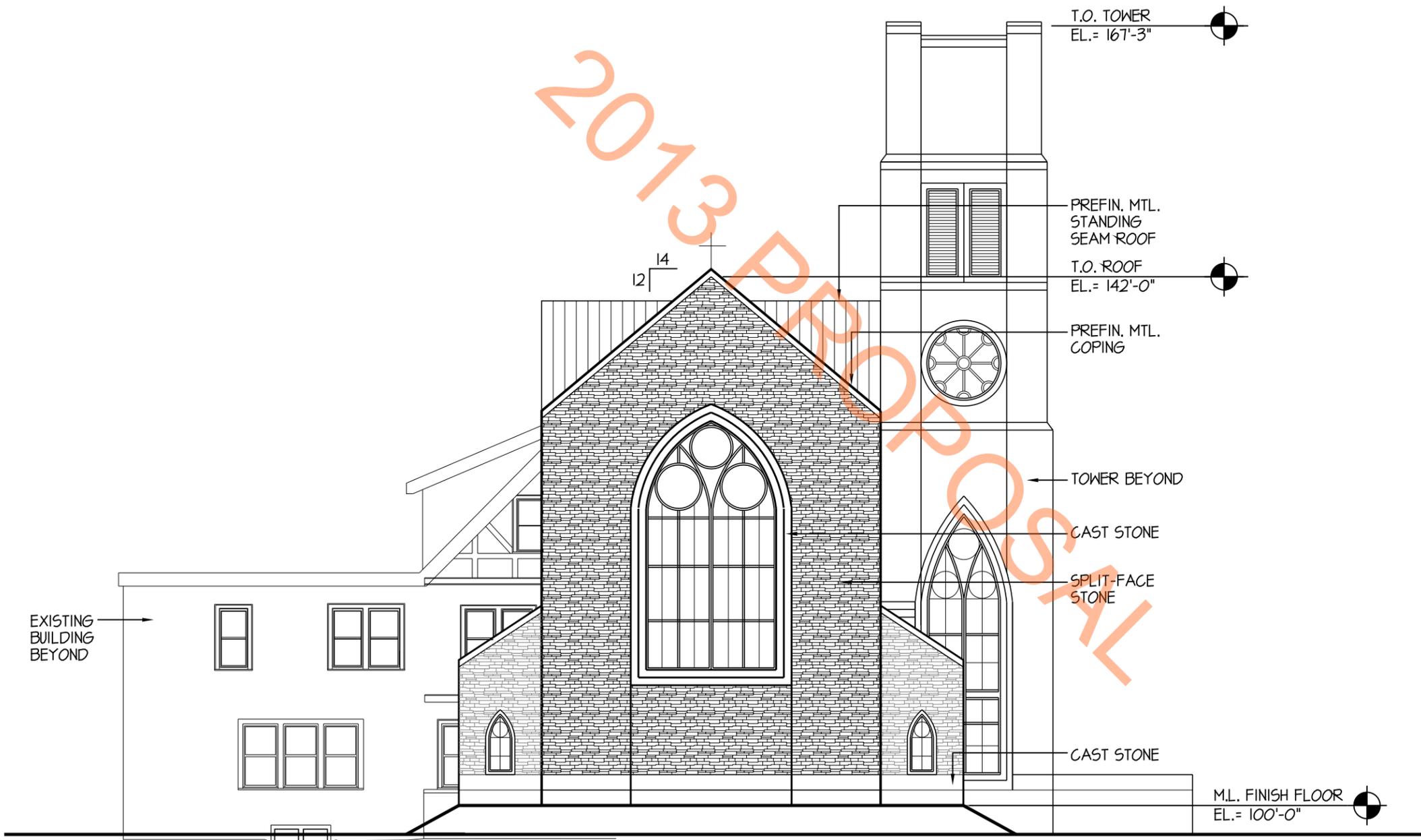
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**A2.3**

PROJECT #: 12152  
 DATE: 3-18-13  
 CITY SUBMITTAL

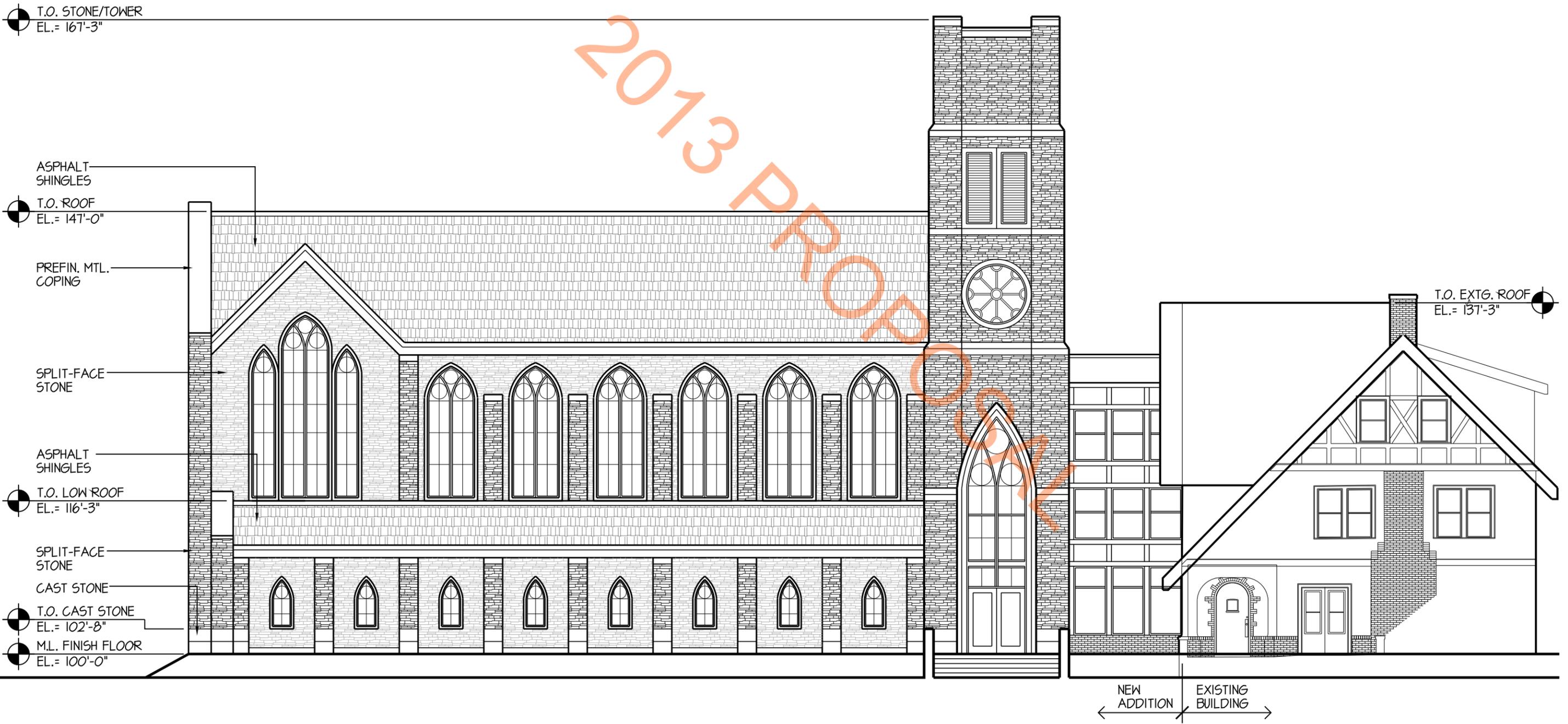
UNIVERSITY LUTHERAN CHAPEL  
 PROPOSED BUILDING ADDITION  
 MINNEAPOLIS, MINNESOTA

9300 Hennepin Town Road  
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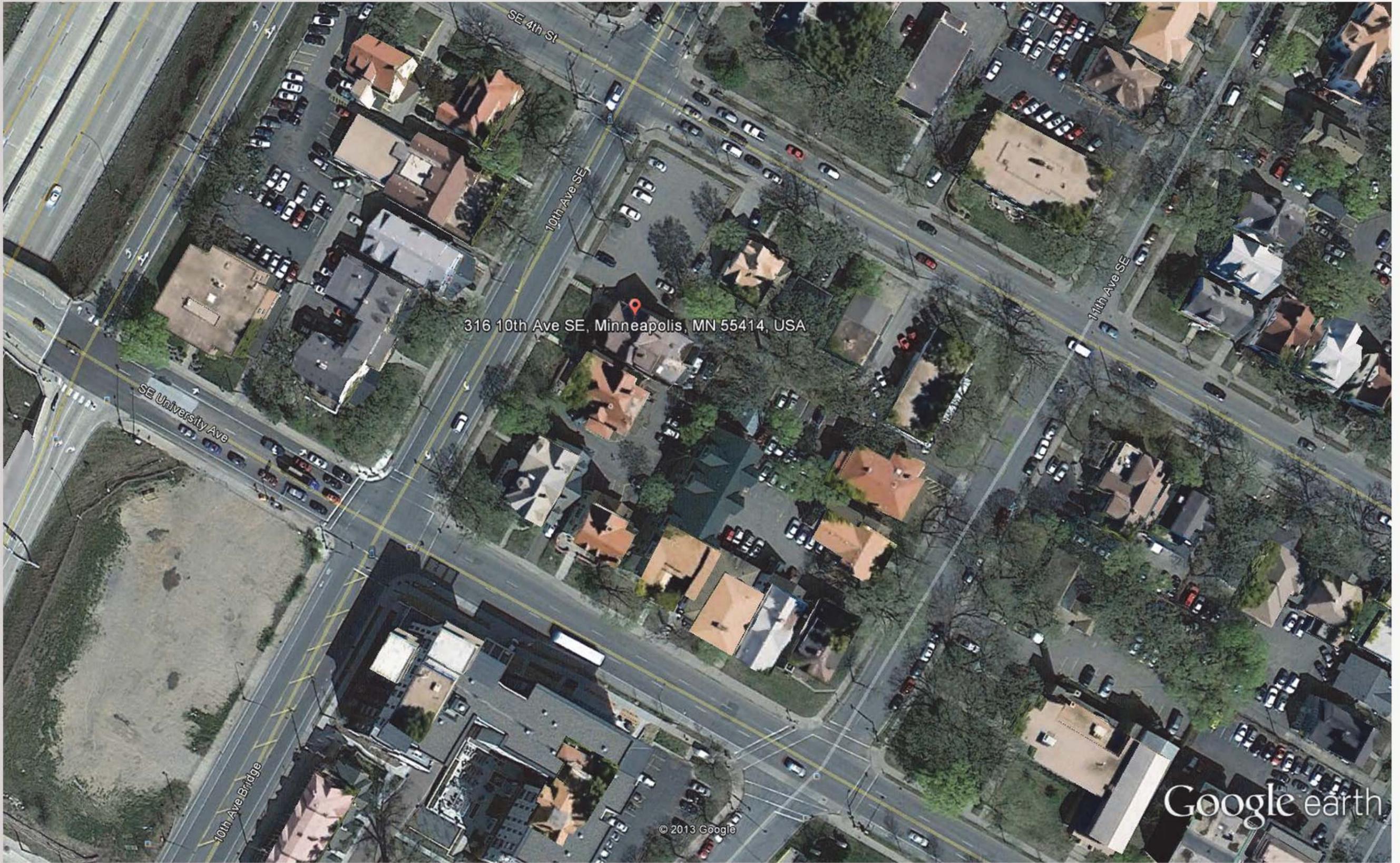




1 NORTH EXTERIOR ELEVATION  
 A3.1 3/32"=1'-0"



**1** EAST EXTERIOR ELEVATION  
A3.2 3/32"=1'-0"



316 10th Ave SE, Minneapolis, MN 55414, USA

Google earth

© 2013 Google

Google earth feet meters

1000  
500

AERIAL MAP

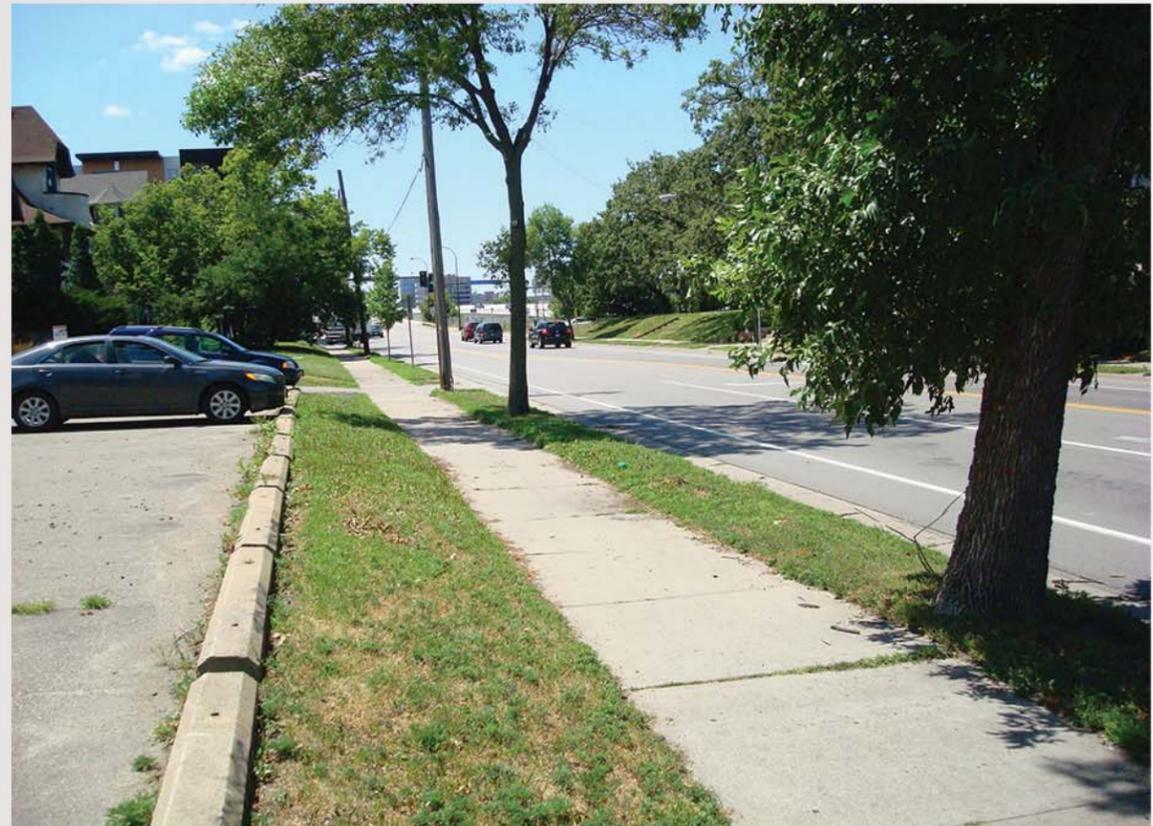
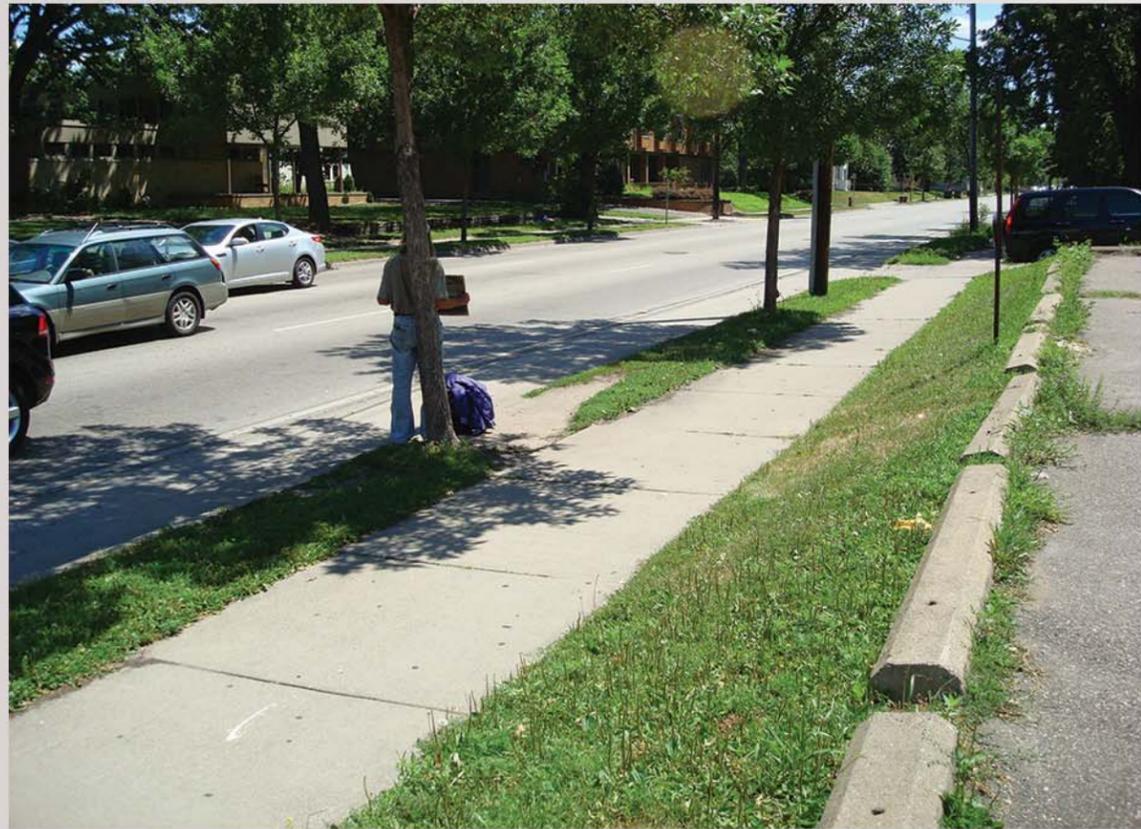
University Lutheran Chapel

Minneapolis, MN

July 11, 2016



htg-architects.com



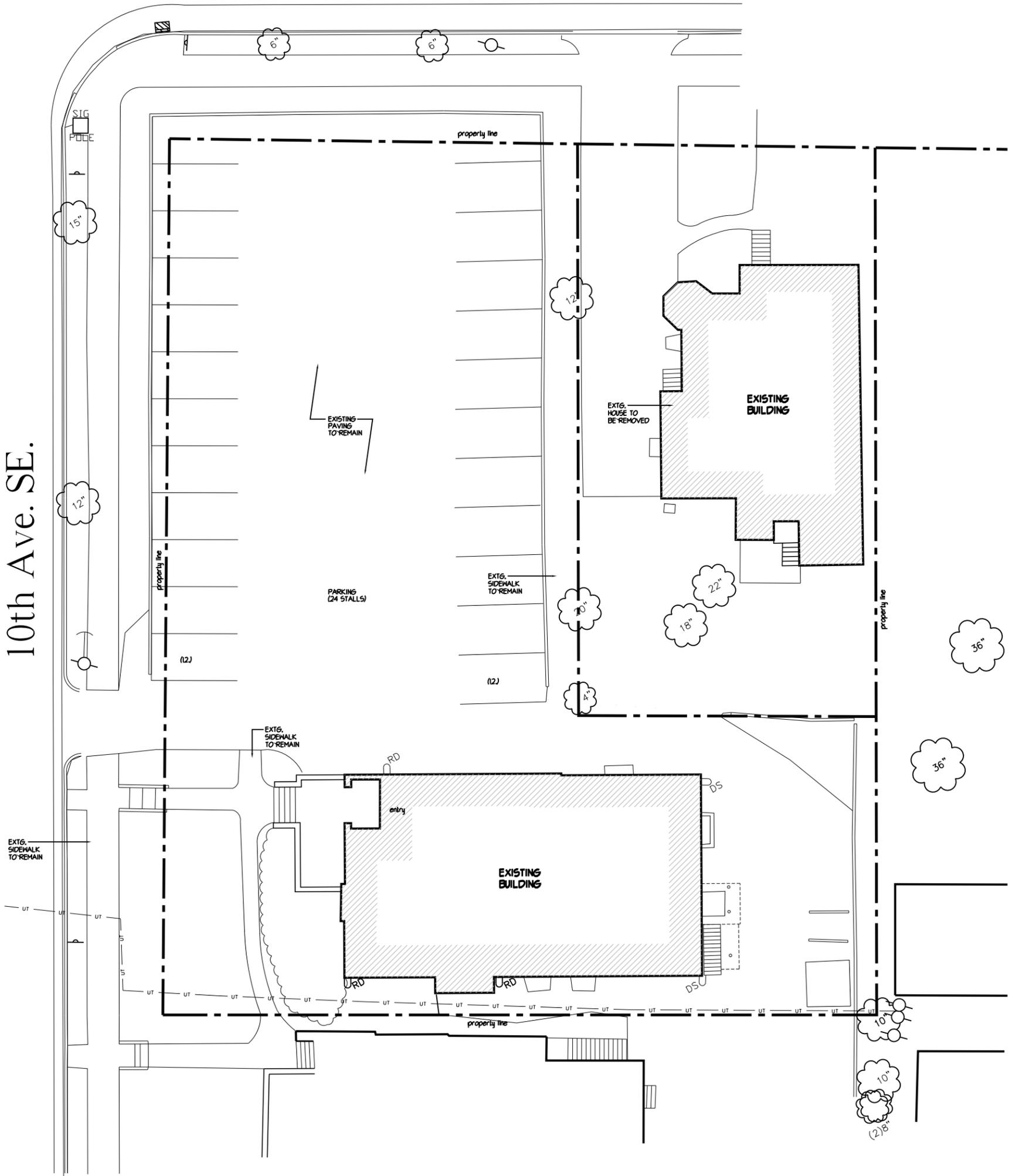






SE. 4th St.

10th Ave. SE.



EXISTING SITE PLAN  
 1"=20'-0"



SHEET: **EXTG**

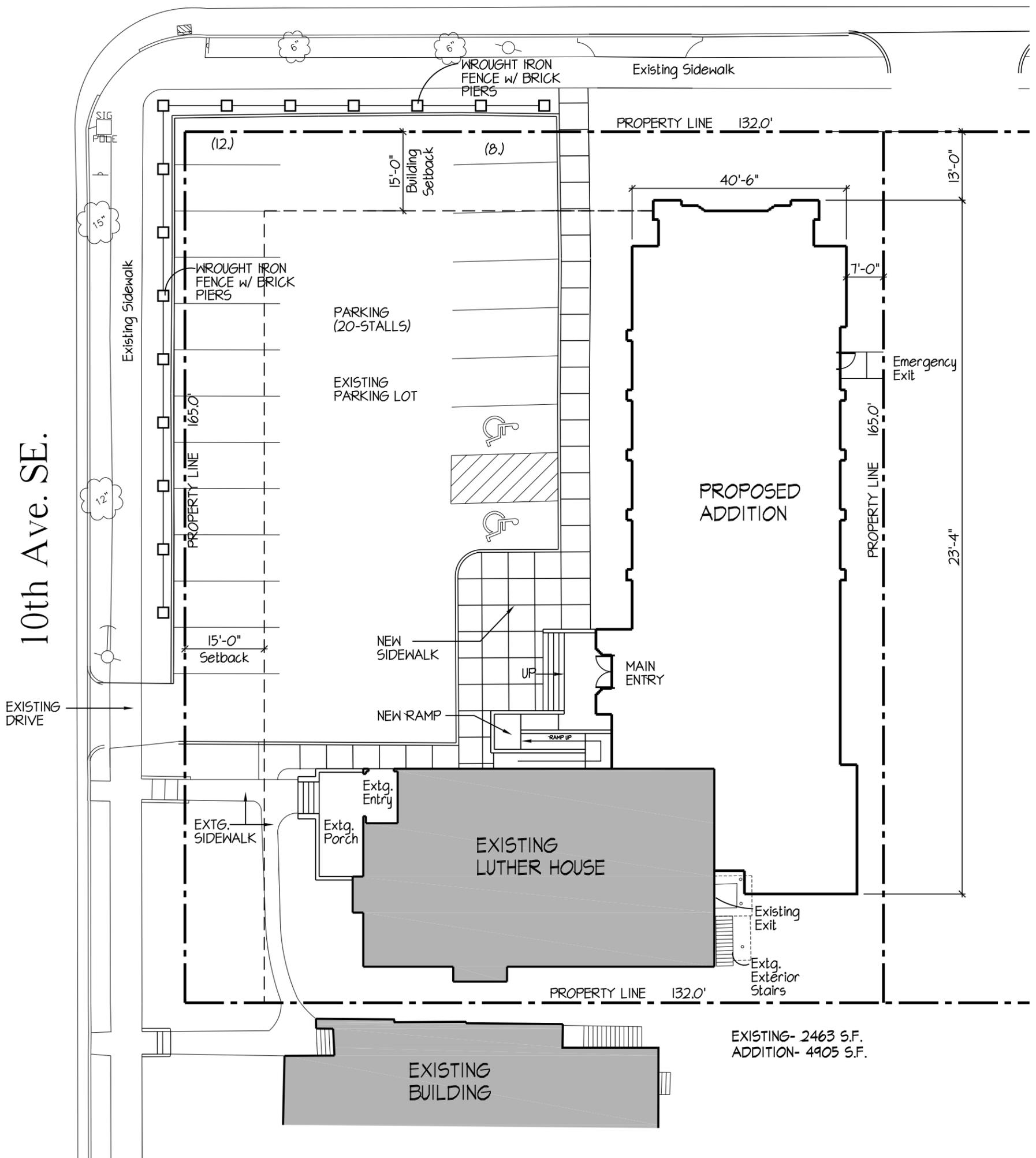
PROJECT #: 12152  
DATE: 7-11-16

**UNIVERSITY LUTHERAN CHAPEL**  
**PROPOSED ADDITION**  
MINNEAPOLIS, MINNESOTA

9300 Hennepin Town Road  
Minneapolis, MN. 55347  
Tel: 952.278.8880  
Fax: 952.278.8822

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architects  
www.htg-architects.com

SE. 4th St.



EXISTING- 2463 S.F.  
ADDITION- 4905 S.F.

# PRELIMINARY SITE PLAN



1"=20'-0"



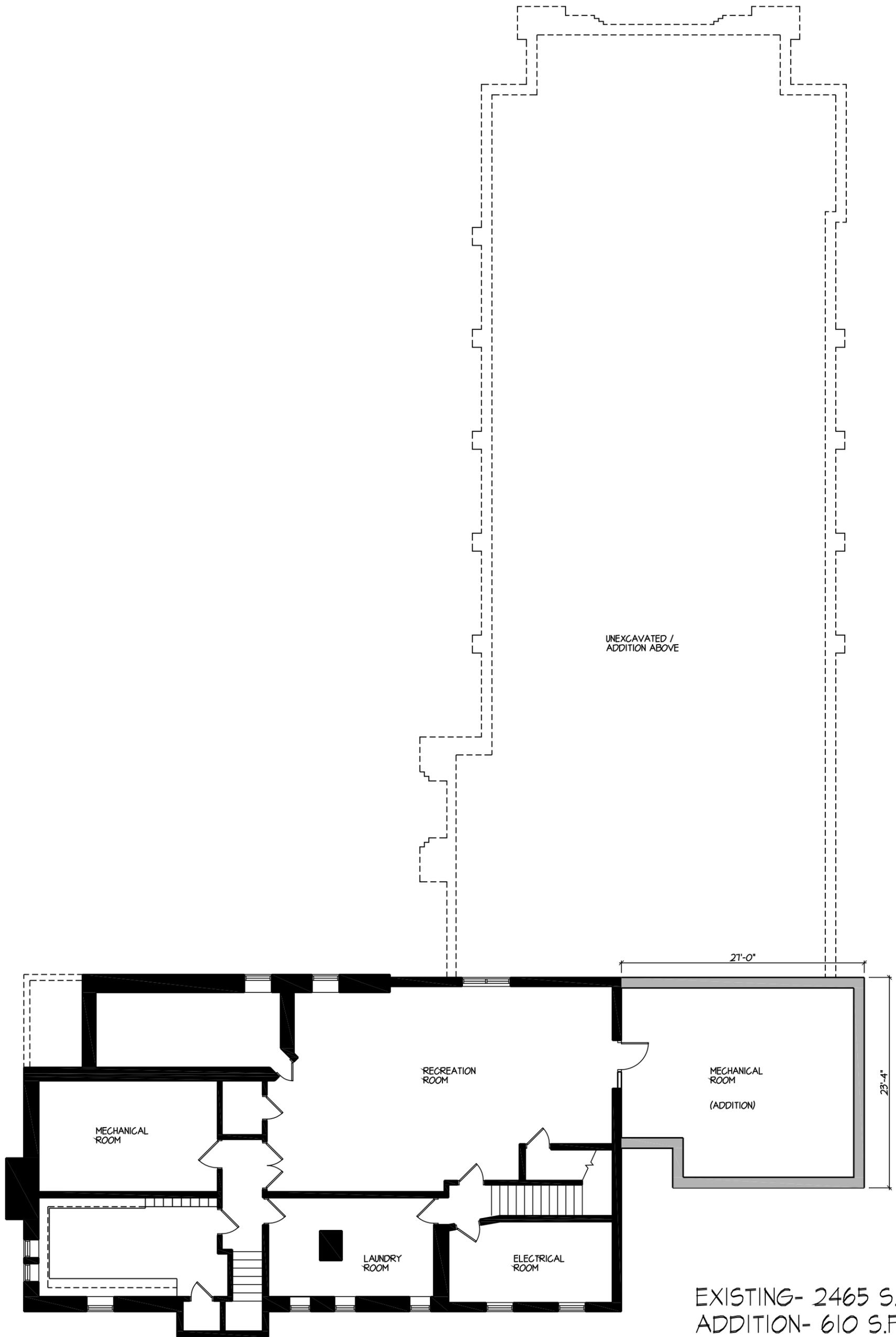
SHEET:  
**A1.1**

PROJECT #: 12152  
DATE: 7-11-16

**UNIVERSITY LUTHERAN CHAPEL**  
**PROPOSED ADDITION**  
MINNEAPOLIS, MINNESOTA

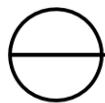
9300 Hennepin Town Road  
Minneapolis, MN. 55347  
Tel: 952.278.8880  
Fax: 952.278.8822

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PRELIMINARY LOWER LEVEL PLAN

3/32" = 1'-0"



SHEET:  
**A2.1**

PROJECT #: 12152  
DATE: 7-11-16

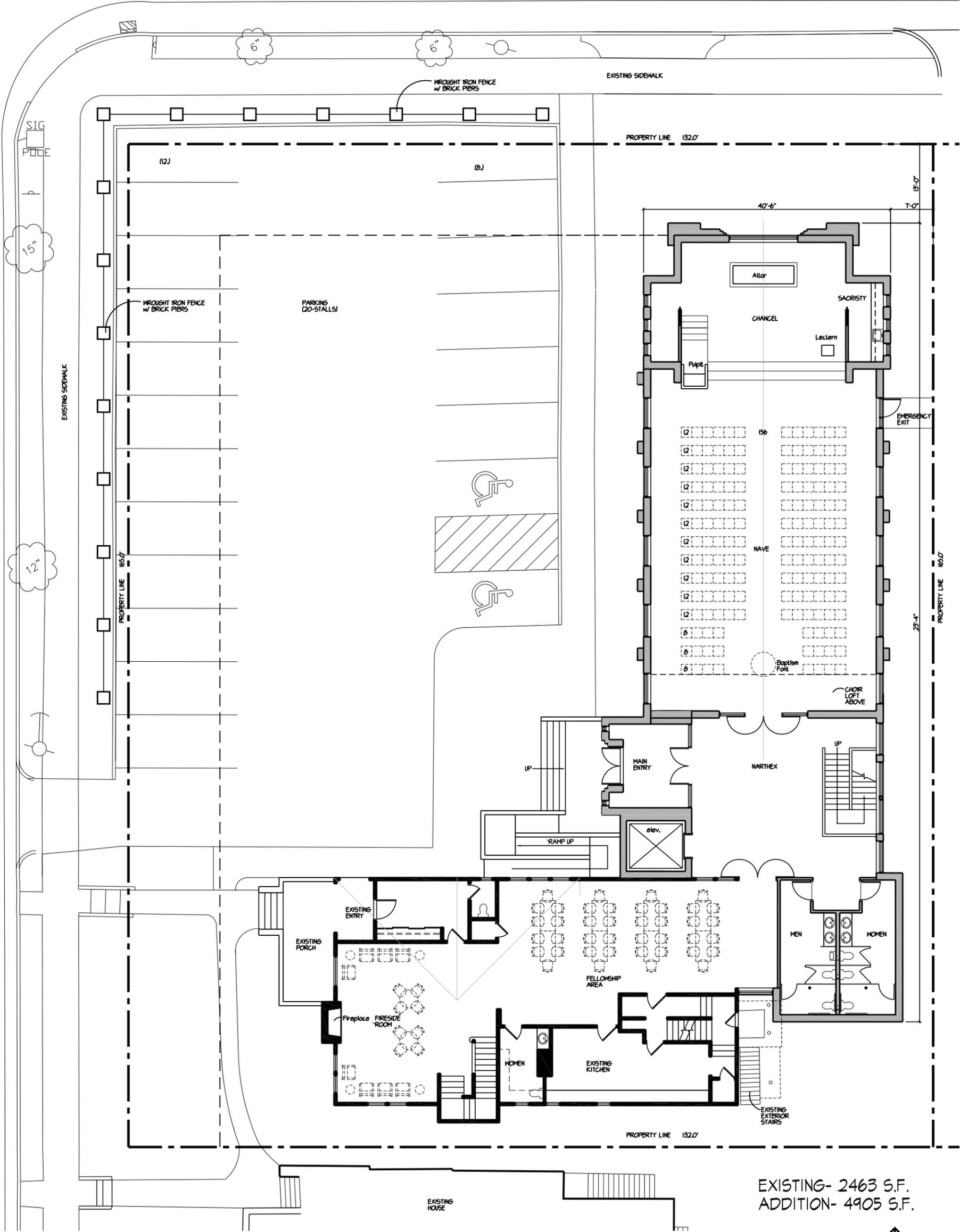
**UNIVERSITY LUTHERAN CHAPEL**  
**PROPOSED ADDITION**  
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SE. 4th St.

10th Ave. SE.



EXISTING- 2463 S.F.  
ADDITION- 4905 S.F.

# PRELIMINARY MAIN LEVEL PLAN

1/16" = 1'-0"

SHEET:  
**A2.2**

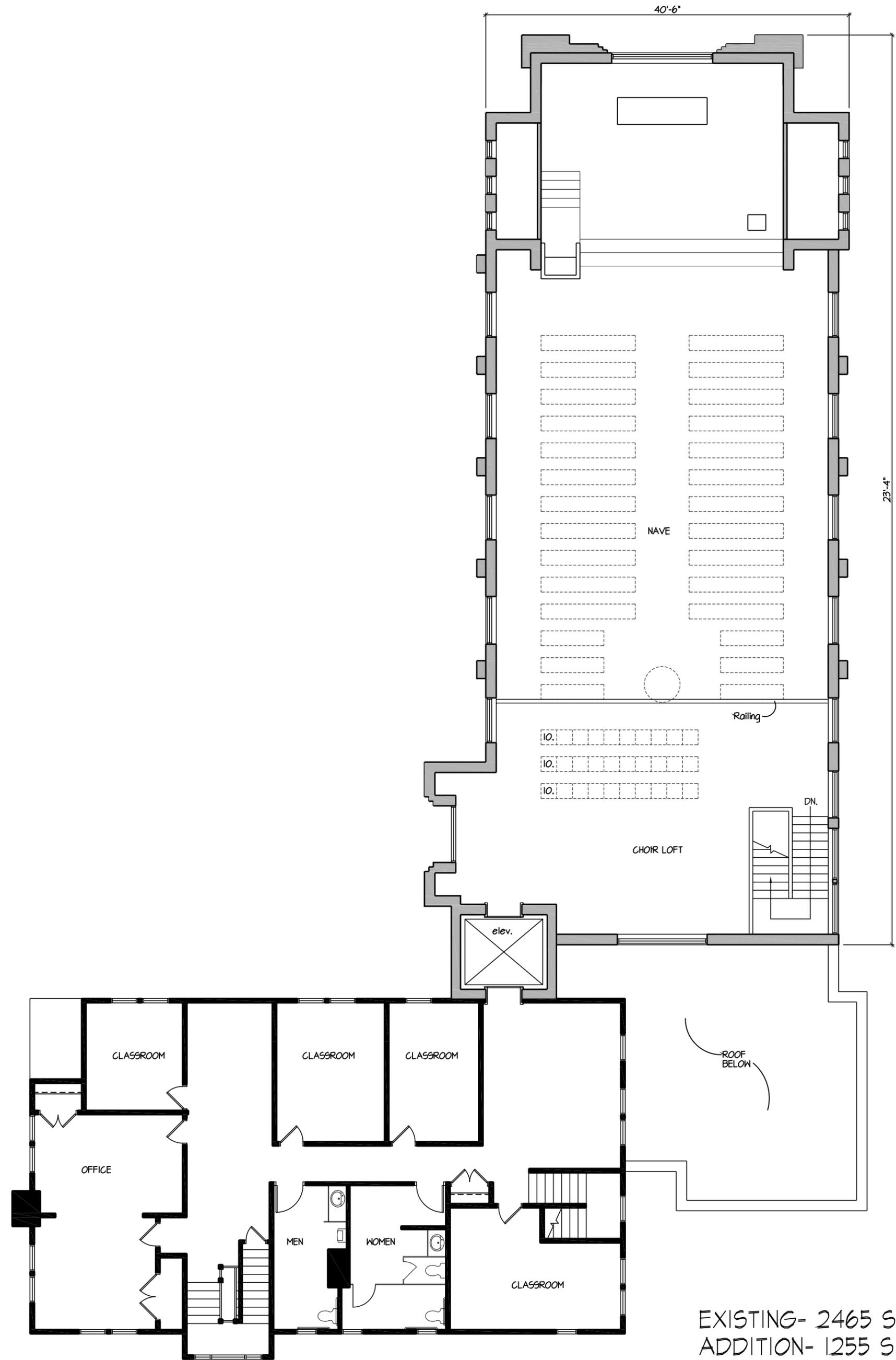
PROJECT #: 12152  
DATE: 7-11-16

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PRELIMINARY UPPER LEVEL PLAN

3/32" = 1'-0"

SHEET:  
**A2.3**

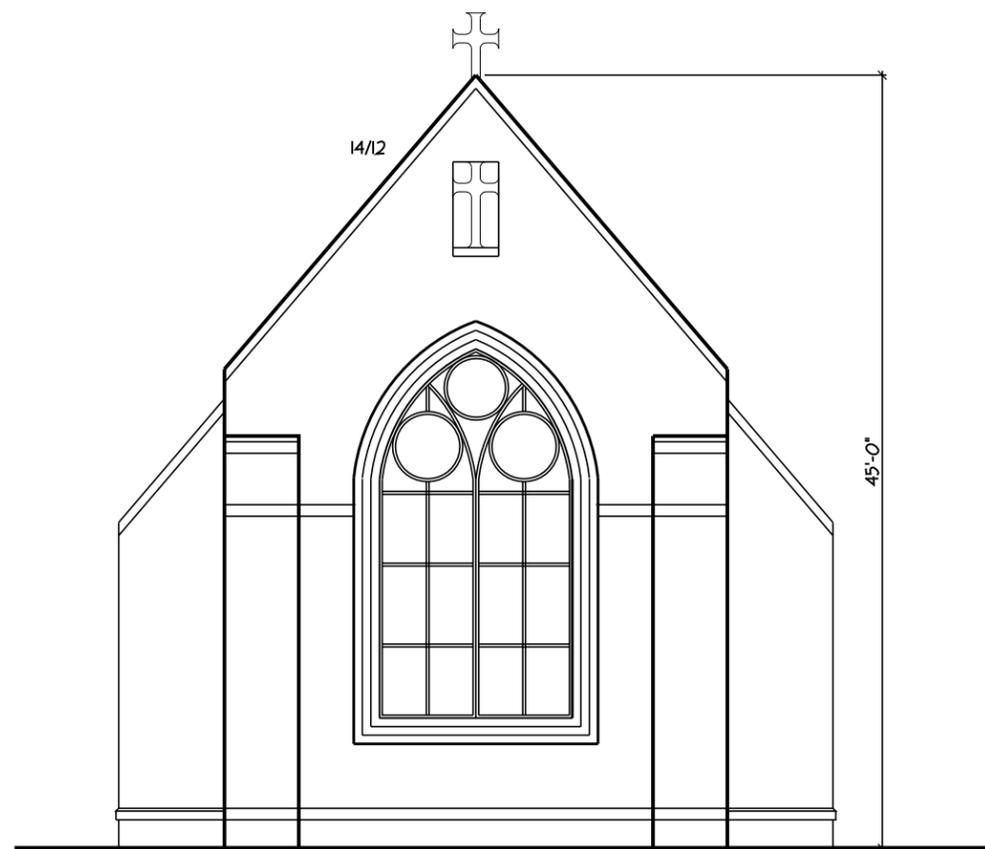
PROJECT #: 12152  
DATE: 7-11-16

**UNIVERSITY LUTHERAN CHAPEL**  
**PROPOSED ADDITION**  
MINNEAPOLIS, MINNESOTA

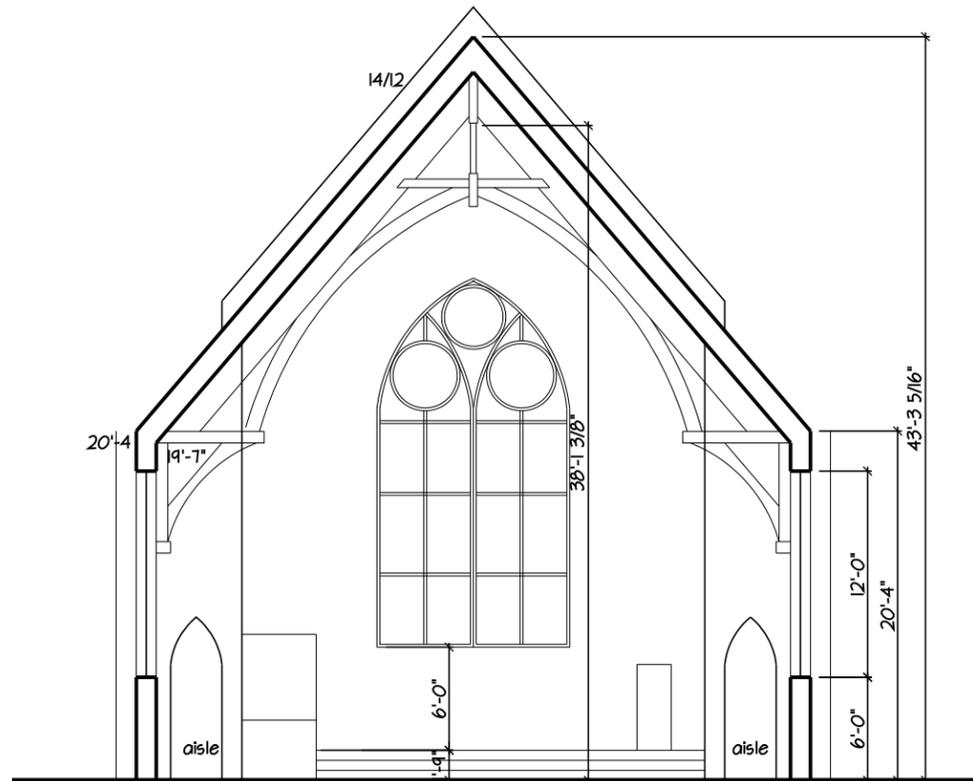
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1 NORTH EXTERIOR ELEVATION  
A3 3/32" = 1'-0"



2 CONCEPTUAL SECTION  
A3 3/32" = 1'-0"



3 PRELIMINARY WEST EXTERIOR ELEVATION  
A3 3/32" = 1'-0"



BIRD'S EYE RENDERING



FRONT VIEW RENDERING



STREET LEVEL RENDERING

University Lutheran Chapel

Minneapolis, Minnesota

July 11, 2016



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EXTERIOR FENCE RENDERING



| INTERIOR RENDERING