



LAND USE APPLICATION SUMMARY

Property Location: 419 Lake St E
Project Name: Lake Plaza
Prepared By: Shanna Sether, Senior City Planner, (612) 673-2307
Applicant: Basim Sabri
Project Contact: Brian Houwman
Request: To construct an addition and new parking garage for an existing shopping center.

Required Applications:

Conditional Use Permit	Amendment for an addition and new parking garage for an existing shopping center in the C2 District.
Site Plan Review	For an addition and parking ramp.

SITE DATA

Existing Zoning	C2 Neighborhood Corridor Commercial District
Lot Area	48,221 square feet / 1.11 acres
Ward(s)	9
Neighborhood(s)	Central Area Neighborhood Development Organization; adjacent to Phillips West
Designated Future Land Use	Mixed Use
Land Use Features	Commercial Corridor (E Lake St)
Small Area Plan(s)	<u>Midtown Greenway Land Use and Development Plan (2005)</u>

Date Application Deemed Complete	July 5, 2016	Date Extension Letter Sent	August 9, 2016
End of 60-Day Decision Period	September 3, 2016	End of 120-Day Decision Period	November 2, 2016

BACKGROUND

SITE DESCRIPTION AND PRESENT USE. The building at 417 East Lake Street was utilized as a thrift store until late 2002. The Planning Commission approved a conditional use permit, gross floor area variance, and a site plan review (BZZ-893) on December 9, 2002, to allow this building to be converted into a shopping center (retail and restaurant uses). A final site plan was approved on January 8, 2003 (PW#7268).

SURROUNDING PROPERTIES AND NEIGHBORHOOD. The surrounding properties include commercial/retail, shopping centers, warehouse and minor automobile repair uses along East Lake St. South of the property, there are low-density residential uses.

PROJECT DESCRIPTION. The existing building is a shopping center with restaurants and retail spaces on the first floor and a reception meeting hall on the second floor. The applicant recently requested a building permit to convert the reception meeting hall to retail spaces and the permit has received zoning approval.

The applicant amended plans for the proposed project and the application was continued from the August 1, 2016, planning commission. The applicant is proposing to add approximately 9,500 sq. ft. of an addition over the first floor at the rear of the building and a three story parking ramp with 150 parking stalls. The proposed ramp is intended to provide off-street parking for the retail uses in the shopping center and the proposed office/retail building at 501 East Lake Street.

RELATED APPROVALS.

Planning Case #	Application	Description	Action
BZZ-1541	CUP to extend hours, parking variance, fence height variance and site plan review	New reception or meeting hall	The CPC granted partial approval 2/23/2004.
BZZ-893	CUP, GFA variance and site plan review	Convert from retail to shopping center	The CPC approved the applications 12/9/2002.

PUBLIC COMMENTS. Staff has not received public comments at the time of preparing the staff report. Any correspondence received prior to the public meeting will be forwarded on to the Planning Commission for consideration.

ANALYSIS

CONDITIONAL USE PERMIT

The Department of Community Planning and Economic Development has analyzed the application to allow for an existing shopping center based on the following findings:

1. *The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, comfort or general welfare.*

The proposed changes to the property and continued operation of a shopping center on a commercial street at this location will not be detrimental to or endanger the public health, safety, comfort or general welfare.

2. *The conditional use will not be injurious to the use and enjoyment of other property in the vicinity and will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.*

The proposed changes to the property and operation of a shopping center on this site will continue provide an opportunity for several small businesses to offer goods and services to consumers. An expansion of the shopping center will not be injurious to the use and enjoyment of other property in the vicinity and will not impede the normal or orderly development and improvement of surrounding property for uses permitted in the district.

3. *Adequate utilities, access roads, drainage, necessary facilities or other measures, have been or will be provided.*

Adequate utilities, access roads, drainage, necessary facilities or other measures, have been or will be provided by the applicant. None of these facilities are proposed to change from the previously approved plans.

4. *Adequate measures have been or will be taken to minimize traffic congestion in the public streets.*

The existing shopping center and proposed addition requires a total of 85 off-street parking spaces. The applicant is also proposing a mixed use building at 501 East Lake Street with a restaurant use on the first floor and office above. The minimum off-street parking requirement for this building is 12 spaces. The applicant is proposing to construct a new parking ramp with 150 spaces, which exceeds the minimum off-street parking requirement for both the shopping center and mixed use building. In addition, the applicant has provided a draft Travel Demand Management Plan (TDMP) outlining possible traffic impacts. The subject property is located at 5th Ave S and Lake St E and there are three bus stops within ½ block of the property and one of the busses, the MetroTransit #21 is a high-frequency route. Finally, the applicant is proposing to add 6 additional bicycle parking spaces. Staff finds that the adequate measures have been taken to minimize traffic congestion in the public streets.

5. *The conditional use is consistent with the applicable policies of the comprehensive plan.*

The Minneapolis Plan for Sustainable Growth identifies the shopping center site as mixed use on the future land use map. The shopping center site is located on Lake St E, a commercial corridor. The proposed development is consistent with the following principles and policies outlined in the comprehensive plan:

Land Use Policy 1.4: Develop and maintain strong and successful commercial and mixed use areas with a wide range of character and functions to serve the needs of current and future users.

1.4.1 Support a variety of commercial districts and corridors of varying size, intensity of development, mix of uses, and market served.

1.4.2 Promote standards that help make commercial districts and corridors desirable, viable, and distinctly urban, including: diversity of activity, safety for pedestrians, access to desirable goods and amenities, attractive streetscape elements, density and variety of uses to encourage walking, and architectural elements to add interest at the pedestrian level.

I.4.3 Continue to implement land use controls applicable to all uses and structures located in commercial districts and corridors, including but not limited to maximum occupancy standards, hours open to the public, truck parking, provisions for increasing the maximum height of structures, lot dimension requirements, density bonuses, yard requirements, and enclosed building requirements.

I.4.4 Continue to encourage principles of traditional urban design including site layout that screens off-street parking and loading, buildings that reinforce the street wall, principal entrances that face the public sidewalks, and windows that provide “eyes on the street”.

Land Use Policy 1.5: Promote growth and encourage overall city vitality by directing new commercial and mixed use development to designated corridors and districts.

I.5.1 Support an appropriate mix of uses within a district or corridor with attention to surrounding uses, community needs and preferences, and availability of public facilities.

I.5.2 Facilitate the redevelopment of underutilized commercial areas by evaluating possible land use changes against potential impacts on the surrounding neighborhood.

I.5.3 Promote the preservation of traditional commercial storefronts wherever feasible.

Land Use Policy 1.10: Support development along Commercial Corridors that enhances the street’s character, fosters pedestrian movement, expands the range of goods and services available, and improves the ability to accommodate automobile traffic.

I.10.1 Support a mix of uses – such as retail sales, office, institutional, high-density residential and clean low-impact light industrial – where compatible with the existing and desired character.

I.10.2 Encourage commercial development, including active uses on the ground floor, where Commercial Corridors intersect with other designated corridors.

I.10.3 Discourage uses that diminish the transit and pedestrian character of Commercial Corridors, such as some automobile services and drive-through facilities, where Commercial Corridors intersect other designated corridors.

I.10.4 Encourage a height of at least two stories for new buildings along Commercial Corridors, in keeping with neighborhood character.

The shopping center property is located within the study area of the Midtown Greenway Land Use and Development Plan, however, there is no specific guidance for this property found in the Plan.

6. *The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.*

If the requested land use applications are approved and the conditions of approval are met, the proposal will comply with all provisions of the C2 District.

SITE PLAN REVIEW

The Department of Community Planning and Economic Development has analyzed the application based on the required findings and applicable standards in the site plan review chapter:

I. Conformance to all applicable standards of Chapter 530, Site Plan Review.

BUILDING PLACEMENT AND DESIGN

Building placement – Meets requirements

- The first floor of the building is located within eight feet of the front lot line abutting E Lake St and the corner lot line abutting 5th Ave S. The proposed parking ramp is located four feet from the front property line, where it is outside of the required front yard. There is a required front yard setback of 20 feet for the first 25 feet from the south property line and the ramp is meeting the required setback.
- The placement of the building reinforces the street wall, maximizes natural surveillance and visibility, and facilitates pedestrian access and circulation.
- All on-site accessory parking is located to the rear and side of the site in a proposed parking ramp.

Principal entrances – Meets requirements

- The building is oriented so that at least one principal entrance faces the front property line, along both E Lake St and 5th Ave S.
- All principal entrances are clearly defined and emphasized through the use of awnings and signage.

Visual interest – Meets requirements

- The building walls provide architectural detail and contain windows in order to create visual interest.
- There are no blank, uninterrupted walls exceeding 25 feet in length for any of the proposed additions. The existing building has a blank wall facing 5th Ave S, however, there is an existing mural painted on this wall.

Exterior materials – Requires alternative compliance

- The applicant is proposing stucco to match the existing building’s primary exterior materials. Each elevation of the addition would exceed the allowed maximum percentage for stucco with the City’s durability standards for exterior materials (see Table 2). Further, staff is recommending that the applicant provide a material or color on the exterior of the ramp to ensure compatibility with the existing shopping center and further recommends the use of perforated metal screen between the floors to minimize the appearance of sloped floors and still allow for views in and out of the ramp. The applicant is seeking alternative compliance by providing a consistent exterior material to match the existing building, which is out of compliance with the maximum percentage of stucco. Please note that exterior material changes at a later date may require review by the Planning Commission and an amendment to the site plan review.
- In addition, the application is consistent with the City’s policy of allowing no more than three exterior materials per elevation, excluding windows, doors, and foundation materials.
- Plain face concrete block is not proposed along any public streets, sidewalks, or adjacent to a residence or office residence district.
- The exterior materials and appearance of the rear and side walls of the building are similar to and compatible with the front of the building.

Table 1. Percentage of Exterior Materials per Elevation

Material	Allowed Max	North	South	East	West
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Glass	100%	n/a	n/a	20%	5%
Stucco	75%	n/a	n/a	80%	95%

Windows – Requires alternative compliance

- For nonresidential uses, the zoning code requires that no less than 30 percent of the walls on the first floor are windows with clear or lightly tinted glass with a visible light transmittance ratio of six-tenths (0.6) or higher. No less than ten percent of the walls on each floor above the first that face a public street, public sidewalk, public pathway, or on-site parking lot, shall be windows. Based on the photos and site visits there is existing shelving and merchandise restricting views into and out of the building between four and seven feet above the adjacent grade, staff is recommending that the applicant remove these obstructions from windows to increase visibility. The new addition on the elevation facing 5th Ave S includes both the parking ramp and the upper floors over the existing building. The project is in compliance with the minimum window requirement on the second floor. The proposed parking ramp will not contain windows; however, will be open to allow views in and out of the ramp and the applicant is requesting alternative compliance.
- The proposed windows will vertical in proportion in the southernmost addition, however, the applicant is proposing clerestory within the new bridge connecting the existing 2nd floor to the addition. The applicant is seeking alternative compliance for the clerestory windows in the new bridge, which is setback 60 feet from 5th Ave S and will most likely not be visible from the public street. All of the windows will be located on the shopping center and no windows will be located on the parking ramp. Therefore, the proposed windows will not be evenly distributed along the building walls and the applicant is seeking alternative compliance.

Table 2. Percentage of Windows per Applicable Elevation

	Code Requirement		Proposed	
Nonresidential Uses				
1st floor – facing 5 th Ave S	30% minimum	813 sq. ft.	20%	543.5 sq. ft.
2nd floor and above – facing 5 th Ave S	10% minimum	XX sq. ft.	XX%	XX sq. ft.

Ground floor active functions – Requires alternative compliance

- The ground floor facing 5th Ave S contains 61 percent (207 feet) active functions. At least 70 percent of the first floor building frontage facing the public street, public sidewalk, or public walkway contains active functions. The applicant is seeking alternative compliance. The full length of the shopping center has ground level active functions and the parking ramp would not.

Roof line – Meets requirements

- The principal roof line of the building will be flat, which is consistent with the existing building and similar to that of surrounding buildings.

Parking garages – Requires alternative compliance

- All of the proposed parking is located in a new three-story parking garage, at the rear of the existing shopping center.
- As proposed, sloped floors would dominate the appearance of the walls on the parking garage, and the applicant is not proposing to screen the sloped floors or vehicles from view. Staff is recommending that the applicant provide a decorative metal screen between the floors to disguise the sloped floors and vehicles from the public sidewalk, street and residential uses across 5th Ave S.

- The proposed parking garage does not comply with the minimum windows and ground floor active functions requirements. The applicant is requesting alternative compliance to reduce the window area and ground level active functions.

ACCESS AND CIRCULATION

Pedestrian access – Meets requirements

- There are clear and well-lit walkways at least four feet in width connecting building entrances to the adjacent public sidewalk and on-site parking facilities. The proposed parking ramp will have a dedicated pedestrian access from the public sidewalk along 5th Ave S.

Transit access – Not applicable

- No transit shelters are proposed as part of this development.

Vehicular access – Meets requirements

- Vehicular access and circulation has been designed to minimize conflicts with pedestrian traffic and with surrounding residential uses.
- Curb cuts have been consolidated from two to one.
- There is no access for vehicles to the public alleys adjacent to the site. The parking garage entrance and exit is located on 5th Ave S.
- Service vehicle access does not conflict with pedestrian traffic. Truck loading areas are not located next to residence or office residence districts. The applicant received approval to locate an 80 ft. loading zone along Lake St E for the shopping center.
- There is no maximum impervious surface requirement in the C2 zoning district. According to the materials submitted by the applicant, 96.3% of the site will be impervious, while 95.3 percent of the existing site is impervious.

LANDSCAPING AND SCREENING

General landscaping and screening – Requires alternative compliance

- The overall composition and location of landscaped areas complement the scale of development and its surroundings.
- At least 20 percent of the site not occupied by the building is landscaped. The applicant is proposing approximately 1,826 square feet of landscaping on site, or approximately 55.6 percent of the site not occupied by buildings (see Table 4).
- The applicant is not proposing at least one canopy tree per 500 square feet of the required landscaped area, including all required landscaped yards. The tree requirement for the site is 3 and the applicant is proposing a total of 6 ornamental trees, but 0 canopy trees. The applicant is requesting alternative compliance. Staff finds there is sufficient space in the required landscaped yards to provide three canopy trees.
- The applicant is proposing at least one shrub per 100 square feet of the required landscaped area, including all required landscaped yards. The shrub requirement for the site is 15 and the applicant is proposing 15 shrubs.
- The remainder of the required landscaped area is covered with turf grass, native grasses, perennial flowering plants, vines, shrubs and other trees.

Table 3. Landscaping and Screening Requirements

	Code Requirement	Proposed
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Lot Area	--	48,221 sq. ft.
Building Footprint	--	44,937 sq. ft.
Remaining Lot Area	--	3,284 sq. ft.
Landscaping Required	656.8 sq. ft.	1,826 sq. ft.
Canopy Trees (1:500 sq. ft.)	3 trees	0 trees
Shrubs (1:100 sq. ft.)	15 shrubs	15 shrubs

Parking and loading landscaping and screening – Not applicable

- There is no surface parking proposed for the site, so the site is not subject to the screening and landscaping requirements for parking areas per section 530.170.

ADDITIONAL STANDARDS

Concrete curbs and wheel stops – Not applicable

- There are no surface parking spaces proposed on the site.

Site context – Meets requirements

- There are no important elements of the city near the site that will be obstructed by the proposed building.
- This building should have minimal shadowing effects on public spaces and adjacent properties.
- This building has been designed to minimize the generation of wind currents at ground level.

Crime prevention through environmental design – Meets requirements

- The site plan employs best practices to increase natural surveillance and visibility, to control and guide movement on the site, and to distinguish between public and non-public spaces.
- The proposed site, landscaping, and buildings promote natural observation and maximize the opportunities for people to observe adjacent spaces and public sidewalks.
- The project provides lighting on site, at all building entrances, and along walkways that maintains a minimum acceptable level of security while not creating glare or excessive lighting of the site.
- The landscaping, sidewalks, lighting, fencing, and building features are located to clearly guide pedestrian movement on or through the site and to control and restrict people to appropriate locations.
- The entrances, exits, signs, fencing, landscaping, and lighting are located to distinguish between public and private areas, to control access, and to guide people coming to and going from the site.

Historic preservation – Not applicable

- This site is neither historically designated nor is it located in a historic district.

2. Conformance with all applicable regulations of the zoning ordinance.

The proposed use is conditional in the C2 District.

Off-street Parking and Loading – Meets requirements

- The off-street vehicle parking requirement for the shopping center is 85 spaces (see Table 5).
- The minimum bicycle parking requirement 10 spaces, where 8 spaces are nonconforming (see Table 6).

- The off-street loading requirement as approved by the C.U.P. The applicant was approved for a loading zone on E Lake St by Public Works (see Table 7).

Table 4. Vehicle Parking Requirements Per Use (Chapter 541)

Use	Minimum	Reductions	Total with Reductions	Maximum Allowed	Proposed
General Retail Sales and Services	81	--	81	224	--
Restaurant	4	--	4	13	--
	--	--	85	237	150

Table 5. Bicycle Parking Requirements (Chapter 541)

Use	Minimum	Reductions	Short-Term	Long-Term	Proposed
Shopping Center	10	(8)	Not less than 50%	--	6
	10	2	1	--	6

Table 6. Loading Requirements (Chapter 541)

Use	Loading Requirement	Minimum Requirement	Proposed
Shopping Center	As approved by C.U.P.	As approved by C.U.P.	On-street loading zone

Building Bulk and Height – Meets requirements

- The existing building and proposed addition and parking garage meet the building bulk and height requirements in the C2 District (see Table 8).

Table 7. Building Bulk and Height Requirements

	Code Requirement	Proposed
Lot Area	--	48,221 sq. ft. / 1.11 acres
Gross Floor Area	--	51,130 sq. ft.
Floor Area Ratio (Minimum)	--	1.06
Floor Area Ratio (Maximum)	1.7	
Building Height (Maximum)	4 stories or 56 feet, whichever is less	36 ft. 6 in.

Lot Requirements – Not applicable

- There are no lot requirements for a shopping center in the C2 District.

Yard Requirements – Meets requirements

- There are minimum yard requirements along the south interior side yard and front yard for the first 25 feet along 5th Ave S (see Table 10).

Table 8. Minimum Yard Requirements

Setback	Zoning District	Overriding Regulations	Total Requirement	Proposed
Front along 5th Ave S (East)	0 ft.	20 ft.	20 ft. for the first 25 ft.	20 ft.
Corner Side (North)	0 ft.	--	0 ft.	0 ft.
Interior Side (South)	0 ft.	9 ft.	9 ft.	9 ft.
Rear (West)	0 ft.	--	0 ft.	0 ft.

Signs – Meets requirements

- All signs are subject to Chapter 543, On-Premise Signs. The applicant will be required to submit a separate sign permit application for any signage that is proposed.
- The applicant is not proposing additional signage at this time.

Screening of Mechanical Equipment – Meets requirements with Conditions of Approval

- All mechanical equipment is subject to the screening requirements of Chapter 535 and district requirements:

535.70. Screening of mechanical equipment.

- a) In general. All mechanical equipment installed on or adjacent to structures shall be arranged so as to minimize visual impact using one (1) of the following methods. All screening shall be kept in good repair and in a proper state of maintenance.
 - 1) Screened by another structure. Mechanical equipment installed on or adjacent to a structure may be screened by a fence, wall or similar structure. Such screening structure shall comply with the following standards:
 - a. The required screening shall be permanently attached to the structure or the ground and shall conform to all applicable building code requirements.
 - b. The required screening shall be constructed with materials that are architecturally compatible with the structure.
 - c. Off-premise advertising signs and billboards shall not be considered required screening.
 - 2) Screened by vegetation. Mechanical equipment installed adjacent to the structure served may be screened by hedges, bushes or similar vegetation.

- 3) Screened by the structure it serves. Mechanical equipment on or adjacent to a structure may be screened by a parapet or wall of sufficient height, built as an integral part of the structure.
 - 4) Designed as an integral part of the structure. If screening is impractical, mechanical equipment may be designed so that it is balanced and integrated with respect to the design of the building.
- b) Exceptions. The following mechanical equipment shall be exempt from the screening requirements of this section:
- 1) Minor equipment not exceeding one (1) foot in height.
 - 2) Mechanical equipment accessory to a single or two-family dwelling.
 - 3) Mechanical equipment located in an I2 or I3 District not less than three hundred (300) feet from a residence or office residence district.
- All mechanical equipment is enclosed within the building or is screened from the public street by the building itself.

Refuse Screening – Meets requirements with Conditions of Approval

- All refuse and recycling storage containers are subject to the screening requirements in Chapter 535:

535.80. Screening of refuse and recycling storage containers.

Refuse, recycling storage, and compost containers shall be enclosed on all four (4) sides by screening compatible with the principal structure not less than two (2) feet higher than the refuse container or shall be otherwise effectively screened from the street, adjacent residential uses located in a residence or office residence district and adjacent permitted or conditional residential uses. Single and two-family dwellings and multiple-family dwellings of three (3) and four (4) units shall not be governed by this provision.

- All refuse and recycling storage containers are located within the proposed parking ramp and be required to be screened in compliance with 535.80.

Lighting – Meets requirements with Conditions of Approval

- Existing and proposed lighting must comply with Chapter 535 and Chapter 541 of the zoning code, including:

535.590. Lighting.

- a) In general. No use or structure shall be operated or occupied as to create light or glare in such an amount or to such a degree or intensity as to constitute a hazardous condition, or as to unreasonably interfere with the use and enjoyment of property by any person of normal sensitivities, or otherwise as to create a public nuisance.
- b) Specific standards. All uses shall comply with the following standards except as otherwise provided in this section:
 - 1) Lighting fixtures shall be effectively arranged so as not to directly or indirectly cause illumination or glare in excess of one-half (1/2) footcandle measured at the closest property line of any permitted or conditional residential use, and five (5) footcandles measured at the street curb line or nonresidential property line nearest the light source.
 - 2) Lighting fixtures shall not exceed two thousand (2,000) lumens (equivalent to a one hundred fifty (150) watt incandescent bulb) unless of a cutoff type that shields the light

source from an observer at the closest property line of any permitted or conditional residential use.

- 3) Lighting shall not create a sensation of brightness that is substantially greater than ambient lighting conditions as to cause annoyance, discomfort or decreased visual performance or visibility to a person of normal sensitivities when viewed from any permitted or conditional residential use.
 - 4) Lighting shall not create a hazard for vehicular or pedestrian traffic.
 - 5) Lighting of building facades or roofs shall be located, aimed and shielded so that light is directed only onto the facade or roof.
- The applicant is required to submit a lighting plan for review by staff to determine compliance with section 535.590 of the zoning code. In addition, staff is recommending that the applicant provide a perforated metal screen to block headlights and interior ramp lighting impacts on adjacent residential uses to the south and east.

Fences – Not applicable

- Fences must comply with the requirements in Chapter 535. The applicant is not proposing any fencing.

Specific Development Standards – Meets requirements

- The applicant’s proposal meets the specific development standards for a shopping center in Chapter 536.

Shopping center.

- (1) Only uses allowed in the zoning district in which the shopping center is located shall be allowed in the shopping center.
- (2) Uses which require a conditional use permit, site plan review or other land use approval shall comply with all review and approval requirements of this zoning ordinance.
- (3) The premises, all adjacent streets, sidewalks and alleys, and all sidewalks and alleys within one hundred (100) feet shall be inspected regularly for purposes of removing any litter found thereon.

3. Conformance with the applicable policies of The Minneapolis Plan for Sustainable Growth.

See Finding #5 Conditional Use Permit

4. Conformance with applicable development plans or objectives adopted by the City Council.

See Finding #5 Conditional Use Permit.

5. Alternative compliance.

The Planning Commission or zoning administrator may approve alternatives to any site plan review requirement upon finding that the project meets one of three criteria required for alternative compliance. Alternative compliance is requested for the following requirements:

- **Exterior materials.** The applicant is proposing stucco to match the existing building’s primary exterior materials. Each elevation of the addition would exceed the allowed maximum percentage for stucco with the City’s durability standards for exterior materials (see Table 2). The applicant is seeking alternative compliance by providing a consistent exterior material to match the existing building, which is out of compliance with the maximum percentage of stucco. Staff is recommending

that the planning commission grant alternative compliance and accept the condition to improve the appearance of the ramp by providing a material or color on the exterior of the ramp to ensure compatibility with the existing shopping center and the use of perforated metal screen between the floors to reduce the appearance of the sloped floors and enhance the appearance and still allow for views in and out of the ramp.

- **20% windows facing 5th Ave in the parking ramp.** For nonresidential uses, the zoning code requires that no less than 30 percent of the walls on the first floor are windows with clear or lightly tinted glass with a visible light transmittance ratio of six-tenths (0.6) or higher. No less than ten percent of the walls on each floor above the first that face a public street, public sidewalk, public pathway, or on-site parking lot, shall be windows. Based on the floor plans, all proposed shelving, mechanical equipment, and other similar fixtures allow views into and out of the building between four and seven feet above the adjacent grade. The new addition on the elevation facing 5th Ave S includes both the parking ramp and the upper floors over the existing building. The project is in compliance with the minimum window requirement on the second floor, but is deficient on the first floor (see Table 3). The proposed parking ramp will not contain windows; however, will be open to allow views in and out of the ramp and the applicant is requesting alternative compliance. Staff is recommending that the planning commission grant alternative compliance.
 - **Vertical windows, evenly distributed.** The proposed windows will vertical in proportion in the southernmost addition, however, the applicant is proposing clerestory within the new bridge connecting the existing 2nd floor to the addition. The applicant is seeking alternative compliance for the clerestory windows in the new bridge, which is setback 60 feet from 5th Ave S and will most likely not be visible from the public street. All of the windows will be located on the shopping center and no windows will be located on the parking ramp. Therefore, the proposed windows will not be evenly distributed along the building walls and the applicant is seeking alternative compliance. Staff is recommending that the planning commission grant alternative compliance.
 - **Ground level functions.** The ground floor facing 5th Ave S contains 61 percent (207 feet) active functions. At least 70 percent of the first floor building frontage facing the public street, public sidewalk, or public walkway contains active functions. The applicant is seeking alternative compliance. The proposed ramp is replacing an existing surface parking lot and the narrowness of the lot reduces the available area for active uses. The full length of the shopping center has ground level active functions and the parking ramp will not; therefore staff is recommending that the planning commission grant alternative compliance.
 - **Sloped floors of the parking ramp.** As proposed sloped floors would dominate the appearance of the walls on the parking garage, and the applicant is not proposing to screen the sloped floors or vehicles from view. Staff is recommending that the applicant provide a decorative, perforated metal screen between the floors to disguise the sloped floors, vehicles, and lighting from the public sidewalk, street and residential uses to the south and across 5th Ave S.
- Canopy trees.** The applicant is not proposing at least one canopy tree per 500 square feet of the required landscaped area, including all required landscaped yards. The tree requirement for the site is 3 and the applicant is proposing a total of 6 ornamental trees, but 0 canopy trees. The applicant is requesting alternative compliance. Staff finds there is sufficient space in the required landscaped yards to provide three canopy trees.

RECOMMENDATIONS

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt staff findings for the application(s) by Applicant Name for the properties located at addresses:

- A. Conditional Use Permit amendment to allow for a building addition and parking ramp addition to an existing shopping center.**

Recommended motion: **Approve** the application for a conditional use permit amendment for an existing shopping center, subject to the following conditions:

1. The conditional use permit shall be recorded with Hennepin County as required by Minn. Stat. 462.3595, subd. 4 before building permits may be issued or before the use or activity requiring a conditional use permit may commence. Unless extended by the zoning administrator, the conditional use permit shall expire if it is not recorded within two years of approval.

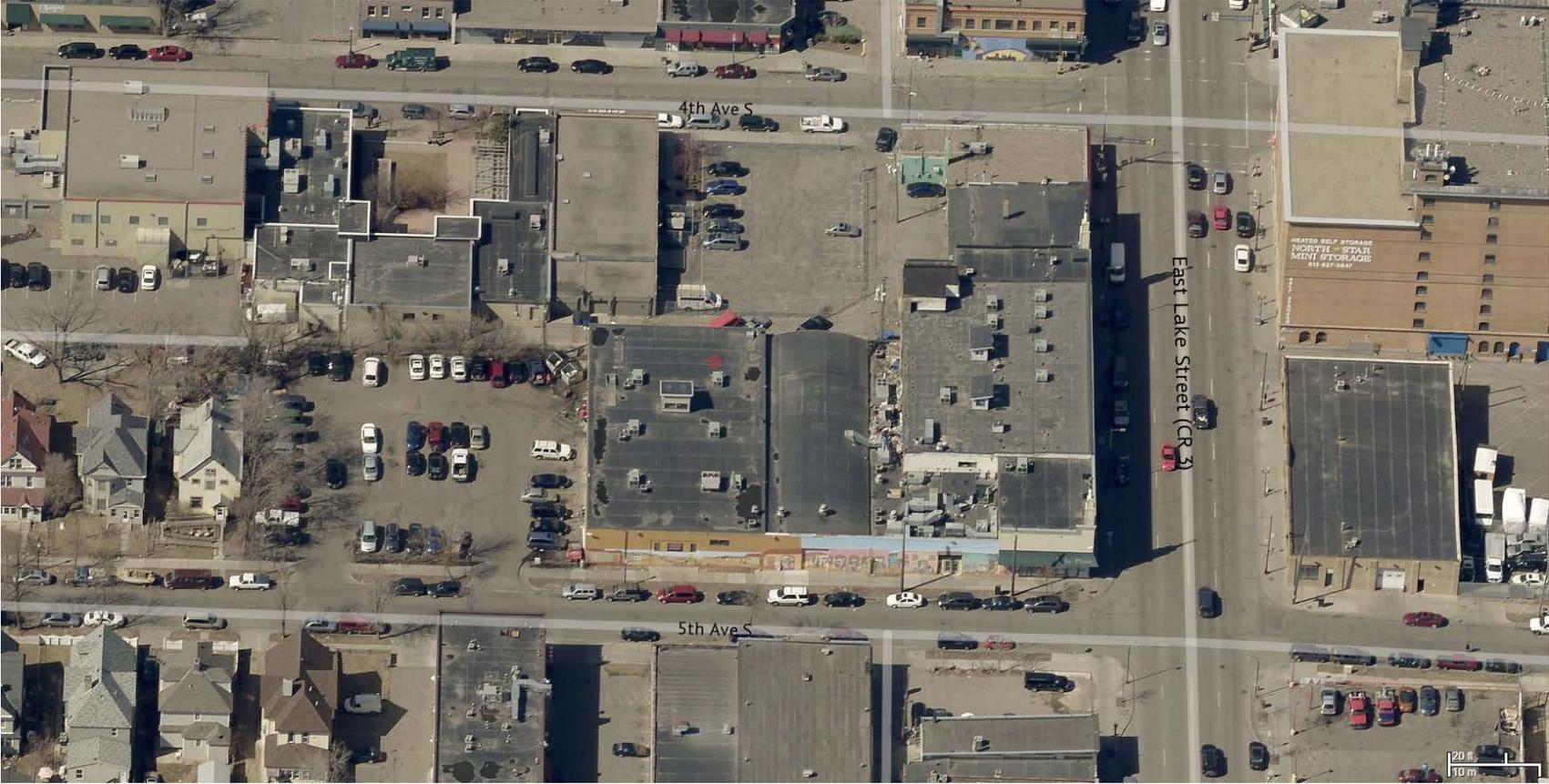
B. Site Plan Review.

Recommended motion: **Approve** the application for a site plan review to allow for the construction of a building addition and new parking ramp, subject to the following conditions:

1. All site improvements shall be completed by August 15, 2018, unless extended by the Zoning Administrator, or the permit may be revoked for non-compliance.
2. CPED staff shall review and approve the final site, elevation, landscaping, and lighting plans before building permits may be issued.
3. The applicant shall remove obstructions on the interior of the tenant spaces so as not to block views into and out of the building in the area between four (4) and seven (7) feet above the adjacent grade Lake St E and 5th Ave S to ensure natural surveillance of the site, per section 530.120 of the zoning code.
4. The applicant shall provide a material or color on all three exposed sides of the exterior of the parking ramp to ensure compatibility with the existing shopping center and add a decorative, perforated metal screen between the floors to disguise the sloped floors and block headlights and parking ramp lighting impacts from the adjacent residential uses to the south and east.
5. The applicant shall provide a minimum landscaped area of 656.8 square feet, 3 canopy trees and 15 shrubs as required by Chapter 530 Site Plan Review.
6. The plant materials, and installation and maintenance of the plant materials, shall comply with sections 530.200 and 530.210 of the zoning code.

ATTACHMENTS

1. Zoning map
2. Oblique aerial photo
3. Written description and findings submitted by applicant
4. Survey
5. Site plan
6. Plans
7. Building elevations
8. Renderings
9. Photos
10. PDR report
11. Travel Demand Management Plan





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WWW.SABRIPROPERTIES.COM

STATEMENT OF PROPOSED USE

We are submitting a site plan application for our properties located in south Minneapolis at 419 E. Lake St., known as Lake Plaza and 501 E. Lake St., which is currently a parking lot adjacent to Lake Plaza. Lake Plaza is a mall that was remodeled from an existing building in 2003. It has become an epicenter of the Latino population in Minneapolis and involves all cultural integrations, along with business relations and interactions within the growing social community. The mall currently consists of retail stores, restaurants, grocery stores and a reception hall.

With the area businesses growing there has been a demand for more space, therefore we are applying for a Conditional Use Permit to add 9,345 sf of tenant retail space on the 2nd floor over the existing retail shops at 419 E. Lake St. This is an expansion of an existing shopping center. In addition, we are applying to allow construction of a 3 story parking ramp over the existing surface parking lot. The construction of the parking ramp will alleviate demand for parking space and assist in traffic flow through the area. The construction of the parking ramp requires a variance for the front yard setback.

At 501 E. Lake St. we are proposing to construct a 2 story retail building in place of the existing parking lot. The building will be a total of 5,968 sf. The required parking spaces for this project will utilize the parking spaces in the new parking ramp across the street.



207 EAST LAKE STREET • SUITE 300 • MINNEAPOLIS, MN 55408 • PHONES 612-825-4433 • 612-825-7773 • FAX 612-825-1169
WWW.SABRIPROPERTIES.COM

May 23, 2016

Councilmember Alondra Cano
City of Minneapolis Ward 9
350 S. 5th St.
City Hall, Rm 307
Minneapolis, MN 55415

Dear Councilmember Cano:

This letter is to notify your office that we are submitting a site plan application for our properties located in south Minneapolis at 419 E. Lake St., known as Lake Plaza and 501 E. Lake St., which is currently a parking lot adjacent to Lake Plaza. Lake Plaza is a mall that was remodeled from an existing building in 2003. It has become an epicenter of the Latino population in Minneapolis and involves all cultural integrations, along with business relations and interactions within the growing social community. The mall currently consists of retail stores, restaurants, grocery stores and a reception hall.

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At 501 E. Lake St. we are proposing to construct a 2 story retail building in place of the existing parking lot. The building will be a total of 5,968 sf. The required parking spaces for this project will utilize the parking spaces in the new parking ramp across the street.

My name is Basim Sabri and I am the applicant. My phone number is 612-825-4433 and my mailing address is 207 E. Lake St., Minneapolis, MN 55408. If you have any questions don't hesitate to contact me. Thank you for your time and attention to this matter.

Sincerely,

Basim O. Sabri

A handwritten signature in black ink, appearing to read "Basim O. Sabri", written over a horizontal line.



SABRI PROPERTIES LLC

207 EAST LAKE STREET • SUITE 300 • MINNEAPOLIS, MN 55408 • PHONES 612-825-4433 • 612-825-7773 • FAX 612-825-1169
WWW.SABRIPROPERTIES.COM

May 23, 2016

Isaac Martin
Central Area Neighborhood
Development Organization
3736 Chicago Ave. S.
Minneapolis, MN 55407

Dear Mr. Martin:

This letter is to notify your office that we are submitting a site plan application for our properties located in south Minneapolis at 419 E. Lake St., known as Lake Plaza and 501 E. Lake St., which is currently a parking lot adjacent to Lake Plaza. Lake Plaza is a mall that was remodeled from an existing building in 2003. It has become an epicenter of the Latino population in Minneapolis and involves all cultural integrations, along with business relations and interactions within the growing social community. The mall currently consists of retail stores, restaurants, grocery stores and a reception hall.

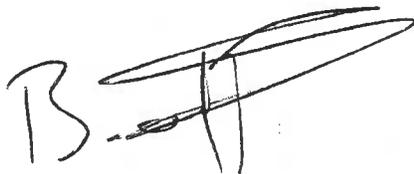
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Sincerely,

Basim O. Sabri



May 23, 2016



207 EAST LAKE STREET • SUITE 300 • MINNEAPOLIS, MN 55408 • PHONES 612-825-4433 • 612-825-7773 • FAX 612-825-1169

WWW.SABRIPROPERTIES.COM

Crystal Windschitl
Phillips West Neighborhood Organization
2400 Park Ave. S. #240
Minneapolis, MN 55404

Dear Ms. Windschitl:

This letter is to notify your office that we are submitting a site plan application for our properties located in south Minneapolis at 419 E. Lake St., known as Lake Plaza and 501 E. Lake St., which is currently a parking lot adjacent to Lake Plaza. Lake Plaza is a mall that was remodeled from an existing building in 2003. It has become an epicenter of the Latino population in Minneapolis and involves all cultural integrations, along with business relations and interactions within the growing social community. The mall currently consists of retail stores, restaurants, grocery stores and a reception hall.

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My name is Basim Sabri and I am the applicant. My phone number is 612-825-4433 and my mailing address is 207 E. Lake St., Minneapolis, MN 55408. If you have any questions don't hesitate to contact me. Thank you for your time and attention to this matter.

Sincerely,

Basim O. Sabri





Houwman Architects

31572 SNOWBALL ROAD, PENGILLY, MN 55775
phone: 651-631-0200

May 25 2016

City of Minneapolis
Attn: Matthew D. James
Development coordinator, City of Minneapolis
Community Planning and Economic Development
250 South 4th Street, Room 300
Minneapolis, MN

RE: Conditional Use Permit for 419 East Lake Street, Minneapolis, MN

Dear Matthew:

This letter is to ask for conditional use at 419 East Lake Street for a three level parking ramp.

The following shows our answers to the *Cities conditional use permit check list numbered items 1 through 6.*

1. *The establishment, maintenance or operation of the conditional use will be detrimental to or endanger the public health, safety, comfort or general welfare.*
Answer: The conditional use permit is to continue the current use of the Market Place and to provide expanded parking and better traffic flow to the area.
2. *The conditional use will not be injurious to the use and enjoyment of other property in the vicinity and will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.*
Answer: The ramp will support the existing and future uses permitted in the district.
3. *Adequate utilities, access roads, drainage, necessary facilities or other measures, have been or will be provided.*
Answer: There will be no changes in the drainage or access roads. The existing conditions will be improved.
4. *Adequate measures have been or will be taken to minimize traffic congestion in the public street.*
Answer: This new ramp will help minimize congestion on the public streets.
5. *The conditional use is consistent with the applicable policies of the comprehensive plan.*
Answer: The project remains consistent with the comprehensive plan.
6. *The conditional use shall in all other respects, conform to the applicable regulations of the district in which it is located.*
Answer: All applicable regulations are met.

Please contact me with any questions or comments.

Sincerely,

Brian W. Houwman
Registered Architect



Houwman Architects

31572 SNOWBALL ROAD, PENGILLY, MN 55775
phone: 651-631-0200

May 25 2016

City of Minneapolis
Attn: Matthew D. James
Development coordinator, City of Minneapolis
Community Planning and Economic Development
250 South 4th Street, Room 300
Minneapolis, MN

RE: Conditional Use Permit for 419 East Lake Street, Minneapolis, MN

Dear Matthew:

As the owner's representative, we are requesting a variance on 419 East Lake Street for the east side only. We are asking for a ten foot setback rather than the fifteen foot setback required.

The unique circumstance for this variance is that we are providing additional parking for the neighborhood to help eliminate the current congestion of traffic on the public streets. In order for the ramp & parking circulation to function, we are asking for this extra five feet. See the attached plan where we show parallel parking on the east side verses straight in parking to achieve the ten foot setback.

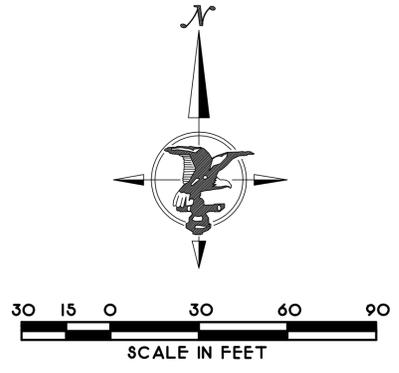
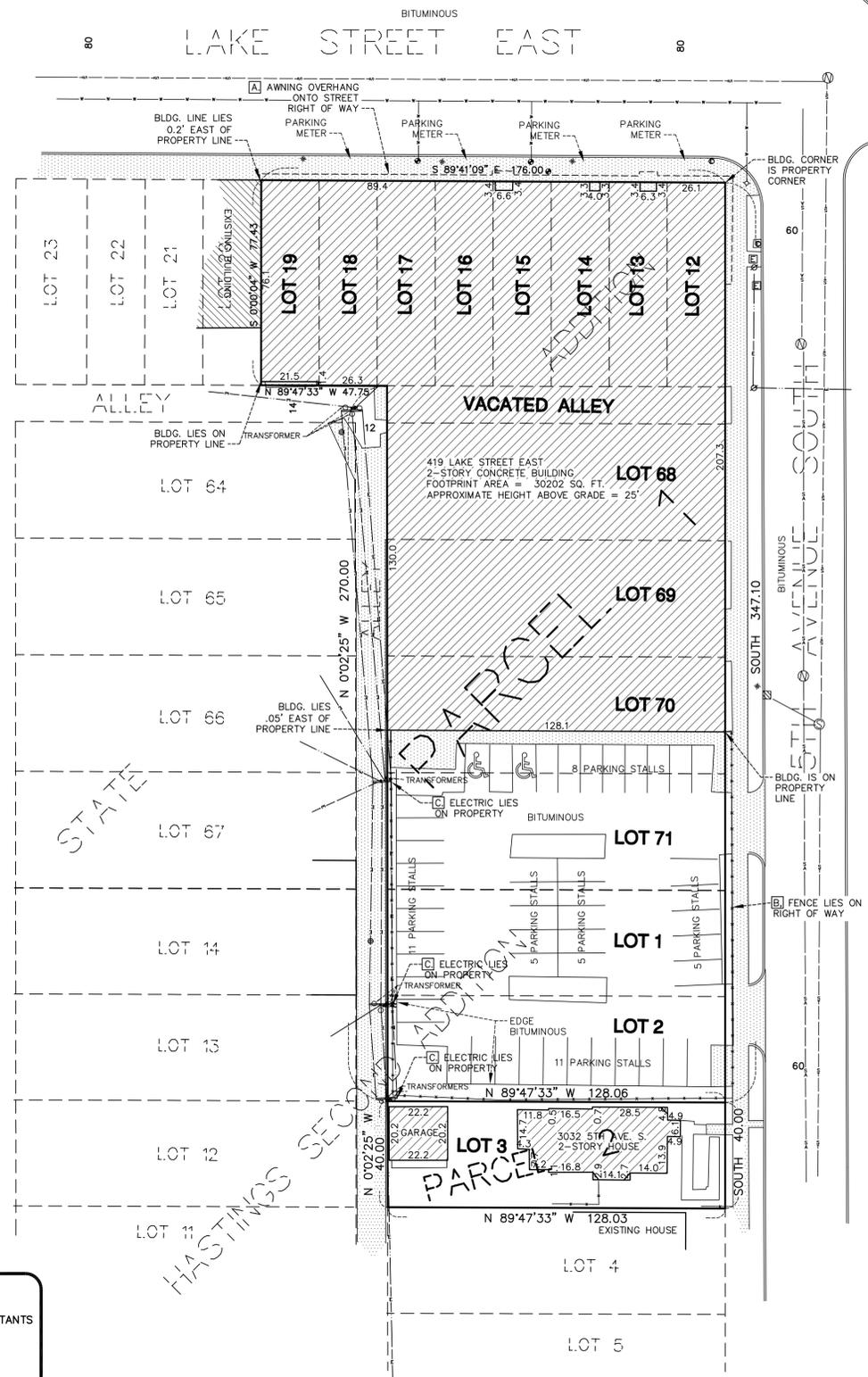
The following shows our answers to the *Cities variance check list, numbered items 1 through 3.*

1. Practical difficulties exist in complying with the ordinance because of circumstances unique to the property. The unique circumstances were not created by persons presently have an interest in the property and are not based on economic considerations alone.
Answer: The unique circumstance for this variance is that we are providing additional parking for the neighborhood to help eliminate the current congestion of traffic on the public streets.
2. The property owner or authorized applicant propose to use the property in a reasonable manner that will be in keeping with the spirit and intent of the ordinance and the comprehensive plan.
Answer: The use will not change as the Market place (retail) will now have better parking.
3. The proposed variance will not alter the essential character of the locality or be injurious to the use or enjoyment of other property in the vicinity. If granted, the proposed variance will not be detrimental to the health, safety, or welfare of the general public or of those utilizing the property or nearby.
Answer: The ramp will have walls to shield the neighbors from any intrusive light pollution and yet ramp wall are not full height, so the structural is not monolithic. The health and safety of the public should be enhanced as parking congestion will be minimized due to the ramp.

Please contact me with any questions or comments.

Sincerely,

Brian W. Houwman
Registered Architect



LEGEND

	Property Monument
	Concrete
	Concrete Curb
	Fence
	Overhead Electric
	Underground Electric
	Overhead Telephone
	Underground Telephone
	Overhead Telephone & Electric
	Water
	Gas
	Sanitary Sewer
	Storm Sewer
	Setback Line
	Parking Setback Line
	Electric Meter
	Electric Box
	Electric Manhole
	Unknown Manhole
	Hydrant
	Power Pole
	Guy Wire Anchor
	Gate Valve
	Guard Post
	Catchbasin
	Air Conditioning Unit
	Light Pole
	Gas Meter
	Telephone Box
	Water Manhole
	Guy Pole
	Sanitary Manhole
	Storm Manhole

LEGAL DESCRIPTION

Parcel 1:
 Lots 12, 13, 14, 15, 16, 17 and 68, STATE ADDITION TO MINNEAPOLIS, together with all that part of the alley now vacated lying between the extensions north of the West and east line of said Lot 68 across said alley.

Lots 18, 19, 69, 70 and 71, STATE ADDITION TO MINNEAPOLIS, according to the recorded plat thereof, Hennepin County, Minnesota.

Also Lots 1 and 2, Block 2, HASTINGS' SECOND ADDITION TO MINNEAPOLIS, according to the recorded plat thereof, Hennepin County, Minnesota.

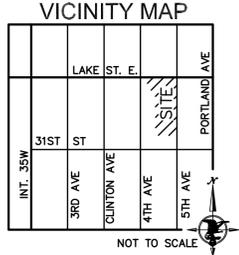
Note: This legal description has been taken from Attorneys' Title Insurance Fund, Inc., Commitment Number 3221-07-F054, dated May 11, 2007.

Parcel 2:
 Lot 3, Block 2, HASTINGS' SECOND ADDITION TO MINNEAPOLIS, according to the recorded plat thereof, Hennepin County, Minnesota.

STATEMENT OF POTENTIAL ENCROACHMENTS:

A Building awning lies onto street right of way.
B Fence lies on right of way of 5th Avenue South.
C Portions of power poles, power pole cross bars, overhead electric lines, and transformers on power poles lie west of east property line along alley.

- GENERAL NOTES:**
- The bearing system used is assumed.
 - The location of the underground utilities shown hereon, if any, are approximate only. PURSUANT TO MSA 216D CONTACT GOPHER STATE ONE CALL AT (612) 454-0002 PRIOR TO ANY EXCAVATION.
 - Subject property is identified as being in "Zone C, Area of Minimal Flooding" on Flood Insurance Rate Map, Community-Panel No. 270172 0001 0012, effective date February 18, 1981.
 - Zoning presently is C2 (Neighborhood Corridor Commercial District) per City of Minneapolis.
 - Setback requirements per City of Minneapolis
 No building setbacks
- The zoning and setback information shown on this survey are per city's webpage on June 19, 2007. No representation is made for the accuracy or completeness of said third party information. This firm is not an expert in the interpretation of complex zoning ordinances, compliance is beyond the scope of this survey. Any user of said information is urged to contact the local agency directly.
- Site area Parcel 1 = 48221 square feet = 1.107 acres.
 Site area Parcel 2 = 5122 square feet = 0.118 acres.
 - There are a total of 47 striped parking stalls on said property, of which there are 2 designated as handicap.
 - All field measurements matched recorded dimensions within the precision requirements of ALTA/ACSM specifications.
 - This survey was made on the ground and in accordance with the Minimum Standard Detail Requirements for Land Title Surveys as adopted by ALTA and ACSM.



LOT CERTIFICATE SURVEY
 for:
SABRIS PROPERTIES

**SITE: 419 EAST LAKE STREET
 MINNEAPOLIS, MINNESOTA**

CERTIFICATION:
 I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

Date: JUNE 27, 2016
 Thomas E. Hodorf
 Minn. Reg. No. 23677

HARRY S. JOHNSON CO., INC.
 LAND SURVEYORS & CONSULTANTS
 BLOOMINGTON, MINNESOTA
 PHONE: 952-884-5341 FAX: 952-884-5344

Revision History	Sheet No. 1 OF 1	Book 614	Page 39
	File No. 1-3-7502A	W.O. Number 2016297	CAD Technician TH

SURVEY PERFORMED BY:

HARRY S. JOHNSON CO. INC.
 LAND SURVEYORS & CONSULTANTS
 9063 Lyndale Avenue South
 Bloomington, Mn. 55420
 (952) 884-5341
 (952) 884-5344 Fax
 Email: tom@hjsurveyors.com
 Web: www.hjsurveyors.com

LAKE PLAZA

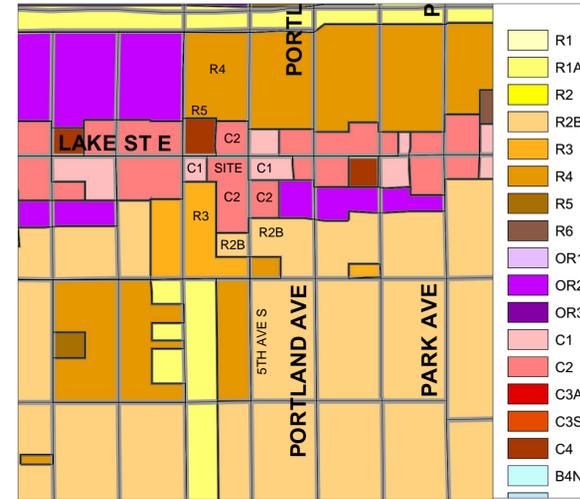
REMODEL EXISTING BUILDING -
ADD 2ND FLOOR OVER EXISTING SHOPS -
NEW PARKING RAMP -

SITE PLAN SUBMITTAL SHEET INDEX

SHEET #	HOUWMAN ARCHITECTS	5-18-16	7-12-16
A1.0	PROJECT INFORMATION/SHEET INDEX		
A1.1	LANDSCAPING PLAN		
A1.2	UTILITY - SITE LIGHTING PLAN		
A1.3	CURB & DRIVEWAY DETAILS		
A2.0	EXISTING MAIN FLOOR		
A2.1	REMODEL MAIN FLOOR		
A2.2	EXISTING 2ND FLOOR		
A2.3	REMODEL 2ND FLOOR		
A3.0	EXTERIOR ELEVATIONS		
A3.1	EXTERIOR PERSPECTIVES		



1 SITE LOCATION
NO SCALE
ADJACENT PROPERTIES & USES:
BUSINESSES ON WEST SIDE OF ALLEY
SINGLE FAMILY RESIDENCES ON SOUTH SIDE
EAST SIDE COMPRISES 2 DIFFERENT USES:
- SINGLE FAMILY RESIDENCES ON SOUTHEAST SIDE
- BUSINESSES ON EAST SIDE



2 ZONING MAP
NO SCALE
PUBLIC TRANSPORTATION STOPS:
BETWEEN 4TH & 5TH ON LAKE
ALSO
SE CORNER OF LAKE AND 4TH

PROJECT SITE INFORMATION:

EXISTING MAIN FLOOR:
EXISTING RETAIL SHOPS / DELI - TOTAL 30,060 S.F.

EXISTING 2ND FLOOR:
EXISTING RECEPTION HALL - TOTAL 11,725 S.F.

REMODELING FOR MAIN FLOOR:
NO CHANGES PROPOSED TO EXISTING BUILDING
CHANGE ON GRADE PARKING FOR NEW PARKING RAMP

REMODELING OF 2ND FLOOR:
REMOVE RECEPTION HALL - REMODEL INTO NEW SHOPS - 5,307 S.F.
ADD 2ND FLOOR FOR NEW SHOPS OVER EXISTING SHOPS - 9,345 S.F.
BUILD NEW PARKING RAMP - 3 LEVELS ABOVE GROUND

PARKING REQUIREMENTS:

EXISTING BUILDING - MAIN FLOOR & 2ND FLOOR = 41,785 S.F. - EXISTING PARKING / 46 STALLS
PARKING CALCULATED FOR SHOPPING CENTER, 1 PARKING SPACE PER 500 S.F.
ADD NEW 2ND FLOOR, 9,345 S.F. = 41,785 + 9,345 = 51,130 S.F.
SHOPPING CENTER CALCULATION - GENERAL RETAIL SALES & SERVICES =
1 SPACE PER 500 S.F. OF GFA IN EXCESS OF 4000 S.F.
51,130 S.F. - 4000 S.F. = 47,130 S.F. / 500 = 94 PARKING SPACES

PARKING PROVIDED:

MAIN FLOOR: 16 PARKING STALLS
2ND LEVEL: 44 PARKING STALLS
3RD LEVEL: 44 PARKING STALLS
4TH LEVEL: 46 PARKING STALLS
TOTAL: 150 PARKING STALLS EXCEEDS REQUIREMENT OF 94 PARKING STALLS

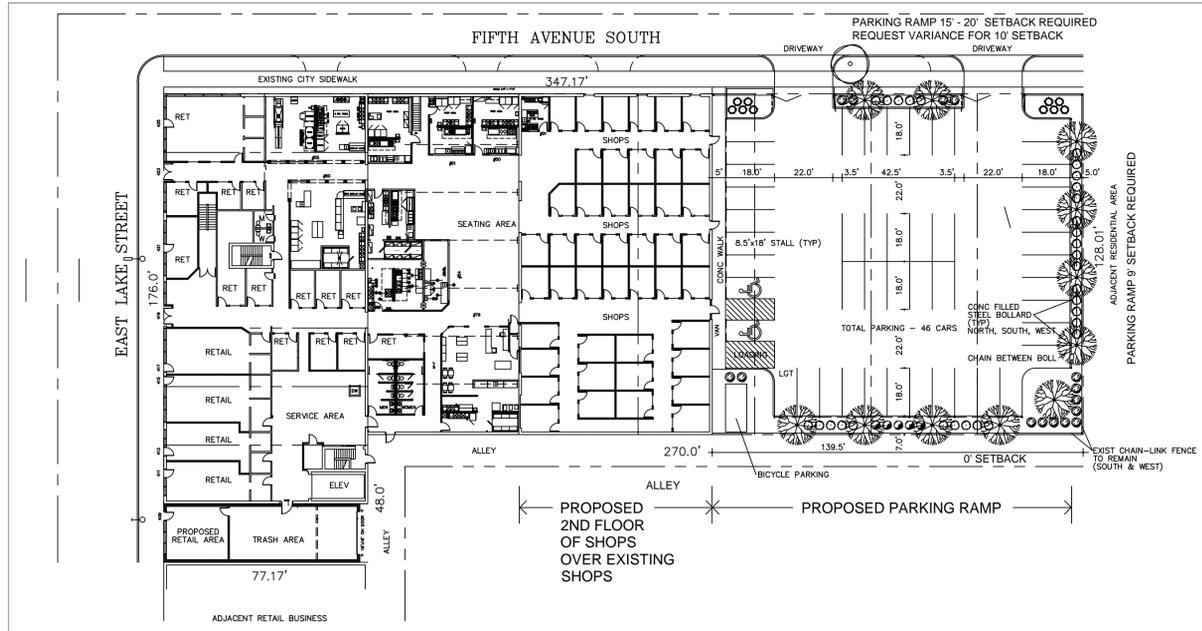
REVISION #3 - 7-12-16
NEW PARKING COUNT

ADDITIONAL PARKING PROVIDED FOR 501 EAST LAKE STREET:
501 EAST LAKE STREET / ADJACENT PROPERTY, REQUIRES 10 PARKING STALLS
THOSE 10 PARKING STALLS TO BE PROVIDED FOR IN THIS PARKING RAMP

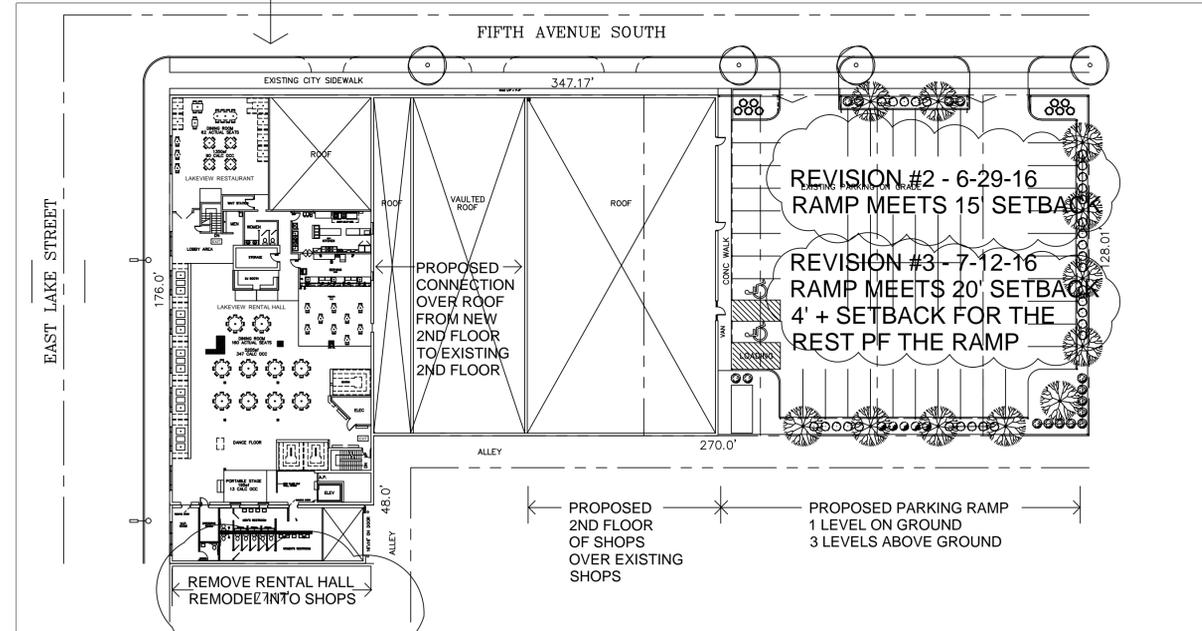
PARKING LOT SITE INFORMATION:

PARKING LOT AREA - 139'-6" X 128'-0" = 17,856 S.F.
EXISTING GREEN SPACE - 2,294 S.F. IMPERVIOUS SPACE - 15,562 S.F. 13% GREEN SPACE
NEW GREEN SPACE - 2,166 S.F. IMPERVIOUS SPACE - 15,690 S.F. 12% GREEN SPACE

REVISION #1 - 6-9-16
REMOVE EXISTING 2ND FLOOR RESTAURANT & RENTAL HALL -
REMODEL SPACE INTO SHOPS



3 EXISTING MAIN FLOOR PLAN
SCALE: 1/32" = 1'-0"



4 EXISTING 2ND FLOOR PLAN
SCALE: 1/32" = 1'-0"

REVISION #2 - 6-29-16
RAMP MEETS 15' SETBACK

REVISION #3 - 7-12-16
RAMP MEETS 20' SETBACK
4' + SETBACK FOR THE REST OF THE RAMP

NOTE:

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ANY INFORMATION NOT CLARIFIED BY MANUFACTURER, PERFORMANCE REQUIREMENTS OR DETAILS ON THIS PLAN SET ARE TO BE DETERMINED BY THE GENERAL CONTRACTOR AND THE OWNER.
ANY DISCREPANCIES BETWEEN PLANS AND FIELD CONDITIONS WHICH REQUIRE THE CONTRACTOR TO CHOOSE ONE METHOD, DIMENSION OR MATERIAL OVER ANOTHER ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE WORK IS STARTED, FOR CLARIFICATION.

REVIEW SET 3-14-16
CITY PLANNING CMNTS 3-30-16
PDR SUBMITTAL SET 5-18-16
REVISION #1 6-9-16
CHANGE EXISTING 2ND FLOOR FROM RESTAURANT TO SHOPS
REVISION #2 6-29-16
RAMP SET-BACK 15' BLDG MEETS MAX. HEIGHT
REVISION #3 7-12-16
RAMP SET-BACK 20' REVISE PARKING LAYOUT

JOB# 16-107
DATE 3-14-16
DRAWN NH
CHECKED BH

PROJECT INFO.
SITE PLAN
A1.0



HOUWMAN ARCHITECTS
31572 SNOWBALL ROAD
PENGILLY, MN 55775
651-631-0200
OFFICE 218-929-9171
BRIAN@HOUWMAN@YAHOO.COM

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA

NAME
BRIAN HOUWMAN
REGISTRATION NO. 22604 DATE

PROJECT LOCATION:

LAKE PLAZA
SHOPPING CENTER
419 E LAKE ST.

PARKING RAMP
3010 5TH AVE SO.

MINNEAPOLIS, MN 55408

BUILDING OWNER / GENERAL CONTRACTOR:

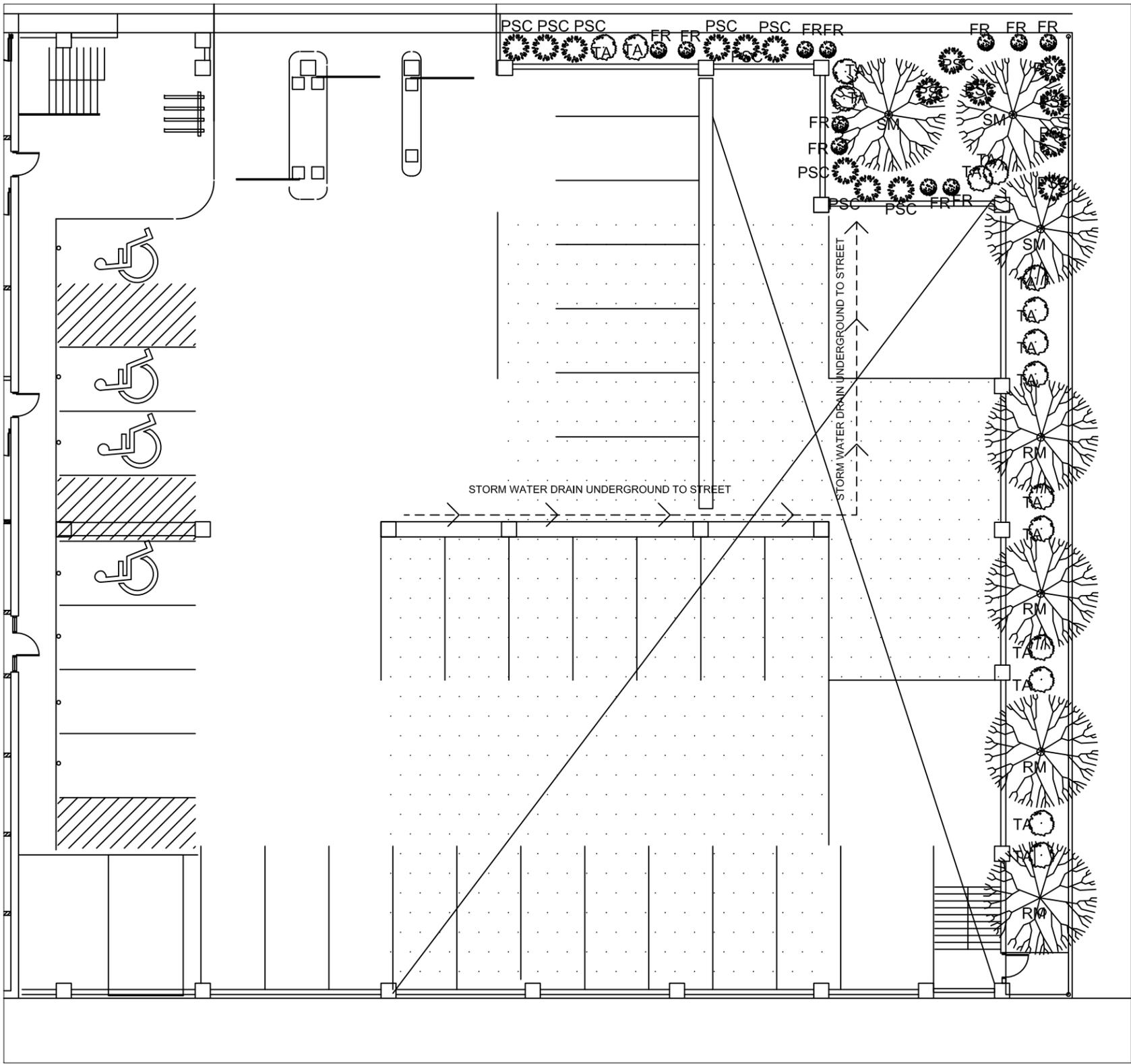
SABRI PROPERTIES
207 E LAKE ST. SUITE 300
MINNEAPOLIS, MN 55408



5 EXISTING EAST STREET
NO SCALE



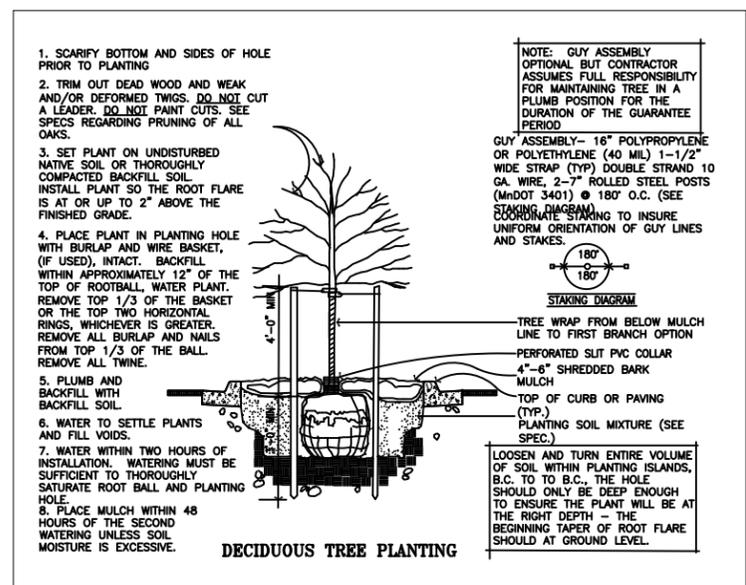
6 EXISTING SOUTHEAST STREET
NO SCALE



PLANTING SCHEDULE

TREES MIN. 2" CALIBER SIZE SHRUBS MIN. 1 GALLON SIZE
DRIp IRRIGATION IN ALL NEW PLANTING AREAS
MULCH IN NEW PLANTING AREAS TO BE WOOD

PLAN SYMBOL	SCIENTIFIC NAME	COMMON NAME	LETTER	CT	MAT HGT	SPREAD
	ACER SACCHARINUM	SILVER MAPLE	SM	3	49'-82'	36'-49'
	ACER RUBRUM	RED MAPLE	RM	4	59'-89'	36'
	PRUNUS X CISTENA	PURPLELEAF SAND CHERRY	PSC	16	8'	8'
	THUJA OCCIDENTALIS	TECHNY GLOBE ARBORVITAE	TA	16	5'	5'
	'FOX' RUGOSA ROSE	ROSA 'FOX' PAVEMENT	FR	11	3'-6"	3'-6"



Amended 8/5/2016

LANDSCAPING PLAN
SCALE: 1/8" = 1'-0"

GENERAL NOTES:

IN NEW PLANTING AREAS, LANDSCAPED AREAS NOT COVERED WITH TURF GRASS, NATIVE GRASSES OR OTHER PERENNIAL FLOWERING PLANTS, VINES, SHRUBS, OR TREES TO BE COVERED WITH WOOD MULCH.

ALL LANDSCAPING MATERIALS SHALL BE INSTALLED TO CURRENT INDUSTRY STANDARDS

ALL LANDSCAPING PREPARED & IMPROVED AS SPECIFIED BY CURRENT MN. DEPT. OF TRANSPORTATION STANDARDS FOR SOIL PREPARATION & DRAINAGE

ARCHITECT:

HOUWMAN ARCHITECTS
31572 SNOWBALL ROAD
PENGILLY, MN 55775
651-631-0200
OFFICE 218-929-9171
BRIANWHOUWMAN@YAHOO.COM

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

NAME: _____
BRIAN HOUWMAN
REGISTRATION NO. 22684 DATE: _____

PROJECT LOCATION:
LAKE PLAZA
SHOPPING CENTER
419 E LAKE ST.

PARKING RAMP
3010 5TH AVE SO.
MINNEAPOLIS, MN 55408

BUILDING OWNER / GENERAL CONTRACTOR:

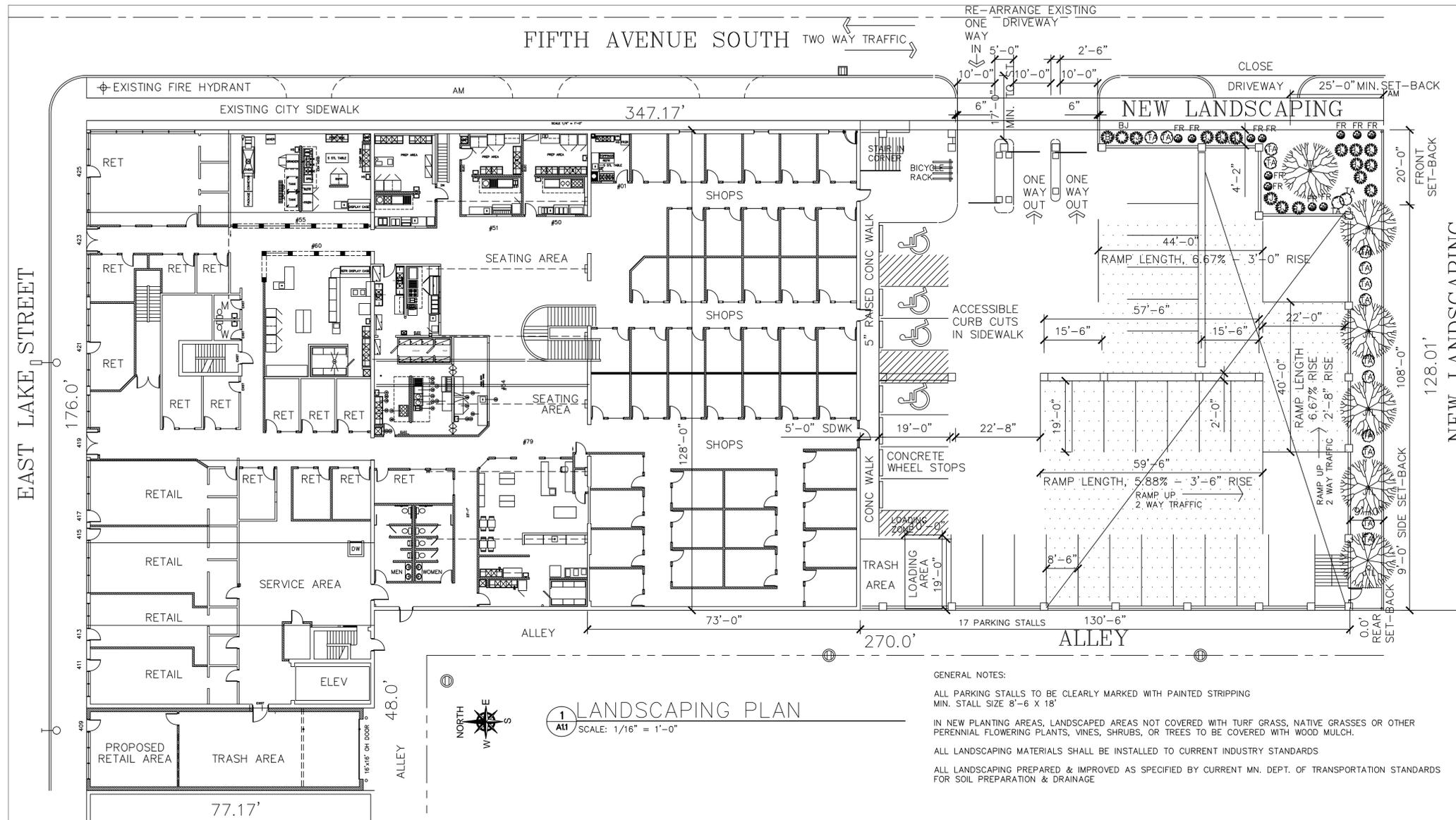
207 E LAKE ST. SUITE 300
MINNEAPOLIS, MN 55408

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JOB#	16-107
DATE	3-14-16
DRAWN	NH
CHECKED	BH
PRELIMINARY CD SET	7-26-16

PHASE 1
PARKING RAMP
LANDSCAPING
UTILITY
PLAN
A2.2



ARCHITECT:

HOUWMAN ARCHITECTS
31572 SNOWBALL ROAD
PENGILLY, MN 55775
651-631-0200
OFFICE 218-929-9171
BRIANWHOUWMAN@YAHOO.COM

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA

NAME: BRIAN HOUWMAN
REGISTRATION NO.: 22804 DATE:

PROJECT LOCATION:
LAKE PLAZA
SHOPPING CENTER
419 E LAKE ST.
PARKING RAMP
3010 5TH AVE SO.
MINNEAPOLIS, MN 55408

BUILDING OWNER / GENERAL CONTRACTOR:

207 E LAKE ST. SUITE 300
MINNEAPOLIS, MN 55408

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F Installation of Plants
F1 General

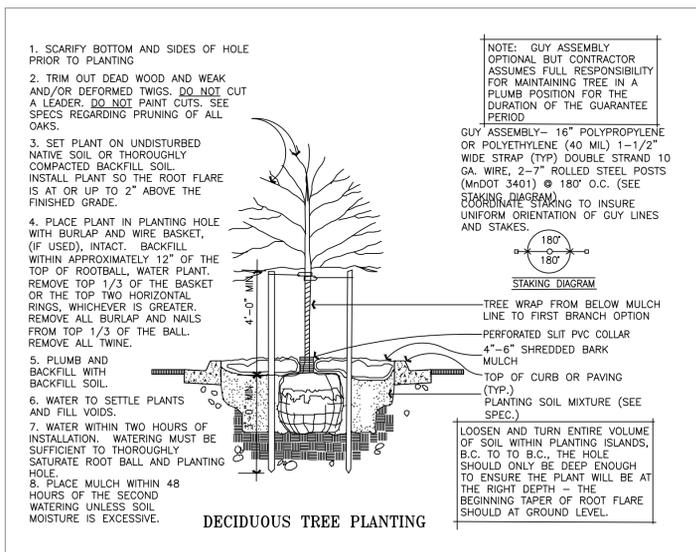
Before proceeding with plant installation work, schedule and perform a competency test demonstrating acceptable plant installation methods to the Engineer's satisfaction and in accordance with the plans and standard planting details, for each plant pay item and root category on the project. The Engineer considers a satisfactory competency test to be one that demonstrates acceptable handling of plants, digging of holes and beds, and installation of plants, initial watering, installation of protection materials and mulching.

Before digging planting holes, rake temporary erosion control wood chip mulch off prepared planting areas to prevent wood chip contamination of the planting soil in the holes.

The Contractor may re-spread wood chip mulch formerly used as temporary erosion control around plants to a depth no greater than 1 in [25 mm] following plant installation, if newly provided and acceptable Type 6 mulch is applied over the top to the depth shown on the standard planting details in the plans.

Dig planting holes to the configuration and minimum dimensions shown in the standard planting details on the plans. If the soil moisture is greater than field capacity, do not work in planting holes and beds.

Ensure drainage in the planting hole and bed areas. For a suspected drainage problem, perform a percolation test by filling a 16 in [400 mm] deep planting hole with water and measuring the time it takes the water to drain from the hole. The Engineer considers adequate drainage equal to or greater than a percolation rate of 1/2 in/h [12 mm/h]. If drainage does not meet these requirements, request approval from the Engineer to relocate or delete affected planting locations or proceed with extra work using one or a combination of the planting details for poorly drained soils as shown on the plans.



PLANTING SCHEDULE		TREES MIN. 2 1/2" CALIBER SIZE	SHRUBS MIN. 1 GALLON SIZE	DRAINAGE		
PLAN SYMBOL	SCIENTIFIC NAME	COMMON NAME	LETTER	CT	MAT HGT	SPREAD
	SYRINGA AMURENSIS JAPONIC A	JAPANESE TREE LILAC	JTL	6	30'	15'-20'
	JUNIPER HORIZONTALIS	BUFFALO JUNIPER	BJ	16	2'	8'
	THUJA OCCIDENTALIS	TECHNY GLOBE ARBORVITAE	TA	15	5'	5'
	'FOXI' RUGOSA ROSE	ROSA 'FOXI PAVEMENT'	FR	11	3'-6'	3'-6'
	ACER GINNALA	AMUR MAPLE	AM	NOT USED	20'-30'	20'-25'

REVIEW SET 3-14-16
CITY PLANNING CMNTS 3-30-16
PDR SUBMITTAL SET 5-18-16
REVISION #1 6-9-16
CHANGE EXISTING 2ND FLOOR FROM RESTAURANT TO SHOPS
REVISION #2 6-29-16
RAMP SET-BACK 15' BLDG MEETS MAX. HEIGHT
REVISION #3 7-12-16
RAMP SET-BACK 20' REVISE PARKING LAYOUT

JOB# 16-107
DATE 3-14-16
DRAWN NH
CHECKED BH

LANDSCAPING PLAN
A1.1



HOUWMAN ARCHITECTS

31572 SNOWBALL ROAD
 PENGILLY, MN 55775
 651-631-0200
 OFFICE 218-929-9171
 BRIANWHOUWMAN@YAHOO.COM

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA

NAME: BRIAN HOUWMAN
 REGISTRATION NO.: 22884 DATE:

PROJECT LOCATION:
LAKE PLAZA
 SHOPPING CENTER
 419 E LAKE ST.

PARKING RAMP
 3010 5TH AVE SO.
 MINNEAPOLIS, MN 55408

BUILDING OWNER /
 GENERAL CONTRACTOR:



207 E LAKE ST. SUITE 300
 MINNEAPOLIS, MN 55408

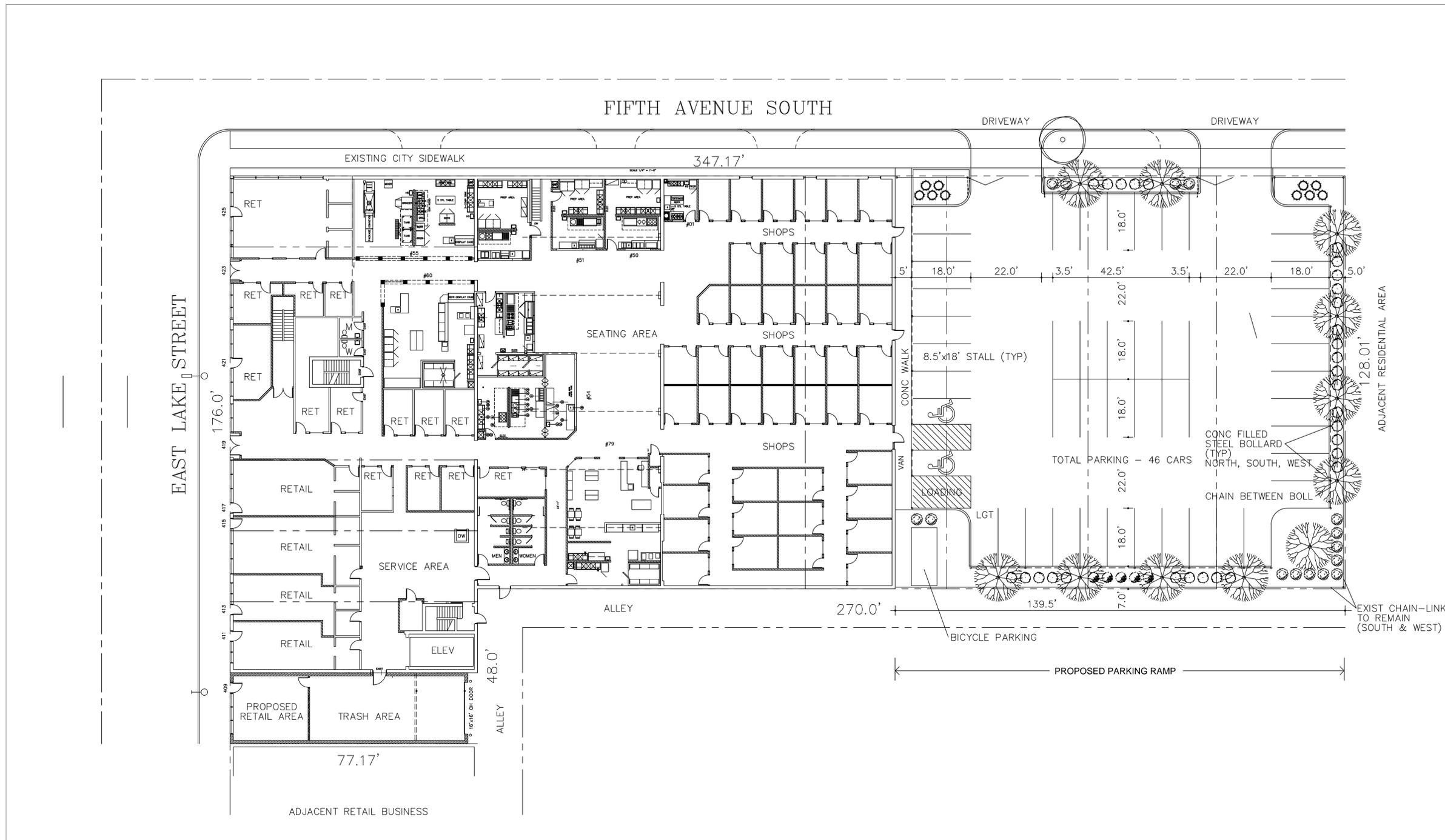
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 REVISE PARKING LAYOUT

JOB# 16-107
 DATE 3-14-16
 DRAWN NH
 CHECKED BH

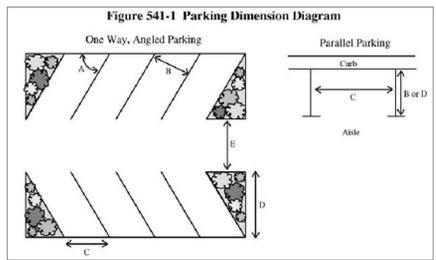
EXISTING
 MAIN FLOOR
 PLAN
A2.0



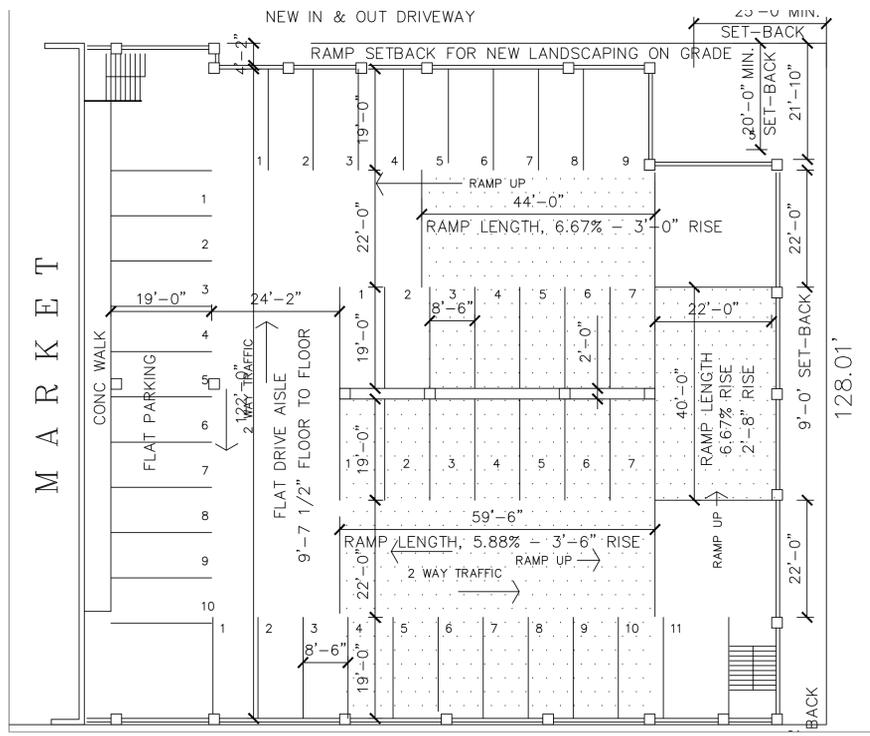
1 EXISTING MAIN FLOOR PLAN
 A20 SCALE: 1/16" = 1'-0"

NOTE: The building code requires eight (8) feet, two (2) inches vertical clearance for structured parking facilities.
 Table 541-6 Minimum Parking Space And Aisle Dimensions
 Angle (A) Type Width (B) Curb Length Stall Depth 1 Way Aisle 2 Way Aisle

90	Standard	8' 6"	8' 6"	18'	20'	22'
	Compact	8'	8' 0"	15'	20'	22'



2 PARKING PLAN - 2ND LEVEL
 SCALE: 1/16" = 1'-0"
 44 PARKING STALLS
 1ST LEVEL IN AIR



REVISION #2 - 6-29-16
 RAMP MEETS 15' SETBACK

REVISION #3 - 7-12-16
 RAMP MEETS 20' SETBACK
 4' + SETBACK FOR THE REST OF THE RAMP

ARCHITECT:
HOUWMAN ARCHITECTS
 31572 SNOWBALL ROAD
 PENGILLY, MN 55775
 651-631-0200
 OFFICE 218-929-9171
 BRIAN@HOUWMAN@YAHOO.COM

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NAME: BRIAN HOUWMAN
 REGISTRATION NO. 22694 DATE

PROJECT LOCATION:
LAKE PLAZA
 SHOPPING CENTER
 419 E LAKE ST.

PARKING RAMP
 3010 5TH AVE SO.
 MINNEAPOLIS, MN 55408

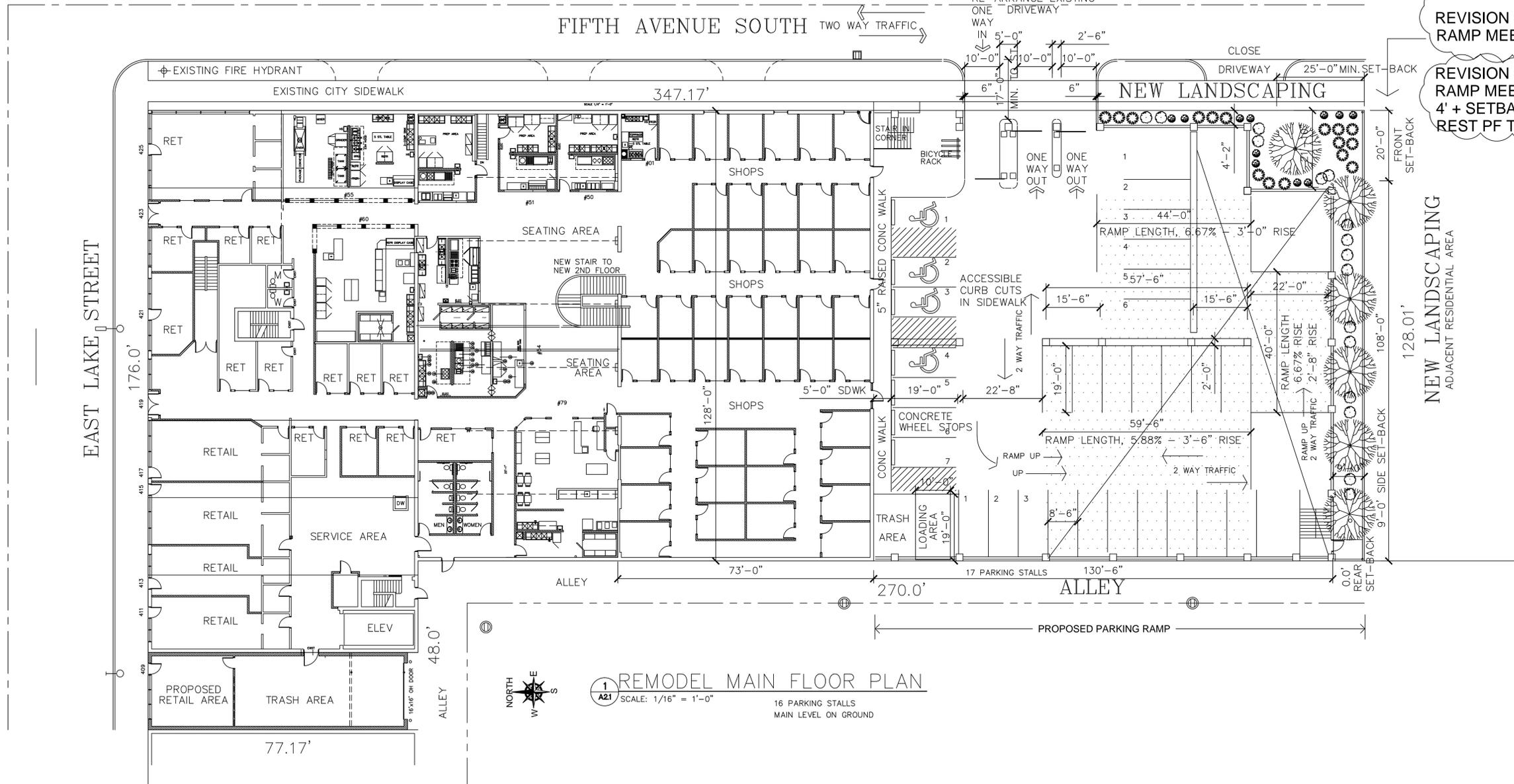
BUILDING OWNER / GENERAL CONTRACTOR:
SABRI PROPERTIES
 207 E LAKE ST. SUITE 300
 MINNEAPOLIS, MN 55408

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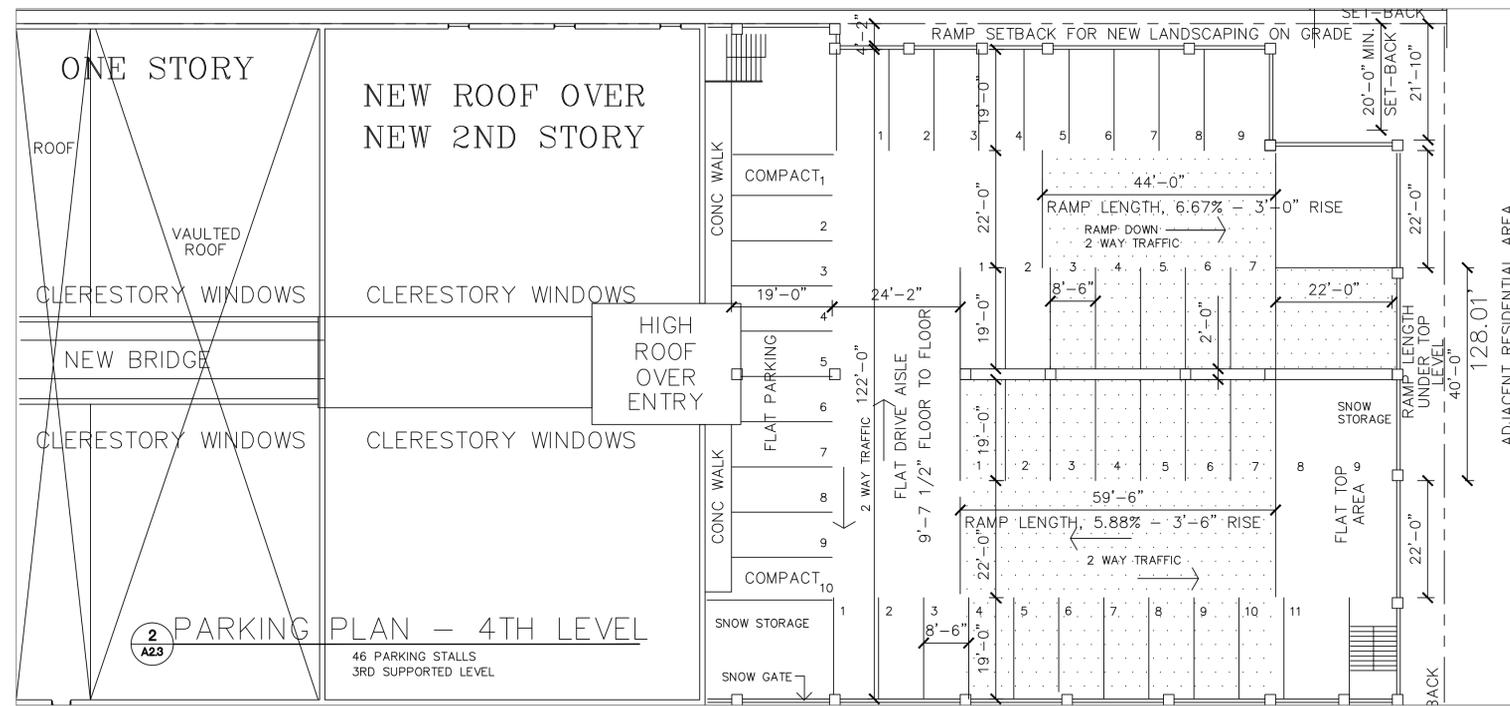
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 RAMP SET-BACK 20' REVISE PARKING LAYOUT

JOB# 16-107
 DATE 3-14-16
 DRAWN NH
 CHECKED BH

REMODEL MAIN FLOOR PLAN
A2.1



1 REMODEL MAIN FLOOR PLAN
 SCALE: 1/16" = 1'-0"
 16 PARKING STALLS
 MAIN LEVEL ON GROUND

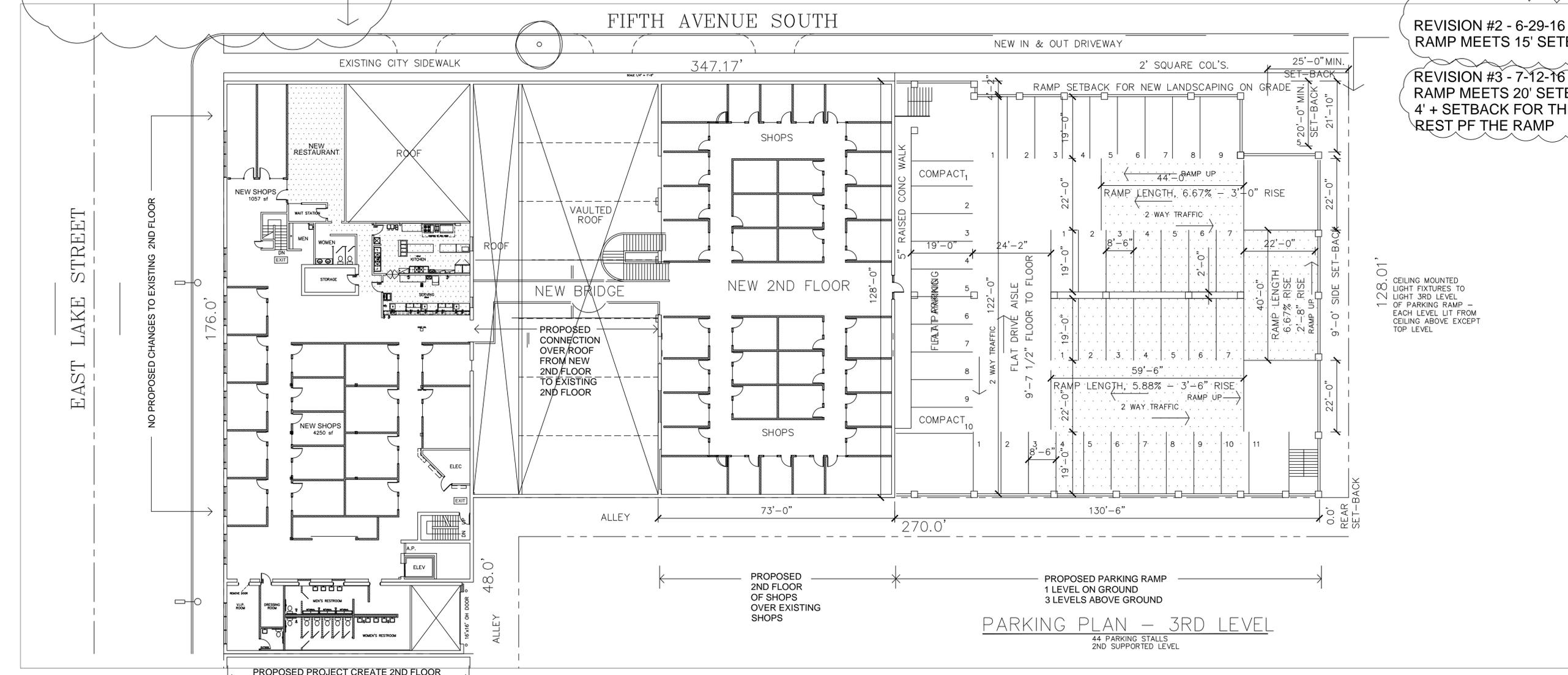


TOP LEVEL LIGHT FIXTURES SET ON POLES AT CORNERS FACING INWARD ONTO RAMP

REVISION #1 - 6-9-16
REMOVE EXISTING 2ND FLOOR RESTAURANT & RENTAL HALL - REMODEL SPACE INTO SHOPS

REVISION #2 - 6-29-16
RAMP MEETS 15' SETBACK

REVISION #3 - 7-12-16
RAMP MEETS 20' SETBACK 4' + SETBACK FOR THE REST OF THE RAMP



CEILING MOUNTED LIGHT FIXTURES TO LIGHT 3RD LEVEL OF PARKING RAMP - EACH LEVEL LIT FROM CEILING ABOVE EXCEPT TOP LEVEL

1
A23
REMODEL 2ND FLOOR PLAN
SCALE: 1/16" = 1'-0"

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NAME: BRIAN HOUWMAN
REGISTRATION NO. 22684 DATE

PROJECT LOCATION:
LAKE PLAZA
SHOPPING CENTER
419 E LAKE ST.
PARKING RAMP
3010 5TH AVE SO.
MINNEAPOLIS, MN 55408

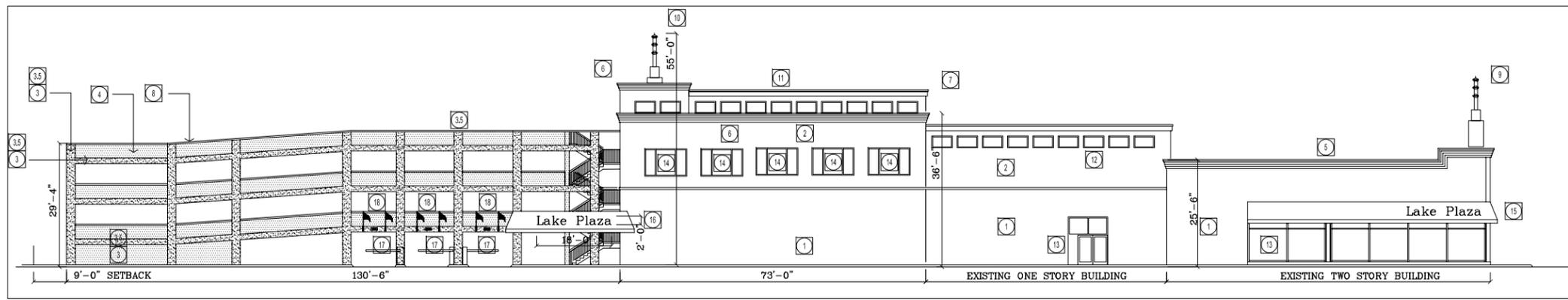
BUILDING OWNER / GENERAL CONTRACTOR:
SABRI PROPERTIES
207 E LAKE ST. SUITE 300
MINNEAPOLIS, MN 55408

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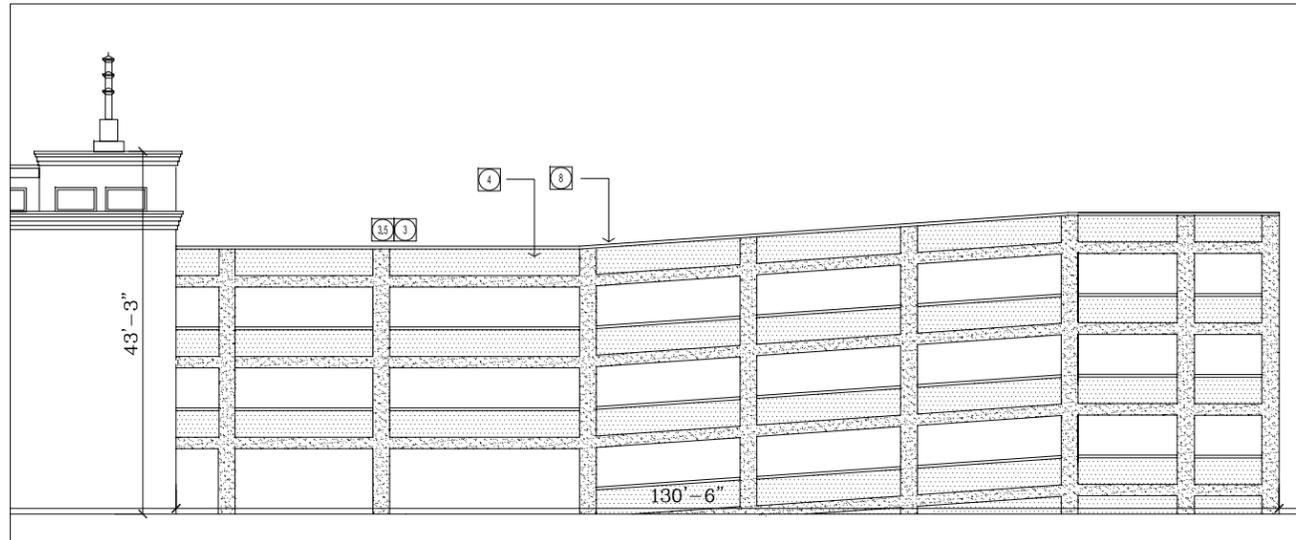
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RAMP SET-BACK 20' REVISE PARKING LAYOUT

JOB# 16-107
DATE 3-14-16
DRAWN NH
CHECKED BH

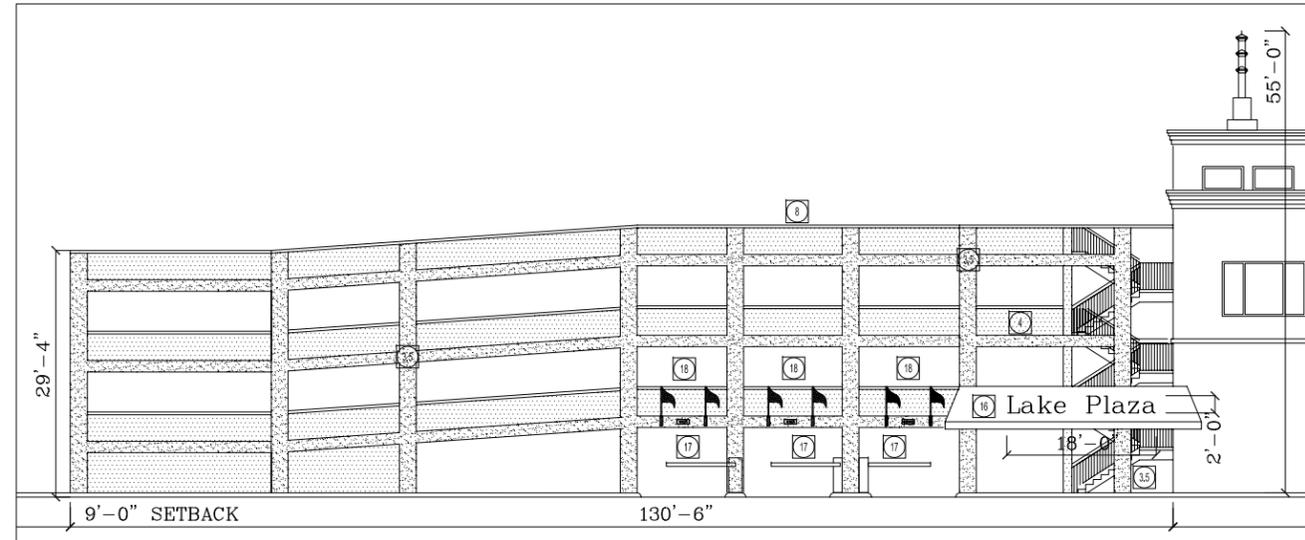
REMODEL
2ND FLOOR
PLAN
A2.3



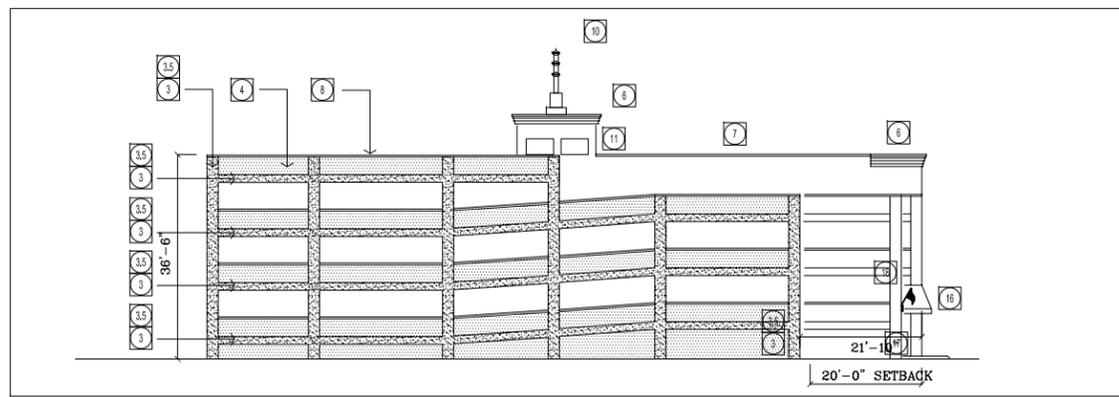
1 EAST STREET ELEVATION



2 WEST ELEVATION



3 EAST RAMP ELEVATION



4 SOUTH ELEVATION



EXTERIOR FINISH SCHEDULE	
1	EXISTING STUCCO FINISH
2	NEW STUCCO FINISH TO MATCH EXISTING
3	EXPOSED POURED CONCRETE STRUCTURE FOR PARKING RAMP
3.5	EXPOSED CONCRETE TEXTURED FINISH TO MATCH STUCCO FINISH + COLOR OF EXISTING BUILDING
4	NEW HORIZONTAL RIBBED STEEL PANEL ON RAMP - COVERING STEEL BARRIER CABLES ON THE OUTSIDE. STEEL BARRIER CABLES EXPOSED INSIDE RAMP - LIGHT TAN COLOR
5	EXISTING PARAPET TRIM
6	NEW PARAPET TRIM WITH SIMILAR PROFILE TO EXISTING #5
7	NEW PARAPET TRIM - MINIMAL PROFILE - CAP FOR NEW 2ND FLOOR EXTERIOR WALL
8	NEW BARRIER WALL TOP TRIM - MINIMAL PROFILE - CAP FOR PERFORATED STEEL PANEL
9	EXISTING SPIRE SET ON BUILDING CORNER
10	NEW SPIRE TO MATCH EXISTING
11	CLERESTORY WINDOWS AT CENTER OF NEW 2ND FLOOR - DARK COLORED ALUMINUM FRAME
12	CLERESTORY WINDOWS OVER RAMP DOWN FROM NEW 2ND FLOOR TO EXISTING 2ND FLOOR - DARK COLORED ALUMINUM FRAME
13	EXISTING WINDOW ON MAIN FLOOR - DARK COLORED ALUMINUM FRAME
14	NEW WINDOWS FOR NEW 2ND FLOOR + EXISTING MAIN FLOOR - DARK COLORED ALUMINUM FRAME
15	EXISTING DARK GREEN CANVAS AWNING
16	NEW DARK GREEN CANVAS AWNING - SIGNAGE OVER PEDESTRIAN ENTRANCE INTO RAMP SIGNAGE TO MATCH EXISTING ON CORNER OF LAKE STREET + 5TH APPROXIMATELY 2' HIGH X 18' LONG
17	PARKING RAMP ENTRANCE / EXIT EQUIPMENT WITH LIFT ARM
18	FLAGS AT PARKING RAMP ENTRANCE / EXIT - WITH LIGHTED EXIT OR OPEN/FULL SIGN - 7' X 18'

ARCHITECT:

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 REGISTRATION NO.: 22684 DATE: _____

PROJECT LOCATION:
LAKE PLAZA
 SHOPPING CENTER
 419 E LAKE ST.
 PARKING RAMP
 3010 5TH AVE SO.
 MINNEAPOLIS, MN 55408

BUILDING OWNER / GENERAL CONTRACTOR:

SABRI PROPERTIES
 207 E LAKE ST. SUITE 300
 MINNEAPOLIS, MN 55408

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JOB# 16-107
 DATE 3-14-16
 DRAWN NH
 CHECKED BH
 PRELIMINARY CD SET 7-26-16

PHASE 1
 PARKING RAMP
 BUILDING
 ELEVATIONS
A3.0



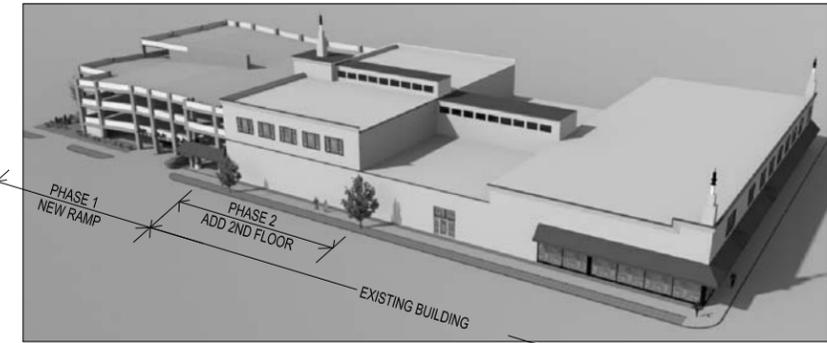
1
All NO SCALE
LAKE STREET
INTERSECTION VIEW



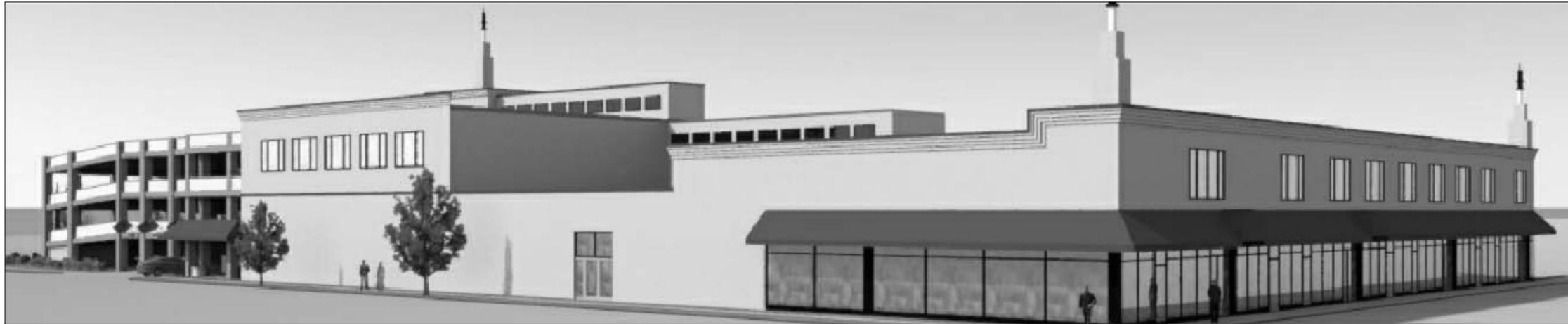
2
All NO SCALE
5TH AVE. SO.
STREET VIEW



3
All NO SCALE
WESTSIDE
ALLEY VIEW



4
All NO SCALE
NE AERIAL VIEW



5
All NO SCALE
LAKE STREET INTERSECTION VIEW



6
All NO SCALE
5TH AVE. S. STREET ELEVATION



7
All NO SCALE
SOUTHEAST CORNER VIEW



8
All NO SCALE
SE AERIAL VIEW

ARCHITECT:

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PENGILLY, MN 55775
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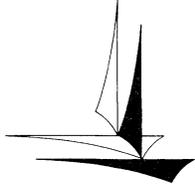
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JOB#	16-107
DATE	3-14-16
DRAWN	NH
CHECKED	BH
PRELIMINARY CD SET	7-26-16

PHASE 1
PARKING RAMP
PERSPECTIVE
VIEWS
A1.1



Minneapolis Development Review
250 South 4th Street
Room 300
Minneapolis, MN 55415

Preliminary Development Review Report

Development Coordinator Assigned: **MATTHEW JAMES**
(612) 673-2547
matthew.james@minneapolismn.gov

Status *

Tracking Number:	PDR 1001446
Applicant:	LAKE PLAZA LLC. 207 E. LAKE ST. SUITE #300 MINNEAPOLIS, MN 55408
Site Address:	419 LAKE ST E
Date Submitted:	23-MAY-2016
Date Reviewed:	01-JUNE-2016

Purpose

The purpose of the Preliminary Development Review (PDR) is to provide Customers with comments about their proposed development. City personnel, who specialize in various disciplines, review site plans to identify issues and provide feedback to the Customers to assist them in developing their final site plans.

The City of Minneapolis encourages the use of green building techniques. For additional information please check out our green building web page at: http://www.ci.minneapolis.mn.us/mdr/GreenBuildingOptions_home.asp.

DISCLAIMER: *The information in this review is based solely on the preliminary site plan submitted. The comments contained in this report are preliminary ONLY and are subject to modification.*

Project Scope

2nd story commercial addition with 3-story parking ramp.

Review Findings (by Discipline)

Historical Preservation Committee

- There is no HPC flag on this property. HPC review is not required at this time.

❑ Business Licensing

- Continue to work with Matthew D. James at (612) 673-2547 concerning a Food Plan Review, SAC determination and any Business License application submittal that may be required for this proposed project.

❑ Addressing

- Per City of Minneapolis Street Naming and Address Standard V1.22, the City of Minneapolis holds authority for assignment of all addresses, verification, change, and/or additions. Each assigned address number uses the street that provides the best/direct access for life safety equipment and best/direct access to the occupants.
- The address for the proposed Lake Plaza building will be retain the original address of 419 E. Lake St. This address meets the City of Minneapolis Street Naming and Address Standard requirements.
- When assigning suite sequences the following guidelines are as follows:
 - The first one to two digits of the suite sequence number will designate the floor number of the site.
 - The last two digits of the suite sequence number will designate the unique ID for the unit (condo, suite, unit, or apartment).
 - Suite sequence digit numbers will be assigned to dwelling, commercial and retail units, not common areas. For example, laundry rooms, saunas, workout rooms, etc., would not be assigned numbers.
 - Please provide each condo, suite, unit or apartment number.

❑ Parks - Forestry

- Contact Craig Pinkalla (612-499-9233 cpinkalla@minneapolisparks.org) regarding any questions related to planting, removal or the process for protection of trees during construction in the city right of way.
- Effective January 1, 2014, the City of Minneapolis and the Minneapolis Park and Recreation Board adopted an update to the existing Parkland Dedication Ordinance. The adopted City of Minneapolis Parkland Dedication ordinance is located in Section 598.340 of the City's Land Subdivision ordinance:
 - <http://library.municode.com/index.aspx?clientId=11490>
- As adopted, the fee in lieu of dedication for new residential units is \$1,521 per unit (affordable units excluded per ordinance) and for commercial and industrial development it is \$202.80 per development employee (as defined in ordinance). Any dedication fee (if required) must be paid at the time of building permit issuance.
- There is also an administration fee that is 5% of the calculated park dedication fee.
- As proposed, for your PROJECT, the calculated dedication fee is as follows:
 - Park Dedication Fee Calculation =
 - Non-Residential Commercial Space = \$1,825.00
 - 5% of \$XX (Administration Fee) = \$91.00
 - Total Park Dedication Administrative Fee: = \$1,916.00
- This is a preliminary calculation based on your current proposal; a final calculation will be made at the time of building permit submittal.
- For further information, please contact Matthew D. James at (612) 673-2547.

❑ Zoning - Planning

- The proposed building addition and parking garage will required land use applications and review by the City Planning Commission. Staff will continue to work with the applicant through this process and identify the required site plan improvements at the completion of the project.

❑ Right of Way

- The site plan does not indicate locations of proposed electric utility transformers; it is recommended that the Applicant begin discussions with Xcel Energy as soon as possible in order to identify electric utility and transformer locations on the site plan. It should not be assumed that the City will approve any proposed transformer location in the Public right-of-way.
- An encroachment permit shall be required for all streetscape elements in the Public right-of-way such as: plants & shrubs, planters, tree grates and other landscaping elements, sidewalk furniture (including bike racks

and bollards), and sidewalk elements other than standard concrete walkways such as pavers, stairs, raised landings, retaining walls, access ramps, and railings (NOTE: railings may not extend into the sidewalk pedestrian area). Please contact Bob Boblett at (612) 673-2428 for further information.

- The site plan does not include any proposed locations for bike racks. Please work with the assigned planner to determine bicycle parking requirements. Should the bike racks be proposed in the Public right-of-way, please contact Paul Cao at (612) 673-2943 for position and alignment of bike racks. If the racks are privately owned, they will require an encroachment permit.
- Note to the Applicant: Any elements of an earth retention system and related operations (such as construction crane boom swings) that fall within the Public right-of-way will require an encroachment permit application. If there are to be any earth retention systems which will extend outside the property line of the development then a plan must be submitted showing details of the system. All such elements shall be removed from the Public right-of-way following construction with the exception of tie-backs which may remain but must be uncoupled and de-tensioned. Please contact Bob Boblett at (612) 673-2428 for further information.
- In addition, any elements of an earth retention system and related excavations that fall within the Public right-of-way will require a "Right-of-Way Excavation Permit". This permit is typically issued to the General Contractor just prior to the start of construction. However, it is the Applicant's responsibility to insure that all required permits have been acquired by its consultants, contractors, sub-contractor's prior to the start of work.

❑ Street Design

- The curb cuts located off of 5th Ave S are proposed to be modified. The southerly curb cut is proposed to be removed and the northerly curb cut which provides access to the proposed parking ramp would be modified and expanded.
- Note to the Applicant: Numerous standard plates in the plans have been modified; all Minneapolis standard plates required to be included in the site plan shall be provided without alteration or modification. For detailed information related to City of Minneapolis standard specifications, details, and standard plates refer to the following: <http://www.minneapolismn.gov/publicworks/plates/index.htm>.
- The site plan indicates that the proposed driveway aprons along 5th Ave. S. have been modified to include ADA pedestrian ramps; based on the Minneapolis Standard this modification is not allowed nor is it necessary. All driveway aprons shall be designed and constructed to City standards. All driveway aprons shall be shown graphically correct on all related plan sheets. Please refer to the following: http://www.minneapolismn.gov/publicworks/plates/public-works_road. Add the following details from the ROAD-2000 Series - Driveways to the plans: ROAD-2000-R1, ROAD-2001-R1, ROAD-2002, and ROAD-2003-R1.
- All curb & gutter in the Public right-of-way shall be designed and constructed to City standards, curb & gutter to be City standard B624 Curb and Gutter. Please refer to the following: http://www.minneapolismn.gov/publicworks/plates/public-works_road. Add the following details from the ROAD-1000 Series - Curbs and Gutters to the plans: ROAD-1003 and ROAD-1010.
- Top of Curb profiles shall be provided for any section of curb replacement in excess of 50 feet.

❑ Sidewalk

- Note to the applicant: Any existing concrete infrastructure in the public right of way, including but not limited to public sidewalks, curb and gutter, and ADA pedestrian ramps, that is either currently defective or that is damaged during the time of site re-development, must be removed and replaced by the property owner/property taxpayer's hired contractor at the time of site re-development. The property owner/property taxpayer's hired contractor must be bonded (\$15,000 Sidewalk Contractor's Bond, approved by the City of Minneapolis) in order to do work in the public right of way, and also must obtain a Sidewalk Construction Permit from the City of Minneapolis Public Works Sidewalk Inspections office, and must call for inspections prior to proceeding with any work in the public right of way. Please call (612) 673-2420 for further information.
- Given the closure and the modification of the curb cuts off of 5th Ave S, segments of the public sidewalk will need to be reconstructed. Limits of sidewalk removal and construction shall be shown on the plans. Please

indicate that the sidewalk will carry-through the proposed curb cuts at a consistent grade for the width of the driveway.

- The Project streetscape shall be designed in accordance with the Access Minneapolis design guidelines; see <http://www.ci.minneapolis.mn.us/publicworks/transplan/index.htm> for further information. Specifically, the pedestrian zone is of concern, a minimum 6'-0" clear zone (un-obstructed) sidewalk shall be maintained for the length of any block in a straight line (the clear pedestrian zone cannot "jog" around planters and tree grates). Locations for site furniture, tree grates, planters and other proposed design elements that fall within the Public right-of-way shall be modified to provide for the required pedestrian clear zone space. For further clarification, site plans shall be fully dimensioned in relation to the property lines, Public right-of-way, sidewalks, street furniture, landscaping, utilities, and other obstructions.
- There are opportunities to install street trees along 5th Ave S. All proposed and existing trees in the Public right-of-way are subject to the review and approval of the Minneapolis Park Board. Please contact Craig Pinkalla at (612) 499-9233 to discuss tree species selection, planting method, spacing and locations. Tree planting details shall be included in the plans.
- Given the condition of the boulevard along 5th Ave S, it will need to be restored as part of the development project. New sod and tree plantings will be required to be installed.

□ Traffic and Parking

- The nature of the proposed development is such that traffic impacts will be an issue; please contact Allan Klugman at (612) 673-2743 to discuss the requirements of a Travel Demand Management Plan (TDMP).
- Current ordinance states that all maneuvers associated with loading, parking or sanitation pick up for a private development shall occur on private property. Please provide a narrative explaining the trash removal operations and show turning maneuvers for all truck type/delivery vehicles that will be using the parking ramp.
- Per City Ordinance the Applicant shall provide for (and identify) a solid waste collection point (SWCP) on the site plan. The location of the SWCP is subject to the review and approval of the Public Works Department.
- A gate to control vehicle access should allow enough room on private property for one vehicle; please revise the access point to allow for this 20' space. It is recommended that the vehicle entrance and exit points be combined into one.
- The site plan appears to indicate that the trash enclosure is to be located adjacent to the public alley. The submitted plans also indicate out-swinging man doors from the stair tower, etc. Per the Minneapolis Code of Ordinances, out-swinging doors are permitted to encroach a maximum of 4" into the Public right-of-way. The Applicant should consider designs that provide for in-swinging doors, sliding doors (for the trash enclosure) or recessed doorways to prevent out-swinging doors beyond the maximum allowable encroachment.
- All street lighting (existing and proposed) shall be shown clearly on the site plan. Prior to site plan approval, the Applicant shall contact Joseph Laurin at (612) 673-5987 to determine street lighting requirements. Note: If decorative street lighting exists on the proposed site it must be preserved or replaced at existing levels. Per the City of Minneapolis Street Lighting Policy, street lighting is strongly encouraged in areas immediately adjacent to existing lighting systems, in high density areas such as Uptown and the University of Minnesota, and along major pedestrian corridors and business nodes as identified in the Minneapolis Street Lighting Policy.
- Note to the Applicant: The construction of this development will likely require the use of Public right-of-way (roadway and sidewalks) for construction purposes. A request for an estimate of street use and obstruction permit fees can be made to the City's Traffic Department; please contact Scott Kramer at (612) 673-2383 for further information.
- Note to the Applicant: Please add the following notes to the site plan:
 - An obstruction permit is required anytime construction work is performed in the Public right-of-way. Please contact Scott Kramer at (612) 673-2383 regarding details of sidewalk and lane closures. Log on to <http://minneapolis.mn.roway.net/> for a permit.
 - Contact Allan Klugman at (612) 673-2743 prior to construction for the temporary removal/temporary relocation of any City of Minneapolis lighting or traffic signal system that may be in the way of

construction. All costs for relocation and/or repair of City Traffic facilities shall be borne by the Contractor and/or Property Owner.

- Contact Doug Maday at (612) 673-5755 prior to construction for the removal of any City of Minneapolis right of way signs that may be in the way of construction.

❑ Water

- The plan as submitted meets the requirements of the Public Works Water Maintenance & Distribution Division.
- Note to the applicant: The existing 1 ½" domestic service line may not be adequate with the additional fixture counts needed for the conversion of shops on the second floor. Please review with a mechanical engineer; and please contact Rock Rogers at (612) 673-2286, to review domestic and fire service design, connections, and sizes.

❑ Sewer Design

- Stormwater Management: Please provide a tabulation of the disturbed area square footage, and the square footage of the existing and proposed impervious surfaces within that disturbed area.
- Surface Drainage: City ordinance requires that ramp drains on all floors of a parking ramp other than an uncovered top deck by discharges to the sanitary sewer system via a separator. Drains from an uncovered top deck shall not be connected to the sanitary sewer system. Please provide the appropriate design details demonstrating compliance.
- The main roof drains should not discharge directly onto the adjacent public sidewalk.
- Utility Connections: All existing and proposed service connections to the property should be shown on the plan and noted on the plans as being removed or remaining in place. For service connection records contact (612) 673-2451.
- Utility: All existing and proposed public utilities (water, sanitary, and storm sewer) on and adjacent to the property shall be shown on the plans with corresponding pipe sizes, types and invert elevations. For City sanitary and storm sewer infrastructure records contact (612) 673-2405.
- Non Stormwater Discharges: Detail all mechanical and non-stormwater discharges. Non-stormwater discharges are not permitted unless approved by the City of Minneapolis. Non-stormwater discharges not declared and approved will not be permitted. If there currently are none and nothing is proposed declare this status on the plans.
- For comments or questions on Public Works Surface Water & Sewers Division related requirements please contact Jeremy Strehlo, (Professional Engineer) at (612) 673-3973, or jeremy.strehlo@minneapolismn.gov.

❑ Construction Code Services

- The plan as submitted meets the requirements of the Construction Code Services Division.
- A Service Availability Charge (SAC) determination will need to be submitted to the Metropolitan Council for the proposed project. Please refer to this link for more information http://www.ci.minneapolis.mn.us/mdr/docs/sac_availability_charge.pdf or SACprogram@metc.state.mn.us.

❑ Fire Safety

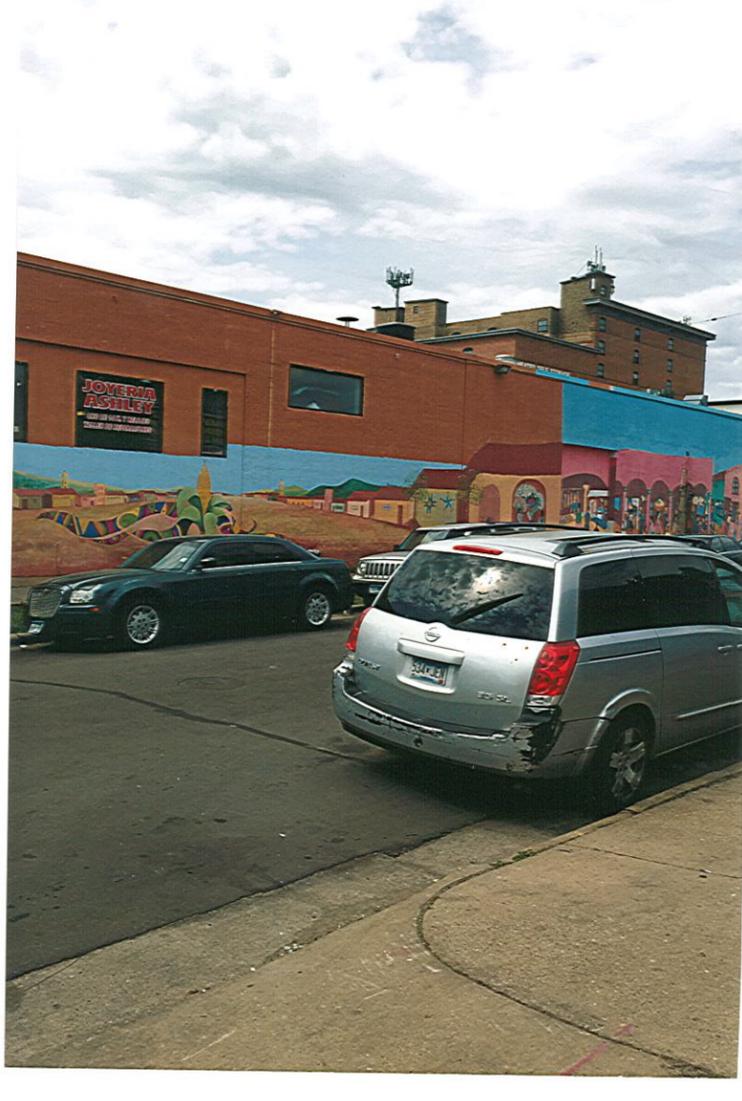
- Maintain fire suppression system throughout building.
- Maintain fire apparatus access at all times.

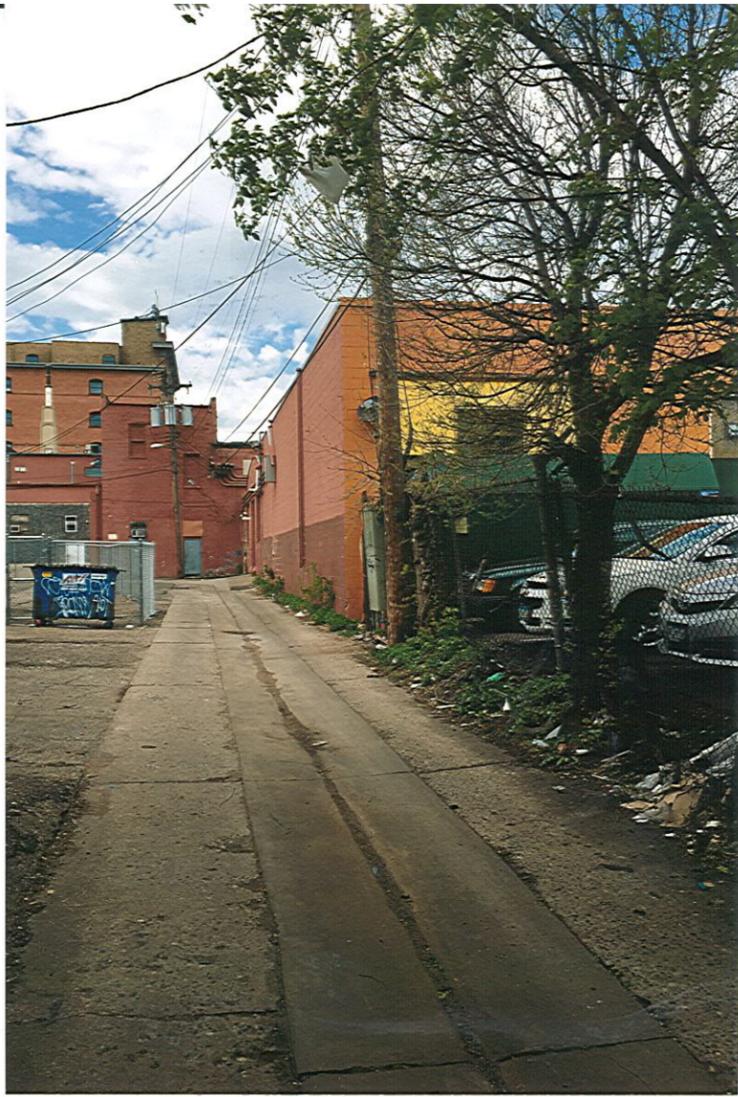
❑ Environmental Health

- City records indicate that a portion of the property was operated as a gas station and also had an underground fuel oil tank. Minneapolis Fire Department records indicate all tanks were removed in November 1966. The condition of the tanks was not noted on the fire department records. Copies of the records of are available by contacting Tom Frame of Environmental Services at tom.frame@minneapolismn.gov.

- If the work will involve the excavation of soil on site it is recommended that a Phase II Environmental Site Assessment be conducted to determine if petroleum impacted soil is present. It is further recommended that the project enter the Petroleum Brownfield Program at the Minnesota Pollution Control Agency if petroleum is detected and request a letter of no association for the site.
- If the project will be disturbing identified impacted soils on the site preapproval for removal, disposal and/or reuse of must occur from the MCPA and the City of Minneapolis prior to beginning excavation activities. If impacted soil is encountered during site activities call the MN State Duty officer at (651) 649-5451.
- If dewatering is required during site construction see below for city permit requirements. Subgrade structures should be designed to prevent infiltration of groundwater without the need for a permanent dewatering system being installed. If a continuously operating permanent dewatering system is needed it must be approved as part of the sanitary sewer and storm drain site plan approval prior to construction beginning.
- No construction, demolition or commercial power maintenance equipment shall be operated within the city between the hours of 6:00 p.m. and 7:00 a.m. on weekdays or during any hours on Saturdays, Sundays and state and federal holidays, except under permit. Contact Environmental Services at (612) 673-3867 for permit information.
- Permits and approval are required from Environmental Services for the following activities: Temporary storage of impacted soils on site prior to disposal or reuse; Reuse of impacted soils on site; Dewatering and discharge of accumulated storm water or ground water, underground or aboveground tank installation or removal, well construction or sealing. Contact Tom Frame at (612) 673-5807 for permit applications and approvals.

END OF REPORT







Example of parking ramp screening