



LAND USE APPLICATION SUMMARY

Property Location: 419 Lake St E
Project Name: Lake Plaza
Prepared By: Shanna Sether, Senior City Planner, (612) 673-2307
Applicant: Basim Sabri
Project Contact: Brian Houwman
Request: To construct an addition and new parking garage for an existing shopping center.

Required Applications:

Conditional Use Permit	Amendment for an addition and new parking garage for an existing shopping center in the C2 District.
Site Plan Review	For an addition and parking ramp.

SITE DATA

Existing Zoning	C2 Neighborhood Corridor Commercial District
Lot Area	48,221 square feet / 1.11 acres
Ward(s)	9
Neighborhood(s)	Central Area Neighborhood Development Organization; adjacent to Phillips West
Designated Future Land Use	Mixed Use
Land Use Features	Commercial Corridor (E Lake St)
Small Area Plan(s)	<u>Midtown Greenway Land Use and Development Plan (2005)</u>

Date Application Deemed Complete	July 5, 2016	Date Extension Letter Sent	Not applicable
End of 60-Day Decision Period	September 3, 2016	End of 120-Day Decision Period	Not applicable

BACKGROUND

SITE DESCRIPTION AND PRESENT USE. The building at 417 East Lake Street was utilized as a thrift store until late 2002. The Planning Commission approved a conditional use permit, gross floor area variance, and a site plan review (BZZ-893) on December 9, 2002 to allow this building to be converted into a shopping center (retail and restaurant uses). A final site plan was approved on January 8, 2003 (PW#7268).

SURROUNDING PROPERTIES AND NEIGHBORHOOD. The surrounding properties include commercial/retail, shopping centers, warehouse and minor automobile repair uses along East Lake St. South of the property, there are low-density residential uses.

PROJECT DESCRIPTION. The existing building is a shopping center with restaurants and retail spaces on the first floor and a reception meeting hall on the second floor. The applicant recently requested a building permit to convert the reception meeting hall to retail spaces and the permit has received zoning approval.

The applicant is proposing an addition to the existing shopping center and a new parking ramp, where the existing surface parking lot exists. The applicant has adjusted the setback of the ramp to meet the front yard setback; however, updated plans are not available for the remainder of the project. Therefore, staff is recommending continuing the project one-cycle, to the August 15, 2016, planning commission meeting.

RELATED APPROVALS.

Planning Case #	Application	Description	Action
BZZ-1541	CUP to extend hours, parking variance, fence height variance and site plan review	New reception or meeting hall	The CPC granted partial approval 2/23/2004.
BZZ-893	CUP, GFA variance and site plan review	Convert from retail to shopping center	The CPC approved the applications 12/9/2002.

PUBLIC COMMENTS. Staff has not received public comments at the time of preparing the staff report. Any correspondence received prior to the public meeting will be forwarded on to the Planning Commission for consideration.

RECOMMENDATIONS

The Department of Community Planning and Economic Development recommends that the City Planning Commission accept the staff recommendation for the applications by Brian Houwman for the property located at 419 Lake St E:

A. Conditional Use Permit Amendment for an addition and new parking garage for an existing shopping center in the C2 District

Recommended motion: **Continue** the application for a conditional use permit to the August 15, 2016, city planning commission public hearing.

B. Site Plan Review.

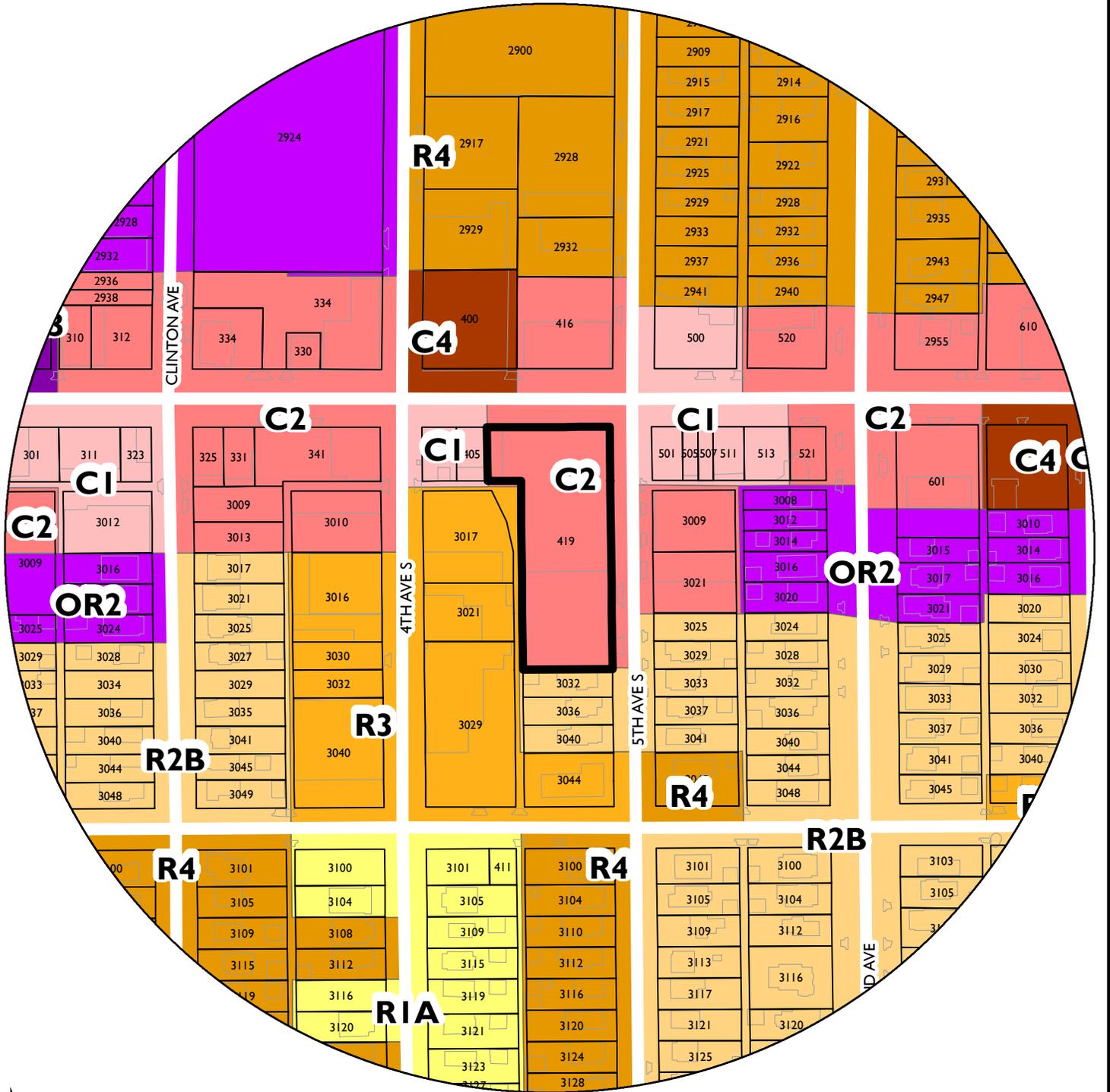
Recommended motion: **Continue** the application for a conditional use permit to the August 15, 2016, city planning commission public hearing.

ATTACHMENTS

- I. Zoning map

NAME OF APPLICANT

WARD



PROPERTY ADDRESS
419 Lake Street East

FILE NUMBER
BZZ-7734