



# CPED STAFF REPORT

Prepared for the Heritage Preservation Commission  
 HPC Agenda Item #1  
 August 9, 2016  
 BZH-29243

## HERITAGE PRESERVATION APPLICATION SUMMARY

*Property Location:* 2507 1<sup>st</sup> Avenue South  
*Project Name:* New Single-Family House and Detached Garage  
*Prepared By:* Suado Abdi, City Planner, (612) 673-2467  
*Applicant:* Ashish Aggarwall  
*Project Contact:* Ryan Schleper  
*Ward:* 10  
*Neighborhood:* Whittier  
*Request:* To construct a two-story single-family house and detached garage  
*Required Applications:*

<b>Certificate of Appropriateness</b>	To allow the construction of a two-story single-family house and detached two-car garage in the Washburn-Fair Oaks Historic District.
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## HISTORIC PROPERTY INFORMATION

<b>Current Name</b>	None
<b>Historic Name</b>	None
<b>Historic Address</b>	2507 1 <sup>st</sup> Avenue South
<b>Original Construction Date</b>	None
<b>Original Architect</b>	None
<b>Original Builder</b>	None
<b>Original Engineer</b>	None
<b>Historic Use</b>	Residence
<b>Current Use</b>	Vacant Lot
<b>Proposed Use</b>	Residence

<b>Date Application Deemed Complete</b>	July 11, 2016	<b>Date Extension Letter Sent</b>	Not Applicable
<b>End of 60-Day Decision Period</b>	August 26, 2016	<b>End of 120-Day Decision Period</b>	Not Applicable

**CLASSIFICATION**

<b>Local Historic District</b>	Washburn – Fair Oaks
<b>Period of Significance</b>	1858 - 1939
<b>Criteria of Significance</b>	Significant architecture
<b>Date of Local Designation</b>	1976
<b>Date of National Register Listing</b>	Not Applicable
<b>Applicable Design Guidelines</b>	<i>Washburn – Fair Oaks Historic District Guidelines (1976)</i>

**SUMMARY**

**BACKGROUND.** The site is currently vacant; the two-story building formerly on the lot was demolished in 2011 due to fire damages. The house formerly on the lot was relocated to the site from 2450 1<sup>st</sup> Avenue south in 1906. Attached is a photo of the previous house before the fire. Neighbors currently use the vacant lot as a garden. The site is located within the Washburn-Fair Oaks Historic District and is located one block to the west of both the Minneapolis Institute of Arts (MIA) and the Minneapolis College of Art and Design (MCAD). The local historic district was designated in 1976.

The property immediately to the north is a two-and-a-half story duplex and the property to the south is a two-and-a-half story four-plex. The properties surrounding the site contain two-and-a-half to three-story apartment buildings that vary in architectural style and building materials.

Recently, several garage applications have been approved in the district. The district has not seen new residential development since the construction of several town homes in 1982 at 331 East 25<sup>th</sup> Street. The project will be compatible with the surrounding residential buildings in scale and form.

The site is zoned R4 Multiple family District and is approximately 34 feet wide by 126.5 feet long (4,301 square feet). The site is relatively flat. The minimum lot area required for new single-family construction in the R4 district is 5,000 square feet. However, per 531.100 (a), the construction of a single-family dwelling is permitted on a lot of record that is nonconforming due to lot area in the R4 district provided that all other applicable zoning requirements are met.

**APPLICANT’S PROPOSAL.** The applicant is proposing to construct a new two-story single-family house and a detached two-car garage that would be accessed from the public alley. The total gross floor area of the house is 1,974 square feet. The proposed two-car garage is 22 feet wide by 22 feet long and is located towards the rear of the lot.

The exterior material proposed for both the house and the garage is 4-3/4” LP smart wood siding. On the front elevation, LP smart side shakes are proposed to be installed on the gabled-roofs and stone from Environmental Stone Works is proposed around the base of the front foundation and the base of the porch columns. The primary roof type is gable for both house and garage. The proposed roof pitch on the house is 7/12 and is 5/12 for the garage. The district guidelines do not require matching the roof pitches. The windows are double hung from Pella’s Proline Series. The Pella Proline has aluminum clad exterior with a wood interior.

**PUBLIC COMMENTS.** No comments have been received as of the writing of this report. Any correspondence received prior to the public meeting will be forwarded on to the Heritage Preservation Commission for consideration.

## ANALYSIS

### CERTIFICATE OF APPROPRIATENESS

The Department of Community Planning and Economic Development has analyzed the application to allow the construction of a new two-story single-family house and a detached garage based on the following findings:

1. *The alteration is compatible with the designation of the landmark or historic district, including the period and criteria of significance.*

The Washburn-Fair Oaks Historic District is significant for its collection of late nineteenth and early twentieth century residential structures, ranging from modest dwellings to mansions. The Washburn-Fair Oaks Historic District's period of significance is 1858-1939, which captures the time in which most of the residential structures were built within the district.

The district is significance for its architecture. However, there is no uniform architectural style in the district. Prominent architectural types within the district include Tudor Revival, Colonial Revival, Queen Anne, and Craftsman. While the proposed structures would be built outside the period of significance, the proposed single-family house is similar in style to the two-story house previously on the lot. Attached is a photo of the previous house on the lot as well as photos of other properties in the area that demonstrates the unique character of the district. The infill development will improve the site and would be compatible with surrounding residential buildings in scale, building plan, and roof design.

2. *The alteration will ensure the continued integrity of the landmark or historic district.*

The district is significant for its architecture. The site has been vacant since 2011. The development will be compatible with and will ensure the continued integrity of the Washburn-Fair Oaks Historic District based on the following assessment of the aspects of integrity:

**Location:** The site is currently vacant, thus the project will not impair the integrity of location.

**Design:** Design is the combination of elements that create the form, plan, space, structure, and style of a property. Overall, the design of the new single-family house and detached garage would be in conformance with the design guidelines as discussed in finding 3 below. The buildings in the district vary in architectural styles and materials.

**Setting:** Setting is the physical environment of a historic property. The new construction would infill a vacant lot, which would have a positive impact on the setting of the area. The proposed house will be built in line with the existing structure to the south.

**Materials:** The proposed exterior material for both the new house and garage is horizontal 6" LP smart siding (see finding 3 for further analysis). CPED staff is recommending 4" LP smart siding in order for the project to be compatible with surrounding buildings to ensure continued integrity of the district. The applicant has agreed to reduce the width of the lap from 6" to 4-3/4", which is the tightest lap the LP smart siding supplier recommends. Residential buildings adjacent to the subject site all have smaller horizontal laps. The proposed 4-3/4" lap would be compatible with dwelling units in the district. On the front elevation, LP smart side shakes are proposed to be installed on the

gabled-roofs and stone is proposed around the base of the front foundation and the base of the porch columns.

**Workmanship:** Workmanship is the physical evidence of the crafts of a particular culture or people during any given period in history. The proposal would not impact the integrity of workmanship.

**Feeling:** Feeling is a property's expression of the aesthetic or historic sense of a particular period of time. Any new construction in a historic district will have an impact on the integrity of feeling. New construction will inevitably stand out as modern and different from the historic surroundings. The proposed design incorporates interpretative features to reflect the historic function of the site.

**Association:** Association is the direct link between an important historic event or person and a historic property. The project will not impact the integrity of association with the historic district.

3. *The alteration is consistent with the applicable design guidelines adopted by the commission.*

The *Washburn-Fair Oaks Historic District Design Guidelines* were adopted in 1976. The design guidelines were created to protect the integrity of the historic district. For new buildings, the guidelines “encourage contemporary design that is compatible with the nature of the preservation area.”

Design Considerations (for additions, alterations, and new construction)

1. **Dimensions** of height, width, and depth of additions and new construction shall take into consideration the directionality of adjacent and nearby structures.
2. **Scale** of additions, alterations, and new construction shall be consistent with the existing pattern in the neighborhood.
3. **Setbacks** - Background: The distance a building is set back from the front lot line varies greatly in Washburn-Fair Oaks from row houses built up to the sidewalk to greater than average setbacks.

New buildings and additions to existing buildings shall be constructed at the legal setbacks for both front and side yards.

4. **Spacing** between buildings shall be consistent with existing codes.
5. **Building plan** - there is no uniform plan for the buildings in either district, so this area is open for discussion.
6. **Materials** - generally new materials shall be compatible with the existing.
  - a. **Brick** New brick should match existing brick in terms of brick size, texture, and color as well as the existing mortar color, bonding pattern, and the width and type of joint.
  - b. **Stone** Where stone exists it should be retained, but in additions or auxiliary buildings alternate materials will be considered that would provide a harmonious appearance, especially in terms of color.
  - c. **Clapboard** New clapboard to an existing clapboard structure should match the directionality and dimensions of the original siding. Where a synthetic or aluminum siding is used, it should match direction, dimensions, and texture of original covering. Details such as corner pilasters, sunbursts, etc. should not be covered and, if removed, should be replaced.
  - d. **Stucco** If stucco is in good condition or if it is the original material, it should be maintained. However, if the original material was clapboard, restoration to this material is encouraged (but not demanded).
  - e. **General facade guideline** Avoid fake brick or stone, asphalt or asbestos siding.

- f. **Windows** If existing windows need to be replaced, use wooden, a suitable colored or anodized metal or other materials that blend with and not detract from the building.

It is recognized that cost may encourage the use of bare aluminum windows. In such cases the use of enamel paint to minimize the shiny quality of aluminum is suggested.

7. **Roof design** The original roof design should be maintained, but the insertion of dormers may be allowed depending on the building's design and the location of the proposed dormer.

Where unusual roof styles exist they should be retained, but the roofs of additions should be a complementary type. For example, a gambrel roofed house may have a gabled roof addition

8. **Projections** Porches and porticoes. Open porches and porticoes should remain open. Architectural details such as columns, moldings, cornice projects should be retained on open and closed porches and porticoes.
9. **Façade Design** The fenestration, doorway openings, and ornamentation if intrinsic to the building design should be retained or replaced to evoke the original.

If the facade of a building has been altered to the point where restoration rather than renovation is necessary to evoke original design, renovation is preferred.

Staff finds that both the new house and the garage would be consistent with the design guidelines for the Washburn-Fair Oaks Historic District. The scale of the proposed project is in keeping with the existing homes in the district in terms of height and width. The project meets all applicable setbacks. The house previously on the site had asbestos siding. The proposed exterior material for both the new house and the garage is 4-3/4" LP smart wood siding. The design guidelines state that where a synthetic or aluminum siding is used; it should match direction, dimensions, and texture of original covering. Houses in the immediate area have smaller horizontal lap siding.

On the front elevation, LP smart side shakes are proposed to be installed on the gabled-roofs and stone from Environmental Stone Works is proposed around the base of the front foundation. The proposed roof pitch on the house is 7/12 and is 5/12 for the garage. The district guidelines do not require matching the roof pitches. The proposed project will not impair the significance and integrity of the district.

The windows are double hung from Pella's Proline Series. The Pella Proline has aluminum clad exterior with a wood interior. The exterior color will be white. The guidelines state "if existing windows need to be replaced, use wooden, a suitable colored or anodized metal or other materials that blend with and not detract from the building." The aluminum clad material does not detract from the historic district. The division of lights in windows in the district varies.

Non-historic building materials such as vinyl and LP smart siding are not unusual to the district. The house at 2530 Clinton Avenue has vinyl siding and in July 2015, a new garage was approved for construction with vinyl siding. Several new garages were approved recently with either vinyl or LP smart siding.

The proposed house has a side open porch to emphasize the entrance. Side porch is not unusual in the district. The columns on the porch are slightly rounder at the top and wider on the bottom. The base of the columns match the stone siding proposed on the front basement wall. Type of porch columns and façade design vary throughout the district.

The proposal will not materially impair the significance or integrity of the contributing property within the historic district, as evidenced by the consistency of the proposal with the *Washburn-Fair Oaks Historic District Design Guidelines*.

4. *The alteration is consistent with the applicable recommendations contained in The Secretary of the Interior’s Standards for the Treatment of Historic Properties.*

The proposed development would be consistent with the following *Secretary of the Interior’s Standards for Rehabilitation*:

- New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
- New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The site previously contained a two-story residential building and the proposed use will also be residential. The proposed project would greatly improve the site and would be consistent with the design guidelines. The new construction will be compatible with the massing, size, scale, and architectural features of the surrounding buildings in order to protect the historic integrity of the district. New construction will inevitably stand out as modern and different from the historic surroundings. However, the proposed house and garage incorporate interpretative features to reflect the historic function of the site.

5. *The alteration is consistent with the spirit and intent of the preservation ordinance, the applicable policies of the comprehensive plan, and the applicable preservation policies in small area plans adopted by the city council.*

The proposal conforms to all applicable regulations of the preservation ordinance and is consistent with the following applicable policies of the comprehensive plan:

**Heritage Preservation Policy 8.1: Preserve, maintain, and designate districts, landmarks, and historic resources which serve as reminders of the city's architecture, history, and culture.**

- 8.1.2 Require new construction in historic districts to be compatible with the historic fabric.

## RECOMMENDATIONS

The Department of Community Planning and Economic Development recommends that the Heritage Preservation Commission adopt staff findings for the application by Ryan Schleper for the property located at 2507 1<sup>st</sup> Avenue South in the Washburn-Fair Oaks Historic District:

### **A. Certificate of Appropriateness.**

Recommended motion: **Approve** the certificate of appropriateness to allow the construction of a new two-story single-family house and a detached garage, subject to the following conditions:

1. The Department of Community Planning and Economic Development staff shall review and approve the final plans and elevations prior to building permit issuance.
2. The exterior material on the house and garage shall be 4-3/4” LP Smart Siding.

3. By ordinance, approvals are valid for a period of two years from the date of the decision unless required permits are obtained and the action approved is substantially begun and proceeds in a continuous basis toward completion. Upon written request and for good cause, the planning director may grant up to a one year extension if the request is made in writing no later than August 9, 2018.
4. By ordinance, all approvals granted in this certificate of appropriateness shall remain in effect as long as all of the conditions and guarantees of such approvals are observed. Failure to comply with such conditions and guarantees shall constitute a violation of this Certificate of Appropriateness and may result in termination of the approval.

## ATTACHMENTS

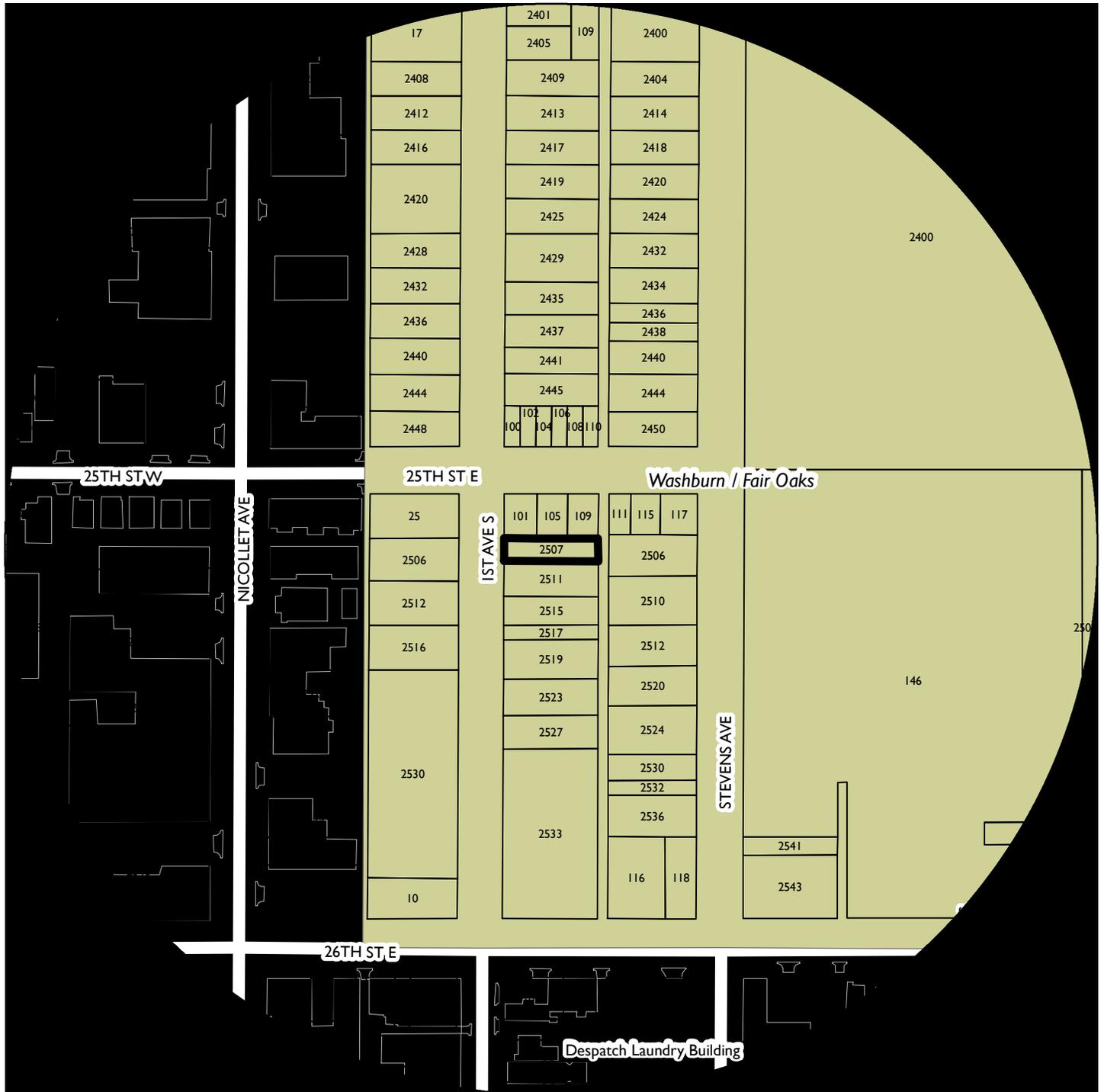
1. BZH Map
2. Written description and findings submitted by applicant
3. Site survey
4. Floor Plans
5. Building elevations
6. Photos of previous house
7. Photos of surrounding properties
8. Correspondence

Ryan Schleper

10th

NAME OF APPLICANT

WARD



PROPERTY ADDRESS

2507 1st Avenue South

FILE NUMBER

BZH-29243

**Statement of Proposed Use Description of Project  
Letter from Property Owner**

I Ashish Aggarwal have decided to build a new single family home along with a detached garage at 2507 1<sup>st</sup> Avenue South. I have hired Ryan Schleper to plan and manage the project. Currently there are no structures on the lot. The previous home was destroyed by fire a couple of years ago. We have invested months working with Suado Abdi from the city of Minneapolis to ensure that the design and materials used would comply with both the Washburn-Fair Oaks Historic District and the building code. Below is a snapshot of the project. More details can be found on the plans, survey, material samples and literature provided to Suado.

The homes design is a two story with a detached two car garage in the back 10' off the alley. This design and layout matches the predominant types of homes in the area. The windows are double hung from Pella's Proline Series. The Pella Proline has aluminum clad exterior with a wood interior. The exterior color will be white. This window fits in nicely with the surrounding homes.

The siding will be LP's Smart Side 6" clapboard prefinished in the color deep granite. The trim boards will be prefinished white. The gable will have LP's Smart Shakes prefinished in the color Misty Shadow. Soffit and fascia will be aluminum prefinished in the color white to match the trim boards and windows. The stone on the front will be from Environmental Stone Works in the style Weathered Face and the color St. Croix Grey. The shingles will be Owens Corning Oakridge series in the color black. We believe that using these products on our house will fit in nicely because it will look like the predominant homes that are currently in the neighborhood.

If you should have any questions please contact Ryan on his cell at 612-791-6660 or you can reach him by email [rr.schleper@gmail.com](mailto:rr.schleper@gmail.com).

Thank you,

Ashish Aggarwal

**Abdi, Suado M.**

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**From:** ryan@remodelingadvisorsllc.com  
**Sent:** Tuesday, July 26, 2016 3:53 PM  
**To:** Abdi, Suado M.; 'Ashish Aggarwal'  
**Subject:** 2507 1st ave south - Proposed siding update

Good Afternoon Suado,

This email is a follow up to the phone conversation we had earlier today regarding the siding at our proposed project at 2507 1st Avenue South. I have talked with Charlie our supply representative about what is the tightest lap we could have with the LP Smart siding. He said without having to rip each individual piece on the job site we could lap the siding at 4 - 3/4 inches. With this information we are proposing to decrease the lap to 4 - 3/4 from the 6" lap that had been proposed on the plans and documents that were provided with our application.

Please let me know if there is any other information you need from us.

Thank you,

Ryan

## Certificate of Appropriateness Findings

1. We have invested months working with Suado Abdi from the city of Minneapolis to ensure that the design and materials used would comply with both the Washburn-Fair Oaks Historic District and the building code. The homes design is a two story with a detached two car garage in the back, 10' off the alley. This design and layout matches the predominant types of homes in the area.
2. The home and garage had been designed to fit nicely into the neighborhood. The house and garage have been sized and located to fit on the lot within the cities setbacks and requirements.
3. The home and garage have been designed to ensure the integrity of the historic district. Since there is no building on the lot currently the new home will make the neighborhood similar to when a home stood on the lot. The garage in the back will provide an area to keep outdoor equipment and vehicles. Both of these will help to maintain the integrity of the historic district.
4. The new home and garage will not materially impair the significance and integrity of the historic district. . The windows are double hung from Pella's Proline Series. The Pella Proline has aluminum clad exterior with a wood interior. The exterior color will be white. This window fits in nicely with the surrounding homes. The siding will be LP's Smart Side 6" clapboard prefinished in the color deep granite. The trim boards will be prefinished white. The gable will have LP's Smart Shakes prefinished in the color Misty Shadow. Soffit and fascia will be aluminum prefinished in the color white to match the trim boards and windows. The stone on the front will be from Environmental Stone Works in the style Weathered Face and the color St. Croix Grey. The shingles will be Owens Corning Oakridge series in the color black. We believe that using these products on our house will fit in nicely because it will look like the predominant homes that are currently in the neighborhood.
5. The new home and garage will be consistent with the secretary of the interior's standards for the treatment of Historic Properties. Like stated above we believe this new home and garage will fit in nicely with the neighborhood.
6. Like stated above much time has been invested to ensure the new home and garage will conform to the preservation ordinance and is consistent with the applicable policies of the comprehensive plan and applicable preservation policies in small area plans adopted by the city council.
7. Currently there are no buildings on the property.

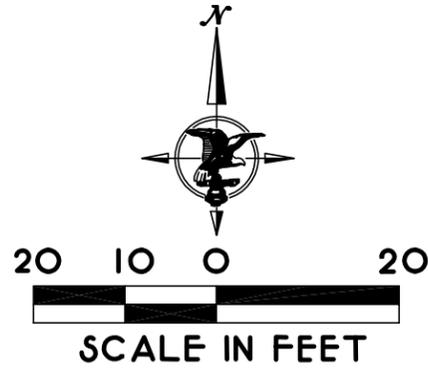
8. Like stated above we have spent months working with Suado Abdi to ensure The planning and design of the new home and garage would meet the requirements of both the Washburn-Fair Oaks Historic district and the building code.
9. We believe we have designed our project to meet the cities requirements. Therefore we are not requesting a plan review.
10. The new home and garage follows the guidelines for preserving the historic site within the Secretary of the interior's Standards for the treatments of Historic Properties. The home has been designed to fit into the neighborhood nicely
11. Like stated above the new home and garage will be compatible and will ensure continued significance and integrity of all contributing properties. Like shown on our plans. The house and garage will fit in nicely within the historic district.
12. The new home and garage will be keeping in the spirt and intent of the ordinance and will not negatively alter the essential character of the historic district. The new home and garage will only improve the lot and the neighborhood values and looks.
13. The new home and garage will not be injurious to the Historic District in regards to the significance and integrity of other resources and will fit into the neighborhood nicely.
14. Currently there are no buildings on the property.
15. We are not applying for a variance.

# LEGAL DESCRIPTION:

North 34 feet of Lot 9, Block 3, GEO GALPINS ADDITION, Hennepin County, Minnesota.

# GENERAL NOTES:

- The bearing system used is assumed.
- The location of the underground utilities shown hereon, if any, are approximate only. PURSUANT TO MSA 216D CONTACT GOPHER STATE ONE CALL AT (612) 454-0002 PRIOR TO ANY EXCAVATION.
- Site area = 4,301 square feet = 0.099 acres.
- This survey was made on the ground.
- No current title work was furnished for the preparation of this survey, legal description, recorded or unrecorded easements and encumbrances are subject to revision upon receipt of current title work.
- Elevation datum is based on NAVD 88 data. Bench mark is located Top of Nail (AS SHOWN ON SURVEY) Elevation = 878.88



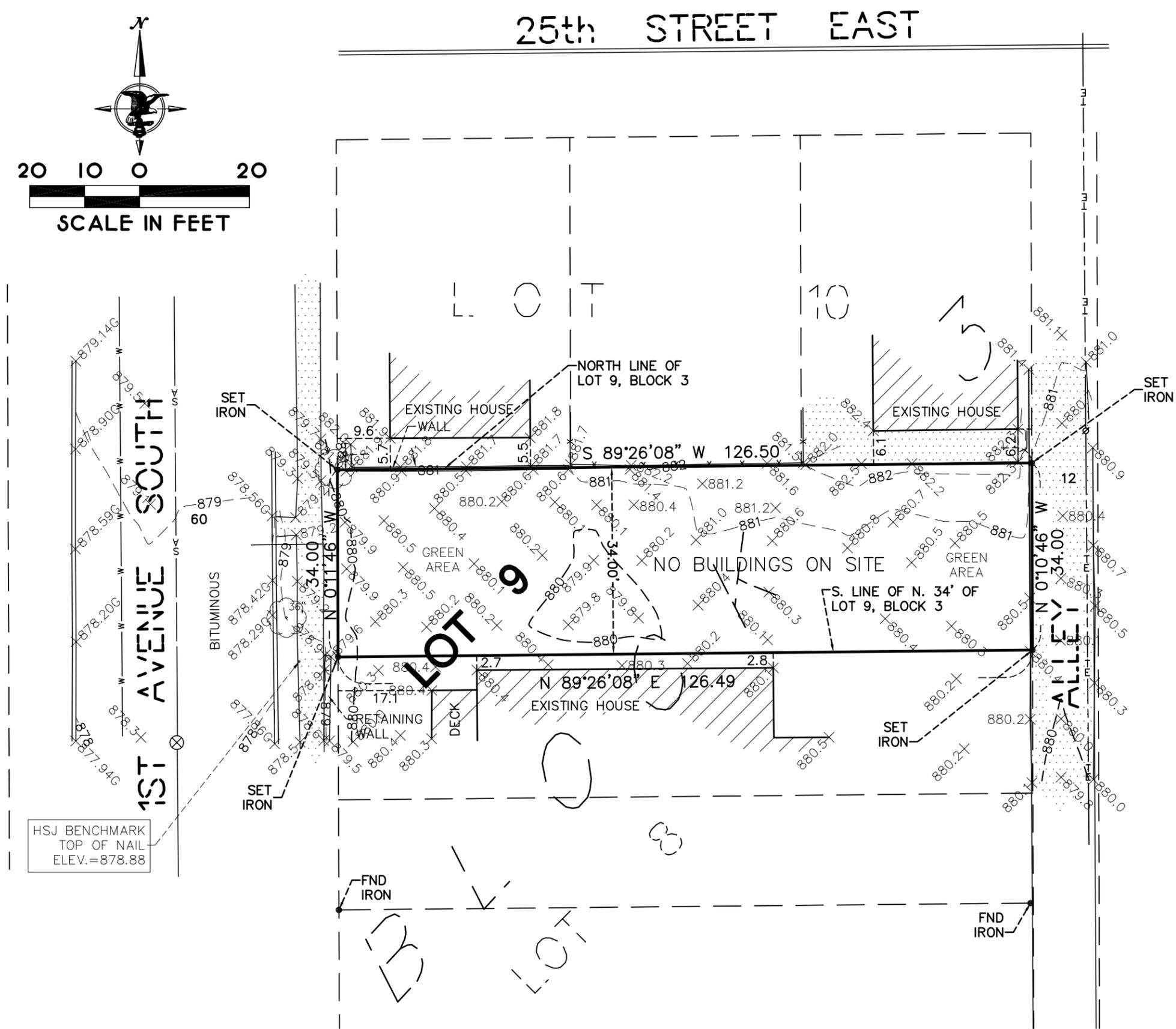
LEGEND	
	FOUND IRON Found Property Corner
	SET IRON Set Property Corner (Minn. Reg. No. 23677)
	Concrete
	Concrete Curb
	Fence
	Overhead Electric
	Underground Electric
	Overhead Telephone & Electric
	Water
	Gas
	Sanitary Sewer
	Storm Sewer
	Power Pole
	Unknown Manhole
	Deciduous Tree (Dia. in In.)
	Sanitary Manhole
	Storm Manhole
	Existing Contour
	Existing Spot Elev. Gutter
	Existing Spot Elevation

# CERTIFICATION:

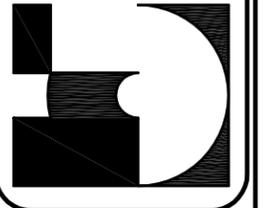
I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

Date: **April 11, 2016**

*Thomas E. Hodorf*  
 Thomas E. Hodorf  
 Minn. Reg. No. 23677



**HARRY S. JOHNSON CO. INC.**  
**LAND SURVEYORS & CONSULTANTS**  
 9063 Lyndale Avenue South  
 Bloomington, Mn. 55420  
 (952) 884-5341  
 (952) 884-5344 Fax  
 Email: tom@hsjsurveyors.com  
 Web: www.hsjsurveyors.com



**LOT CERTIFICATION SURVEY**  
**with TOPOGRAPHY**  
 for:  
**ASHISH AGGAEWAL**  
**SITE: 2507 1ST AVENUE SOUTH**  
**MINNEAPOLIS, MINNESOTA**

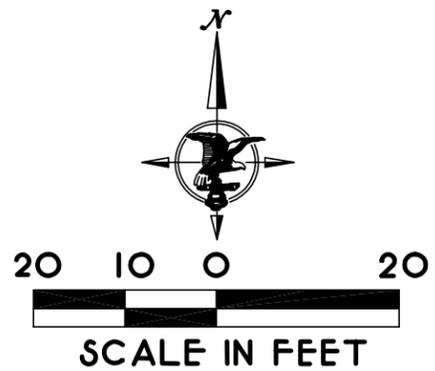
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W.O. Number	2016177	Book	34
Sheet No.	1 OF 1	CAD. Tec.	TH

**LEGAL DESCRIPTION:**

North 34 feet of Lot 9, Block 3, GEO GALPINS ADDITION, Hennepin County, Minnesota.

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- Site area = 4,301 square feet = 0.099 acres.
- This survey was made on the ground.
- No current title work was furnished for the preparation of this survey, legal description, recorded or unrecorded easements and encumbrances are subject to revision upon receipt of current title work.
- Elevation datum is based on NAVD 88 data. Bench mark is located Top of Nail (AS SHOWN ON SURVEY) Elevation = 878.88
- Verify dimensions and elevations per latest house plan prior to construction, this survey relied upon plans from the Client, By ??, Project #??, last revision date 4-5-16.
- Proposed grades at house perimeter 5.0% minimum.



**LEGEND**

	FOUND IRON	Found Property Corner
	Set Property Corner (Minn. Reg. No. 23677)	Set Property Corner (Minn. Reg. No. 23677)
	Concrete	Concrete
	Concrete Curb	Concrete Curb
	Fence	Fence
	Overhead Electric	Overhead Electric
	Underground Electric	Underground Electric
	Overhead Telephone & Electric	Overhead Telephone & Electric
	Water	Water
	Gas	Gas
	Sanitary Sewer	Sanitary Sewer
	Storm Sewer	Storm Sewer
	Power Pole	Power Pole
	Unknown Manhole	Unknown Manhole
	Deciduous Tree (Dia. in In.)	Deciduous Tree (Dia. in In.)
	Sanitary Manhole	Sanitary Manhole
	Storm Manhole	Storm Manhole
	Existing Contour	Existing Contour
	Existing Spot Elev. Gutter	Existing Spot Elev. Gutter
	Existing Spot Elevation	Existing Spot Elevation
	Proposed Contour	Proposed Contour
	Proposed Spot Elevation	Proposed Spot Elevation
	Prop. Drainage (2.0% MIN., except as noted otherwise)	Prop. Drainage (2.0% MIN., except as noted otherwise)
	Existing Drainage Arrow	Existing Drainage Arrow

**CERTIFICATION:**

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

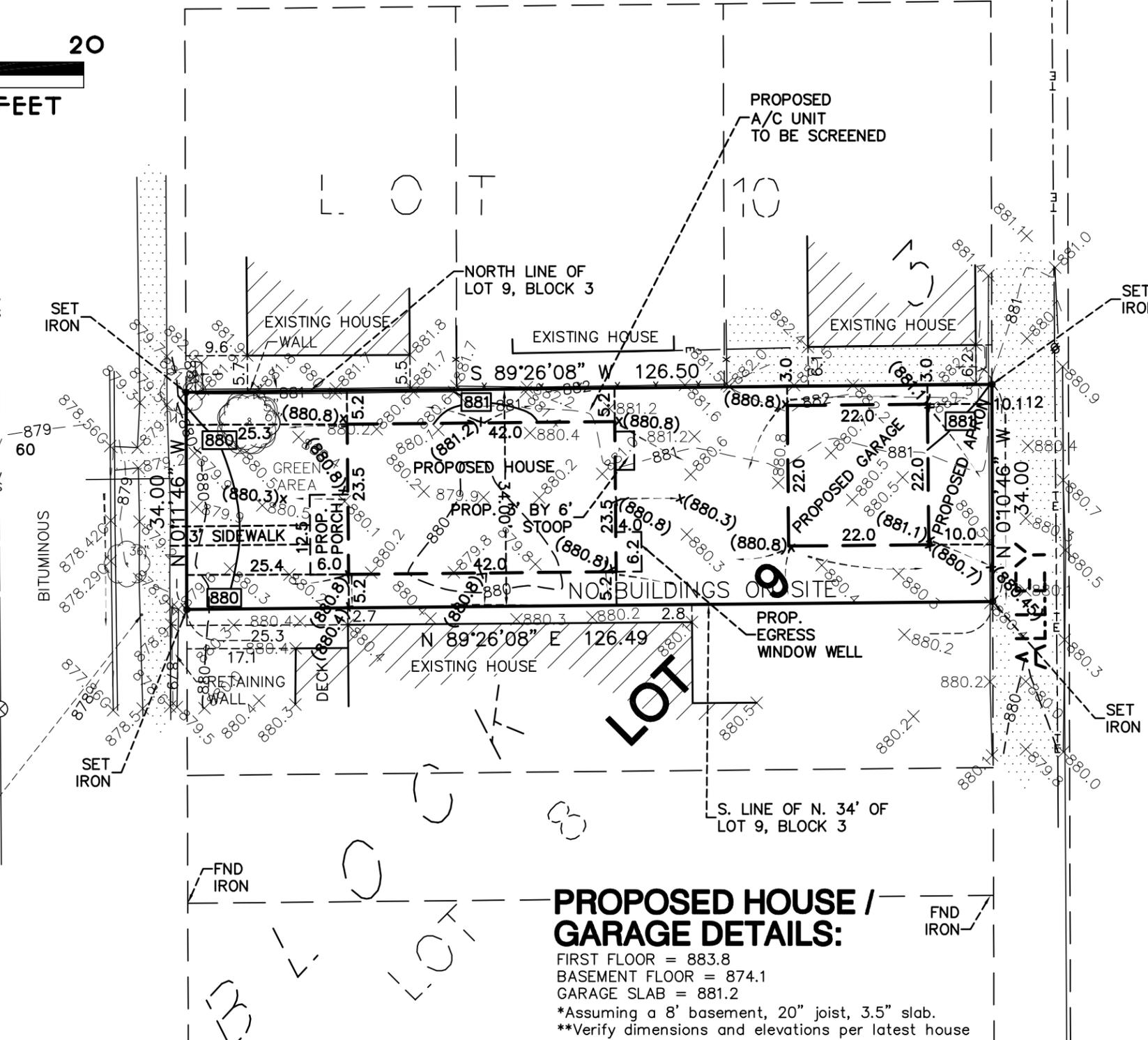
Date: April 20, 2016

*Thomas E. Hodorf*  
 Thomas E. Hodorf  
 Minn. Reg. No. 23677

Revision History: 5/23/16 rev house & per comments  
 6/22/16 rev per comments

25th STREET EAST

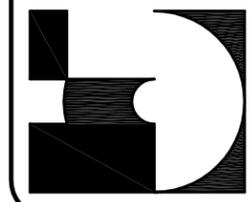
1ST AVENUE SOUTH



**PROPOSED HOUSE / GARAGE DETAILS:**

FIRST FLOOR = 883.8  
 BASEMENT FLOOR = 874.1  
 GARAGE SLAB = 881.2  
 \*Assuming a 8' basement, 20" joist, 3.5" slab.  
 \*\*Verify dimensions and elevations per latest house plan prior to construction.

HARRY S. JOHNSON CO. INC.  
 LAND SURVEYORS & CONSULTANTS  
 9063 Lyndale Avenue South  
 Bloomington, Mn. 55420  
 (952) 884-5341  
 (952) 884-5344 Fax  
 Email: tom@hsjsurveyors.com  
 Web: www.hsjsurveyors.com

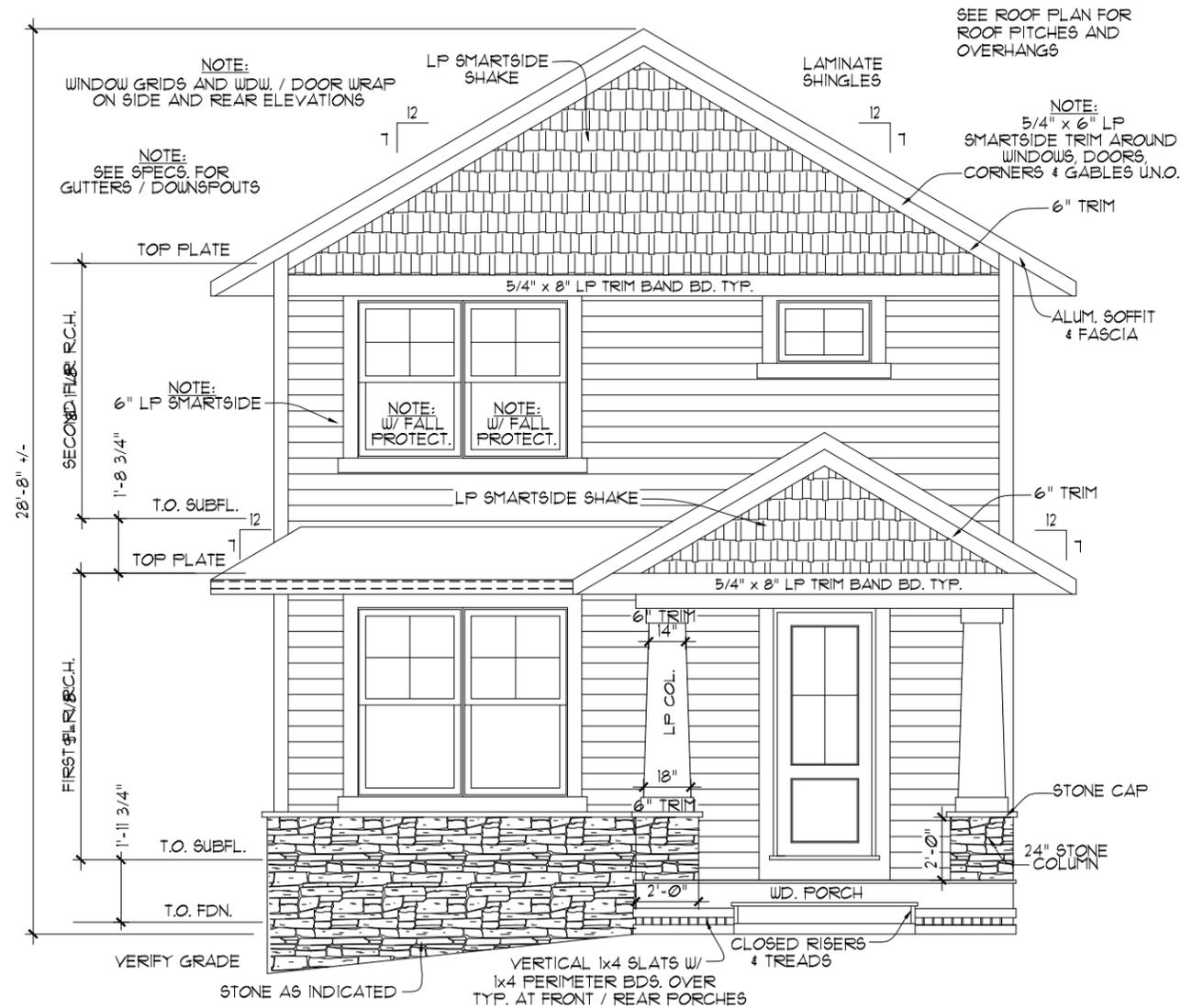


**LOT CERTIFICATION SURVEY**  
**w/ TOPO, PROP. HOUSE & GARAGE**  
 for:  
**ASHISH AGGAEWAL**  
**SITE: 2507 1ST AVENUE SOUTH**  
**MINNEAPOLIS, MINNESOTA**

Page <b>646</b>	Book <b>34</b>	CAD. Tcc <b>CT</b>
File No. <b>1-3-9338MPH</b>	W.O. Number <b>2016177.01</b>	Sheet No. <b>1 OF 1</b>

- GENERAL NOTES:
1. ALL DOOR AND WINDOW HEADERS TO BE S.P.F. #2 OR BETTER, SEE PLANS FOR SIZES.
  2. HOUSE TO BE BUILT PER CURRENT I.R.C. CODES.
  3. VERIFY GRADES AND ADJUST FOUNDATION/FOOTING STEPS AS NEEDED.
  4. SEE PLANS FOR CEILING HEIGHTS
  5. POURED FDN. WALLS PER PLAN
  6. FLOOR PLAN DIMENSIONS ARE TO FACE OF SHEATHING AND FOUNDATION.
  7. ALL TRADES & SUPPLIERS TO REVIEW & VERIFY INFORMATION PERTINENT TO THEIR WORK AND NOTIFY CONTRACTOR OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

8. NOTED CABINET SIZES ARE +/- AND TO BE FIELD VERIFIED.
9. TRADES TO VERIFY BASE AND TRIM SIZE PRIOR TO CONSTRUCTION.
10. ALL WALLS MORE THAN 10' H. TO BE S.P.F. #2 OR BETTER.
11. EXTERIOR ELEVATIONS ARE CONCEPTUAL ONLY: HOME SITE, FILL AND TOPOGRAPHY WILL DICTATE ACTUAL GRADES AND MAY VARY FROM THOSE SHOWN ON THE PLAN.
12. NOTE: SUBFLOOR JOINTS SHALL BE STAGGERED FROM FLOOR TRUSS OR JOIST JOINTS

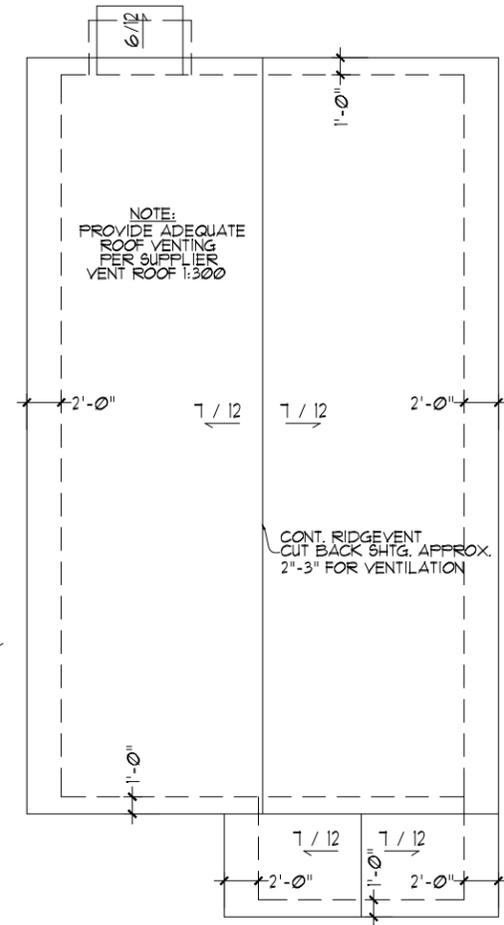


APPROX. SQ. FT.  
 3,024 NET SQ. FT.  
 2,016 TOTAL FIN.  
 440 GARAGE

NOTE:  
 GRADE TO BE NO MORE THAN 21" BELOW PORCH FLOOR  
 RAIL. REQ. IF T.O. PORCH IS MORE THAN 30" ABOVE FIN. GRADE

### FRONT ELEVATION

SCALE: 3/16" = 1'-0"



### ROOF PLAN

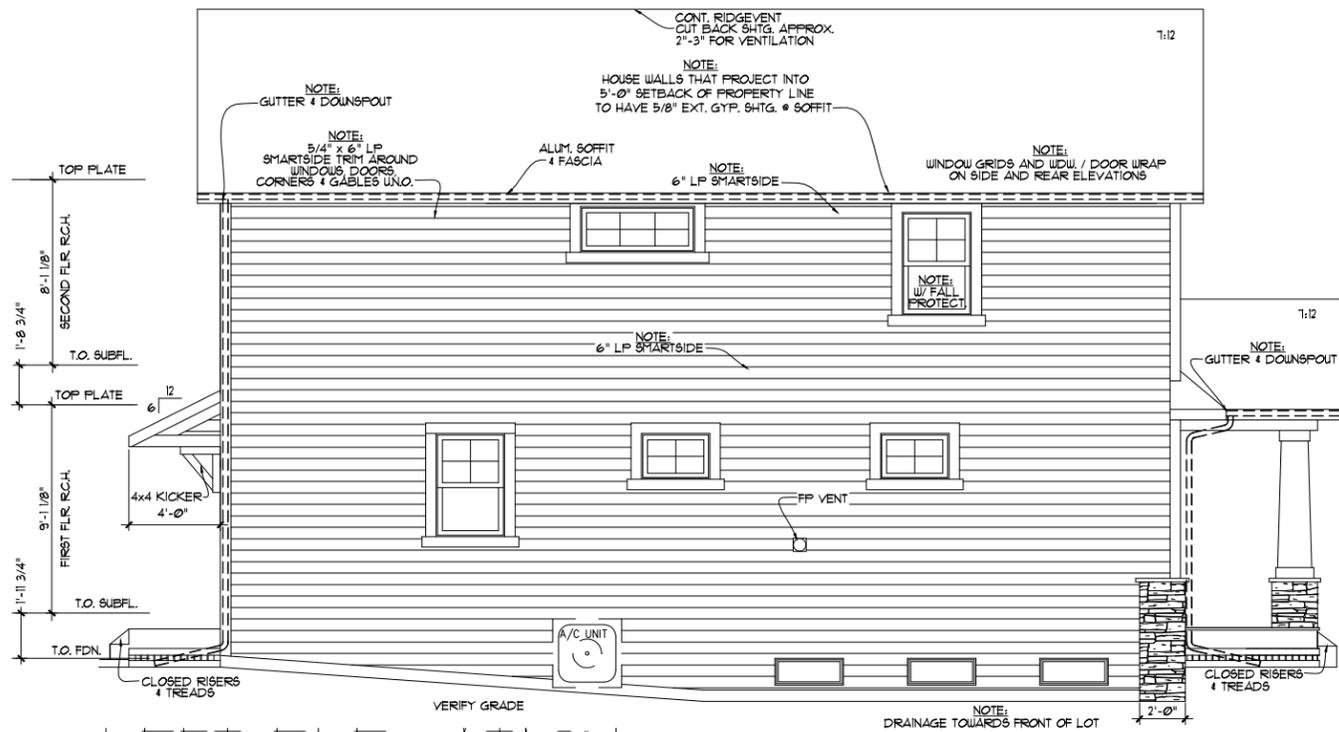
SCALE: 3/32" = 1'-0"

# FINAL PLAN

SPEC. HOME  
 2507 1ST AVE. S.  
 MINNEAPOLIS, MN  
 WASHBURN—FAIR OAKS

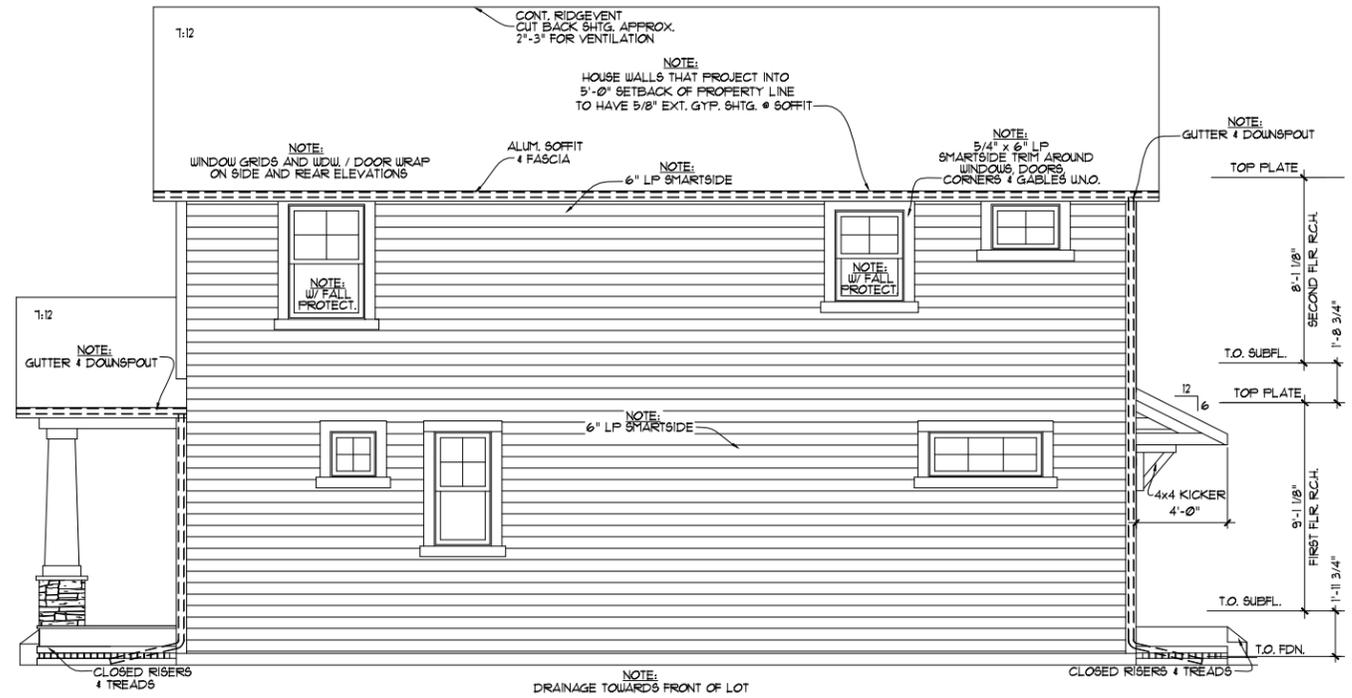
REVISIONS:
4-20-16 PRELIM.
5-23-16 FINAL
6-23-16 FINAL II

GENERAL NOTES & DISCLAIMERS  
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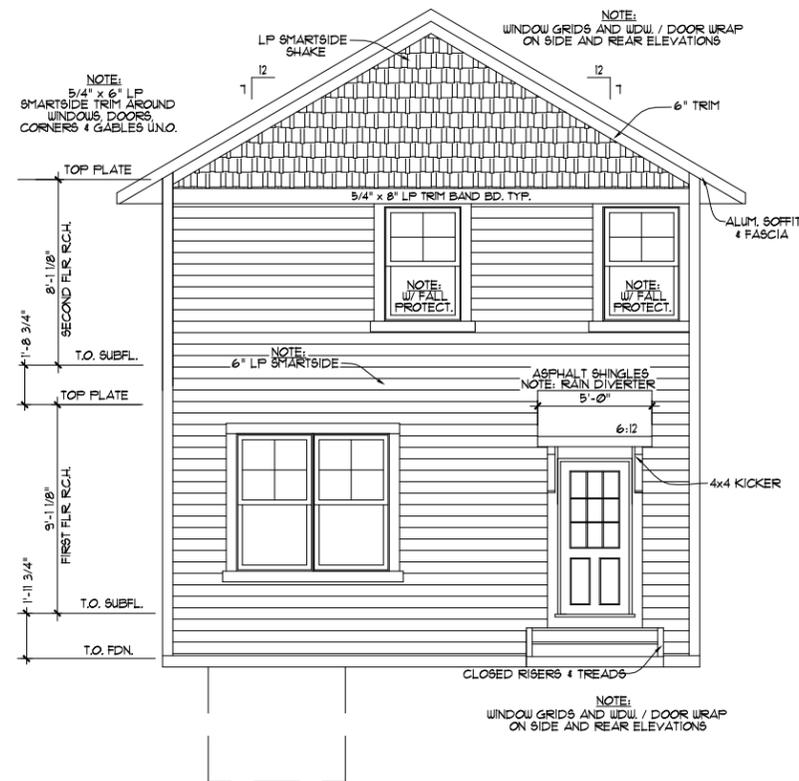
# LEFT ELEVATION

SCALE: 1/8" = 1'-0"



# RIGHT ELEV.

SCALE: 1/8" = 1'-0"



# REAR ELEV.

SCALE: 1/8" = 1'-0"

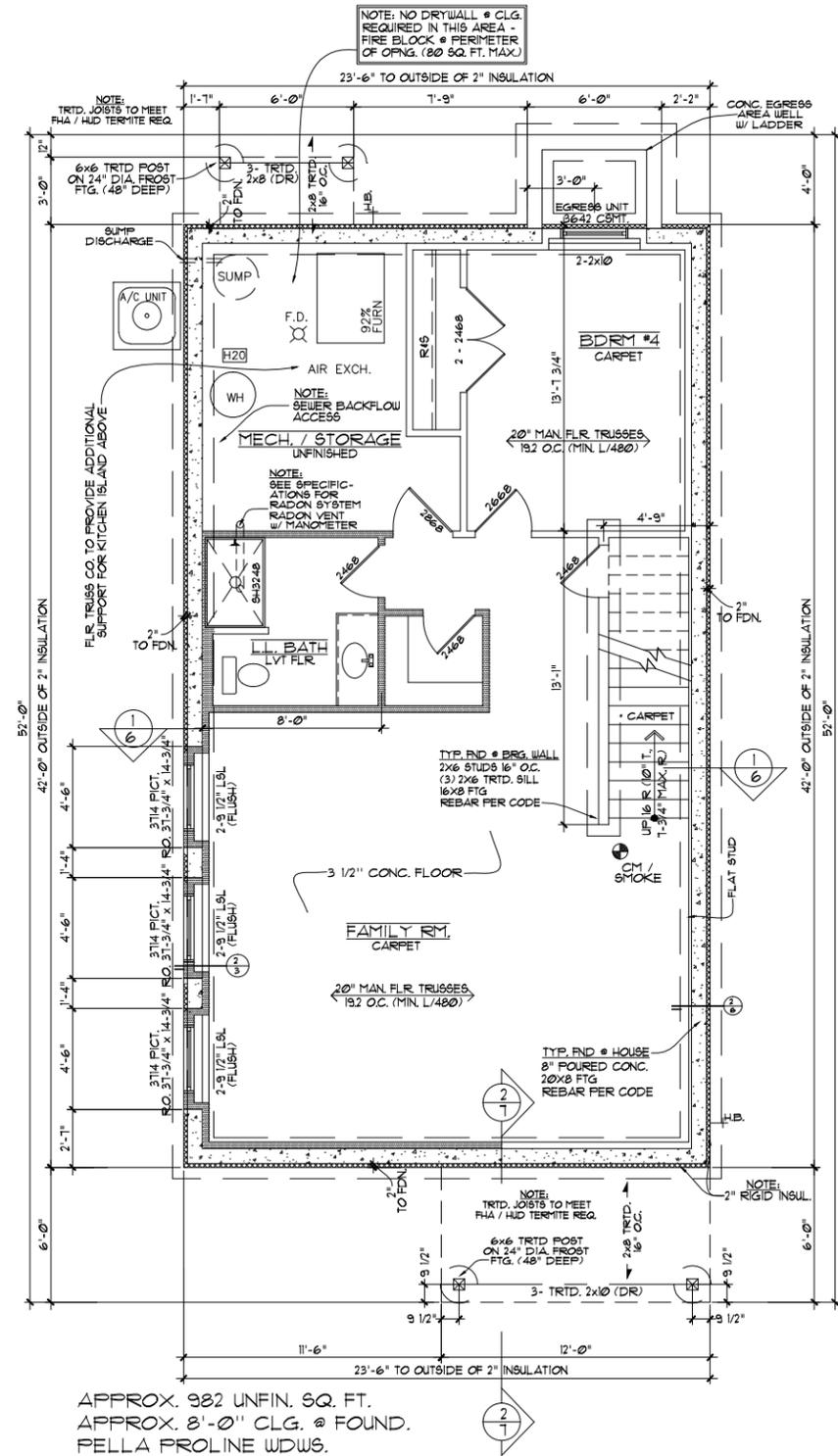
EXTERIOR ELEVATIONS ARE CONCEPTUAL ONLY: HOME SITE, FILL AND TOPOGRAPHY WILL DICTATE ACTUAL GRADES AND MAY VARY FROM THOSE SHOWN ON THE PLAN.

# FINAL PLAN

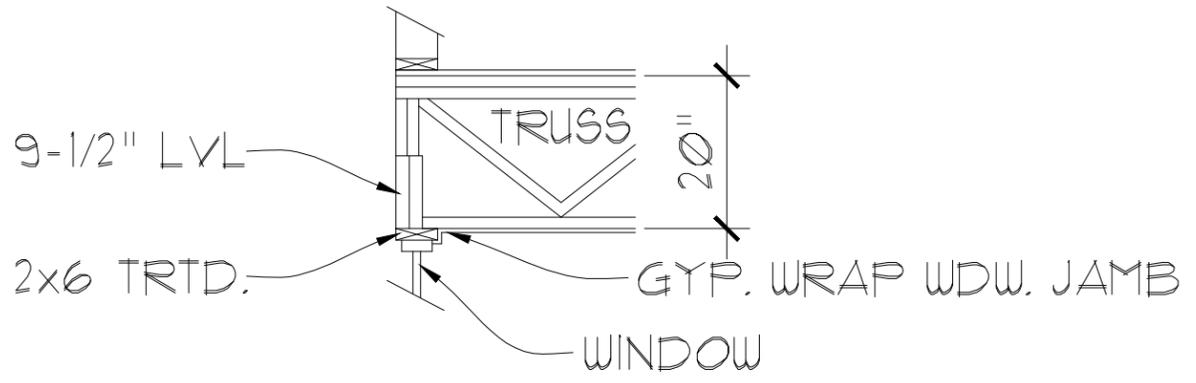
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SPEC. HOME  
 2507 1ST AVE. S.  
 MINNEAPOLIS, MN  
 WASHBURN—FAIR OAKS

REVISIONS:  
 4-20-16 PRELIM.  
 5-23-16 FINAL  
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**FOUND. PLAN**  
SCALE: 1/8" = 1'-0"



**BASEMENT WDW. DETAIL**  
SCALE: 1/2" = 1'-0"

**FINAL PLAN**

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SPEC. HOME  
2507 1ST AVE. S.  
MINNEAPOLIS, MN  
WASHBURN - FAIR OAKS

REVISIONS:

4-20-16	PRELIM.
5-23-16	FINAL
6-23-16	FINAL II

NOTE:  
2x6 EXT. WALLS UNO.  
2x4 INT. WALLS UNO.

NOTE:  
ALL DRGS/ WIN'S REQUIRE  
4" ON SIDES FOR CASING

NOTE:  
SEE ROOF TRUSS LAYOUT  
FOR TRUSS DIRECTION  
AND GIRDER LOCATIONS

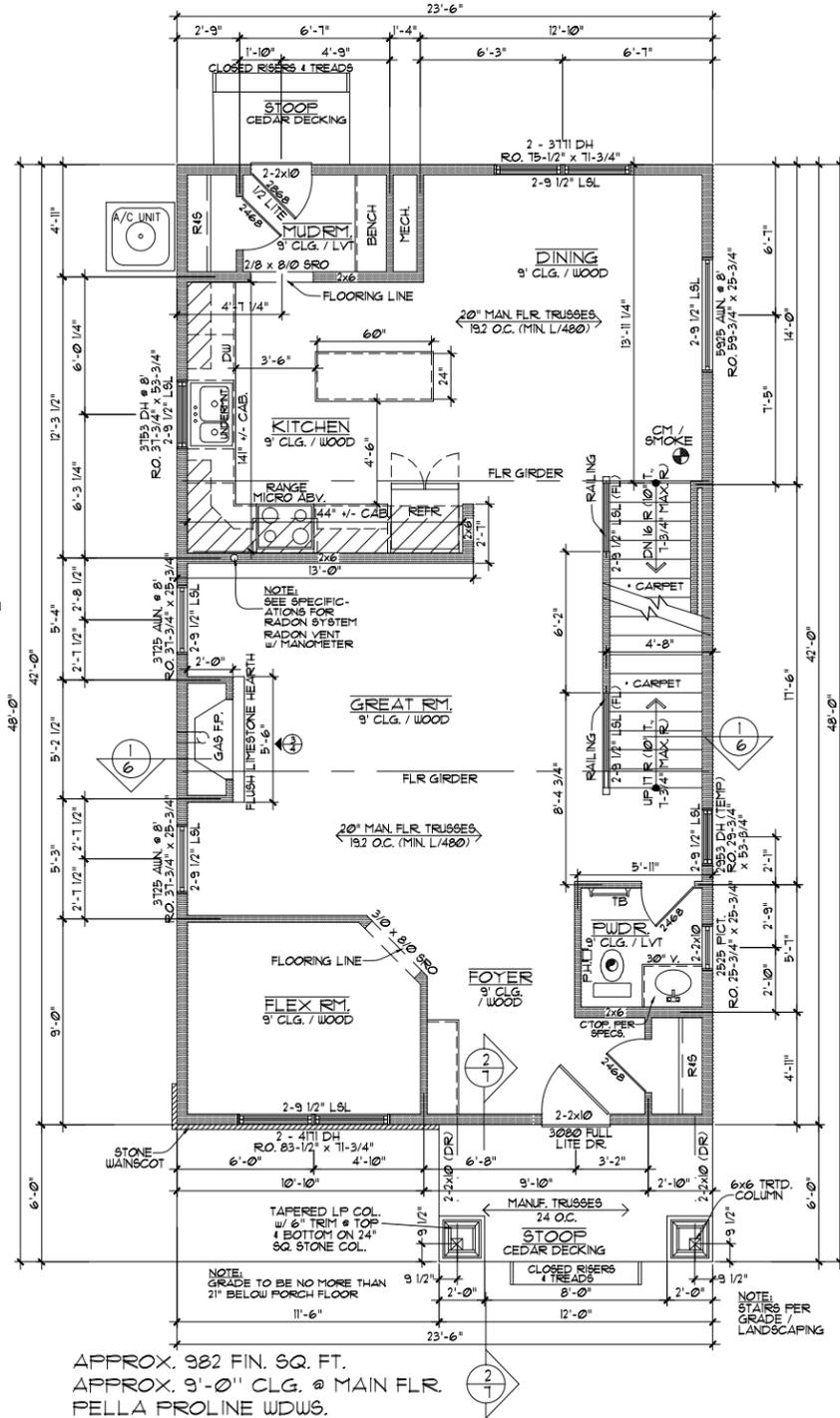
DOOR ROUGH OPENINGS:

BIFOLD DOORS:  
83" OVER CARPET  
CERAMIC TILE & WOOD  
82" OVER VINYL  
1 3/8" WIDER THAN DOOR

PREHANG UNITS:  
83" HEIGHT  
2" WIDER THAN DOOR

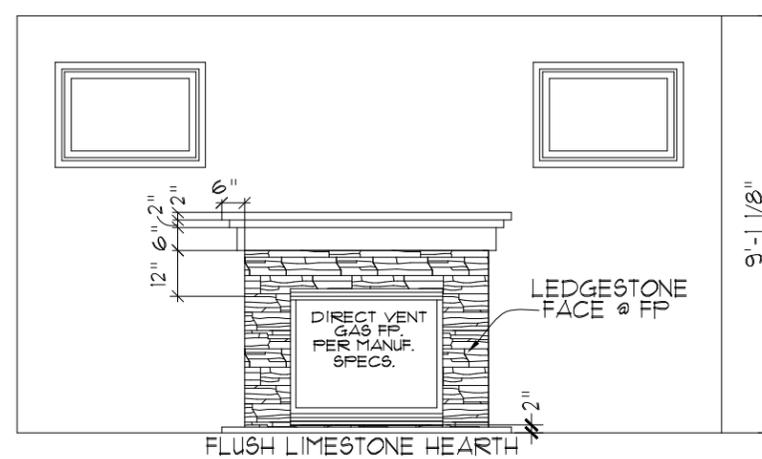
SRO = SHEET ROCKED OPNG  
FINISH SIZE NOTED ON PLAN  
(EXAMPLE: 2668 )  
RO. 1" WIDER, 83" HIGH

CO = CASING OPENING ( WOOD )  
FINISH SIZE NOTED ON PLAN  
(EXAMPLE: 2668 )  
RO. 1 1/2" WIDER, 83" HIGH



# MAIN FLR. PLAN

SCALE: 1/8" = 1'-0"



# FIREPLACE ELEV.

SCALE: 1/4" = 1'-0"

# FINAL PLAN

SPEC. HOME  
2507 1ST AVE. S.  
MINNEAPOLIS, MN  
WASHBURN - FAIR OAKS

REVISIONS:
4-20-16 PRELIM.
5-23-16 FINAL
6-23-16 FINAL II

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NOTE:  
2X6 EXT. WALLS UNO.  
2X4 INT. WALLS UNO.

NOTE:  
ALL DRGS/WIN'S REQUIRE  
4" ON SIDES FOR CASING

NOTE:  
SEE ROOF TRUSS LAYOUT  
FOR TRUSS DIRECTION  
AND GIRDER LOCATIONS

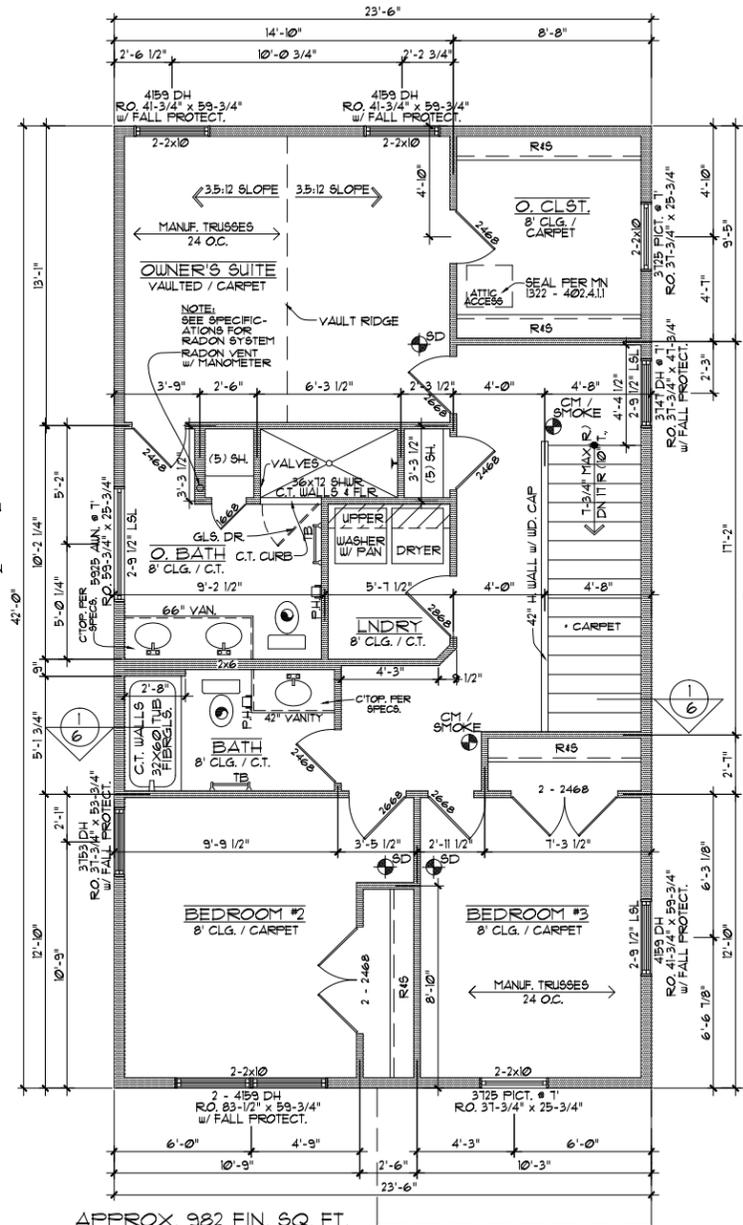
DOOR ROUGH OPENINGS:

BIFOLD DOORS:  
82" OVER CARPET  
CERAMIC TILE & WOOD  
82" OVER VINYL  
1 3/8" WIDER THAN DOOR

PREHUNG UNITS:  
83" HEIGHT  
2" WIDER THAN DOOR

SRO = SHEET ROCKED OPNG  
FINISH SIZE NOTED ON PLAN  
(EXAMPLE: 2668)

CO = CASSED OPENING (WOOD)  
FINISH SIZE NOTED ON PLAN  
(EXAMPLE: 2668)  
RO. 1/2" WIDER, 83" HIGH



APPROX. 982 FIN. SQ. FT.  
APPROX. 8'-0" CLG. @ UPPER FLR.  
PELLA PROLINE WDWs.

# UPPER FLR. PLAN

SCALE: 1/8" = 1'-0"

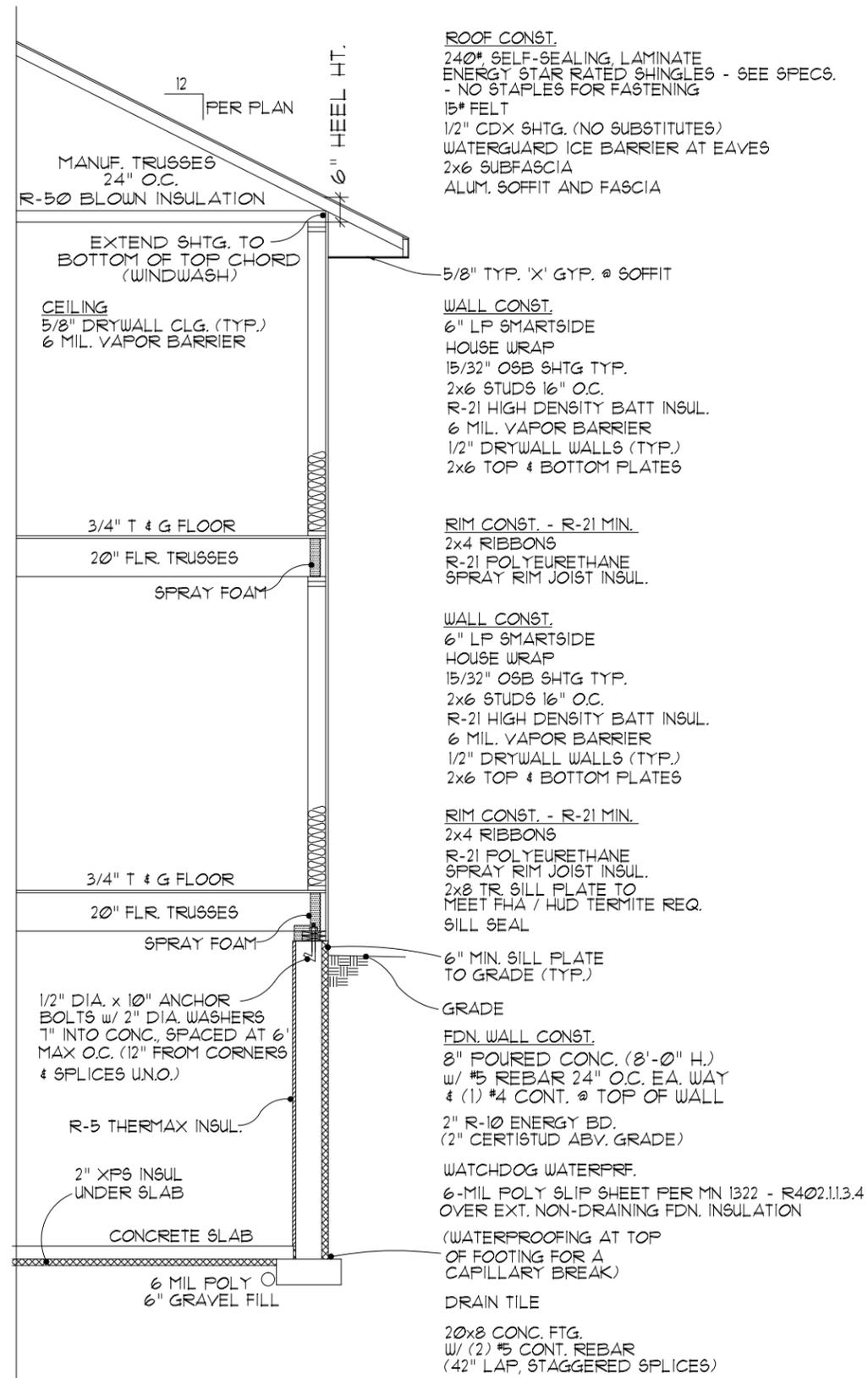
# FINAL PLAN

SPEC. HOME  
2507 1ST AVE. S.  
MINNEAPOLIS, MN  
WASHBURN—FAIR OAKS

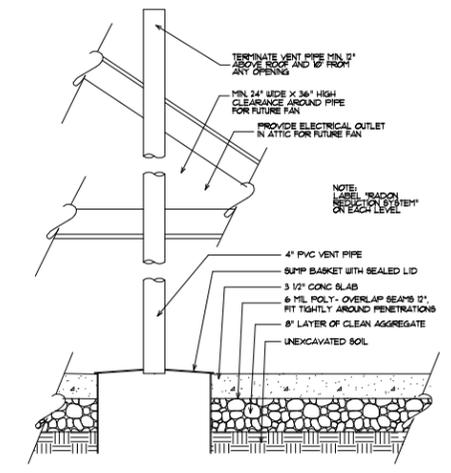
REVISIONS:  
4-20-16 PRELIM.  
5-23-16 FINAL  
6-23-16 FINAL II

5 SHEET  
OF 9

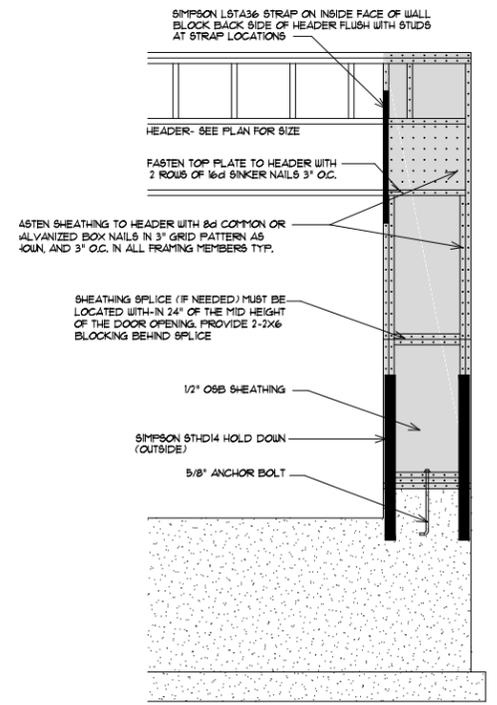
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1 CROSS SECTION  
 6 SCALE: 1/4" = 1'-0"



2 RADON DETAIL  
 6 SCALE: 3/8" = 1'-0"



3 GARAGE PORTAL DETAIL  
 6 SCALE: 3/8" = 1'-0"

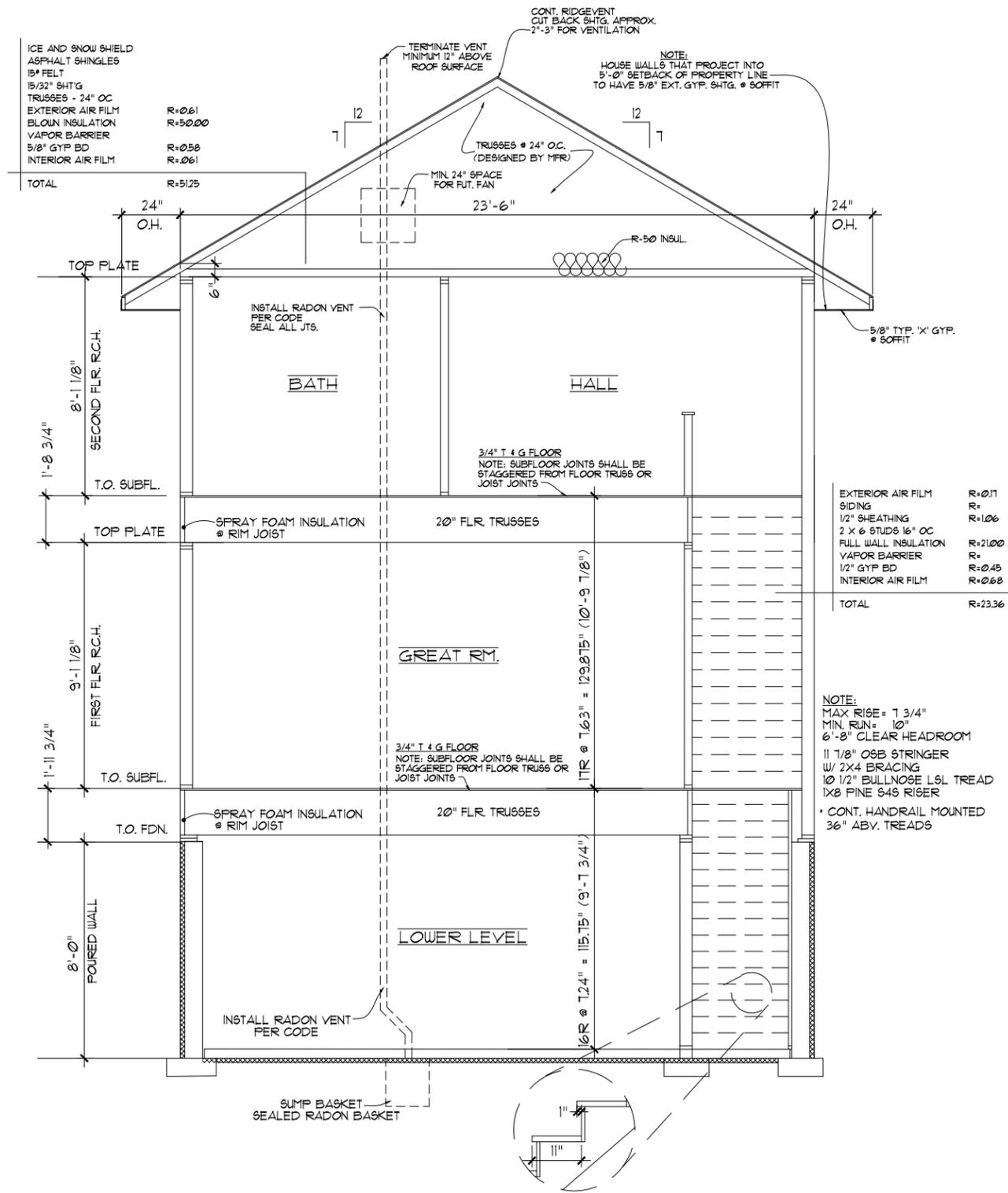
FINAL PLAN

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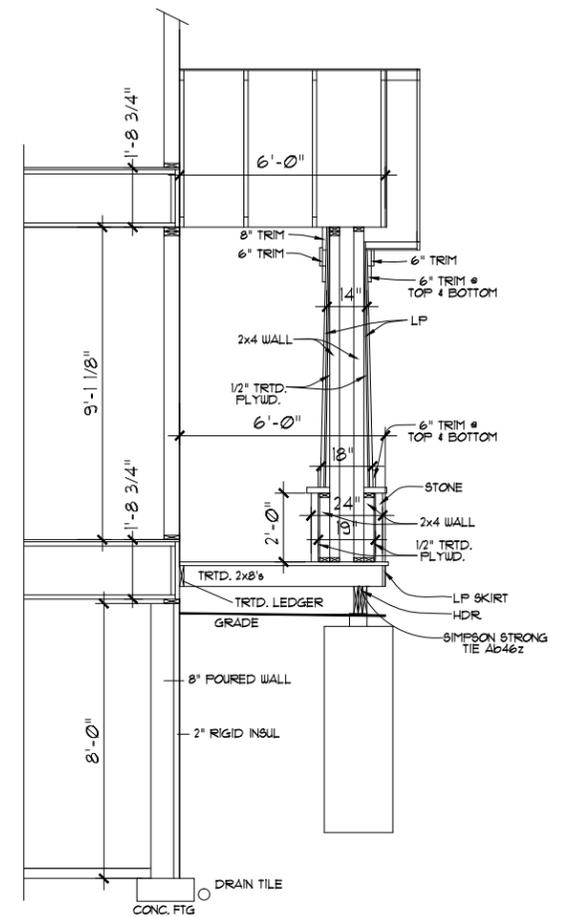
SPEC. HOME  
 2507 1ST AVE. S.  
 MINNEAPOLIS, MN  
 WASHBURN - FAIR OAKS

REVISIONS:

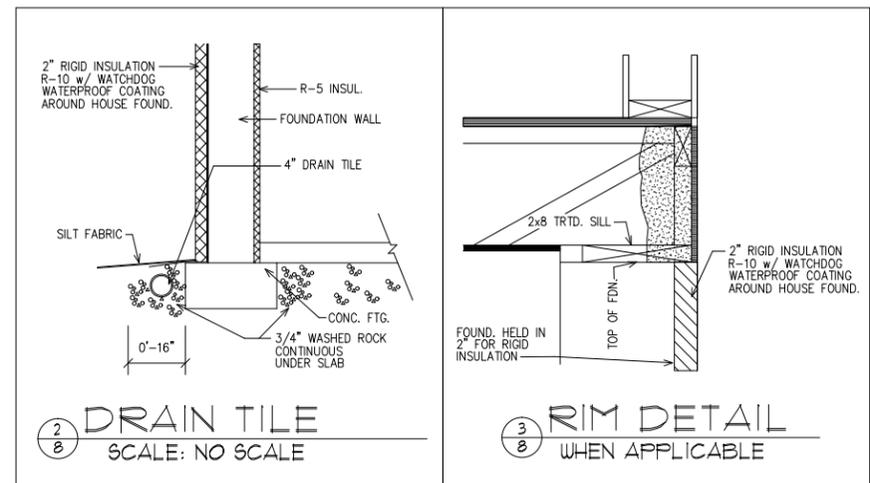
4-20-16 PRELIM.
5-23-16 FINAL
6-23-16 FINAL II



1 CROSS SECTION  
SCALE: 3/16" = 1'-0"



2 SECTION @ STOOP  
SCALE: 3/16" = 1'-0"

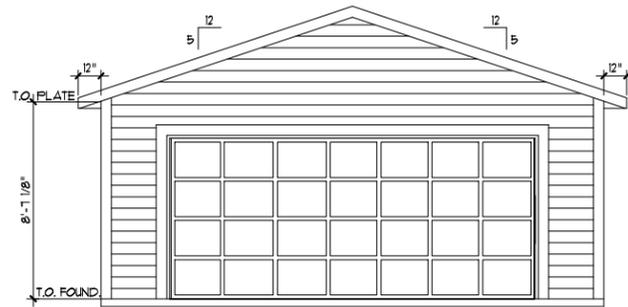


# FINAL PLAN

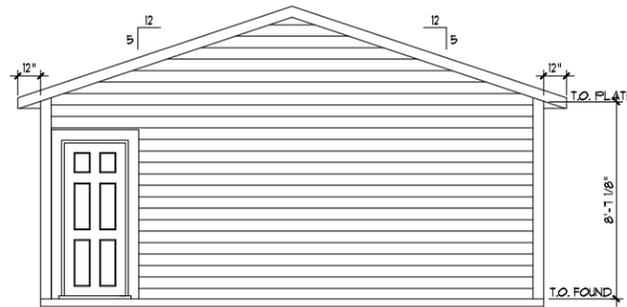
**GENERAL NOTES & DISCLAIMERS**  
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2507 1ST AVE. S.  
MINNEAPOLIS, MN  
WASHBURN-FAIR OAKS

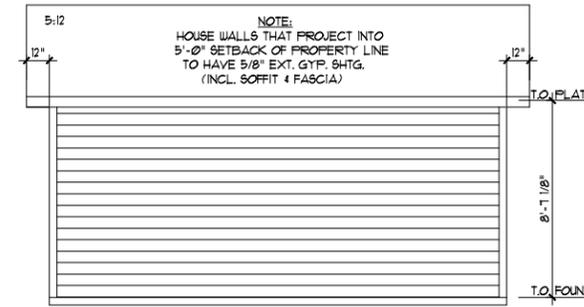
REVISIONS:  
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5-23-16 FINAL  
6-23-16 FINAL II



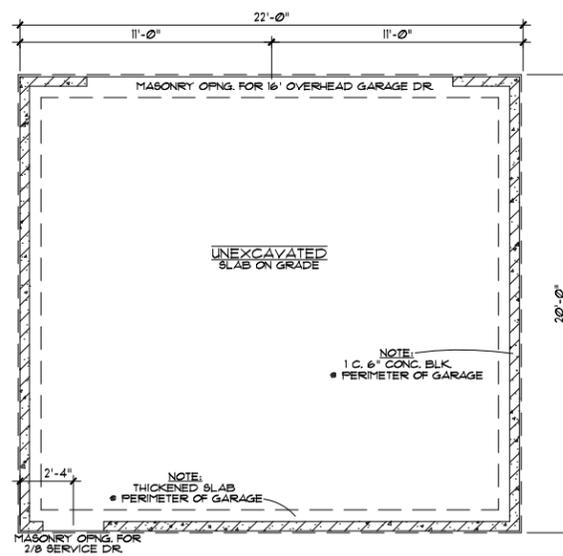
1 FRONT ELEV.  
8 SCALE: 1/8" = 1'-0"



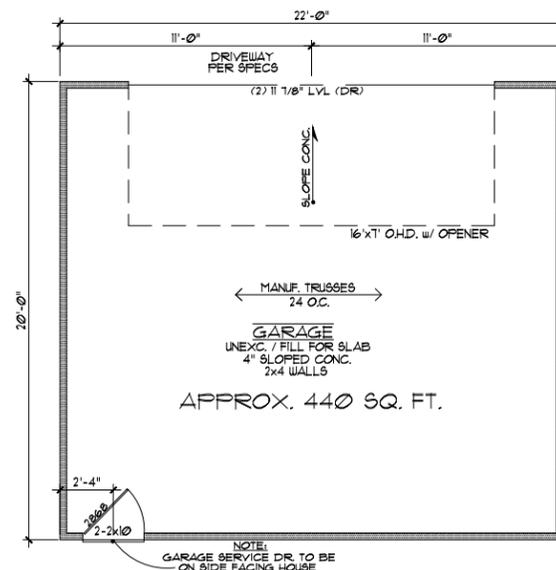
2 REAR ELEV.  
8 SCALE: 1/8" = 1'-0"



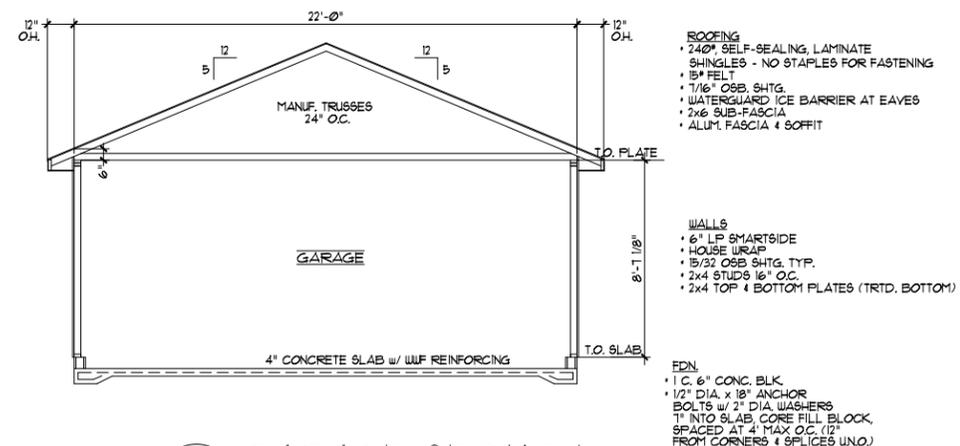
3 SIDE ELEVS.  
8 SCALE: 1/8" = 1'-0"



4 GARAGE FOUND.  
8 SCALE: 1/8" = 1'-0"



5 GARAGE PLAN  
8 SCALE: 1/8" = 1'-0"



6 GARAGE SECTION  
8 SCALE: 1/8" = 1'-0"

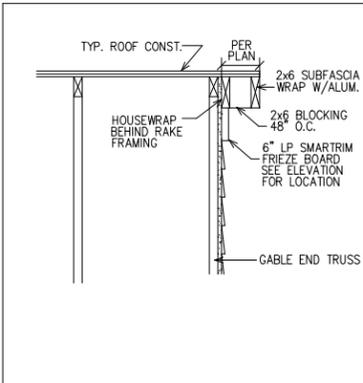
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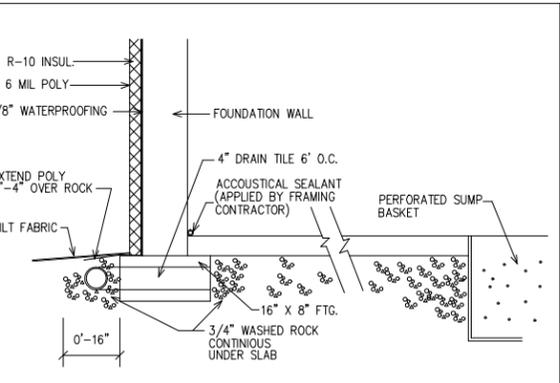
SPEC. HOME  
 2507 1ST AVE. S.  
 MINNEAPOLIS, MN  
 WASHBURN—FAIR OAKS

REVISIONS:

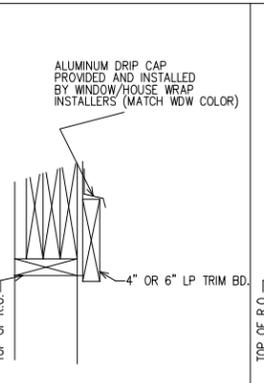
4-20-16	PRELIM.
5-23-16	FINAL
6-23-16	FINAL II



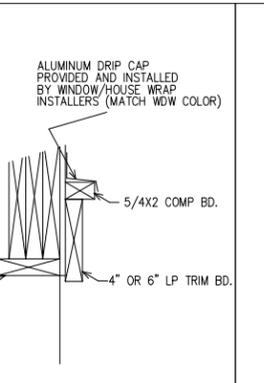
1 RAKE DETAIL  
SCALE: NO SCALE



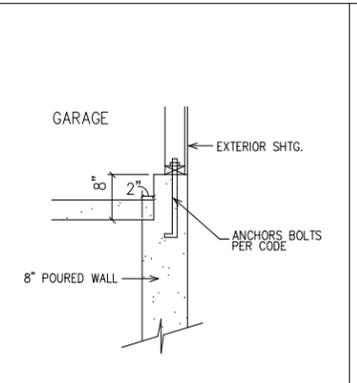
2 DRAIN TILE  
SCALE: NO SCALE



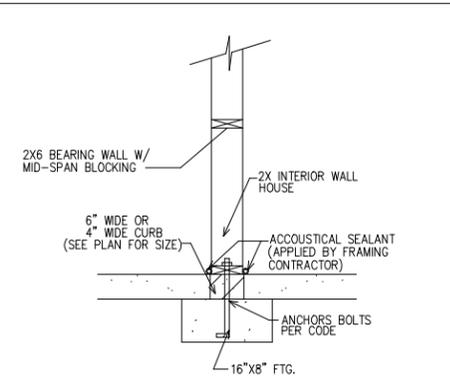
3 WDW. TRIM  
SCALE: NO SCALE



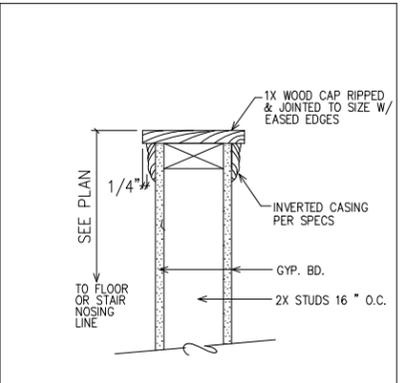
3a TRIM DET.  
SCALE: NO SCALE



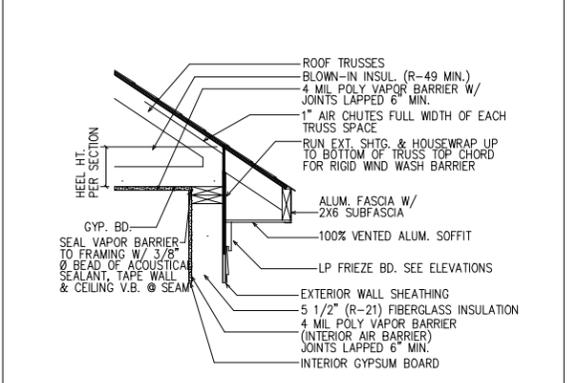
4 FOUND. @ GAR.  
SCALE: 3/8" = 1'-0"



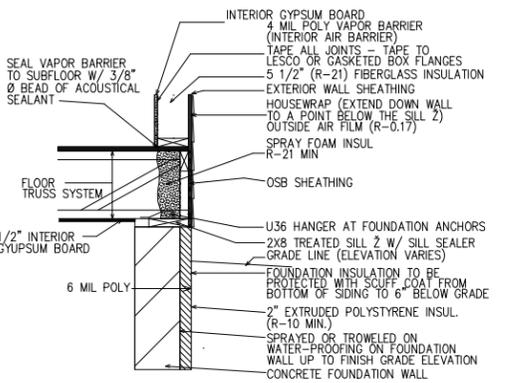
5 INT. BEARING WALL  
SCALE: 3/8" = 1'-0"



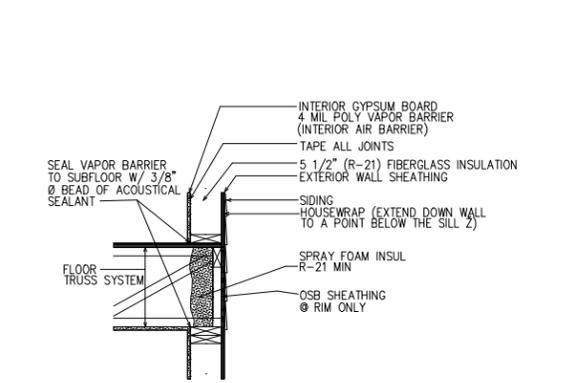
6 1/2 WALL DETAIL  
SCALE: NO SCALE



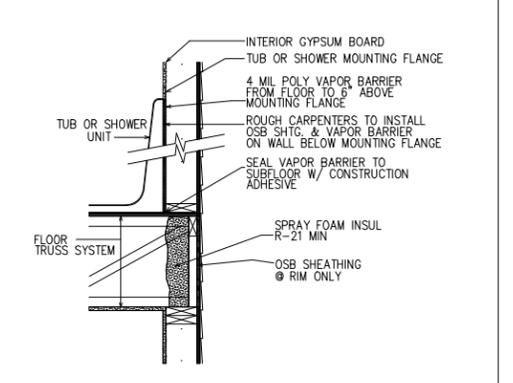
7 EAVE DETAIL  
SCALE: NO SCALE



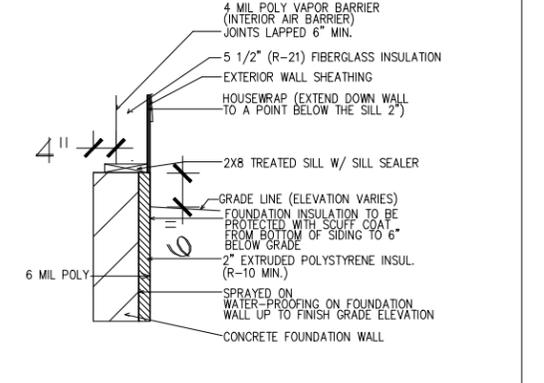
8 RIM @ FDN. DETAIL  
SCALE: NO SCALE



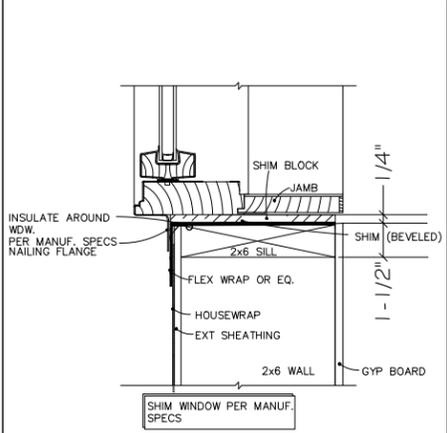
9 RIM @ FRAMING DETAIL  
SCALE: NO SCALE



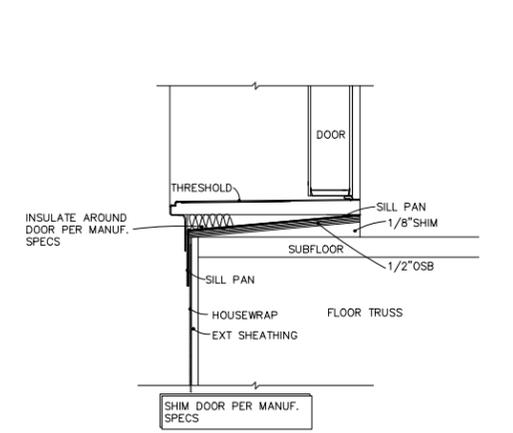
10 TUB / SHWR DETAIL  
SCALE: NO SCALE



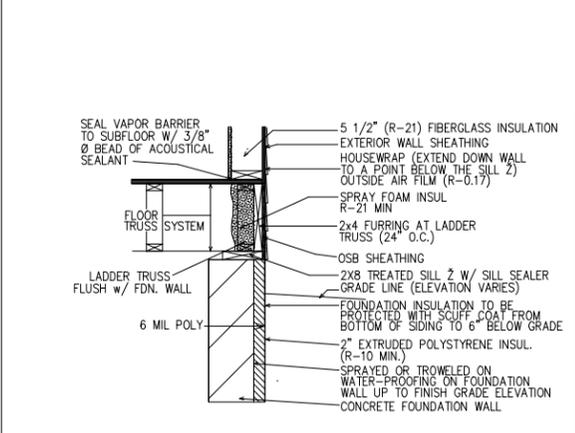
11 LOOKOUT FDN.  
SCALE: NO SCALE



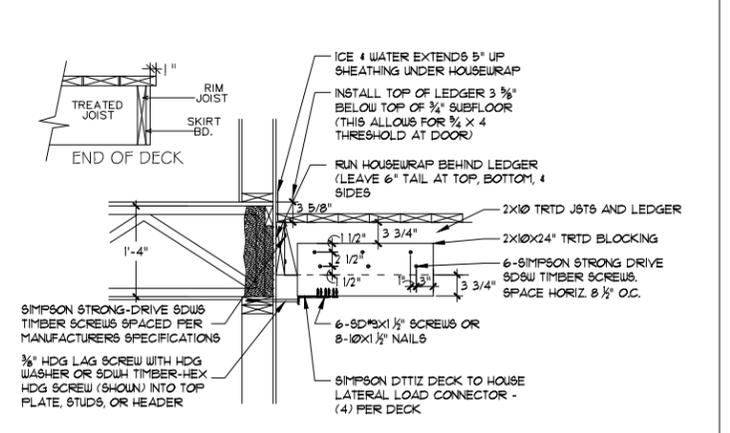
12 SILL DETAIL  
SCALE: NO SCALE



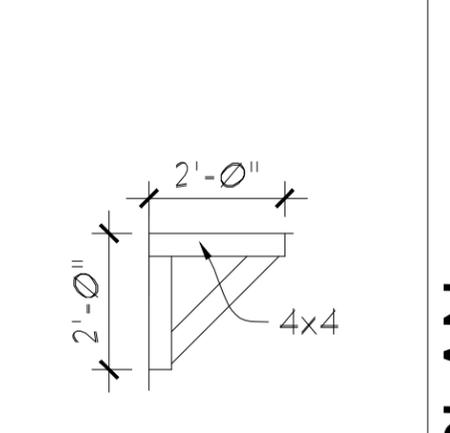
13 TIP SILL @ THRESHOLD  
SCALE: NO SCALE



11 LADDER TRUSS DETAIL  
SCALE: NO SCALE



12 DECK DET.  
SCALE: NO SCALE



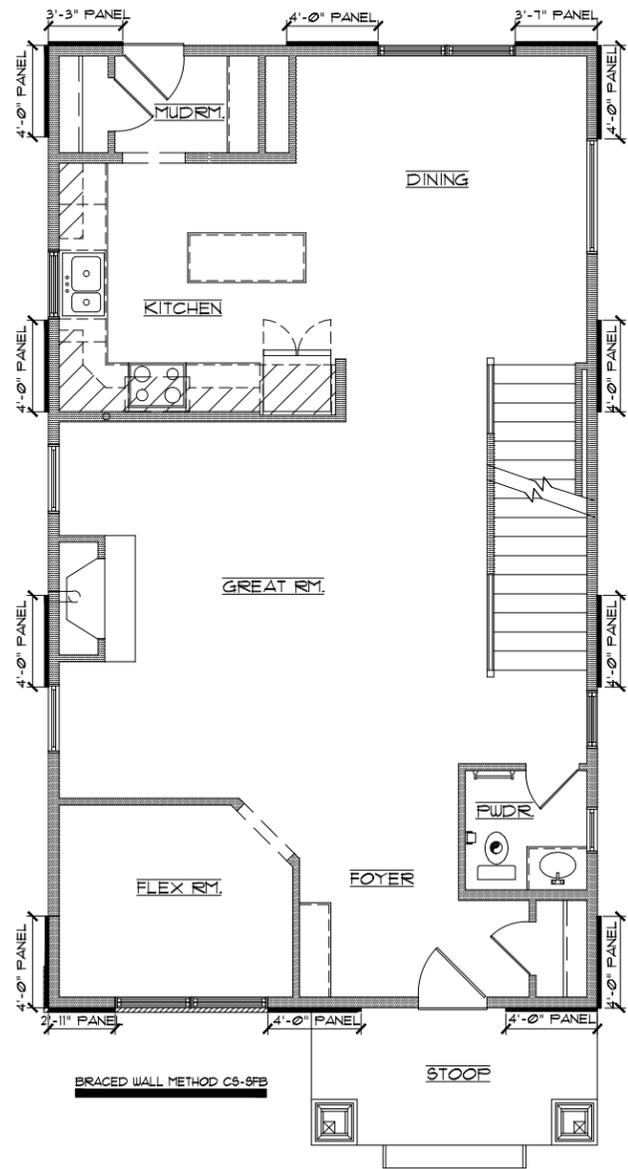
13 KICKER DETAIL  
SCALE: NO SCALE

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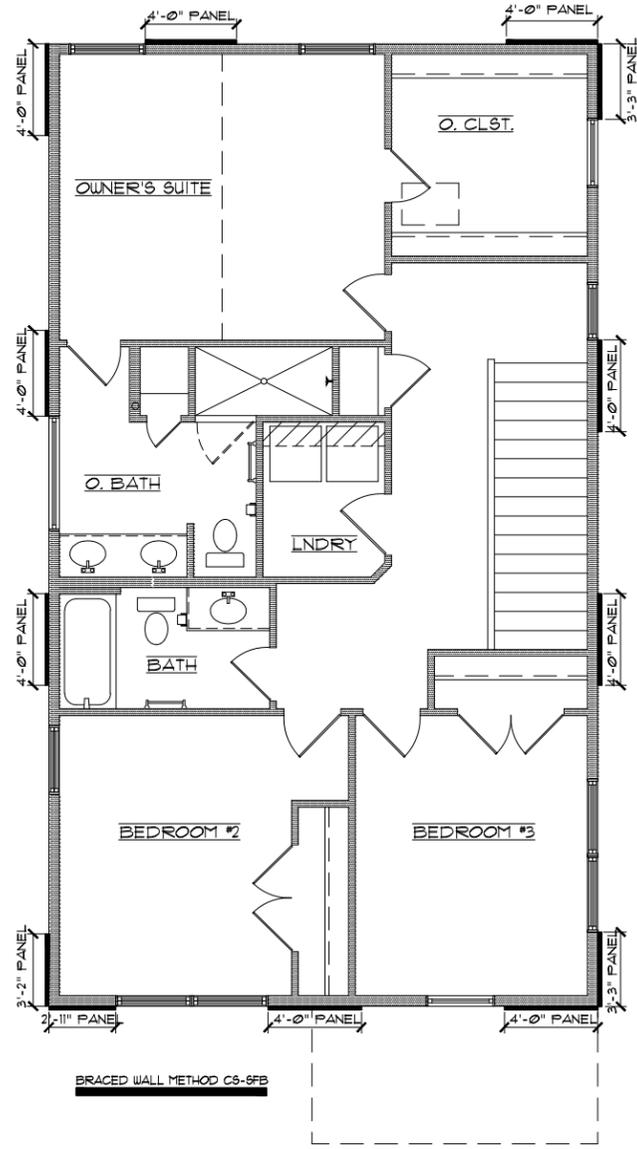
**FINAL PLAN**

SPEC. HOME  
 2507 1ST AVE. S.  
 MINNEAPOLIS, MN  
 WASHBURN - FAIR OAKS

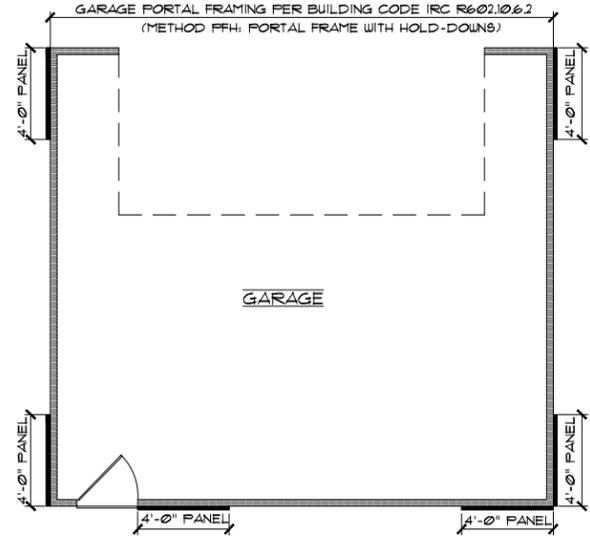
REVISIONS:
4-20-16 PRELIM.
5-23-16 FINAL
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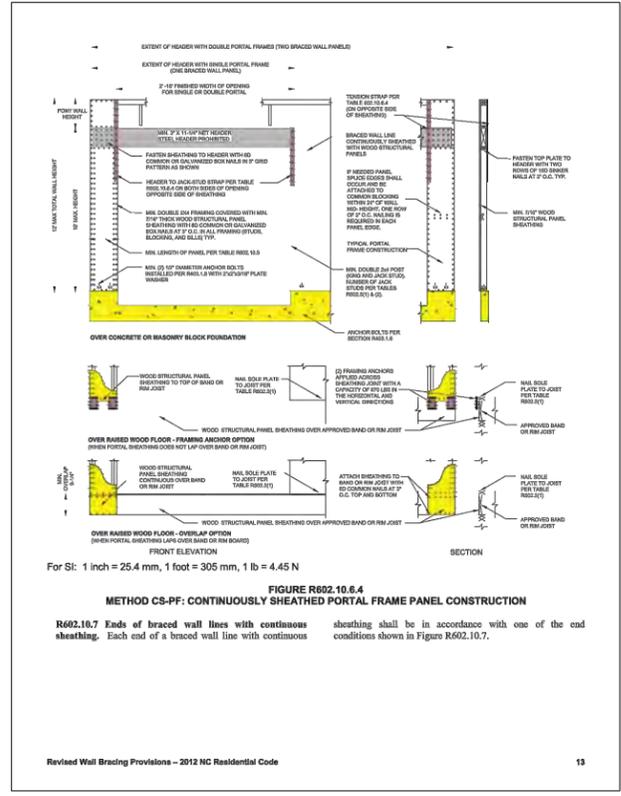
1 MAIN FLR. BRACEWALL  
SCALE: 3/16" = 1'-0"



2 UPPER FLR. BRACEWALL  
SCALE: 3/16" = 1'-0"



3 GARAGE BRACEWALL  
SCALE: 3/16" = 1'-0"



# FINAL PLAN

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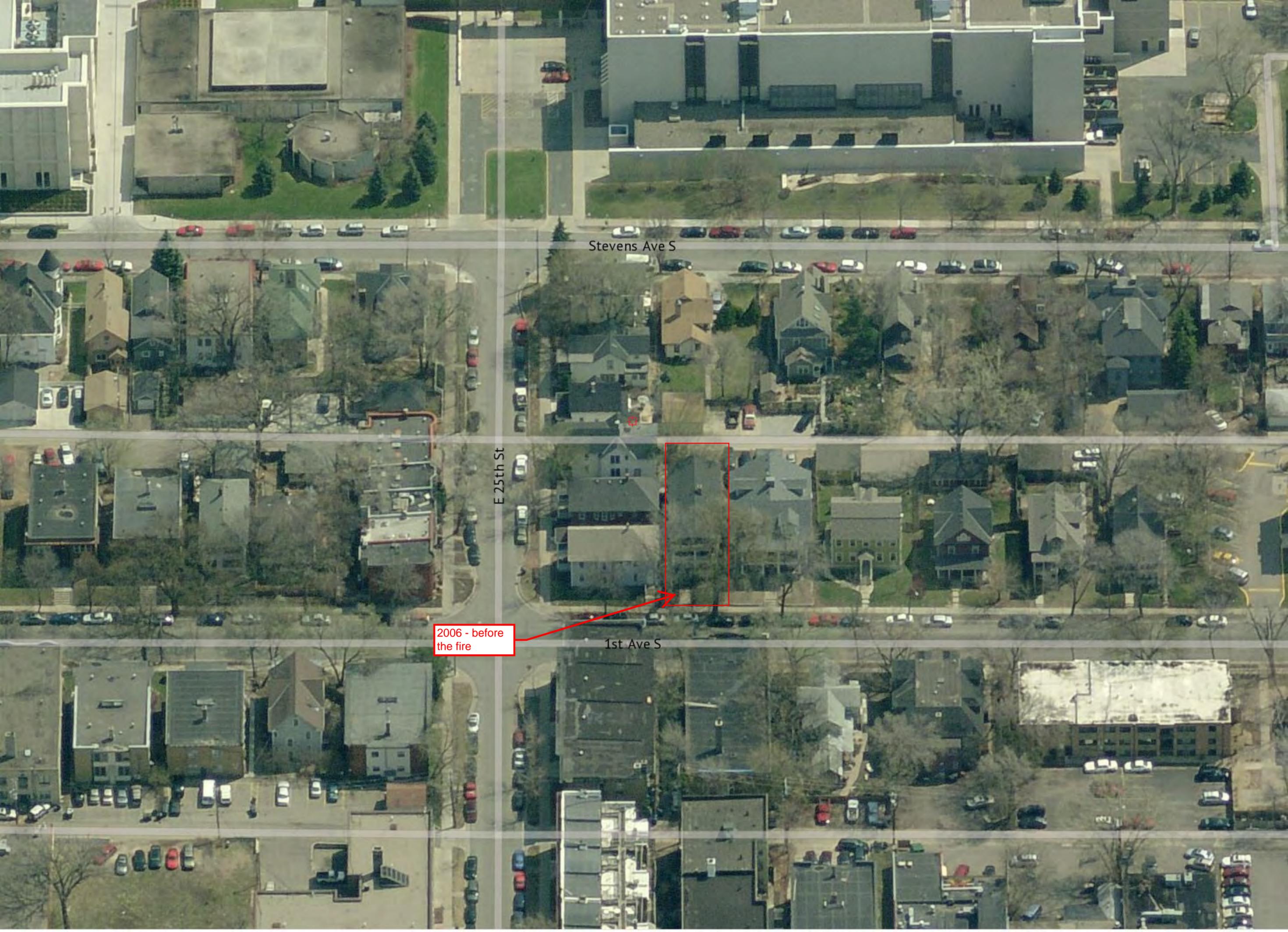
SPEC. HOME  
 2507 1ST AVE. S.  
 MINNEAPOLIS, MN  
 WASHBURN—FAIR OAKS

REVISIONS:
4-20-16 PRELIM.
5-23-16 FINAL
6-23-16 FINAL II

BW



Previous House  
Before Fire in  
2011



Stevens Ave S

E 25th St

1st Ave S

2006 - before  
the fire

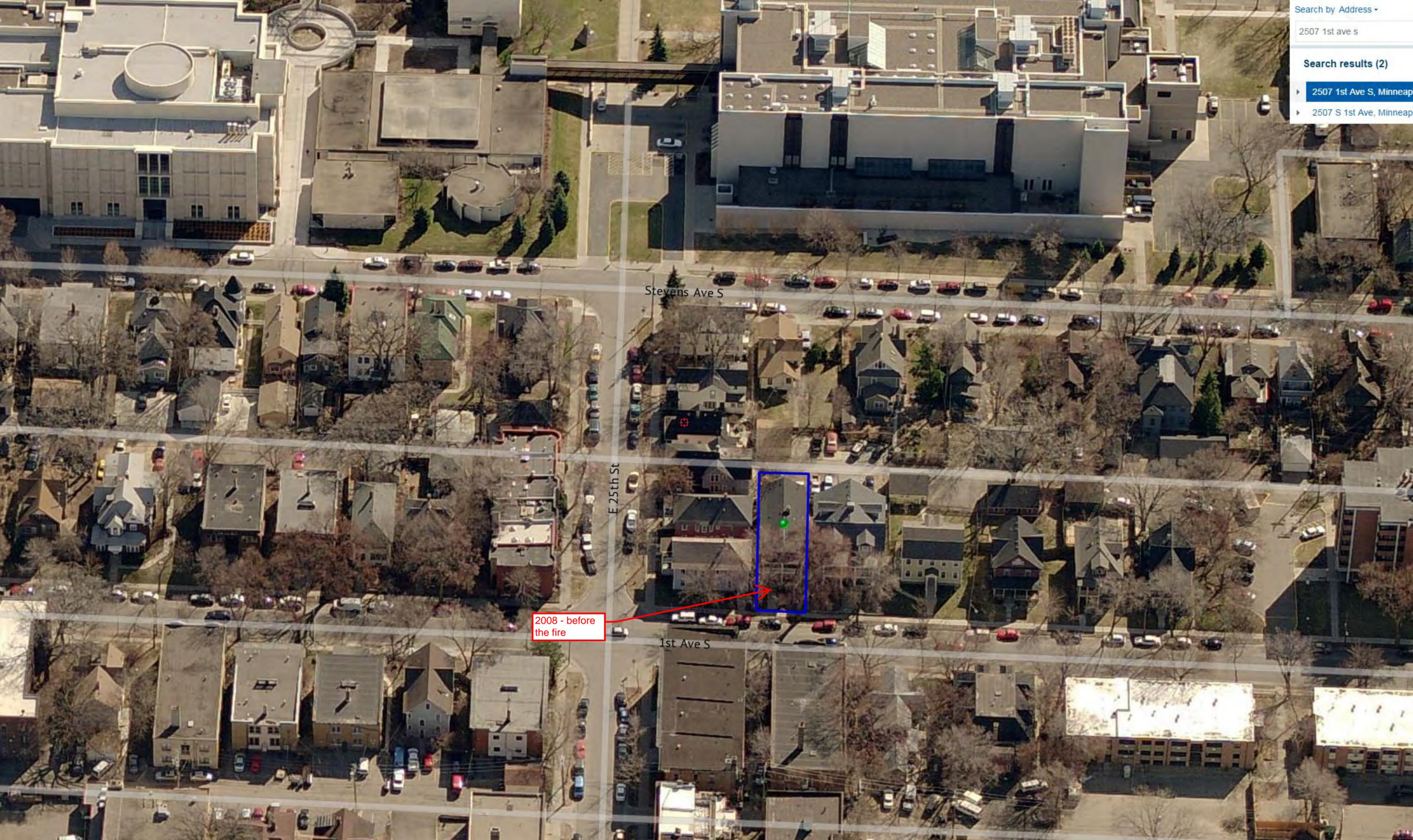
Search by Address ▾

2507 1st ave s

Search results (2)

▶ 2507 1st Ave S, Minneap

▶ 2507 S 1st Ave, Minneap



Stevens Ave S

E 25th St

1st Ave S

2008 - before the fire



Stevens Ave S

E 25th St

2011 - after fire

1st Ave S



Neighbor south of site

Subject Site

Neighbor to North  
of Site









2318



2218



SHEBA  
APARTMENTS  
2420

2420







109



253





2512







2442 2440

FOR SALE

