

LAND USE APPLICATION SUMMARY

Property Location: 4049 Fremont Avenue N
Project Name: Tony's Auto Repair
Prepared By: Mei-Ling Smith, Senior City Planner, (612) 673-5342
Applicant: Tony Mixab
Project Contact: George Barr
Request: To construct a new, one-story commercial building to re-establish a minor repair use.

Required Applications:

Conditional Use Permit	To re-establish an existing minor auto repair use in the CI Neighborhood Commercial District.
Variance	To reduce the front yard along 41 st Avenue N on a reverse corner yard lot.
Variance	To reduce the minimum parking requirement from 4 to 2.
Site Plan Review	For a new, one-story commercial building.

SITE DATA

Existing Zoning	CI Neighborhood Commercial District
Lot Area	4,000 square feet / 0.09 acres
Ward(s)	4
Neighborhood(s)	Webber-Camden Neighborhood Organization
Designated Future Land Use	Urban Neighborhood
Land Use Features	Community Corridor (Fremont Avenue N)
Small Area Plan(s)	Not applicable

Date Application Deemed Complete	August 5, 2016	Date Extension Letter Sent	Not applicable
End of 60-Day Decision Period	October 4, 2016	End of 120-Day Decision Period	Not applicable

BACKGROUND

SITE DESCRIPTION AND PRESENT USE. The subject site is a reverse corner lot located at the southwest corner of Fremont Avenue N and 41st Avenue N. The site is currently vacant, as the previous one-story building, which was constructed in 1933, was destroyed as a result of a fire that occurred in January 2016. The previous building contained 1,094 square feet in gross floor area, including two service bays, storage space, and an office.

SURROUNDING PROPERTIES AND NEIGHBORHOOD. The site is located between Folwell Park and the Mississippi River. The general area contains primarily low-density residential uses, as well as some institutional uses. There is medium-density housing and commercial uses located one block to the north of the site along Fremont Avenue N.

PROJECT DESCRIPTION. The applicant is proposing to build a new, one-story commercial building for a minor auto repair business. Like the previous building, the new building would be located along the western portion of the property. However, while the previous building footprint encroached upon the required setback along the south lot line, the proposed building would be in compliance with this required yard. The applicant is also proposing to remove the surface parking area along 41st Avenue N and instead use this area for additional building area, landscaping, walkways, and bicycle parking. The proposed building would have two service bays and its main entrance facing Fremont Avenue N. Vehicles would access the site's three surface parking spaces via one curb cut off of Fremont Avenue N. Face brick and stucco are the main exterior materials proposed for the building.

A conditional use permit is required to re-establish the minor auto repair use in the CI Neighborhood Commercial District. Due to the property's shared frontage with an adjacent residential use to the west, the proposed building is subject to a setback for the first 25 feet from the western property line at a distance that is equivalent to the adjacent structure's required setback (26 feet). Finally, site plan review is required for the new, one-story commercial building.

The public hearing notice did not include the parking variance application to reduce the minimum parking requirement from four spaces to two spaces, provided that the bicycle parking requirement and accessible parking requirements are fulfilled in the final site plan. A new public hearing notice will be sent out for the next available City Planning Commission meeting that will take place on September 19, 2016.

PUBLIC COMMENTS. Staff has not received any comments from the neighborhood group or from the public as of the printing of this report. Any correspondence received prior to the public meeting will be forwarded on to the Planning Commission for consideration.

RECOMMENDATIONS

The Department of Community Planning and Economic Development recommends that the City Planning Commission adopt staff findings for the applications by George Barr for the property located at 4049 Fremont Avenue N:

A. Conditional Use Permit.

Recommended motion: **Continue** the conditional use permit application to re-establish an existing minor auto repair use in the CI Neighborhood Commercial District to the September 19, 2016, City Planning Commission meeting.

B. Variance.

Recommended motion: **Continue** the variance application to reduce the front yard along 41st Avenue N on a reverse corner yard lot from the required 26 feet to 10 feet to the September 19, 2016, City Planning Commission meeting

C. Site Plan Review.

Recommended motion: **Continue** the site plan review application for a new, one-story commercial building one cycle to the September 19, 2016, City Planning Commission meeting.

ATTACHMENTS

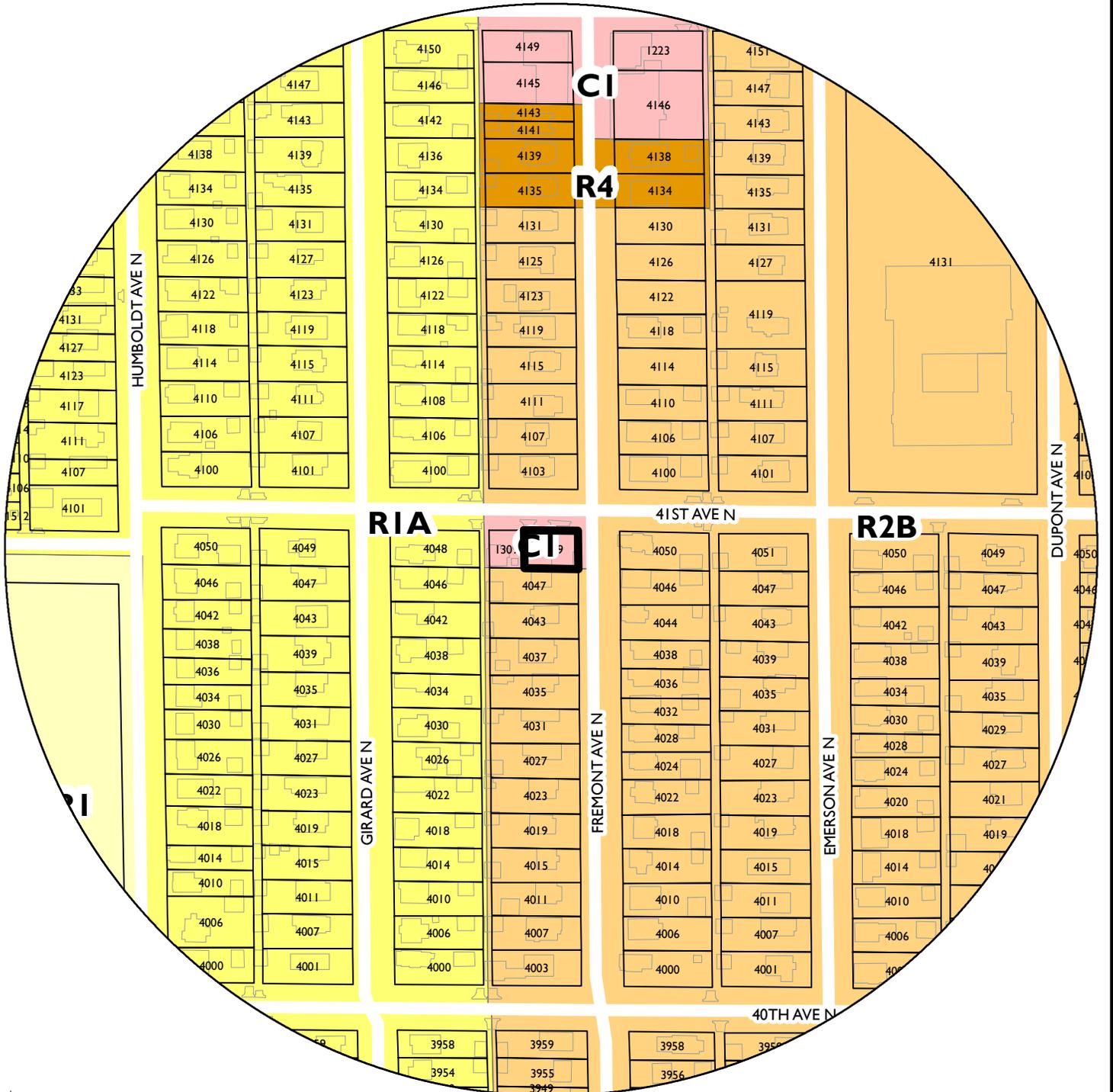
- I. Zoning map

Tony Mixab

4th

NAME OF APPLICANT

WARD



PROPERTY ADDRESS
4049 Fremont Ave N

FILE NUMBER
BZZ-7801