

MEMORANDUM

TO: City Planning Commission, Committee of the Whole
FROM: Peter Crandall, City Planner, (612) 673-2247
DATE: November 17, 2016
SUBJECT: Green on Fourth Apartments, 2901 4th Street SE

SITE DATA

Existing Zoning	II District Pedestrian Overlay District University Area Overlay
Lot Area	105,314 square feet / 2.41 acres
Ward(s)	2
Neighborhood(s)	Prospect Park
Designated Future Land Use	Mixed-Use
Land Use Features	N/A
Small Area Plan(s)	<u>29th Ave SE and University Ave SE Development Objectives (2005)</u>

PROJECT DESCRIPTION

The project proposal is for a new 6 story multi-family apartment building with a total of 243 rental units, 177 of which would be market-rate and 66 of which would be affordable. The building is broken up into two distinct masses, one for the market-rate and one for the affordable housing with a shared lobby and amenity space at the ground level. The building is wrapped on three sides by walkup residential units. The walk-up units facing 4th Street SE would be two-story townhouse style units and are set back from the property line.

The building shares property with a recently implemented district storm water system operated by the Mississippi Watershed Management Organization. 4th Street has been designed, and is currently being constructed, as a highly amenitized, pedestrian oriented street.

The project incorporates approximately 200 underground parking stalls. Additionally there is a proposed rooftop amenity space on the Western edge of the building overlooking the storm water garden.

Feedback is sought on the project and applications in general, on the composition of exterior materials and on the inclusion of townhouse style walkup units along 4th Street SE.

APPLICATIONS

Based on staff's preliminary review, the following land use applications have been identified:

- **Rezoning - from II to C3A**
- **Conditional Use Permit for Height** – Maximum district height is 4 stories or 56 feet. Proposed project is 6 stories 73 feet
- **Site Plan Review**

Additional applications may be required, depending on the plans that the applicant formally submits.

APPLICABLE POLICIES

University Ave SE / 29th Ave SE Development Objectives (2005)

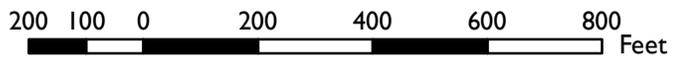
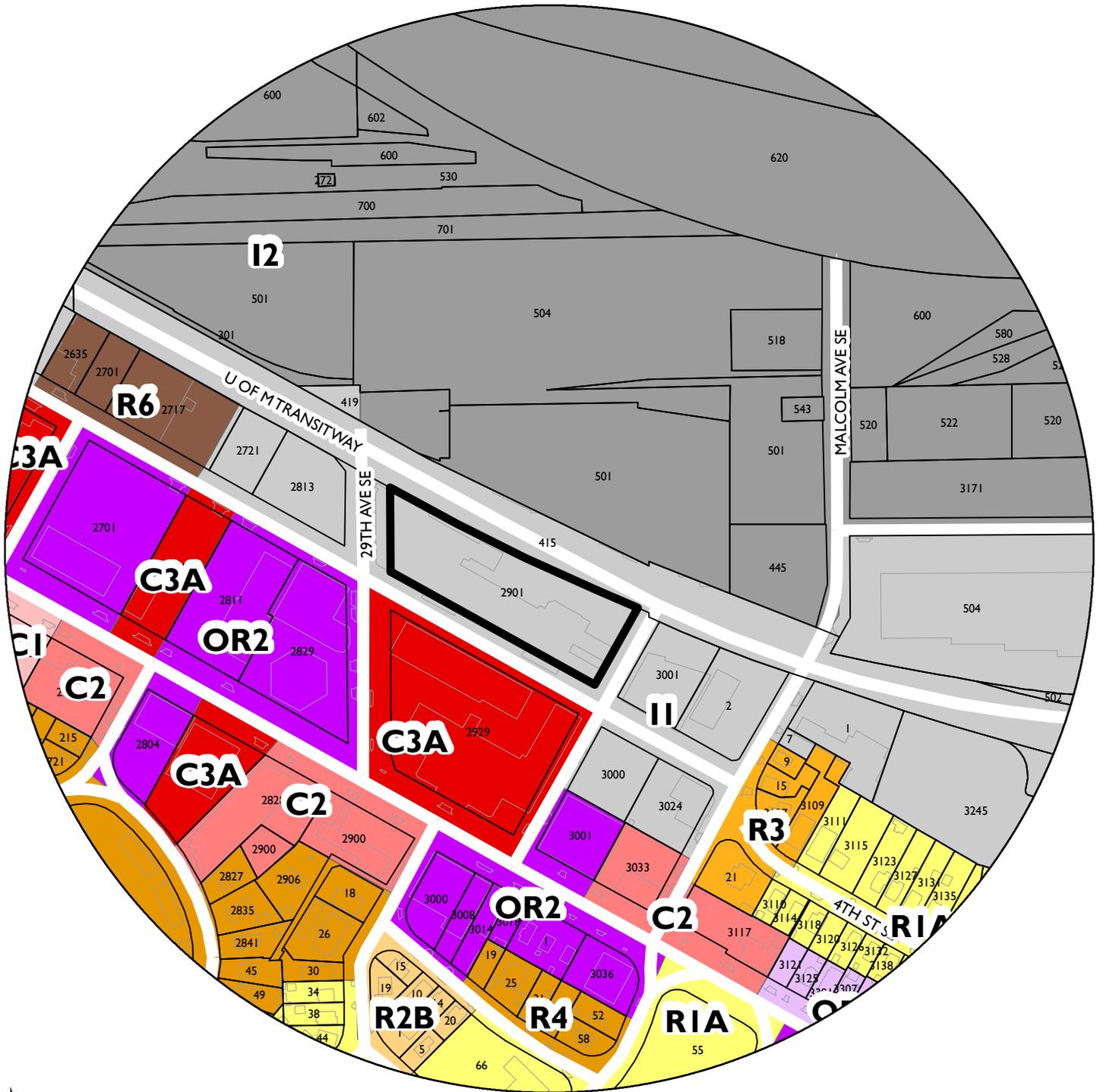
- New development should be permitted up to FAR 3.0, with bonuses for including desirable features such as underground parking, mixed-use and affordable housing.
- Orient buildings to the street and place buildings close to the sidewalk. Setbacks should be no more than 8 feet (for landscaping and pedestrian activity, not for cars.) Building placement should reinforce the streetwall.
- Create a mix of ground-oriented residential units (with street or pedestrian pathway entrances) and taller, apartment / condo buildings.
- Use high-quality “permanent” materials such as masonry (stone, brick).

Timberland Partners + Prospect Park Properties

2nd

NAME OF APPLICANT

WARD



PROPERTY ADDRESS
2901 4th Street SE

FILE NUMBER
BZZ-xxxx

Green on Fourth

2901 4th Street Southeast
Minneapolis, Minnesota 55414
October 26, 2016



Developer:
Timberland Partners + Prospect Park Properties

Architect:
Tushie Montgomery Architects

Project Description:

Green on Fourth apartments is a 243 unit apartment building in the developing Prospect Park neighborhood. The building currently planned at approximately 218,500 sf with an additional 75,200 sf underground garage, resulting in a total project size of almost 294,000 square feet. The project is scheduled to break ground in the summer of 2017 and complete construction in early fall 2018.

The existing site:

The project is located at 2901 4th Street Southeast, in the Prospect Park neighborhood of Minneapolis. This neighborhood is currently experiencing a multitude of development projects located around the University Avenue and Green Line Light Rail corridor. Additionally, this project is directly adjacent to the proposed "Green 4th" pedestrian greenway improvement project. To the south of the site there is currently a large scale, mixed-use development under construction. That project included 336 apartments, a 30,000 sf grocery store and approximately 10,000 sf of retail along University Avenue.

Over the past few months the site has undergone several improvements. The primary improvement consists of a portion of the site being dedicated to a district storm water system, which is planned to collectively treat storm water from several surrounding developments. When that work was being complete the site was also cleared of debris left from previous buildings.

The proposed building:

The proposed building is broken in to two distinct building masses. The western mass is a 5-story U-shaped building with 177 apartment units, situated over one story of underground parking. The eastern mass is a 6-story rectangular building with 66 apartment units, situated over 2 stories of underground parking. Connecting the two building masses is a continuous 2-story mass which is comprised of two story, walk-up units to the west and a 2-story shared common space to the east. The underground garage, containing approximately 200 parking stalls, will be used by the entire development and will not be subdivided. On the Western edge of the 5-story building there will be a rooftop deck overlooking the District Stormwater gardens and the community park.

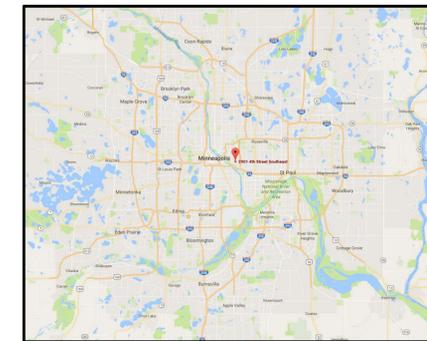
The building exterior is purposefully broken down into smaller masses abutting Green 4th Street. This was done in effort to vary the streetscape and provide an urban edge of undulating height, scale and setbacks. Preliminary discussion on exterior materials has included a sense of raw and simple materials, which would complement and hint at the sites industrial past. The project team is currently exploring options of Natural Wood, unfinished concrete, corrugated metal, fiber cement siding and Corten Steel.

Proposed variances and CUP's:

The project plan as currently illustrated would require several variances and a zoning change to C3A. With the zoning change the building would still seek a variance for building height and stories, to the current design of 6 stories/73'. Additionally, we would be seeking a variance to increase our setback to more than the maximum allowed 8' at locations along the walk-up units on along Green 4th Street. The current plan is within the FAR guidelines.

PROJECT INFO.

SITE INFORMATION:



BUILDING INFORMATION:

5 STORY APARTMENT BUILDING - MARKET RATE
 6 STORY APARTMENT BUILDING - AFFORDABLE
 2 STORY COMMON SPACE LINK

- BUILDING GROSS AREA -

MARKET RATE UNITS	
LEVEL 1	31,053 SF
LEVEL 2	37,399 SF
LEVEL 3	27,977 SF
LEVEL 4	27,980 SF
LEVEL 5	27,979 SF
TOTAL	152,388 SF
GARAGE	
LOWER GARAGE LEVEL	21,511 SF
GARAGE LEVEL	53,675 SF
TOTAL	75,185 SF
COMMON SPACE	
LEVEL 1	3,397 SF
LEVEL 2	2,460 SF
TOTAL	5,857 SF
AFFORDABLE UNITS	
LEVEL 1	9,789 SF
LEVEL 2	10,064 SF
LEVEL 3	10,064 SF
LEVEL 4	10,071 SF
LEVEL 5	10,064 SF
LEVEL 6	10,204 SF
TOTAL	60,255 SF
TOTAL	293,686 SF

- GARAGE PARKING -

LOWER GARAGE LEVEL	25
STANDARD	19
COMPACT	44
GARAGE LEVEL	101
STANDARD	47
COMPACT	5
ADA ACCESSIBLE	153
TOTAL	197

- UNIT TYPES MARKET RATE -

ONE BED	39	22%
ONE BED + DEN	12	7%
ONE BED - MARKET	68	38%
STUDIO	34	19%
TWO BED	20	11%
TWO BED - LOFT	4	2%
TOTAL	177	100%

- UNIT TYPES AFFORDABLE -

ONE BED - MARKET A	2	3%
ONE BED A	21	32%
STUDIO A	25	38%
THREE BED A	6	9%
TWO BED A	12	18%
TOTAL	66	100%

COVER SHEET SURVEY	
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PROJECT TEAM

DEVELOPER:

Timberland Partners
 800 Norman Center Drive, Suite 830
 Minneapolis, MN 55437
 Ryan Sailer
 rsailer@timberlandpartners.com

Prospect Park Properties
 P.O. Box 14536
 Minneapolis, MN 55414
 Jeff Barnhart
 jeff@prospectparkproperties.com

ARCHITECT:

TUSHIE MONTGOMERY ARCHITECTS

7645 LYNDALE AVENUE SOUTH, #100
 MINNEAPOLIS, MINNESOTA 55423
 PHONE: 612 861 9636

Evan Jacobsen, Architect
 evanj@tmiarchitects.com

Dan Pellinen, Architect
 danp@tmiarchitects.com

CIVIL ENGINEER:

WENCK ASSOCIATES

1800 Pioneer Creek Center
 Maple Plain, MN 55359

Roshan Grieme, PE
 rgrieme@wenck.com

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SUBMITTALS:

PDR SUBMITTAL _____ 10/31/2016
 COMMITTEE OF THE WHOLE SUBMITTAL _____ 11/07/2016

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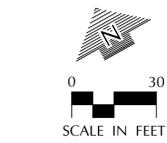
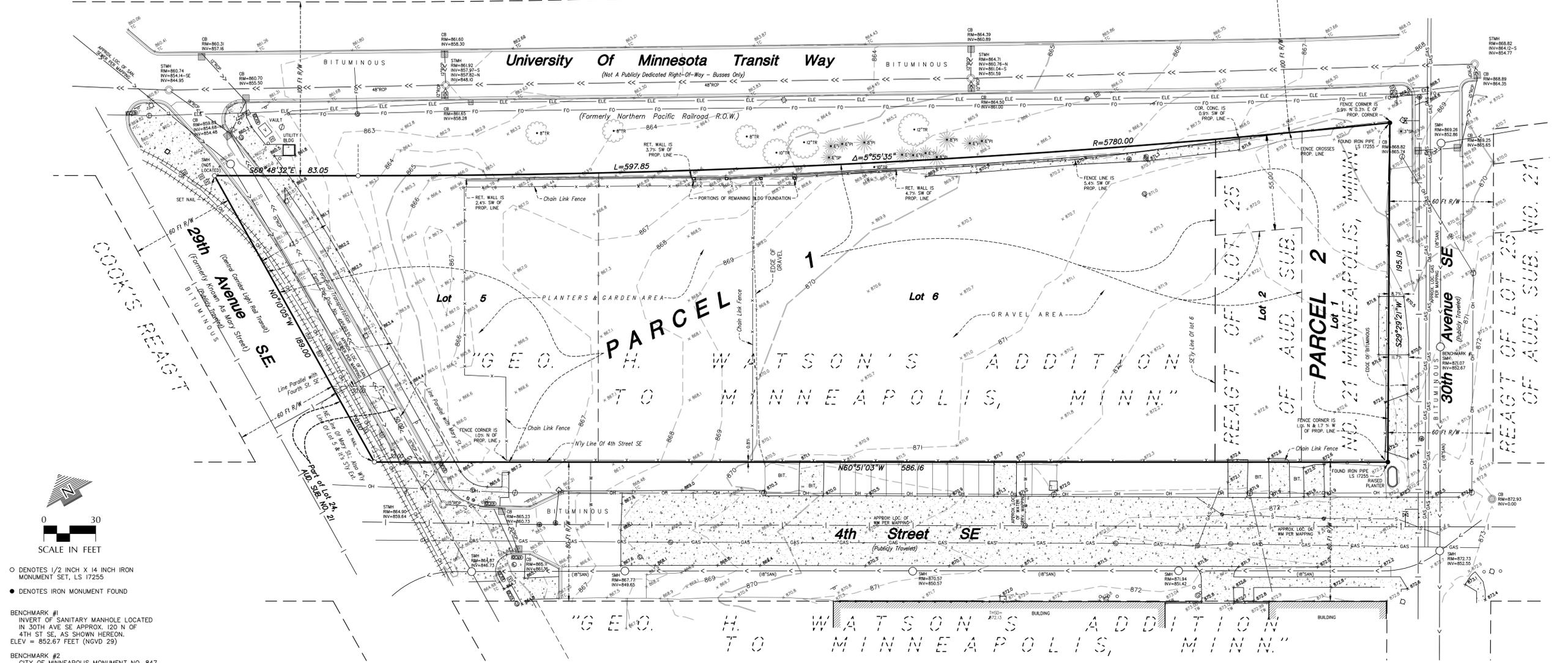
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○ DENOTES 1/2 INCH X 14 INCH IRON MONUMENT SET, LS 17255
● DENOTES IRON MONUMENT FOUND
BENCHMARK #1
INVERT OF SANITARY MANHOLE LOCATED IN 30TH AVE SE APPROX. 120 N OF 4TH ST SE, AS SHOWN HEREON. ELEV = 852.67 FEET (NGVD 29)
BENCHMARK #2
CITY OF MINNEAPOLIS MONUMENT NO. 847 LOCATED AT SEYMOUR AVE & FRANKLIN AVE, NOT SHOWN HEREON. ELEV = 885.40 FEET (NGVD 29)

SURVEY LEGEND

▣	CATCH BASIN	—>—>	STORM SEWER
○	STORM MANHOLE	—>	SANITARY SEWER
○	SANITARY MANHOLE	— —	WATERMAIN
○	WATER MANHOLE	—S—	SANITARY SEWER SERVICE
◇	HYDRANT	—W—	WATER SERVICE
⊗	GATE VALVE	—ELE—	UNDERGROUND ELECTRIC
⊗	POWER POLE	—FO—	UNDERGROUND FIBER OPTIC
○	LIGHT POLE	—GAS—	UNDERGROUND GAS
□	GUARDPOST	—TEL—	UNDERGROUND TELEPHONE
⊖	SIGN	—OH—	OVERHEAD UTILITY
⊗	ELECTRIC TRANSFORMER	—X—X—	CHAIN LINK FENCE
⊗	ELECTRIC MANHOLE	—	CONCRETE CURB
⊗	GAS VALVE	—	CONCRETE
⊗	TELEPHONE MANHOLE	—+—+—+—	RAILROAD TRACKS
⊗	UTILITY MANHOLE	—	RETAINING WALL
⊗	GAS METER	—	GUARD RAIL
⊗	HAND HOLE	—	CONIFEROUS TREE
⊗	SPOT ELEVATION	—	DECIDUOUS TREE
⊗	GAS VENT	—	
⊗	TRAFFIC SIGNAL	—	
⊗	WATER CLEAN-OUT	—	
PI	PINE	—	
SP	SPRUCE	—	
TR	TREE (GEN)	—	

DESCRIPTION OF PROPERTY SURVEYED
(Per Schedule A of the herein referenced Title Commitment)

Parcel 1:
Lots 5 and 6, "Geo. H. Watson's Addition, Minneapolis, Minn."

That part of Lot 24, Auditor's Subdivision No. 21, Hennepin County, Minn., commencing at the intersection of the East line of Mary Street and the Northernly line of Fourth Street Southeast; thence North 50 feet; thence Southeasterly parallel with Fourth Street Southeast, 30 feet; thence South parallel with Mary Street, 50 feet to the Northernly line of Fourth Street Southeast; thence Northwesterly 30 feet to beginning.

Lot 2 except the rear or Northernly 55 feet of said Lot 2, Block 2, Rearrangement of Lot Twenty Five (25) Auditor's Subdivision Number Twenty One (21) Minneapolis, Minnesota.

Being Registered land as evidenced by Certificate of Title No. 1355648.

Parcel 2:
Lot 1 and the rear or Northernly 55 feet of Lot 2, Block 2, Rearrangement of Lot Twenty-Five (25) of Auditor's Subdivision Number Twenty-one (21), Minneapolis, Minnesota.

(Abstract Property)

TITLE COMMITMENT EXCEPTIONS
(Per Schedule B, Part II of the herein referenced Title Commitment)

The property depicted on this survey and the easements of record shown hereon are the same as the property and the easements described in the Commitment for Title Insurance issued by Old Republic National Title Insurance Company, File No. 62368, effective date: February 10, 2016, issue date: February 29, 2016. The numbers below correspond to those in the title commitment.

Nos. 1-10, do not require comment.

No. 11. Easement for Transportation in favor of the State of Minnesota dated May 11, 2011, recorded May 24, 2011 as Document No. T4858935, along the west side of property (29th Avenue SE) -Shown hereon.

ALTA/NSPS OPTIONAL TABLE A NOTES
(The following items refer to Table A optional survey responsibilities and specifications)

- Monuments placed (or a reference monument or witness to the corner) at all major corners of the boundary of the property, unless already marked or referenced by existing monuments or witnesses to the corner are shown hereon.
- The address, if disclosed in documents provided to or obtained by the surveyor, or observed while

conducting the fieldwork is 2901 4th Street SE.

3. This property is contained in Flood Insurance Rate Map, Community Panel No. 27053C0377E, and is a non-printed panel (no special flood hazard areas).
4. The Gross land area is 109,955 +/- square feet or 2.52 +/- acres.

7. (a) There are no observable buildings on this site.
9. There are no striped parking stalls on this site.

11. We have shown underground utilities on and/or serving the surveyed property per Gopher State One-Call Ticket Nos. 160962252 and 160962269. The following utilities and municipalities were notified:

BURLINGTON NORTHERN RAILROAD	(800) 533-2891
CITY OF MINNEAPOLIS WATER	(612) 673-5600
CITY OF MINNEAPOLIS TRAFFIC	(612) 673-5600
CITY OF MINNEAPOLIS SEWER	(612) 673-5600
COMCAST	(612) 522-8141
CENTURYLINK	(855) 742-6062
METRO TRANSIT - LT RAIL	(612) 341-5737
LIGHTCORE A CENTURYLINK CO	(855) 742-6062
MCI	(800) 624-9675
METRO TRANSIT	(612) 349-7547
METRO WASTE COMMISSION	(651) 602-4511
CENTER POINT ENERGY	(800) 778-9140
MINNEAPOLIS PARK AND REC	(612) 499-9090
QWEST COMMUNICATIONS	(800) 283-4237
ST. PAUL REGIONAL WATER	(651) 266-6868
ST. PAUL REGIONAL SEWER	(651) 266-9850
ST. PAUL TRAFFIC AND LIGHTING	(651) 266-9777
ST. PAUL PARKS	(651) 632-5129
UNIVERSITY OF MINNESOTA-FM	(612) 625-6537
LEVEL 3 COMMUNICATIONS	(877) 366-8344
XCEL ENERGY	(800) 848-7558
ZAYO BANDWIDTH	(888) 267-1063

- Utility operators do not consistently respond to locate requests through the Gopher State One Call service for surveying purposes such as this. Those utility operators that do respond, often will not locate utilities from their main line to the customer's structure or facility. They consider those utilities "private" installations that are outside their jurisdiction. These "private" utilities on the surveyed property or adjoining properties, may not be located since most operators will not mark such "private" utilities. A private utility locator may be contacted to investigate these utilities further, if requested by the client.
- The locations of underground utility lines shown hereon is an approximation based on available maps, unless otherwise noted on the survey.
- Maps provided by those notified above, either along with a field location or in lieu of such a location, are very often inaccurate or inconclusive. EXTREME CAUTION MUST BE EXERCISED BEFORE AN EXCAVATION TAKES PLACE ON OR NEAR THIS SITE. BEFORE DIGGING, YOU ARE

REQUIRED BY LAW TO NOTIFY GOPHER STATE ONE CALL AT LEAST 48 HOURS IN ADVANCE AT 811 or (651) 454-0002.

SURVEY REPORT

- The Surveyor was not provided utility easement documents for the subject property except for those shown on the Survey.
- Snow and ice conditions during winter months may obscure otherwise visible evidence of on site improvements and/or utilities.
- There are old parking spaces that fall within the right-of-way of 4th Street SE.
- There are concrete areas and a raised planter within the right-of-way of 30th Avenue SE.
- There is a fence along the northeasterly line that crosses the property line near 30th Avenue SE.
- The bearings for this survey are based on the Hennepin County Coordinate System NAD 83 (1986 Adjust).

CERTIFICATION

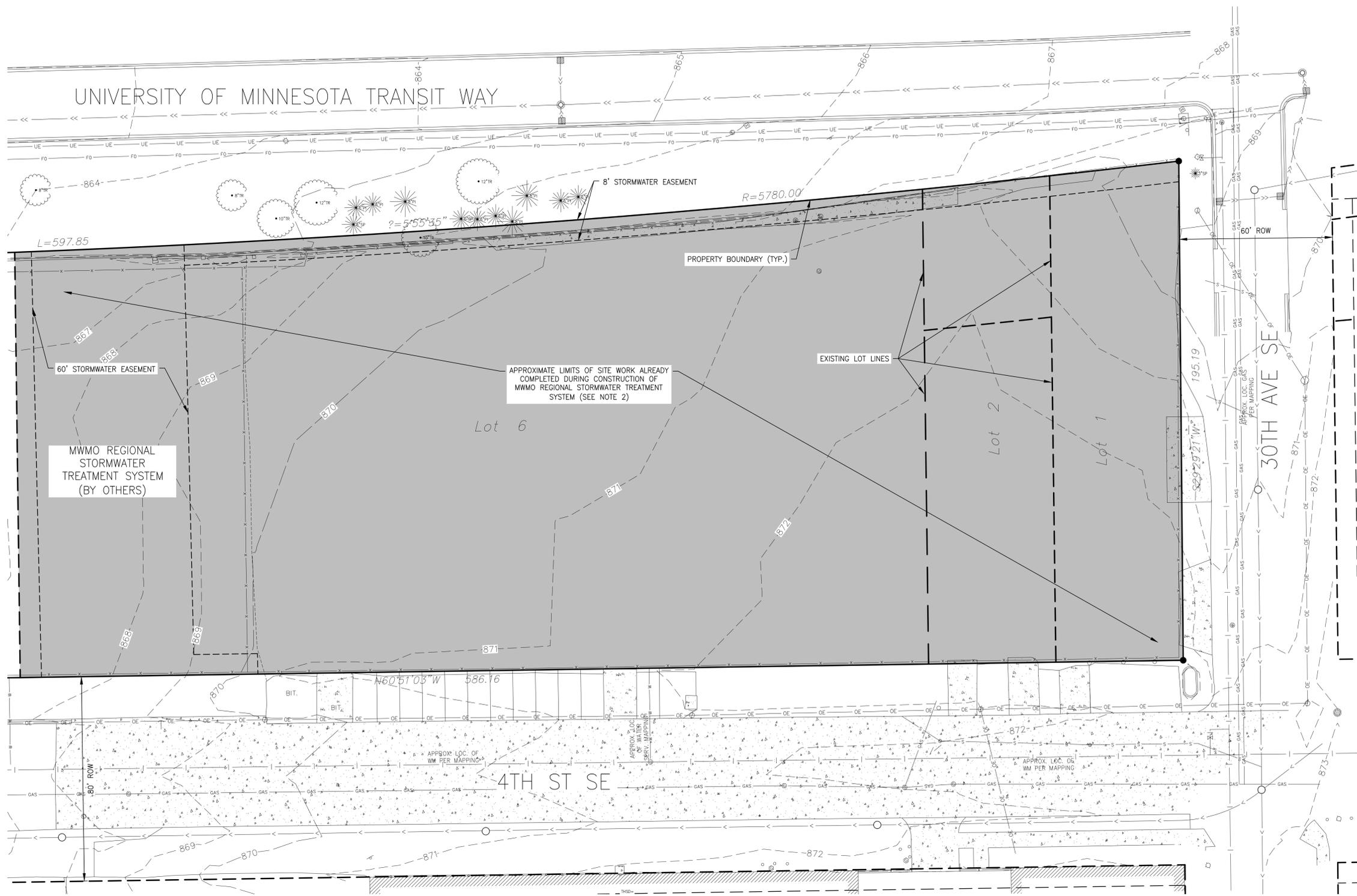
To 29th Avenue Associates, LLC, a Minnesota limited liability company; Prospect Park Properties, LLC; Old Republic National Title Insurance Company and Guaranty Commercial Title, Inc.:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1 - 4, 7(a), 8, 9 and 11 of Table A thereof. The field work was completed on April 8, 2016.

Date of Plat or Map: April 22, 2016

Henry D. Nelson
Henry D. Nelson, PLS
Minnesota License No. 17255
hnelson@loucksinc.com





GENERAL LEGEND

- PROPERTY LINE
- - - ADJACENT PROPERTY LINES
- - - EASEMENT LINE
- - - SETBACK LINE

EXISTING LEGEND

- - - 959 - - - MINOR CONTOUR
- - - 960 - - - MAJOR CONTOUR
- ==== CURB AND GUTTER
- ===== EDGE OF PAVEMENT
- ▨ CONCRETE SIDEWALK
- UE - - - UNDERGROUND ELECTRIC
- OE - - - OVERHEAD ELECTRIC
- GAS - - - UNDERGROUND GAS
- FO - - - UNDERGROUND FIBER OPTIC
- >—> SANITARY SEWER
- S—S— SANITARY SERVICE
- >>> STORM SEWER
- |— WATERMAIN
- W—W— WATER SERVICE
- X—X— FENCE
- SANITARY MANHOLE
- ⊙ STORM MANHOLE
- ⊞ STORM CATCH BASIN
- ◇ HYDRANT
- ⊗ GATE VALVE
- ⊕ WATER MANHOLE
- ⊖ POWER POLE
- ⊛ LIGHT POLE
- ☼ TREE

NOTES

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2. WORK HAS RECENTLY BEEN COMPLETED ON THE SITE AS PART OF THE CONSTRUCTION OF THE MWMO REGIONAL STORMWATER SYSTEM. THIS WORK IS NOT REFLECTED IN THE SURVEY INFORMATION SHOWN. SUCH WORK INCLUDES, BUT IS NOT LIMITED TO: INSTALLATION OF STORM SEWER AND MANHOLES, CONSTRUCTION OF MWMO STORMWATER TREATMENT SYSTEM AND UNDERGROUND STORAGE TANK, EXCAVATION OF SITE SOILS TO REMOVE CONTAMINATED MATERIALS, AND DEMOLITION OF PAVEMENT AND OTHER STRUCTURES TO FACILITATE THIS WORK. SITE FEATURES AND TOPOGRAPHY SHOWN DOES NOT ACCURATELY REFLECT THE EXISTING CONDITION OF THE SITE.
3. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE CONDITIONS OF THE SITE AND SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR VARIATIONS FROM THE DRAWINGS.
4. ELEVATIONS SHOWN ARE BASED ON NAVD88 DATUM.
5. LEGAL DESCRIPTION:

WARNING:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND/OR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.

CALL BEFORE YOU DIG
GOPHER STATE ONE CALL
 TWIN CITY AREA: 651-454-0002
 TOLL FREE 1-800-252-1166

PREPARED FOR:

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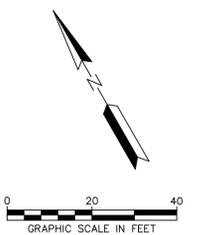
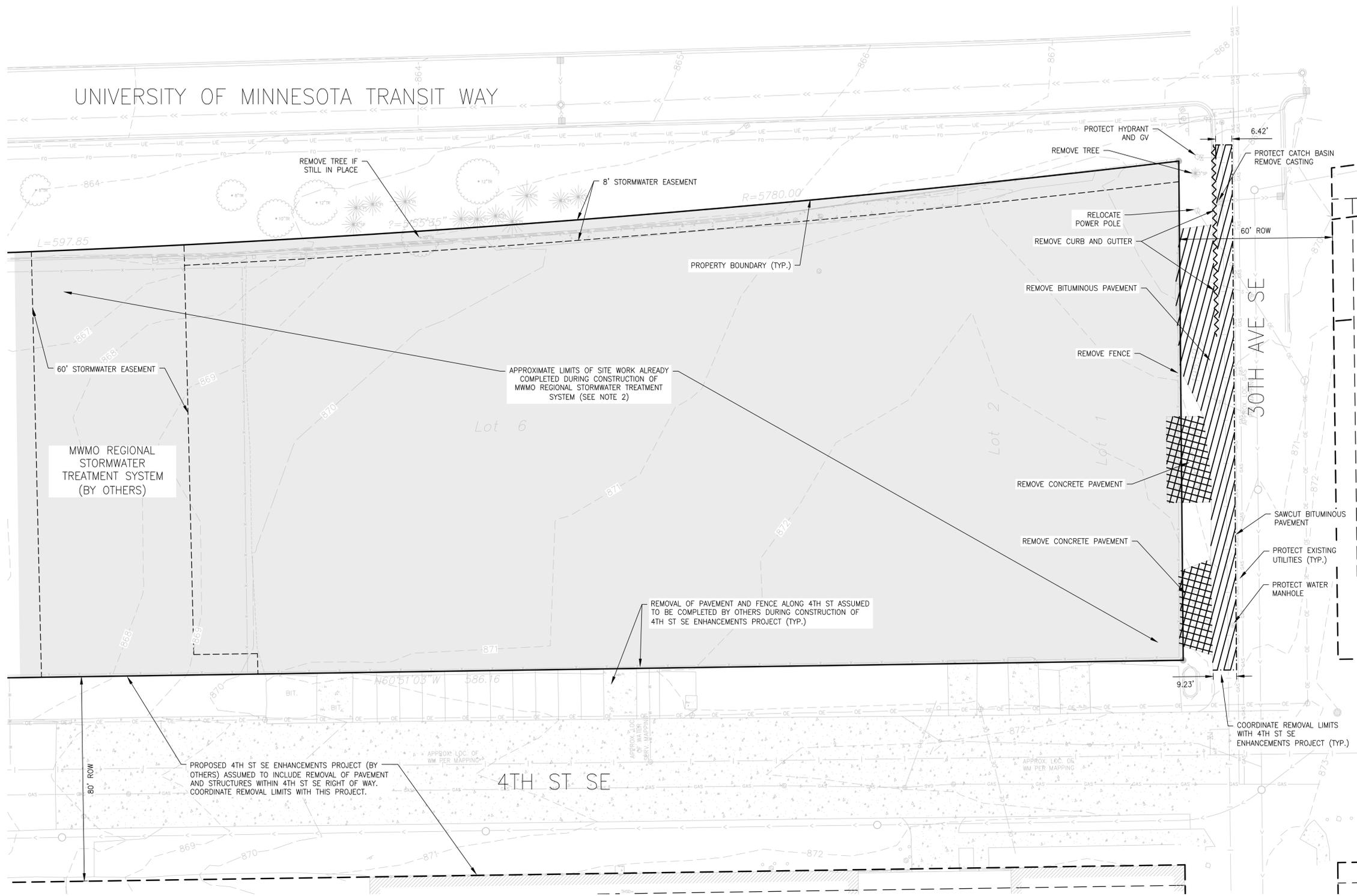
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Revisions & Addendums

-PRELIMINARY- NOT FOR CONSTRUCTION

Existing Conditions

CIOI



GENERAL LEGEND

- PROPERTY LINE
- - - ADJACENT PROPERTY LINES
- - - EASEMENT LINE
- - - SETBACK LINE

EXISTING LEGEND

- 959 --- MINOR CONTOUR
- 960 --- MAJOR CONTOUR
- ==== CURB AND GUTTER
- ===== EDGE OF PAVEMENT
- CONCRETE SIDEWALK
- UE UE UNDERGROUND ELECTRIC
- OE OE OVERHEAD ELECTRIC
- GAS GAS UNDERGROUND GAS
- FO FO UNDERGROUND FIBER OPTIC
- SANITARY SEWER
- SANITARY SERVICE
- STORM SEWER
- WATERMAIN
- WATER SERVICE
- FENCE
- SANITARY MANHOLE
- STORM MANHOLE
- STORM CATCH BASIN
- HYDRANT
- GATE VALVE
- WATER MANHOLE
- POWER POLE
- LIGHT POLE
- TREE

PROPOSED LEGEND

- XXXXX REMOVE CONCRETE PAVEMENT
- XXXXX REMOVE BITUMINOUS PAVEMENT
- ~~~~~ REMOVE CURB AND GUTTER
- SAWCUT BITUMINOUS PAVEMENT

NOTES

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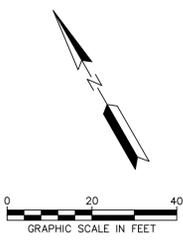
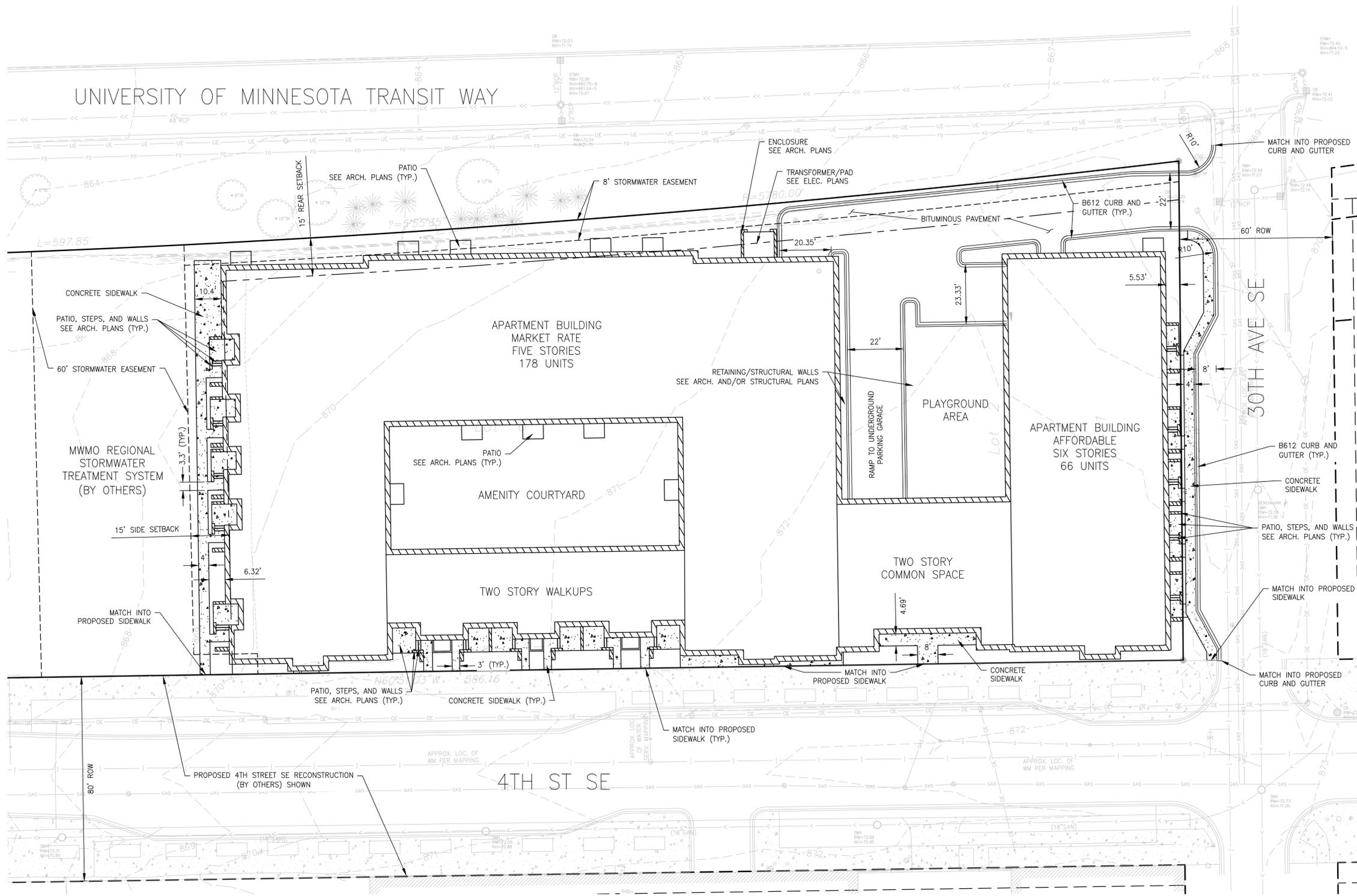
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Revisions & Addendums

-PRELIMINARY- NOT FOR CONSTRUCTION

Removals Plan

C102



GENERAL LEGEND

- PROPERTY LINE
- - - ADJACENT PROPERTY LINES
- - - EASEMENT LINE
- - - SETBACK LINE

EXISTING LEGEND

- 959 MINOR CONTOUR
- 960 MAJOR CONTOUR
- CURB AND GUTTER
- EDGE OF PAVEMENT
- CONCRETE SIDEWALK
- UE UNDERGROUND ELECTRIC
- OE OVERHEAD ELECTRIC
- GAS UNDERGROUND GAS
- FO UNDERGROUND FIBER OPTIC
- SS SANITARY SEWER
- SS SANITARY SERVICE
- SS STORM SEWER
- WM WATERMAIN
- WS WATER SERVICE
- X X FENCE
- SANITARY MANHOLE
- STORM MANHOLE
- STORM CATCH BASIN
- HYDRANT
- GATE VALVE
- WATER MANHOLE
- POWER POLE
- LIGHT POLE
- TREE

PROPOSED LEGEND

- CURB AND GUTTER
- CONCRETE PAVEMENT
- BITUMINOUS PAVEMENT

NOTES

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3. SURVEY DATA IS SUPPLEMENTED WITH DESIGN INFORMATION FROM THE PROPOSED 4TH ST SE ENHANCEMENTS PROJECT (PLANS DATED FEBRUARY 25, 2016).

SITE DATA

- ZONING:
 CSA (COMMUNITY ACTIVITY CENTER DISTRICT)
 UA (UNIVERSITY AREA) OVERLAY
 PO (PEDESTRIAN ORIENTED) OVERLAY
- SETBACKS:
 FRONT YARD: 0 FEET
 REAR YARD: 15 FEET*
 INTERIOR SIDE YARD: 15 FEET*
 CORNER SIDE YARD: 0 FEET
- * REQUIREMENT = 5+2X FEET, UP TO 15 FEET, WHERE X = NO. OF STORIES ABOVE FIRST FLOOR
- OFF-STREET PARKING:
 REQUIRED: 171 STALLS*
 PROVIDED: 201 STALLS (ALL UNDERGROUND)
- * REQUIREMENT = 1/2 SPACE PER BED, BUT NOT LESS THAN 1 SPACE PER UNIT
 - 10% REDUCTION FOR PO OVERLAY DISTRICT
 - 10% REDUCTION FOR TRANSIT STOP LOCATED WITHIN 300 FEET, SERVICE EVERY 30 MINUTES.
 - 10% REDUCTION FOR ENCLOSED PARKING FACILITY

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PREPARED FOR:

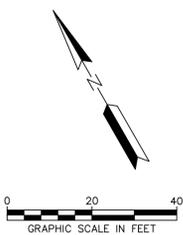
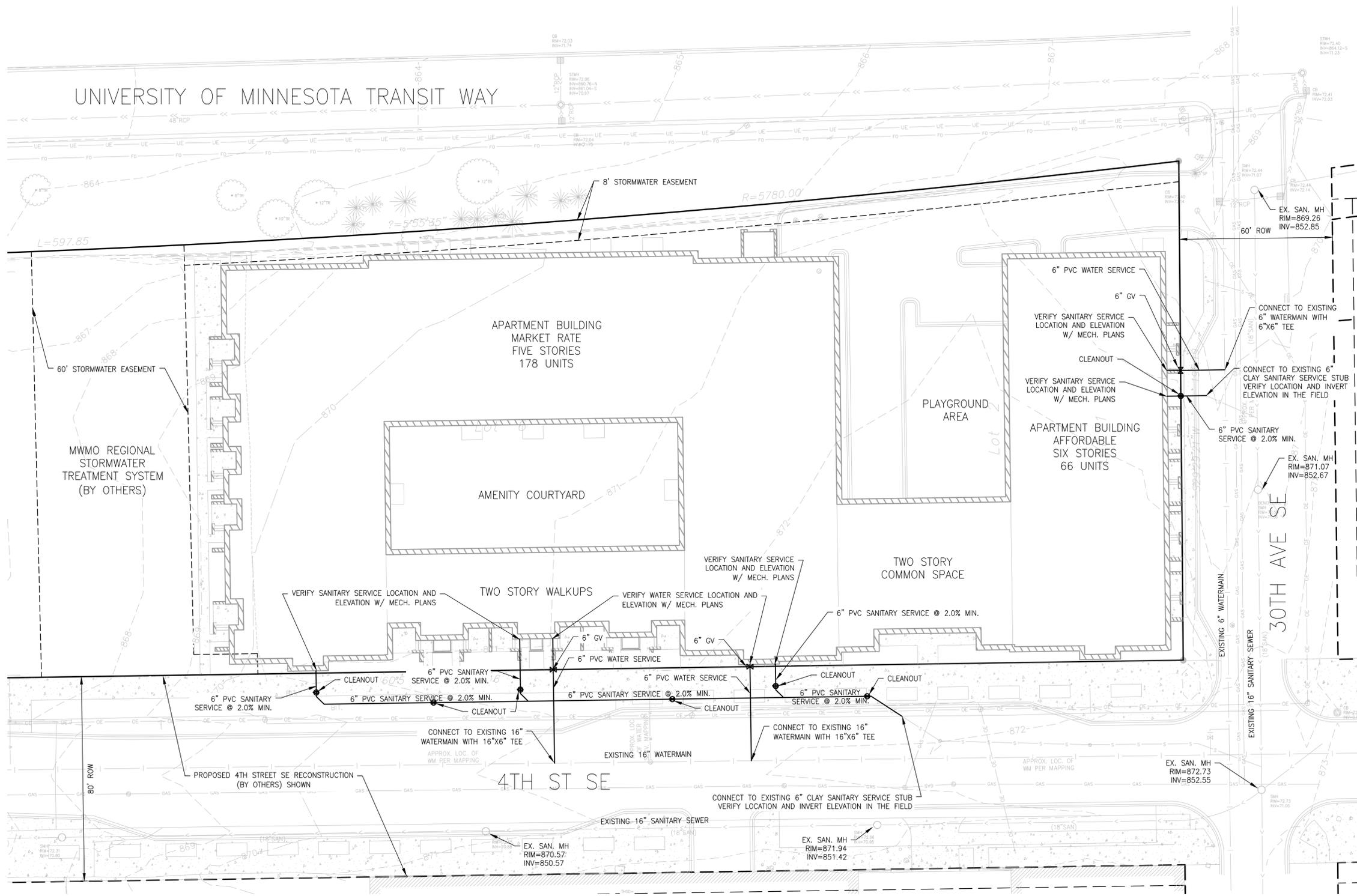
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Revisions & Addendums

-PRELIMINARY- NOT FOR CONSTRUCTION

Site Plan

C103



GENERAL LEGEND

- PROPERTY LINE
- - - ADJACENT PROPERTY LINES
- - - EASEMENT LINE
- - - SETBACK LINE

EXISTING LEGEND

- 959 --- MINOR CONTOUR
- 960 --- MAJOR CONTOUR
- CURB AND GUTTER
- EDGE OF PAVEMENT
- CONCRETE SIDEWALK
- UNDERGROUND ELECTRIC
- OVERHEAD ELECTRIC
- UNDERGROUND GAS
- UNDERGROUND FIBER OPTIC
- SANITARY SEWER
- SANITARY SERVICE
- STORM SEWER
- WATERMAIN
- WATER SERVICE
- FENCE
- SANITARY MANHOLE
- STORM MANHOLE
- STORM CATCH BASIN
- HYDRANT
- GATE VALVE
- WATER MANHOLE
- POWER POLE
- LIGHT POLE
- TREE

PROPOSED LEGEND

- SANITARY SERVICE
- STORM SEWER
- WATER SERVICE
- SANITARY CLEANOUT
- GATE VALVE
- STORM MANHOLE
- STORM CATCH BASIN

NOTES

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4. ELEVATIONS SHOWN ARE BASED ON NAVD88 DATUM.
5. PROPOSED CONTOURS AND ELEVATIONS REPRESENT FINISHED SURFACE GRADE.
6. ALL WATER SERVICES SHALL BE C-900 PVC AND INSTALLED WITH TRACER WIRE.
7. ALL SANITARY SERVICES SHALL BE PVC SDR 26 AND INSTALLED WITH TRACER WIRE.
8. MINIMUM COVER FOR SANITARY SEWER AND SERVICES SHALL BE 7.5 FEET. MINIMUM COVER FOR WATERMAIN AND SERVICES SHALL BE 7.5 FEET.
9. PROVIDE 24 INCH MINIMUM VERTICAL SEPARATION AND INSULATION WHERE WATER, SANITARY, OR STORM UTILITIES CROSS. OFFSET WATERMAIN AND SERVICES AS NECESSARY.
10. ALL WATERMAIN AND SERVICES REQUIRE THRUST BLOCKING.
11. PROVIDE DE-WATERING AS NEEDED DURING UTILITY CONSTRUCTION.
12. VERIFY LOCATION OF EXISTING UTILITIES IN THE FIELD PRIOR TO CONSTRUCTION OF NEW UTILITIES.

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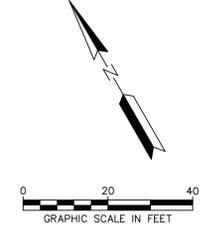
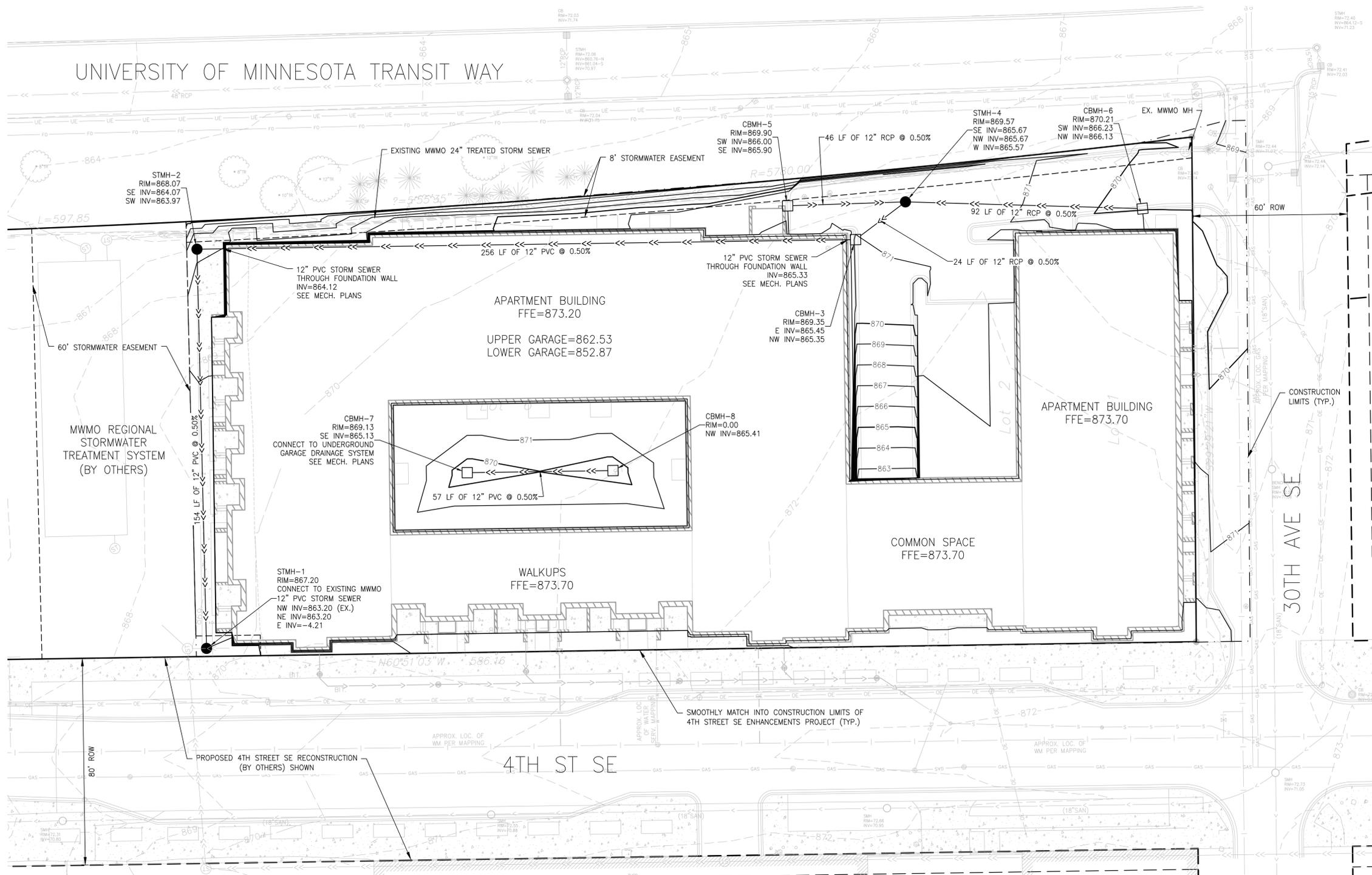
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Revisions & Addendums

-PRELIMINARY- NOT FOR CONSTRUCTION

Utility Plan

C104



GENERAL LEGEND

—	PROPERTY LINE
- - -	ADJACENT PROPERTY LINES
- · - · -	EASEMENT LINE
- - - - -	SETBACK LINE

EXISTING LEGEND

---	959	MINOR CONTOUR
---	960	MAJOR CONTOUR
---		CURB AND GUTTER
---		EDGE OF PAVEMENT
---		CONCRETE SIDEWALK
UE	UE	UNDERGROUND ELECTRIC
OE	OE	OVERHEAD ELECTRIC
GAS	GAS	UNDERGROUND GAS
FO	FO	UNDERGROUND FIBER OPTIC
---		SANITARY SEWER
---		SANITARY SERVICE
---		STORM SEWER
---		WATERMAIN
---		WATER SERVICE
X X X		FENCE
○		SANITARY MANHOLE
⊙		STORM MANHOLE
⊠		STORM CATCH BASIN
⊕		HYDRANT
⊗		GATE VALVE
⊙		WATER MANHOLE
⊙		POWER POLE
⊙		LIGHT POLE
⊙		TREE

PROPOSED LEGEND

---		SANITARY SERVICE
---		STORM SEWER
---		WATER SERVICE
⊙		SANITARY CLEANOUT
⊗		GATE VALVE
⊙		STORM MANHOLE
⊠		STORM CATCH BASIN

NOTES

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- PROPOSED CONTOURS AND ELEVATIONS REPRESENT FINISHED SURFACE GRADE.
- SPOT ELEVATIONS ARE PROVIDED FOR CONTRACTOR REFERENCE. NOTIFY THE ENGINEER OF ANY POTENTIAL ELEVATION/GRADING ISSUES THAT ARE DISCOVERED.
- ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE COVERED SHALL RECEIVE 6 INCHES OF TOPSOIL, UNLESS NOTED OTHERWISE ON THE LANDSCAPE PLAN. PROVIDE SEED/SOD, MULCH, AND FERTILIZER IN CONFORMANCE WITH THE LANDSCAPE PLAN. WATER SEEDED AREAS UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED AND AREAS HAVE BEEN STABILIZED.
- THE SITE HAS NOT NECESSARILY BEEN DESIGNED TO BALANCE THE ON-SITE MATERIALS. IMPORT OR EXPORT OF SOIL MAY BE NECESSARY TO ACHIEVE THE FINAL GRADE SHOWN ON THE DRAWINGS. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS.
- THE EXISTING TOPSOIL ON SITE VARIES IN DEPTH. ALL SURFACE VEGETATION AND ANY TOPSOIL OR OTHER LOOSE, SOFT OR OTHERWISE UNSUITABLE MATERIAL SHALL BE REMOVED FROM THE IMPERVIOUS AREAS PRIOR TO PLACEMENT OF ANY FILL.
- ALL SOILS TESTING SHALL BE COMPLETED BY THE OWNER'S GEOTECHNICAL ENGINEER. COORDINATE ALL REQUIRED SOIL TESTS AND INSPECTIONS WITH THE GEOTECHNICAL ENGINEER.
- CONTRACTOR SHALL COMPLY WITH THE RECOMMENDATIONS GIVEN IN THE "GEOTECHNICAL EXPLORATION AND ENGINEERING REVIEW" REPORT PREPARED BY XXXXXX, DATED XXXXXX.
- CONTRACTOR IS RESPONSIBLE FOR MEETING ALL GRADING/COMPACTION REQUIREMENTS FOR THE PROJECT. GRADING AND COMPACTION REQUIREMENTS INCLUDE:
 - COMPACT BACKFILL, FILL AND SUBGRADE TO RELATIVE COMPACTION (ASTM D698) AS FOLLOWS:
 - GENERAL EMBANKMENT FILL - MIN. 95% STANDARD PROCTOR
 - ENGINEERED FILL BELOW PAVED AREAS (MORE THAN 3 FEET BELOW SUBGRADE ELEVATIONS) - MIN. 95% STANDARD PROCTOR
 - ENGINEERED FILL BELOW PAVED AREAS (WITHIN 3 FEET OF SUBGRADE ELEVATIONS) OR IN UTILITY TRENCHES - MIN. 100% STANDARD PROCTOR
 - ENGINEERED FILL PLACED AS AGGREGATE BASE - MIN. 100% STANDARD PROCTOR
 - COMPACT BACKFILL, FILL, AND SUBGRADE TO WITHIN ±3% OF OPTIMUM MOISTURE FOR SANDS AND WITHIN +3% OF OPTIMUM MOISTURE FOR SILTY/CLAYEY SOILS.
 - BACKFILL AND FILL SHALL BE SPREAD IN LOOSE LIFTS OF 8 INCHES (MAX.)
 - SCARIFY, TEMPER FOR MOISTURE, AND RE-COMPACT NO LESS THAN 12 INCHES OF NATIVE SOIL SUBGRADE PRIOR TO PLACEMENT OF ENGINEERED FILL OR AGGREGATE BASE.
- ONSITE EMBANKMENT MATERIAL FREE OF ORGANIC SOIL AND DEBRIS CAN BE CONSIDERED FOR REUSE AS BACKFILL AND FILL, BUT MUST BE APPROVED BY GEOTECHNICAL ENGINEER. IMPORTED MATERIAL NEEDED MAY CONSIST OF SAND, SILTY SAND, CLAYEY SAND, SANDY LEAN CLAY OR LEAN CLAY, WITH A PLASTIC INDEX OF THESE MATERIALS NOT EXCEEDING 15, AND MUST BE APPROVED BY GEOTECHNICAL ENGINEER PRIOR TO BRINGING ON THE SITE.
- ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE ALONG MATCHING PAVEMENT AREA, OR OTHER SURFACES.
- PROVIDE DE-WATERING MEASURES AS REQUIRED OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
- CONTRACTOR IS RESPONSIBLE FOR PROPERLY STAKING, LOCATING, AND INSTALLING CATCH BASINS SO THAT THE INLET FRAME AND GRATE PROPERLY ALIGN WITH CURB AND GUTTER (WHERE APPLICABLE).
- PRESERVE AND PROTECT ALL TREES, UTILITIES, AND OTHER STRUCTURES NOT IDENTIFIED FOR REMOVAL IN THE DEMOLITION PLAN.

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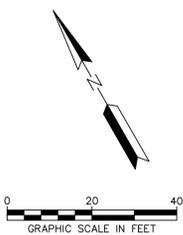
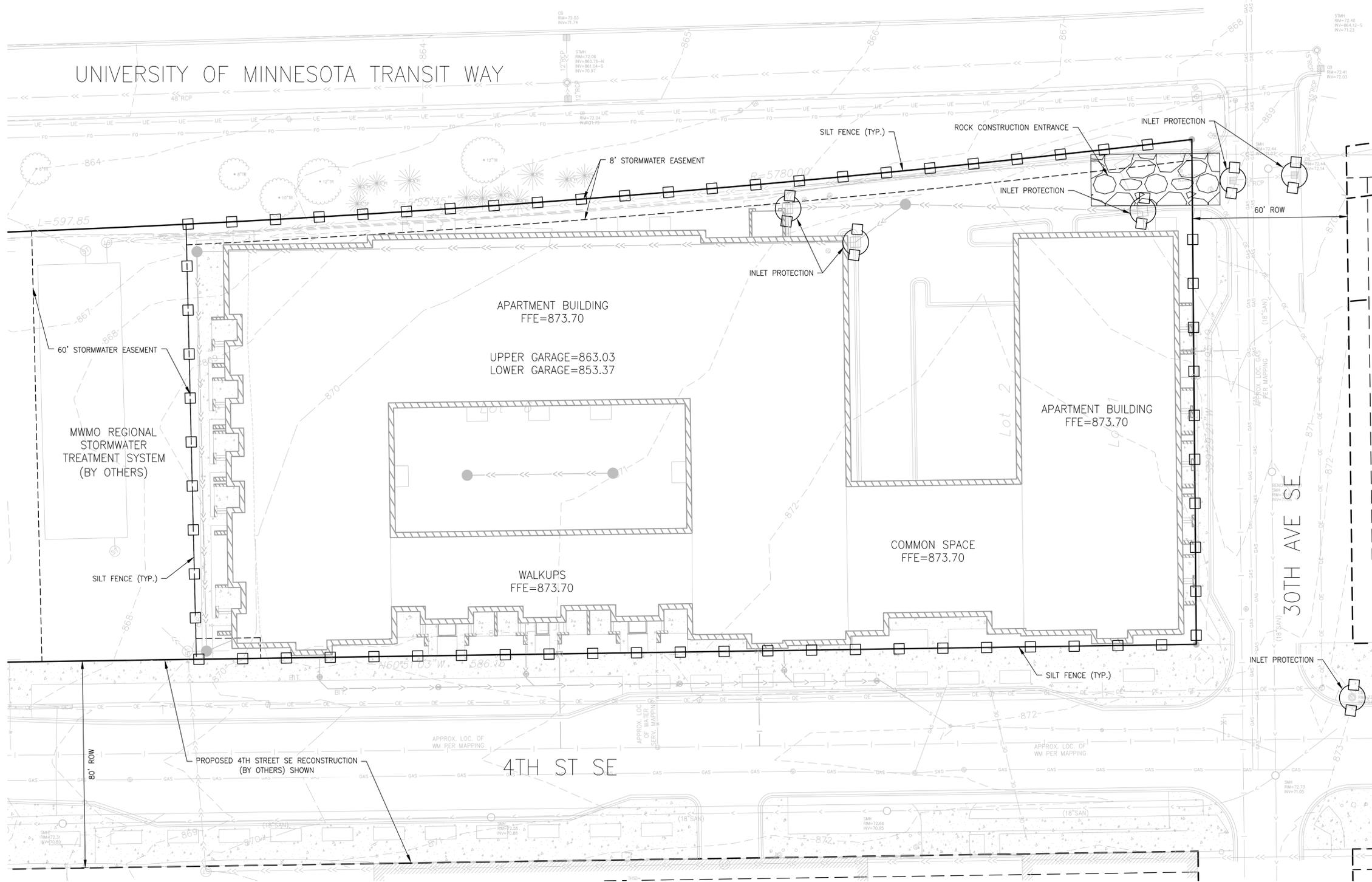
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Revisions & Addendums

-PRELIMINARY- NOT FOR CONSTRUCTION

Grading and Drainage Plan

C105



GENERAL LEGEND

---	PROPERTY LINE
- - - -	ADJACENT PROPERTY LINES
- · - · -	EASEMENT LINE
---	SETBACK LINE

EXISTING LEGEND

---	MINOR CONTOUR
- - - -	MAJOR CONTOUR
---	CURB AND GUTTER
---	EDGE OF PAVEMENT
---	CONCRETE SIDEWALK
UE	UNDERGROUND ELECTRIC
OE	OVERHEAD ELECTRIC
GAS	UNDERGROUND GAS
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---	SANITARY SEWER
---	SANITARY SERVICE
---	STORM SEWER
---	WATERMAIN
---	WATER SERVICE
X X X	FENCE
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⊕	STORM CATCH BASIN
⊕	HYDRANT
⊕	GATE VALVE
⊕	WATER MANHOLE
⊕	POWER POLE
⊕	LIGHT POLE
⊕	TREE

PROPOSED LEGEND

---	SILT FENCE
---	ROCK CONSTRUCTION ENTRANCE
---	INLET PROTECTION

NOTES

- EXISTING FEATURES SHOWN ARE BASED ON AN ALTA SURVEY COMPLETED BY LOUCKS, DATED AUGUST 10, 2016. ADDITIONAL UNDERGROUND UTILITY INFORMATION HAS BEEN INCLUDED, BASED ON AVAILABLE RECORD PLANS OBTAINED FROM THE CITY OF MINNEAPOLIS.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE CONDITIONS OF THE SITE AND SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR VARIATIONS FROM THE DRAWINGS.
- SURVEY DATA IS SUPPLEMENTED WITH DESIGN INFORMATION FROM THE PROPOSED 4TH ST SE ENHANCEMENTS PROJECT (PLANS DATED FEBRUARY 25, 2016).
- CONFORM TO NPDES REQUIREMENTS.
- INSTALL AND MAINTAIN SILT FENCE AROUND THE PERIMETER OF AREAS TO BE GRADED AS SHOWN ON THE EROSION AND SEDIMENT CONTROL PLAN.
- ALL TEMPORARY STOCKPILES MUST HAVE SILT FENCE AROUND THEM TO TRAP SEDIMENT (INCIDENTAL).
- INLET PROTECTION IS TO BE PROVIDED FOR ALL STORM WATER INLETS.
- PHASE GRADING WORK TO MINIMIZE THE DURATION THAT ANY DISTURBED SOIL IS EXPOSED.
- PLACE TOPSOIL AND SEED ON ALL DISTURBED AREAS THAT ARE NOT PAVED OR OTHERWISE COVERED, IN ACCORDANCE WITH THE LANDSCAPE PLAN.
- PLACE A MINIMUM OF 2 TONS/ACRE OF STRAW ON ALL AREAS AFTER REACHING FINAL GRADE WITH TOPSOIL AND ANCHOR STRAW WITH EITHER A STRAIGHT DISK OR NETTING.
- SEED AND MULCH OR PLACE SOD ON ALL DISTURBED AREAS WITHIN 7 DAYS OF ROUGH GRADING OR FINAL GRADING.
- PROTECT DISTURBED AREAS (INCLUDING STOCKPILES) THAT ARE NOT COMPLETED BUT WILL REMAIN INACTIVE FOR GREATER THAN 14 DAYS WITH MULCH, PLASTIC SHEETING, OR TEMPORARY SEEDING.
- LOCATE SOIL OR DIRT STOCKPILES NO LESS THAN FIFTY (50) FEET FROM ANY ROADWAY, STORMWATER INLET, POND, WETLAND OR DRAINAGE CHANNEL. IF REMAINING FOR MORE THAN SEVEN DAYS, STABILIZE THE STOCKPILES BY MULCHING, VEGETATIVE COVER, TARPS, OR OTHER MEANS. CONTROL EROSION FROM ALL STOCKPILES BY PLACING SILT BARRIERS AROUND THE PILES. TEMPORARY STOCKPILES LOCATED ON PAVED SURFACES SHALL BE COVERED IF LEFT FROM MORE THAN 24 HOURS.
- REMOVE ANY SEDIMENT THAT HAS BEEN TRACKED ONTO PUBLIC STREETS WITHIN 24 HOURS.
- REMOVE ANY SPILL OF FUEL, OIL, OR OTHER CHEMICAL IMMEDIATELY UPON DETECTION.
- COLLECT ALL CONSTRUCTION DEBRIS IN DUMPSTERS AND ROLL-OFF BOXES.
- STORE CONSTRUCTION MATERIALS IN AN ORDERLY MANNER.
- INSPECT POLLUTION CONTROL MEASURES AS SPECIFIED IN THE SWPPP.
- REPAIR SILT FENCES, INLET PROTECTION, GRAVEL CONSTRUCTION ENTRANCE(S), AND OTHER EROSION AND SEDIMENT CONTROLS AS NEEDED.
- IF NECESSARY DEWATERING OR BASIN DRAINING ACTIVITIES OF TURBID OR SEDIMENT LADEN WATER SHALL BE DISCHARGED TO A TEMPORARY OR PERMANENT SEDIMENTATION BASIN OR TREATED WITH THE APPROPRIATED BMP PRIOR TO ENTERING A SURFACE WATER. ENERGY DISSIPATION MUST BE PROVIDED AT ALL DISCHARGE POINTS. DEWATERING OR BASIN DRAINING ACTIVITIES MAY NOT CAUSE EROSION IN RECEIVING CHANNEL OR ADVERSELY IMPACT WETLANDS.
- ALL LIQUID AND SOLID WASTES GENERATED BY CONCRETE WASHOUT OPERATIONS MUST BE CONTAINED IN A LEAK-PROOF CONTAINMENT FACILITY OR IMPERMEABLE LINER. A COMPACTED CLAY LINER THAT DOES NOT ALLOW WASHOUT LIQUIDS TO ENTER GROUND WATER IS CONSIDERED AN IMPERMEABLE LINER.
- TEMPORARY SEDIMENT BASINS MUST BE USED FOR COMMON DRAINAGE LOCATIONS THAT SERVE AN AREA WITH FIVE (5) OR MORE ACRES DISTURBED AT ONE TIME IF IT'S LOCATED WITHIN ONE MILE OF AN IMPAIRED WATER. IF IT'S NOT WITHIN 1 MILE OF AN IMPAIRED WATER, THE REQUIREMENT IS GREATER THAN TEN (10) ACRES DISTURBED.
- ALL DISTURBED AREAS WITHOUT PERMANENT IMPERMEABLE SURFACES WILL BE VEGETATED FOR FINAL STABILIZATION.
- SILT FENCE, INLET PROTECTION, AND OTHER EROSION AND SEDIMENT CONTROL DEVICES SHALL BE REMOVED AFTER VEGETATION IS ESTABLISHED (INCIDENTAL).
- INSPECTIONS SHALL BE CONDUCTED EVERY SEVEN DAYS AND WITHIN 24 HOURS AFTER A RAINFALL EVENT EXCEEDING 0.5 INCHES IN A 24 HOUR PERIOD. THE FOLLOWING SHALL BE COMPLETED DURING EACH INSPECTION:
 - RECORD DATE AND TIME OF INSPECTION.
 - RECORD RAINFALL RECORDS SINCE THE MOST RECENT INSPECTION.
 - INSPECT THE SITE FOR EXCESS EROSION AND SEDIMENTATION.
 - INSPECT THE SITE FOR EXCESS DEBRIS, TRASH, AND SPILLS.
 - INSPECT TEMPORARY EROSION AND SEDIMENTATION CONTROL DEVICES.
 - INSPECT CONSTRUCTION ENTRANCES FOR SEDIMENT TRACKING ONTO PUBLIC STREETS.
 - RECORD RECOMMENDED REPAIRS AND MODIFICATIONS TO EROSION AND SEDIMENT CONTROLS.
 - RECOMMEND ANY NECESSARY CHANGES TO THIS SWPPP.
 - RECORD REPAIRS AND MODIFICATIONS IMPLEMENTED SINCE PREVIOUS INSPECTIONS.
 - INSPECT THE ADJACENT STREETS AND CURB AND GUTTER FOR SEDIMENT, LITTER, AND CONSTRUCTION DEBRIS.
- THE FOLLOWING GUIDELINES WILL BE USED TO DETERMINE IF POLLUTION CONTROL DEVICES REQUIRE MAINTENANCE, REPAIR, OR REPLACEMENT:
 - IF SEDIMENT CONTROL DEVICES SUCH AS SILT FENCE ARE FILLED TO 1/3 THE HEIGHT OF THE FENCE, REMOVE ALL SEDIMENT WITHIN 24 HOURS OF DETECTION OR NOTIFICATION.
 - IF INLET PROTECTION DEVICES APPEAR PLUGGED WITH SEDIMENT, ARE FILLED TO 1/3 CAPACITY, OR HAVE STANDING WATER AROUND THEM, REMOVE THE SEDIMENT AND CLEAN OR REPLACE THE FILTER WITHIN 24 HOURS OF DETECTION OR NOTIFICATION.
 - IF THE GRAVEL CONSTRUCTION ENTRANCE(S) ARE FILLED WITH SEDIMENT EITHER REPLACE THE ENTRANCE OR ADD ADDITIONAL GRAVEL WITH 24 HOURS OF DETECTION OR NOTIFICATION.
 - IF SEDIMENT FROM THE SITE IS OBSERVED ON ADJACENT STREETS OR OTHER PROPERTIES, SHALL REMOVE THE SEDIMENT WITHIN 24 HOURS OF DETECTION OR NOTIFICATION.
 - IF SEDIMENT FROM THE SITE IS OBSERVED ON ADJACENT STREETS OR OTHER PROPERTIES, THE INSPECTOR SHALL IDENTIFY THE SOURCE AND DISCHARGE LOCATION OF THE SEDIMENT AND INSTRUCT TO IMPLEMENT ADDITIONAL EROSION AND SEDIMENT CONTROLS AT THOSE LOCATIONS TO PREVENT FUTURE DISCHARGES.
 - IF BUILDING MATERIALS, CHEMICALS, OR GENERAL REFUSE IS BEING USED, STORED, DISPOSED OF, OR OTHERWISE MANAGED INAPPROPRIATELY, CORRECT SUCH DEFECTS WITHIN 24 HOURS OF DETECTION OR NOTIFICATION.
 - IF EXCESSIVE SEDIMENTS OR DEBRIS ARE OBSERVED AT THE FLARED END SECTION OUTFALLS, THE INSPECTOR SHALL DETERMINE THE SOURCE AND DISCHARGE LOCATIONS OF SUCH MATERIALS. IF THE DISCHARGE HAS OCCURRED ON THE PROPERTY, REMOVE THE SEDIMENTS AND DEBRIS WITHIN 24 HOURS OF NOTIFICATION AND CORRECT THE SOURCE OF SUCH MATERIALS AS DIRECTED BY THE INSPECTOR.

PREPARED FOR:

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Revisions & Addendums

WARNING:

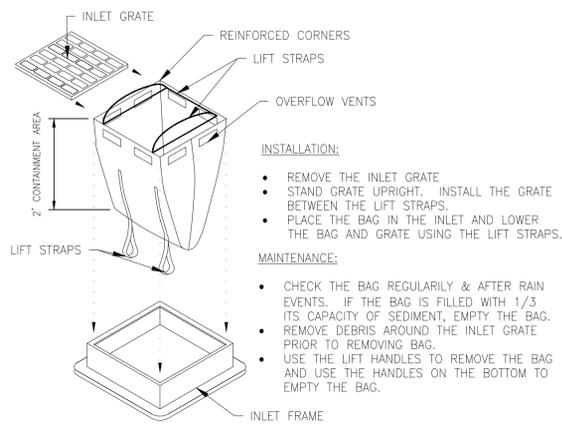
THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND/OR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.

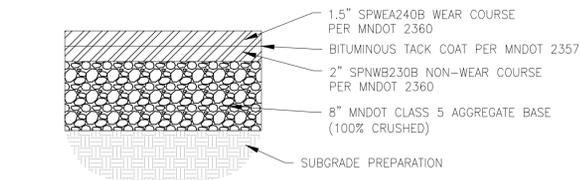
CALL BEFORE YOU DIG
GOPHER STATE ONE CALL
 TWIN CITY AREA: 651-454-0002
 TOLL FREE 1-800-252-1166

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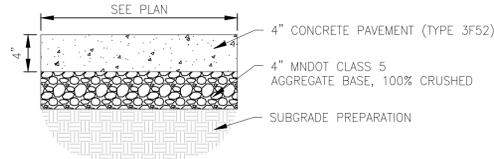
Erosion Control Plan
C106



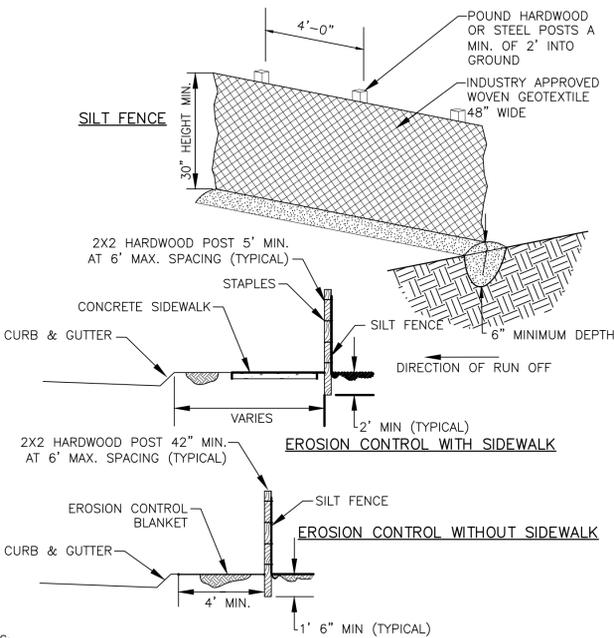
1 INLET PROTECTION
C107 NOT TO SCALE



4 BITUMINOUS PAVEMENT
C107 NOT TO SCALE

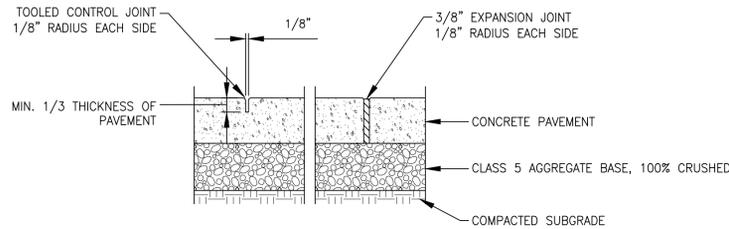


5 CONCRETE SIDEWALK
C107 NOT TO SCALE

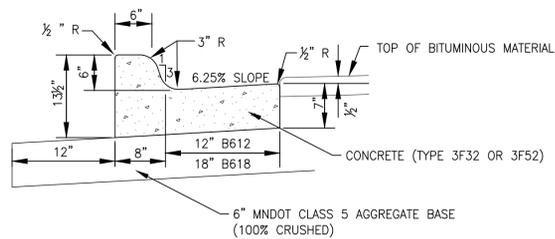


- NOTES:
- INSTALL SILT FENCE PER PLAN SET BEFORE BEGINNING CONSTRUCTION AND MAINTAIN PER SHEET C201.
 - REPLACE TORN, OVERBURDENED, OR DECOMPOSING SILT FENCE WITHIN 24 HOURS.
 - TO JOIN SECTIONS OF SILT FENCE, POSITION POSTS TO OVERLAP. FABRIC SHOULD FOLD AROUND EACH POST ONE FULL TURN.

2 SILT FENCE DETAIL
C107 NOT TO SCALE

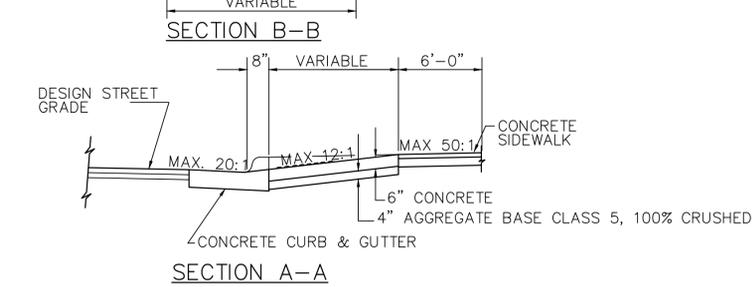
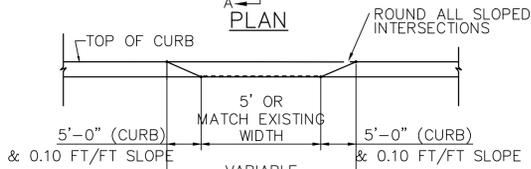
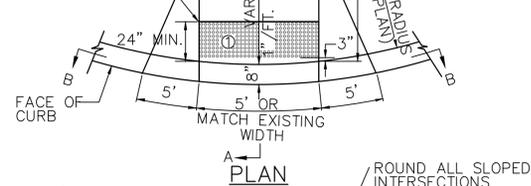


6 CONCRETE JOINTS
C107

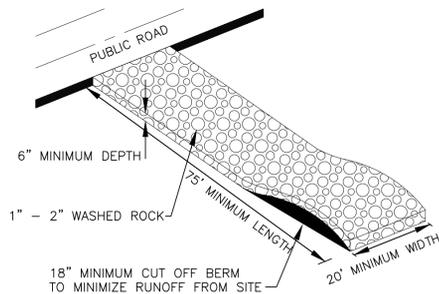


7 B612 CURB AND GUTTER
C107 NOT TO SCALE

- ADA REQUIRED TRUNCATED DOME PER MN/DOT STD. PLATE 7036F
- ALL PEDESTRIAN RAMPS SHALL BE DESIGNED AND CONSTRUCTED TO MEET THE LATEST ADA REQUIREMENTS AND CONFORM TO THE LATEST MNDOT PED RAMP GUIDELINES



8 PEDESTRIAN CURB RAMP
C107 NOT TO SCALE



3 ROCK CONSTRUCTION ENTRANCE
C107 NOT TO SCALE

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Revisions & Addendums

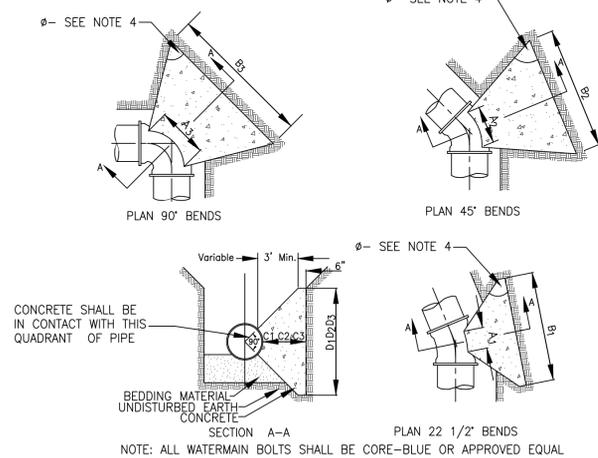
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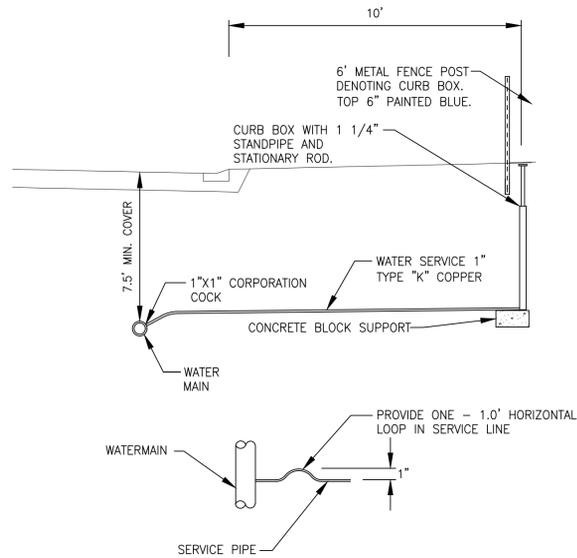
C107

- NOTES:
- SHAPE OF BACK OF BUTTRESS MAY VARY AS LONG AS POURED AGAINST FIRM UNDISTURBED EARTH.
 - DIMENSION C1,C2,C3 SHOULD BE LARGE ENOUGH TO MAKE ANGLE ϕ EQUAL TO OR LARGER THAN 45°.
 - DIMENSION A1,A2,A3 SHOULD BE AS LARGE AS POSSIBLE WITHOUT INTERFERING WITH BOLTS.
 - $\phi = 45^\circ$ MINIMUM.
 - PLACE POLYETHYLENE BETWEEN CONCRETE & PIPE.
 - MEGALUGS SHALL BE INSTALLED ON ALL BENDS.

PIPE SIZE	BUTTRESS DIMENSIONS					
	22 1/2" BEND		45" BEND		90" BEND	
	B1	D1	B2	D2	B3	D3
6"	1'-5"	1'-5"	1'-5"	1'-5"	2'-1"	1'-6"
8"	1'-5"	1'-5"	2'-1"	1'-6"	2'-8"	2'-0"
12"	1'-10"	1'-10"	3'-4"	2'-0"	4'-9"	2'-6"
16"	3'-0"	2'-0"	3'-10"	3'-0"	6'-2"	3'-6"
20"	3'-6"	2'-8"	5'-6"	3'-4"	8'-4"	4'-0"
24"	4'-4"	3'-0"	6'-10"	3'-10"	9'-8"	5'-0"
30"	-	-	9'-3"	6'-0"	17'-0"	6'-0"

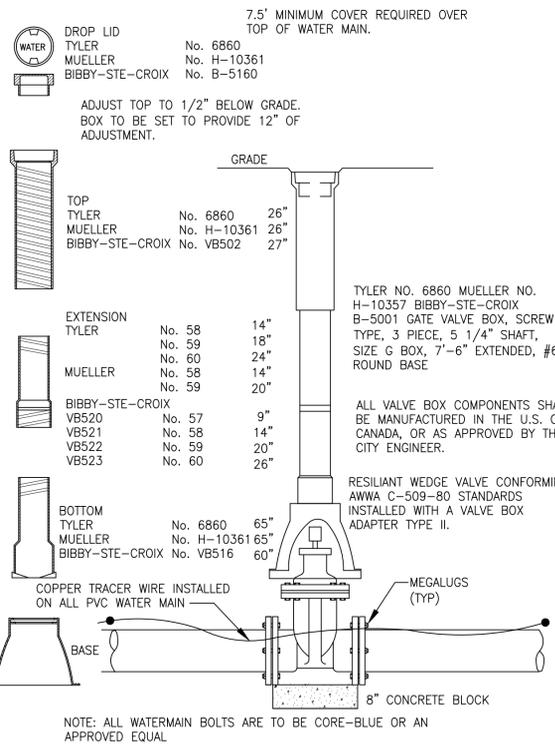


1 CONCRETE THRUST BLOCKING DETAIL
C108 NOT TO SCALE

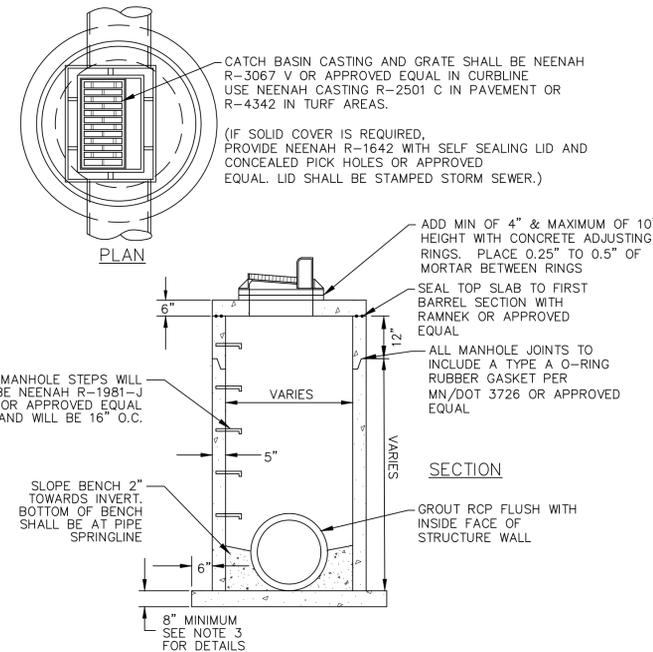


- NOTES:
- DO NOT PLUG END OF CURB STOP.
 - THE USE OF PIGTAILS ARE NOT PERMITTED.
 - THE COPPER SERVICE LINE BETWEEN THE MAIN LINE AND CURB BOX SHALL BE ONE CONTINUOUS PIECE. SPLICES WILL NOT BE PERMITTED.
 - CORPORATION COCK TO BE 1"X1" INSIDE DIAMETER.
 - SADDLE REQUIRED ON 6" DIP OR SMALLER MAIN.
 - SADDLES, WHEN REQUIRED, SHALL BE FORD STYLE F202 DOUBLE STRAP.
 - STAINLESS STEEL SADDLES REQUIRED ON ALL PVC WATERMAIN.

2 DOMESTIC WATER SERVICE
C108 NOT TO SCALE

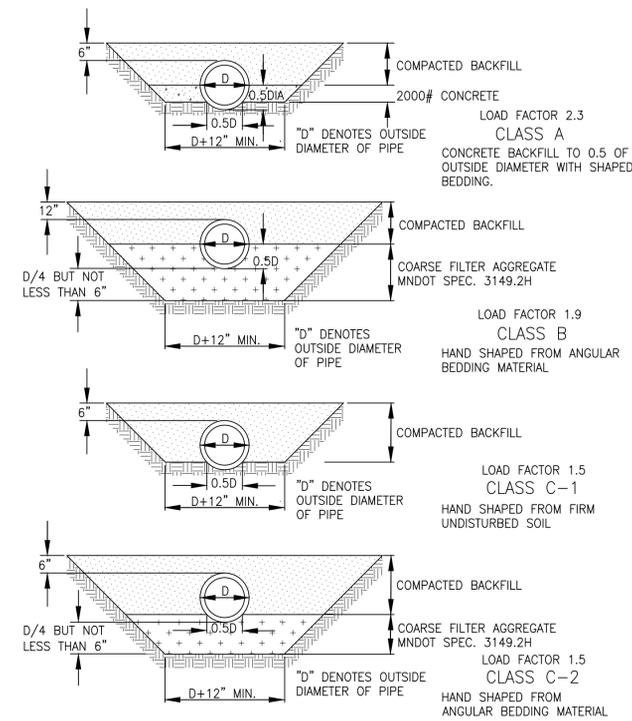


3 GATE VALVE AND BOX INSTALLATION
C108 NOT TO SCALE

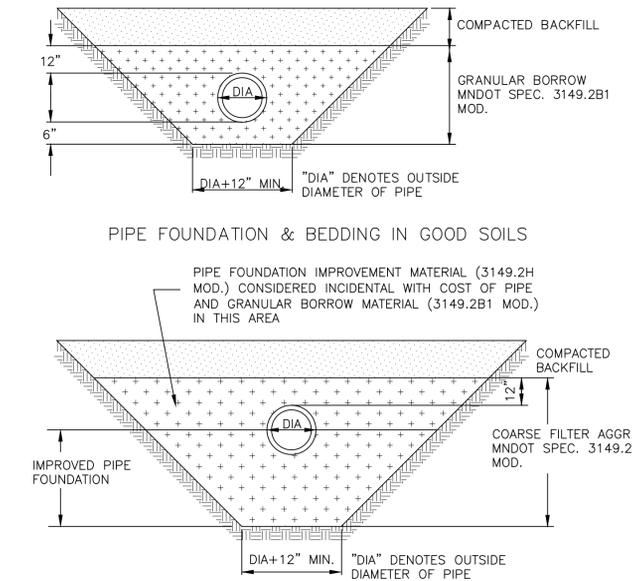


- NOTES:
- MANHOLE COVER & CASTING SHALL INCLUDE SELF-SEALING TYPE LIDS WITH TWO CONCEALED PICK HOLES AND SHALL BE STAMPED "STORM SEWER"
 - MIN. BOTTOM SLAB THICKNESS IS 8" FOR 14' DEPTH OR LESS. THICKNESS INCREASES 1" FOR EACH 4' OF ADDITIONAL DEPTH. DRAIN HOLES IN BASE NOT ALLOWED UNLESS SPECIFIED BY ENGINEER
 - REINFORCE BOTTOM SLAB
 - NO BLOCK STRUCTURES ALLOWED
 - STEPS SHALL BE ON MANHOLE'S DOWNSTREAM SIDE FOR PIPE DIAMETERS 18" OR LESS. FOR PIPE DIAMETERS GREATER THAN 18" POSITION STEPS TO PROVIDE ACCESS TO MANHOLE BENCH

4 STORM SEWER CATCH BASIN MANHOLE
C108 NOT TO SCALE



5 TRENCH BEDDING (RCP)
C108 NOT TO SCALE



6 TRENCH BEDDING (PVC/DIP)
C108 NOT TO SCALE

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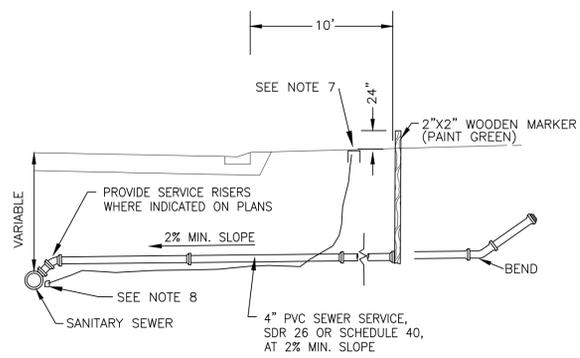
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Revisions & Addendums

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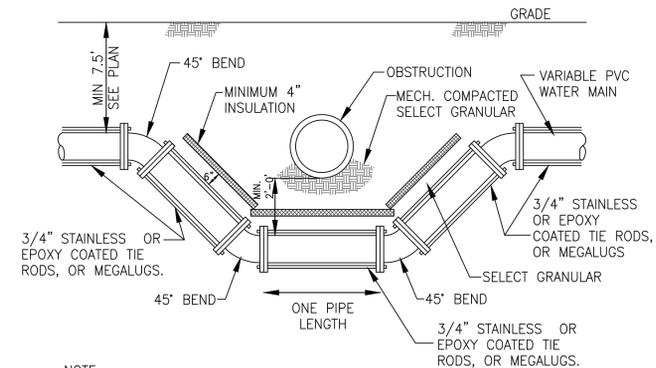
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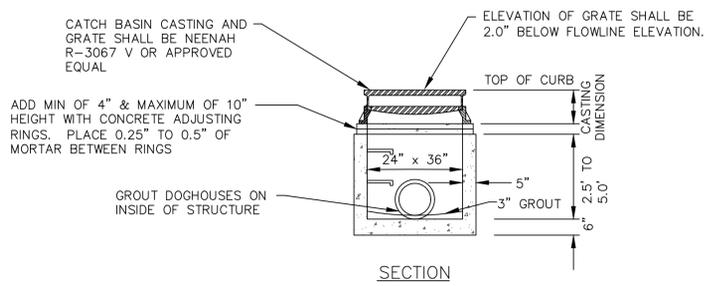
- NOTES:
- SEWER SERVICES SHALL BE 4" SDR 26 OR SCHEDULE 40 PVC SEWER PIPE.
 - SLOPE 1/4" PER FOOT MINIMUM.
 - PIPE JOINTS SHALL BE NON GASKETED, SOLVENT WELD TYPE.
 - ALL PIPE SHALL BE BEDDED IN GRANULAR BORROW 3149.2B1 EXCEPT THE LAST TEN FEET WHERE COARSE FILTER AGGREGATE (3149.2H) WILL BE REQUIRED.
 - BENDS OF 45 OR LESS SHALL BE USED WITHIN THE LAST 5' OF THE SERVICE IF THE DEPTH OF THE SERVICE SHOULD EXCEED 10'.
 - NO SERVICE RISERS LESS THAN 3 FEET SHALL BE PERMITTED.
 - TRACER WIRE SHALL BE BROUGHT UP ALONG WATERMAIN CURB STOP. INSTALL VALVCO, SNAKEPIT, OR APPROVE EQUAL TRAFFIC RATED TRACER WIRE ACCESS BOX WITH 2 LUGS.
 - MIN OF 1 LB. DRIVE IN ANODES WITH MIN 20' WIRE LEAD ARE TO BE INSTALLED AT EVERY SANITARY SERVICE WYE.
 - TRACER WIRE SHALL BE 12 AWG COPPER CLAD STEEL OR WIRE WITH MIN BREAK LOAD OF 270 LB FOR OPEN CUT INSTALLATION RATED FOR 30 VOLTS. MIN 45 MIL HMWPE JACKET.
 - TRACER WIRE CONNECTOR SHALL BE DRY CONN DIRECT BURY LUG AQUA, PRO-TRACE DB OR APPROVED EQUAL.

1 SANITARY SEWER SERVICE CONNECTION
 C109 NOT TO SCALE



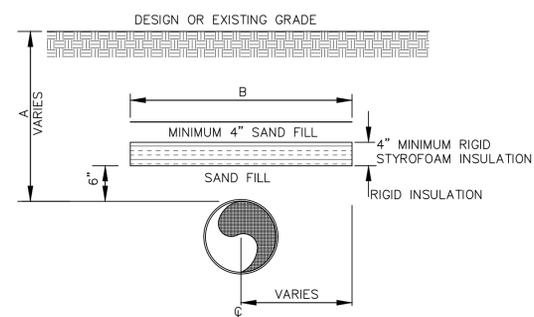
- NOTE:
- ALL FITTINGS SHALL BE FUSION BONDED EPOXY COATED DUCTILE IRON TO MEET OR EXCEED ANSI/AWWA C550 AND C116/A21.116 REQUIREMENTS.
 - MEGALUGS, IF USED SHALL BE SNUG FIT ON CIP WATER MAIN AND SHALL BOLTS SHALL NOT BE "SNAPPED" TIGHT.
 - SELECT GRANULAR WILL BE REQUIRED BETWEEN INSULATION, WATER MAIN, AND OBSTRUCTION.
 - ALL BENDS SHALL HAVE MEGALUGS OR TIE RODS WITH BLOCKING IN ACCORDANCE WITH STANDARD PLATE WAT-05.
 - COPPER TRACER WIRE SHALL BE USED ON PVC WATERMAIN.
 - ALL WATERMAIN BOLTS SHALL BE COR-BLUE OR APPROVED EQUAL.
 - MIN 8" OF COMPACTED SELECT GRANULAR ABOVE AND BELOW INSULATION

2 WATER MAIN OFFSET
 C109 NOT TO SCALE



- NOTES:
- UNSUITABLE FOUNDATION MATERIALS, WHEN ENCOUNTERED AT OR BELOW THE FOUNDATION ELEVATION, SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL
 - FOUNDATION PREPARATION SHALL BE PER MN/DOT 2451.3C
 - STEPS SHALL BE PROVIDED IN ALL STORM DRAIN STRUCTURES WITH DEPTH OVER 4'
 - CASTING TO BE COMPLETELY ENCASED IN CONCRETE CURB SECTION
 - BLOCK STRUCTURES ARE NOT PERMITTED
 - WOOD SHIMS ARE NOT PERMITTED FOR USE WITH ADJUSTING RINGS

3 STORM SEWER CATCH BASIN
 C109 NOT TO SCALE



- NOTE: PIPE SHALL BE CENTERED UNDER INSULATION UNLESS OTHERWISE SPECIFIED.
- | COVER OVER PIPE - A | WIDTH OF INSULATING BOARD - B |
|---------------------|-------------------------------|
| 2' | 11' |
| 3' | 9' |
| 4' | 7' |
| 5' | 5' |
| 6' | 3' |

4 PIPE INSULATION
 C109 NOT TO SCALE

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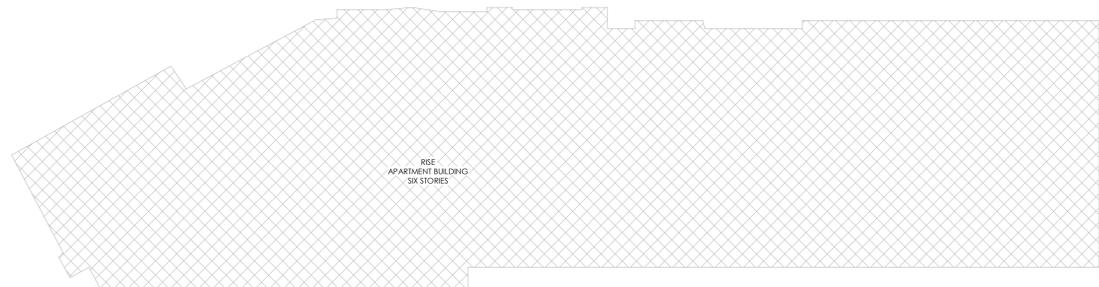
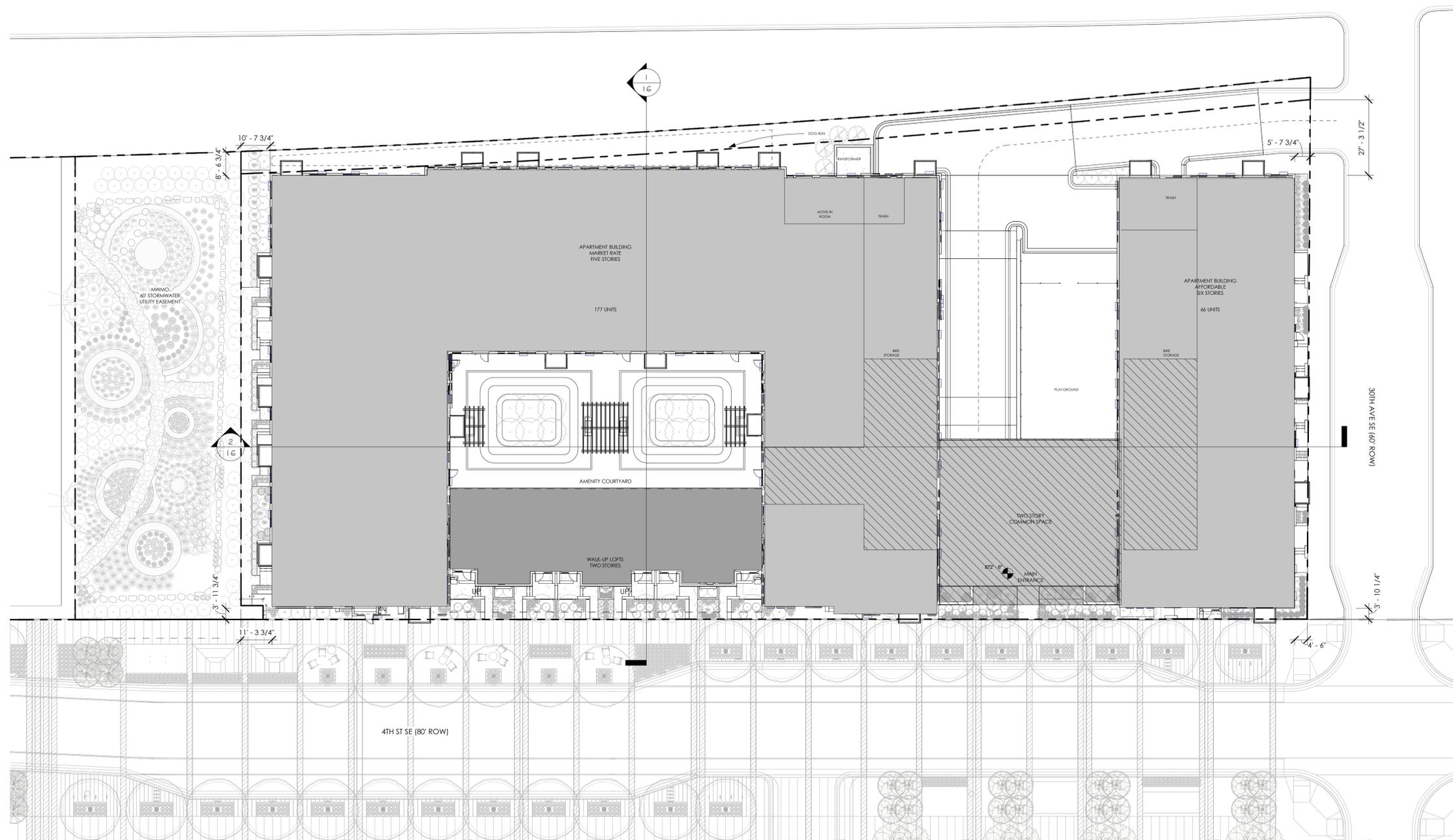
Revisions # Addendums

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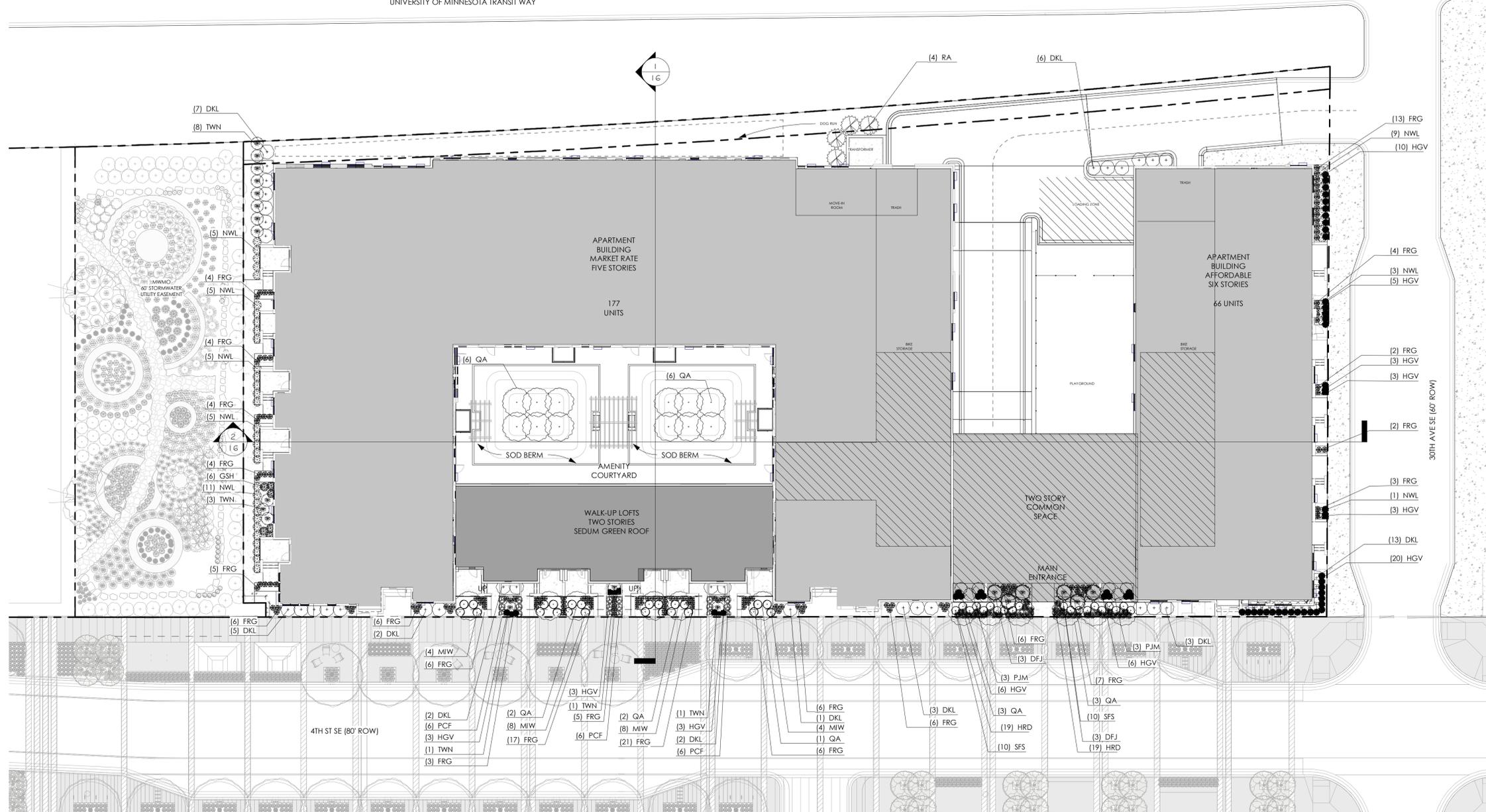
Details

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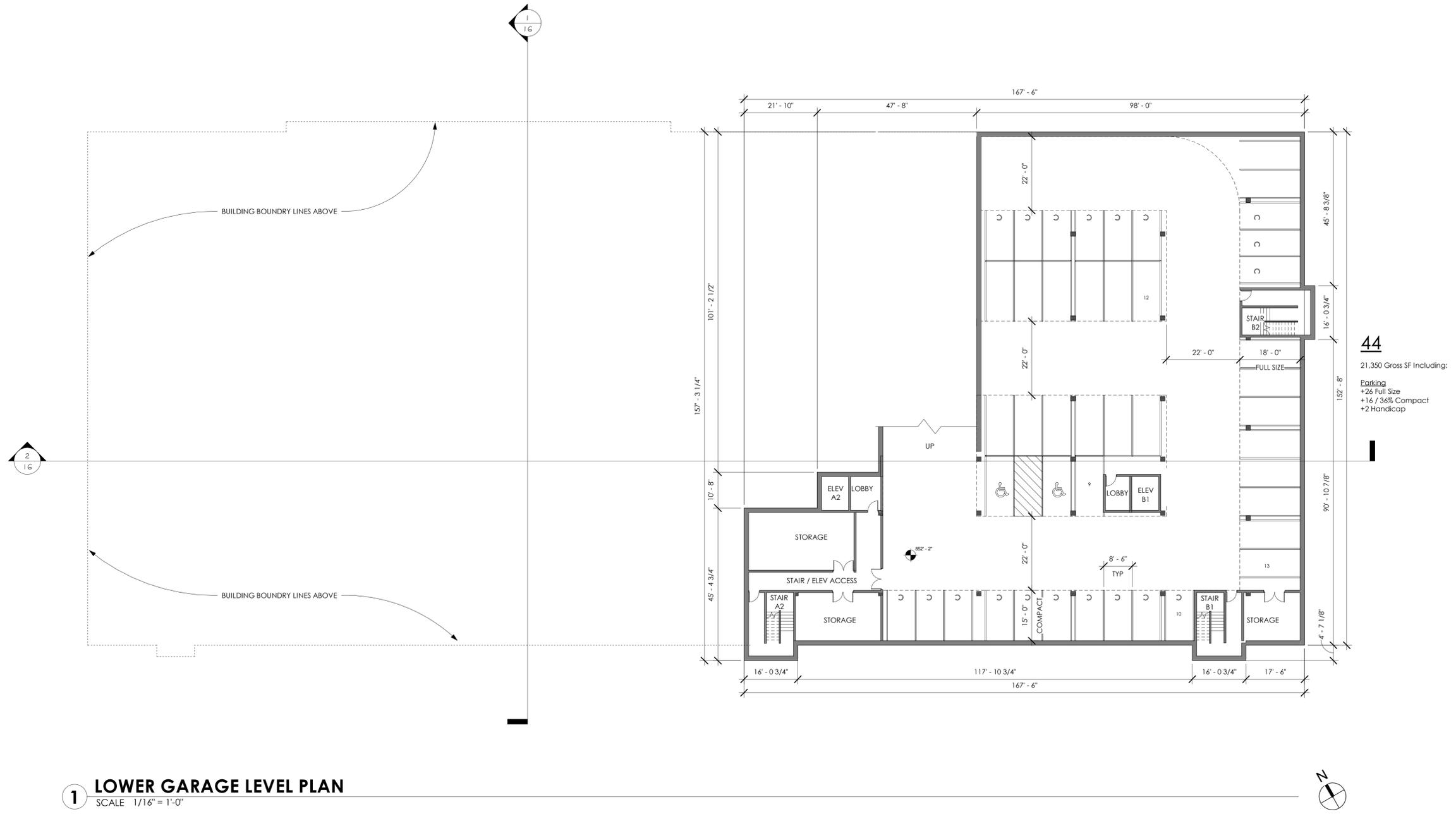
1 | SITE PLAN
1" = 20'-0"

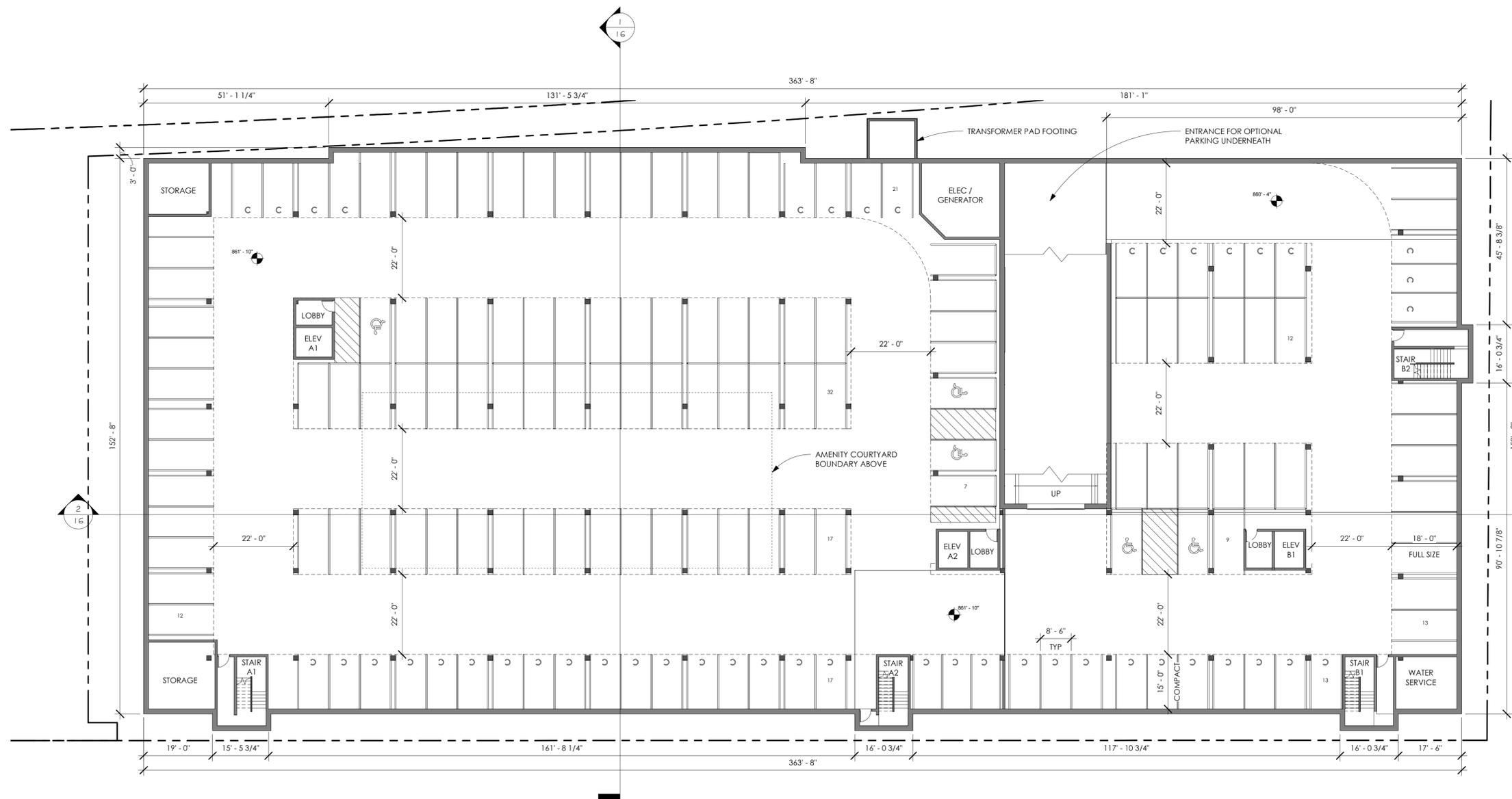


1 OVERALL LANDSCAPE PLAN
1" = 20'-0"

Overall Planting Schedule					
ID	Count	Common Name	Botanical Name	Size	Comments
QA	25	Quaking Aspen	Populus tremuloides	3" Caliper Ball and Burlap	
1. Deciduous Tree: 25					
DKL	44	Dwarf Korean Lilac	Syringa meyeri 'Palibin'	#5 Container	
MIW	24	Minuet Weigela	Weigela florida 'Minuet'	#5 Container	
PJM	6	PJM Rhododendron	Rhododendron x 'PJM'	#5 Container	
SFS	20	Sem False Spirea	Sorbaria sorbifolia 'Sem' Plant	#5 Container	
TWN	14	Tiny Wine Ninebark	Physocarpus opulifolius 'SMPOTW'	#5 Container	
3. Shrub: 108					
GSH	6	Gold Standard Hosta	Hosta 'Gold Standard'	#1 Container	
HGV	62	Hakonechloa Golden Variegated	Hakonechloa macra 'Aureola'	#1 Container	
HRD	38	Happy Returns Daylily	Hemerocallis 'Happy Returns'	#1 Container	
FRG	143	Karl Foerster Feather Reed Grass	Calamagrostis x acutiflora 'Karl Foerster'	#1 Container	
NWL	45	Nepeta Walkers Low	Nepeta x faassenii 'Walker's Low'	#1 Container	

Overall Planting Schedule					
ID	Count	Common Name	Botanical Name	Size	Comments
PCF	18	Purple Coneflower	Echinacea purpurea	#1 Container	
4. Perennial: 312					
DFJ	6	Daub's Frosted Juniper	Juniperus chinensis 'Daub's Frosted'	#5 Container	
RA	4	Rushmore Arborvitae	Thuja occidentalis 'Rushmore'	#10 Container	
5. Evergreen Shrub: 10					
Grand total: 455					

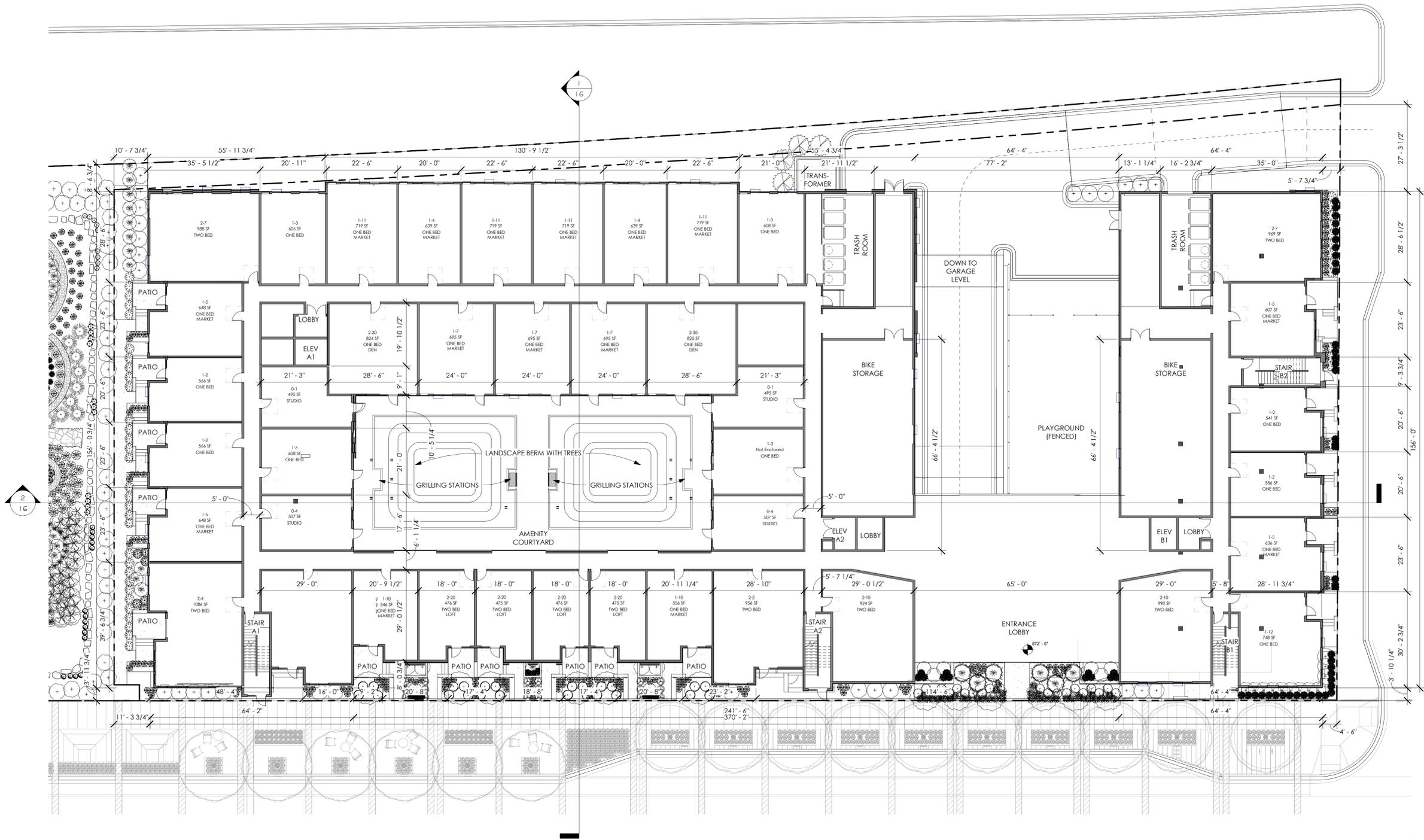




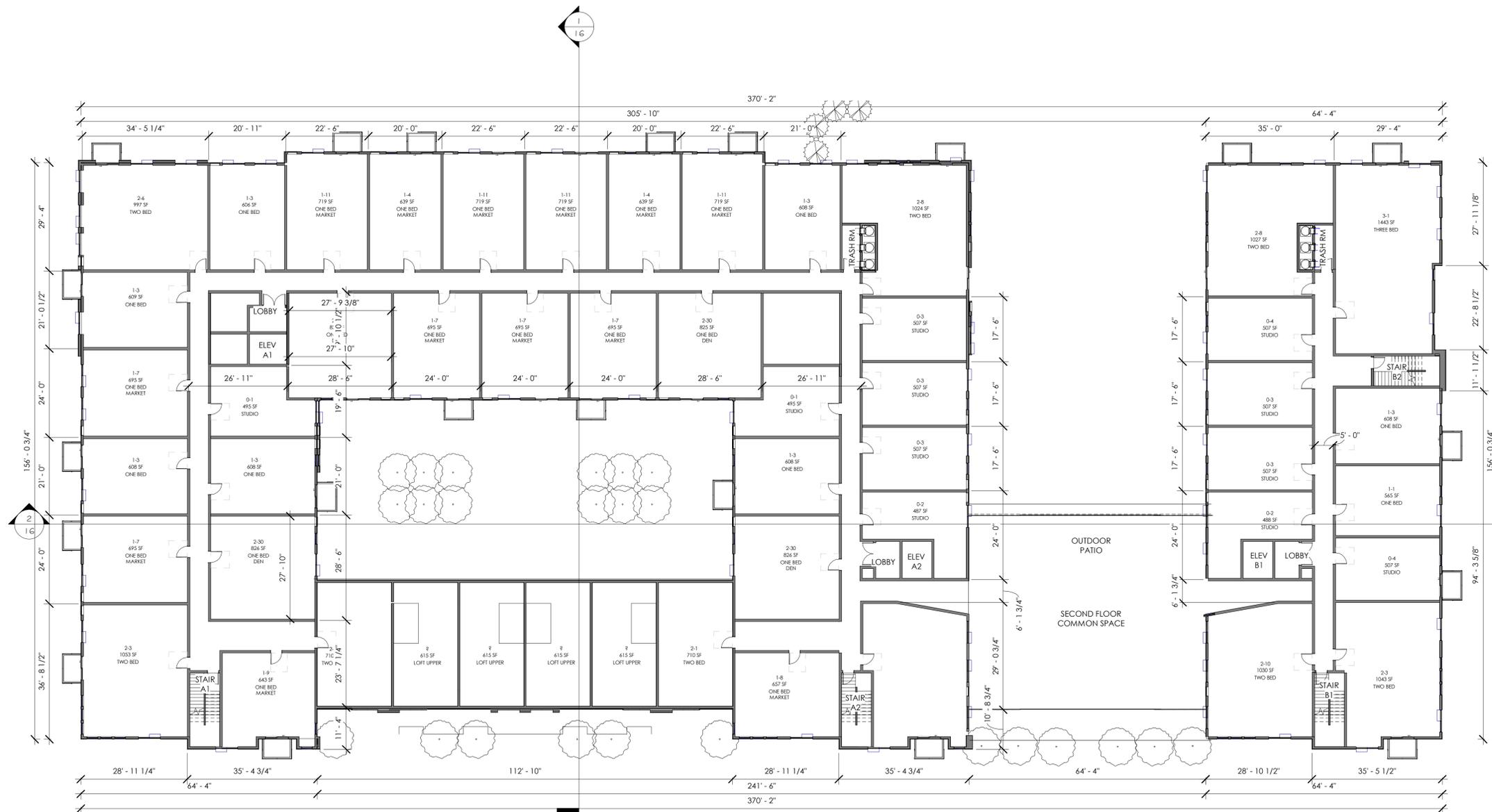
153
 53,300 Gross SF Including:
 +104 Full Size
 +44 / 28% Compact
 +5 Handicap

2 UPPER GARAGE LEVEL PLAN
 SCALE 1/16" = 1'-0"



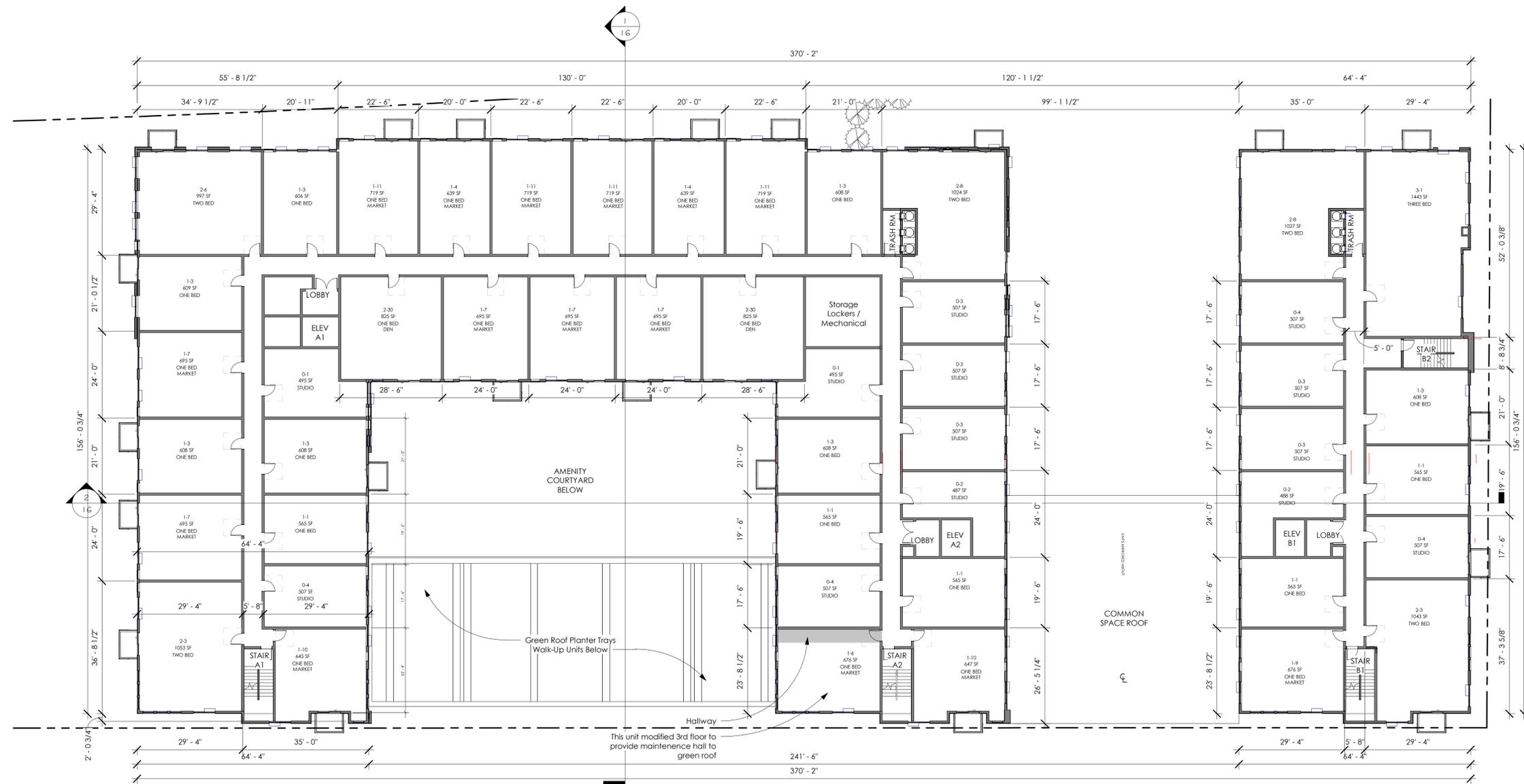


1 LEVEL 1 PLAN
SCALE 1/16" = 1'-0"



1 LEVEL 2 PLAN
SCALE 1/16" = 1'-0"





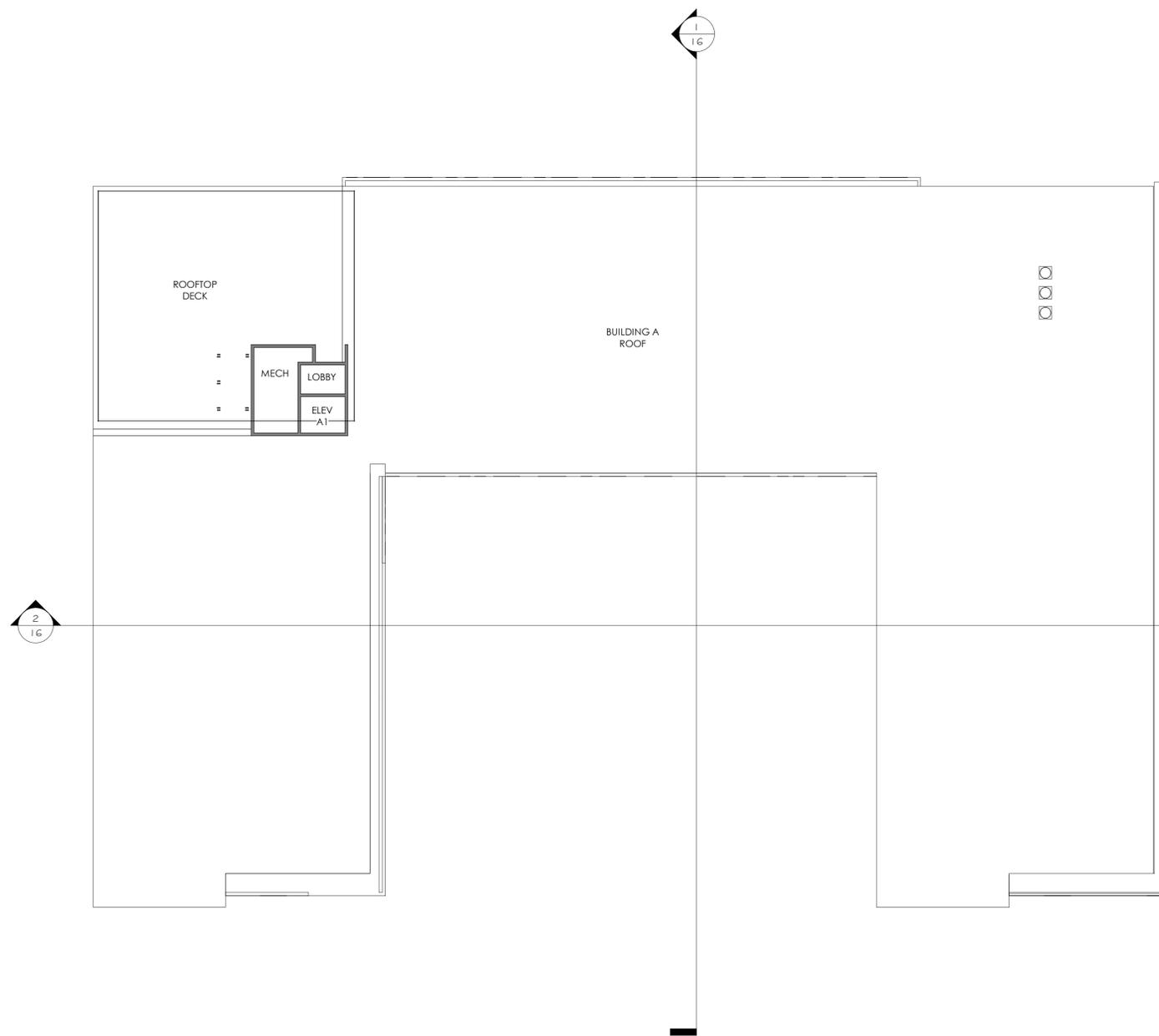
1 3rd - 5th Floor Plan
SCALE 1/16" = 1'-0"



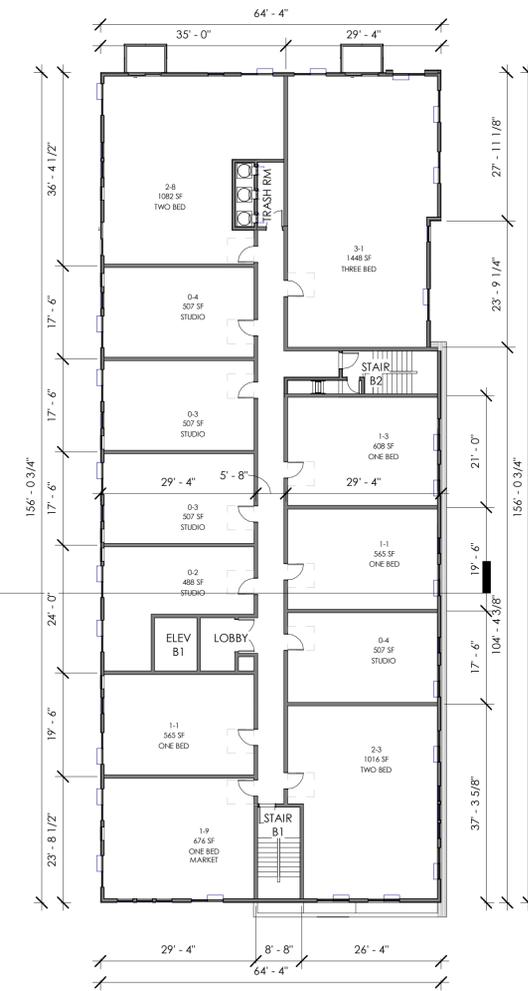


1 LEVEL 4 AND 5 PLAN - TYPICAL
SCALE 1/16" = 1'-0"





1 LEVEL 6 PLAN
SCALE 1/16" = 1'-0"





1 ELEVATION - SOUTH
 1" = 30'-0"



2 ELEVATION - SOUTH BUILDING B
 3/32" = 1'-0"



3 ELEVATION - SOUTH BUILDING A
 3/32" = 1'-0"





1 ELEVATION - EAST BUILDING A
3/32" = 1'-0"



2 ELEVATION - WEST BUILDING B
3/32" = 1'-0"



1 ELEVATION - WEST BUILDING A
3/32" = 1'-0"



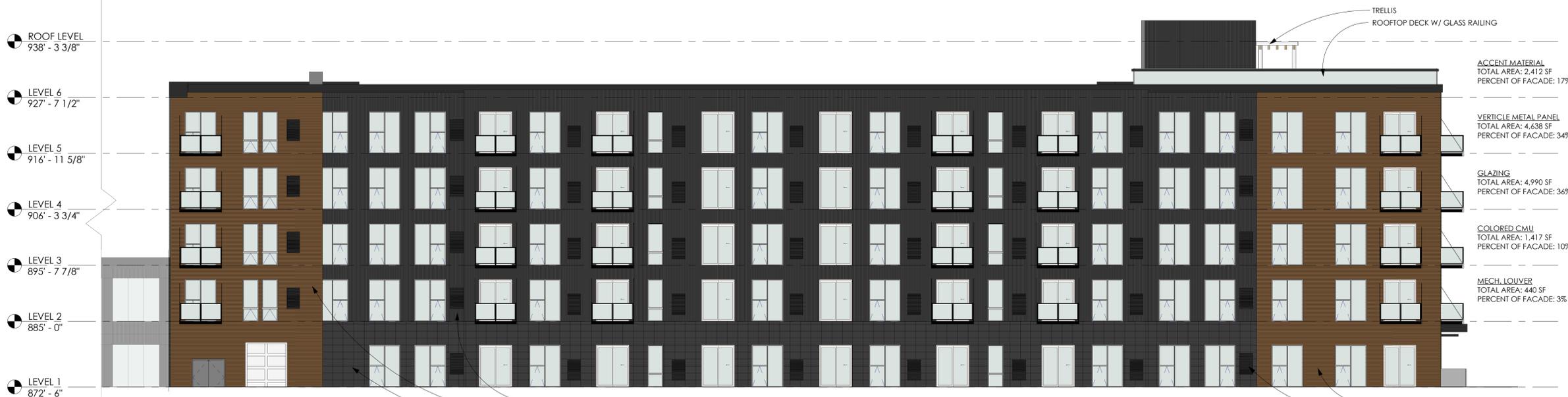
2 ELEVATION - EAST BUILDING B
3/32" = 1'-0"



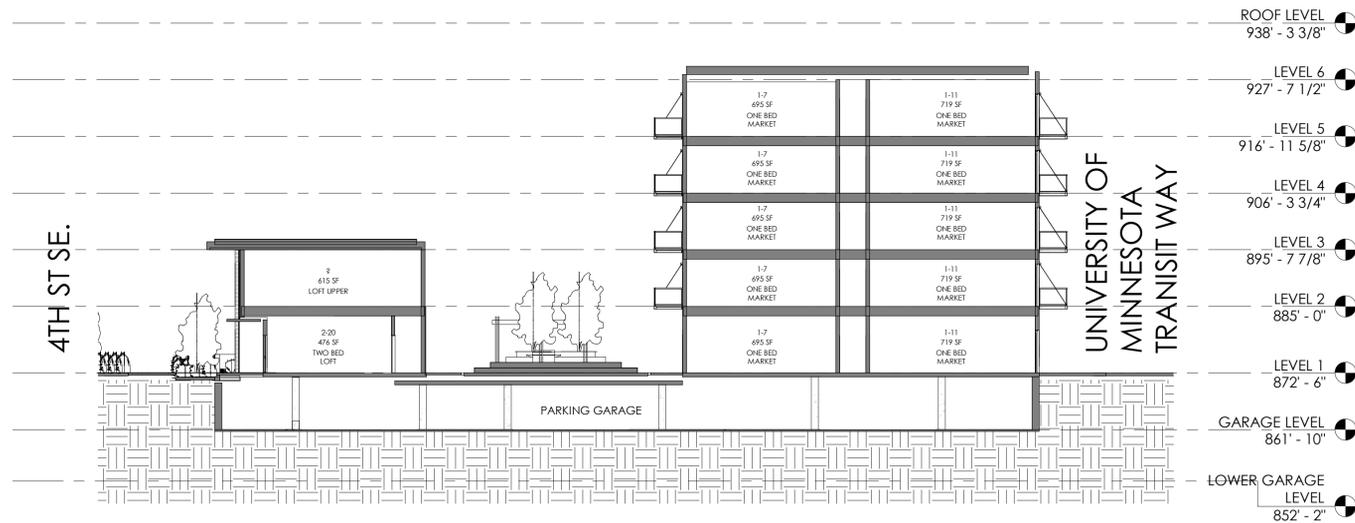
1 ELEVATION - NORTH
1" = 30'-0"



2 ELEVATION - NORTH BUILDING B
3/32" = 1'-0"



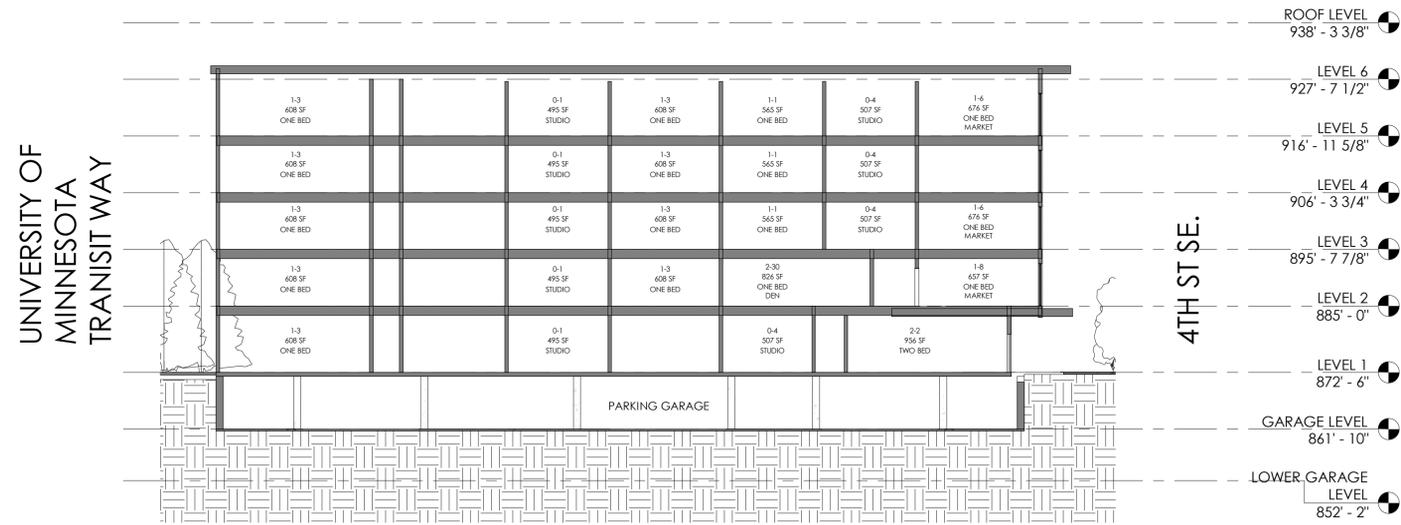
3 ELEVATION - NORTH BUILDING A
3/32" = 1'-0"



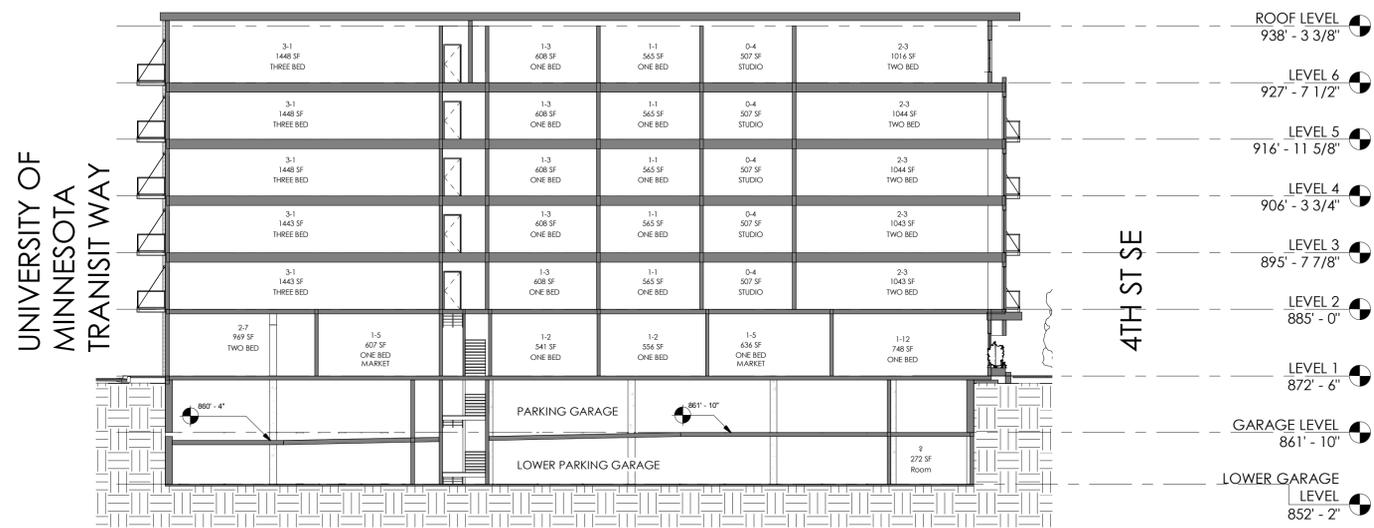
1 NORTH/SOUTH SECTION - 1
SCALE 1/16" = 1'-0"



2 LONGITUDINAL SECTION - EAST/WEST
SCALE 1/16" = 1'-0"



1 NORTH/SOUTH SECTION - 2
SCALE 1/16" = 1'-0"



2 NORTH/SOUTH SECTION - 3
SCALE 1/16" = 1'-0"



1 | 1 - VIEW FROM 4TH AND 30TH



2 | 2 - VIEW FROM 4TH AND 29TH AVE

3 | 3 - VIEW FROM GREEN 4TH

4 | 4 - VIEW FROM MWMO STORMWATER PARK





1 | AERIAL LOOKING NORTHEAST



2 | AERIAL LOOKING SOUTHWEST

Product Spec Sheet
Light Linear PT 5
 Street and area lighting fixtures
 LI-2118X
 IP65 - CLASS 1 - 0-10V


Application:
 Light Linear PT Street & Area lighting LED incorporates available light modules designed for use in aesthetic and convenient alternative to high pressure sodium or metal halide street lighting. Available light modules feature integrated LED technology, allowing reduced energy consumption, longer life span, and improved performance. Light Linear PT is available in 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.

PT-5

Product Spec Sheet
Light Linear PT 11
 Wall light LED
 LI-3000X
 IP65 / CLASS 1 / 0-10V


Application:
 Light Linear PT wall light LED incorporates available light modules designed for lighting of entrances and residential areas. Industry leading LED technology ensures that only the largest areas are illuminated, reducing unwanted light trespass, long service life and waste reduction on the further characteristics of this compact wall light. Matching street and area lighting and bollard.

Description:
 The luminaire called as CLASS 1 with integral driver. Color temperature: 3000K and 4000K, LED-CRI > 80 and life time 50,000 hours.

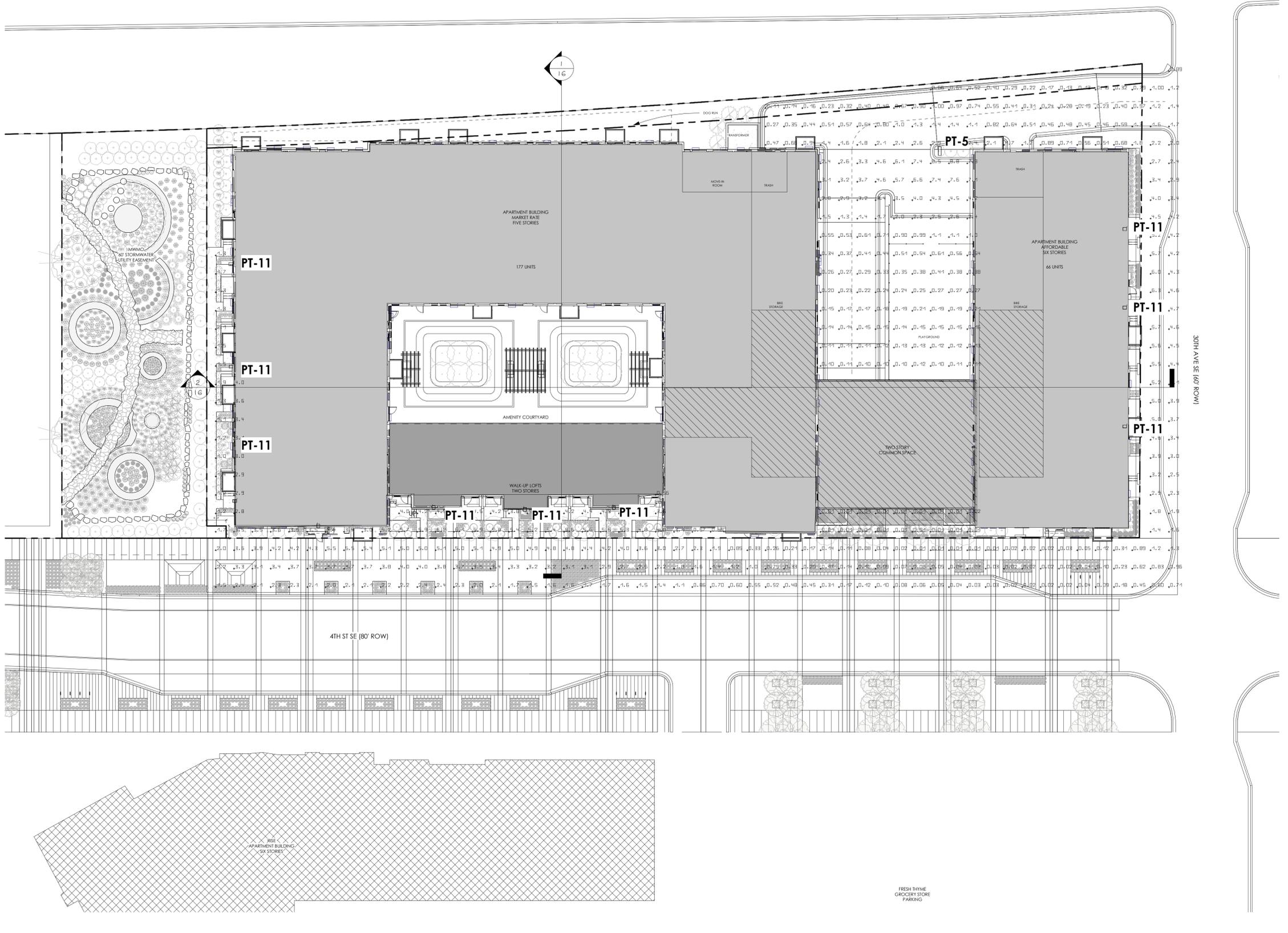
Description:
 Die-cast aluminum housing with high corrosion resistance. Shatter and impact resistant. Double seal corner rubber gasket and clear tempered glass. The housing is powder coated with high corrosion resistance and chemical chromated protection.

PT-11

Luminaire parts list

Index	Manufacturer	Luminaire type	Item number	Filing	Luminous flux	Light loss factor	Connected load	Quantity
1	LIGMAN	Light Linear PT 5 street and area lighting	LI-21181-72-W40	2x2x12 LED 4000K	3775 lm	0.80	57 W	1
2	LIGMAN	Light Linear PT 11 Surface 25W	LI-30001-72-W40	1x12 LED 4000K	1368 lm	0.80	28 W	15

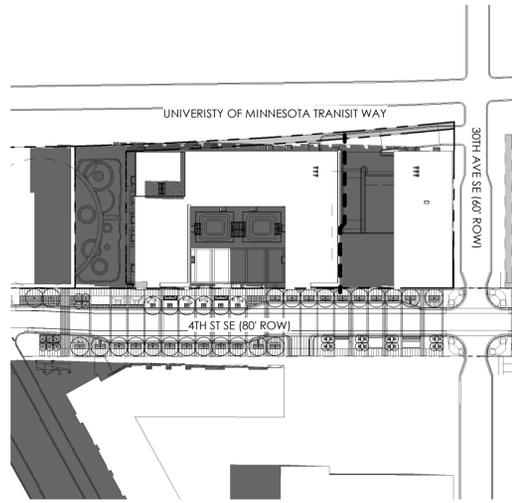
#	Name	Parameter	Min	Max	Average
1	Calculation surface 2	Perpendicular Illuminance	0.01 fc	8.8 fc	1.0 fc



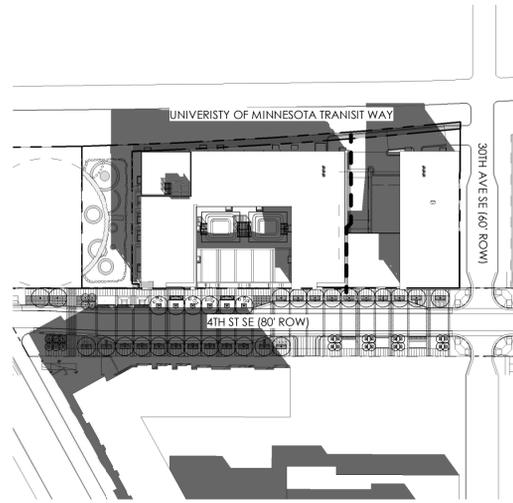
1 LIGHTING PLAN
 1" = 20'-0"

*NOTE: LIGHTING FIXTURE TYPE, LOCATION, & QUANTITY OF FIXTURES IN PROGRESS

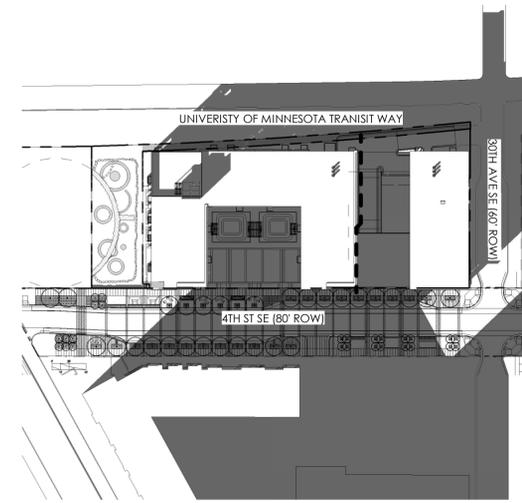




1 SHADOW STUDY - 9AM SPRING EQUINOX
1" = 100'-0"



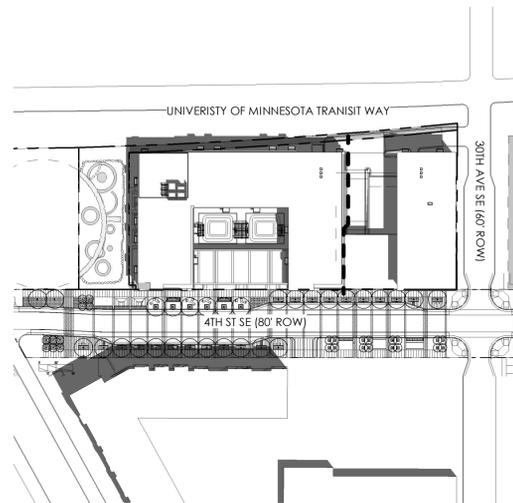
2 SHADOW STUDY - 12PM SPRING EQUINOX
1" = 100'-0"



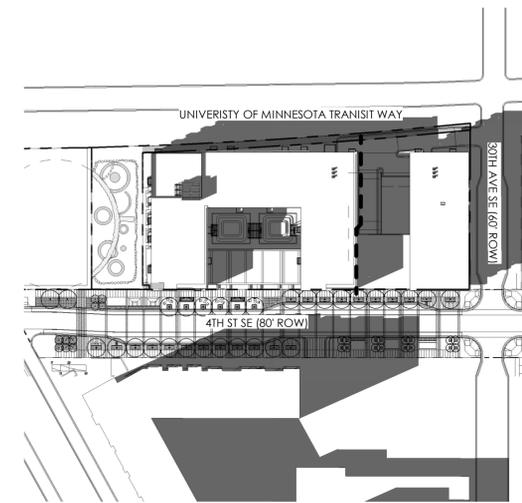
3 SHADOW STUDY - 5PM SPRING EQUINOX
1" = 100'-0"



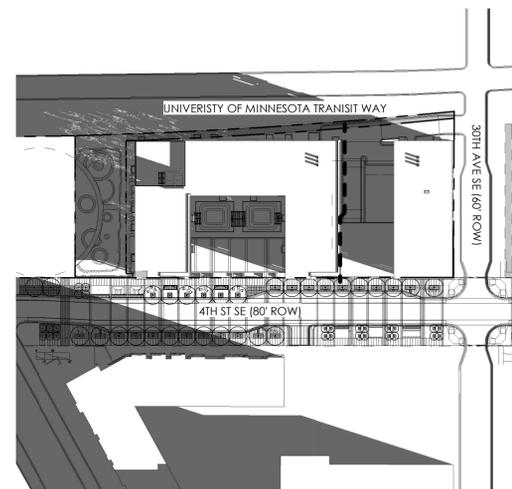
4 SHADOW STUDY - 9AM SUMMER SOLSTICE
1" = 100'-0"



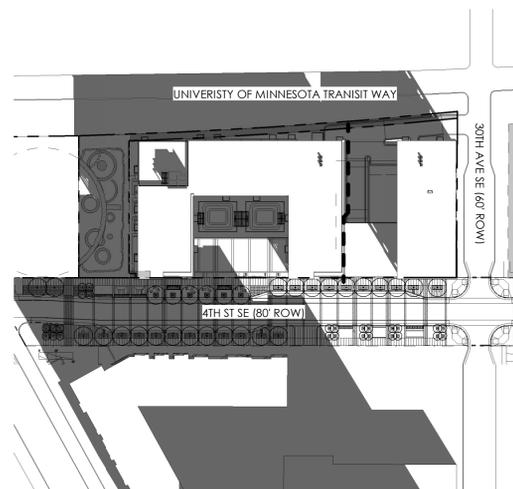
5 SHADOW STUDY - 12PM SUMMER SOLSTICE
1" = 100'-0"



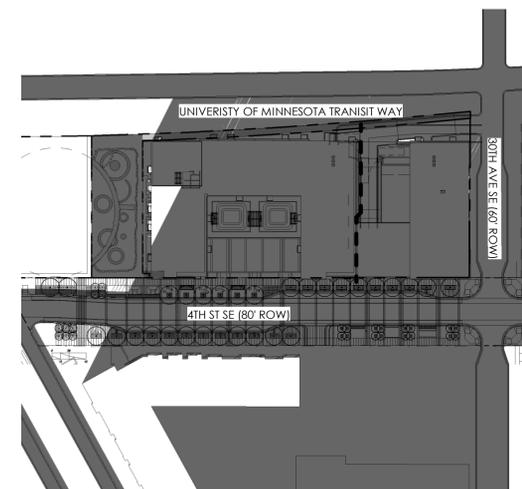
6 SHADOW STUDY - 5PM SUMMER SOLSTICE
1" = 100'-0"



7 SHADOW STUDY - 9AM WINTER SOLSTICE
1" = 100'-0"



8 SHADOW STUDY - 12PM WINTER SOLSTICE
1" = 100'-0"



9 SHADOW STUDY - 5PM WINTER SOLSTICE
1" = 100'-0"